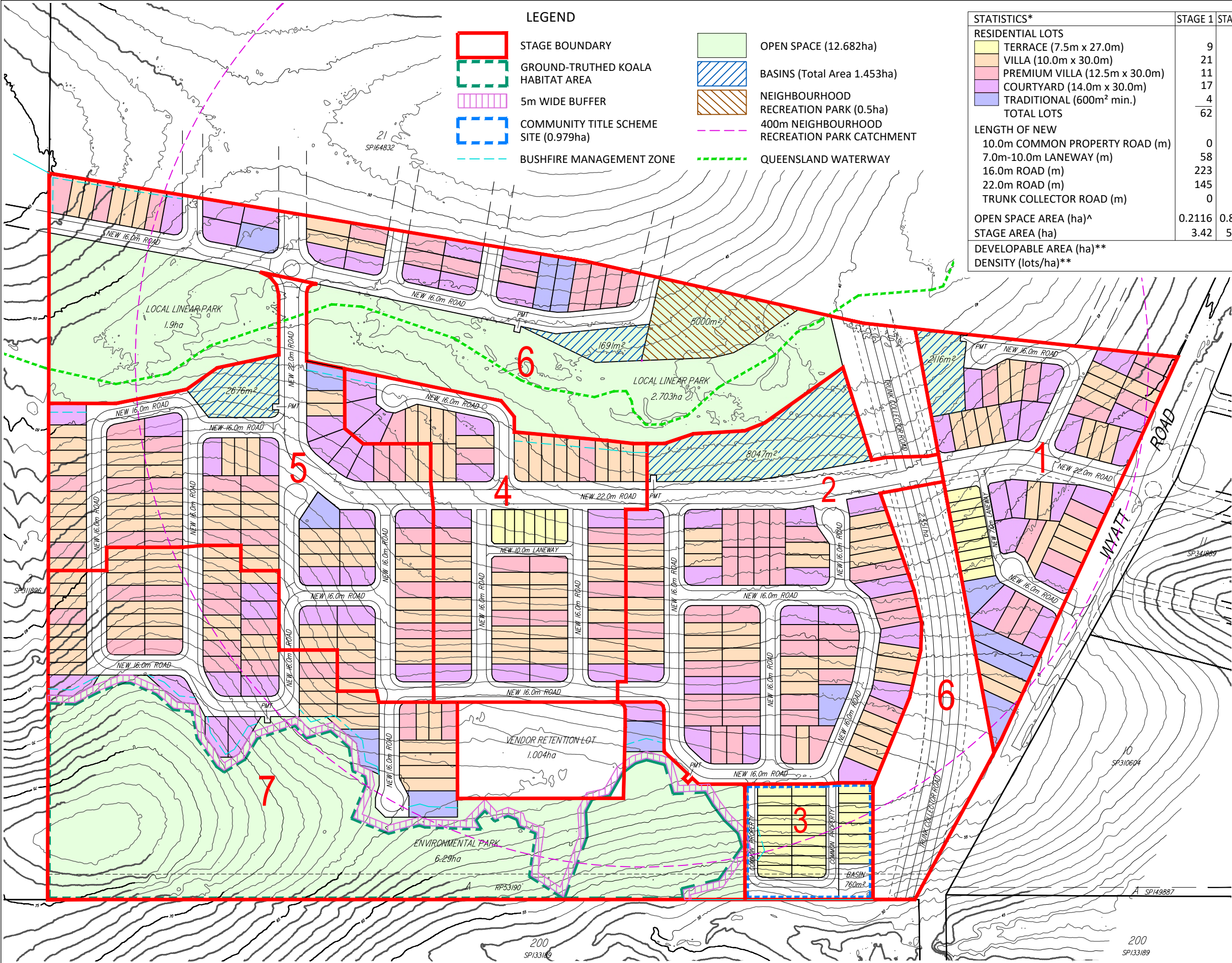




LEGEND

- STAGE BOUNDARY

GROUND-TRUTHED KOALA HABITAT AREA

5m WIDE BUFFER

COMMUNITY TITLE SCHEME SITE (0.979ha)

BUSHFIRE MANAGEMENT ZONE
- OPEN SPACE (12.682ha)

BASINS (Total Area 1.453ha)

NEIGHBOURHOOD RECREATION PARK (0.5ha)

400m NEIGHBOURHOOD RECREATION PARK CATCHMENT

QUEENSLAND WATERWAY

STATISTICS*	STAGE 1	STAGE 2A	STAGE 2B	STAGE 3	STAGE 4	STAGE 5	STAGE 6	TOTAL
RESIDENTIAL LOTS								
TERRACE (7.5m x 27.0m)	9	0	26	7	0	0	0	42 (10%)
VILLA (10.0m x 30.0m)	21	34	0	42	54	8	40	199 (45%)
PREMIUM VILLA (12.5m x 30.0m)	11	35	0	13	18	12	14	103 (24%)
COURTYARD (14.0m x 30.0m)	17	17	0	11	15	11	9	80 (18%)
TRADITIONAL (600m ² min.)	4	1	0	0	2	3	3	13 (3%)
TOTAL LOTS	62	87	26	73	89	34	66	437 (100%)
LENGTH OF NEW								
10.0m COMMON PROPERTY ROAD (m)	0	0	215	0	0	0	0	215
7.0m-10.0m LANEWAY (m)	58	0	0	60	0	0	0	118
16.0m ROAD (m)	223	820	0	570	756	585	456	3410
22.0m ROAD (m)	145	184	0	170	258	53	0	810
TRUNK COLLECTOR ROAD (m)	0	25	0	0	0	440	0	465
OPEN SPACE AREA (ha)^	0.2116	0.8047	0	0	0.2676	5.2721	6.29	12.846
STAGE AREA (ha)	3.42	5.974	0.926	3.828	5.195	10.231	9.512	39.086
DEVELOPABLE AREA (ha)**								23.689
DENSITY (lots/ha)**								18.4

* Excludes Vendor Retention Lot (1.004ha)
^ Includes Local Linear Park, Environmental Park, Neighbourhood Recreation Park & Stormwater Basins
** Excludes Open Space (12.846ha) & Trunk Collector Road (2.551ha)

PROPERTY DESCRIPTION
LOT 20 ON SP149887
TOTAL AREA 40.09 ha

NOTES

- (1) This plan was prepared for the purpose and exclusive use of 400 WYATT PTY LTD to accompany an application to ECONOMIC DEVELOPMENT QUEENSLAND for a Development Permit to Reconfigure the land described in the plan and is not to be used for any other purpose or by any other person or corporation. JFP URBAN CONSULTANTS PTY LTD accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention to the terms of this clause or clauses 2, 3, 4, 5, 6 or 7 hereof.
- (2) The contours on this plan are from Orthophoto mapping and are suitable only for the purpose of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any purpose other than for the purpose of this application.
- (3) The MGA boundaries utilised for this plan are based on information from EDWARDS SURVEYING PTY LTD.
- (4) The dimensions, areas, size and location of improvements, flood information (if shown) and number of lots shown on this plan are approximate only and may vary.
- (5) Safety in Design
The Urban Design for the layout proposal has been developed to meet the stated project brief, as expressed in JFP Urban Consultants Offer for the works, and the Design Standards stipulated by the Local Authority named on this plan.
Non-standard design solutions adopted in the preparation of the layout are listed as follows;
• None
- (6) The State Government proposes changes to the Queensland Development Code to reflect the provisions of the National Construction Code 2022. These changes once implemented will have an impact on the design of the future dwellings on the proposed allotments identified on this plan. The amendments to the QDC may also be subject to transitional provisions and we would strongly recommend that you discuss these matters further with your preferred Building Certifier.
- (7) This plan may not be reproduced unless these notes are included.

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NORTH:

SCALE:
SCALE: @ A3 1:3000

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ISSUES:

B	PMT SITES ADDED	26-05-26	TJM
A	ORIGINAL	30-04-26	TJM
ISSUE:	DETAILS:	DATE:	INIT:

TITLE:
RECONFIGURATION MASTER PLAN
400 WYATT PTY LTD
400 WYATT ROAD, KAGARU

DETAILS:
JOB NUMBER:
B4955PA1_DA1 D1 B
SHEET:
1 OF 8
DATE:
26th May 2026

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STATISTICS - STAGE 1	
RESIDENTIAL LOTS	
TERRACE	9
VILLA	21
PREMIUM VILLA	11
COURTYARD	17
TRADITIONAL	4
TOTAL LOTS	62
LENGTH OF NEW	
10.0m COMMON PROPERTY ROAD (m)	0
7.0m-10.0m LANEWAY (m)	58
16.0m ROAD (m)	223
22.0m ROAD (m)	145
TRUNK COLLECTOR ROAD (m)	0
OPEN SPACE AREA (ha)	0.2116
TOTAL AREA (ha)	3.42

* Includes Local Linear Park, Environmental Park, Neighbourhood Recreation Park & Stormwater Basins

LEGEND

STAGE BOUNDARY

OPEN SPACE

INDICATIVE BUILDING ENVELOPE

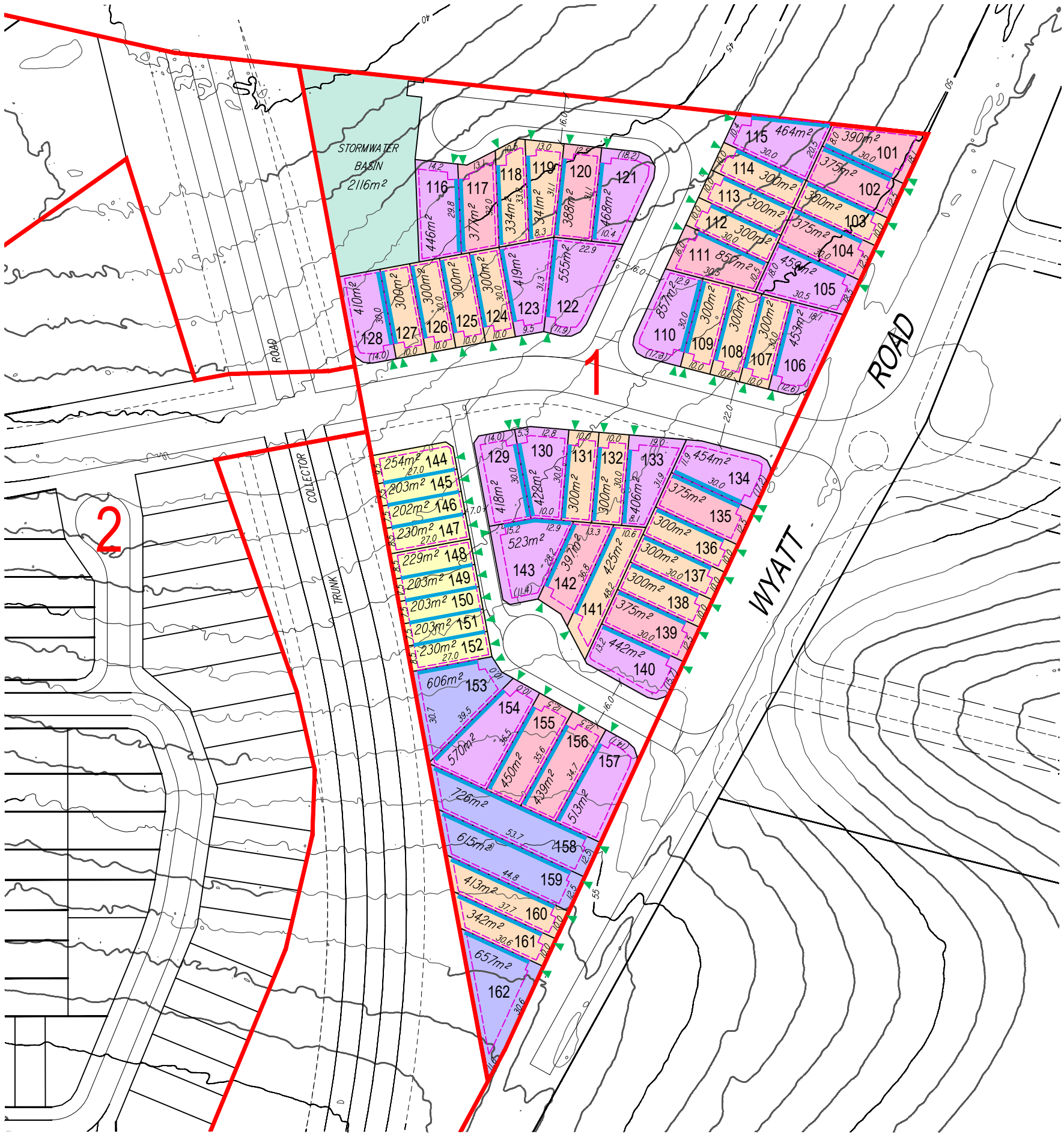
BUILT TO BOUNDARY WALL

INDICATIVE DRIVEWAY LOCATION

SITE DEVELOPMENT TABLE

	Laneway Terrace	Villa	Premium Villa	Courtyard	Traditional
Front Setback					
To Wall (Ground Floor)	2.4m	3m	3m	3m	4m
To Wall (First Floor)	2.4m	3m	3m	3m	4m
Garage	n/a	5m	5m	5m	5m
Secondary Frontage					
To Wall (Ground Floor)	1.5m	1.5m	2m	2m	2m
To Wall (First Floor)	1.8m	2m	2m	2m	2m
Garage	n/a	5m	5m	5m	5m
Rear Setback					
Ground Floor	0.9m*	0.9m*	0.9m*	0.9m*	0.9m*
First Floor	0.9m	1m	1m	1m	1m
Side Setback (BTB)					
Ground Floor	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m
First Floor	0 - 0.2m	0.9m	1.0m	1.0m	1.0m
Side Setback (non-BTB)					
Ground Floor	0.9m	0.9m	1.0m	1.0m	1.0m
Fisrt Floor	0.9m	0.9m	1.0m	1.0m	1.5m
Garage Location	Preference is for garages to be constructed as a built to boundary wall as shown				
Site Coverage (Maximum)	75%	70%	70%	60%	60%

* Rear boundary setback for a lot including a stepped retaining wall (or wall exceeding 2.5m) is to be increased to 2.5m.

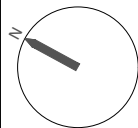




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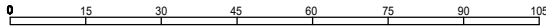
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SURVEYORS
ENGINEERS
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NORTH:



SCALE:

SCALE: @ A3 1:1500



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DESIGNED	TJM	CHECKED	IJ	COUNCIL REF
DRAWN	TJM	APPROVED	ST	L.A. LOGAN CITY COUNCIL

ISSUES:

A	ORIGINAL	26-05-26	TJM
ISSUE:	DETAILS:	DATE:	INIT:

TITLE:

PLAN OF DEVELOPMENT: STAGE 1
400 WYATT PTY LTD
400 WYATT ROAD, KAGARU

DETAILS:

JOB NUMBER:
B4955PA1_DA1 D1 A
SHEET:
2 OF 8
DATE:
26th May 2026

STATISTICS	STAGE 2	STAGE 3
RESIDENTIAL LOTS		
TERRACE	0	26
VILLA	34	0
PREMIUM VILLA	35	0
COURTYARD	17	0
TRADITIONAL	1	0
TOTAL LOTS	87	26
LENGTH OF NEW		
10.0m COMMON PROPERTY ROAD (m)	0	215
7.0m-10.0m LANEWAY (m)	0	0
16.0m ROAD (m)	820	0
22.0m ROAD (m)	184	0
TRUNK COLLECTOR ROAD (m)	25	0
OPEN SPACE AREA (ha)*	0.8047	0
TOTAL AREA (ha)	5.974	0.926

* Includes Local Linear Park, Environmental Park, Neighbourhood Recreation Park & Stormwater Basins

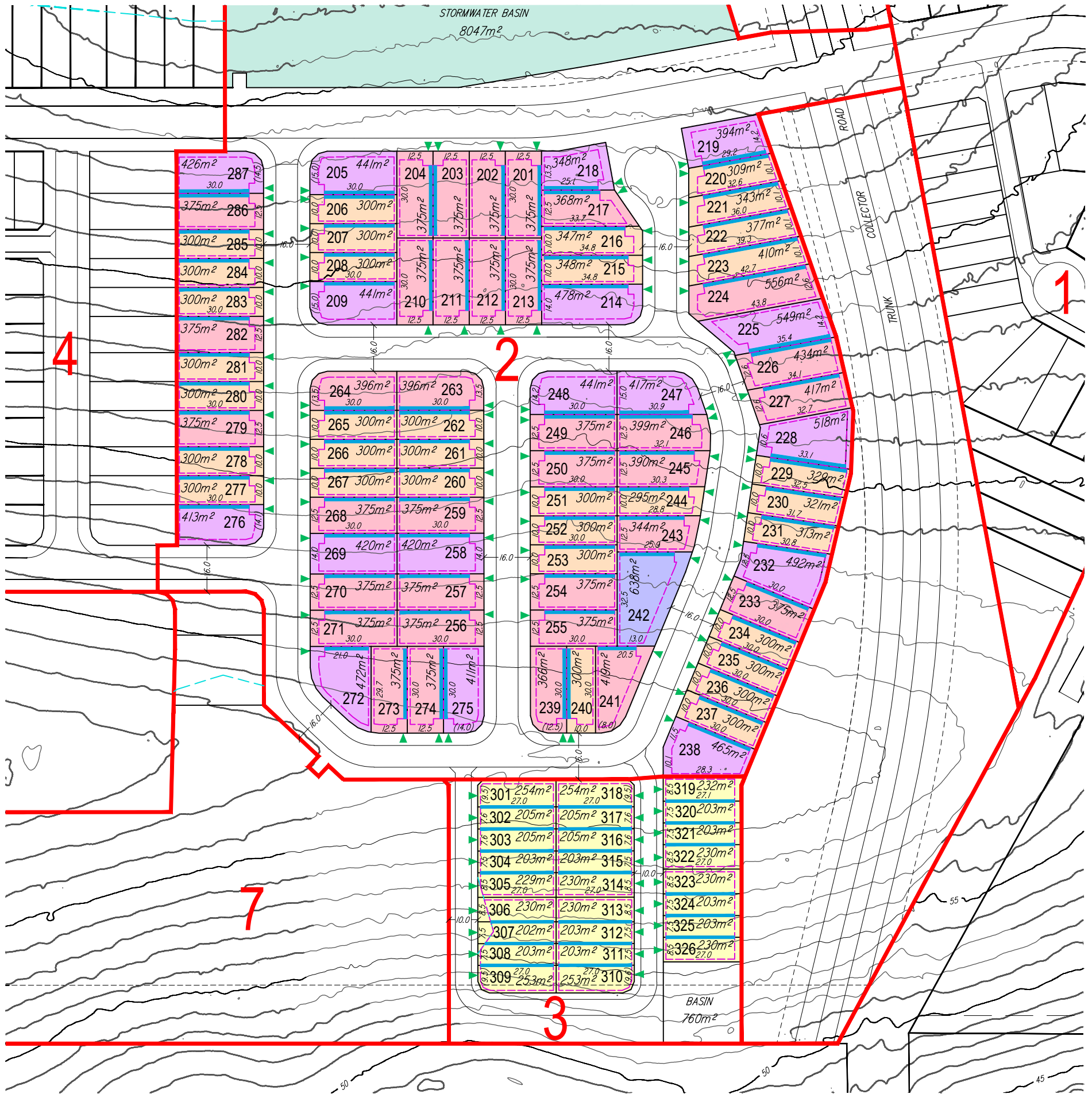
LEGEND

- STAGE BOUNDARY
- INDICATIVE BUILDING ENVELOPE
- BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY LOCATION
- BUSHFIRE MANAGEMENT ZONE

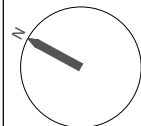
SITE DEVELOPMENT TABLE

	Laneway Terrace	Villa	Premium Villa	Courtyard	Traditional
Front Setback					
To Wall (Ground Floor)	2.4m	3m	3m	3m	4m
To Wall (First Floor)	2.4m	3m	3m	3m	4m
Garage	n/a	5m	5m	5m	5m
Secondary Frontage					
To Wall (Ground Floor)	1.5m	1.5m	2m	2m	2m
To Wall (First Floor)	1.8m	2m	2m	2m	2m
Garage	n/a	5m	5m	5m	5m
Rear Setback					
Ground Floor	0.9m*	0.9m*	0.9m*	0.9m*	0.9m*
First Floor	0.9m	1m	1m	1m	1m
Side Setback (BTB)					
Ground Floor	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m
First Floor	0 - 0.2m	0.9m	1.0m	1.0m	1.0m
Side Setback (non-BTB)					
Ground Floor	0.9m	0.9m	1.0m	1.0m	1.0m
First Floor	0.9m	0.9m	1.0m	1.0m	1.5m
Garage Location	Preference is for garages to be constructed as a built to boundary wall as shown				
Site Coverage (Maximum)	75%	70%	70%	60%	60%

* Rear boundary setback for a lot including a stepped retaining wall (or wall exceeding 2.5m) is to be increased to 2.5m.



NORTH:



SCALE:

SCALE: @ A3 1:1500

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DESIGNED	TJM	CHECKED	IJ	COUNCIL REF
DRAWN	TJM	APPROVED	ST	L.A. LOGAN CITY COUNCIL

ISSUES:

A	ORIGINAL	26-05-26	TJM
ISSUE:	DETAILS:	DATE:	INIT:

TITLE:

PLAN OF DEVELOPMENT: STAGES 2 & 3
400 WYATT PTY LTD
400 WYATT ROAD, KAGARU

DETAILS:

JOB NUMBER:
B4955PA1_DA1 D1 A
SHEET:
3 OF 8
DATE:
26th May 2026

STATISTICS - STAGE 4	
RESIDENTIAL LOTS	
TERRACE	7
VILLA	42
PREMIUM VILLA	13
COURTYARD	11
TRADITIONAL	0
TOTAL LOTS	73
LENGTH OF NEW	
10.0m COMMON PROPERTY ROAD (m)	0
7.0m-10.0m LANEWAY (m)	60
16.0m ROAD (m)	570
22.0m ROAD (m)	170
TRUNK COLLECTOR ROAD (m)	0
OPEN SPACE AREA (ha)	
	0
TOTAL AREA (ha)	
	3.828

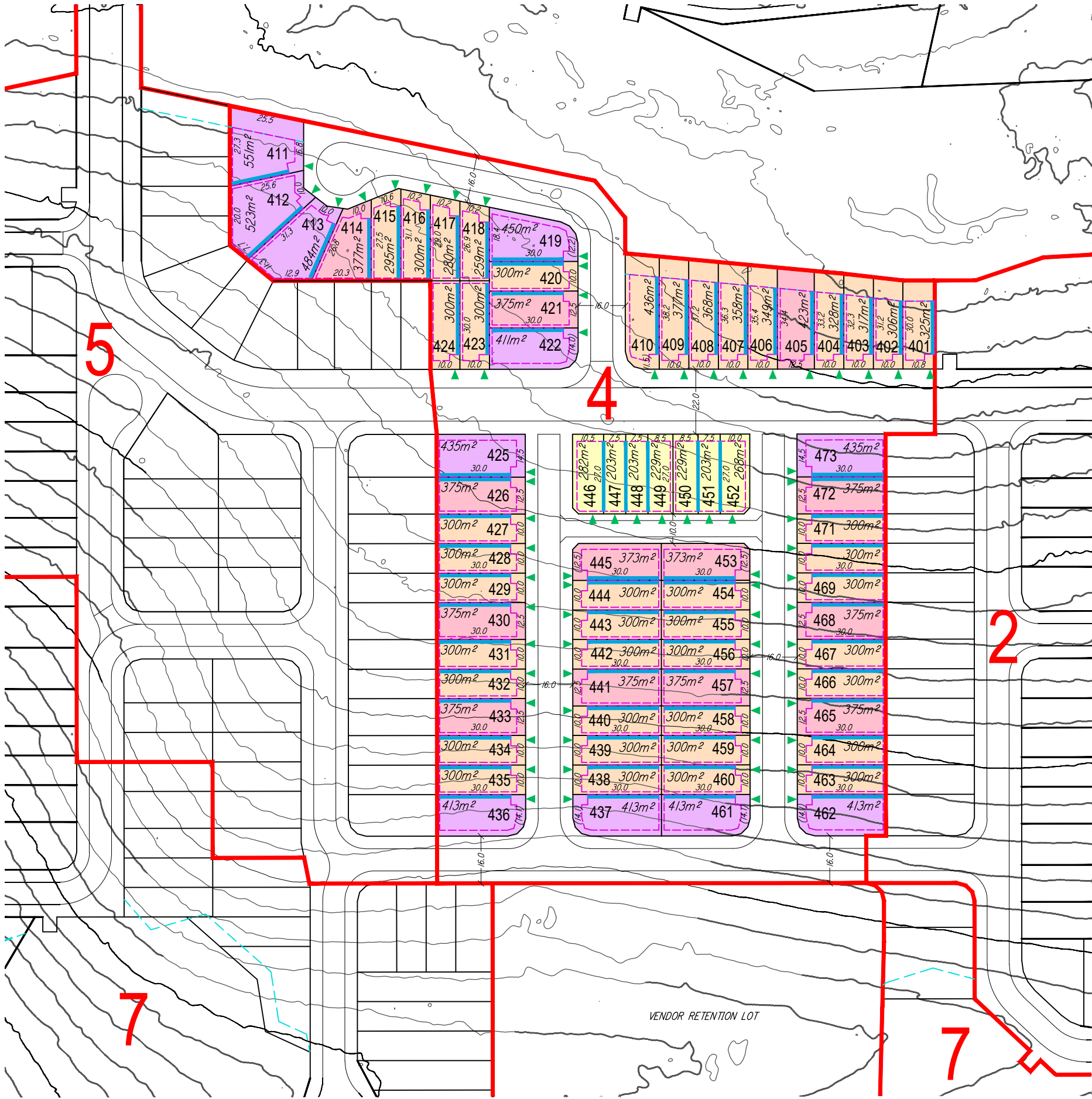
* Includes Local Linear Park, Environmental Park, Neighbourhood Recreation Park & Stormwater Basins

- LEGEND
- STAGE BOUNDARY
 - INDICATIVE BUILDING ENVELOPE
 - BUILT TO BOUNDARY WALL
 - INDICATIVE DRIVEWAY LOCATION
 - BUSHFIRE MANAGEMENT ZONE

SITE DEVELOPMENT TABLE

	Laneway Terrace	Villa	Premium Villa	Courtyard	Traditional
Front Setback					
To Wall (Ground Floor)	2.4m	3m	3m	3m	4m
To Wall (First Floor)	2.4m	3m	3m	3m	4m
Garage	n/a	5m	5m	5m	5m
Secondary Frontage					
To Wall (Ground Floor)	1.5m	1.5m	2m	2m	2m
To Wall (First Floor)	1.8m	2m	2m	2m	2m
Garage	n/a	5m	5m	5m	5m
Rear Setback					
Ground Floor	0.9m*	0.9m*	0.9m*	0.9m*	0.9m*
First Floor	0.9m	1m	1m	1m	1m
Side Setback (BTB)					
Ground Floor	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m
First Floor	0 - 0.2m	0.9m	1.0m	1.0m	1.0m
Side Setback (non-BTB)					
Ground Floor	0.9m	0.9m	1.0m	1.0m	1.0m
First Floor	0.9m	0.9m	1.0m	1.0m	1.5m
Garage Location	Preference is for garages to be constructed as a built to boundary wall as shown				
Site Coverage (Maximum)	75%	70%	70%	60%	60%

* Rear boundary setback for a lot including a stepped retaining wall (or wall exceeding 2.5m) is to be increased to 2.5m.



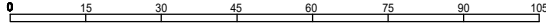


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DRAWN	TJM	APPROVED	ST	L.A. LOGAN CITY COUNCIL

ISSUES:

A	ORIGINAL	26-05-26	TJM
ISSUE:	DETAILS:	DATE:	INIT:

TITLE:

PLAN OF DEVELOPMENT: STAGE 4
400 WYATT PTY LTD
400 WYATT ROAD, KAGARU

DETAILS:

JOB NUMBER: B4955PA1_DA1 D1 A

SHEET: 4 OF 8

DATE: 26th May 2026

LEGEND

- STAGE BOUNDARY
- INDICATIVE BUILDING ENVELOPE
- BUILT TO BOUNDARY WALL
- INDICATIVE DRIVEWAY LOCATION
- BUSHFIRE MANAGEMENT ZONE

STATISTICS - STAGE 6

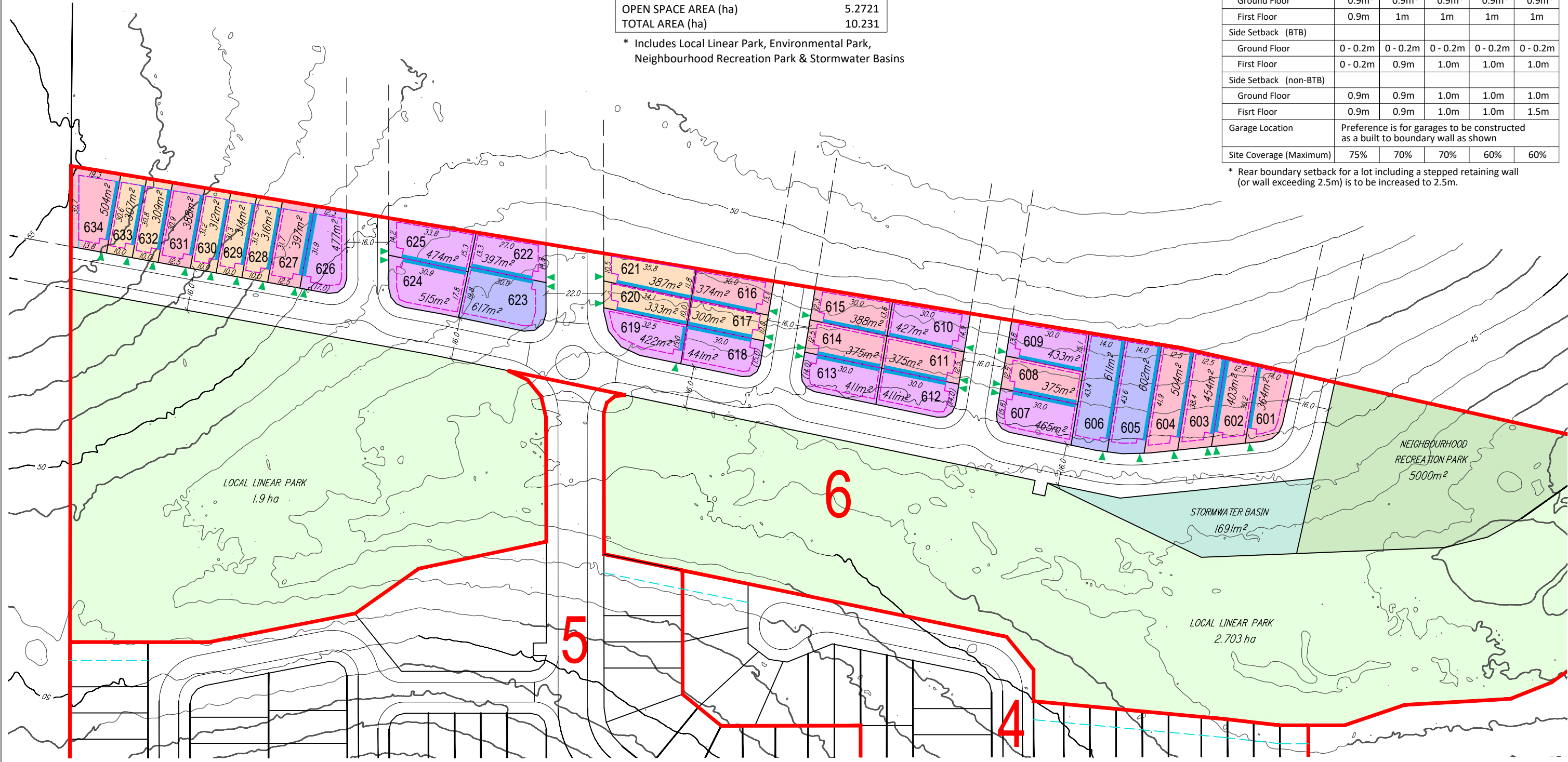
RESIDENTIAL LOTS	
TERRACE	0
VILLA	8
PREMIUM VILLA	12
COURTYARD	11
TRADITIONAL	3
TOTAL LOTS	34
LENGTH OF NEW	
10.0m COMMON PROPERTY ROAD (m)	0
7.0m-10.0m LANEWAY (m)	0
16.0m ROAD (m)	585
22.0m ROAD (m)	53
TRUNK COLLECTOR ROAD (m)	440
OPEN SPACE AREA (ha)	5.2721
TOTAL AREA (ha)	10.231

* Includes Local Linear Park, Environmental Park,
Neighbourhood Recreation Park & Stormwater Basins

SITE DEVELOPMENT TABLE

	Laneway Terrace	Villa	Premium Villa	Courtyard	Traditional
Front Setback					
To Wall (Ground Floor)	2.4m	3m	3m	3m	4m
To Wall (First Floor)	2.4m	3m	3m	3m	4m
Garage	n/a	5m	5m	5m	5m
Secondary Frontage					
To Wall (Ground Floor)	1.5m	1.5m	2m	2m	2m
To Wall (First Floor)	1.8m	2m	2m	2m	2m
Garage	n/a	5m	5m	5m	5m
Rear Setback					
Ground Floor	0.9m*	0.9m*	0.9m*	0.9m*	0.9m*
First Floor	0.9m	1m	1m	1m	1m
Side Setback (BTB)					
Ground Floor	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m
First Floor	0 - 0.2m	0.9m	1.0m	1.0m	1.0m
Side Setback (non-BTB)					
Ground Floor	0.9m	0.9m	1.0m	1.0m	1.0m
Fisrt Floor	0.9m	0.9m	1.0m	1.0m	1.5m
Garage Location	Preference is for garages to be constructed as a built to boundary wall as shown				
Site Coverage (Maximum)	75%	70%	70%	60%	60%

* Rear boundary setback for a lot including a stepped retaining wall (or wall exceeding 2.5m) is to be increased to 2.5m.



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NORTH:

SCALE: @ A3 1:1500

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DRAWN	TJM	APPROVED	ST	L.A. LOGAN CITY COUNCIL

ISSUES:

A	ORIGINAL	26-05-26	TJM
ISSUE:	DETAILS:	DATE:	INIT:

TITLE:

PLAN OF DEVELOPMENT: STAGE 6
400 WYATT PTY LTD
400 WYATT ROAD, KAGARU

DETAILS:

JOB NUMBER:
B4955PA1_DA1 D1 A

SHEET:
6 OF 8

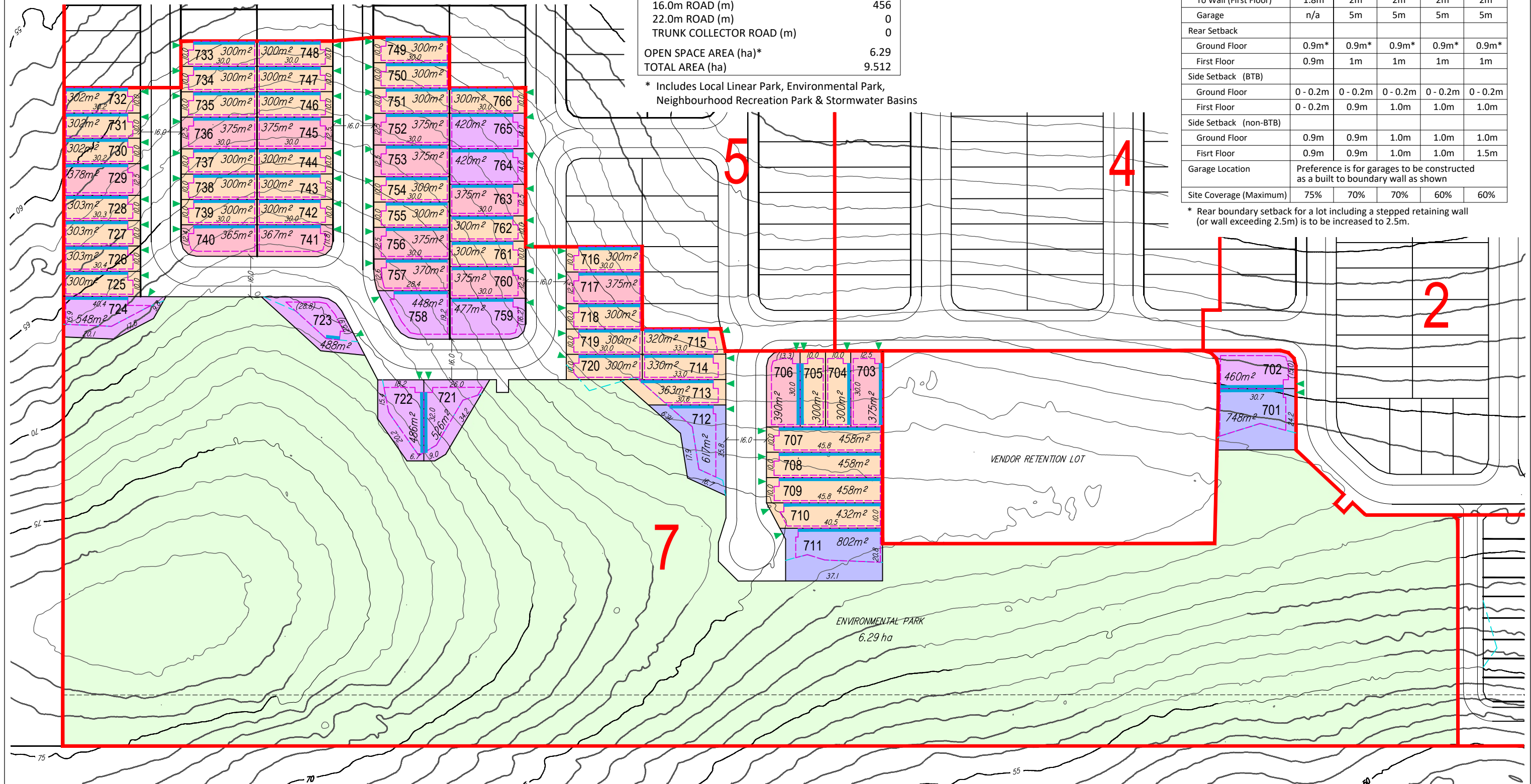
DATE:
26th May 2026

	STAGE BOUNDARY
	INDICATIVE BUILDING ENVELOPE
	BUILT TO BOUNDARY WALL
	INDICATIVE DRIVEWAY LOCATION
	BUSHFIRE MANAGEMENT ZONE

* Includes Local Linear Park, Environmental Park, Neighbourhood Recreation Park & Stormwater Basins

	Laneway Terrace	Villa	Premium Villa	Courtyard	Traditional
Front Setback					
To Wall (Ground Floor)	2.4m	3m	3m	3m	4m
To Wall (First Floor)	2.4m	3m	3m	3m	4m
Garage	n/a	5m	5m	5m	5m
Secondary Frontage					
To Wall (Ground Floor)	1.5m	1.5m	2m	2m	2m
To Wall (First Floor)	1.8m	2m	2m	2m	2m
Garage	n/a	5m	5m	5m	5m
Rear Setback					
Ground Floor	0.9m*	0.9m*	0.9m*	0.9m*	0.9m*
First Floor	0.9m	1m	1m	1m	1m
Side Setback (BTB)					
Ground Floor	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m
First Floor	0 - 0.2m	0.9m	1.0m	1.0m	1.0m
Side Setback (non-BTB)					
Ground Floor	0.9m	0.9m	1.0m	1.0m	1.0m
First Floor	0.9m	0.9m	1.0m	1.0m	1.5m
Garage Location	Preference is for garages to be constructed as a built to boundary wall as shown				
Site Coverage (Maximum)	75%	70%	70%	60%	60%

* Rear boundary setback for a lot including a stepped retaining wall (or wall exceeding 2.5m) is to be increased to 2.5m.



GENERAL

- ## SETBACKS AND SITE COVER

- ## BUILT-TO-BOUNDARY WALLS

- ## FRONTAGES

- ## PRIVATE OPEN SPACE

- ## PARKING

- ## FENCING

- LOTS ADJOINING OPEN SPACE

- ## BUSHFIRE

- ### ADDITIONAL NOTES - DETACHED HOUSES (<12.5m frontages)

SINGLE STOREY DWELLING WITH DOUBLE GARAGE

- ## TWO STOREY DWELLING WITH DOUBLE GARAGE

- ## NOTES – LANEWAY TERRACES

GENERAL

- ## ORIENTATION

- ## SETBACKS AND SITE COVER

- ## PARKING

- ## FENCING

- | | | | | | | | | | | | | | | | |
|--|--|--|--|---|--|--------|--|--------|--|---------|--|--------|--|----------|--|
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LANDSCAPE ARCHITECTS | | NORTH: | | SCALE: | | ISSUES: | | TITLE: | | DETAILS: | |
| | | | | | | NORTH: | | SCALE: | | ISSUES: | | TITLE: | | DETAILS: | |
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| | | | | | | NORTH: | | SCALE: | | ISSUES: | | TITLE: | | DETAILS: | |