

PRELODGE MENT ADVICE

- ☐ MEETING ADVICE
☒ WRITTEN ADVICE
☐ PHONE ADVICE

Date of Advice	26 February 2026	Time: 10am
EDQ PRE Ref. No.	PRE-2026-FLA-4402	
EDQ Contact Officer	Rachel Ritchie	
	rachel.ritchie@edq.qld.gov.au	

Site Details / Proposal

Priority Development Area (PDA)	Greater Flagstone PDA
Proposal	PDA Development Permit for reconfiguring a lot (400-450 lots), including new road, drainage reserve, local recreation park, local linear park and open space
Site Address	400 Wyatt Road, Kagaru
Real Property Description	Lot 20 on SP149887

Meeting Attendance

Name	Role	Organisation
Adam Dunn	Director	EDQ
Leila Torrens	Manager	EDQ
Rachel Ritchie	Principal Planner	EDQ
Andrew Edwards	Senior Planner	EDQ
Manjurul Alam	Principal Engineer	EDQ
Amanda Dryden	Group Director	EDQ
Shane Talty	Planner	JFP Urban Consultants
Isla Jenkins	Planner	JFP Urban Consultants
Jason Harley	Consultant	Ensilon Consulting
Brad Gates	Development Manager	Mountain Property

Support for proposal

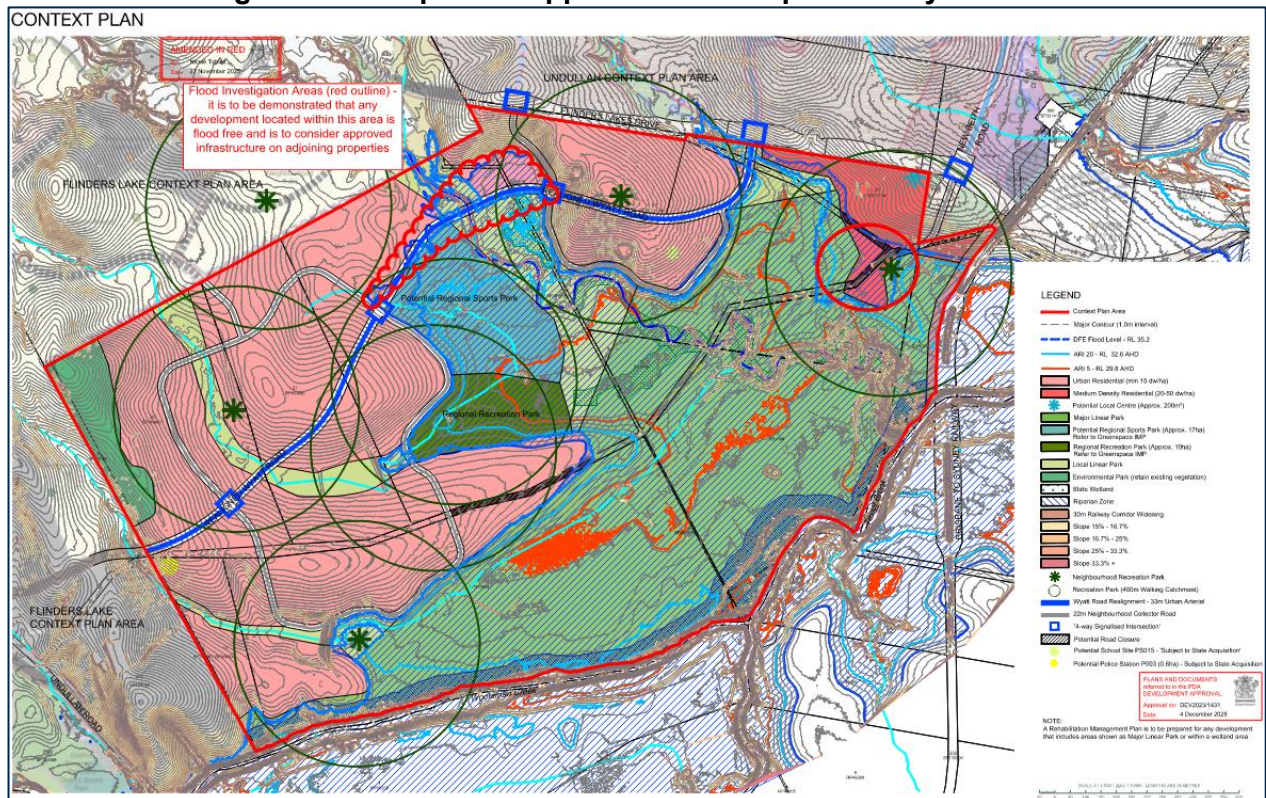
In principle, EDQ generally supports the intent of the proposed development, however the matters outlined below require further discussions between the applicant and EDQ prior to lodgement of the PDA development application.

Planning Matters

The PDA Development Scheme that outlines the conditions and directions for development of this site is the Greater Flagstone Development Scheme.

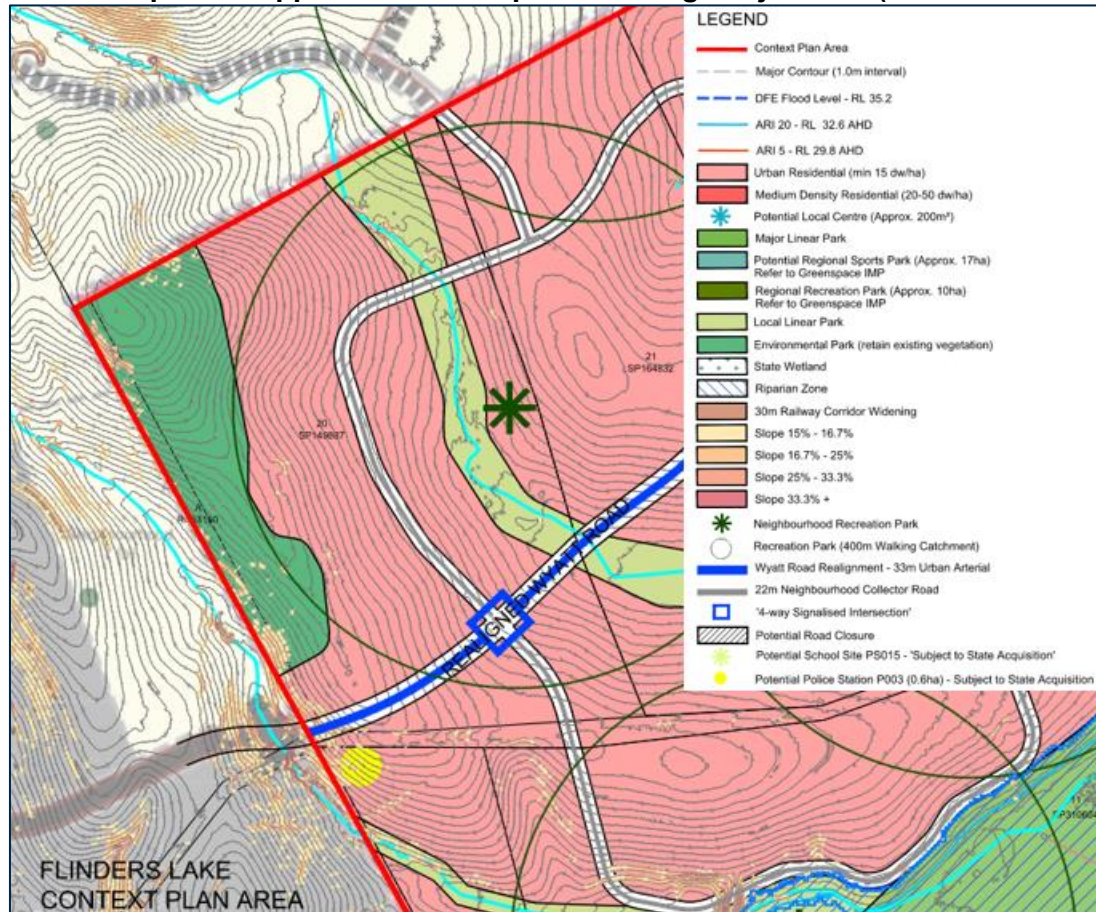
Also relevant to the proposal is the context plan for the Wyatt Road area of the Greater Flagstone PDA, approved in December 2025 (DEV2023/1431) (Figure 1). As this is the last context plan required for the Greater Flagstone PDA, the context plan has taken into consideration all the relevant plans and approval for the surrounding area, in particular Undullah and Flinders Lake which are directly adjoining the subject site. It is noted that the context plan was amended in red through the DA approval process to identify areas that require further investigation into the flood mitigation and concerns.

Figure 1: Excerpt from approved context plan for Wyatt Road



The current proposal applies only to the north-western area of the approved context plan, legally described as Lot 20 on SP149887. As shown in Figure 2, the subject site is shown on the context plan as containing urban residential development (minimum 15 dwellings per hectare), an environmental park, a local linear park, neighbourhood recreation park, a neighbourhood collector road and a section of the realigned Wyatt Road.

Figure 2: Excerpt from approved context plan showing subject site (Lot 20 on SP149887)



PDA Guidelines

The following PDA Guidelines have been identified as relevant to the proposal (visit <https://www.edq.qld.gov.au/resources/development-guidelines/>):

- PDA guideline no. 05 – Neighbourhood planning and design guideline (May 2015)
- PDA guideline no. 06 – Street and movement network (February 2019)
- PDA guideline no. 12 – Park planning and design (May 2015)
- PDA guideline no. 14 – Environmental values and sustainable resource use (May 2015)

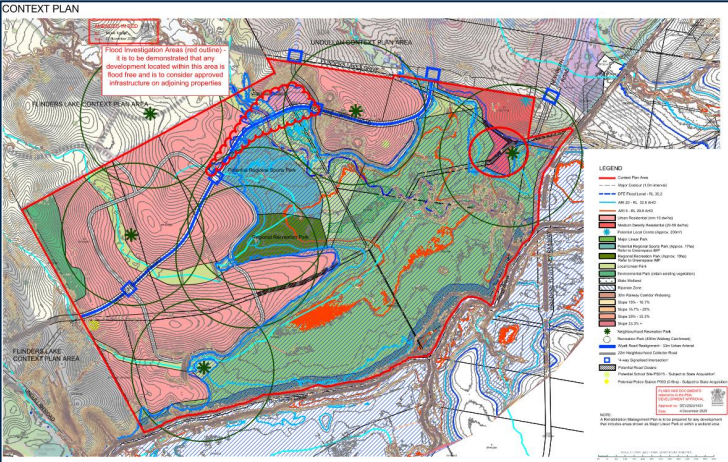
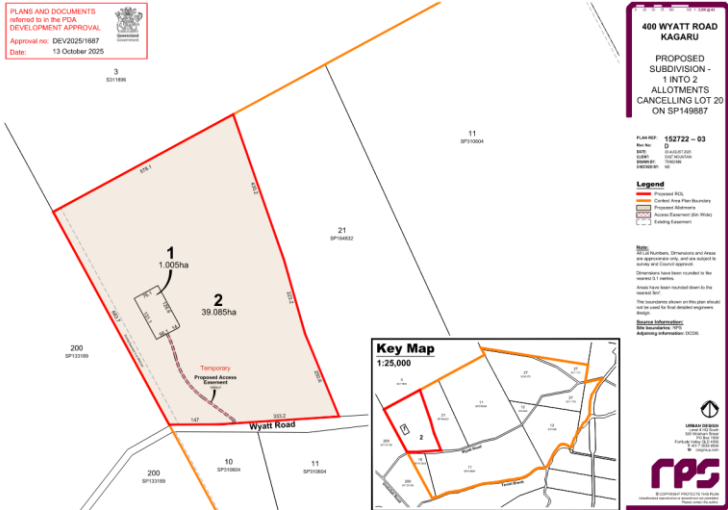
State Interests

The following State Interests have been identified as relevant to the proposal;

- Essential habitat / core koala habitat
- Category B regulated vegetation
- High / medium potential bushfire hazard

Site Background/ Development History

The planning history relevant to the site is;

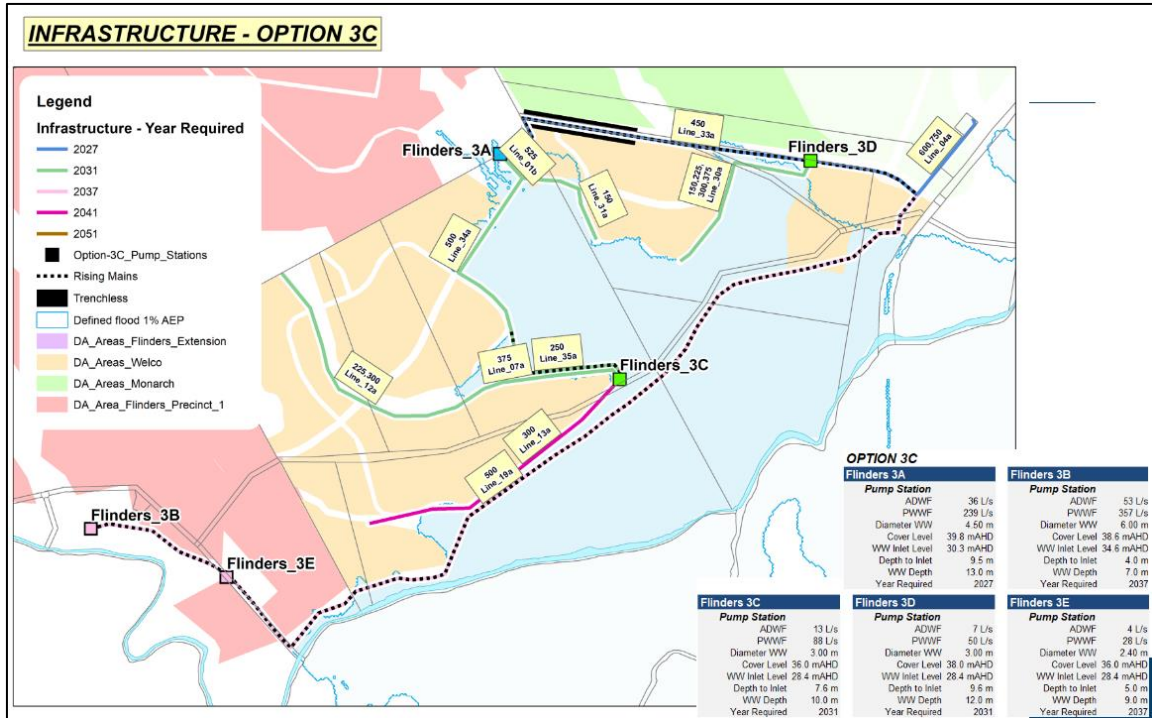
Application	Date	Description
DEV2023/1431	Approval date 4 December 2025 - Development Permit for Reconfiguring a Lot for management lot subdivision (1 into 2 lots) with a context plan	
DEV2025/1687	Approval date 13 October 2025 – Development Permit for Reconfiguring a Lot (1 into 2 lots) and temporary access easement – plan sealing has not taken place	
DEV2024/1584	Live application for neighbouring area of the context plan to the east	Material Change of Use for residential and other uses (house, multiple dwelling, display home, home based business, park and sales office) in accordance with a Plan of Development; Reconfiguring a Lot for 4 lots into 1,747 residential lots, 2 local park lots, 8 local linear park lots, 1 regional sports park, 1 regional recreation park lot, 2 major linear park lots, 3 balance lots, 1 sewer pump station lot and new roads; and Operational Work for advertising devices

Issues/Matters for Discussion

Applicant questions	EDQ response
Confirmation on lot mix and density requirements	The endorsed context plan shows the area as required to provide a minimum of 15 dwellings/hectare. EDQ supports the provision of a range of dwelling types/density, particularly the provision of housing at affordable price points, provided it can be demonstrated that there is adequate infrastructure to service the proposed density and dwelling types. Terrace lots are a supported typology. EDQ encourages the developer to introduce as much density as is feasible, above the minimum identified in the endorsed context plan.
Wyatt Road closure Information on timing and sequential closure of Wyatt Road to the east. How is this to be managed? Is there potential for road closure adjacent to the subject site for future development purposes?	EDQ raised that the realigned Wyatt Road corridor is not shown on the submitted plans. The applicant explained that the plans provided were prepared before the context plan was endorsed. EDQ outlined that the timeline for the upgrade of Wyatt Road will be dependent on the other developers to the east of the subject site. It is not intended that the existing Wyatt Road will be closed, however it was noted that parts of the existing road are subject to significant flooding. EDQ would be concerned with how much of the development could precede the realignment, due to flood risk, and the applicant would need to demonstrate how any stages of the development could occur without risk to future residents before the road is realigned. EDQ requested that a future prelodgement meeting occur in which amended plans are provided that show the ability to provide land for the realigned Wyatt Road through the site. EDQ noted that there is no set figure for minimum width that would need to be provided for the realignment, beyond the standard 33m width, and that the applicant will need to determine the amount of land required by obtaining detailed traffic engineering input. It is noted that batters will be required which will likely extend the required width significantly beyond 33m. EDQ encourages the applicant to undertake discussions with the developer of the land to the east regarding access to the site for construction purposes, as well as to ensure the vertical and horizontal integration of roads through both developments.
Open space requirements Confirmation on extent of open space requirements (Local	EDQ noted that the endorsed context plan includes a number of intended open space outcomes. These open space outcomes are aligned with existing mapping,

Recreation Park and Local Linear Open Space is currently proposed). It is noted that an area of Linear Open Space is currently shown adjacent to the western boundary of the site which is not shown in the Development Scheme. Direction sought on whether this corridor can be removed or reduced in area given the relevant DCOP mapping and this area's interface with the Flinders Lake Context Plan	including flood mapping and vegetation of state concern. The open space connections have been considered and have been approved for outcomes such as drainage, fauna connectivity and vegetation protection, including essential koala habitat. Any variations to these would require ecological and flood investigations. EDQ noted that there was likely limited ability to justify encroachment into the ecological area in the western part of the site. EDQ recommended that any ecological assessments, at a minimum, provide an assessment that aligns with EDQ Guideline 14 (Environmental values and Sustainable Resource Use). The applicant will also need to consider any EPBC matters in the ecological assessment that is undertaken.
Infrastructure Provision of downstream sewer and water infrastructure. Any updates from Logan Water on planning/timing for this infrastructure?	See Figure 3 below for timing of infrastructure. There would need to be a temporary solution for any development that comes online before the signaled timing of infrastructure. EDQ noted that the applicant will need to investigate the existing sewer and stormwater infrastructure in the immediate area. EDQ confirmed that Marco Bonotto was still involved in the detailed design process for the sewer pump station with Colliers and indicated that discussions with Marco and Colliers regarding the design and capacity of the pump station can be facilitated, once more information on the potential demand from the proposal can be provided.
Confirmation of reports required for DA	See details below. At a minimum: 1. Subdivision and staging plans 2. Traffic engineering / impact report, including assessment of the temporary use of Wyatt Road and permanent use of realigned Wyatt Road 3. Engineering services assessment, including temporary and permanent water and sewer servicing of the site 4. Stormwater management plan, including earthworks contour plans 5. Waste management plan 6. Landscape concept plan, including detailed information about the landscaping treatment of the streets and all shared spaces 7. Hydraulic impact assessment report, including assessment of flood risk associated with the use of the existing Wyatt Road until the realignment occurs (see further detail about the report below under 'other matters') 8. Bushfire hazard assessment 9. Ecological assessment, including status of EPBC Act referrals (if required) and impact on essential habitat

Figure 3: Infrastructure planning



Other Matters

- It is strongly recommended that further prelodgement meeting be held prior to finalisation of any development concepts and lodgement of a development application with EDQ. This can also be used to discuss any changes to existing PDA approvals that are required to facilitate the development.
- An external flow corridor traverses the site, the corridor will be impacted by the development. As such, a hydraulic impact assessment study report is to be submitted to identify the 1% AEP flood extent as well as to demonstrate no hydraulic impacts external to the site. The report is to be prepared by a registered professional engineer of Queensland (RPEQ) expert in flood hydraulics.

Lodgement Material

- A PDA Development Application can be lodged with EDQ via:
 - the online customer portal <https://portal.edq.qld.gov.au/> OR
 - Email: developmentservices@edq.qld.gov.au
- If you intend to lodge a PDA Development Application in the future, please include a copy of this advice with your application.

Disclaimer: *This prelodgement process provides initial advice relevant to a development proposal to assist in streamlining the formal development assessment process. The initial advice provided is based on the relevant Development Scheme in effect on the date the advice is provided. The advice given by EDQ officers does not constitute a formal response or decision by MEDQ and in no way fetters a future decision by MEDQ. Please note that MEDQ may provide to third parties or publish this document if required or authorised by the Information Privacy Act 2009, Right to Information Act 2009, Economic Development Act 2012, other legislation or by law.*

Should you require any further information about this matter, please contact Rachel Ritchie, Principal Planner, Development Services at rachel.ritchie@edq.qld.gov.au, as referenced above.