

BASEMENT 2

LEVEL

BASEMENT 02

44

BASEMENT 01

84

GROUND FLOOR

29

PWD

2

VISITOR

16

TOTAL: 175

SRV

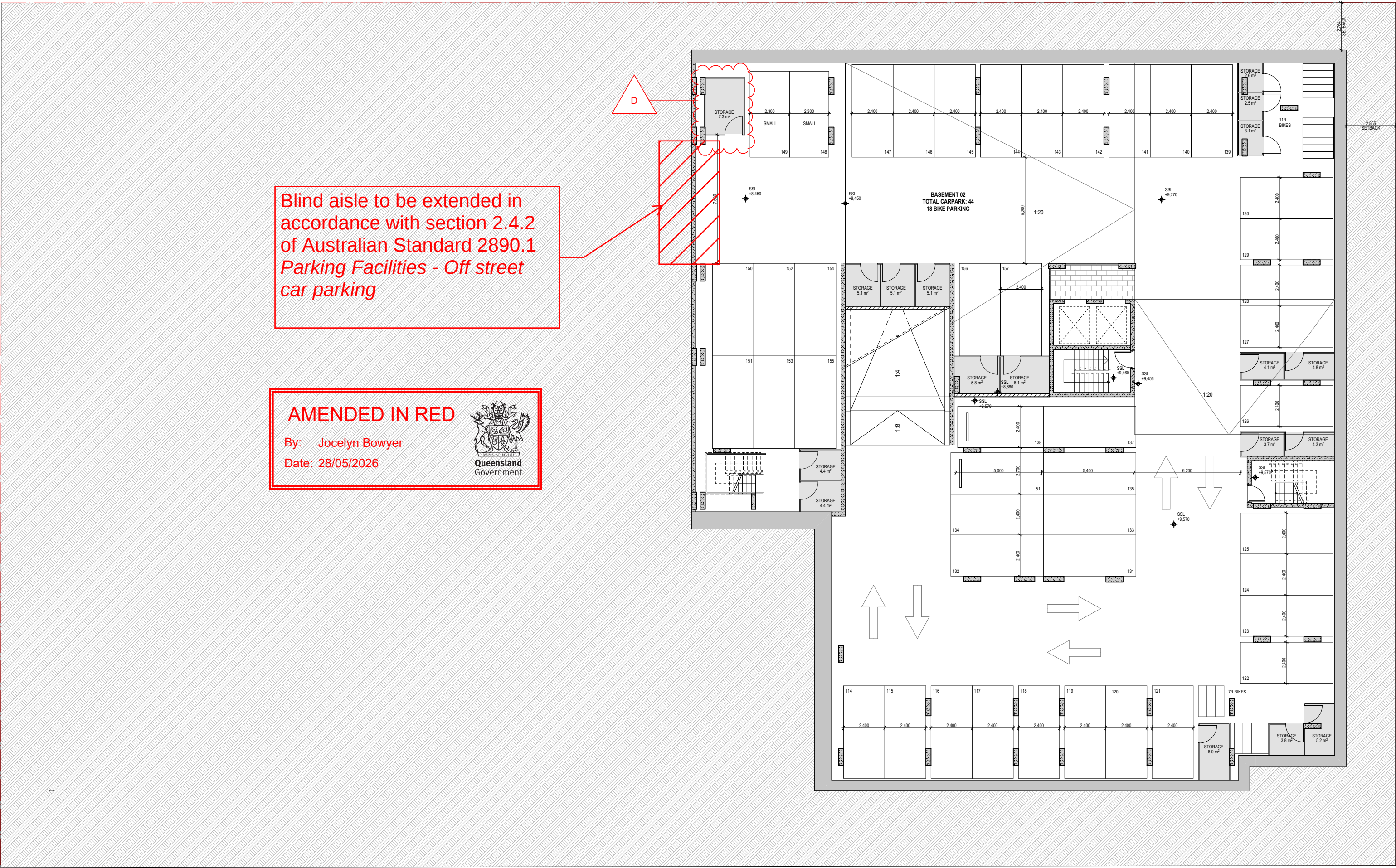
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BICYCLE PARKING

RESIDENTIAL 131

VISITORS 30

TOTAL 161



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PLANS AND DOCUMENTS referred to in the PDA
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Approval no: DEV-2025-BNH-4174
Date: 4 June 2026

Rev	Date	By	Chk	Description
T01	26/08/2024	TP		FOR TENDER
B	22/10/2024	TP		MINOR CHANGE APPLICATION
C	11/12/2025	HN	RM	MINOR CHANGE APPLICATION
D	22/04/2026	KR		MINOR CHANGE APPLICATION

MINOR CHANGE

NOT FOR CONSTRUCTION

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Project Name Abbotsford Rd, Bowen Hills
Project Number 00013360
Project Address 23-39 Abbotsford Rd,
Brisbane, QLD 4006

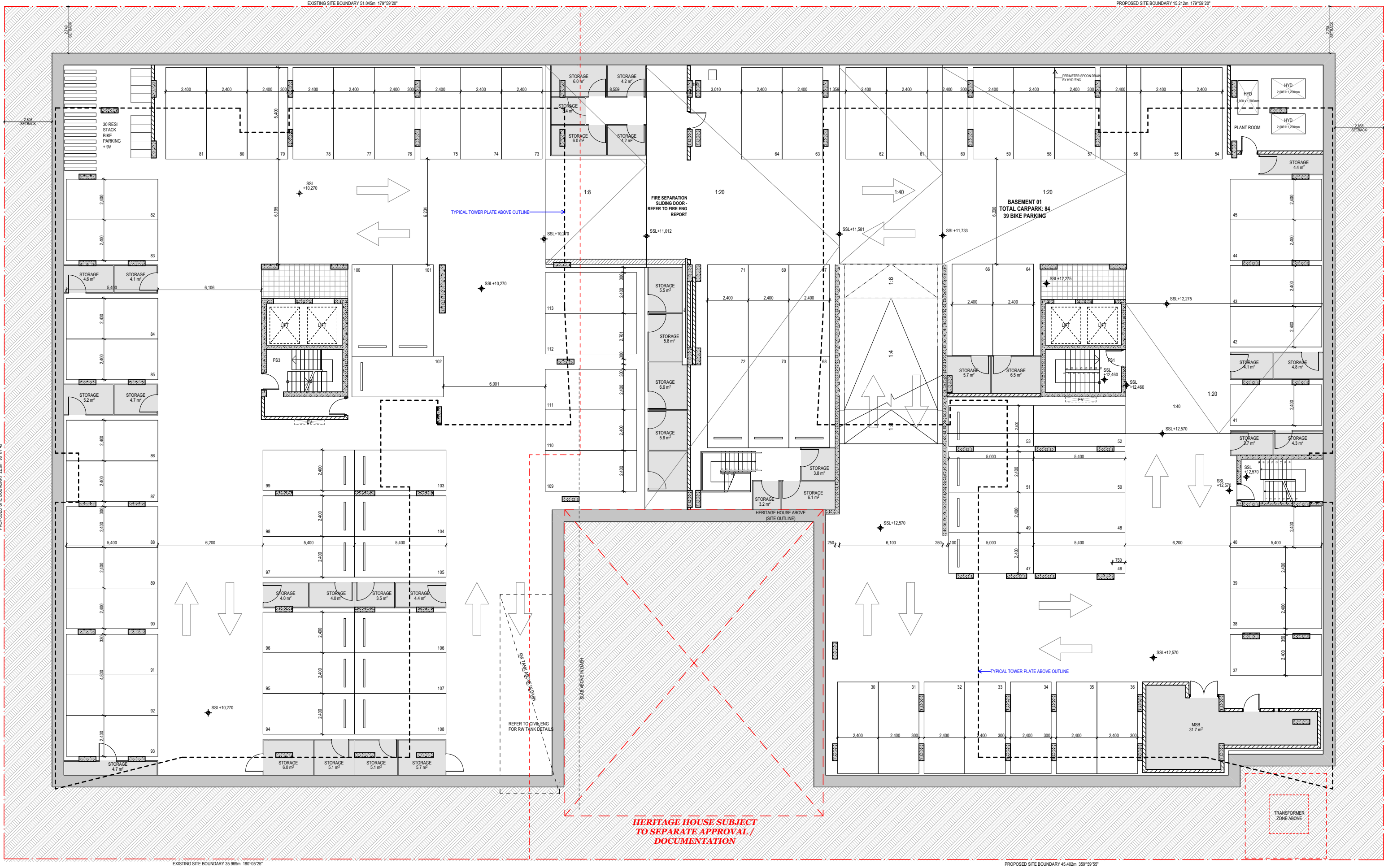
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Checked By RM
Date 22/04/2026
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Drawing Series Overall Plans 200
Drawing Name GAP Basement 2

Drawing Number **AR-2001**
Revision **D**

BASEMENT 1

LEVEL	
BASEMENT 02	
44	
BASEMENT 01	
84	
GROUND FLOOR	
29	
PWD	
2	
VISITOR	
16	
TOTAL: 175	
SRV	
1	
BICYCLE PARKING	
RESIDENTIAL	131
VISITORS	30
TOTAL	161



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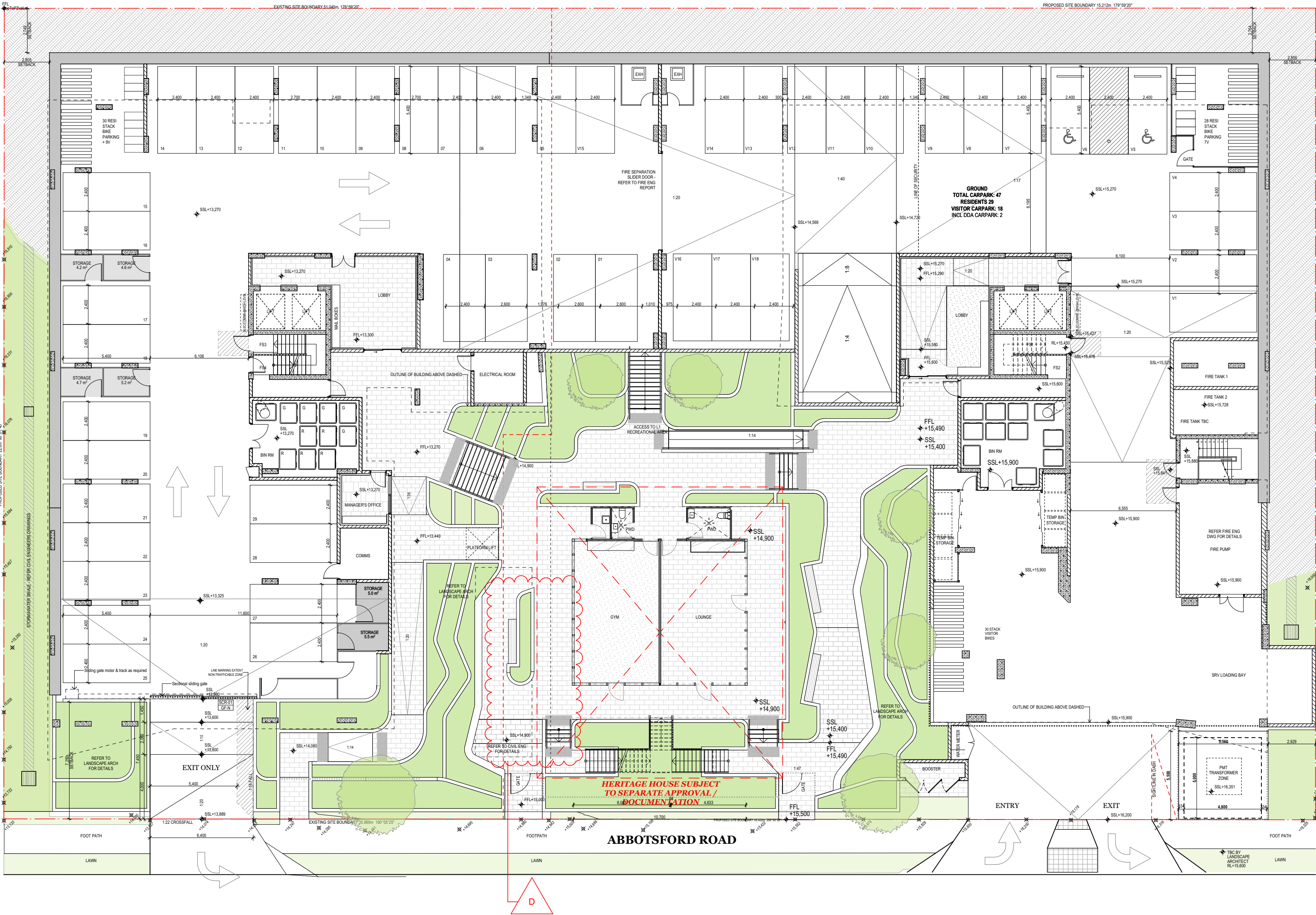
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Project Number	00013360
Project Address	23-39 Abbotsford Rd, Brisbane, QLD 4006
Drawn By	HN
Checked By	RM
Date	22/04/2026
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Drawing Series	Overall Plans 200
Drawing Name	GAP Basement 1

Drawing Number **AR-2002**
Revision **D**

GROUND FLOOR

LEVEL	
BASEMENT 02	
44	
BASEMENT 01	
84	
GROUND FLOOR	
29	
PWD	
2	
VISITOR	
16	
TOTAL: 175	
SRV	
1	
BICYCLE PARKING	
RESIDENTIAL	131
VISITORS	30
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Project Name
Project Number
Project Address

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Brisbane, QLD 4000

Drawn By
Checked By
Date
Scale

HN
RM
22/04/2026
1:200, 1:0.56@A1

Drawing Series
Drawing Name

Overall Plans 200
GAP Ground Floor

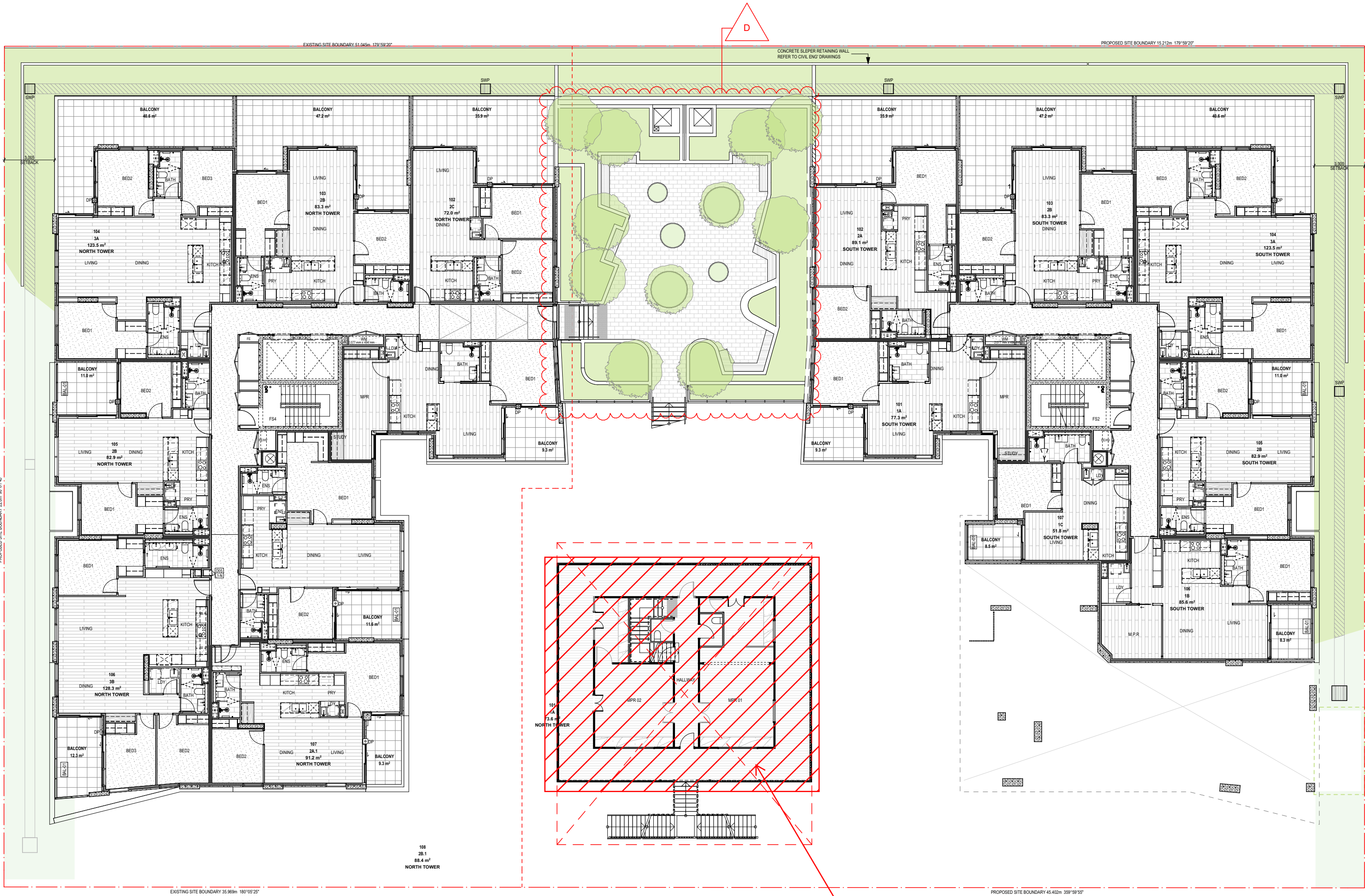
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Revision

AR-2003
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LEVEL 1

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Internal layout of heritage
house not a part of this
approval.

AMENDED IN RED
By: Jocelyn Bowyer
Date: 28/05/2026



PLANS AND DOCUMENTS
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Drawn By HN
Checked By RM
Date 22/04/2026
Scale 1:200@A1

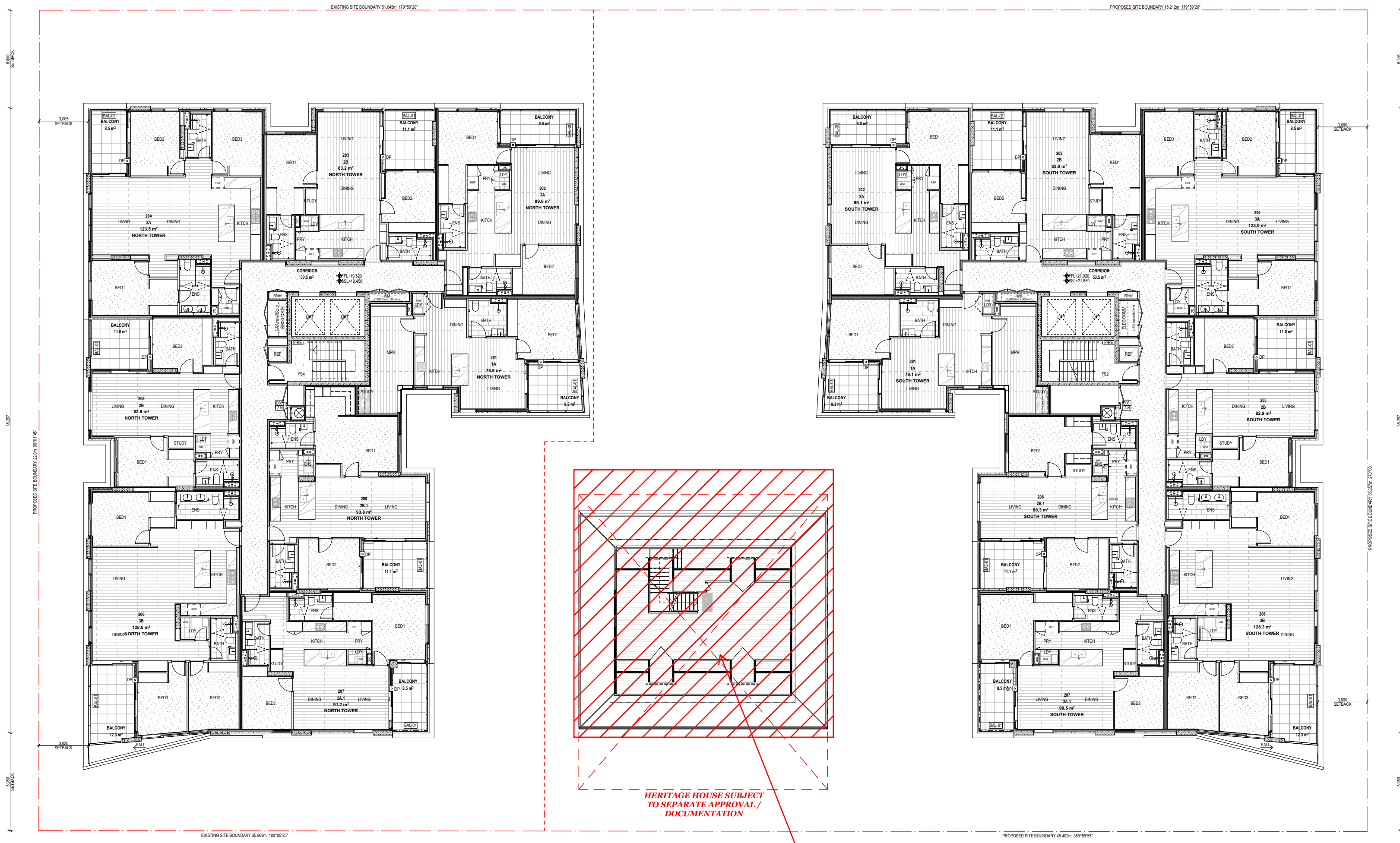
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Drawing Name GAP Level 1

Drawing Number AR-2004
Revision D

LEVEL 2

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AMENDED IN RED
By: Jocelyn Bowyer
Date: 28/05/2026

Internal layout of
heritage house not a
part of this approval.

PLANS AND DOCUMENTS
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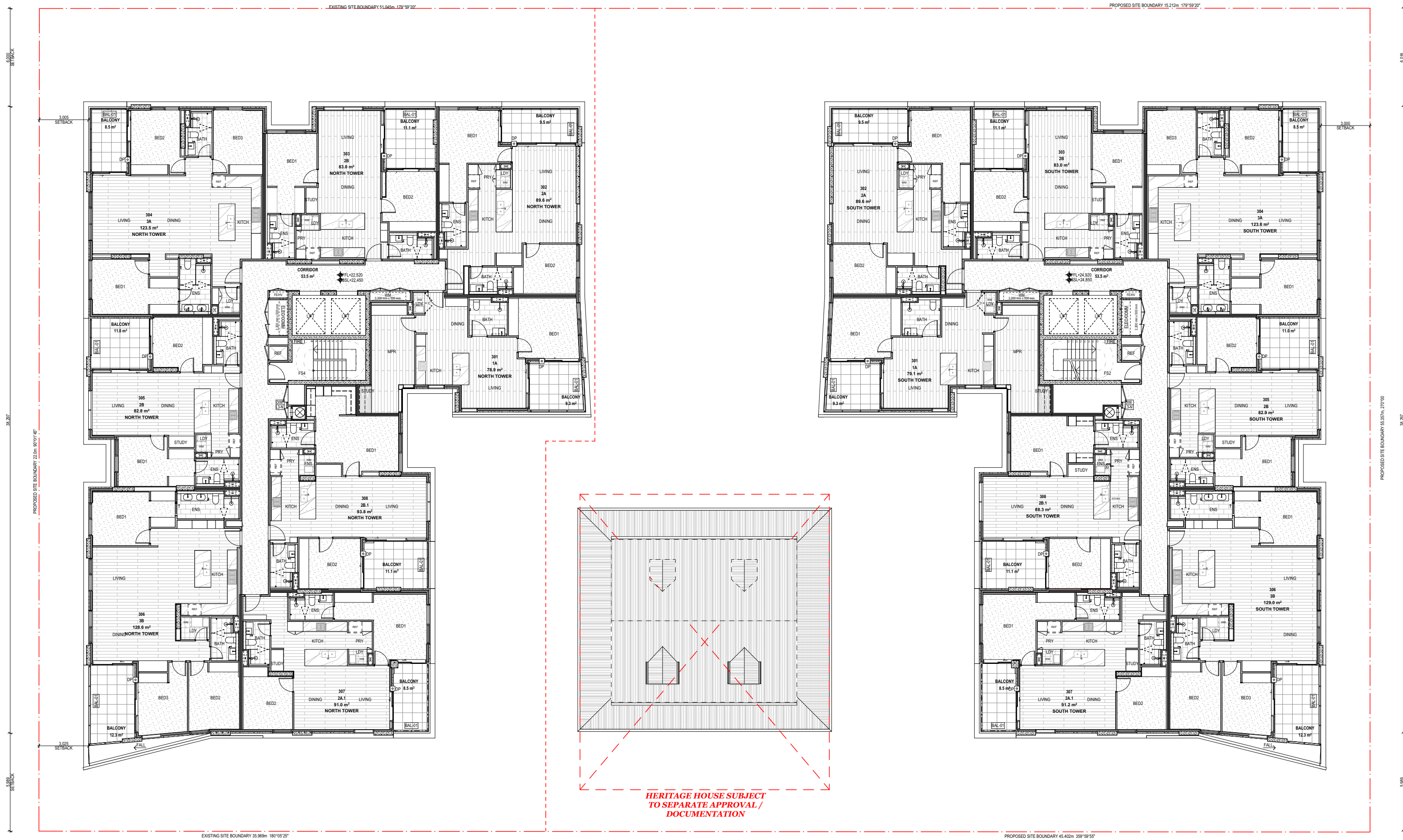
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Revision D

LEVEL 3

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Project Address 23-39 Abbotsford Rd,
Brisbane, QLD 4006

Drawn By HN
Checked By RM
Date 22/04/2026
Scale 1:200@A1

Drawing Series Overall Plans 200
Drawing Name GAP Level 3

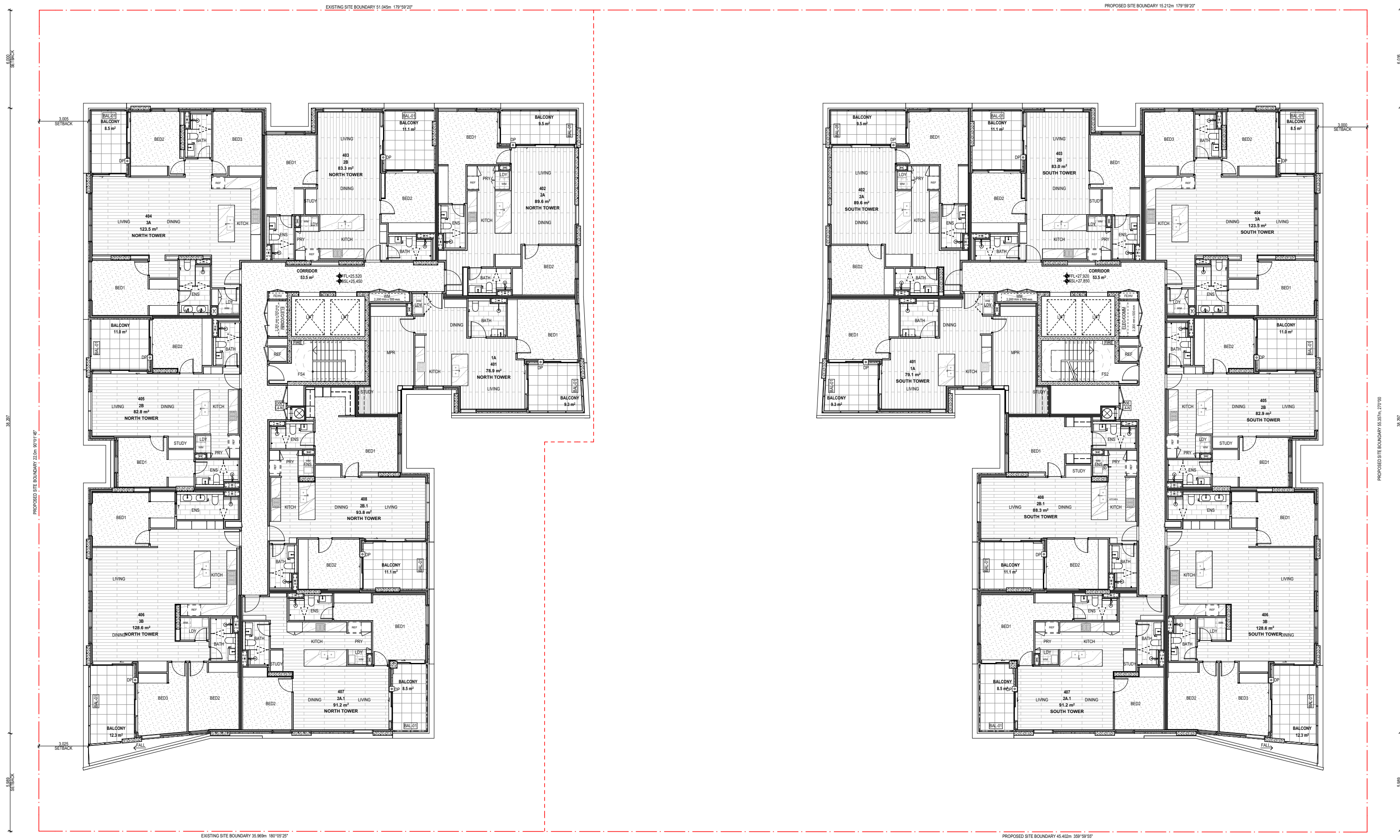
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LEVEL 4

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MINOR CHANGE

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Project Name
Project Number
Project Address

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Drawn By
Checked By
Date
Scale

HN
RM
22/04/2026
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Drawing Series
Drawing Name

Overall Plans 200
GAP Level 4

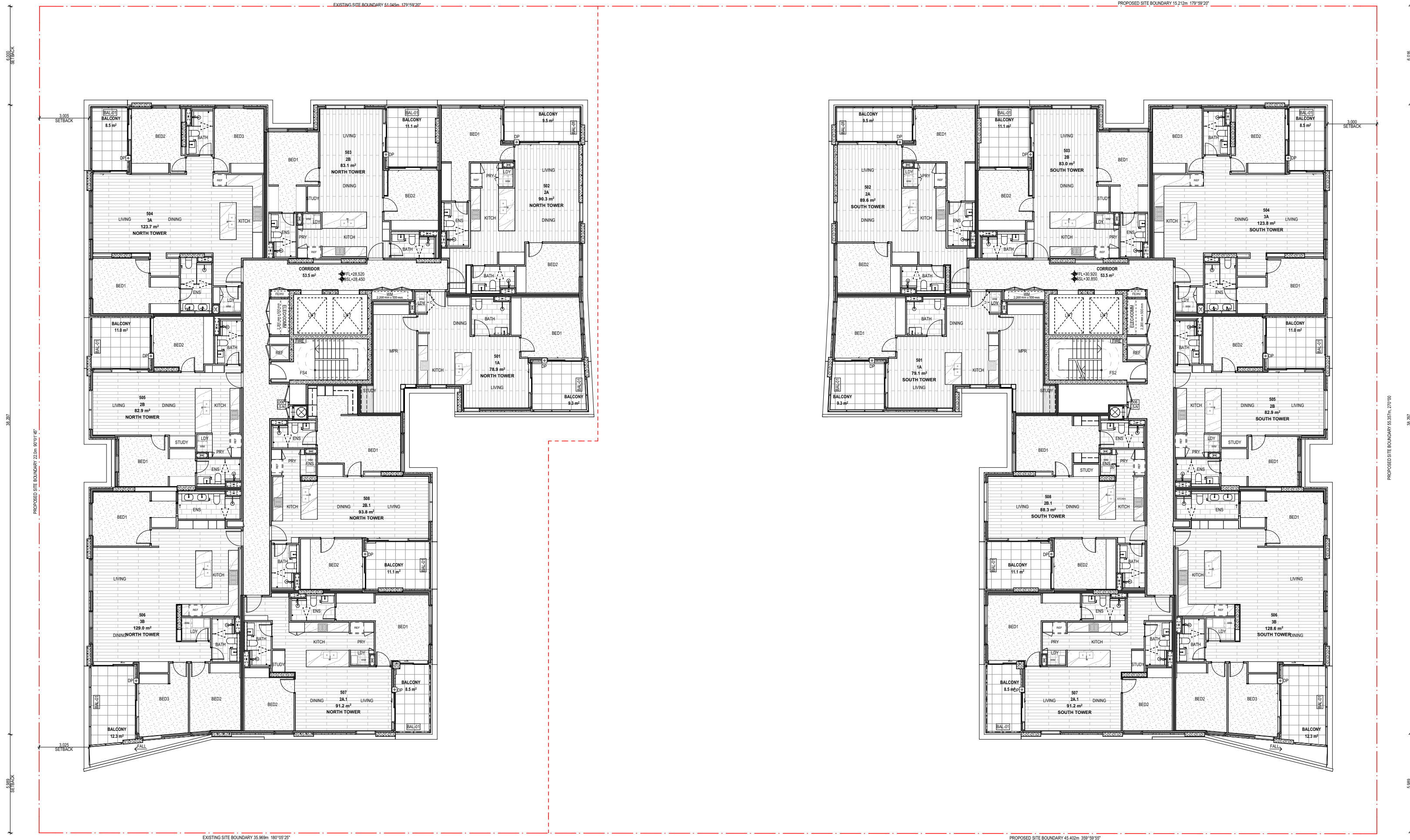
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Revision

AR-2007
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LEVEL 5

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Drawn By
Checked By
Date
Scale

HN
RM
22/04/2026
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Drawing Series
Drawing Name

Overall Plans 200
GAP Level 5

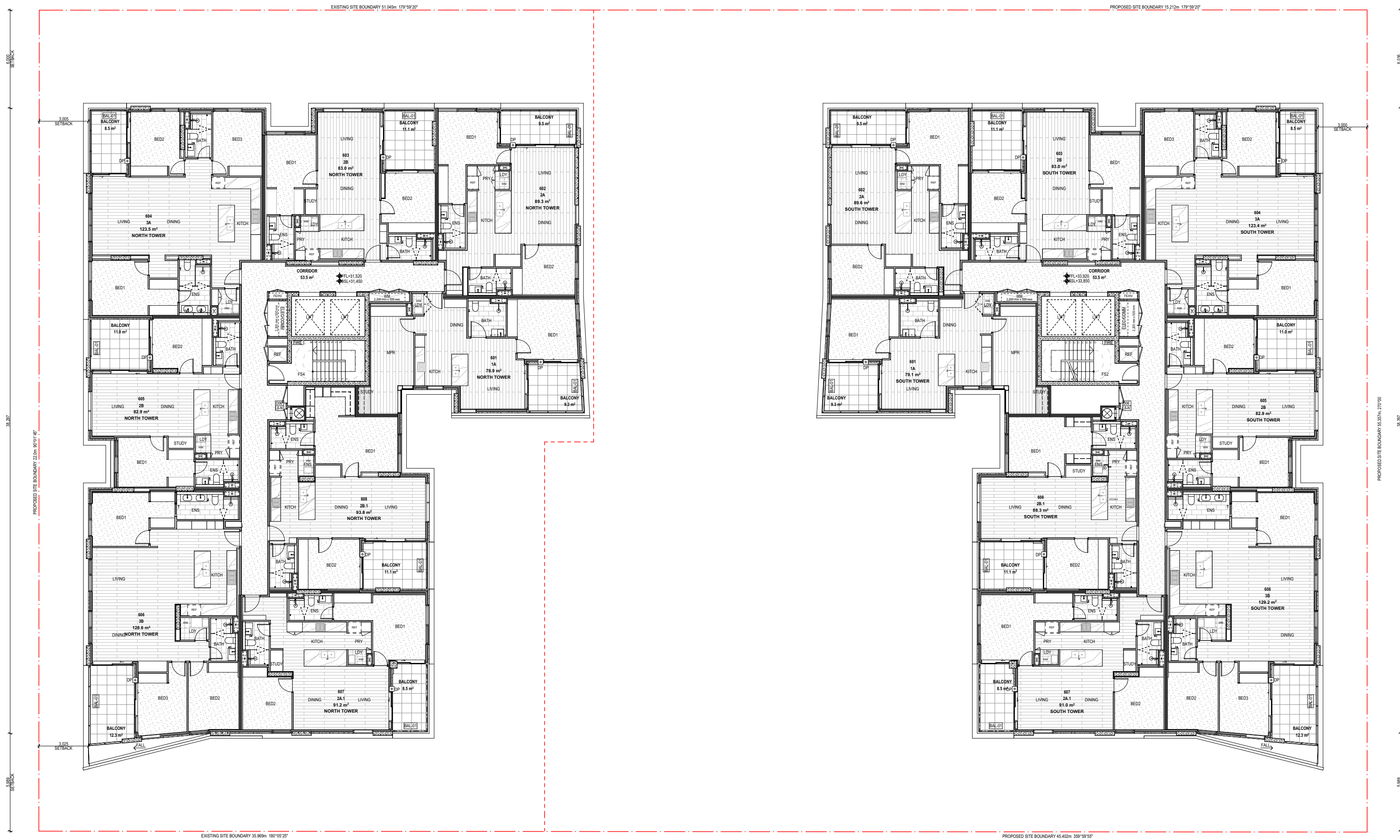
Drawing Number
Revision

AR-2008
D

LEVEL 6

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Project Name
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23-39 Abbotsford Rd,
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Drawn By
Checked By
Date
Scale

HN
RM
22/04/2026
1:200@A1

Drawing Series
Drawing Name

Overall Plans 200
GAP Level 6

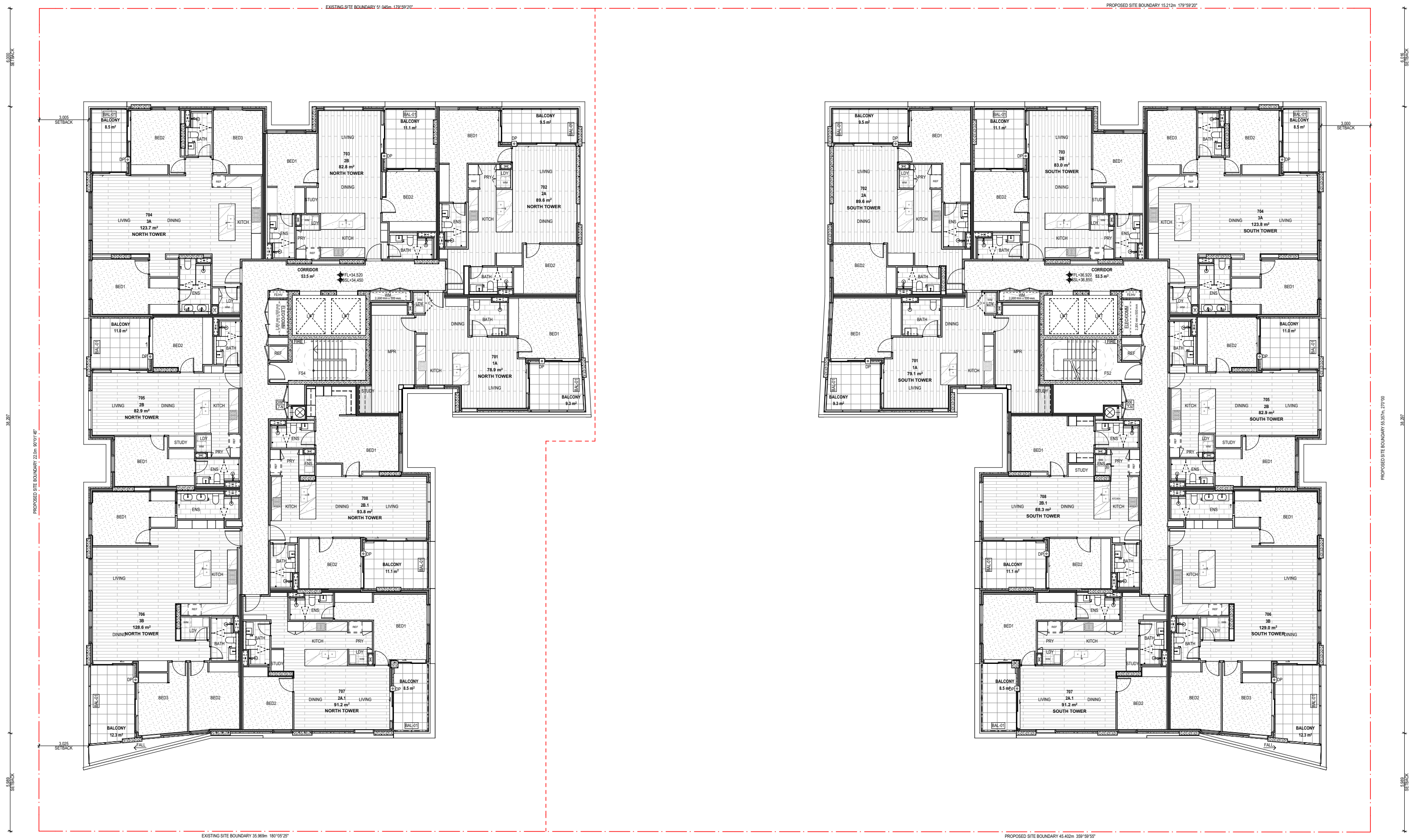
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Revision

AR-2009
D

LEVEL 7

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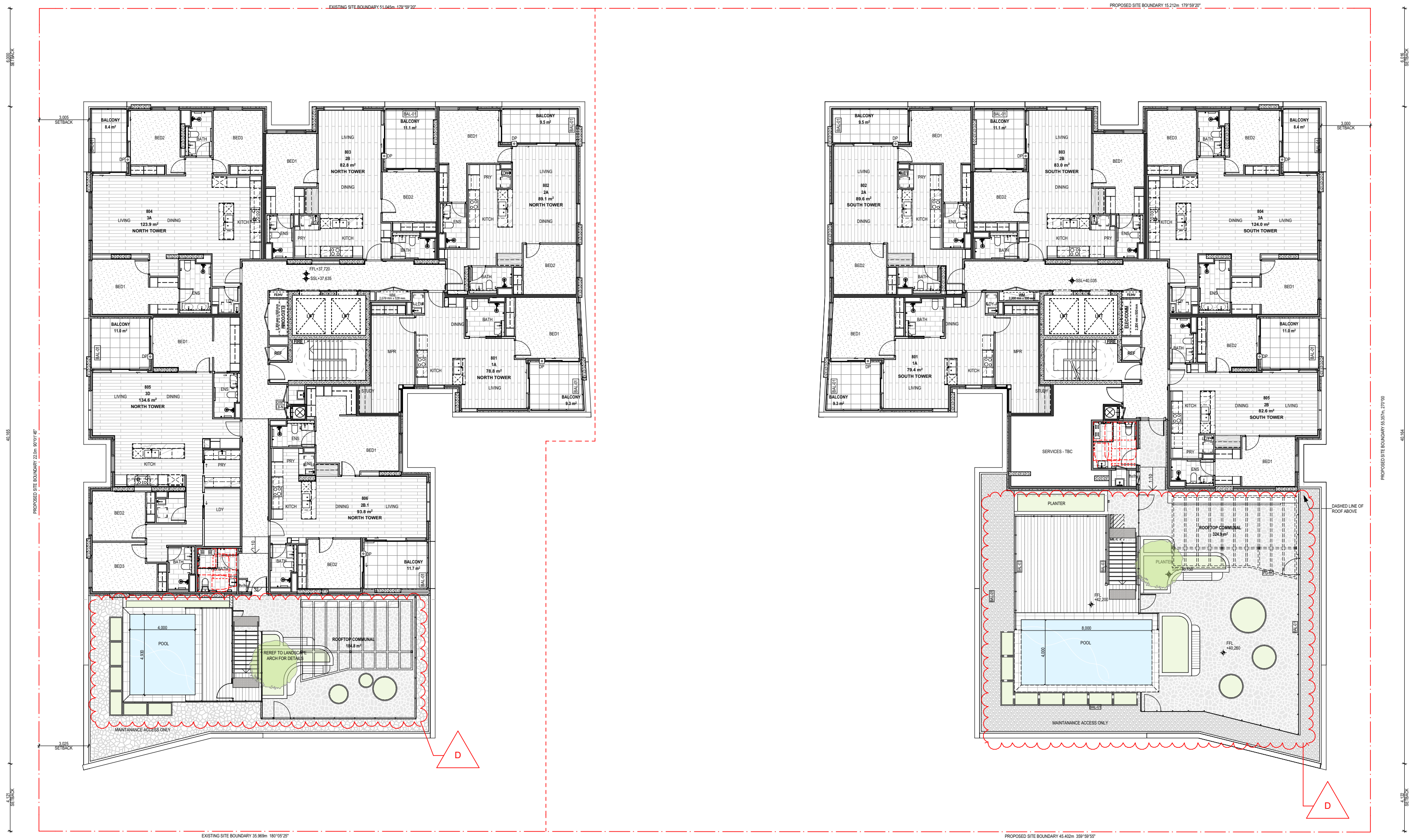
Drawing Series	Overall Plans 200
Drawing Name	GAP Level 7

Drawing Number **AR-2010**
Revision **D**

LEVEL 8

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Rev	Date	By	Chk	Description
T01	26/08/2024	TP		FOR TENDER
B	22/10/2024	TP		MINOR CHANGE APPLICATION
C	11/12/2025	HN	RM	MINOR CHANGE APPLICATION
D	22/04/2026	KR		MINOR CHANGE APPLICATION

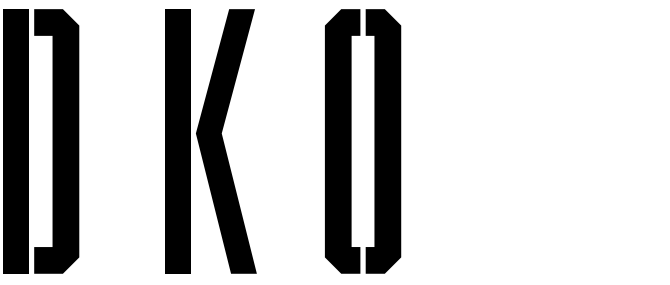
MINOR CHANGE

NOT FOR
CONSTRUCTION

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Civil Eng'r	[Scott Clements] T +61 7 3857 7868
Services Eng'r	Mathew Burke T +614 089 292 34
Fire Eng'r	Kevin Yu T +61 4 501 881 89
Acoustic Eng'r	[Acoustic Eng'r] T +61 3 xxxx xxxx
Traffic Eng'r	[Casey Glover] T +614 340 280 17



DKO Architecture (QLD) Pty Ltd Level 3, 232 Adelaide Street Brisbane, QLD 4000 T +61 7 3726 9588 info@DKO.com.au www.DKO.com.au ABN: 61413787636		
Project Name	Abbotsford Rd, Bowen Hills	
Project Number	00013360	
Project Address	23-39 Abbotsford Rd, Brisbane, QLD 4006	
Drawn By	HN	
Checked By	RM	
Date	22/04/2026	
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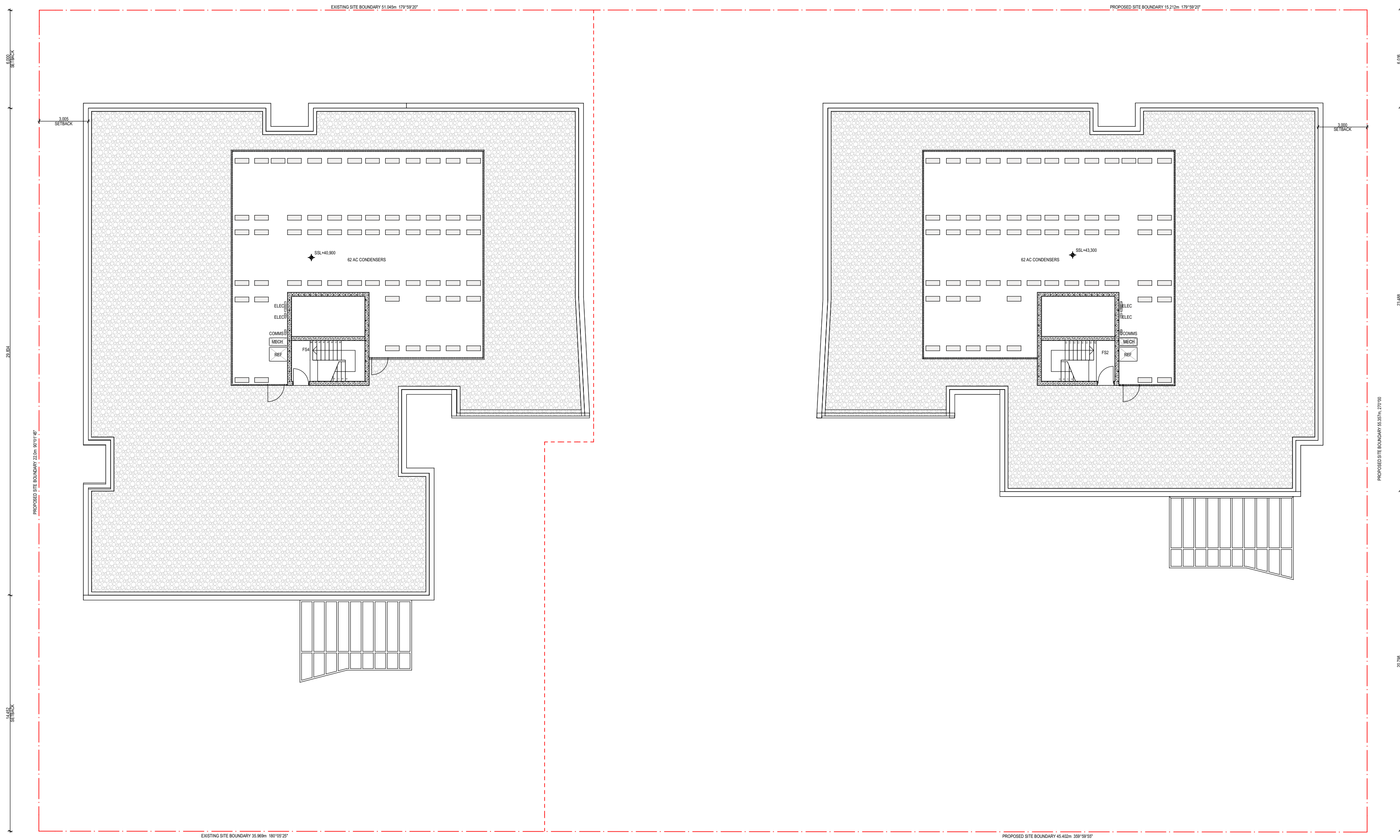
Drawing Series	Overall Plans 200
Drawing Name	GAP Level 8

Drawing Number **AR-2011**
Revision **D**

ROOF PLAN

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Builder/Contractor shall verify job dimensions before any job commences.
Figured dimensions take precedence over drawings and job dimensions.
All shop drawings shall be submitted to the Architect/Consultant, and
manufacture shall not commence prior to return of inspected shop
drawings by the Architect/Consultant



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Project Name Abbotsford Rd, Bowen Hills
Project Number 00013360
Project Address 23-39 Abbotsford Rd,
Brisbane, QLD 4006

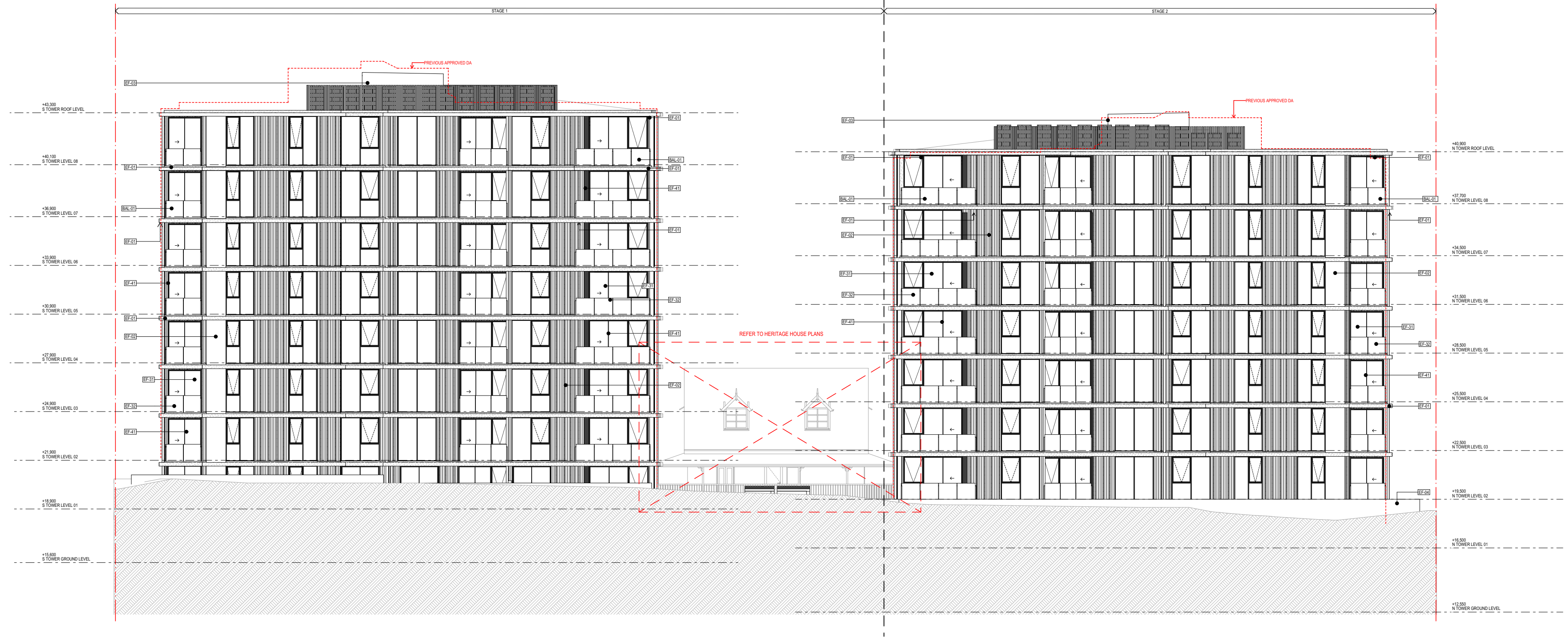
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Drawing Series Overall Plans 200
Drawing Name GAP Roof Plan

Drawing Number **AR-2012**
Revision **D**



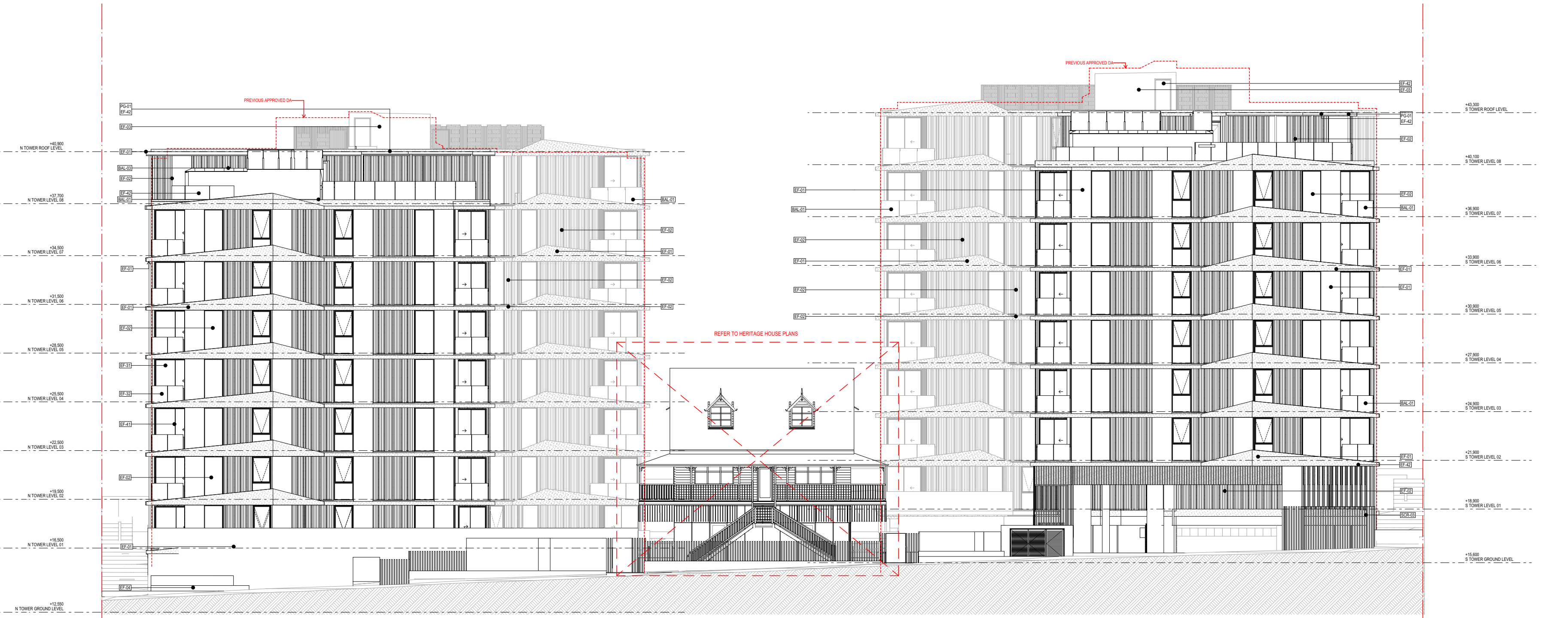
1 NORTH ELEVATION
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2 EAST ELEVATION
1:200



3 SOUTH ELEVATION
1:200



4 WEST ELEVATION
1:200

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Rev	Date	By	Chk	Description
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Consultants

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DKO

Project Name
Project Number
Project Address

Abbotsford Rd, Bowen Hills
00013360
23-39 Abbotsford Rd,
Brisbane, QLD 4006

Drawn By
Checked By
Date
Scale

HN
22/04/2026
1:200@A1

Drawing Series
Drawing Name

Elevations
General Elevations

Drawing Number
Revision

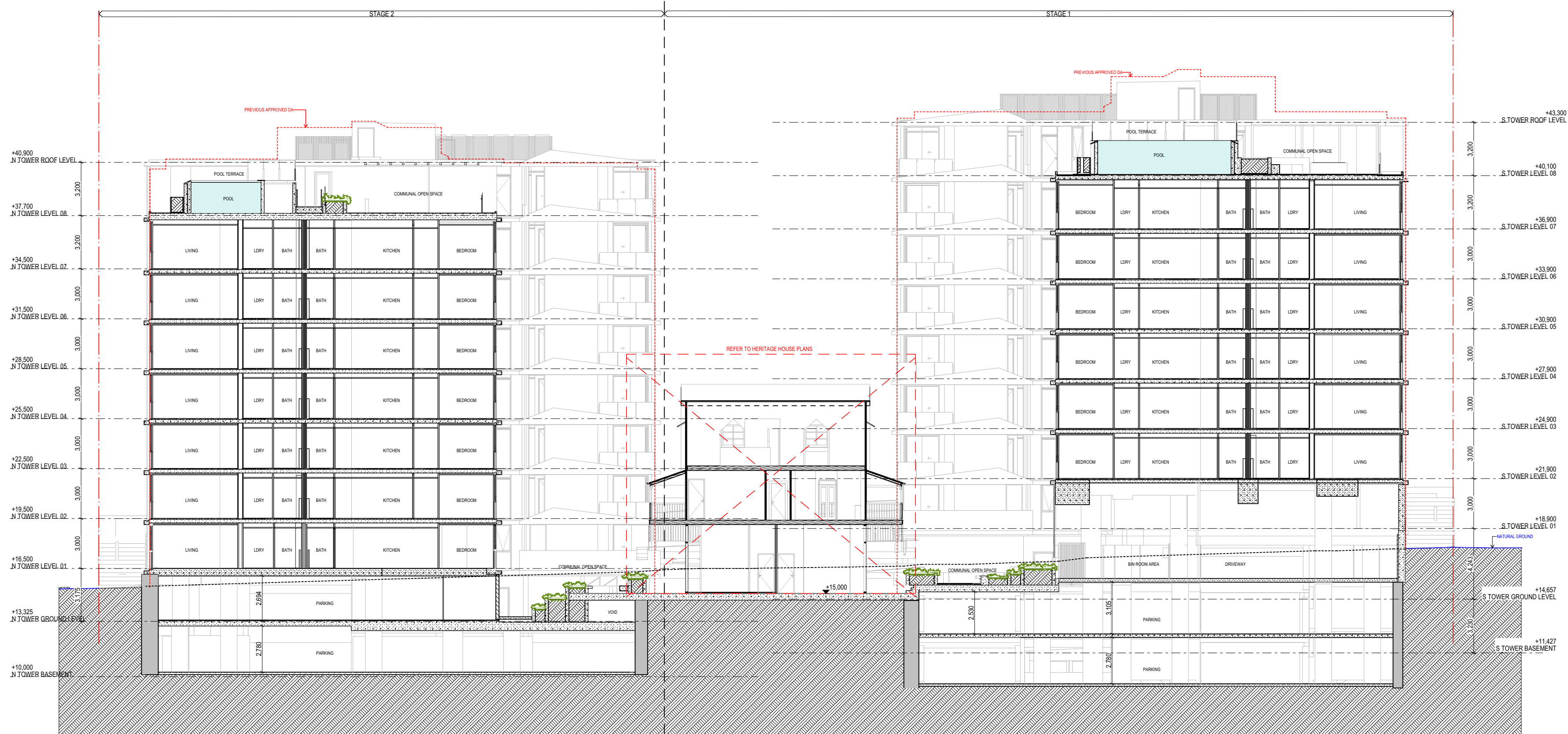
AR-3000
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PLANS AND DOCUMENTS
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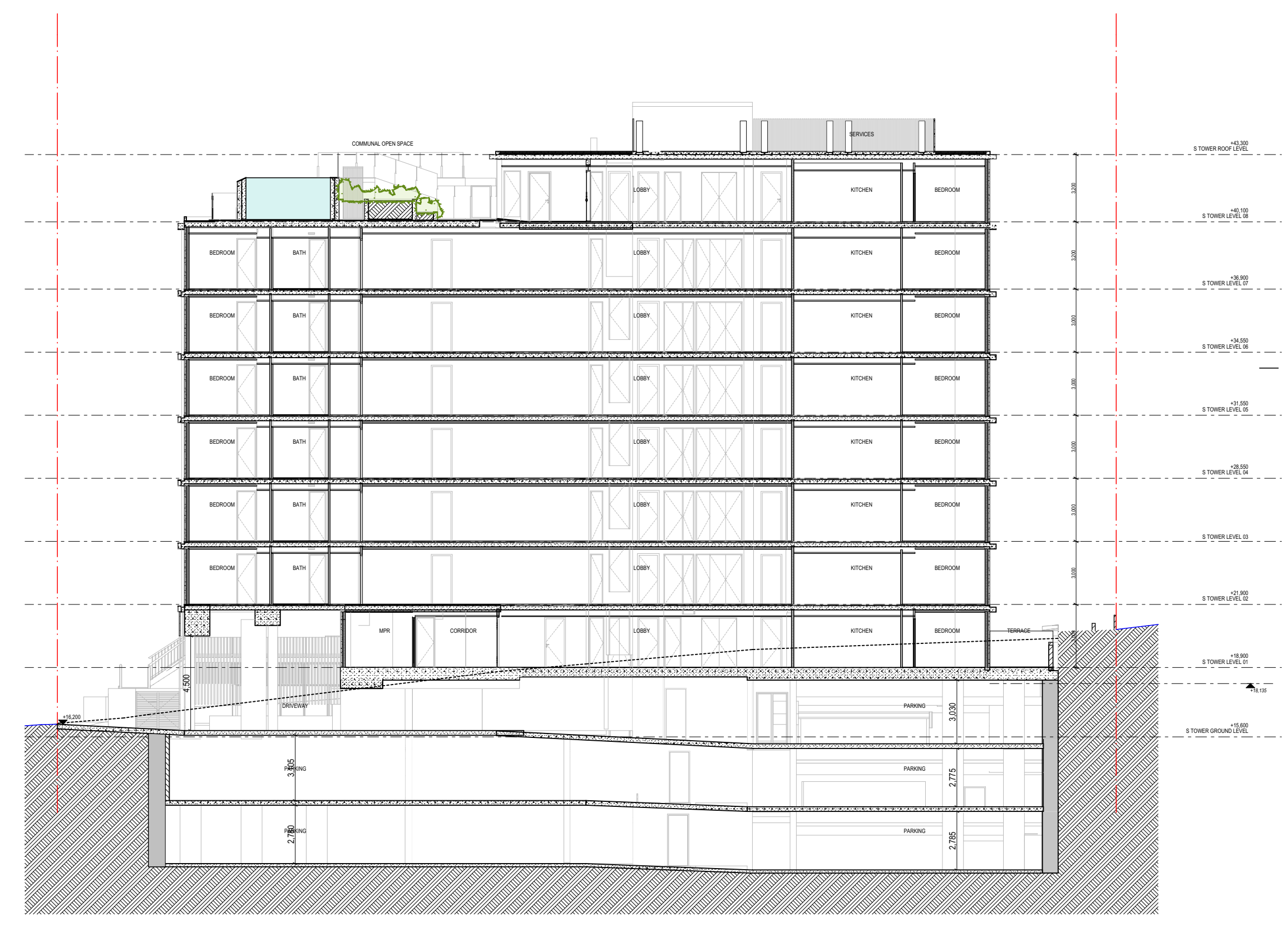
Approval no: DEV-2025-BNH-4174

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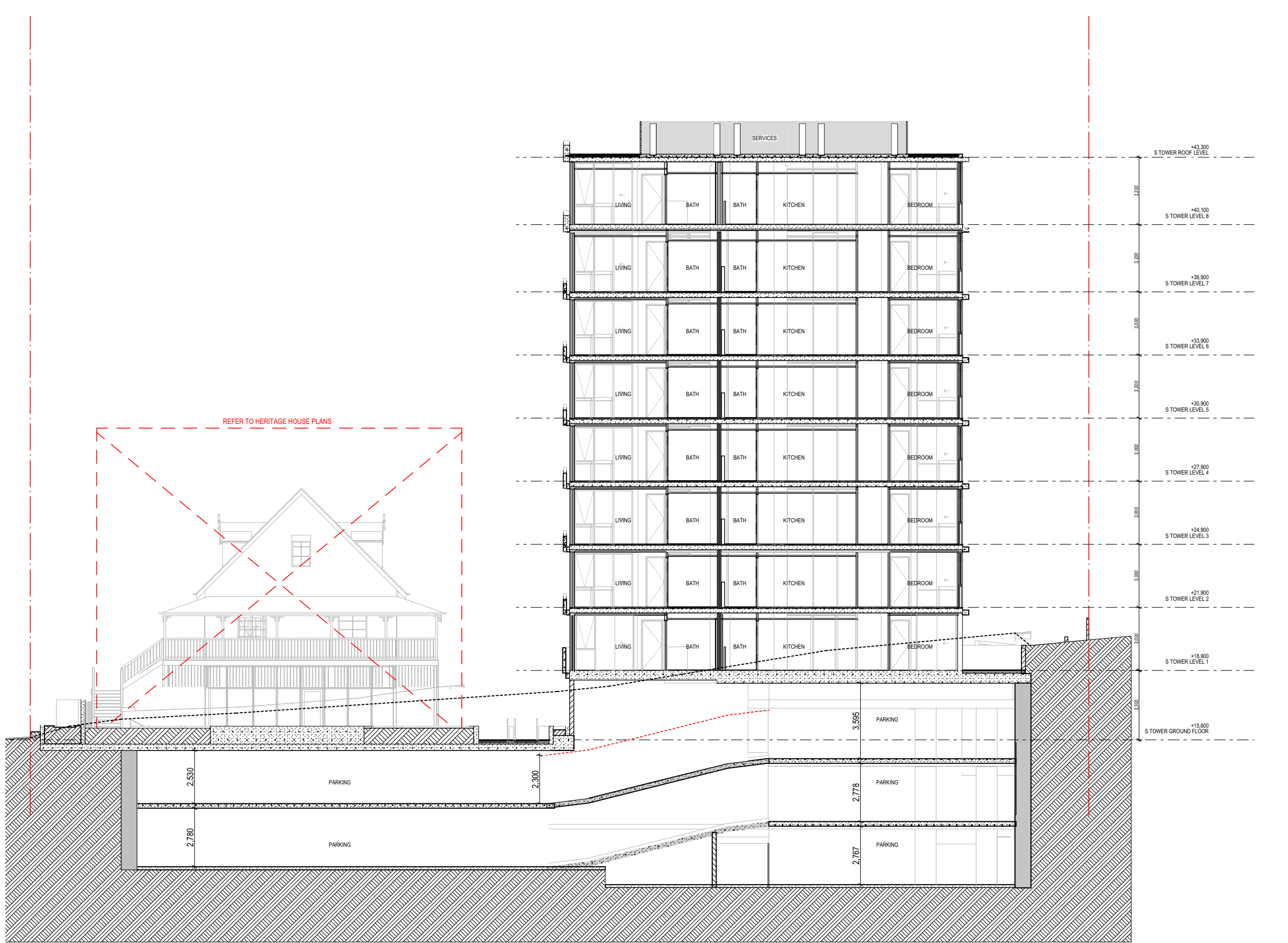
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3 SECTION 03
1:200



2 SECTION 02
1:200



4 SECTION 04
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Rev	Date	By	Chk	Description
	22/04/2026	HN		MINOR CHANGE APPLICATION

Rev	Date	By	Chk	Description
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Consultants

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ABN: 61413783636



Project Name
Project Number
Project Address

Abbotsford Rd, Bowen
Hills
00013360
23-39 Abbotsford Rd,
Brisbane, QLD 4006

Drawn By
Checked By
Date
Scale

HN
RM
22/04/2026
1:200@A1

Drawing Series
Drawing Name
Drawing Number
Revision

AR-3100
D