



PENDING LANDSCAPE COORDINATION
PENDING FINAL HYD. COORDINATION

Rev	Date	By	Chk	Description
P1	28/01/2026	CD	RM	FOR INFORMATION
P2	17/02/2026	CD	RM	HH FOR INFORMATION
P3	15/05/2026	CD	RM	FOR INFORMATION
P4	22/05/2026	CD	RM	DA MINOR CHANGE - HERITAGE HOUSE
P5	11/06/2026	EH	EH	DA MINOR CHANGE - HERITAGE HOUSE

NOT FOR
CONSTRUCTION

ISSUED FOR
INFORMATION ONLY

Client Details T -
Cintra Property E -
Builder: Binah Construction

THE ABBOTSFORD

23-39 ABBOTSFORD RD,
BOWEN HILLS
HERITAGE HOUSE

A Current Transmittal		
ID	Name	Rev.
A001 DD - Design Development for Approval		
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A0100	SITE PLAN	P5
A1000	EXISTING 3D VIEWS	P5
A1001	PROPOSED 3D VIEWS	P5
A2300 Demolition Plans		
A2100	DEMOLITION GAP PLANS - LEVEL 1 & 2	P5
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A2102	DEMOLITION RCP PLANS - GROUND & LEVEL 1	P5
A2500 Proposed GAP & RCP Plans		
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A2501	PROPOSED GAP PLANS - LEVEL 2 & ROOF	P5
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A3200 Demolition Elevations		
A3200	DEMOLITION ELEVATIONS - WEST & NORTH	P5
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A4400 Details		
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A4401	DETAIL SECTION & ELEVATIONS - STAIR 01 SHEET 2	P2
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A Current Transmittal		
ID	Name	Rev.
A4406	WINDOW DETAILS- SILL HEAD & JAMB	P2
A4407	DOMER DETAILS	P3
A4408	EXTERNAL DETAILS - WALL JUNCTIONS	P2
A4409	DETAILS - MISC	P3
A4410	ROOF DETAILS- RIDGE, BARGE RETURN & FINIAL	P3

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Project Name Abbotsford Rd, Bowen Hills
Project Number 00013360
Project Address 23-39 Abbotsford Rd,
Brisbane, QLD 4006

Drawn By EH
Checked By
Date 17/06/2026
Scale 1:1, 1:100@A1

Drawing Series DD - Design Development for
Drawing Name Approval
COVER SHEET

Drawing Number **A0000**
Revision **P5**

GENERAL NOTES:

CONTRACTOR TO CONDUCT SITE INSPECTION FOR
DIAPADATION REPORT PRIOR TO THE COMMENCEMENT OF
CONSTRUCTION.
CONTRACTOR SHALL VISIT THE SITE PRIOR TO TENDERING, TO
ASCERTAIN ACCESS & SITE CONDITIONS.
CONTRACTORS & ALL SUB-CONTRACTORS SHALL CHECK ALL
DIMENSIONS BEFORE COMMENCING CONSTRUCTION &
RESTORATION WORKS.
ALL STRUCTURE EXISTING & PROPOSED TO BE VERIFIED &
CONFINED BY STRUCTURAL ENGINEER INCLUDING FLOORING /
WALLS / ROOFING.
ALL STRUCTURAL SIZES TO BE CONFIRMED PRIOR TO
CONSTRUCTION.
CONTRACTOR TO ALLOW FOR NEW ELECTRICAL FIGURES IN
LOCATION OF EXISTING INCLUDING GPO'S / LIGHT FIXTURES /
SWITCHES & DATA.

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
CONFIRM ALL LEVELS & DIMENSIONS ON SITE BEFORE
COMMENCEMENT OF ANY WORKS.
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH
ARCHITECTURAL SPECIFICATION AND SCHEDULES AND
ALL OTHER CONSULTANTS DOCUMENTATION. ANY
DISCREPANCIES SHALL BE
REFERRED TO THE SUPERINTENDENT PRIOR TO
COMMENCEMENT OF WORK.
SITE SETOUT PLAN SHOULD BE READ IN CONJUNCTION WITH
SURVEY DRAWING, CHECK DIMENSIONS AND SITE
SETOUT PRIOR TO COMMENCEMENT OF WORK.
ALL WORK TO COMPLY WITH THE NATIONAL CONSTRUCTION
CODE OF AUSTRALIA, AUSTRALIAN STANDARDS & ALL
OTHER RELEVANT AUTHORITIES.
DEMOLISH EXISTING CROSSING, KERBS & CHANNELS AND MAKE
WAY FOR NEW WORK. ALLOW FOR THE
RECONSTRUCTION & RE-GRADING OF FOOTPATHS & THE
CONSTRUCTION OF NEW CROSSING TO THE SATISFACTION
OF THE RESPONSIBLE AUTHORITY.
ALL WORKS TO COMPLY WITH ALL RELEVANT S.A.A. CODES.
AS 2870 - RESIDENTIAL SLABS & FOOTINGS CONSTRUCTION,
AS 1288 - GLASS IN BUILDINGS - SELECTION & INSTALLATION,
AS 3786 - SMOKE ALARMS,
AS 3680.1 - TERMITE MANAGEMENT,
AS 1684 - RESIDENTIAL TIMBER-FRAMED ONSTRUCTION CODE,
AS 3740 - WATERPROOFING OF WET AREAS IN RESIDENTIAL
BUILDINGS.
ALL STAIRS, RAMPS, HANDRAILS & TACTILE INDICATORS TO
COMPLY
WITH AS 1428.1-2001 AND AS/NZS 1428.4
ALL WINDOWS ARE TO BE INSTALLED IN ACCORDANCE WITH AS
2047.
ALL GLAZING TO BE SELECTED AND INSTALLED IN ACCORDANCE
WITH
AS 1288
ARTIFICIAL LIGHTING TO COMPLY WITH AS 1680
EXHAUST VENTILATION TO THE ENSUITE / BATHROOMS AND
LAUNDRIES
TO COMPLY WITH AS1688.2.
FALLS IN FLOOR FINISHES TO BE PROVIDED IN ACCORDANCE
WITH
AS3740-2010

REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR ALL
PLANTING, PAVING AND COURTYARD DETAILS.
REFER SERVICES ENGINEER'S DOCUMENTATION FOR ALL
SERVICES.
ALL STAIRS, RAMPS, HANDRAILS & TACTILE INDICATORS TO
COMPLY WITH AS 1428.1-2001 AND AS/NZS 1428.4
ALL WINDOWS ARE TO BE INSTALLED IN ACCORDANCE WITH AS
2047.
ALL GLAZING TO BE SELECTED AND INSTALLED IN ACCORDANCE
WITH AS 1288
ARTIFICIAL LIGHTING TO COMPLY WITH AS 1680
EXHAUST VENTILATION TO THE ENSUITE / BATHROOMS AND
LAUNDRIES TO COMPLY WITH AS1688.2.
FLOOR WASTES TO BE PROVIDED IN ACCORDANCE WITH
CLAUSE
F1.11 OF NCC
FALLS IN FLOOR FINISHES TO BE PROVIDED IN ACCORDANCE
WITH AS3740-2010

BCA COMPLIANCE NOTES:

1. GLAZING ASSEMBLIES ARE TO COMPLY WITH BCA 2014
CLAUSE B1.4 & F1.13, AS 2047:1999 AMDT 1 & 2 AND AS
1288:2008 AMDT 1 & 2.
2. FIRE HAZARD PROPERTIES OF LININGS, MATERIALS AND
ASSEMBLIES ARE TO COMPLY WITH BCA 2014 CLAUSE C1.10 AND
SPEC C1.10.
3. DOORWAYS AND DOORS ARE TO COMPLY WITH BCA 2014
CLAUSE D2.18 & D2.20.
4. OPERATION OF DOOR LATCHES IS TO COMPLY WITH BCA 2014
CLAUSE D2.21.
5. ACCESS FOR PEOPLE WITH DISABILITIES IS TO COMPLY WITH
BCA 2014 CLAUSES D3.1, D3.2, D3.6 SIGNAGE AND D3.12
GLAZING AND AS 1428.1 - 2009 AMDT 1.
6. MARKING OF GLAZING IN ACCORDANCE WITH BCA 2014 D3.12,
AND AS 1428.1 - 2009 AMDT 1.
7. CONSTRUCTION OF SANITARY FACILITIES IS TO BE IN
ACCORDANCE WITH BCA 2014 CLAUSE F2.5.
9. ARTIFICIAL LIGHTING & POWER IS TO BE IN ACCORDANCE
WITH BCA 2014 CLAUSE F4.4, J6.2, J6.3, J6.4, J6.5 & J6.6 &
AS/NZS 1580.2:2009.
10. NATURAL VENTILATION IS TO BE IN ACCORDANCE WITH BCA
2014 CLAUSE F4.5, F4.6 & F4.7.
11. MECHANICAL VENTILATION IS TO BE IN ACCORDANCE WITH
BCA 2014 CLAUSE F4.7, F4.9, J3.5 & J3.7 (EVAPORATIVE
COOLERS), J6.2, J6.3, J6.4 & J6.5 & AS 1688.2 - 2012.
12. HOT WATER SUPPLY (ENERGY EFFICIENCY) - BCA 2014
CLAUSE J7.2 & PART B2 OF NCC VOLUME 3 - PLUMBING CODE
OF AUSTRALIA.

LEGEND

FFL +15.020 FINISHED FLOOR LEVEL
SSL +15.000 STRUCTURAL SLAB LEVEL

ABBREVIATIONS

AFFL ABOVE FINISHED FLOOR LEVEL
SSL STRUCTURAL SLAB LEVEL
HOB CONCRETE HOB
REL RELATIVE LEVEL (ABOVE AHD)
RBS REGISTERED BUILDING SURVEYOR
BAL BALUSTRADE TYPE
EQ EQUAL
FCL FINISHED CEILING LEVEL
FFL FINISHED FLOOR LEVEL
FS EMERGENCY AUDIBLE WARNING
RED STROBE DEVICE
BO BALCONY OUTLET
DP 900IA DOWN PIPE
NOM NOMINAL
UNO UNLESS NOTED OTHERWISE
COL-A TIMBER POST
COL-B STRUCTURAL STEEL SHS
COL-C 250DIA CIRCULAR TIMBER STUMBS

EXISTING & DEMO LEGEND

V-VJ ORIGINAL VJ TIMBER WALL
PANELING 135mm W/ HALF
ROUND BEADING - VERTICAL
H-VJ ORIGINAL VJ TIMBER WALL
PANELING 135mm W/ HALF
ROUND BEADING - HORIZONTAL
O-HL ORIGINAL HORSE HAIR & LATCH
WALL LINING
O-SK ORIGINAL SKIRTING TO BE
RETAINED, FINISH STRIPPED
BACK TO SUBSTRATE & MADE
GOOD
NO-SK NON-ORIGINAL SKIRTING TO BE
REMOVED & DEMOLISHED,
DAMAGE TO WALL, FLOOR OR
ORIGINAL SKIRTING TO BE
REPAIRED, REPLACED WITH NEW
SKIRTING TO MATCH ORIGINAL
THROUGHOUT
NO-SK NON-ORIGINAL SKIRTING TO BE
REMOVED & DEMOLISHED,
DAMAGE TO WALL, FLOOR OR
ORIGINAL SKIRTING TO BE
REPAIRED, REPLACED WITH NEW
SKIRTING TO MATCH ORIGINAL
THROUGHOUT

EXISTING WALL TO BE
RETAINED & MADE GOOD
NEW WALL

NEW DOOR

EXISTING DOOR TO BE
RETAINED & MADE GOOD

EXISTING BUILDING ELEMENTS TO BE
DEMOLISHED, WALL JUNCTIONS TO BE
REPAIRED WHERE DAMAGED

EXISTING DOORS TO BE DEMOLISHED

EXISTING & DEMOLITION NOTES

CONTRACTOR TO MAKE GOOD ALL EXISTING ORIGINAL WALLS,
WALL LININGS, CORNICES & SKIRTING TO ORIGINAL CONDITION.
CONTRACTOR TO MAKE GOOD ALL EXISTING ORIGINAL DOORS,
WINDOWS, ARCHITRAVES & SILLS TO ORIGINAL CONDITION.
CONTRACTOR TO REMOVE & DEMOLISH ALL EXISTING
JOINERY UNITS.
REFER TO SERVICES CONSULTANTS DRAWINGS FOR
DEMOLITION OF ELECTRICAL & HYDRAULIC FOR REMOVAL &
CAPPING OF REDUNDANT SERVICES.
ALL DEMOLISHED ELECTRICAL SERVICES TO BE CUT, REMOVED
&/OR CAPPED.
REMOVE ALL FLOOR FINISHES, INCLUDING BUT NOT LIMITED TO
CARPET & VINYL, REPAIR TIMBER FLOOR BOARD SUBSTRATE
WHERE DAMAGED.
REPAIR DAMAGED FASCIA & BARGE BOARDS WHERE
NECESSARY TO MATCH ORIGINAL DETAIL.
REMOVE NON-ORIGINAL PLY ROOF SOFFIT.
REMOVE EXISTING ROOF SHEETING & REPAIR DAMAGED
PURLINS / TRUSSES
WHERE DEMOLITION WORKS ARE TO TAKE PLACE ENSURE
THAT ALL ADJOINING & SURROUNDING SURFACES INCLUDING
BUT NOT LIMITED TO FINISHES, STRUCTURES & SUBSTRATES IF
DAMAGED ARE TO BE REPAIRED & RESTORED TO ORIGINAL
CONDITIONS, DAMAGED OR AFFECTED AREAS CAUSED BY
DEMOLITION WORKS ARE TO BE REPAIRED BY THE
CONTRACTOR.
REMOVE ALL PLYWOOD PANELING FROM EXTERNAL CLADDING
& OPENINGS
REMOVE ALL EXTERNAL CLADDING, REPLACE WITH NEW
BOARDS TO MATCH ORIGINAL
REMOVE ALL PERIMETER STEPS & NON-ORIGINAL CORNICES IN
CEILING

RCP NOTES

REFER TO FITOUT REFLECTED CEILING PLANS FOR DETAILED
SET OUT INFORMATION - REFER INTERIOR DRAWINGS
SAMPLES REQUIRED IN CORRECT FINISH FOR ALL FITTINGS
BACK OF HOUSE LIGHTING TO ELEC. ENG. DRAWINGS
REFER TO JOINERY DRAWINGS FOR LIGHTING WITHIN JOINERY
BULKHEADS TO ALIGN WITH ADJACENT WALLS FOR
CONTINUOUS SURFACE.
FLUSH MOUNTED SET BEAD ACCESS PANEL, PAINTED FINISH TO
MATCH CEILING. RONDOPANTHER SRAP SET BEAD OR
EQUIVALENT, NOMINAL 450X450 ACCESS PANEL SIZE
REFER INTERIOR DRAWINGS

RCP LEGEND

+15.020
CT XX
FINISHED CEILING LEVEL ABOVE FFL
CEILING TYPE REFER TO CEILING SCHEDULE
D XX
PEL 01
PEL MET DETAIL, REFERENCE NUMBER
PEL MET DETAIL, REFER TO AR-DKO-7096

EXTENT OF INSULATION TO U/S SLAB
AS PER SEC J
EXPOSED FIRE SPRINKLER HEAD
SPRINKLER STANDARD PENDANT
SIDE MOUNTED FIRE SPRINKLER
FS - AUDIBLE WARNING DEVICE RED STROBE

ELECTRICAL LEGEND:

LED STRIP LIGHT
RECESSED DOWNLIGHT
INTERNAL CAN LIGHT - CENTERED TO ISLAND BENCH
EXTERNAL CAN LIGHT
WALL LIGHT
CEILING FAN - REFER TO
INTERIOR LIGHTING SCHEDULE
EXHAUST FAN
SMOKE ALARM
FIRE INDICATOR PANEL
MOTION DETECTOR
CEILING SPEAKER
WALL MOUNTED SPEAKER
EMERGENCY LIGHTING
EMERGENCY BATTEN LIGHTING
BULKHEAD / CEILING LINEAR AC VENT
AC EXTERIOR CONDENSER
AC INTERIOR WALL UNIT
FIRE DAMPER TO DUCT FROM CORRIDOR TO APARTMENT
REFER MECH. DRWS FOR DETAILS
MECH EXHAUST GRILLE
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH
ALL INTERIOR, SERVICE ENGRS DRAWINGS AND
DOCUMENTATION

ELEVATIONS / SECTIONS

PLANS ARE TO BE READ IN CONJUNCTION WITH THE WALL TYPE
SCHEDULE. REFER SERIES A90
REFER ALSO GRID SETOUT PLAN A0103
DIMENSIONS ARE TO THE FACE OF STUDS U.N.O

SFL 15.000 STRUCTURAL FLOOR LEVEL (+AHD)

FFL 15.000 FINISHED FLOOR LEVEL (+AHD)

FCL 15.000 FINISHED CEILING LEVEL (+AHD)

FCH 2700 FINISHED CEILING HEIGHT (AFFL)

EF01 EXTERIOR FINISH, REFER ASCH01 FINISHES
SCHEDULE FOR DETAILS

WINDOW & DOOR LABELS

D01 DOOR TYPE 01

G
D03
LEVEL
DOOR NUMBER/ TYPE

01
W03
LEVEL
WINDOW NUMBER/ TYPE

EXTERIOR FINISHES LEGEND

EF-01H: EXTERIOR PAINT - OATMILK
BAXTA ENGINEERED COATINGS- LOW SHEEN
FINISH
EF-02H: EXTERIOR PAINT - DOVE
BAXTA ENGINEERED COATINGS- LOW SHEEN
FINISH
EF-03H: EXTERNAL PAINT - CORTADO
BAXTA ENGINEERED COATINGS- LOW SHEEN
FINISH
EF-32H: GLASS - CLEAR
CLEAR GLAZING
EF-43H: POWDER COAT - SURFMIST
DILLUX POWDER COATING, DURATED
ELEMENTS, MATT FINISH
EF-50H - METAL ROOF - ZINCALUME
0.6 BMT, CUSTOM ORB PROFILE, ZINCALUME
STEEL
EF-51H - STEEL GUTTER - COATED
0.6BMT, OGEE PROFILE, COATED TO MATCH
EF-02H
EF-52H - STEEL DOWNPIPE - COATED
0.6BMT, 900 STEEL COATED TO MATCH
EF-02H
EF-60 H-FC CLADDING - OATMILK
JAMES HARDIE, FC MATRIX CLADDING,
PAINTED EF-01H
EF-61H: TIMBER CLADDING - CHAMFER
BOARD - OATMILK
TREATED PINE CHAMFER BOARD, PROFILE
TO BE APPROVED BY HERITAGE
CONSULTANT - COLOUR EF-01H

WINDOW SCHEDULE

ALL DIMENSIONS SHOWN TO OUTER FRAMING ARE TO
STRUCTURAL OPENINGS & TO BE CONFIRMED ON SITE PRIOR
TO FABRICATION.
CONTRACTOR TO ALLOW FOR CLEARANCES AS REQUIRED,
INCLUDING SUBSILLS & SUBHEADS OR THE LIKE.
MANUFACTURER TO ALLOW FOR OTHER COMPONENTS &
NECESSARY TOLERANCES AS REQUIRED.
REFER TO DETAILS AS MARKED FOR FURTHER INFORMATION.
ALL WINDOW & LOUVRES WHEN ACTING AS A BARRIER/
BALUSTRADE TO BE ADEQUATELY ENGINEERED &
CONSTRUCTED TO THE SATISFACTION OF THE CERTIFIER -
REFER TO NOTE 4 TYPICAL.
DETAILS ARE FOR DESIGN INTENT PURPOSES ONLY & ARE NOT
TO BE USED AS SHOP DRAWINGS.
ALL EXTERNAL FACADE WINDOWS, LOUVRES & DOORS ARE
VIEWED FROM THE EXTERNAL SIDE UNLESS NOTED
OTHERWISE.
DIMENSION MAY VARY SLIGHTLY TO ACCOMMODATE FOR
STRUCTURAL VARIANCE ALLOW ADEQUATE DEFLECTION TO
ALL STRUCTURAL ELEMENTS AS PER STRUCTURAL ENGINEERS
RECOMMENDATIONS.
WINDOW AND DOOR PANELS SHALL BE EQUALLY SPACED
UNLESS NOTED OTHERWISE.
INTERNAL WINDOW SILLS NOT TO EXCEED 19mm AS PER
AS1288
SAMPLES OF ALL GLASS TO BE PROVIDED TO THE ARCHITECT
FOR APPROVAL PRIOR TO MANUFACTURE OF WINDOW
ALL GLASS IS TO MEET VISIBILITY REQUIREMENTS AS PER
PART3.8.4.6 OF THE BCA, AS1288, & AS 1428.1
ALL GLAZING & ASSOCIATED FRAMING TO COMPLY WITH
AS1288, AS2047 & ALL OTHER RELEVANT STANDARDS.
ALL EXTERNAL GLAZED DOORS TO BE PROVIDED WITH FULL
PERIMETER SEAL & WEATHER SEALS AS SPECIFIED - REFER TO
DOOR SCHEDULE.
GAPS BETWEEN WINDOW AND/OR DOOR FRAME & THE
BUILDING FABRIC TO BE ADEQUATELY SEALED.
ALL EXTERNAL HINGED DOORS & OPENING WINDOW SASHES TO
BE FITTED WITH DRAUGHT PROOF SEALS.
ALL EXPOSED FRAMED ELEMENT EDGES TO HAVE SUITABLE
ENDCAPS TO MATCH FRAME SEALED WATERTIGHT.
LOUVRE OPENINGS TO MEET MECHANICAL & AIR FLOW
REQUIREMENTS
ALL EXHAUST FANS TO BE DUCTED & SEALED.
ALL WEATHER RESISTANT WATERPROOF LOUVRE SYSTEMS TO
BE PROVIDED WITH VERMINPROOF MESH OVER FACE OF
EXHAUST BOOT, COLOUR TO MATCH WINDOW FRAME.
NOTE:
ALL GLAZING & ANY ASSOCIATED FRAMING, WHEN ACTING AS A
BARRIER AND/OR BALUSTRADE, MUST COMPLY WITH BCA & ALL
OTHER RELEVANT STANDARDS (INCLUDING ANY OPENABLE
SECTIONS) SASHES/ HINGES/ FIXINGS ETC.) TO THE
SATISFACTION OF THE RELEVANT BUILDING SURVEYOR
NOTE 2
REFER TO FIRE ENGINEERS REPORT FOR ALL WINDOWS &
OPENINGS WITHIN CLOSE PROXIMITY OF THE ADJOINING
PROPERTIES
AS PER PART C3.2 OF THE BCA.
METHOD OF COLOURING THE GLASS & OPENABLE SASH
ELEMENTS TO COMPLY WITH APPROVED FIRE ENGINEERS
REPORT
NOTE 3
REFER TO PART J REPORT BY OTHERS FOR ALL INSULATION &
THERMAL REQUIREMENTS & ALL MINIMUM GLAZING
COMPONENT SIZES FOR ALL OTHER REQUIREMENTS I.E
SAFETY GLAZING REFER TO ENGINEERS REQUIREMENTS &
REFER TO NOTE 2 ABOVE FOR ADDITIONAL PART C
REQUIREMENTS.
NOTE 4
PLEASE NOTIFY ARCHITECT/CONSULTANT WITH ANY ISSUES
PRIOR TO FABRICATION FOR DESIGN INTENT REVIEW

LEGEND

DOUBLE MULLION
HINGED SIDE
NOTE-OPENABLE SASHES FOR WINDOWS WITH
125mm MAX RESTRICTIVE OPENING - REFER NOTE 1
DENOTES SAFETY GLASS TO AS1288
*WINDOWS TO 500mm AFFL
*SIDELIGHTS TO 1200mm AFFL
*DOORS TO 2000mm AFFL
WINDOW SEATS AS DEFINED IN AS1288.5.13 TO
COMPLY WITH AS1288 FOR SAFETY GLASS

ABBREVIATIONS

COL COLUMN
EQ EQUAL
FCL FINISHED CEILING LEVEL
FFL FINISHED FLOOR LEVEL
FD FIXED DOOR
FG FIXED GLASS
HD HINGED DOOR
AL ALUMINIUM PANEL
AS AWNING SASH
BF BIFOLD DOOR
WTP WATERPROOF
WP WEATHERPROOF
OS OPERABLE SASH
SD SLIDING DOOR
SP SPANDREL PANEL
IGU INSULATED GLAZED UNIT
DGU DOUBLE GLAZED UNIT
HHC HERITAGE HOUSE COLUMNS

CSP NOTES

ALL DIMENSIONS ARE IN MILLIMETRES.
THIS DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL
CONSULTANTS DRAWINGS, DETAILS AND SPECIFICATIONS AND
WITH ANY SUPPORTED DOCUMENTATION ISSUED FOR THE
PURPOSE OF THE WORKS.
REFER TO ARCHITECTURAL DRAWINGS A4000 TO A4003 AND
STRUCTURAL ENGINEER'S DRAWINGS FOR RETENTION WALL
SYSTEM.
NOTIFY THE ARCHITECT IMMEDIATELY IF THERE IS ANY
CONFLICT/INCONSISTENCY/DISCREPANCY BETWEEN THE
DRAWINGS FOR DIRECTION/RESOLUTION.
GENERALLY, MINIMUM CLEAR HEADROOM OF 2300MM
REQUIRED THROUGHOUT CIRCULATION/PARKING AISLES AND
2300MM CLEAR ABOVE ALL CAR PARKING SPACES.
MINIMUM HEADROOM CLEARANCE SHALL BE MEASURED
BETWEEN THE FLOOR AND THE LOWEST OVERHEAD
OBSTRUCTION (E.G. FIRE SPRINKLER, LIGHTING FIXTURE,
PIPES, SIGN).
EXACT LOCATION AND SIZE OF STORMWATER TREATMENT
SYSTEM FILTER, BASEMENT DRAINAGE PUMP STATION,
DETENTION & RETENTION TANKS TO BE FINALISED AND
CONFIRMED BY SERVICES CONSULTANTS AND THE
CONTRACTOR.
SHOP DRAWINGS ARE TO BE SUBMITTED BY THE CONTRACTOR
FOR REVIEW AND APPROVAL.
THE CONTRACTOR IS TO REVIEW AND CONFIRM THE EXACT
LOCATION AND DIMENSION OF ALL SERVICES PENETRATIONS,
AS SHOWN ON ARCHITECTURAL DRAWINGS AND REQUIRED
THROUGH THE BUILDING STRUCTURE, WITH STRUCTURAL AND
SERVICES ENGINEERS.
REFER ALSO TO CIVIL ENGINEER'S DRAWINGS & HYDRAULIC
ENGINEER'S DRAWINGS FOR FULL EXTENT OF BASEMENT
DRAINAGE SYSTEM.
REFER ALSO TO STRUCTURAL DRAWINGS AND APPROVED
STRUCTURAL SHOP DRAWINGS FOR STRUCTURAL WALL AND
COLUMNS SIZES.
ANY DISCREPANCIES IN SIZES & SETOUTS ARE TO BE
REPORTED TO DKO FOR COMMENT / ASSESSMENT OF IMPACT.

CONCRETE SETOUT PLANS MUST BE READ IN CONJUNCTION
WITH STRUCTURAL & SERVICES ENGRS DRAWINGS FOR ALL
SLAB PENETRATION LOCATIONS.
REFER TO STRUCTURAL ENGINE'S DRAWINGS FOR MIN.
REINFORCEMENT REQUIREMENTS & CLEARANCES
REFER TO CIVIL ENGRS DRAWINGS FOR PIT LOCATIONS &
DETAILS
ALL COLUMNS ARE LOCATED CENTRALLY ON GRIDLINES,
UNLESS DIMENSIONED OTHERWISE.
ALL DIMENSIONS ARE TO THE CENTRELINE OF THE COLUMNS,
UNLESS NOTED OTHERWISE.

ALL PENETRATIONS ARE LOCATED CENTRALLY ON GRIDLINES,
UNLESS DIMENSIONED OTHERWISE.
ALL DIMENSIONS ARE TO THE CENTRELINE OF PENETRATIONS,
UNLESS NOTED OTHERWISE.
FOTTINGS OUTLINE SHOWN INDICATIVELY, REFER TO
STRUCTURAL DRAWINGS FOR DETAILS.

ALL BATHROOM WET AREAS ARE TO HAVE A 30mm SETDOWN IN
SLAB.

CSP LEGEND

SSL 15.000 STRUCTURAL SLAB LEVEL
30mm TYPICAL SLAB SETDOWN FOR LAUNDRY &
BATHROOM WET AREAS WHERE FALLS ARE
REQUIRED
LOCALISED FALL TO FLOOR WASTE
CONCRETE HOB
SLAB REBATE
DENOTES FULL PENETRATION
DENOTES LOCATION OF SERVICE PENO
ZONES, REFER TO SERVICE ENGRS
DWGS.

CSP ABBREVIATIONS

OF OVER FLOW PIPE
BO BALCONY OUTLET
DP DOWNPIPE
FW FLOOR WASTE
RWO RAINWATER OUTLET
PO PLANTER OUTLET
COL-A TIMBER POST
COL-B STRUCTURAL STEEL SHS
COL-C 250DIA CIRCULAR TIMBER HARDWOOD STUMBS

HOBS DETAILS

200x100
HOB1 200X100

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Builder/Contractor shall verify job dimensions before any job commences
Figured dimensions take precedence over drawings and job dimensions.
All shop drawings shall be submitted to the Architect/Consultant, and
nomenclature shall not commence prior to return of inspected shop
drawings by the Architect/Consultant

PENDING LANDSCAPE COORDINATION
PENDING FINAL HYD. COORDINATION

NOT FOR
CONSTRUCTION

ISSUED FOR
INFORMATION ONLY

Client Details T -
Cintra Property E -
Builder: Binah Construction

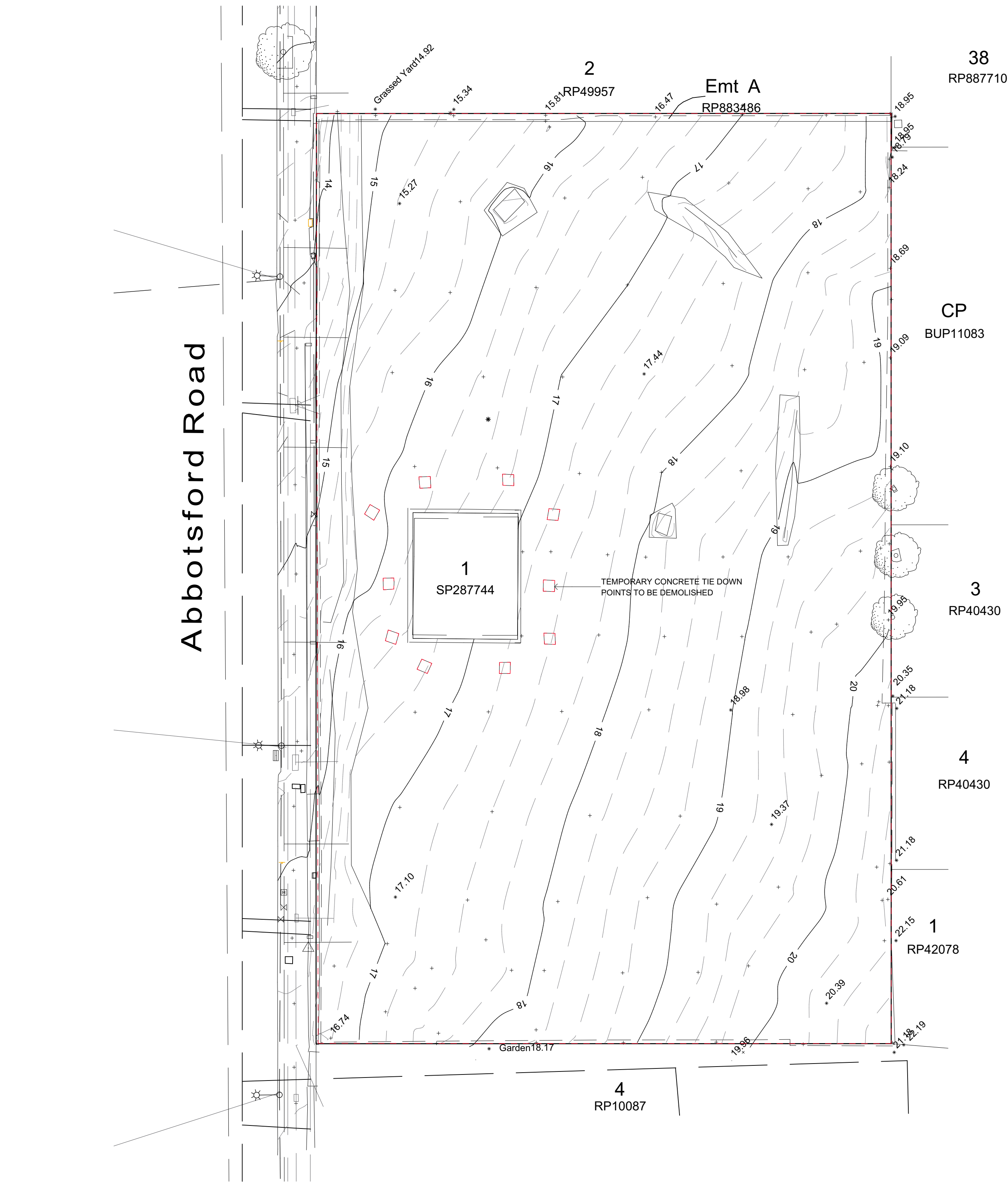
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Project Name Abbotsford Rd, Bowen Hills
Project Number 00013360
Project Address 23-39 Abbotsford Rd,
Brisbane, QLD 4006

Drawn By EH
Checked By
Date 17/06/2026
Scale @A1

Drawing Series DD - Design Development for
Drawing Name Approval
NOTES

Drawing Number A0001
Revision P5



1

Site Plan - Existing
1:250

Builder/Contractor shall verify job dimensions before any job commences.
Figured dimensions take precedence over drawings and job dimensions.
All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

Rev	Date	By	Chk	Description
P1	29/01/2026	CD	RM	FOR INFORMATION
P2	17/02/2026	CD	RM	H/I FOR INFORMATION
P3	15/05/2026	CD	RM	FOR INFORMATION
P4	22/05/2026	CD	RM	DA MINOR CHANGE - HERITAGE HOUSE
P5	11/06/2026	EH	EH	DA MINOR CHANGE - HERITAGE HOUSE

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Rev	Date	By	Chk	Description

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2

Site Plan - Proposed
1:250

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23-39 Abbotsford Rd,
Brisbane, QLD 4006

Drawn By
Checked By
Date
Scale

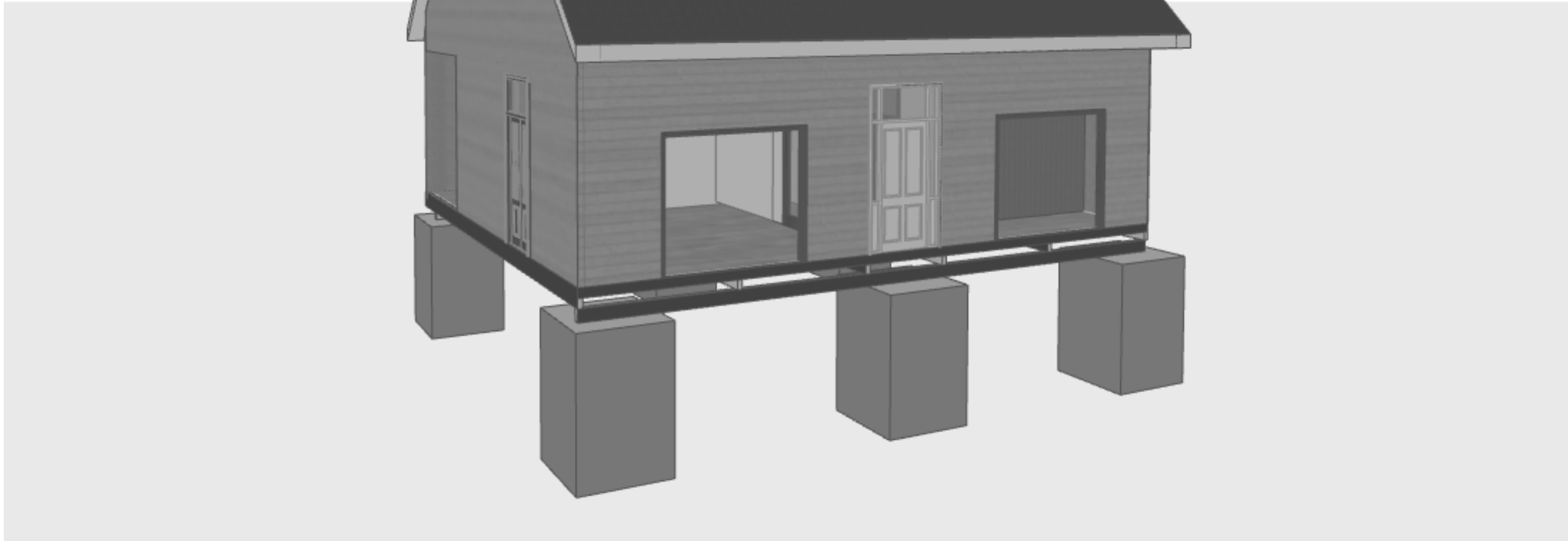
CD
EH
17/06/2026
1:250, 1:50@A1

Drawing Series
Drawing Name

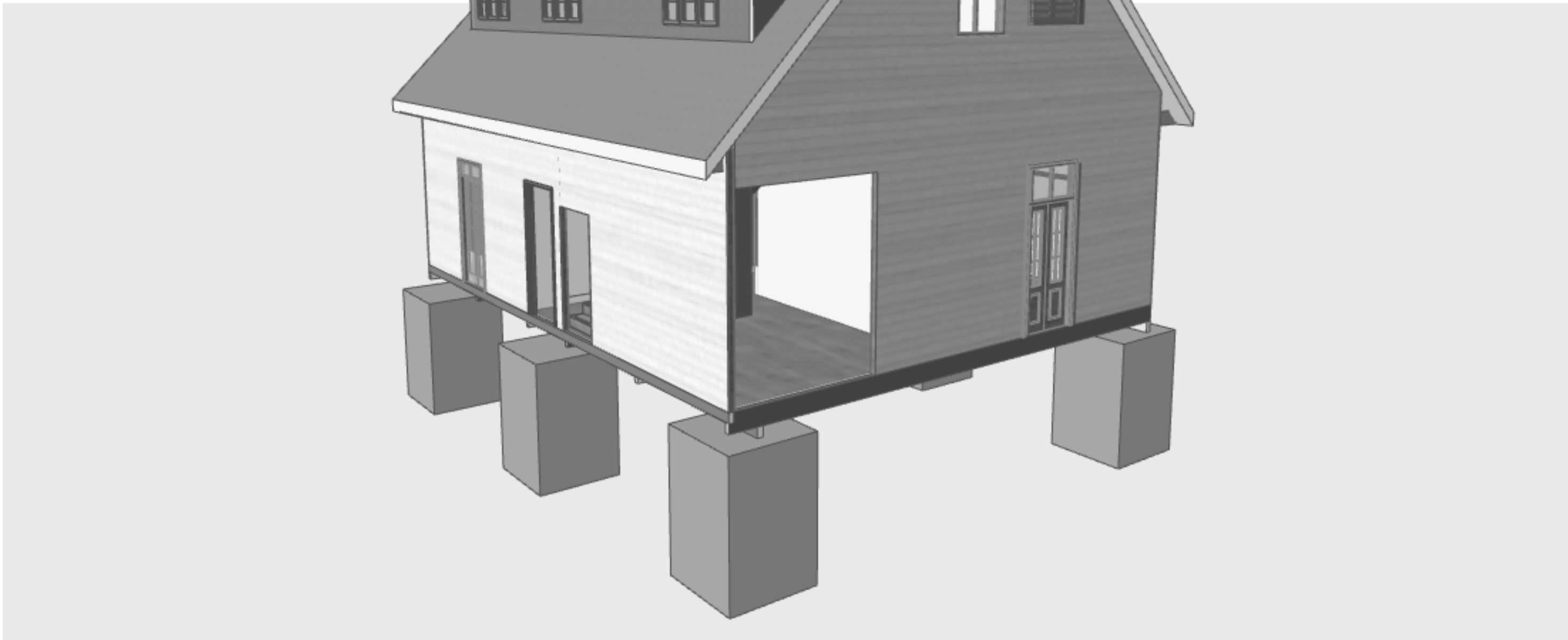
DD - Design Development for Approval
SITE PLAN

Drawing Number
Revision

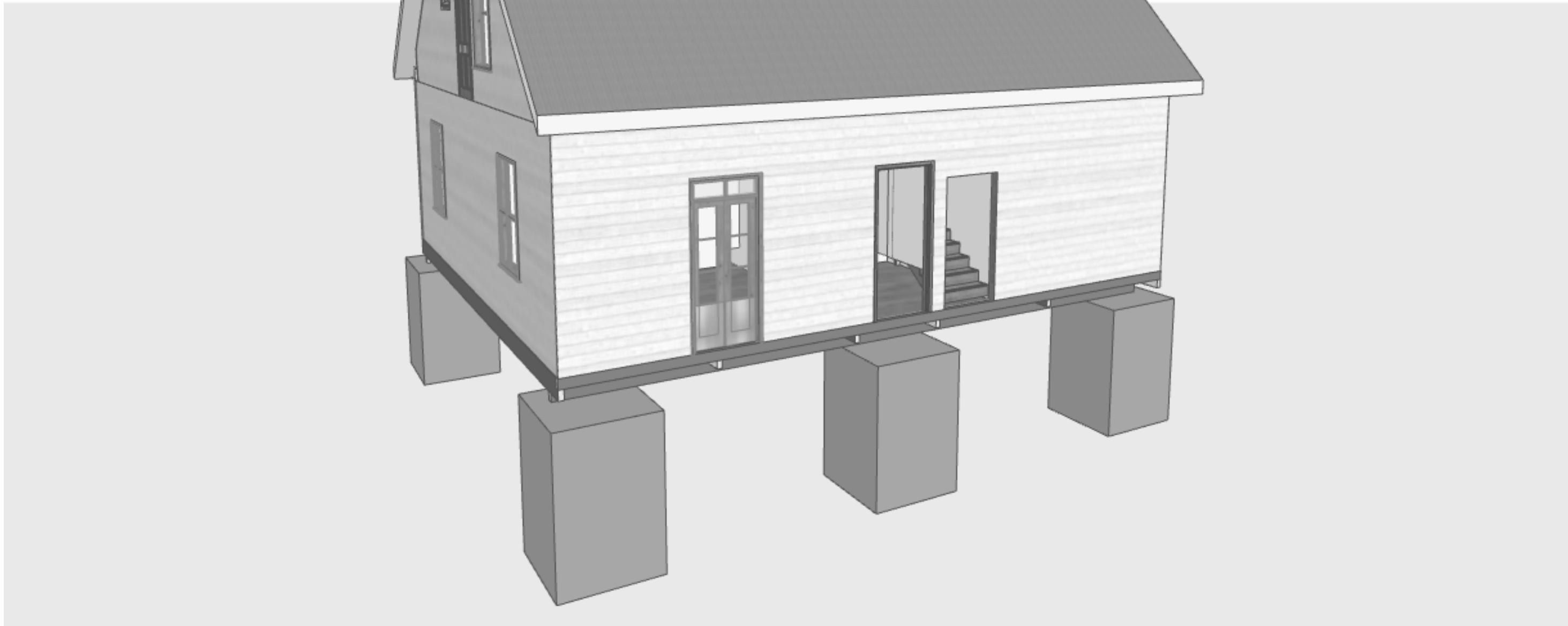
A0100
P5



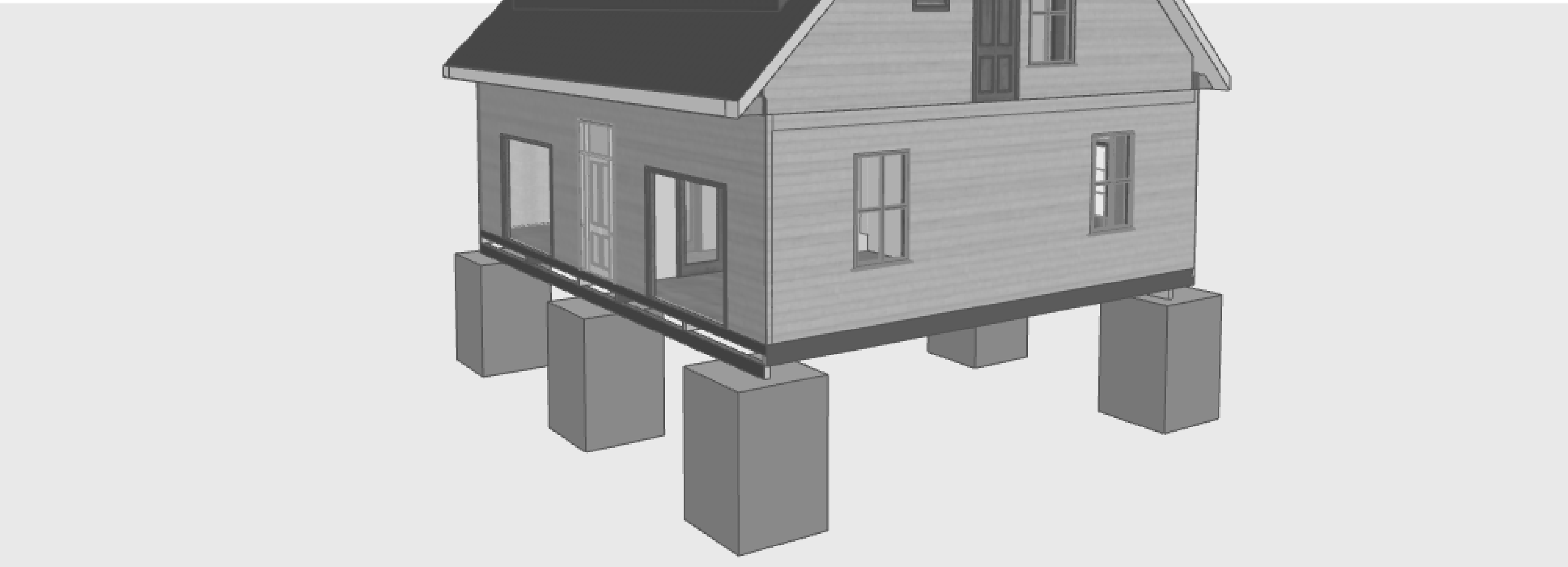
1 EXISTING VIEW - WESTERN FACADE



2 EXISTING VIEW - NORTHERN FACADE



3 EXISTING VIEW - EASTERN FACADE



4 EXISTING VIEW

Rev	Date	By	Chk	Description
P1	29/01/2026	CD	RM	FOR INFORMATION
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P3	15/05/2026	CD	RM	FOR INFORMATION
P4	22/05/2026	CD	RM	DA MINOR CHANGE - HERITAGE HOUSE
P5	11/06/2026	EH	EH	DA MINOR CHANGE - HERITAGE HOUSE

Rev	Date	By	Chk	Description
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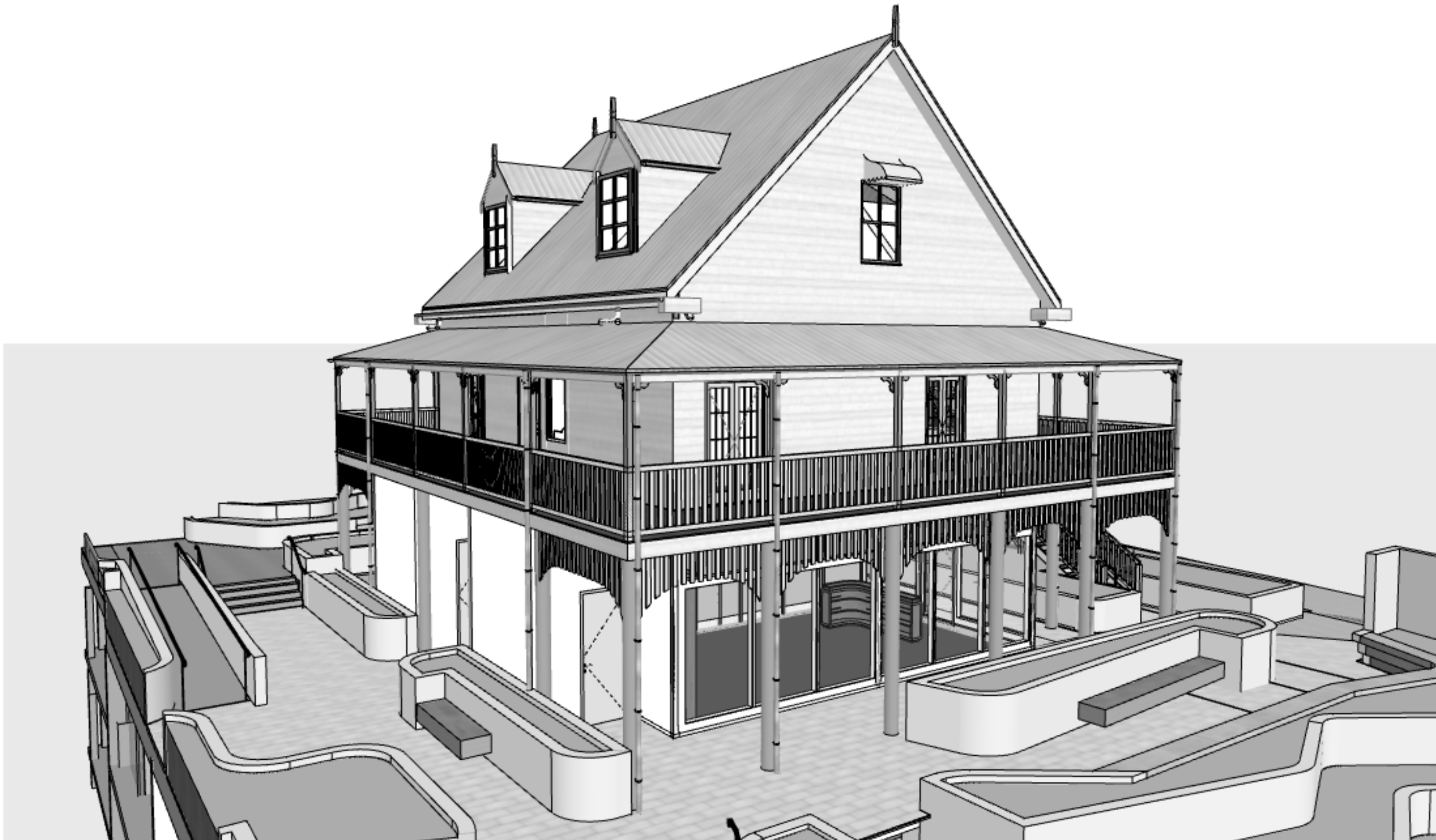
Consultants



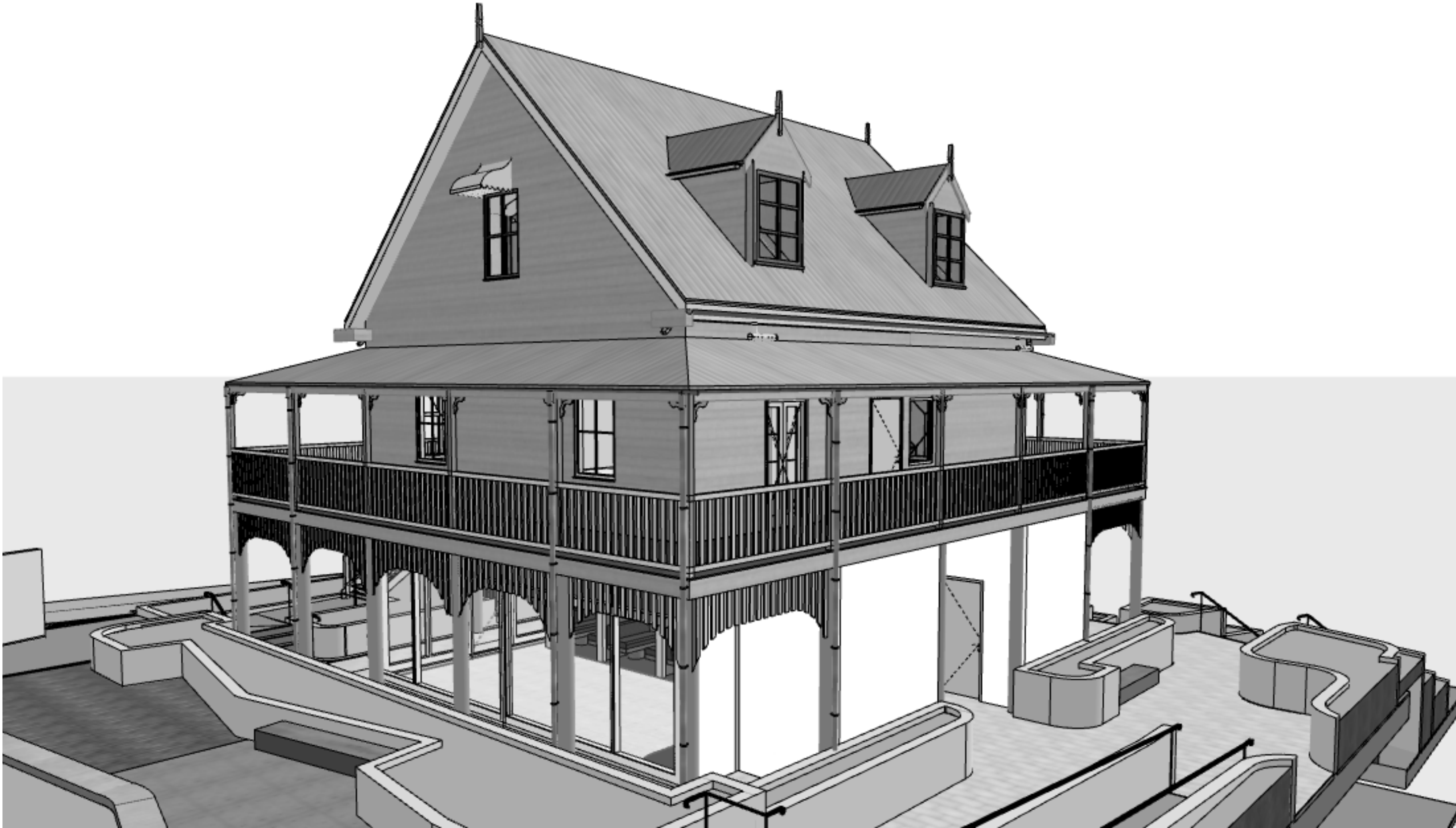
1 PROPOSED VIEW - SOUTH WEST



2 PROPOSED VIEW - NORTH WEST



3 PROPOSED VIEW - NORTH EAST



4 PROPOSED VIEW - SOUTH EAST

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P5	11/06/2026	EH	EH	DA MINOR CHANGE - HERITAGE HOUSE

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17/06/2026
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Drawing Series

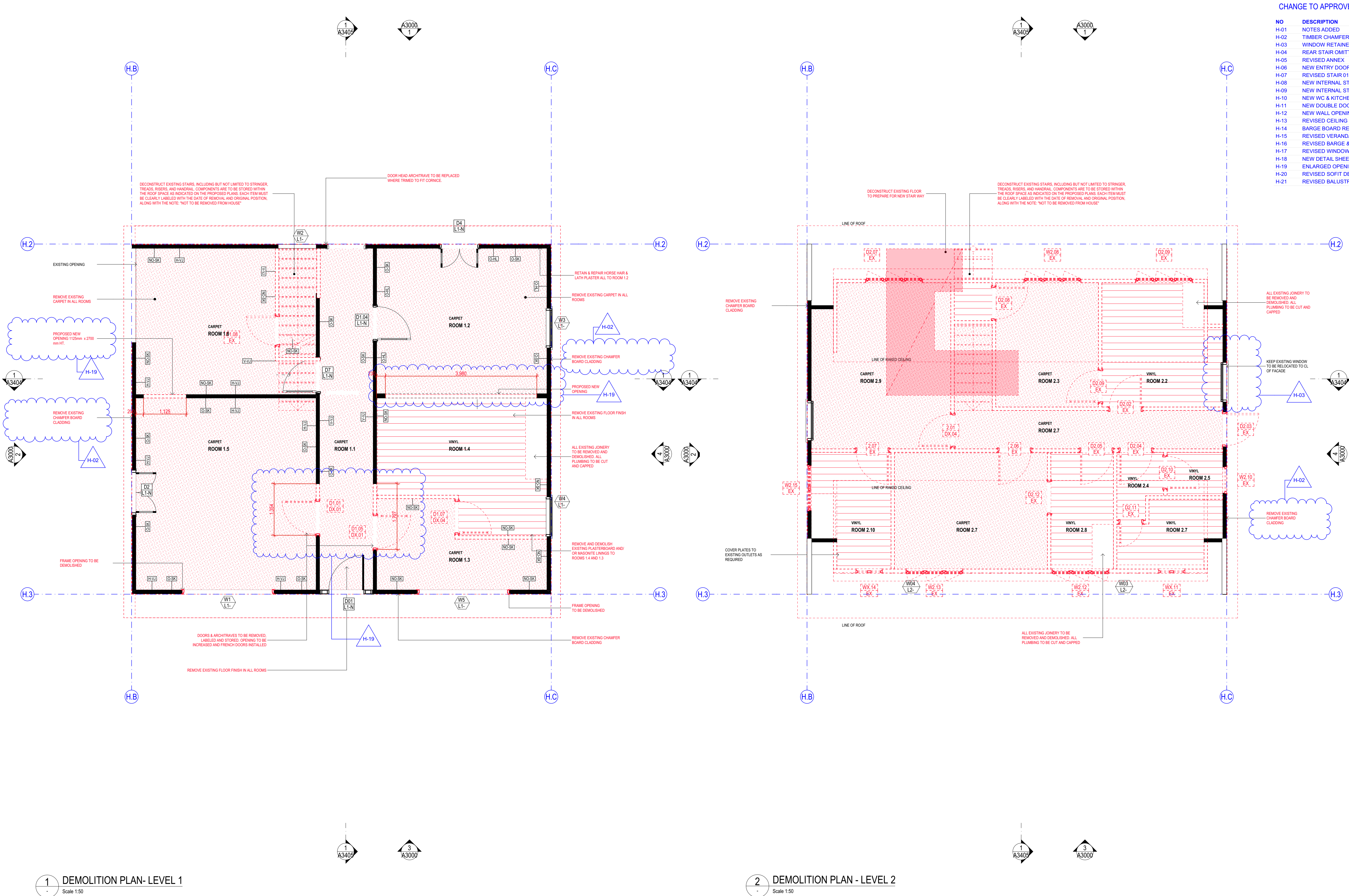
Drawing Name

Drawing Number
Revision

DD - Design Development for
Approval

PROPOSED 3D VIEWS

A1001
P5



CHANGE TO APPROVED DA LIST

NO	DESCRIPTION
H-01	NOTES ADDED
H-02	TIMBER CHAMFER BOARD
H-03	WINDOW RETAINED
H-04	REAR STAIR OMITTED
H-05	REVISED ANNEX
H-06	NEW ENTRY DOORS
H-07	REVISED STAIR 01
H-08	NEW INTERNAL STAIR 02
H-09	NEW INTERNAL STAIR
H-10	NEW WC & KITCHEN
H-11	NEW DOUBLE DOORS
H-12	NEW WALL OPENING
H-13	REVISED CEILING
H-14	BARGE BOARD RETURN
H-15	REVISED VERANDAH RAFTERS
H-16	REVISED BARGE & FINIAL
H-17	REVISED WINDOW HOOD
H-18	NEW DETAIL SHEET ADDED
H-19	ENLARGED OPENINGS
H-20	REVISED SOFIT DETAILS
H-21	REVISED BALUSTRADE DETAIL

EXISTING & DEMO LEGEND

V-VJ	ORIGINAL VJ TIMBER WALL PANELING 135mm W/ HALF ROUND BEADING - VERTICAL
H-VJ	ORIGINAL VJ TIMBER WALL PANELING 135mm W/ HALF ROUND BEADING - HORIZONTAL
O-HL	ORIGINAL HORSE HAIR & LATCH WALL LINING
O-SK	ORIGINAL SKIRTING TO BE RETAINED, FINISH STRIPPED BACK TO SUBSTRATE & MADE GOOD
NO-SK	NON-ORIGINAL SKIRTING TO BE REMOVED & DEMOLISHED DAMAGE TO WALL, FLOOR OR ORIGINAL SKIRTING TO BE REPAIRED, REPLACED WITH NEW SKIRTING TO MATCH ORIGINAL THROUGHOUT
NO-SK	NON-ORIGINAL SKIRTING TO BE REMOVED & DEMOLISHED DAMAGE TO WALL, FLOOR OR ORIGINAL SKIRTING TO BE REPAIRED, REPLACED WITH NEW SKIRTING TO MATCH ORIGINAL THROUGHOUT

	EXISTING WALL TO BE RETAINED & MADE GOOD
	NEW WALL
	NEW DOOR
	EXISTING DOOR TO BE RETAINED & MADE GOOD
	EXISTING BUILDING ELEMENTS TO BE DEMOLISHED, WALL JUNCTIONS TO BE REPAIRED WHERE DAMAGED
	EXISTING DOORS TO BE DEMOLISHED

EXISTING & DEMOLITION NOTES

CONTRACTOR TO MAKE GOOD ALL EXISTING ORIGINAL WALLS, WALL LININGS, CORNICES & SKIRTING TO ORIGINAL CONDITION. CONTRACTOR TO MAKE GOOD ALL EXISTING ORIGINAL DOORS, WINDOWS, ARCHITRAVES & SILLS TO ORIGINAL CONDITION. CONTRACTOR TO REMOVE & DEMOLISH ALL EXISTING JOINERY UNITS. REFER TO SERVICES CONSULTANTS DRAWINGS FOR DEMOLITION OF ELECTRICAL & HYDRAULIC FOR REMOVAL & CAPPING OF REDUNDANT SERVICES. ALL DEMOLISHED ELECTRICAL SERVICES TO BE CUT, REMOVED &/OR CAPPED. REMOVE ALL FLOOR FINISHES, INCLUDING BUT NOT LIMITED TO CARPET & VINYL, REPAIR TIMBER FLOOR BOARD SUBSTRATE WHERE DAMAGED. REPAIR DAMAGED PASCIA & BARGE BOARDS WHERE NECESSARY TO MATCH ORIGINAL DETAIL. REMOVE NON-ORIGINAL PLY ROOF SOEET. REMOVE EXISTING ROOF SHEETING & REPAIR DAMAGED PURLINS / TRUSSES. WHERE DEMOLITION WORKS ARE TO TAKE PLACE ENSURE THAT ALL ADJOINING & SURROUNDING SURFACES INCLUDING BUT NOT LIMITED TO FINISHES, STRUCTURES & SUBSTRATES IF DAMAGED ARE TO BE REPAIRED & RESTORED TO ORIGINAL CONDITIONS. DAMAGED OR AFFECTED AREAS CAUSED BY DEMOLITION WORKS ARE TO BE REPAIRED BY THE CONTRACTOR. REMOVE ALL PLYWOOD PANELING FROM EXTERNAL CLADDING & OPENINGS. REMOVE ALL EXTERNAL CHAMFERBOARD TIMBER CLADDING WITH CARE AND STORE FOR ASSESSMENT BY HERITAGE ARCHITECT. BOARDS CONSIDERED SUITABLE FOR REINSTATEMENT ARE TO BE IDENTIFIED AND APPROVED BY THE HERITAGE ARCHITECT PRIOR TO REINSTALLATION. NEW BOARDS TO MATCH ORIGINAL. REMOVE ALL PERIMETER STEPS & NON-ORIGINAL CORNICES IN CEILING.

GENERAL NOTES:

CONTRACTOR TO CONDUCT SITE INSPECTION FOR DILAPIDATION REPORT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL VISIT THE SITE PRIOR TO TENDERING, TO ASCERTAIN ACCESS & SITE CONDITIONS. CONTRACTOR & ALL SUB-CONTRACTORS SHALL CHECK ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION & RESTORATION WORKS. ALL STRUCTURE EXISTING & PROPOSED TO BE VERIFIED & CONFIRMED BY STRUCTURAL ENGINEER INCLUDING FLOORING / WALLS / ROOFING. ALL STRUCTURAL SIZES TO BE CONFIRMED PRIOR TO CONSTRUCTION. CONTRACTOR TO ALLOW FOR NEW ELECTRICAL FITURES IN LOCATION OF EXISTING INCLUDING GPO'S / LIGHT FIXTURES / SWITCHES & DATA.

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P1	29/01/2026	CD	RM	FOR INFORMATION
P2	17/06/2026	CD	RM	H/ FOR INFORMATION
P3	15/05/2026	CD	RM	FOR INFORMATION
P4	22/05/2026	CD	RM	DA MINOR CHANGE - HERITAGE HOUSE
P5	11/06/2026	EH	EH	DA MINOR CHANGE - HERITAGE HOUSE

Rev	Date	By	Chk	Description
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Checked By
Date
Scale

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1:50, 1:1@A1

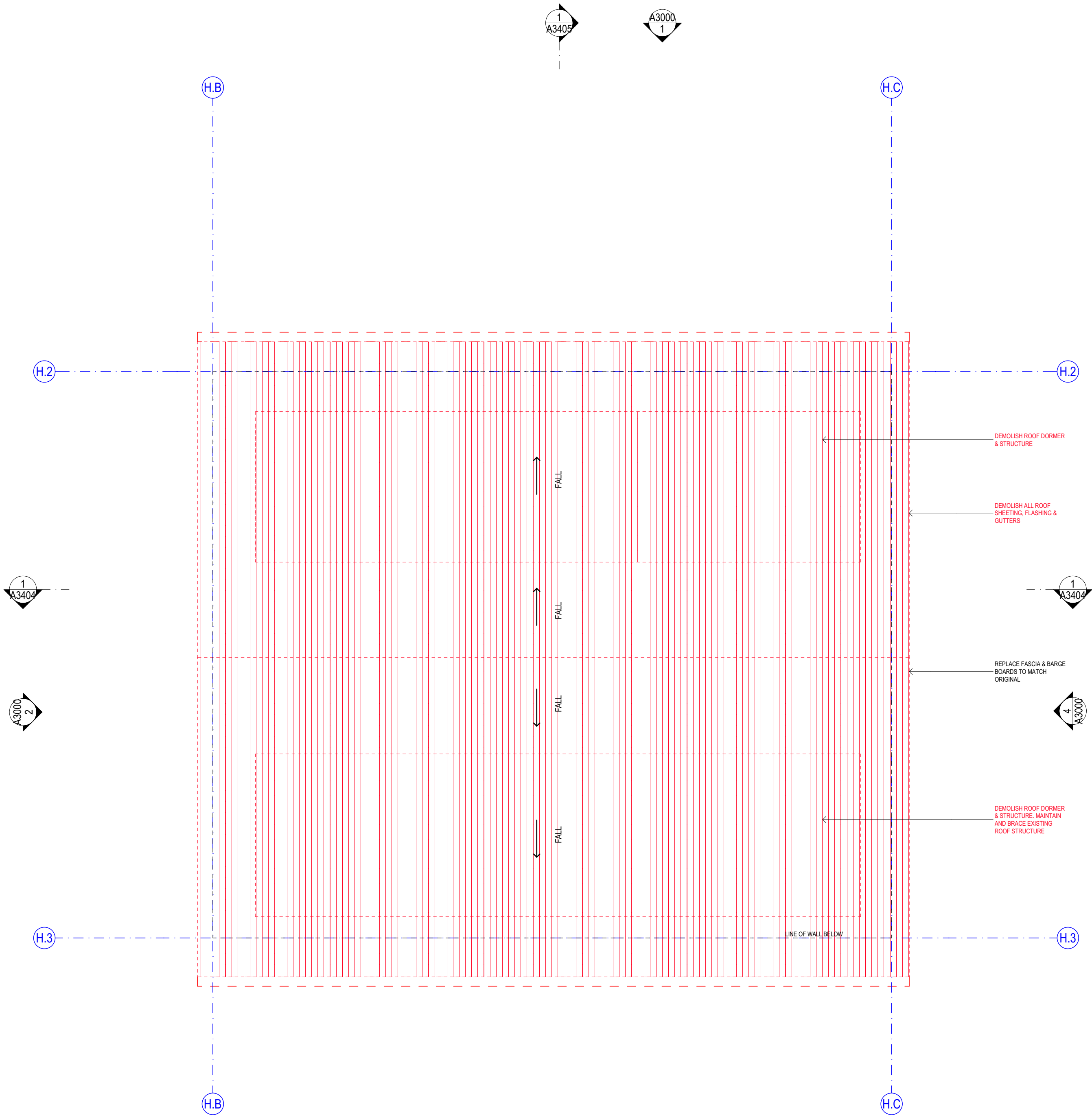
Drawing Series
Drawing Name

Demolition Plans
DEMOLITION GAP PLANS - LEVEL
1 & 2

Drawing Number
Revision

A2100
P5

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1 DEMOLITION PLAN - ROOF LEVEL
Scale 1:50

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P4	22/05/2026	CD	RM	DA MINOR CHANGE - HERITAGE HOUSE
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Brisbane, QLD 4006

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Checked By
Date
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17/06/2026
1:50, 1:1@A1

Drawing Series Demolition Plans

Drawing Name DEMOLITION GAP PLANS - ROOF

Drawing Number
Revision
A2101
P5

CHANGE TO APPROVED DA LIST

NO	DESCRIPTION
H-01	NOTES ADDED
H-02	TIMBER CHAMFER BOARD
H-03	WINDOW RETAINED
H-04	REAR STAIR OMITTED
H-05	REVISED ANNEX
H-06	NEW ENTRY DOORS
H-07	REVISED STAIR 01
H-08	NEW INTERNAL STAIR 02
H-09	NEW INTERNAL STAIR
H-10	NEW WC & KITCHEN
H-11	NEW DOUBLE DOORS
H-12	NEW WALL OPENING
H-13	REVISED CEILING
H-14	BARGE BOARD RETURN
H-15	REVISED VERANDAH RAFTERS
H-16	REVISED BARGE & FINIAL
H-17	REVISED WINDOW HOOD
H-18	NEW DETAIL SHEET ADDED
H-19	ENLARGED OPENINGS
H-20	REVISED SOFIT DETAILS

EXISTING & DEMO LEGEND

V-VJ	ORIGINAL VJ TIMBER WALL PANELING 135mm W/ HALF ROUND BEADING - VERTICAL
H-VJ	ORIGINAL VJ TIMBER WALL PANELING 135mm W/ HALF ROUND BEADING - HORIZONTAL
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	EXISTING WALL TO BE RETAINED & MADE GOOD
	NEW WALL
	NEW DOOR
	EXISTING DOOR TO BE RETAINED & MADE GOOD
	EXISTING BUILDING ELEMENTS TO BE DEMOLISHED. WALL JUNCTIONS TO BE REPAIRED WHERE DAMAGED
	EXISTING DOORS TO BE DEMOLISHED

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1 DEMOLITION RCP PLAN - LEVEL 1
Scale 1:50

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P5	11/06/2026	EH	EH	DA MINOR CHANGE - HERITAGE HOUSE

Rev	Date	By	Chk	Description
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Consultants

2 DEMOLITION RCP PLAN - LEVEL 2
Scale 1:50

2 DEMOLITION RCP PLAN - LEVEL 2
Scale 1:25

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Drawn By
Checked By
Date
Scale

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EH
17/06/2026
1:25, 1:50, 1:1@A1

Drawing Series Demolition Plans

Drawing Name DEMOLITION RCP PLANS -
GROUND & LEVEL 1

Drawing Number
Revision
A2102
P5

CHANGE TO APPROVED DA LIST

NO	DESCRIPTION
H-01	NOTES ADDED
H-02	TIMBER CHAMFER BOARD
H-03	WINDOW RETAINED
H-04	REAR STAIR OMITTED
H-05	REVISED ANNEX
H-06	NEW ENTRY DOORS
H-07	REVISED STAIR 01
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	EXISTING WALL TO BE RETAINED & MADE GOOD
	NEW WALL
	NEW DOOR
	EXISTING DOOR TO BE RETAINED & MADE GOOD
	EXISTING BUILDING ELEMENTS TO BE DEMOLISHED, WALL JUNCTIONS TO BE REPAIRED WHERE DAMAGED
	EXISTING DOORS TO BE DEMOLISHED

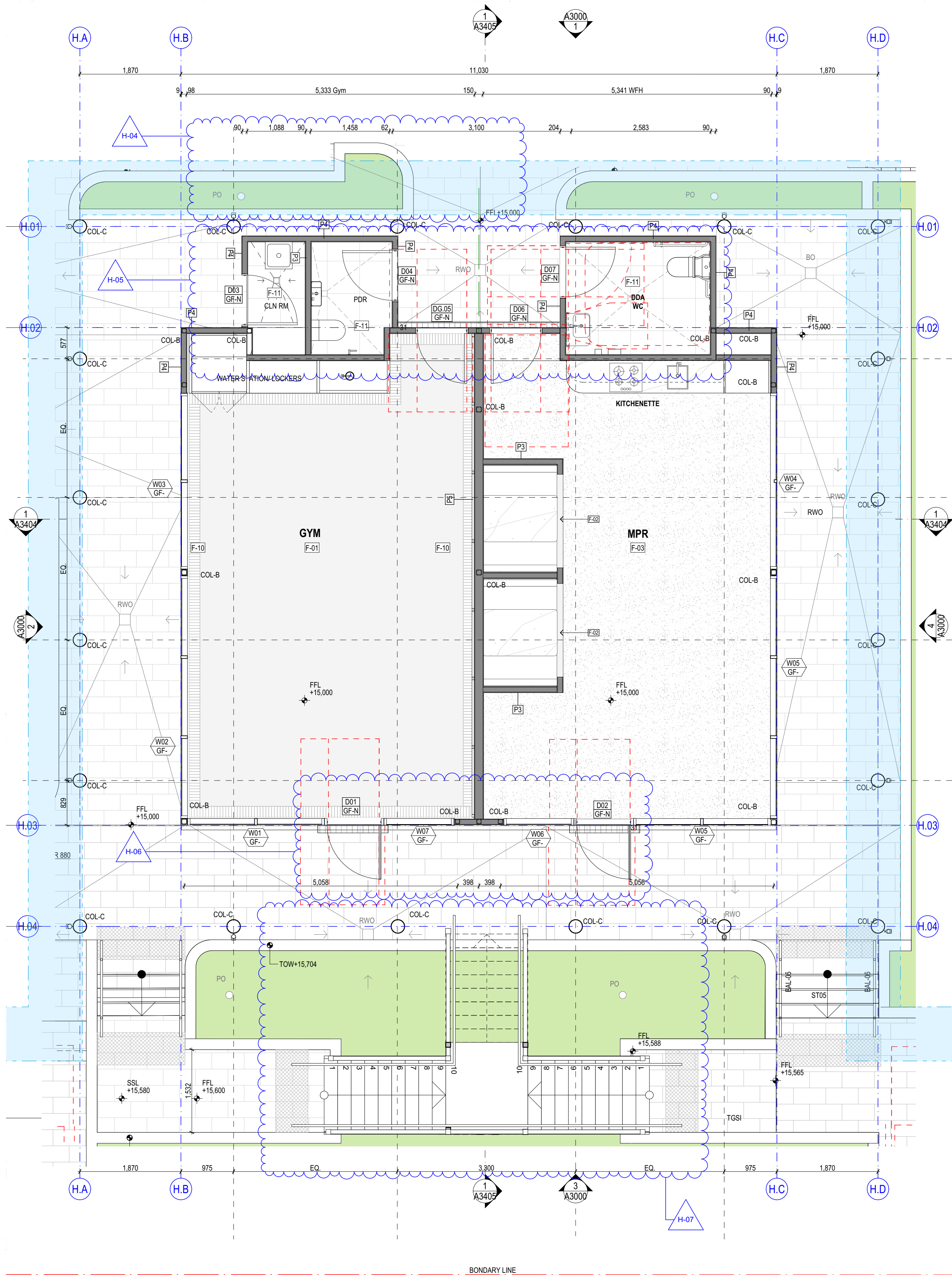
EXISTING & DEMOLITION NOTES

CONTRACTOR TO MAKE GOOD ALL EXISTING ORIGINAL WALLS,
WALL LININGS, CORNICES & SKIRTING TO ORIGINAL CONDITION.
CONTRACTOR TO MAKE GOOD ALL EXISTING ORIGINAL DOORS,
WINDOWS, ARCHITRAVES & SILLS TO ORIGINAL CONDITION.
CONTRACTOR TO REMOVE & DEMOLISH ALL EXISTING
JOINERY UNITS.
REFER TO SERVICES CONSULTANTS DRAWINGS FOR
DEMOLITION OF ELECTRICAL & HYDRAULIC FOR REMOVAL &
CAPPING OF REDUNDANT SERVICES.
ALL DEMOLISHED ELECTRICAL SERVICES TO BE CUT, REMOVED
& OR CAPPED.
REMOVE ALL FLOOR FINISHES, INCLUDING BUT NOT LIMITED TO
CARPET & VINYL. REPAIR TIMBER FLOOR BOARD SUBSTRATE
WHERE DAMAGED.
REPAIR DAMAGED PASCOA & BARGE BOARDS WHERE
NECESSARY TO MATCH ORIGINAL DETAIL.
REMOVE NON-ORIGINAL PLY ROOF SOEFT.
REMOVE EXISTING ROOF SHEETING & REPAIR DAMAGED
PURLINS / TRUSSES.
WHERE DEMOLITION WORKS ARE TO TAKE PLACE ENSURE
THAT ALL ADJOINING & SURROUNDING SURFACES INCLUDING
BUT NOT LIMITED TO FINISHES, STRUCTURES & SUBSTRATES IF
DAMAGED ARE TO BE REPAIRED & RESTORED TO ORIGINAL
CONDITIONS. DAMAGED OR AFFECTED AREAS CAUSED BY
DEMOLITION WORKS ARE TO BE REPAIRED BY THE
CONTRACTOR.
REMOVE ALL PLYWOOD PANELING FROM EXTERNAL CLADDING
& OPENINGS.
REMOVE ALL EXTERNAL CHAMFERBOARD TIMBER CLADDING
WITH CARE AND STORE FOR ASSESSMENT BY HERITAGE
ARCHITECT. BOARDS CONSIDERED SUITABLE FOR
REINSTATEMENT ARE TO BE IDENTIFIED AND APPROVED BY
THE HERITAGE ARCHITECT PRIOR TO REINSTALLATION.
NEW BOARDS TO MATCH ORIGINAL.
REMOVE ALL PERIMETER STEPS & NON-ORIGINAL CORNICES IN
CEILING.

GENERAL NOTES:

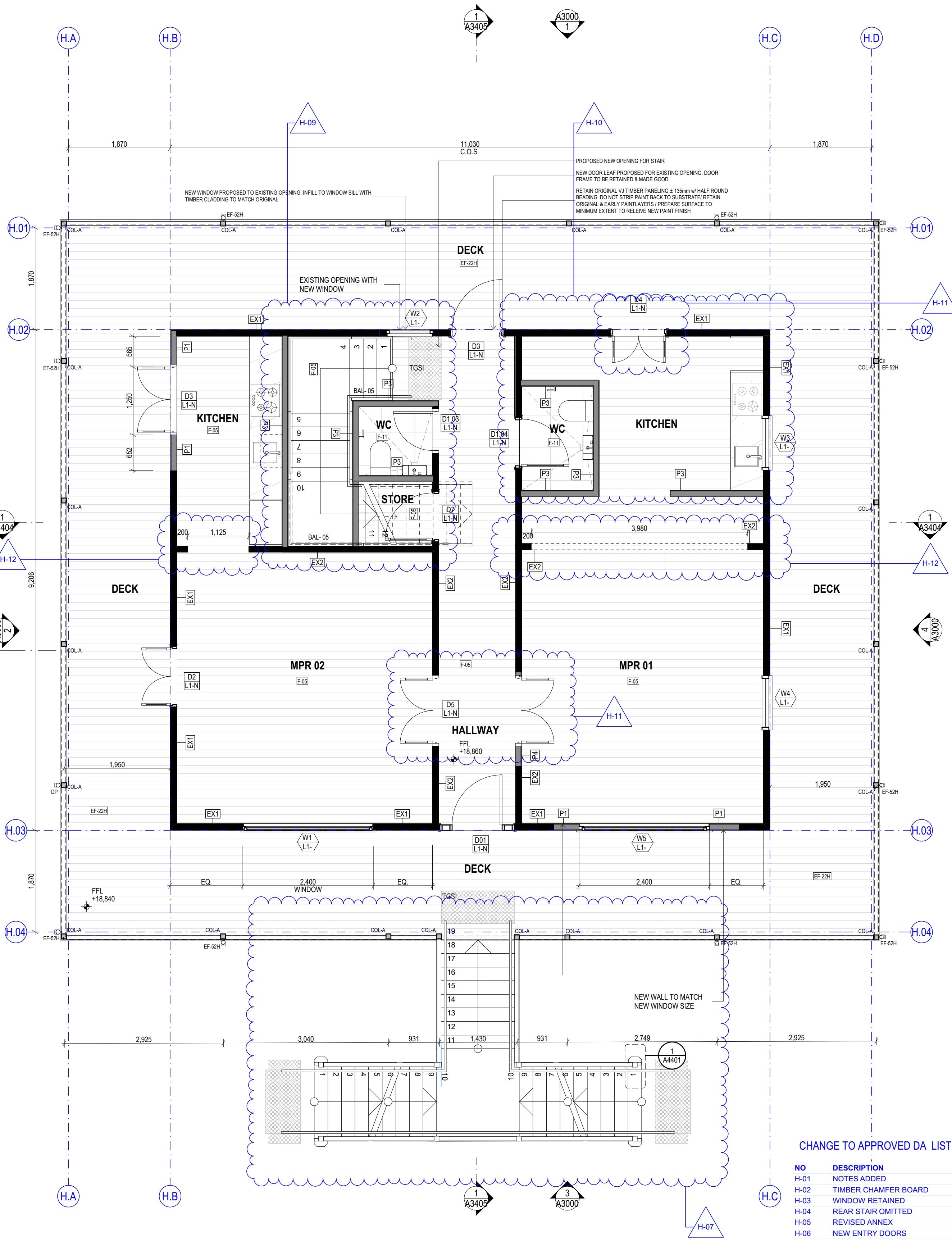
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DIMENSIONS BEFORE COMMENCING CONSTRUCTION &
RESTORATION WORKS.
ALL STRUCTURE EXISTING & PROPOSED TO BE VERIFIED &
CONFINED BY STRUCTURAL ENGINEER INCLUDING FLOORING /
WALLS/ ROOFING.
ALL STRUCTURAL SIZES TO BE CONFIRMED PRIOR TO
CONSTRUCTION.
CONTRACTOR TO ALLOW FOR NEW ELECTRICAL FIXTURES IN
LOCATION OF EXISTING INCLUDING GPO'S / LIGHT FIXTURES /
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AS 1288 - GLASS IN BUILDINGS - SELECTION & INSTALLATION,
AS 3786 - SMOKE ALARMS,
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AS 1684 - RESIDENTIAL TIMBER-FRAMED ONSTRUCTION CODE,
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EXHAUST VENTILATION TO THE ENSUITE / BATHROOMS AND
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FALLS IN FLOOR FINISHES TO BE PROVIDED IN ACCORDANCE
WITH
AS3740-2010



1 PROPOSED GAP - GROUND FLOOR
Scale 1:50

2 GAP PROPOSED- LEVEL 1
Scale 1:50



CHANGE TO APPROVED DA LIST

NO	DESCRIPTION
H-01	NOTES ADDED
H-02	TIMBER CHAMFER BOARD
H-03	WINDOW RETAINED
H-04	REAR STAIR OMITTED
H-05	REVISED ANNEX
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H-17	REVISED WINDOW HOOD
H-18	NEW DETAIL SHEET ADDED
H-19	ENLARGED OPENINGS
H-20	REVISED SOFT DETAILS
H-21	REVISED BALUSTRADE DETAIL

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FLOOR WASTES TO BE PROVIDED IN ACCORDANCE WITH CLAUSE F1.11.1 OF WCC.
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- EXISTING WALL TO BE RETAINED & MADE GOOD
- NEW WALL
- NEW DOOR
- EXISTING DOOR TO BE RETAINED & MADE GOOD

ABBREVIATIONS

AFFL	ABOVE FINISHED FLOOR LEVEL
SSL	STRUCTURAL SLAB LEVEL
HOB	CONCRETE HOB
RL	RELATIVE LEVEL (ABOVE AHD)
RBS	REGISTERED BUILDING SURVEYOR
BAL	BALUSTRADE TYPE
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FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FS	EMERGENCY AUDIBLE WARNING
RD	RED STROBE DEVICE
BO	BALCONY OUTLET
DP	90DIA DOWN PIPE
NOM	NOMINAL
UNO	UNLESS NOTED OTHERWISE
COL-A	TIMBER POST
COL-B	STRUCTURAL STEEL SHS
COL-C	250DIA CIRCULAR TIMBER STUMBS

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P5	11/06/2020	EH	EH	DA MINOR CHANGE - HERITAGE HOUSE

Rev	Date	By	Chk	Description
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Consultants

PENDING SERVICES/
STRUCTURAL
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NOT FOR
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INFORMATION ONLY

DKO Architecture (QLD) Pty Ltd
Level 3, 232 Adelaide Street
Brisbane, QLD 4000
T +61 7 3725 9288
info@dko.com.au
www.dko.com.au
ABN: 61413783636

DKO

Project Name
Project Number
Project Address

Abbotsford Rd, Bowen
Hills
00013360
23-39 Abbotsford Rd,
Brisbane, QLD 4006

Drawn By
Checked By
Date
Scale

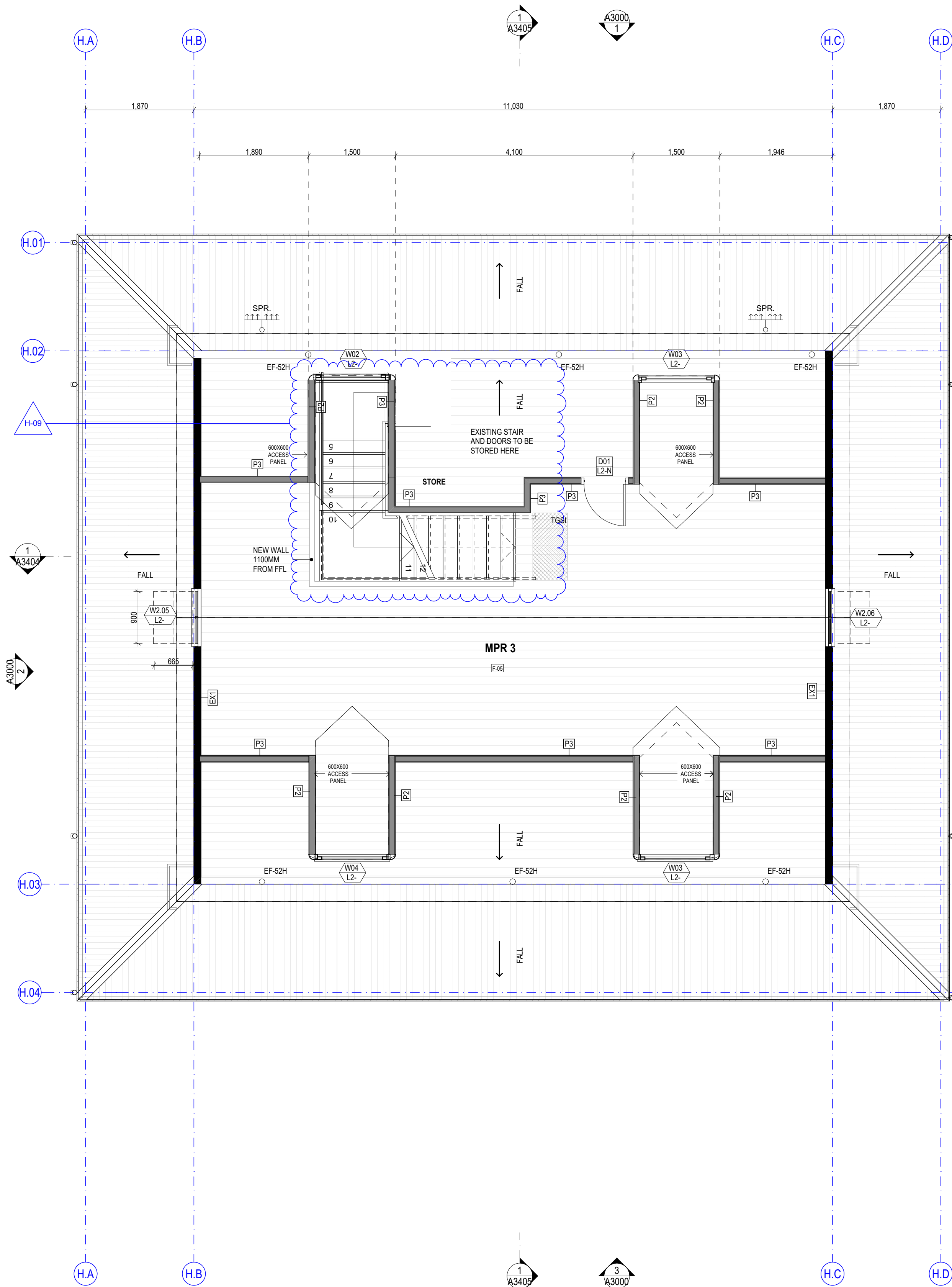
CD
EH
17/06/2026
1:1@A1

Drawing Series Proposed GAP & RCP Plans

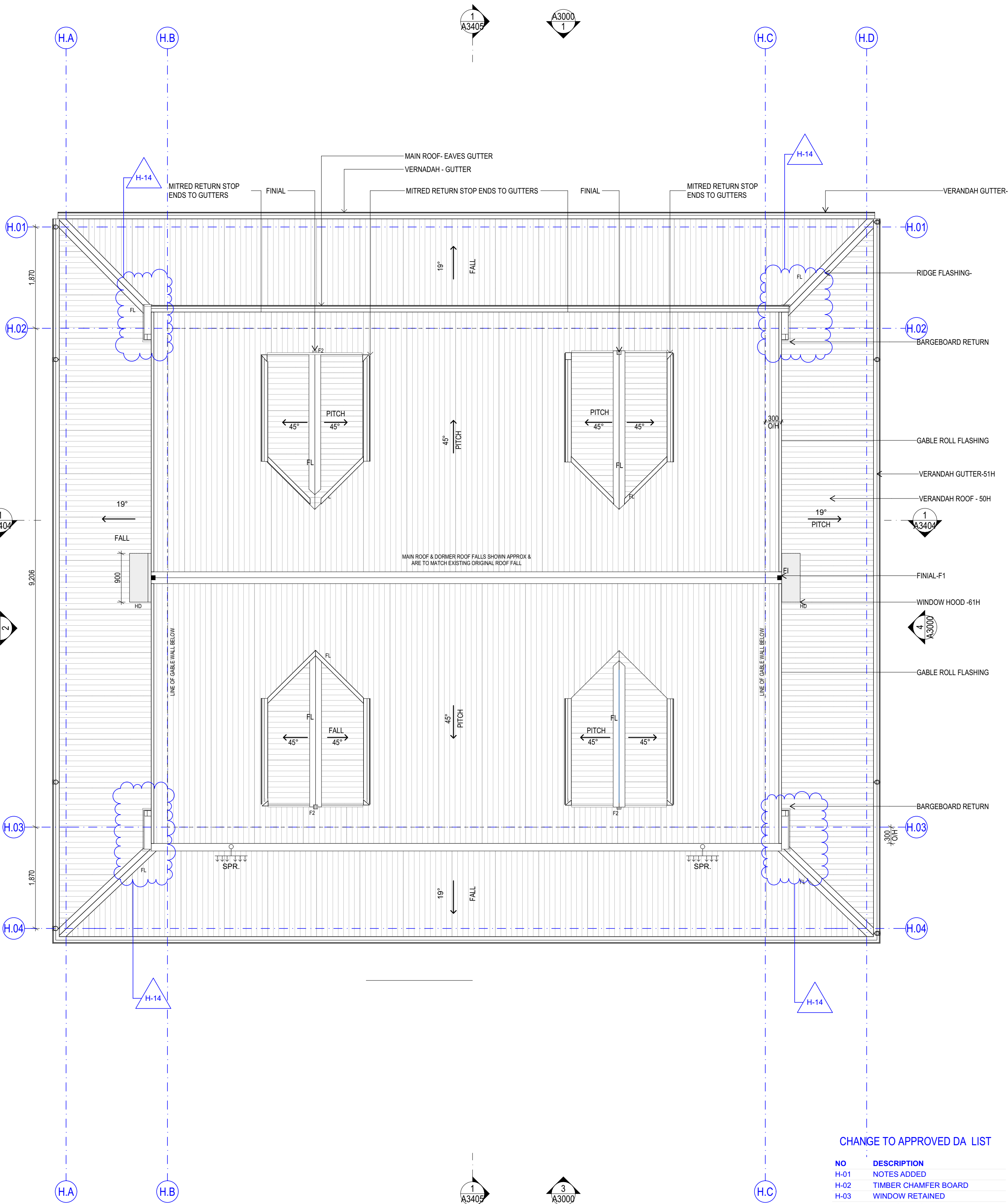
Drawing Name PROPOSED GAP PLANS - GROUND & LEVEL 1

Drawing Number
Revision

A2500
P5



4 PROPOSED GAP - LEVEL 2
Scale 1:50



5 PROPOSED GAP PLAN - ROOF
Scale 1:50

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DKO

Project Name
Project Number
Project Address

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Drawn By
Checked By
Date
Scale

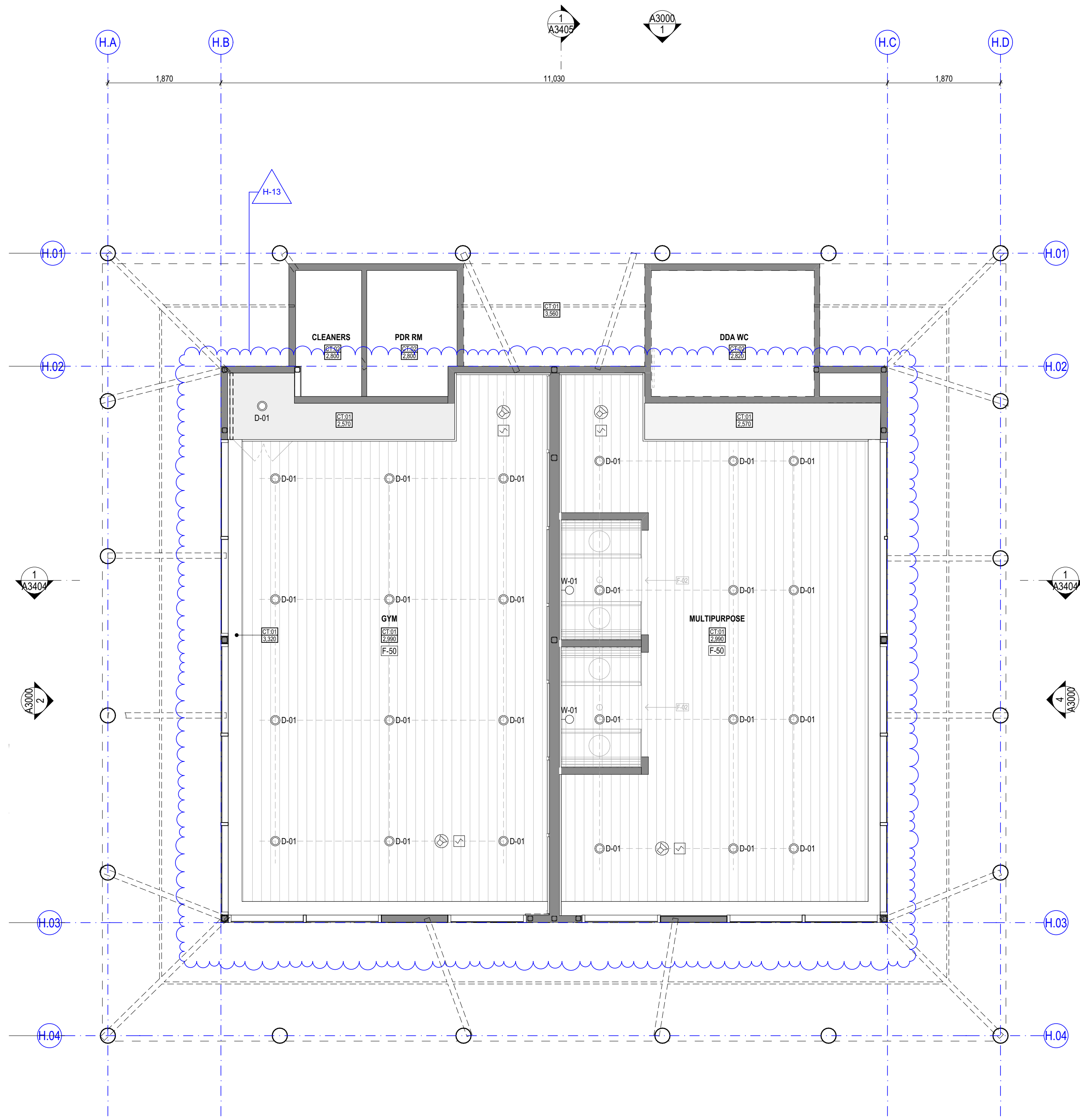
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Drawing Series Proposed GAP & RCP Plans

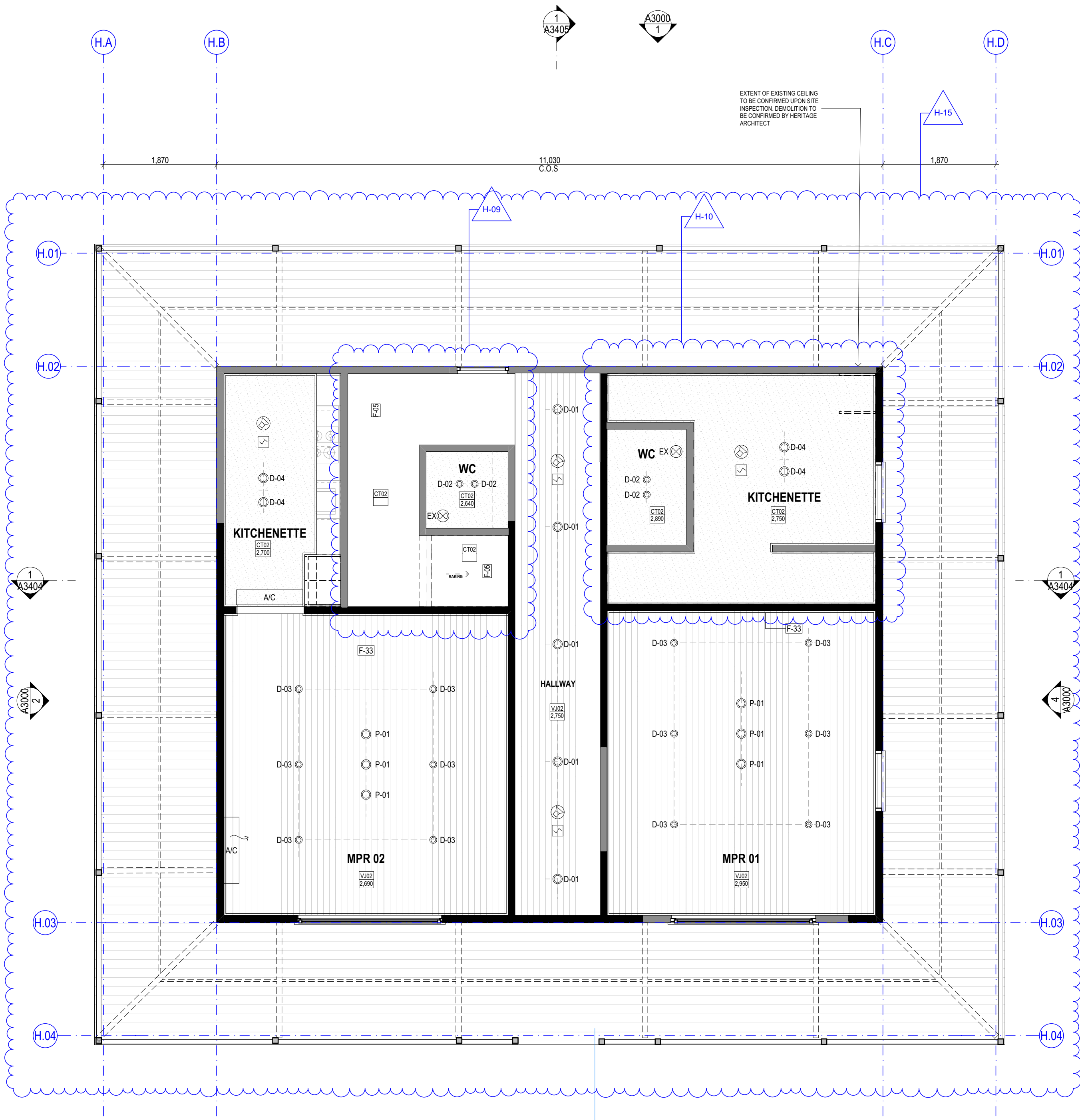
Drawing Name PROPOSED GAP PLANS - LEVEL 2 & ROOF

Drawing Number
Revision

A2501
P5



4 PROPOSED GAP - LEVEL 2
Scale 1:50



5 DETAIL PLAN - MAIN STAIR 01
Scale 1:50

GENERAL NOTES:

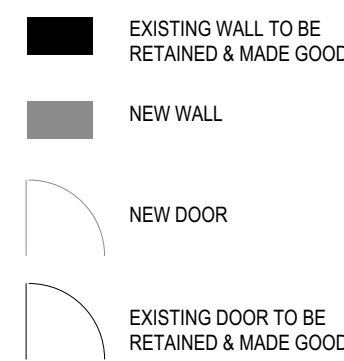
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EXHAUST VENTILATION TO THE ENSUITE / BATHROOMS AND LAUNDRIES TO COMPLY WITH AS1668.2.
FLOOR WASTES TO BE PROVIDED IN ACCORDANCE WITH AS3740-2010.

REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR ALL PLANTING, PAVING AND COURTYARD DETAILS.
REFER SERVICES ENGINEERS DOCUMENTATION FOR ALL SERVICES.
ALL STAIRS, RAMPS, HANDRAILS & TACTILE INDICATORS TO COMPLY WITH AS 1428.1-2001 AND AS/NZS 1428.4.
ALL WINDOWS ARE TO BE INSTALLED IN ACCORDANCE WITH AS 2047.
ALL GLAZING TO BE SELECTED AND INSTALLED IN ACCORDANCE WITH AS 1288.
ARTIFICIAL LIGHTING TO COMPLY WITH AS 1680.
EXHAUST VENTILATION TO THE ENSUITE / BATHROOMS AND LAUNDRIES TO COMPLY WITH AS1668.2.
FLOOR WASTES TO BE PROVIDED IN ACCORDANCE WITH AS 11.11 MCC.
FALLS IN FLOOR FINISHES TO BE PROVIDED IN ACCORDANCE WITH AS3740-2010.

BCA COMPLIANCE NOTES:

1. GLAZING ASSEMBLIES ARE TO COMPLY WITH BCA 2014 CLAUSE B1.4 & F1.13, AS 2047:1999 AMDT 1 & 2 AND AS 1288:2006 AMDT 1 & 2.
2. FIRE HAZARD PROPERTIES OF LININGS, MATERIALS AND ASSEMBLIES ARE TO COMPLY WITH BCA 2014 CLAUSE C1.10 AND SPEC C1.10.
3. DOORWAYS AND DOORS ARE TO COMPLY WITH BCA 2014 CLAUSE D2.19 & D2.20.
4. OPERATION OF DOOR LATCHES IS TO COMPLY WITH BCA 2014 CLAUSE D2.21.
5. ACCESS FOR PEOPLE WITH DISABILITIES IS TO COMPLY WITH BCA 2014 CLAUSES D3.1, D3.2, D3.6 SIGNAGE AND D3.12 GLAZING AND AS 1428.1-2001 AMDT 1.
6. MARKING OF GLAZING IN ACCORDANCE WITH BCA 2014 D3.12, AND AS 1428.1-2001 AMDT 1.
7. CONSTRUCTION OF SANITARY FACILITIES IS TO BE IN ACCORDANCE WITH BCA 2014 CLAUSE F2.5.
8. ACCORDANCE WITH BCA 2014 CLAUSE F2.5.
9. ARTIFICIAL LIGHTING & POWER IS TO BE IN ACCORDANCE WITH BCA 2014 CLAUSE F4.4, J6.2, J6.3, J6.4, J6.5 & J6.6 & AS/NZS 1680.2-2012.
10. NATURAL VENTILATION IS TO BE IN ACCORDANCE WITH BCA 2014 CLAUSE F4.5, F4.6 & F4.7.
11. MECHANICAL VENTILATION IS TO BE IN ACCORDANCE WITH BCA 2014 CLAUSE F4.7, F4.9, J3.5 & J3.7 (EVAPORATIVE COOLERS), J6.2, J6.3, J6.4 & J6.5 & AS 1680.2-2012.
12. HOT WATER SUPPLY (ENERGY EFFICIENCY) - BCA 2014 CLAUSE J7.2 & PART B2 OF NCC VOLUME 3 - PLUMBING CODE OF AUSTRALIA.



ABBREVIATIONS

AFFL	ABOVE FINISHED FLOOR LEVEL
SSL	STRUCTURAL SLAB LEVEL
HOB	CONCRETE HOB
RL	RELATIVE LEVEL (ABOVE AHD)
RBS	REGISTERED BUILDING SURVEYOR
BAL	BALUSTRADE TYPE
EO	EQUAL
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FS	EMERGENCY AUDIBLE WARNING
BO	RED STROBE DEVICE
BO	BALCONY OUTLET
DP	90/14 DOWN PIPE
NOM	NOMINAL
UNO	UNLESS NOTED OTHERWISE
COL-A	TIMBER POST
COL-B	STRUCTURAL STEEL SHS
COL-C	250/104 CIRCULAR TIMBER STUMBS

CHANGE TO APPROVED DA LIST

NO	DESCRIPTION
H-01	NOTES ADDED
H-02	TIMBER CHAMFER BOARD
H-03	WINDOW RETAINED
H-04	REAR STAIR OMITTED
H-05	REVISED ANNEX
H-06	NEW ENTRY DOORS
H-07	REVISED STAIR 01
H-08	NEW INTERNAL STAIR 02
H-09	NEW INTERNAL STAIR
H-10	NEW WC & KITCHEN
H-11	NEW DOUBLE DOORS
H-12	NEW WALL OPENING
H-13	REVISED CEILING
H-14	BARGE BOARD RETURN
H-15	REVISED VERANDAH RAFTERS
H-16	REVISED BARGE & FINIAL
H-17	REVISED WINDOW HOOD
H-18	NEW DETAIL SHEET ADDED
H-19	ENLARGED OPENINGS
H-20	REVISED SOFIT DETAILS
H-21	REVISED BALUSTRADE DETAIL

Builder/Contractor shall verify job dimensions before any job commences.
Figured dimensions take precedence over drawings and job dimensions.
All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

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Rev	Date	By	Chk	Description
P1	29/01/2026	CD	RM	FOR INFORMATION
P2	15/05/2026	CD	RM	FOR INFORMATION
P3	22/05/2026	CD	RM	DA MINOR CHANGE - HERITAGE HOUSE
P4	11/06/2026	EH	EH	DA MINOR CHANGE - HERITAGE HOUSE

Rev	Date	By	Chk	Description
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Consultants

PENDING SERVICES/
STRUCTURAL
COORDINATION



NOT FOR
CONSTRUCTION
INFORMATION ONLY

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DKO

Project Name
Project Number
Project Address

Abbotsford Rd, Bowen
Hills
00013360
23-39 Abbotsford Rd,
Brisbane, QLD 4006

Drawn By
Checked By
Date
Scale

CD
EH
17/06/2026
1:50, 1:1@A1

Drawing Series Proposed GAP & RCP Plans

Drawing Name PROPOSED RCP PLANS - GROUND & LEVEL 1

Drawing Number
Revision
A2502
P4



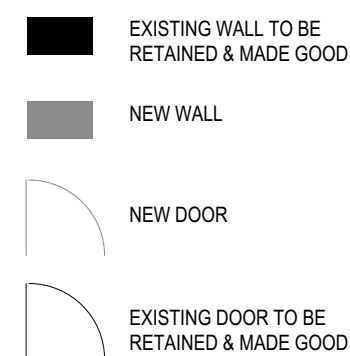
CONTRACTOR TO CONDUCT SITE INSPECTION FOR DILAPIDATION REPORT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
CONTRACTOR SHALL VISIT THE SITE PRIOR TO TENDERING, TO ASCERTAIN ACCESS & SITE CONDITIONS.
CONTRACTOR SHALL SUBMIT DIMENSIONS SHALL CHECK ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION & RESTORATION WORKS
ALL STRUCTURE EXISTING & PROPOSED TO BE VERIFIED & CONFINED BY STRUCTURAL ENGINEER INCLUDING FLOORING / WALLS / ROOFING
ALL STRUCTURAL SIZES TO BE CONFIRMED PRIOR TO CONSTRUCTION
CONTRACTOR TO ALLOW FOR NEW ELECTRICAL FIGURES IN LOCATION OF EXISTING INCLUDING GP'S / LIGHT FIXTURES / SWITCHES & DATA.

WRITTEN LEVELS TAKE PRECEDENCE OVER SCALE
 CONFIRM ALL DIMENSIONS & DIMENSIONS ON SITE BEFORE
 COMMENCEMENT OF WORKS
 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH
 ARCHITECTURAL SPECIFICATION AND SCHEDULES AND
 ALL OTHER CONSULTANTS DOCUMENTATION ANY
 DISCREPANCIES SHALL BE
 THE RESPONSIBILITY OF THE
 CLIENT
 THE SUPERINTENDENT PRIOR TO
 COMMENCEMENT OF WORK
 THE SITE/SETUP PLAN SHOULD BE READ IN CONJUNCTION WITH
 THE CODE OF PRACTICE FOR THE ENVIRONMENT AND SITE
 SETUP PRIOR TO COMMENCEMENT OF WORK
 ALL WORK TO COMPLY WITH THE NATIONAL CONSTRUCTION
 CODE OF PRACTICE FOR THE ENVIRONMENT AND SITE
 SETUP PRIOR TO COMMENCEMENT OF WORK
 ALL OTHER RELEVANT AUTHORITIES
 DEMOLISH EXISTING CROSSING KERBS & CHANNELS AND MAKE
 GOOD FOR NEW ROADWAY
 RECONSTRUCTION & RE-GRADING OF FOOTPATHS & THE
 CONSTRUCTION OF NEW CROSSING TO THE SATISFACTION
 OF THE RESIDENTIAL DEVELOPER
 ALL WORKS TO COMPLY WITH ALL RELEVANT S.A.A. CODES
 AS 2870 - RESIDENTIAL SLABS & FOOTINGS CONSTRUCTION
 AS 1280 - CONCRETE REINFORCEMENT
 AS 2768 - SMOKE ALARMS
 AS 1281 - CONCRETE REINFORCEMENT
 AS 1684 - RESIDENTIAL TIMBER-FRAMED CONSTRUCTION CODE
 AS 1674 - WATERPROOFING OF WET AREAS IN RESIDENTIAL
 BUILDINGS
 ALL STAIRS, RAMPS, HANDRAILS & TACTILE INDICATORS TO
 COMPLY WITH
 AS 1428.1-2001 AND STANDARDS 1428.2
 ALL GLAZING TO BE TO BE INSTALLED IN ACCORDANCE WITH AS
 2041
 ALL WINDOWS TO BE SELECTED AND INSTALLED IN ACCORDANCE WITH
 AS 1298
 ARTIFICIAL LIGHTING TO COMPLY WITH AS 1680
 EXHAUST VENTILATION TO THE ENDSIDE / BATHROOMS AND
 ALL OTHER RELEVANT AUTHORITIES
 TO COMPLY WITH AS1682.2
 FINISH IN FLOOR FINISHES TO BE PROVIDED IN ACCORDANCE
 WITH THE ARCHITECTURAL SPECIFICATION
 AS3470-2010

REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR ALL
PLANTING, PAVING AND COURTYARD DETAILS.
REFER SERVICES ENGINEER'S DOCUMENTATION FOR ALL
SERVICES.
ALL STAIRS, RAMPS, HANDRAILS & TACTILE INDICATORS TO
COMPLY WITH AS 1428.1-2001 AND AS/NZS 1428.4
ALL WINDOWS ARE TO BE INSTALLED IN ACCORDANCE WITH AS
1742.7
ALL GLAZING TO BE SELECTED AND INSTALLED IN ACCORDANCE
WITH AS 1288
ARTIFICIAL LIGHTING TO COMPLY WITH AS 1680
EXHAUST VENTILATION TO THE ENSUITE / BATHROOMS AND
LAUNDRIES TO COMPLY WITH AS 1668.2.
FLUE WASTES TO BE PROVIDED IN ACCORDANCE WITH
CLAUSE
F1.11 OF NCC
FALLS IN FLOOR FINISHES TO BE PROVIDED IN ACCORDANCE
WITH AS3740-2010

1. GLAZING ASSEMBLIES ARE TO COMPLY WITH BCA 2014 CLAUSE 54 BY 4 & F.11. AS 2047-1999 AMEND 1 & 2 AND AS 2047-1999
2. FIRE HAZARD PROPERTIES OF LININGS, MATERIALS AND GLAZING ARE TO COMPLY WITH BCA 2014 CLAUSE 51.10 AND SPEC 11.01
3. DOORWAYS AND DOORS ARE TO COMPLY WITH BCA 2014 CLAUSE 52.01
4. OPERATION OF DOOR LATCHES IS TO COMPLY WITH BCA 2014 CLAUSE 52.02
5. ACCESS FOR PEOPLE WITH DISABILITIES IS TO BE IN ACCORDANCE WITH BCA 2014 CLAUSE 13.1, D.3.2, D.3.6 SIGNAGE AND D.3.12 SIGNAGE AND ACCESS
6. MARKING OF GLAZING ASSEMBLIES WITH BCA 2014 CLAUSE 51.12 AND AS 1429-1-2009
7. ACCESS FOR PEOPLE WITH DISABILITIES TO BE IN ACCORDANCE WITH BCA 2014 CLAUSE 13.1
8. GLAZING ASSEMBLIES ARE TO BE REMOVABLE FROM THE OUTSIDE UNLESS THERE IS A CLEAR SPACE OF 1.2M IN ACCORDANCE WITH BCA 2014 CLAUSE 72.5
9. ARTIFICIAL LIGHTING & POWER IS TO BE IN ACCORDANCE WITH BCA 2014 CLAUSE 54.1, 56.2, 56.3, 56.4, 56.5 & 56.6 AND AS 1598-1999
10. NATURAL VENTILATION IS TO BE IN ACCORDANCE WITH BCA 2014 CLAUSE 54.1
11. MECHANICAL VENTILATION IS TO BE IN ACCORDANCE WITH BCA 2014 CLAUSE 54.1, F.4.9, J.5.3, J.5.7 (EVAPORATIVE COOLERS), J.5.8 (MECHANICAL COOLERS)
12. HOT WATER SUPPLY (ENERGY EFFICIENCY)- BCA 2014 CLAUSE 54.1

PART 2 OF NCC VOL 3 - PLUMBING CODE OF AUSTRALIA



AFBL	ABOVE FINISHED FLOOR LEVEL
SSL	STRUCTURAL SLAB LEVEL
HOB	CONCRETE HOB
RL	RELATIVE LEVEL (ABOVE AND)
RBS	REGISTERED BUILDING SURVEYOR
BAL	EQUISTRADE TYPE
EQ	EQUAL
FCL	FINISHED CEILING LEVEL
FLL	FINISHED FLOOR LEVEL
FS	EMERGENCY AUDIBLE WARNING
RD	RED STROBE DEVICE
BO	BALCONY OUTLET
DP	SODA DOWN PIPE
NOM	NOMINAL
UNO	UNLESS NOTED OTHERWISE
COLB	TIMBER POST
COL-C	STRUCTURAL STEEL SHS
COL-B	250/104 CIRCULAR TIMBER STUMBS

NO	DESCRIPTION
H-01	NOTES ADDED
H-02	TIMBER CHAMFER BOARD
H-03	WINDOW RETURNED
H-04	REAR STAIR OMITTED
H-05	REVISED ANNEX
H-06	NEW ENTRY DOORS
H-07	REVISED STAIR 01
H-08	NEW INTERNAL STAIR 02
H-09	NEW INTERNAL STAIR
H-10	NEW WC & KITCHEN
H-11	NEW DOUBLE DOORS
H-12	NEW WALL OPENING
H-13	REVISED CEILING
H-14	BARGE BOARD RETURN
H-15	REVISED VERANDA RAFTERS
H-16	REVISED BARGE & FINAL
H-17	REVISED WINDOW HOODS
H-18	NEW DETAIL SHEET ADDED
H-19	ENLARGED OPENINGS
H-20	REVISED SOFT DETAILS
H-21	REVISED BALUSTRADE DETAIL

PENDING SERVICES/ STRUCTURAL COORDINATION

NOT FOR
CONSTRUCTION

INFORMATION ONLY

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Level 3, 232 Adelaide Street
Brisbane, QLD 4000
T +61 7 3726 9588
info@DKO.com.au
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ABN: 61413783636

DKO

Project Name	Abbotsford Rd, Bowen Hills
Project Number	00013360
Project Address	23-39 Abbotsford Rd, Brisbane, QLD 4006

Drawn By	CD
Checked By	EH
Date	17/06/2026
Scale	1:50, 1:1@A1

Drawing Series Proposed GAP & RCP Plans

Drawing Name PROPOSED RCP PLANS - LEVEL 2

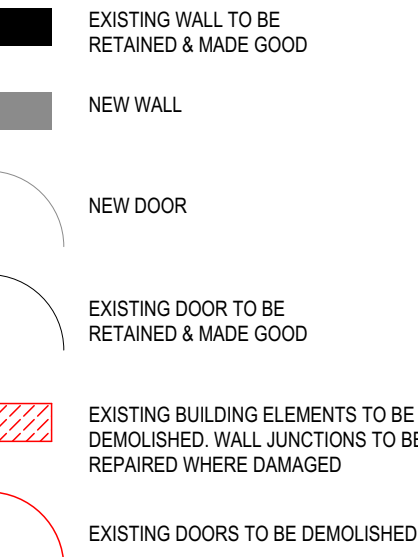
Drawing Number **A2503**
Revision **P4**

CHANGE TO APPROVED DA LIST

NO	DESCRIPTION
H-01	NOTES ADDED
H-02	TIMBER CHAMFER BOARD
H-03	WINDOW RETAINED
H-04	REAR STAIR OMITTED
H-05	REVISED ANNEX
H-06	NEW ENTRY DOORS
H-07	REVISED STAIR 01
H-08	NEW INTERNAL STAIR 02
H-09	NEW INTERNAL STAIR
H-10	NEW WC & KITCHEN
H-11	NEW DOUBLE DOORS
H-12	NEW WALL OPENING
H-13	REVISED CEILING
H-14	BARGE BOARD RETURN
H-15	REVISED VERANDAH RAFTERS
H-16	REVISED BARGE & FINIAL
H-17	REVISED WINDOW HOOD
H-18	NEW DETAIL SHEET ADDED
H-19	ENLARGED OPENINGS
H-20	REVISED SOFIT DETAILS
H-21	REVISED BALUSTRADE DETAIL

EXISTING & DEMO LEGEND

V-VJ	ORIGINAL VJ TIMBER WALL PANELING 135mm W/ HALF ROUND BEADING - VERTICAL
H-VJ	ORIGINAL VJ TIMBER WALL PANELING 135mm W/ HALF ROUND BEADING - HORIZONTAL
O-HL	ORIGINAL HORSE HAIR & LATCH WALL LINING
O-SK	ORIGINAL SKIRTING TO BE RETAINED , FINISH STRIPPED BACK TO SUBSTRATE & MADE GOOD
NO-SK	NON-ORIGINAL SKIRTING TO BE REMOVED & DEMOLISHED, DAMAGE TO WALL, FLOOR OR ORIGINAL SKIRTING TO BE REPAIRED, REPLACED WITH NEW SKIRTING TO MATCH ORIGINAL THROUGHOUT
NO-SK	NON-ORIGINAL SKIRTING TO BE REMOVED & DEMOLISHED, DAMAGE TO WALL, FLOOR OR ORIGINAL SKIRTING TO BE REPAIRED, REPLACED WITH NEW SKIRTING TO MATCH ORIGINAL THROUGHOUT



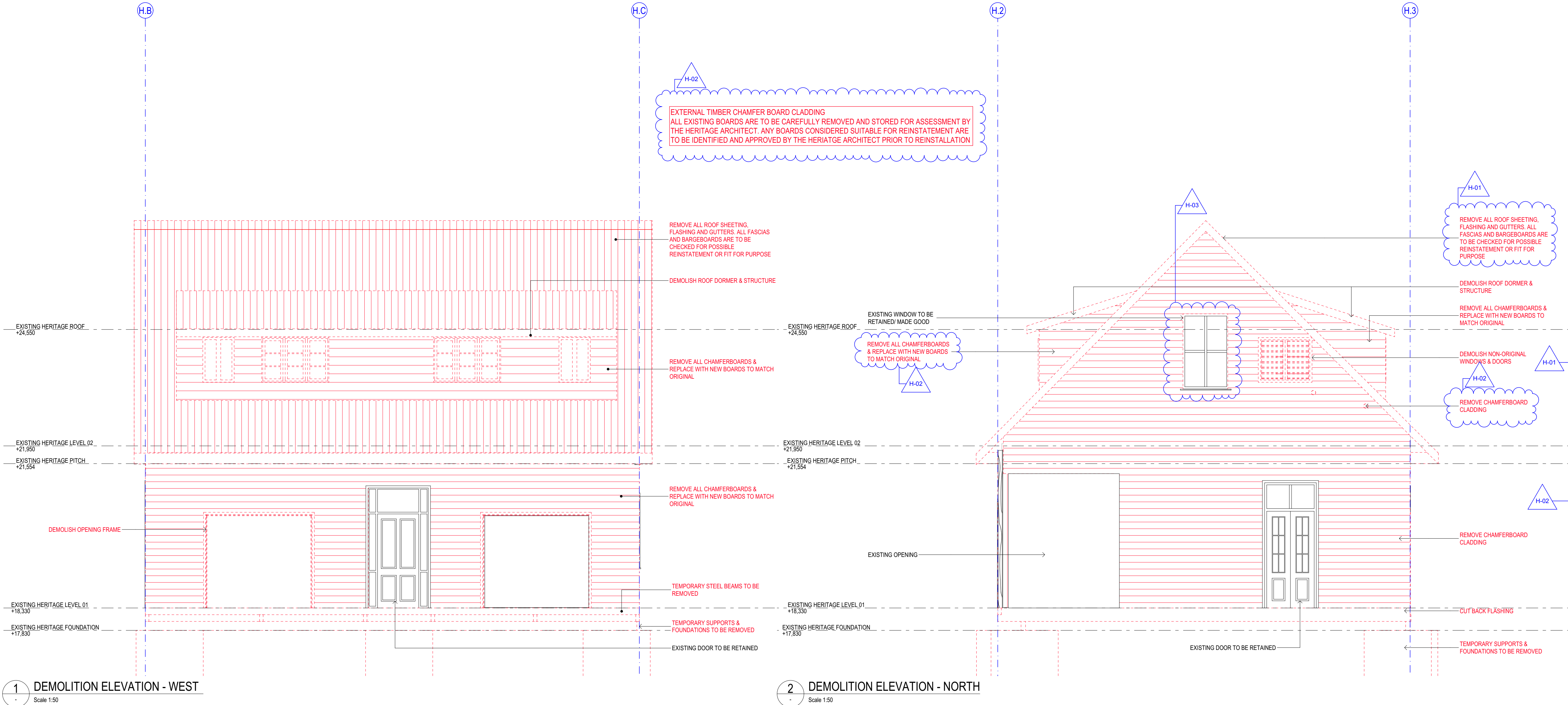
EXISTING & DEMOLITION NOTES

CONTRACTOR TO MAKE GOOD ALL EXISTING ORIGINAL WALLS, WALL LININGS, CORNICES & SKIRTING TO ORIGINAL CONDITION. CONTRACTOR TO MAKE GOOD ALL EXISTING ORIGINAL DOORS, WINDOWS, ARCHITRAVES & SILLS TO ORIGINAL CONDITION. CONTRACTOR TO REMOVE & DEMOLISH ALL EXISTING JOINERY UNITS. REFER TO SERVICES CONSULTANTS DRAWINGS FOR DEMOLITION OF ELECTRICAL & HYDRAULIC FOR REMOVAL & CAPPING OF REDUNDANT SERVICES. ALL DEMOLISHED ELECTRICAL SERVICES TO BE CUT, REMOVED & OR CAPPED. REMOVE ALL FLOOR FINISHES, INCLUDING BUT NOT LIMITED TO CARPET & VINYL. REPAIR TIMBER FLOOR BOARD SUBSTRATE WHERE DAMAGED. REPAIR DAMAGED FASCIA & BARGE BOARDS WHERE NECESSARY TO MATCH ORIGINAL DETAIL. REMOVE NON-ORIGINAL PLY ROOF SOEFT. REMOVE EXISTING ROOF SHEETING & REPAIR DAMAGED PURLINS / TRUSSES. WHERE DEMOLITION WORKS ARE TO TAKE PLACE ENSURE THAT ALL ADJOINING & SURROUNDING SURFACES INCLUDING BUT NOT LIMITED TO FINISHES, STRUCTURES & SUBSTRATES IF DAMAGED ARE TO BE REPAIRED & RESTORED TO ORIGINAL CONDITIONS. DAMAGED OR AFFECTED AREAS CAUSED BY DEMOLITION WORKS ARE TO BE REPAIRED BY THE CONTRACTOR. REMOVE ALL PLYWOOD PANELING FROM EXTERNAL CLADDING & OPENINGS. REMOVE ALL EXTERNAL CHAMFERBOARD TIMBER CLADDING WITH CARE AND STORE FOR ASSESSMENT BY HERITAGE ARCHITECT. BOARDS CONSIDERED SUITABLE FOR REINSTATEMENT ARE TO BE IDENTIFIED AND APPROVED BY THE HERITAGE ARCHITECT PRIOR TO REINSTALLATION. REMOVE ALL PERIMETER STEPS & NON-ORIGINAL CORNICES IN CEILING.

GENERAL NOTES:

CONTRACTOR TO CONDUCT SITE INSPECTION FOR DILAPIDATION REPORT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL VISIT THE SITE PRIOR TO TENDERING, TO ASCERTAIN ACCESS & SITE CONDITIONS. CONTRACTOR & ALL SUB-CONTRACTORS SHALL CHECK ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION & RESTORATION WORKS. ALL STRUCTURE EXISTING & PROPOSED TO BE VERIFIED & CONFIRMED BY STRUCTURAL ENGINEER INCLUDING FLOORING / ROOFING. ALL STRUCTURAL SIZES TO BE CONFIRMED PRIOR TO CONSTRUCTION. CONTRACTOR TO ALLOW FOR NEW ELECTRICAL FIXTURES IN LOCATION OF EXISTING INCLUDING GPO'S / LIGHT FIXTURES / SWITCHES & DATA.

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONFIRM ALL LEVELS & DIMENSIONS ON SITE BEFORE COMMENCEMENT OF ANY WORKS. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL SPECIFICATION AND SCHEDULES AND ALL OTHER CONSULTANTS DOCUMENTATION. ANY DISCREPANCIES SHALL BE REFERRED TO THE SUPERINTENDENT PRIOR TO COMMENCEMENT OF WORK. SITE SETOUT PLAN SHOULD BE READ IN CONJUNCTION WITH SURVEY DRAWING. CHECK DIMENSIONS AND SITE SETOUT PRIOR TO COMMENCEMENT OF WORK. ALL WORK TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA, AUSTRALIAN STANDARDS & ALL OTHER RELEVANT AUTHORITIES. DEMOLISH EXISTING CROSSING, KERBS & CHANNELS AND MAKE WAY FOR NEW WORK. ALLOW FOR THE RECONSTRUCTION & RE-GRADING OF FOOTPATHS & THE CONSTRUCTION OF NEW CROSSING TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. ALL WORKS TO COMPLY WITH ALL RELEVANT S.A.A. CODES. AS 2870 - RESIDENTIAL SLABS & FOOTINGS CONSTRUCTION. AS 1288 - GLASS IN BUILDINGS - SELECTION & INSTALLATION. AS 3786 - SMOKE ALARMS. AS 3660.1 - TERMITE MANAGEMENT. AS 1684 - RESIDENTIAL TIMBER-FRAMED ONSTRUCTION CODE. AS 3740 - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS. ALL STAIRS, RAMP, HANDRAILS & TACTILE INDICATORS TO COMPLY WITH AS 1428.1-2001 AND AS/NZS 1428.4. ALL WINDOWS ARE TO BE INSTALLED IN ACCORDANCE WITH AS 2047. ALL GLAZING TO BE SELECTED AND INSTALLED IN ACCORDANCE WITH AS 1288. ARTIFICIAL LIGHTING TO COMPLY WITH AS 1680. EXHAUST VENTILATION TO THE ENSUITE / BATHROOMS AND LAUNDRIES TO COMPLY WITH AS1668.2. FALLS IN FLOOR FINISHES TO BE PROVIDED IN ACCORDANCE WITH AS3740-2010.



Rev	Date	By	Chk	Description
P1	29/01/2026	CD	RM	FOR INFORMATION
P2	17/02/2026	CD	RM	FOR INFORMATION
P3	15/05/2026	CD	RM	FOR INFORMATION
P4	22/05/2026	CD	RM	DA MINOR CHANGE - HERITAGE HOUSE
P5	11/06/2026	EH	EH	DA MINOR CHANGE - HERITAGE HOUSE

Rev	Date	By	Chk	Description
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Consultants

PENDING SERVICES/
STRUCTURAL
COORDINATION



NOT FOR
CONSTRUCTION

INFORMATION ONLY

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DKO

Project Name
Project Number
Project Address

Drawn By
Checked By
Date
Scale

Abbotsford Rd, Bowen
Hills
00013360
23-39 Abbotsford Rd,
Brisbane, QLD 4006

CD
EH
17/06/2026
1:50, 1:1@A1

Drawing Series
Demolition Elevations

Drawing Name
DEMOLITION ELEVATIONS -
WEST & NORTH

Drawing Number
Revision
A3200
P5

CHANGE TO APPROVED DA LIST

NO	DESCRIPTION
H-01	NOTES ADDED
H-02	TIMBER CHAMFER BOARD
H-03	WINDOW RETAINED
H-04	REAR STAIR OMITTED
H-05	REVISED ANNEX
H-06	NEW ENTRY DOORS
H-07	REVISED STAIR 01
H-08	NEW INTERNAL STAIR 02
H-09	NEW INTERNAL STAIR
H-10	NEW WC & KITCHEN
H-11	NEW DOUBLE DOORS
H-12	NEW WALL OPENING
H-13	REVISED CEILING
H-14	BARGE BOARD RETURN
H-15	REVISED VERANDAH RAFTERS
H-16	REVISED BARGE & FINIAL
H-17	REVISED WINDOW HOOD
H-18	NEW DETAIL SHEET ADDED
H-19	ENLARGED OPENINGS
H-20	REVISED SOFIT DETAILS

EXISTING & DEMO LEGEND

V-VJ	ORIGINAL VJ TIMBER WALL PANELING 135mm W/ HALF ROUND BEADING - VERTICAL
H-VJ	ORIGINAL VJ TIMBER WALL PANELING 135mm W/ HALF ROUND BEADING - HORIZONTAL
O-HL	ORIGINAL HORSE HAIR & LATCH WALL LINING
O-SK	ORIGINAL SKIRTING TO BE RETAINED , FINISH STRIPPED BACK TO SUBSTRATE & MADE GOOD
NO-SK	NON-ORIGINAL SKIRTING TO BE REMOVED & DEMOLISHED, DAMAGE TO WALL, FLOOR OR ORIGINAL SKIRTING TO BE REPAIRED, REPLACED WITH NEW SKIRTING TO MATCH ORIGINAL THROUGHOUT
NO-SK	NON-ORIGINAL SKIRTING TO BE REMOVED & DEMOLISHED, DAMAGE TO WALL, FLOOR OR ORIGINAL SKIRTING TO BE REPAIRED, REPLACED WITH NEW SKIRTING TO MATCH ORIGINAL THROUGHOUT

	EXISTING WALL TO BE RETAINED & MADE GOOD
	NEW WALL
	NEW DOOR
	EXISTING DOOR TO BE RETAINED & MADE GOOD
	EXISTING BUILDING ELEMENTS TO BE DEMOLISHED, WALL JUNCTIONS TO BE REPAIRED WHERE DAMAGED
	EXISTING DOORS TO BE DEMOLISHED

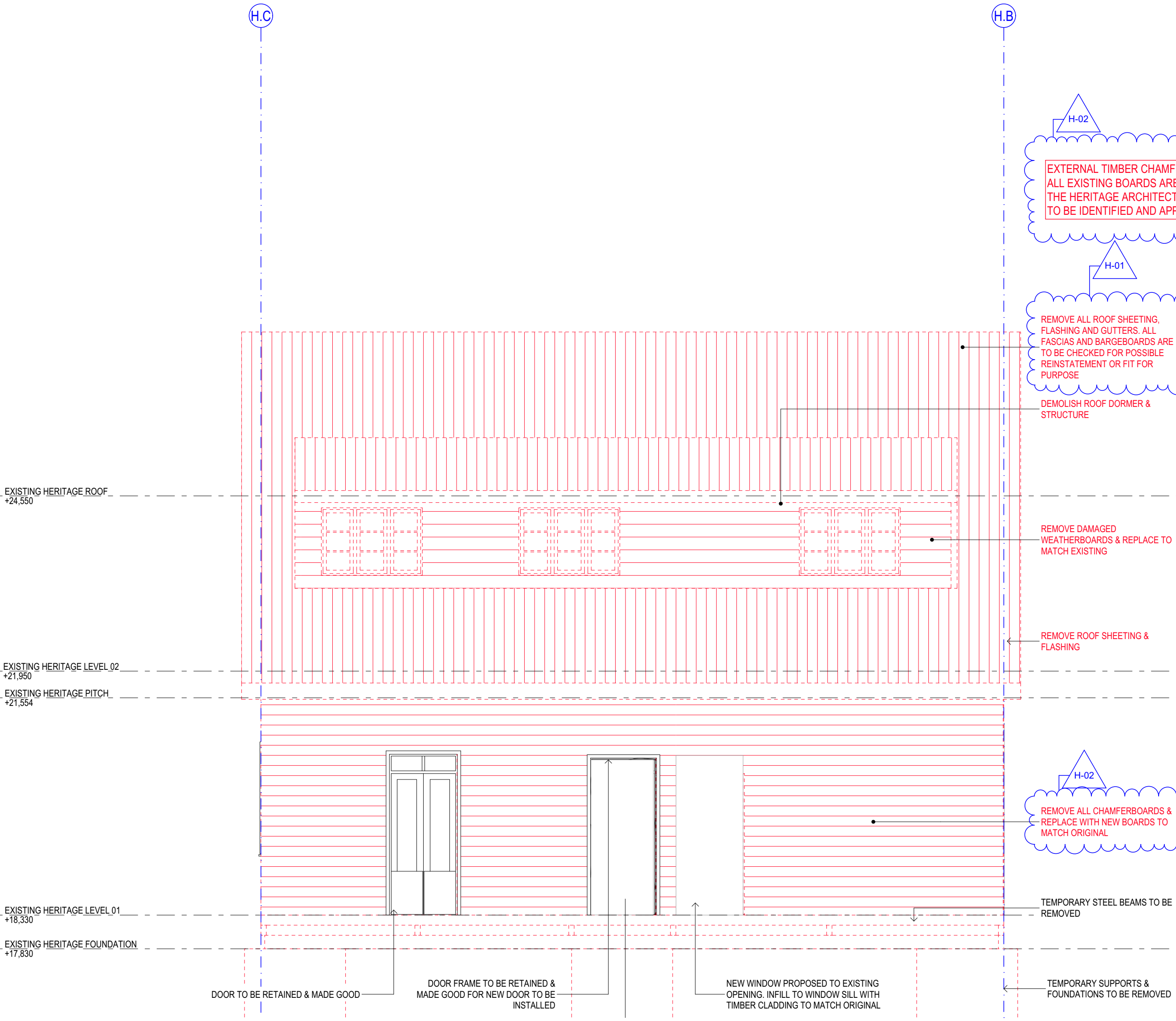
EXISTING & DEMOLITION NOTES

CONTRACTOR TO MAKE GOOD ALL EXISTING ORIGINAL WALLS, WALL LININGS, CORNICES & SKIRTING TO ORIGINAL CONDITION. CONTRACTOR TO MAKE GOOD ALL EXISTING ORIGINAL DOORS, WINDOWS, ARCHITRAVES & SILLS TO ORIGINAL CONDITION. CONTRACTOR TO REMOVE & DEMOLISH ALL EXISTING JOINERY UNITS. REFER TO SERVICES CONSULTANTS DRAWINGS FOR DEMOLITION OF ELECTRICAL & HYDRAULIC FOR REMOVAL & CAPPING OF REDUNDANT SERVICES. ALL DEMOLISHED ELECTRICAL SERVICES TO BE CUT, REMOVED & NOT CAPPED. REMOVE ALL FLOOR FINISHES, INCLUDING BUT NOT LIMITED TO CARPET & VINYL. REPAIR TIMBER FLOOR BOARD SUBSTRATE WHERE DAMAGED. REPAIR DAMAGED FASCIA & BARGE BOARDS WHERE NECESSARY TO MATCH ORIGINAL DETAIL. REMOVE NON-ORIGINAL PLY ROOF SOFFIT. REMOVE EXISTING ROOF SHEETING & REPAIR DAMAGED PURLINS / TRUSSES. WHERE DEMOLITION WORKS ARE TO TAKE PLACE ENSURE THAT ALL ADJOINING & SURROUNDING SURFACES INCLUDING BUT NOT LIMITED TO FINISHES, STRUCTURES & SUBSTRATES IF DAMAGED ARE TO BE REPAIRED & RESTORED TO ORIGINAL CONDITIONS. DAMAGED OR AFFECTED AREAS CAUSED BY DEMOLITION WORKS ARE TO BE REPAIRED BY THE CONTRACTOR. REMOVE ALL PLYWOOD PANELING FROM EXTERNAL CLADDING & OPENINGS. REMOVE ALL EXTERNAL CHAMFERBOARD TIMBER CLADDING WITH CARE AND STORE FOR ASSESSMENT BY HERITAGE ARCHITECT. BOARDS CONSIDERED SUITABLE FOR REINSTATEMENT ARE TO BE IDENTIFIED AND APPROVED BY THE HERITAGE ARCHITECT PRIOR TO REINSTALLATION. REMOVE ALL PERIMETER STEPS & NON-ORIGINAL CORNICES IN CEILING.

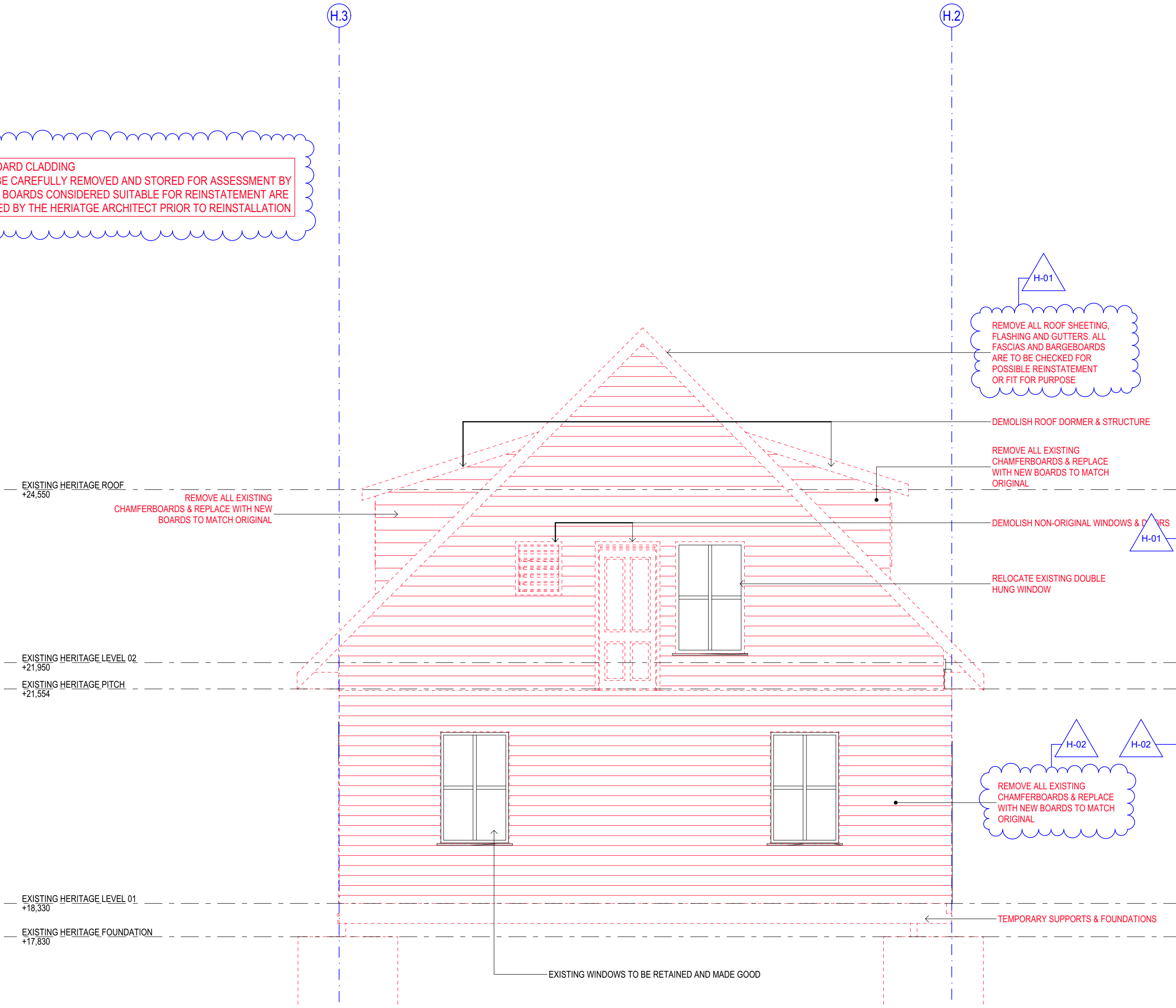
GENERAL NOTES:

CONTRACTOR TO CONDUCT SITE INSPECTION FOR DILAPIDATION REPORT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL VISIT THE SITE PRIOR TO TENDERING, TO ASCERTAIN ACCESS & SITE CONDITIONS. CONTRACTOR & ALL SUB-CONTRACTORS SHALL CHECK ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION & RESTORATION WORKS. ALL STRUCTURE EXISTING & PROPOSED TO BE VERIFIED & CONFIRMED BY STRUCTURAL ENGINEER INCLUDING FLOORING / CONSTRUCTION. ALL STRUCTURAL SIZES TO BE CONFIRMED PRIOR TO CONSTRUCTION. CONTRACTOR TO ALLOW FOR NEW ELECTRICAL FIXTURES IN LOCATION OF EXISTING INCLUDING GPO'S / LIGHT FIXTURES / SWITCHES & DATA.

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1 DEMOLITION ELEVATION - EAST
Scale 1:50



2 DEMOLITION ELEVATION - SOUTH
Scale 1:50

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Rev	Date	By	Chk	Description
P1	29/01/2026	CD	RM	FOR INFORMATION
P2	17/02/2026	CD	RM	HH FOR INFORMATION
P3	15/05/2026	CD	RM	FOR INFORMATION
P4	22/05/2026	CD	RM	DA MINOR CHANGE - HERITAGE HOUSE
P5	11/06/2026	EH	EH	DA MINOR CHANGE - HERITAGE HOUSE

Rev	Date	By	Chk	Description
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Consultants

PENDING SERVICES/
STRUCTURAL
COORDINATION

NOT FOR
CONSTRUCTION
INFORMATION ONLY

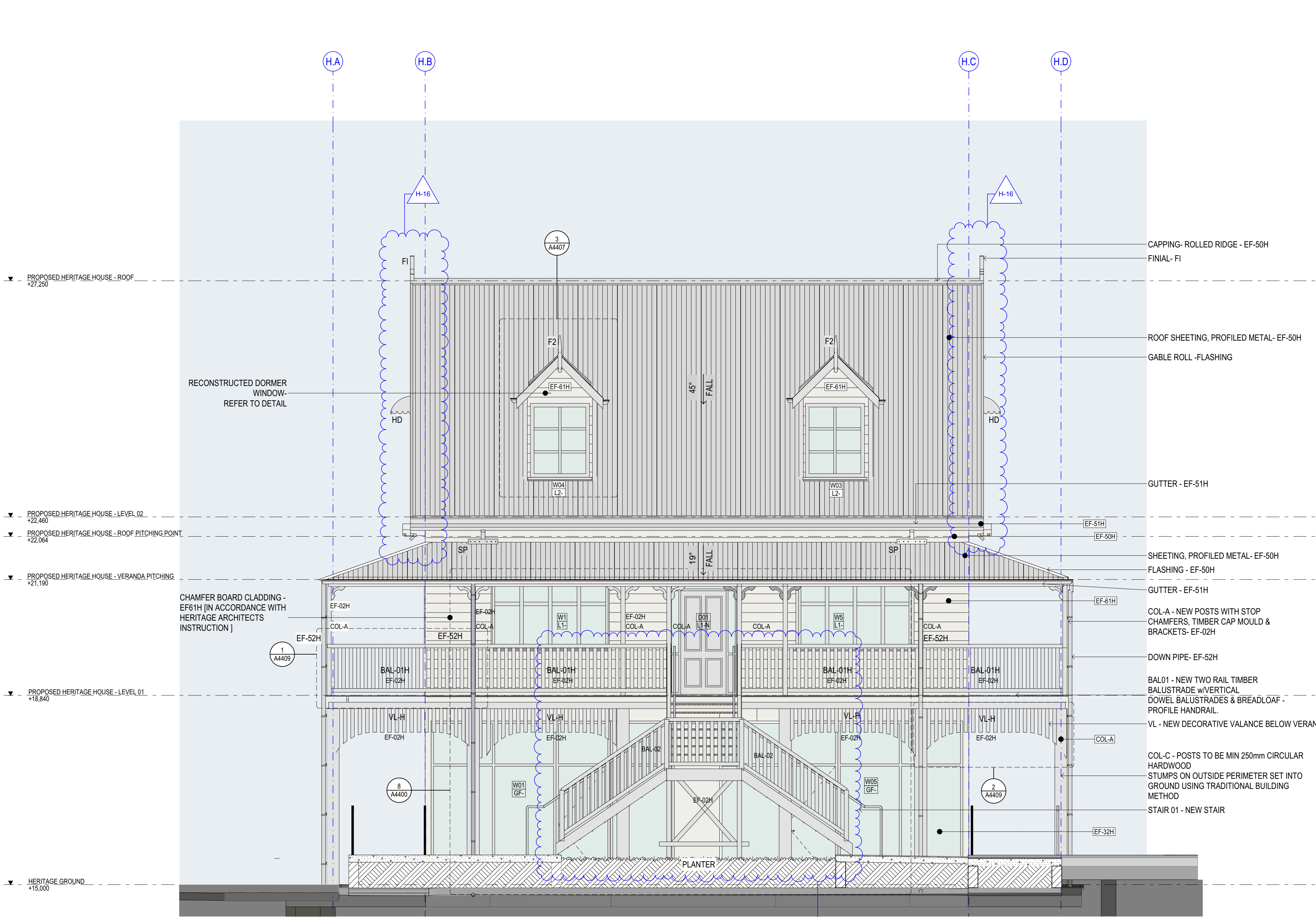
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info@dko.com.au
www.dko.com.au
ABN: 61413783636

DKO

Project Name
Project Number
Project Address
Abbotsford Rd, Bowen Hills
00013360
23-39 Abbotsford Rd,
Brisbane, QLD 4006

Drawn By
Checked By
Date
Scale
CD
EH
17/06/2026
1:50, 1:1@A1

Drawing Series
Drawing Name
Drawing Number
Revision
Demolition Elevations
DEMOLITION ELEVATIONS -EAST & SOUTH
A3201
P5



1 PROPOSED HERITAGE WEST ELEVATION
Scale 1:50

EXTERIOR FINISHES LEGEND

	EF-01H: EXTERIOR PAINT - OATMILK BAXTA ENGINEERED COATINGS- LOW SHEEN FINISH
	EF-02H: EXTERIOR PAINT - DOVE BAXTA ENGINEERED COATINGS- LOW SHEEN FINISH
	EF-03H: EXTERNAL PAINT - CORTADO BAXTA ENGINEERED COATINGS- LOW SHEEN FINISH
	EF-32H: GLASS - CLEAR CLEAR GLAZING
	EF-43H: POWDER COAT - SURFMIST DULUX POWDER COATING, DURATEC ELEMENTS, MATT FINISH
	EF-50H - METAL ROOF - ZINCALUME 0.6 BMT. CUSTOM ORB PROFILE, ZINCALUME STEEL
	EF-51H - STEEL GUTTER - COATED 0.6BMT. OGEE PROFILE, COATED TO MATCH EF-02H
	EF-52H - STEEL DOWNPIPE - COATED 0.6BMT. 90° STEEL COATED TO MATCH EF-02H
	EF-60 H: FC CLADDING - OATMILK JAMES HARDIE FC MATRIX CLADDING. PAINTED EF-01H
	EF-61H: TIMBER CLADDING - CHAMFER BOARD - OATMILK TREATED PINE CHAMFER BOARD. PROFILE TO BE APPROVED BY HERITAGE CONSULTANT - COLOUR EF-01H

GENERAL NOTES:

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EXHAUST VENTILATION TO THE ENSUITE / BATHROOMS AND LAUNDRIES TO COMPLY WITH AS1688.2
FALLS IN FLOOR FINISHES TO BE PROVIDED IN ACCORDANCE WITH AS3740-2010

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FLOOR WASTES TO BE PROVIDED IN ACCORDANCE WITH CLAUSE F1.11 OF NCC
FALLS IN FLOOR FINISHES TO BE PROVIDED IN ACCORDANCE WITH AS3740-2010

BCA COMPLIANCE NOTES:

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4. OPERATION OF DOOR LATCHES IS TO COMPLY WITH BCA 2014 CLAUSE D2.21.
5. ACCESS FOR PEOPLE WITH DISABILITIES IS TO COMPLY WITH BCA 2014 CLAUSES D3.1, D3.2, D3.6 SIGNAGE AND D3.12 GLAZING AND AS 1428.1 - 2009 AMD1 1.
6. MARKING OF GLAZING IN ACCORDANCE WITH BCA 2014 D3.12, AND AS 1428.1 - 2009 AMD1 1.
7. CONSTRUCTION OF SANITARY FACILITIES IS TO BE IN ACCORDANCE WITH BCA 2014 CLAUSE F2.5.
8. SANITARY COMPARTMENT DOORS MUST BE REMOVABLE FROM THE OUTSIDE UNLESS THERE IS A CLEAR SPACE OF 1.2M IN ACCORDANCE WITH BCA 2014 CLAUSE F2.5.
9. ARTIFICIAL LIGHTING & POWER IS TO BE IN ACCORDANCE WITH BCA 2014 CLAUSE F4.4, J6.2, J6.3, J6.4, J6.5 & J6.6 & AS/NZS 1680.0-2009.
10. NATURAL VENTILATION IS TO BE IN ACCORDANCE WITH BCA 2014 CLAUSE F4.5, F4.6 & F4.7.
11. MECHANICAL VENTILATION IS TO BE IN ACCORDANCE WITH BCA 2014 CLAUSE F4.7, F4.9, J3.5 & J3.7 (EVAPORATIVE COOLERS), J5.2, J5.3, J5.4 & J5.5 & AS 1688.2 - 2012.
12. HOT WATER SUPPLY (ENERGY EFFICIENCY) - BCA 2014 CLAUSE J7.2 & PART B2 OF NCC VOLUME 3 - PLUMBING CODE OF AUSTRALIA.

EXISTING WALL TO BE RETAINED & MADE GOOD

NEW WALL

NEW DOOR

EXISTING DOOR TO BE RETAINED & MADE GOOD

CHANGE TO APPROVED DA LIST

NO	DESCRIPTION
H-01	NOTES ADDED
H-02	TIMBER CHAMFER BOARD
H-03	WINDOW RETAINED
H-04	REAR STAIR OMITTED
H-05	REVISED ANNEX
H-06	NEW ENTRY DOORS
H-07	REVISED STAIR 01
H-08	NEW INTERNAL STAIR 02
H-09	NEW INTERNAL STAIR
H-10	NEW WC & KITCHEN
H-11	NEW DOUBLE DOORS
H-12	NEW WALL OPENING
H-13	REVISED CEILING
H-14	BARGE BOARD RETURN
H-15	REVISED VERANDAH RAFTERS
H-16	REVISED BARGE & FINIAL
H-17	REVISED WINDOW HOOD
H-18	NEW DETAIL SHEET ADDED
H-19	ENLARGED OPENINGS
H-20	REVISED SOFIT DETAILS
H-21	REVISED BALUSTRADE DETAIL
H-22	REVISED FINISHES

ABBREVIATIONS

AFFL	ABOVE FINISHED FLOOR LEVEL
SSL	STRUCTURAL SLAB LEVEL
HOB	CONCRETE HOB
RL	RELATIVE LEVEL (ABOVE AHD)
RBS	REGISTERED BUILDING SURVEYOR
BAL	BALUSTRADE TYPE
EO	EQUAL
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FS	EMERGENCY AUDIBLE WARNING
RED	RED STROBE DEVICE
BO	BALCONY OUTLET
DP	90DIA DOWN PIPE
NOM	NOMINAL
UNO	UNLESS NOTED OTHERWISE
COL-A	TIMBER POST
COL-B	STRUCTURAL STEEL SHS
COL-C	250DIA CIRCULAR TIMBER STUMBS

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P3	15/05/2026	TP	KCAK	FOR INFORMATION
P4	22/05/2026	TP	KCAK	DA MINOR CHANGE - HERITAGE HOUSE
P5	11/06/2026	EH	EH	DA MINOR CHANGE - HERITAGE HOUSE

Rev	Date	By	Chk	Description
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DKO

Project Name
Project Number
Project Address

Drawn By
Checked By
Date
Scale

Abbotsford Rd, Bowen Hills
00013360
23-39 Abbotsford Rd,
Brisbane, QLD 4006

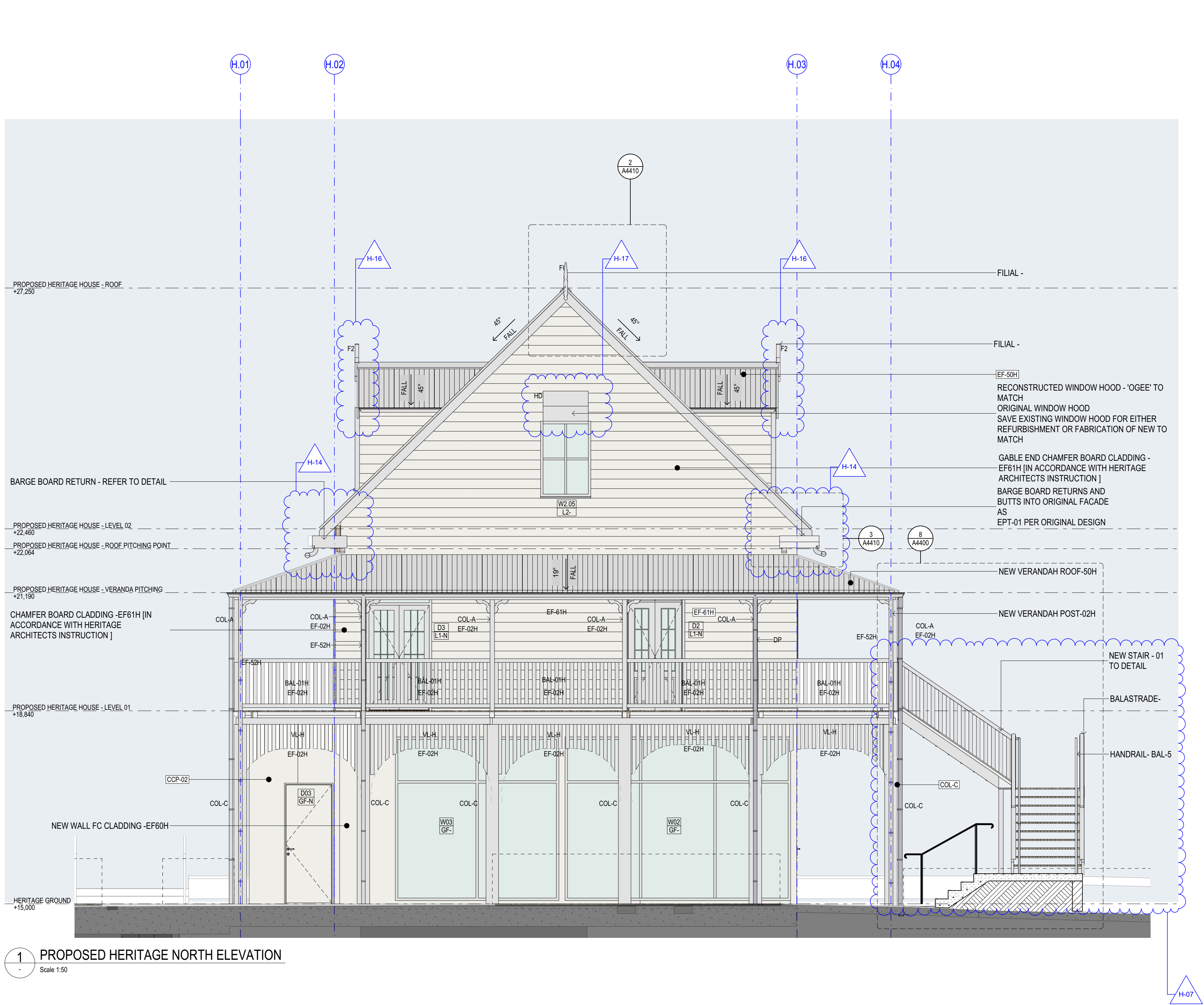
CD
EH
17/06/2026
1:1@A1

Drawing Series
Proposed Elevations & Sections

Drawing Name
PROPOSED ELEVATION - WEST

Drawing Number
Revision

A3400
P5



1 PROPOSED HERITAGE NORTH ELEVATION
Scale 1:50

EXTERIOR FINISHES LEGEND	
	EF-01H: EXTERIOR PAINT - OATMILK BAXTA ENGINEERED COATINGS- LOW SHEEN FINISH
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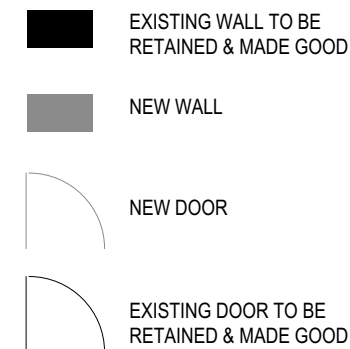
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Drawing Series	Proposed Elevations & Sections
Drawing Name	PROPOSED ELEVATION - NORTH
Drawing Number	A3401
Revision	P5

CHANGE TO APPROVED DA LIST

NO	DESCRIPTION
H-01	NOTES ADDED
H-02	TIMBER CHAMFER BOARD
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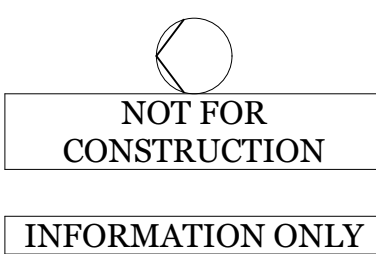
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P5	11/06/2026	EH	EH	DA MINOR CHANGE - HERITAGE HOUSE

Rev	Date	By	Chk	Description
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Consultants

PENDING SERVICES/
STRUCTURAL
COORDINATION



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Brisbane, QLD 4000
T +61 7 3725 9288
info@dko.com.au
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Project Name	Abbotsford Rd, Bowen Hills
Project Number	00013360
Project Address	23-39 Abbotsford Rd, Brisbane, QLD 4006
Drawn By	CD
Checked By	EH
Date	17/06/2026
Scale	1:1@A1

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H-21	REVISED BALUSTRADE DETAIL

Drawing Series Proposed Elevations & Sections
Drawing Name PROPOSED ELEVATION - EAST

Drawing Number A3402
Revision P5

Drawn By CD
Checked By EH
Date 17/06/2026
Scale 1:1@A1

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Rev Date By Chk Description

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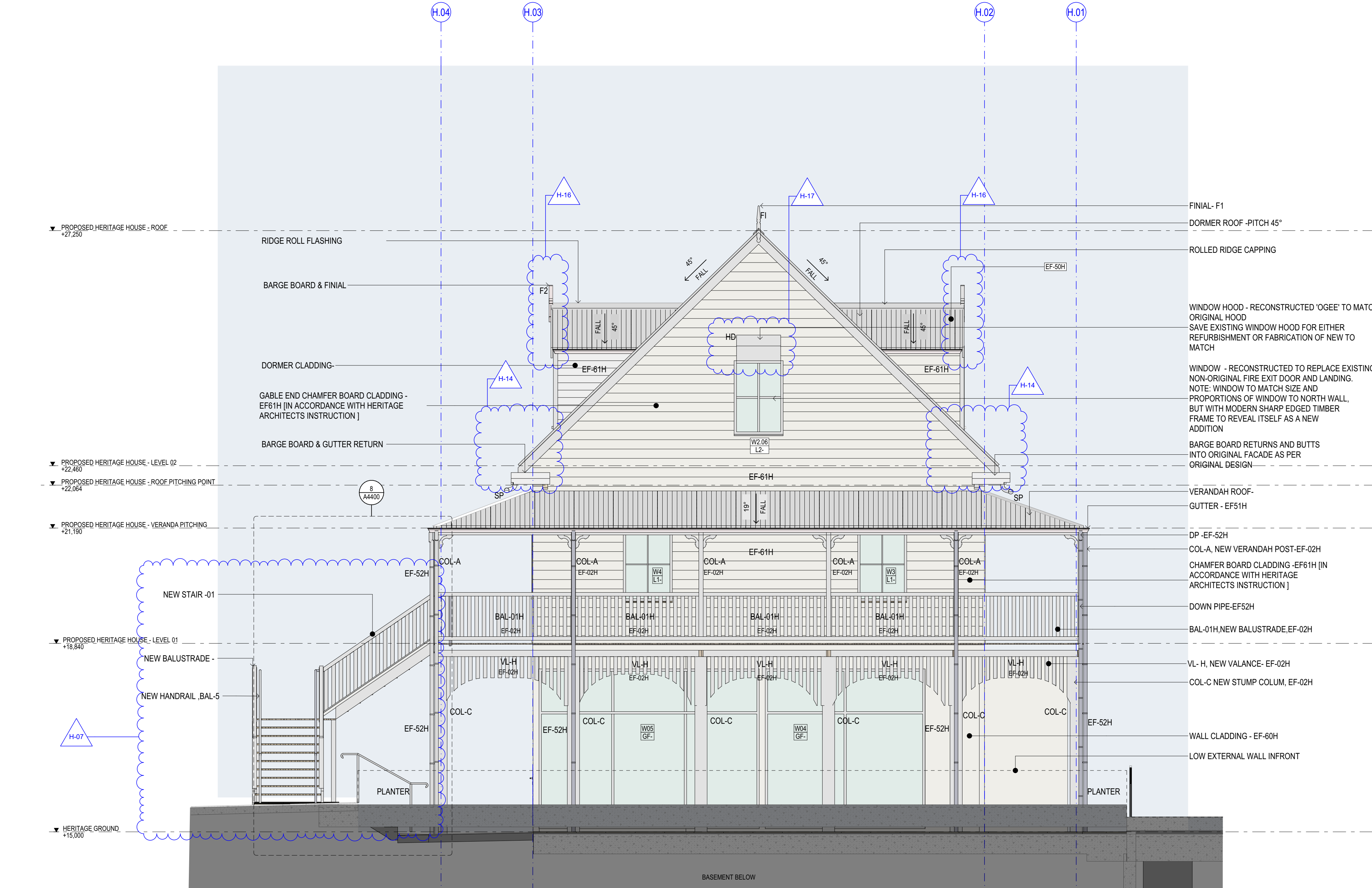
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1 PROPOSED HERITAGE SOUTH ELEVATION
Scale 1:50

EXTERIOR FINISHES LEGEND

	EF-01H: EXTERIOR PAINT - OATMILK BAXTA ENGINEERED COATINGS- LOW SHEEN FINISH
	EF-02H: EXTERIOR PAINT - DOVE BAXTA ENGINEERED COATINGS- LOW SHEEN FINISH
	EF-03H: EXTERNAL PAINT - CORTADO BAXTA ENGINEERED COATINGS- LOW SHEEN FINISH
	EF-04H: EXTERIOR PAINT - DOVE BAXTA ENGINEERED COATINGS- LOW SHEEN FINISH
	EF-05H: EXTERIOR PAINT - DOVE BAXTA ENGINEERED COATINGS- LOW SHEEN FINISH
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	EF-20H: EXTERIOR PAINT - DOVE BAXTA ENGINEERED COATINGS- LOW SHEEN FINISH
	EF-21H: EXTERIOR PAINT - DOVE BAXTA ENGINEERED COATINGS- LOW SHEEN FINISH
	EF-22H: EXTERIOR PAINT - DOVE BAXTA ENGINEERED COATINGS- LOW SHEEN FINISH

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DKO

Project Name
Project Number
Project Address

Abbotsford Rd, Bowen
Hills
00013360
23-39 Abbotsford Rd,
Brisbane, QLD 4006

Drawn By
Checked By
Date
Scale

CD
EH
17/06/2026
1:1@A1

Drawing Series Proposed Elevations & Sections

Drawing Name PROPOSED ELEVATION - SOUTH

Drawing Number A3403
Revision P5

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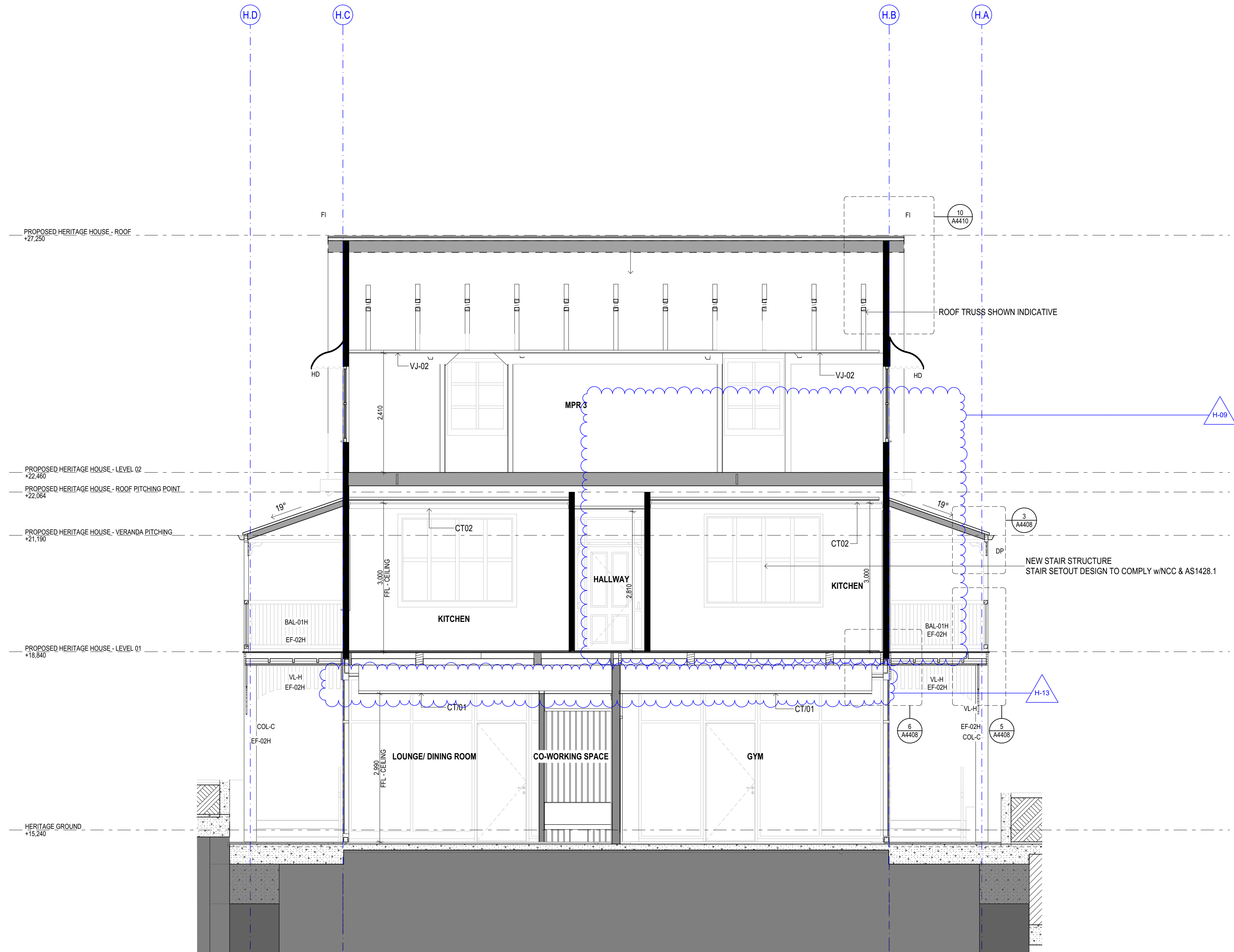
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H-15	REVISED VERANDAH RAFTERS
H-16	REVISED BARGE & FINIAL
H-17	REVISED WINDOW HOOD
H-18	NEW DETAIL SHEET ADDED
H-19	ENLARGED OPENINGS
H-20	REVISED SOFIT DETAILS
H-21	REVISED BALUSTRADE DETAIL



1 PROPOSED SECTION - A A
Scale 1:50

Builder/Contractor shall verify job dimensions before any job commences.
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All shop drawings shall be submitted to the Architect/Consultant, and manufacture shall not commence prior to return of inspected shop drawings by the Architect/Consultant.

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Rev	Date	By	Chk	Description
P1	17/02/2026	CD	RM	HH FOR INFORMATION
P2	15/05/2026	CD	RM	FOR INFORMATION
P3	22/05/2026	CD	RM	DA MINOR CHANGE - HERITAGE HOUSE
P4	11/06/2026	EH	EH	DA MINOR CHANGE - HERITAGE HOUSE

Rev	Date	By	Chk	Description
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Consultants

PENDING SERVICES/
STRUCTURAL
COORDINATION



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info@dko.com.au
www.dko.com.au
ABN: 61413783636

DKO

Project Name
Project Number
Project Address

Drawn By
Checked By
Date
Scale

Abbotsford Rd, Bowen
Hills
00013360
23-39 Abbotsford Rd,
Brisbane, QLD 4006

Drawing Series
Drawing Name

Drawing Number
Revision

A3404
P4

GENERAL NOTES:

CONTRACTOR TO CONDUCT SITE INSPECTION FOR DILAPIDATION REPORT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
CONTRACTOR SHALL VISIT THE SITE PRIOR TO TENDERING, TO ASCERTAIN ACCESS & SITE CONDITIONS.
CONTRACTOR & ALL SUB-CONTRACTORS SHALL CHECK ALL DIMENSIONS BEFORE COMMENCING CONSTRUCTION & RESTORATION WORKS.
ALL STRUCTURE EXISTING & PROPOSED TO BE VERIFIED & CONFINED BY STRUCTURAL ENGINEER INCLUDING FLOORING / WALLS / ROOFING.
ALL STRUCTURAL SIZES TO BE CONFIRMED PRIOR TO CONSTRUCTION.
CONTRACTOR TO ALLOW FOR NEW ELECTRICAL FIXTURES IN LOCATION OF EXISTING INCLUDING GPO'S / LIGHT FIXTURES / SWITCHES & DATA.

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
CONFIRM ALL LEVELS & DIMENSIONS ON SITE BEFORE COMMENCEMENT OF ANY WORKS.
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL SPECIFICATION AND SCHEDULES AND ALL OTHER CONSULTANTS DOCUMENTATION. ANY DISCREPANCIES SHALL BE REFERRED TO THE SUPERINTENDENT PRIOR TO COMMENCEMENT OF WORK.
SITE SETOUT PLAN SHOULD BE READ IN CONJUNCTION WITH SURVEY DRAWING, CHECK DIMENSIONS AND SITE SETOUT PRIOR TO COMMENCEMENT OF WORK.
ALL WORK TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA, AUSTRALIAN STANDARDS & ALL OTHER RELEVANT AUTHORITIES.
DEMOLISH EXISTING CROSSING, KERBS & CHANNELS AND MAKE WAY FOR NEW WORK. ALLOW FOR THE RECONSTRUCTION & RE-GRADING OF FOOTPATHS & THE CONSTRUCTION OF NEW CROSSING TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
ALL WORKS TO COMPLY WITH ALL RELEVANT S.A.A. CODES.
AS 2870 - RESIDENTIAL SLABS & FOOTINGS CONSTRUCTION.
AS 1288 - GLASS IN BUILDINGS - SELECTION & INSTALLATION.
AS 3786 - SMOKE ALARMS.
AS 3680.1 - TERMITE MANAGEMENT.
AS 1684 - RESIDENTIAL TIMBER-FRAMED CONSTRUCTION CODE.
AS 3740 - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.
ALL STAIRS, RAMPS, HANDRAILS & TACTILE INDICATORS TO COMPLY WITH AS 1428.1-2001 AND AS/NZS 1428.4.
ALL WINDOWS ARE TO BE INSTALLED IN ACCORDANCE WITH AS 2047.
ALL GLAZING TO BE SELECTED AND INSTALLED IN ACCORDANCE WITH AS 1288.
ARTIFICIAL LIGHTING TO COMPLY WITH AS 1680.
EXHAUST VENTILATION TO THE ENSUITE / BATHROOMS AND LAUNDRIES TO COMPLY WITH AS1688.2.
FALLS IN FLOOR FINISHES TO BE PROVIDED IN ACCORDANCE WITH AS3740-2010.

REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR ALL PLANTING, PAVING AND COURTYARD DETAILS.
REFER SERVICES ENGINEER'S DOCUMENTATION FOR ALL SERVICES.
ALL STAIRS, RAMPS, HANDRAILS & TACTILE INDICATORS TO COMPLY WITH AS 1428.1-2001 AND AS/NZS 1428.4.
ALL WINDOWS ARE TO BE INSTALLED IN ACCORDANCE WITH AS 2047.
ALL GLAZING TO BE SELECTED AND INSTALLED IN ACCORDANCE WITH AS 1288.
ARTIFICIAL LIGHTING TO COMPLY WITH AS 1680.
EXHAUST VENTILATION TO THE ENSUITE / BATHROOMS AND LAUNDRIES TO COMPLY WITH AS1688.2.
FLOOR WASTES TO BE PROVIDED IN ACCORDANCE WITH CLAUSE F1.11 OF NCC.
FALLS IN FLOOR FINISHES TO BE PROVIDED IN ACCORDANCE WITH AS3740-2010.

BCA COMPLIANCE NOTES:

1. GLAZING ASSEMBLIES ARE TO COMPLY WITH BCA 2014 CLAUSE B1.4 & F1.13, AS 2047:1999 AMDT 1 & 2 AND AS 1288:2006 AMDT 1 & 2.
2. FIRE HAZARD PROPERTIES OF LININGS, MATERIALS AND ASSEMBLIES ARE TO COMPLY WITH BCA 2014 CLAUSE C1.10 AND SPEC C1.10.
3. DOORWAYS AND DOORS ARE TO COMPLY WITH BCA 2014 CLAUSE D2.19 & D2.20.
4. OPERATION OF DOOR LATCHES IS TO COMPLY WITH BCA 2014 CLAUSE D2.21.
5. ACCESS FOR PEOPLE WITH DISABILITIES IS TO COMPLY WITH BCA 2014 CLAUSES D3.1, D3.2, D3.6 SIGNAGE AND D3.12 GLAZING AND AS 1428.1 - 2009 AMDT 1.
6. MARKING OF GLAZING IN ACCORDANCE WITH BCA 2014 D3.12, AND AS 1428.1 - 2009 AMDT 1.
7. CONSTRUCTION OF SANITARY FACILITIES IS TO BE IN ACCORDANCE WITH BCA 2014 CLAUSE F2.5.
8. SANITARY COMPARTMENT DOORS MUST BE REMOVABLE FROM THE OUTSIDE UNLESS THERE IS A CLEAR SPACE OF 1.2M IN ACCORDANCE WITH BCA 2014 CLAUSE F2.5.
9. ARTIFICIAL LIGHTING & POWER IS TO BE IN ACCORDANCE WITH BCA 2014 CLAUSE F4.4, J6.2, J6.3, J6.4, J6.5 & J6.6 & AS/NZS 1680.2-2009.
10. NATURAL VENTILATION IS TO BE IN ACCORDANCE WITH BCA 2014 CLAUSE F4.5, F4.6 & F4.7.
11. MECHANICAL VENTILATION IS TO BE IN ACCORDANCE WITH BCA 2014 CLAUSE F4.7, F4.9, J3.5 & J3.7 (EVAPORATIVE COOLERS), J5.2, J5.3, J5.4 & J5.5 & AS 1680.2 - 2012.
12. HOT WATER SUPPLY (ENERGY EFFICIENCY) - BCA 2014 CLAUSE J7.2 & PART B2 OF NCC VOLUME 3 - PLUMBING CODE OF AUSTRALIA.

EXISTING WALL TO BE
RETAINED & MADE GOOD

NEW WALL

NEW DOOR

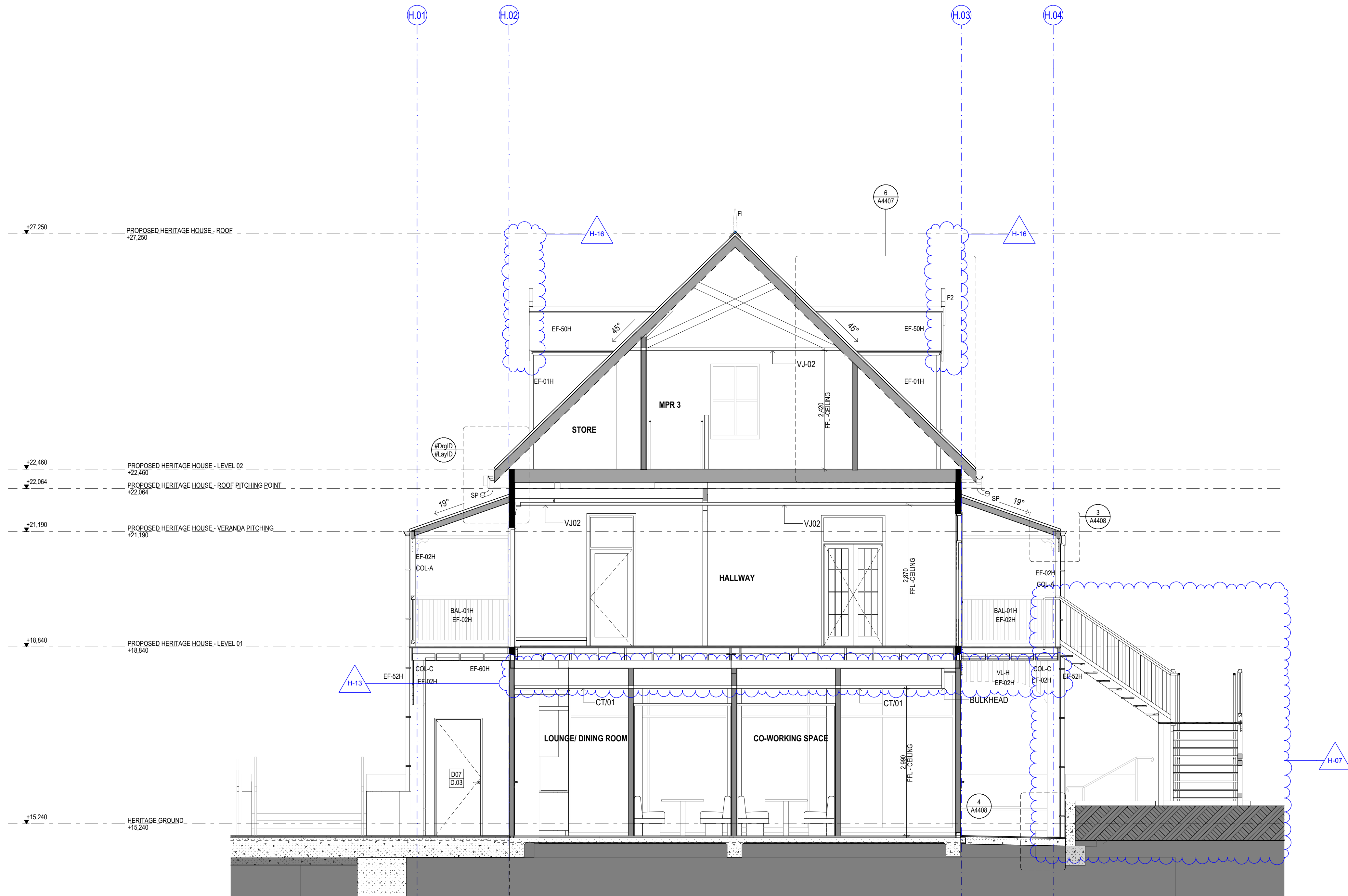
EXISTING DOOR TO BE
RETAINED & MADE GOOD

CHANGE TO APPROVED DA LIST

NO	DESCRIPTION
H-01	NOTES ADDED
H-02	TIMBER CHAMFER BOARD
H-03	WINDOW RETAINED
H-04	REAR STAIR OMITTED
H-05	REVISED ANNEX
H-06	NEW ENTRY DOORS
H-07	REVISED STAIR 01
H-08	NEW INTERNAL STAIR 02
H-09	NEW INTERNAL STAIR
H-10	NEW WC & KITCHEN
H-11	NEW DOUBLE DOORS
H-12	NEW WALL OPENING
H-13	REVISED CEILING
H-14	BARGE BOARD RETURN
H-15	REVISED VERANDAH RAFTERS
H-16	REVISED BARGE & FINIAL
H-17	REVISED WINDOW HOOD
H-18	NEW DETAIL SHEET ADDED
H-19	ENLARGED OPENINGS
H-20	REVISED SOFIT DETAILS
H-21	REVISED BALUSTRADE DETAIL

ABBREVIATIONS

AFFL	ABOVE FINISHED FLOOR LEVEL
SSL	STRUCTURAL SLAB LEVEL
HOB	CONCRETE HOB
RL	RELATIVE LEVEL (ABOVE AHD)
RBS	REGISTERED BUILDING SURVEYOR
BAL	BALUSTRADE TYPE
EO	EQUAL
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FS	EMERGENCY AUDIBLE WARNING
BO	RED STROBE DEVICE
BO	BALCONY OUTLET
DP	90DIA DOWN PIPE
NOM	NOMINAL
UNO	UNLESS NOTED OTHERWISE
COL-A	TIMBER POST
COL-B	STRUCTURAL STEEL SHS
COL-C	250DIA CIRCULAR TIMBER STUMBS



1 PROPOSED SECTION - B B
Scale 1:50

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Rev	Date	By	Chk	Description
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DKO

Project Name
Project Number
Project Address

Abbotsford Rd, Bowen
Hills
00013360
23-39 Abbotsford Rd,
Brisbane, QLD 4006

Drawn By
Checked By
Date
Scale

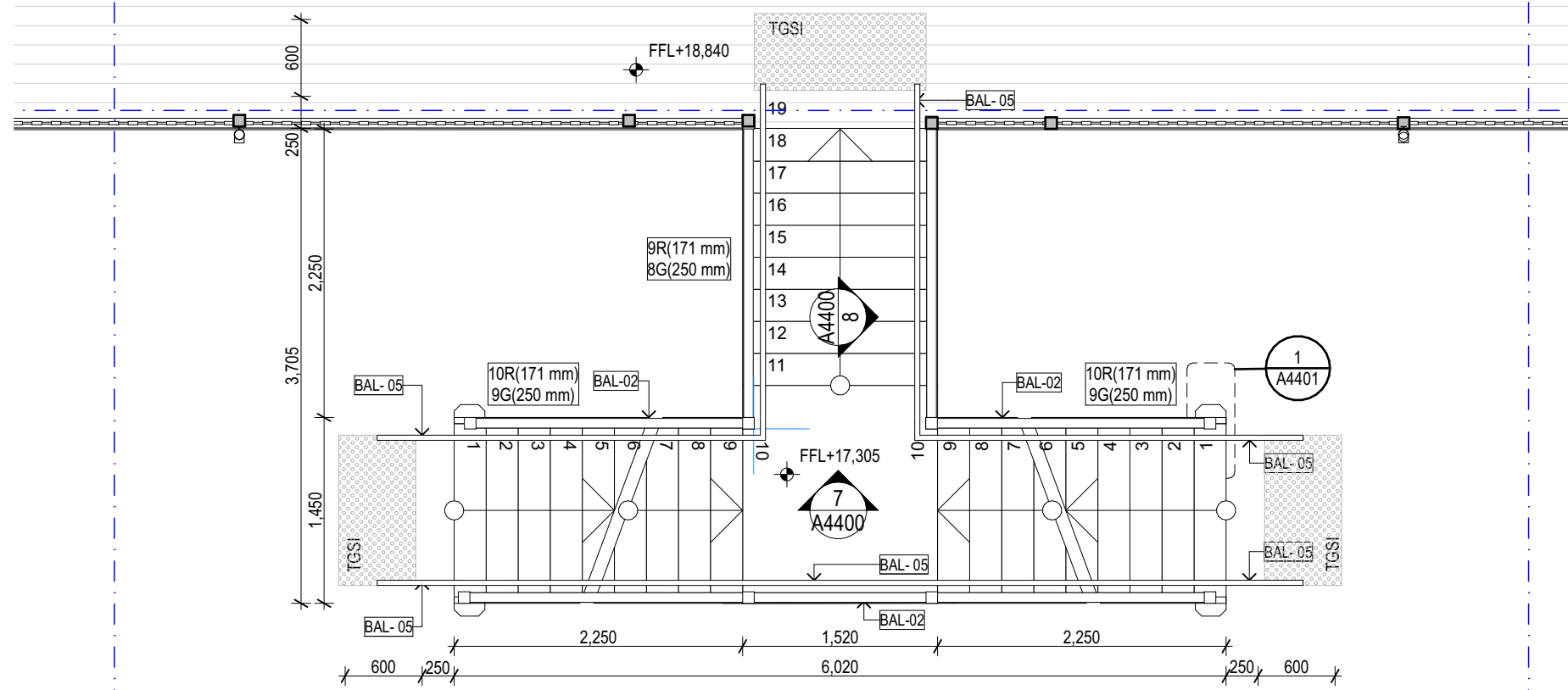
CD
EH
17/06/2026
1:1@A1

Drawing Series
Drawing Name

Proposed Elevations & Sections
PROPOSED SECTION - BB

Drawing Number
Revision

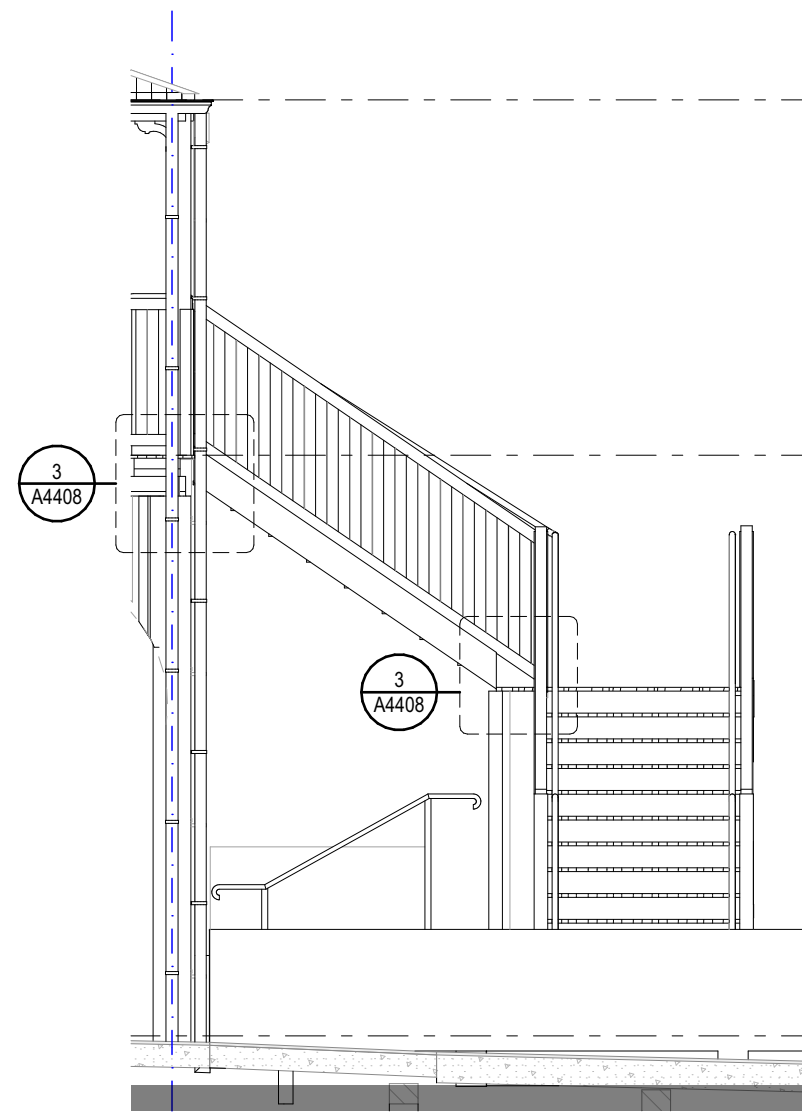
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P4



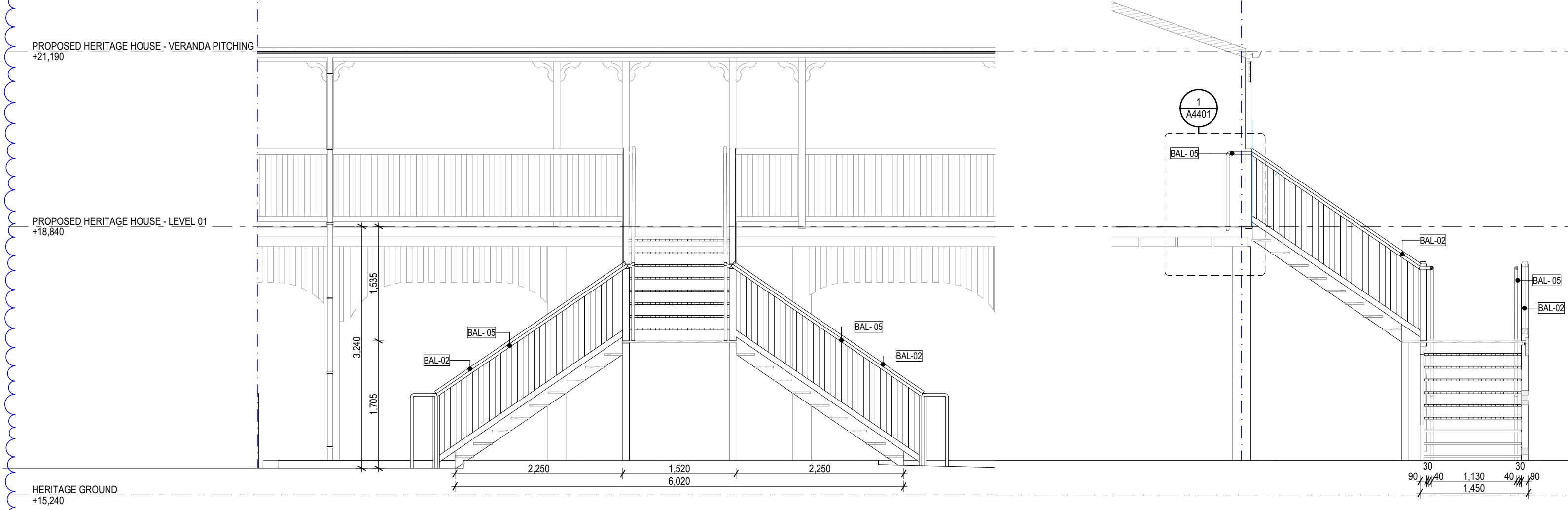
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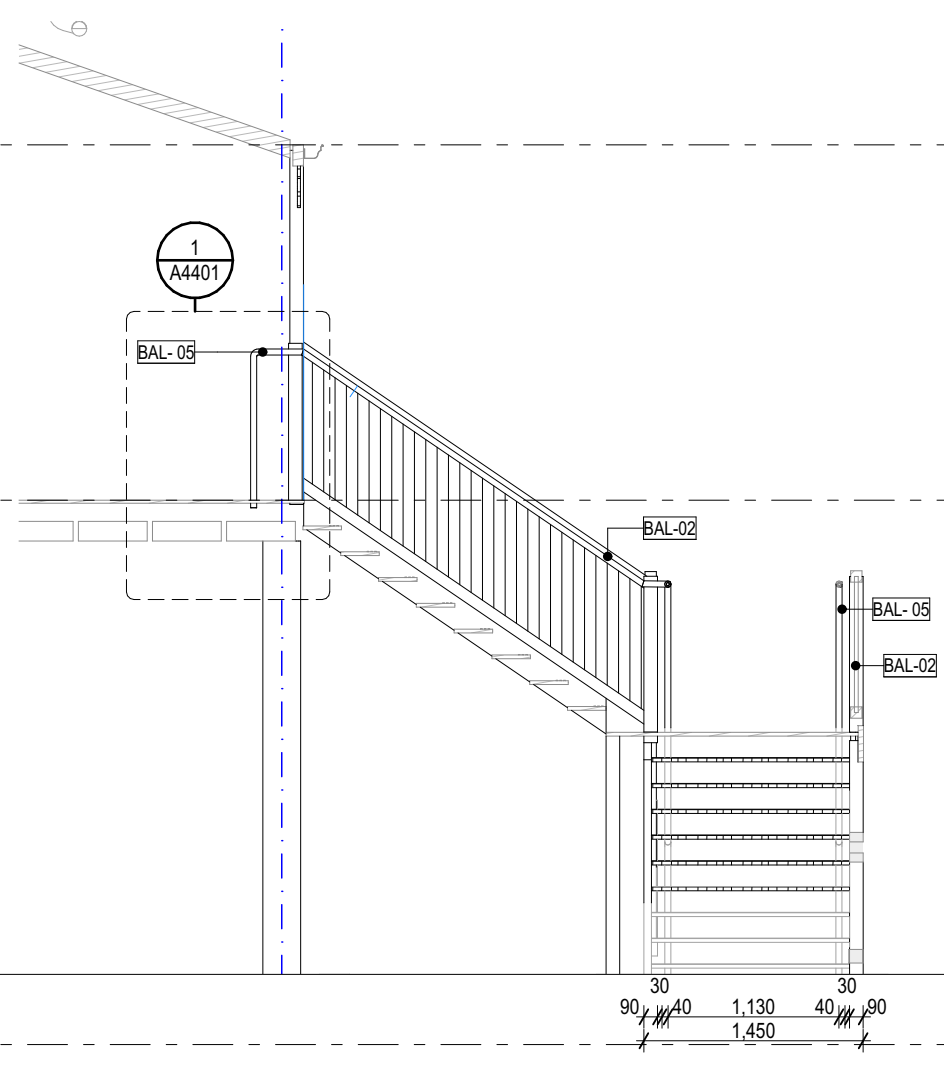
3 DETAIL FRONT ELEVATION - MAIN STAIR 01 A
Scale 1:50



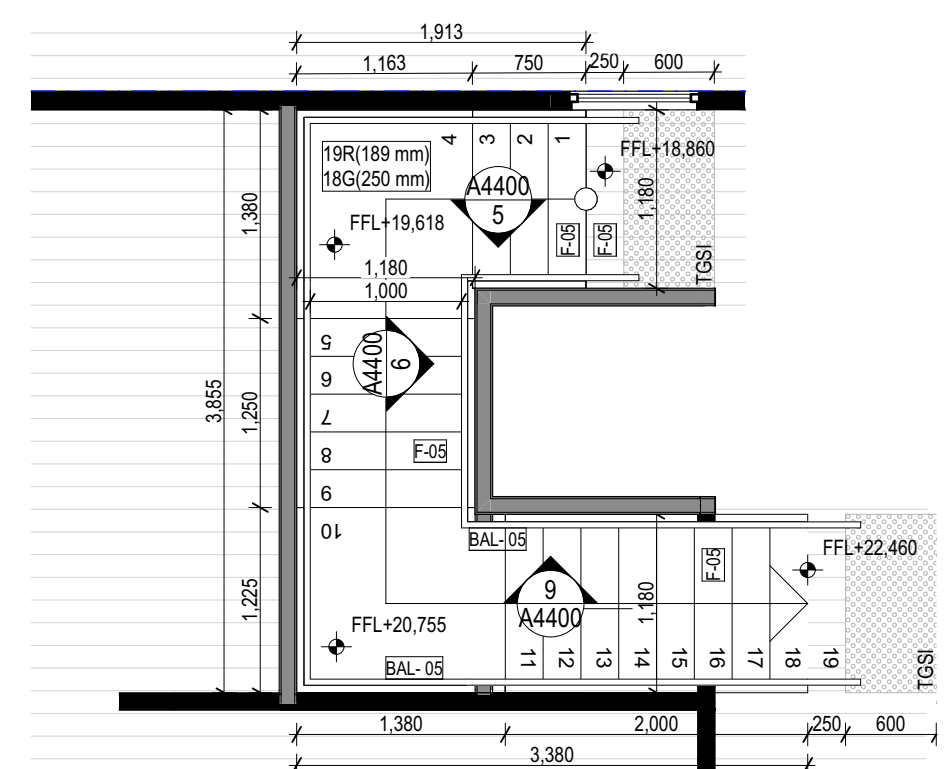
4 DETAIL SIDE ELEVATION - MAIN STAIR 01
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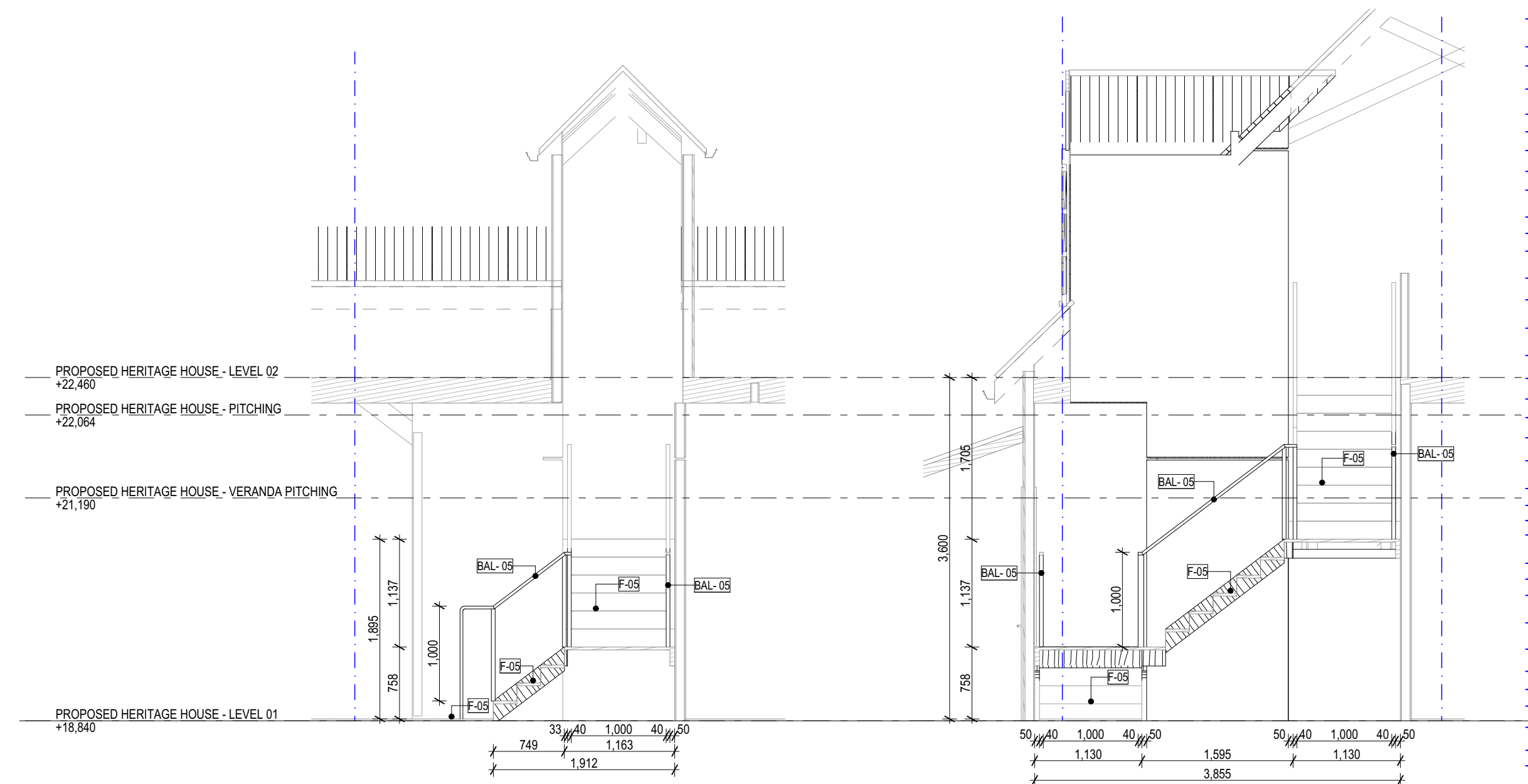
7 DETAIL SECTION A - MAIN STAIR 01
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8 DETAIL SECTION B - MAIN STAIR 01
Scale 1:50

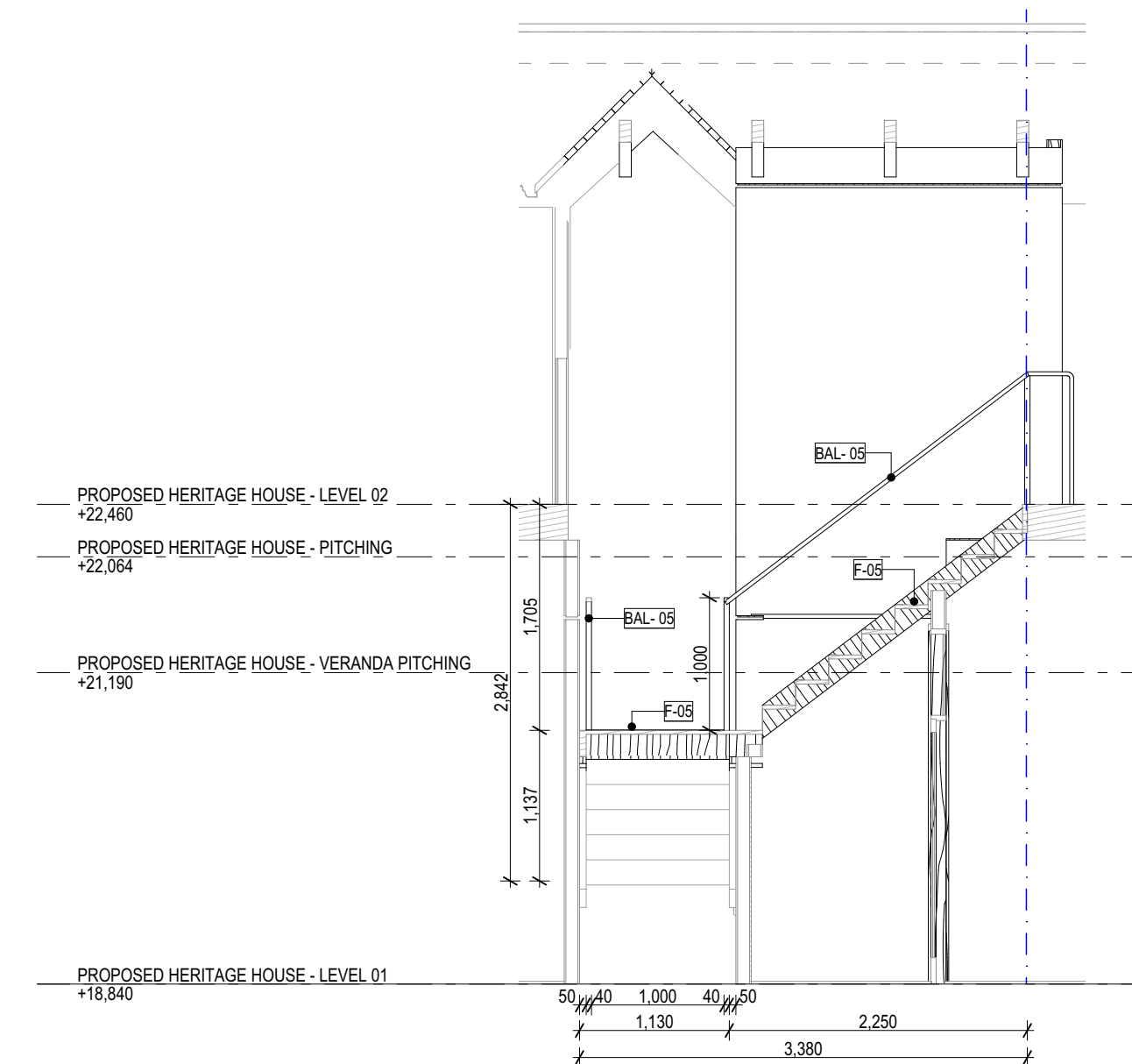


2 DETAIL PLAN - STAIR 02
Scale 1:50



5 DETAIL FRONT ELEVATION - STAIR 02
Scale 1:50

6 DETAIL SECTION - STAIR 02
Scale 1:50



9 DETAIL SECTION - STAIR 02
Scale 1:50

CHANGE TO APPROVED DA LIST

NO	DESCRIPTION
H-01	NOTES ADDED
H-02	TIMBER CHAMFER BOARD
H-03	WINDOW RETAINED
H-04	REAR STAIR OMITTED
H-05	REVISED ANNEX
H-06	NEW ENTRY DOORS
H-07	REVISED STAIR 01
H-08	NEW INTERNAL STAIR 02
H-09	NEW INTERNAL STAIR
H-10	NEW WC & KITCHEN
H-11	NEW DOUBLE DOORS
H-12	NEW WALL OPENING
H-13	REVISED CEILING
H-14	BARGE BOARD RETURN
H-15	REVISED VERANDAH RAFTERS
H-16	REVISED BARGE & FINAL
H-17	REVISED WINDOW HOOD
H-18	NEW DETAIL SHEET ADDED
H-19	ENLARGED OPENINGS
H-20	REVISED SOFIT DETAILS
H-21	REVISED BALUSTRADE DETAIL

Rev	Date	By	Chk	Description
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P2	11/06/2020	EH	EH	DA MINOR CHANGE - HERITAGE HOUSE

Rev	Date	By	Chk	Description
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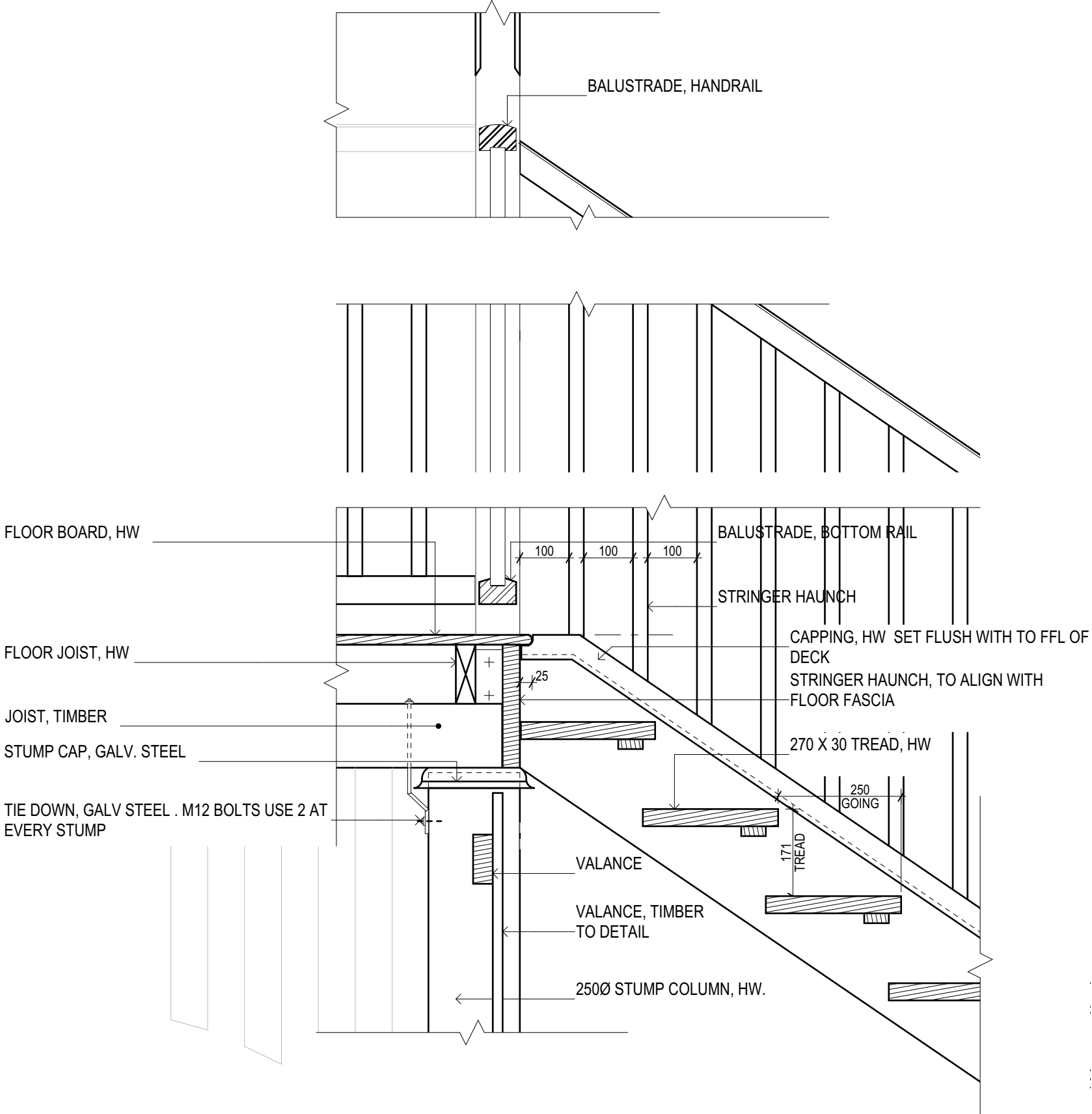
DKO Architecture (QLD) Pty Ltd
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DKO

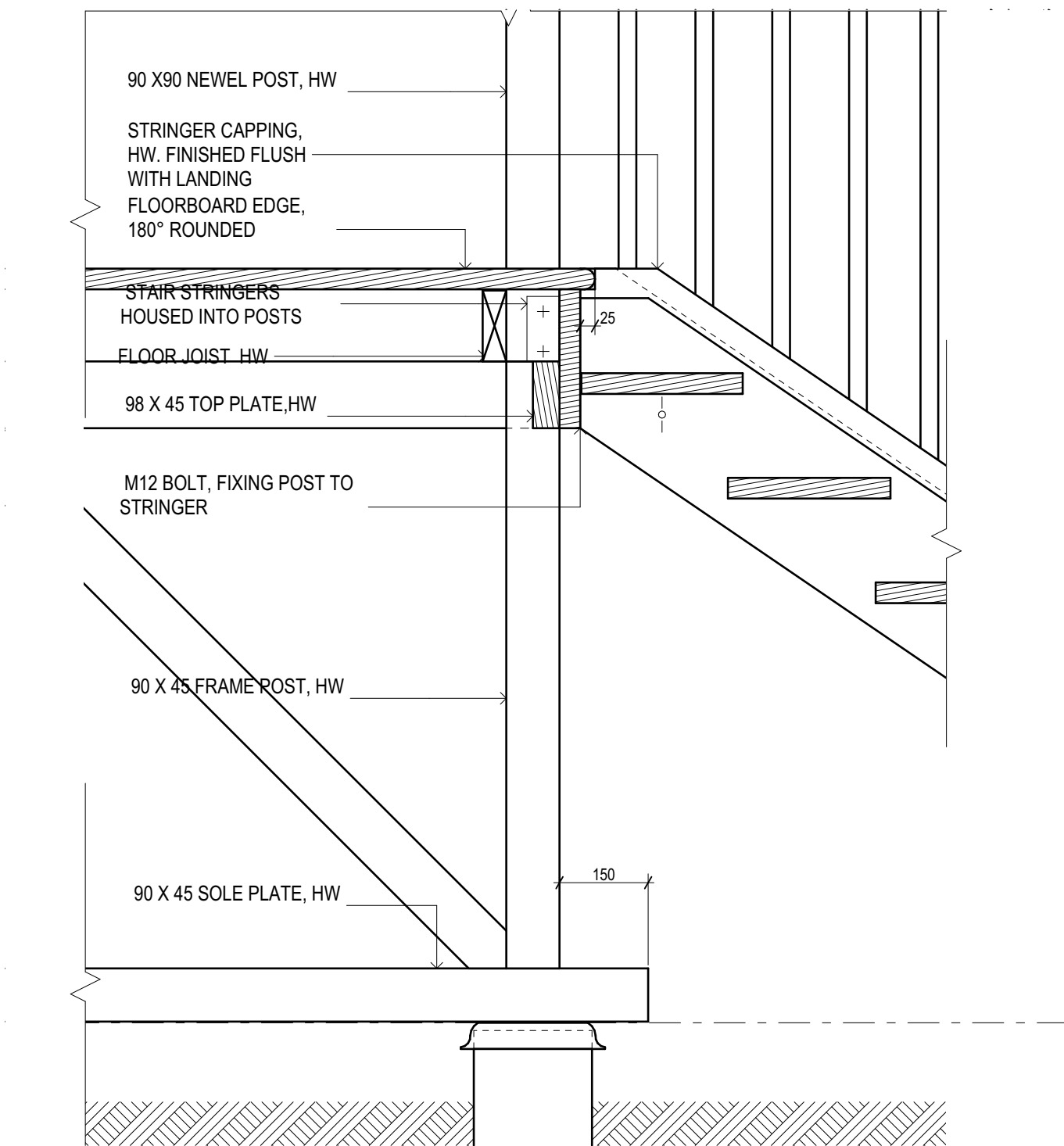
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Project Number
Project Address
Drawing Series
Drawing Name
Drawing Number
Revision

Abbotsford Rd, Bowen Hills
00013360
23-39 Abbotsford Rd, Brisbane, QLD 4006
Details
DETAILS SECTION & ELEVATION - STAIR 01 SHEET 1
A4400
P2

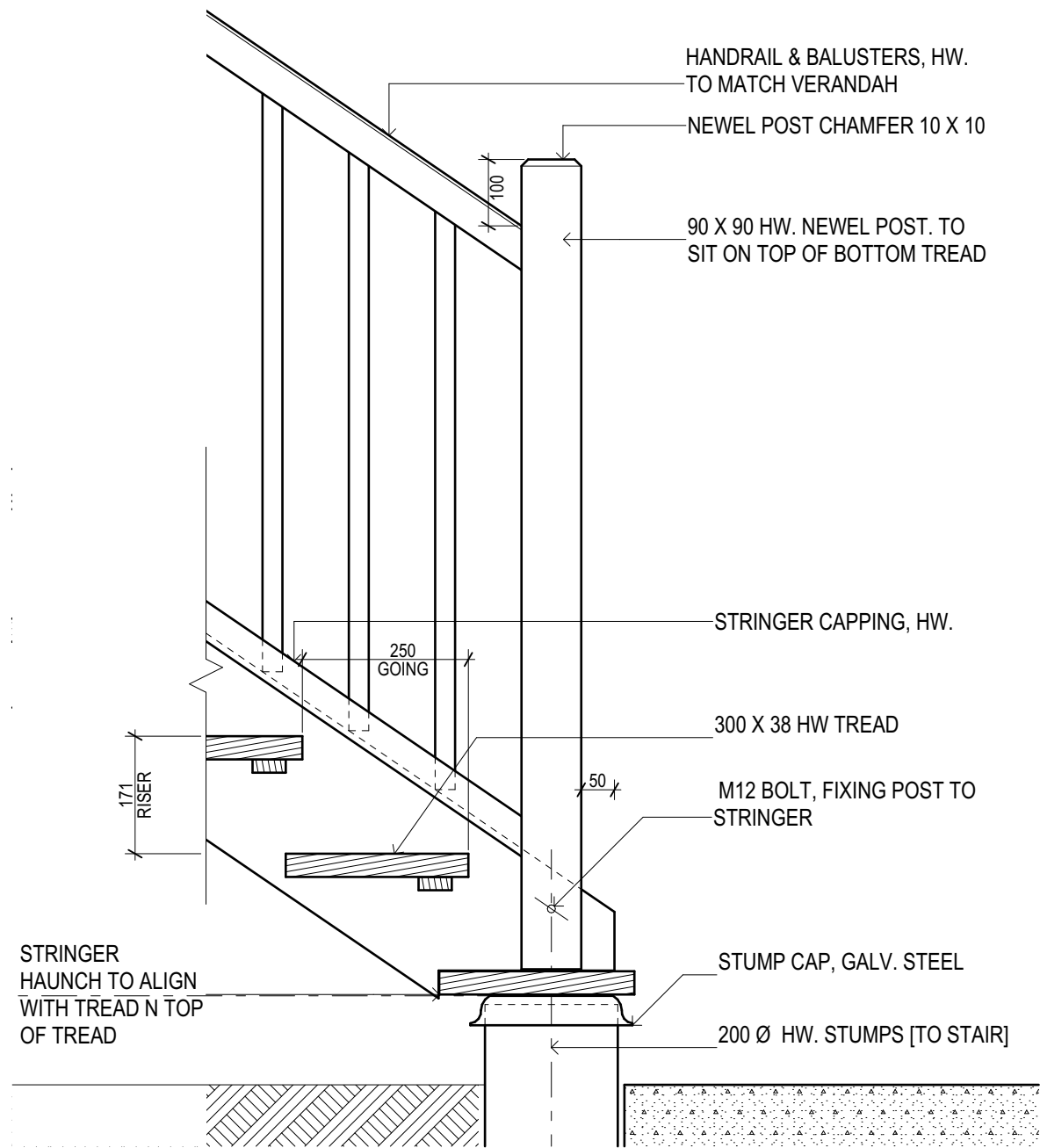
NOTES:
REFER TO SPECIFICATION FOR
FURTHER INFORMATION.
ENGINEER TO CONFIRM SIZED
AND PROVIDE DETAILS, ETC.



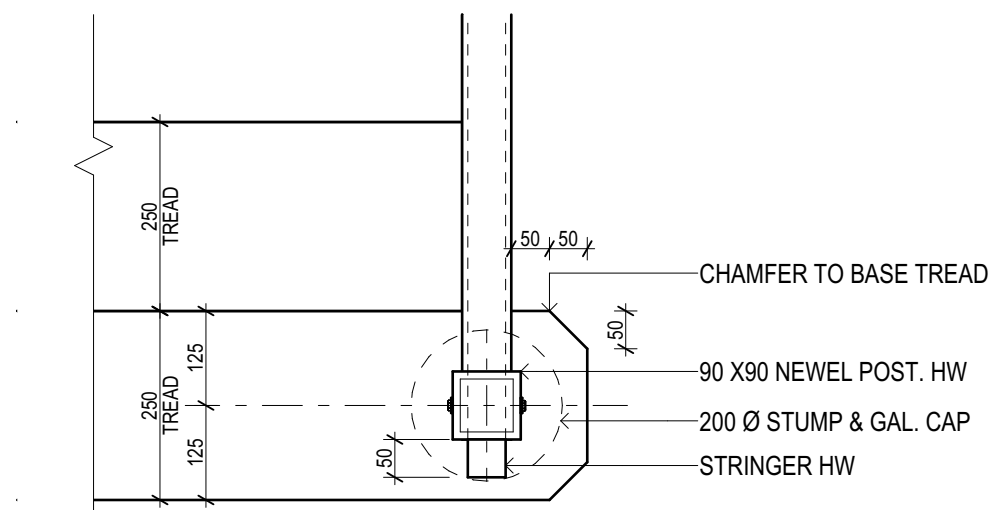
1 DETAIL SECTION - STAIR TO VERNADAH JUNCTION
Scale 1:10



2 DETAIL SECTION - STAIR TO LANDING JUNCTION
Scale 1:10



3 DETAIL SECTION - STAIR TO GROUND JUNCTION
Scale 1:10



4 DETAIL PLAN - BASE TREAD
Scale 1:10

CHANGE TO APPROVED DA LIST

NO	DESCRIPTION
H-01	NOTES ADDED
H-02	TIMBER CHAMFER BOARD
H-03	WINDOW RETAINED
H-04	REAR STAIR OMITTED
H-05	REVISED ANNEX
H-06	NEW ENTRY DOORS
H-07	REVISED STAIR 01
H-08	NEW INTERNAL STAIR 02
H-09	NEW INTERNAL STAIR
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H-14	BARGE BOARD RETURN
H-15	REVISED VERANDAH RAFTERS
H-16	REVISED BARGE & FINIAL
H-17	REVISED WINDOW HOOD
H-18	NEW DETAIL SHEET ADDED
H-19	ENLARGED OPENINGS
H-20	REVISED SOFIT DETAILS
H-21	REVISED BALUSTRADE DETAIL
H-22	REVISED FINISHES

PENDING SERVICES/
STRUCTURAL
COORDINATION

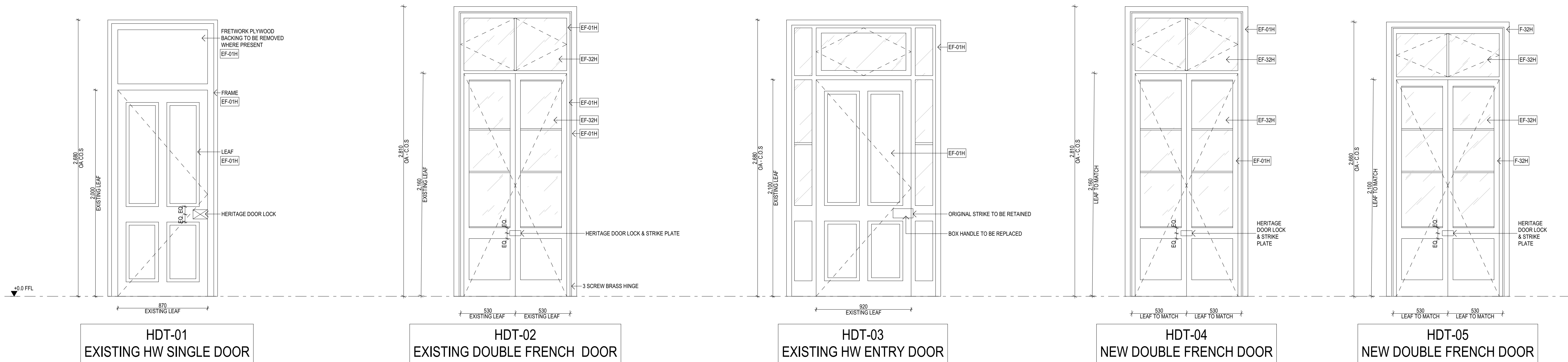
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info@DKO.com.au
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ABN: 61413783636

DKO

Project Name	Abbotsford Rd, Bowen Hills
Project Number	00013360
Project Address	23-39 Abbotsford Rd, Brisbane, QLD 4006
Drawn By	TP
Checked By	EH
Date	17/06/2026
Scale	1:10, 1:1@A1

Drawing Series	Details
Drawing Name	DETAIL SECTION & ELEVATIONS - STAIR 01 SHEET 2
Drawing Number	A4401
Revision	P2



DOOR NO - **LV1-D07**
SINGLE LEAF SWING - INTERNAL DOOR w/FRETWORK ABOVE SOLID CORE LEAF
(ORIGINAL DOOR ELEMENTS & DOOR HARDWARE TO BE RETAINED & RESTORED.
MISSING DOOR ELEMENTS & DOOR HARDWARE ARE TO BE REPLACED TO MATCH ORIGINAL)

REFER TO SCHEDULE FOR FINISHES
REFER TO DETAILS ON A4405
HEAD - ID-H
JAMB - ID-J

DOOR NO - **LV1-D03,D05**
DOUBLE LEAF SWING - FRENCH DOORS w/ PIVOT PANEL ABOVE SOLID CORE LEAF w/ LITES
(ORIGINAL DOOR ELEMENTS & DOOR HARDWARE TO BE RETAINED & RESTORED.
MISSING DOOR ELEMENTS & DOOR HARDWARE ARE TO BE REPLACED TO MATCH ORIGINAL)

REFER TO SCHEDULE FOR FINISHES
REFER TO DETAILS ON A4405
HEAD: FD-H
JAMB: FD-J

DOOR NO - **D01**
SINGLE LEAF SWING DOOR w/ PIVOT PANEL ABOVE SOLID CORE LEAF w/ LITES
(ORIGINAL DOOR ELEMENTS & DOOR HARDWARE TO BE RETAINED & RESTORED.
MISSING DOOR ELEMENTS & DOOR HARDWARE ARE TO BE REPLACED TO MATCH ORIGINAL)

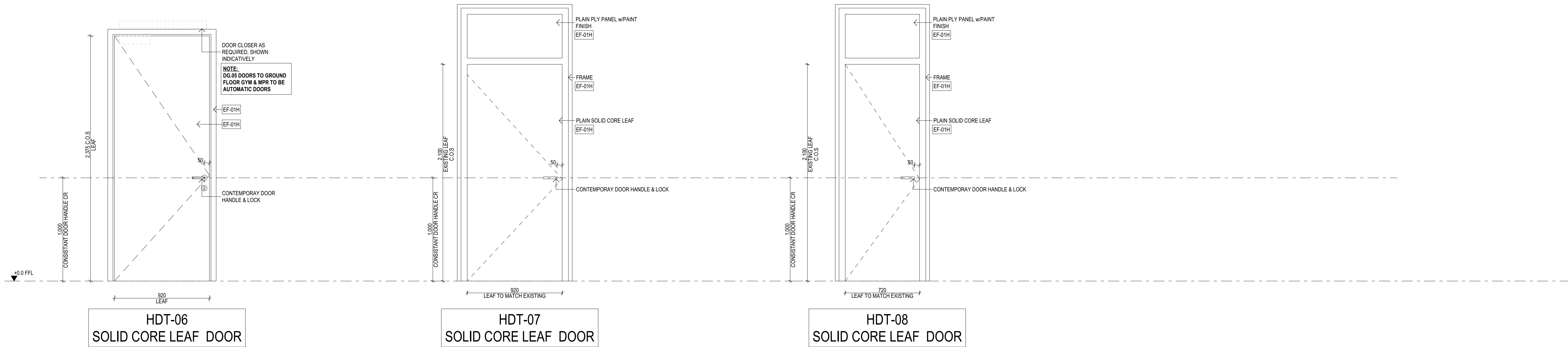
REFER TO SCHEDULE FOR FINISHES
REFER TO DETAILS ON A4405

DOOR NO - **LV1-D05**
DOUBLE LEAF SWING - FRENCH DOORS w/ PIVOT PANEL ABOVE SOLID CORE LEAF w/ LITES
(NEW DOOR TO MATCH HDT-02)

REFER TO SCHEDULE FOR FINISHES
REFER TO DETAILS ON A4405
HEAD: FD-H
JAMB: FD-J

DOOR NO - **LV1-D06,D07**
DOUBLE LEAF SWING - FRENCH DOORS w/ PIVOT PANEL ABOVE SOLID CORE LEAF w/ LITES
(NEW DOOR TO MATCH HDT-02 INTERIOR)

REFER TO SCHEDULE FOR FINISHES
REFER TO DETAILS ON A4405
HEAD: FD-H
JAMB: FD-J



DOOR NO - **G-D3,D4,D5,D6,D7**
SINGLE LEAF SWING - DOOR
SOLID CORE LEAF - 35mm (NEW DOOR)

REFER TO SCHEDULE FOR FINISHES
REFER TO DETAILS ON A4405
HEAD - SD-H
JAMB - SD-J

DOOR NO - **LV1-D08,D10**
SINGLE LEAF SWING - DOOR
SOLID LEAF CORE - 35mm (NEW DOOR)

REFER TO SCHEDULE FOR FINISHES
REFER TO DETAILS ON A4405
HEAD - SDI-H
JAMB - SDI-J

DOOR NO - **LV1-D08 L2-D1**
SINGLE LEAF SWING - DOOR
SOLID LEAF CORE - 35mm (NEW DOOR)

REFER TO SCHEDULE FOR FINISHES
REFER TO DETAILS ON A4405
HEAD - SDI-H
JAMB - SDI-J

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DKO

Project Name
Project Number
Project Address

Abbotsford Rd, Bowen Hills
00013360
23-39 Abbotsford Rd, Brisbane, QLD 4006

Drawing Series
Drawing Name

Details
DOOR TYPES - TYPICAL

Drawn By
Checked By
Date
Scale

TP
EH
17/06/2026
@A1

Drawing Number
Revision

A4402
P3

	TYPE HWT-01	TYPE HWT-02	TYPE HWT-03	TYPE HWT-04
▼ +900 FFL ▼ +0.0 FFL	▼ +0.0 FFL	▼ +0.0 FFL	▼ +0.0 FFL	
NOTES	EXISTING DOUBLE SLIDING SASH w/MUNTINS (ORIGINAL WINDOW TO BE RETAINED & RESTORED w/ ORIGINAL 'OGEE' STYLE WINDOW HOOD - REFER TO GA PLANS	NEW SLIDING SASH - WINDOW GLAZED SASHES w/MUNTINS (NEW WINDOW TO MATCH WX.01)	NEW TRIPLE SLIDING SASH- WINDOW 3 GLAZED SASHES w/MUNTINS (NEW WINDOW) WINDOW AS PER "THE WOODWORKERS" VENITIAN DOUBLE HUNG WINDOW OR SIM APPROVED	NEW DOUBLE CASEMENT WINDOW w/CONTEMPORAY SQUARE ANGLED FRAME DOUBLE CASEMENT - DORMER WINDOW GLAZED SASHES w/MUNTINS (NEW WINDOW)
DETAILS	REFER TO A4406 HEAD - CW-H/S JAMB - CW-J	REFER TO A4406 HEAD - CW-H/S JAMB - CW-J	REFER TO A4406 HEAD - HW-H/S JAMB - HW-J	REFER TO A4406 HEAD - CW-H/S JAMB - CW-J

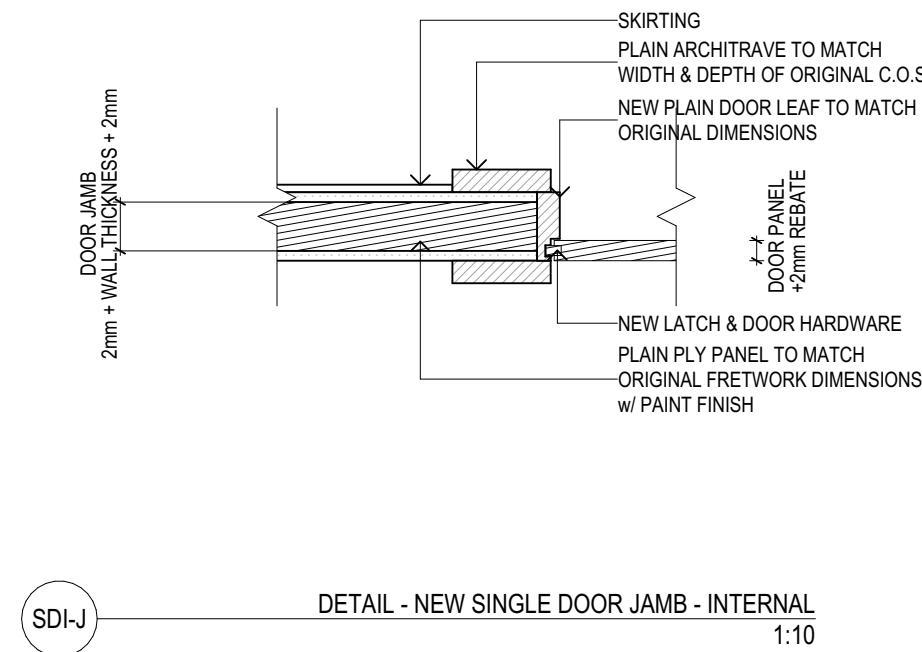
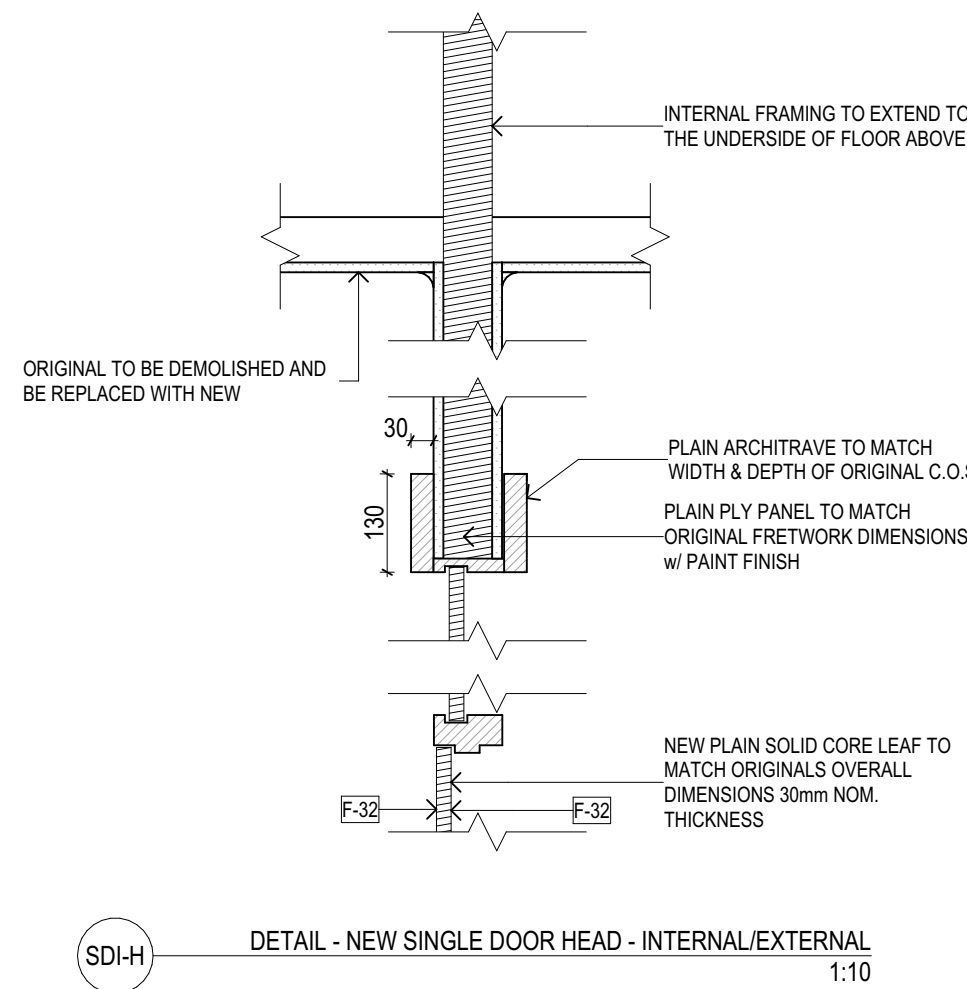
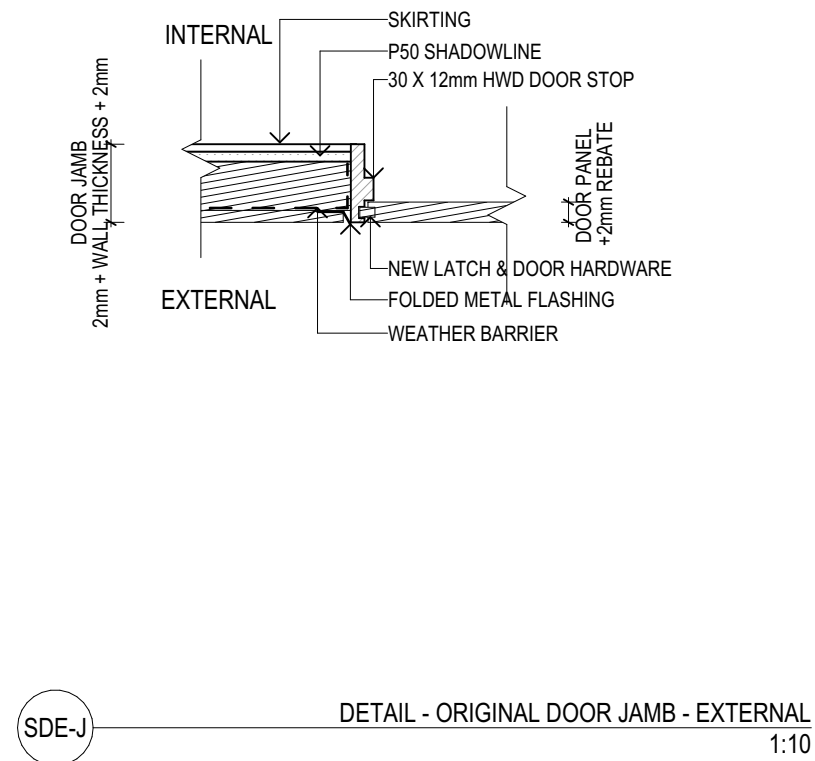
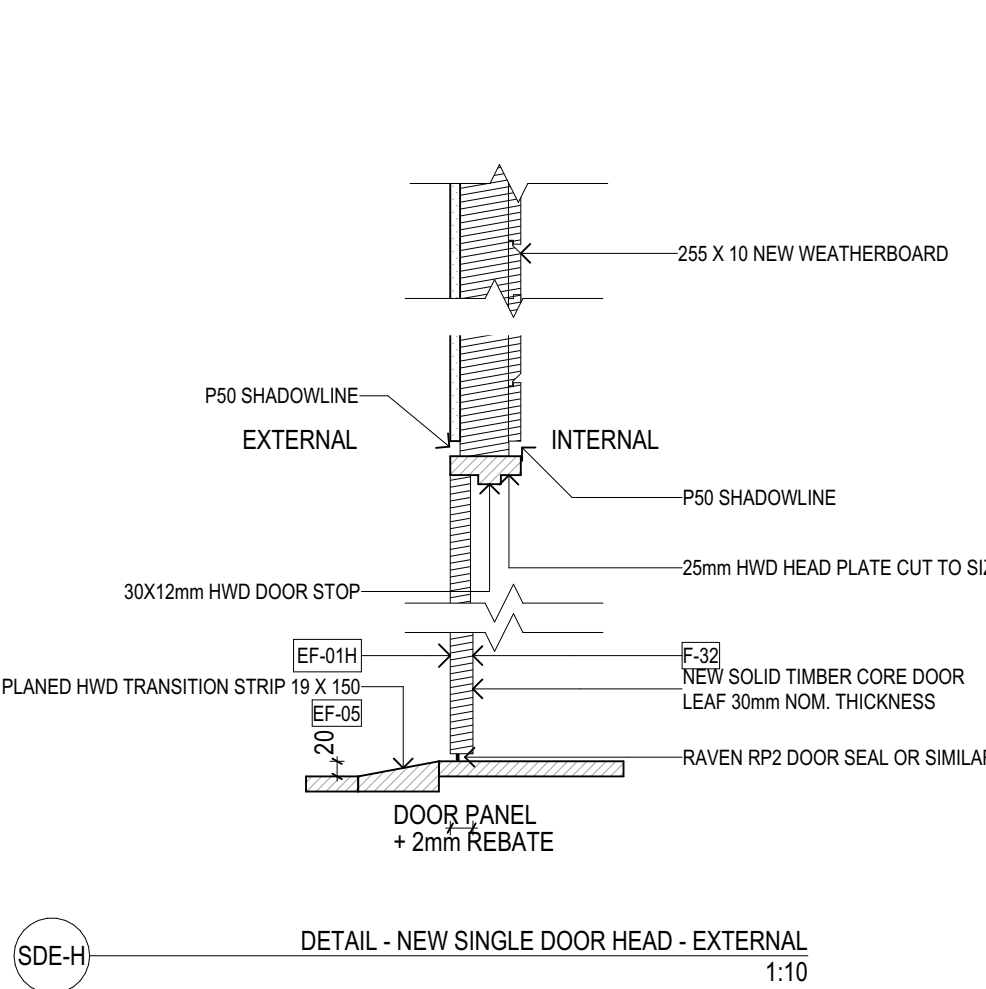
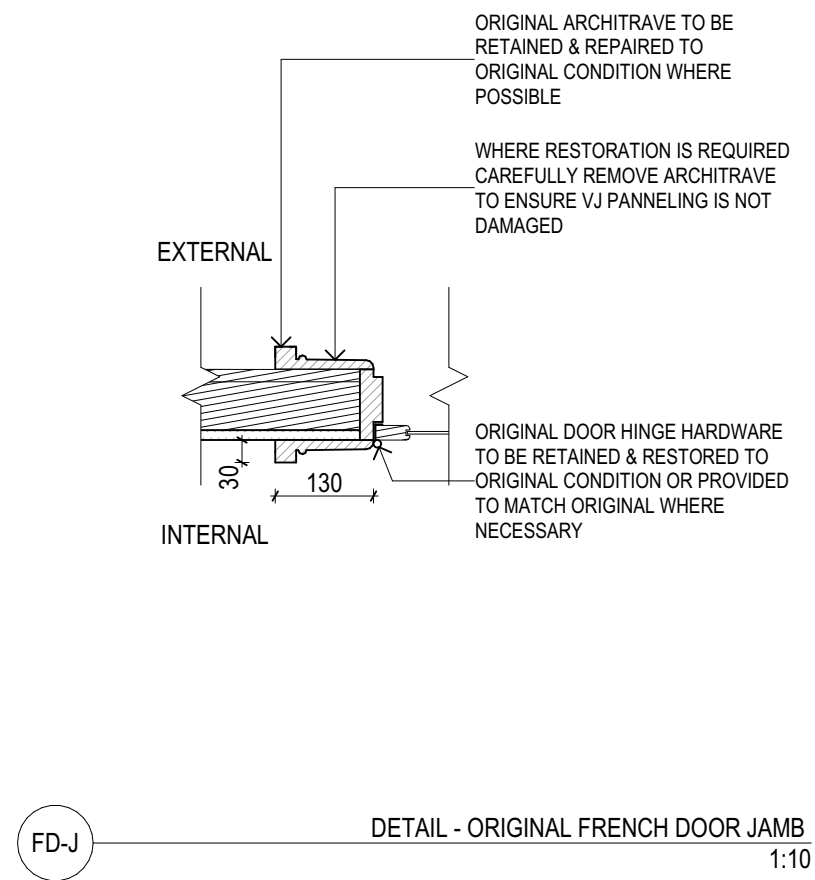
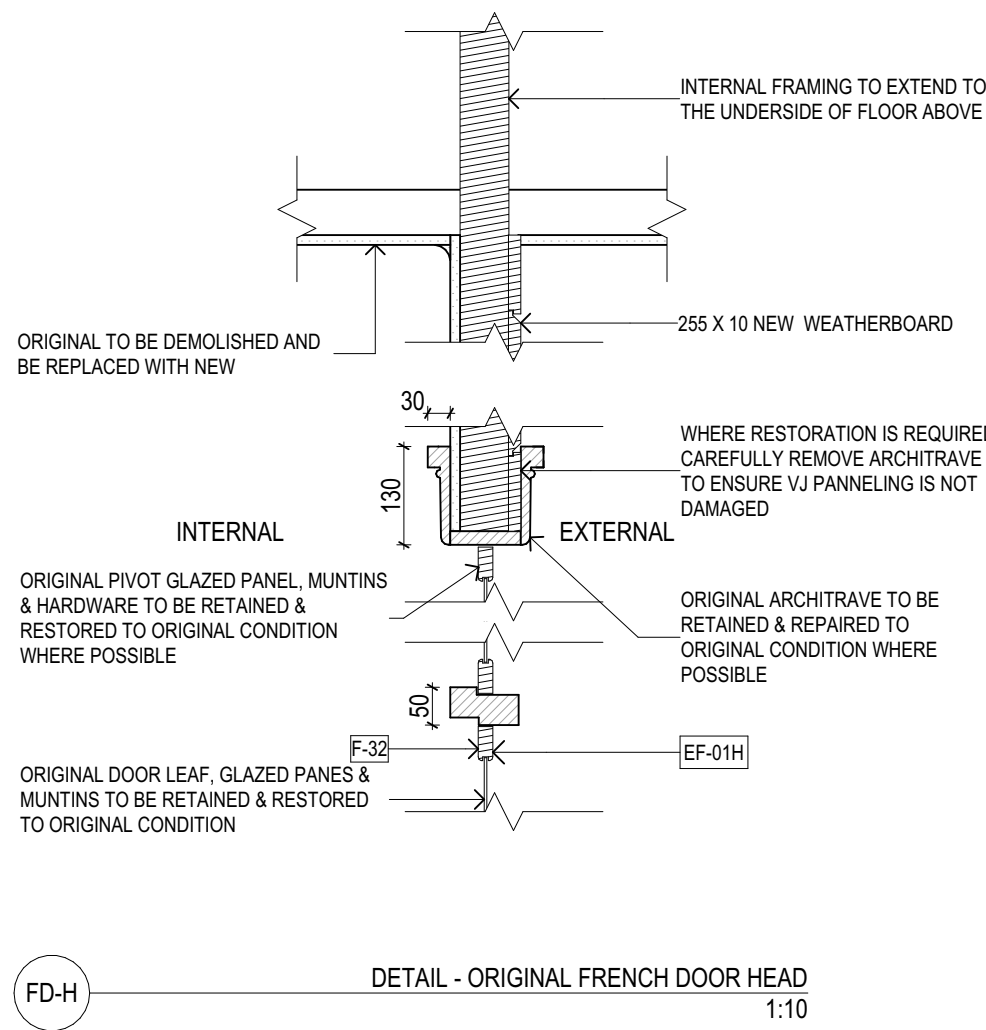
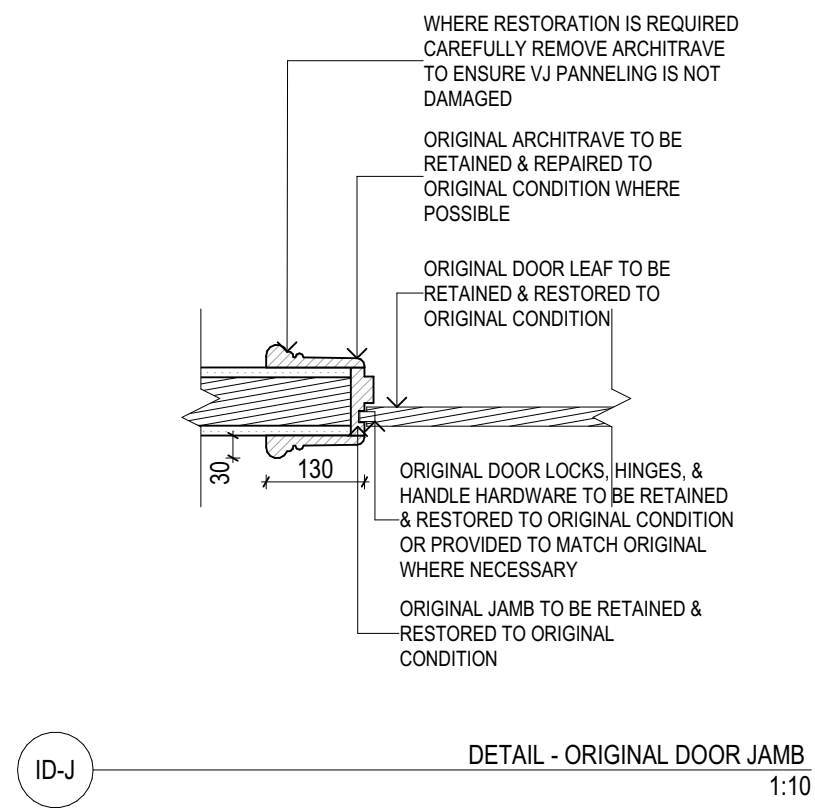
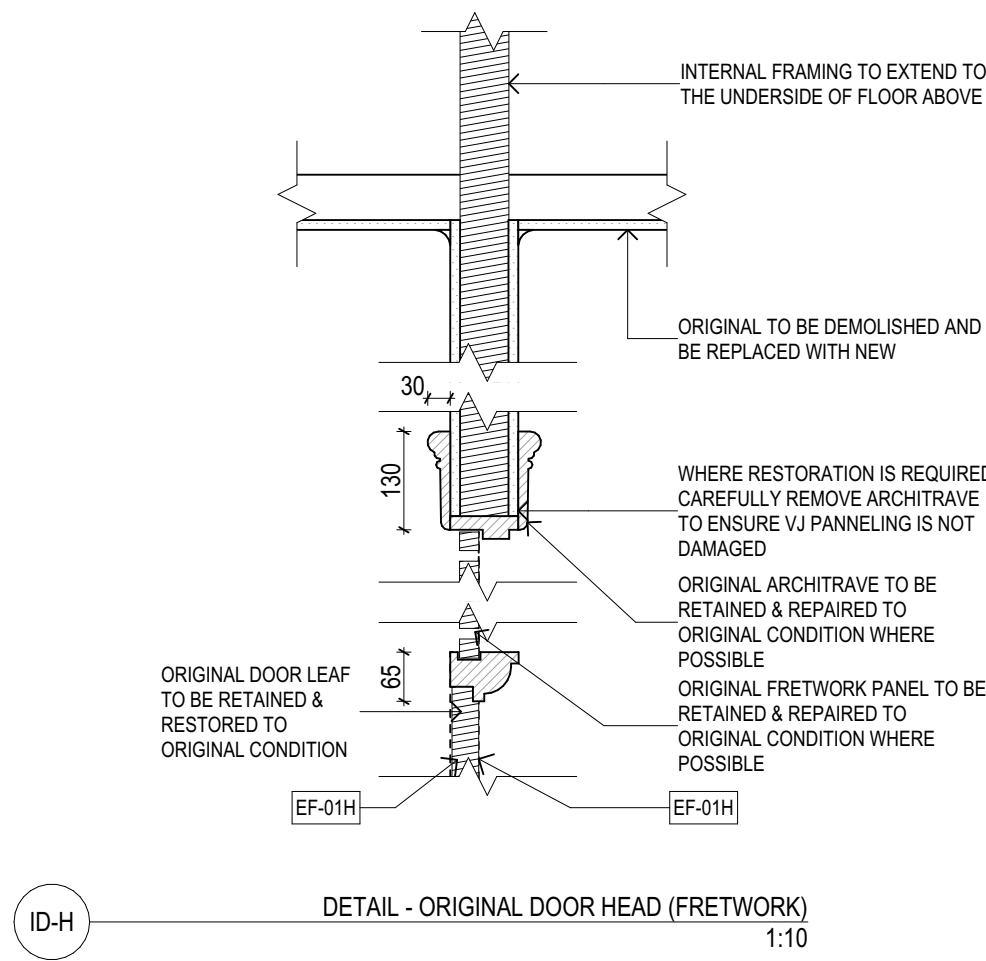
	TYPE HWT-05
▼ +900 FFL ▼ +0.0 FFL	▼ +0.0 FFL
NOTES	NEW WINDOW FIXED SASH w/CONTEMPORARY SQUARE ANGLED FRAME - FIXED GLASS (NEW WINDOW)
DETAILS	REFER TO A4406 HEAD - CW-H/S JAMB - CW-J

	TYPE HGWT-01 3,200 C.O.S 120 GLASS EF-32H FRAME EF-43H ALUMN. OVER PLATE TO SHS COLUMN. POWDERCOATED TO MATCH FRAMES SAFETY DECAL AS PER AS1428.1 EQ. 50 EQ. 3,255 C.O.S 2,300 100	TYPE HGWT-02 4,490 GLASS EF-32H FRAME EF-43H ALUMN. OVER PLATE TO SHS COLUMN. POWDERCOATED TO MATCH FRAMES SAFETY DECAL AS PER AS1428.1 EQ. 50 EQ. 50 EQ. 50 EQ. 50 3,255 C.O.S 2,300 100
NOTES	WINDOW NO- W03,W04 FIXED - WINDOW ALUMINIUM FRAMED GLAZING PANE (NEW WINDOW)	WINDOW NO- W02,W05 FIXED - WINDOW ALUMINIUM FRAMED GLAZING PANE (NEW WINDOW)
DETAILS	REFER TO A4406 HEAD - FW2-H/S JAMB - FW2-J	REFER TO A4406 HEAD - FW2-H/S JAMB - FW2-J

	TYPE HGWT-03 4,935 C.O.S GLASS EF-32H FRAME EF-43H DOOR CLOSER SAFETY DECAL AS PER AS1428.1 EQ. 50 EQ. 1,000 EQ. 3,255 C.O.S 2,400- DOOR 100	TYPE HGWT-04 4,935 C.O.S GLASS EF-32H FRAME EF-43H DOOR CLOSER SAFETY DECAL AS PER AS1428.1 EQ. 1,000 EQ. 50 EQ. 3,255 C.O.S 2,400- DOOR 100
NOTES	WINDOW NO- D01.W01,W07 FIXED - WINDOW ALUMINIUM FRAMED GLAZING PANE (NEW WINDOW) NOTE: MIRROR VERSION REQUIRED (REFER TO PLAN)	WINDOW NO- D02.W05,W06 FIXED - WINDOW ALUMINIUM FRAMED GLAZING PANE (NEW WINDOW) NOTE: MIRROR VERSION REQUIRED (REFER TO PLAN)
DETAILS	REFER TO A4406 HEAD - FW2-H/S JAMB - FW2-J	REFER TO A4406 HEAD - FW2-H/S JAMB - FW2-J

INTERIOR EXTERIOR	INTERIOR INTERIOR	INTERIOR EXTERIOR	INTERIOR EXTERIOR
EX1 CONSTRUCTION DESCRIPTION INTERNAL: EXISTING VJ PANEL OR NEW PLASTER TO MATCH EXISTING FRAME: EXISTING TIMBER STUDS (COS) EXTERNAL: 225 NEW CHAMFERBOARDS TO MATCH ORIGINAL	EX2 CONSTRUCTION DESCRIPTION INTERNAL: EXISTING VJ PANEL OR NEW PLASTER TO MATCH EXISTING FRAME: EXISTING TIMBER STUDS (COS) EXTERNAL: 225 NEW CHAMFERBOARDS TO MATCH ORIGINAL	P1 CONSTRUCTION DESCRIPTION INTERNAL: NEW VJ PANEL OR NEW PLASTER TO MATCH EXISTING FRAME: NEW TREATED PINE TIMBER STUD FRAME EXTERNAL: 225 CHAMFERBOARDS, REINSTATE ORIGINAL & MATCHING NEW IN ACCORDANCE WITH HERITAGE ARCHITECT	P2 CONSTRUCTION DESCRIPTION INTERNAL: NEW VJ PANEL TO MATCH EXISTING FRAME: 90x45mm TREATED PINE TIMBER STUD FRAME EXTERNAL: 225 CHAMFERBOARDS REINSTATE ORIGINAL & MATCHING NEW IN ACCORDANCE WITH HERITAGE ARCHITECT
AREA OF APPLICATION TYPICAL ORIGINAL EXISTING WALL (PERIMETER)	AREA OF APPLICATION TYPICAL ORIGINAL EXISTING WALL (INTERNAL)	AREA OF APPLICATION TYPICAL NEW WALL (PERIMETER)	AREA OF APPLICATION TYPICAL NEW WALL (PERIMETER)
FIRE RATING TBC	FIRE RATING TBC	FIRE RATING TBC	FIRE RATING TBC
ACOUSTIC RATING TBC	ACOUSTIC RATING TBC	ACOUSTIC RATING TBC	ACOUSTIC RATING TBC
THERMAL RATING ---	THERMAL RATINGS ---	THERMAL RATING ---	THERMAL RATING ---
COMMENTS RW VALUE / INSULATION AS PER ACOUSTIC REPORT R-VALUE / INSULATION AS PER ESD REPORT	COMMENTS RW VALUE / INSULATION AS PER ACOUSTIC REPORT R-VALUE / INSULATION AS PER ESD REPORT	COMMENTS RW VALUE / INSULATION AS PER ACOUSTIC REPORT R-VALUE / INSULATION AS PER ESD REPORT	COMMENTS RW VALUE / INSULATION AS PER ACOUSTIC REPORT R-VALUE / INSULATION AS PER ESD REPORT

INTERIOR INTERIOR	INTERIOR EXTERIOR	INTERIOR INTERIOR
P3 CONSTRUCTION DESCRIPTION INTERNAL: NEW VJ PANEL OR NEW PLASTER TO MATCH ORIGINAL FRAME: 90x45mm TREATED PINE TIMBER STUD FRAME INTERNAL: NEW VJ PANEL OR NEW PLASTER TO MATCH ORIGINAL	P4 CONSTRUCTION DESCRIPTION INTERNAL: 13mm PLASTERBOARD (MR WHEN WET AREAS) FRAME: 92mm STEEL STUDS EXTERNAL: 5mm FC CLADDING	P5 CONSTRUCTION DESCRIPTION INTERNAL: 13mm PLASTERBOARD (MR WHEN WET AREAS) FRAME: 150mm STEEL STUDS INTERNAL: 13mm FC CLADDING
AREA OF APPLICATION TYPICAL NEW WALL (INTERNAL)	AREA OF APPLICATION TYPICAL NEW WALL EXTERNAL	AREA OF APPLICATION TYPICAL NEW WALL INTERNAL
MIN. RATING REQUIRED	MIN. RATING REQUIRED	MIN. RATING REQUIRED
FIRE RATING TBC	FIRE RATING TBC	FIRE RATING TBC
ACOUSTIC RATING TBC	ACOUSTIC RATING TBC	ACOUSTIC RATING TBC - PENDING ACOUSTIC REVIEW
THERMAL RATING ---	THERMAL RATING ---	THERMAL RATING ---
COMMENTS RW VALUE / INSULATION AS PER ACOUSTIC REPORT R-VALUE / INSULATION AS PER ESD REPORT	COMMENTS RW VALUE / INSULATION AS PER ACOUSTIC REPORT R-VALUE / INSULATION AS PER ESD REPORT	COMMENTS RW VALUE / INSULATION AS PER ACOUSTIC REPORT R-VALUE / INSULATION AS PER ESD REPORT



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DKO

Project Name
Project Number
Project Address

Abbotsford Rd, Bowen Hills
00013360
23-39 Abbotsford Rd,
Brisbane, QLD 4006

Drawn By
Checked By
Date
Scale

TP
EH
17/06/2026
1:10@A1

Drawing Series
Drawing Name

Details
INTERNAL DETAILS -
THRESHOLD, DOOR HEAD &
CEILING

Drawing Number
Revision

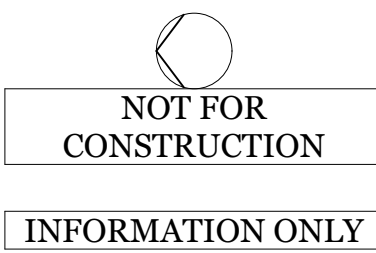
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Rev	Date	By	Chk	Description
P1	22/05/2020	CD	RM	DA MINOR CHANGE - HERITAGE HOUSE
P2	11/06/2020	EH	EH	DA MINOR CHANGE - HERITAGE HOUSE

Rev	Date	By	Chk	Description
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Consultants

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Checked By
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Scale

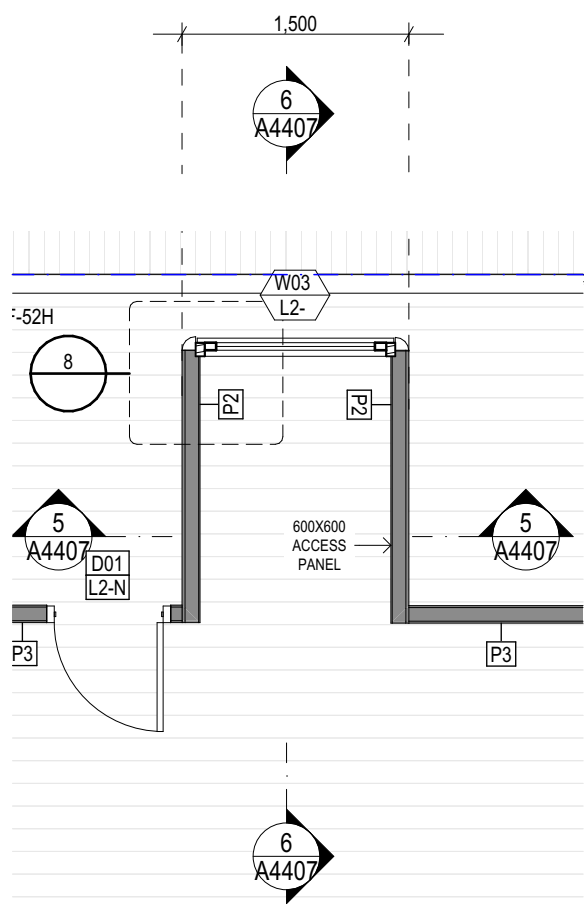
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Drawing Name

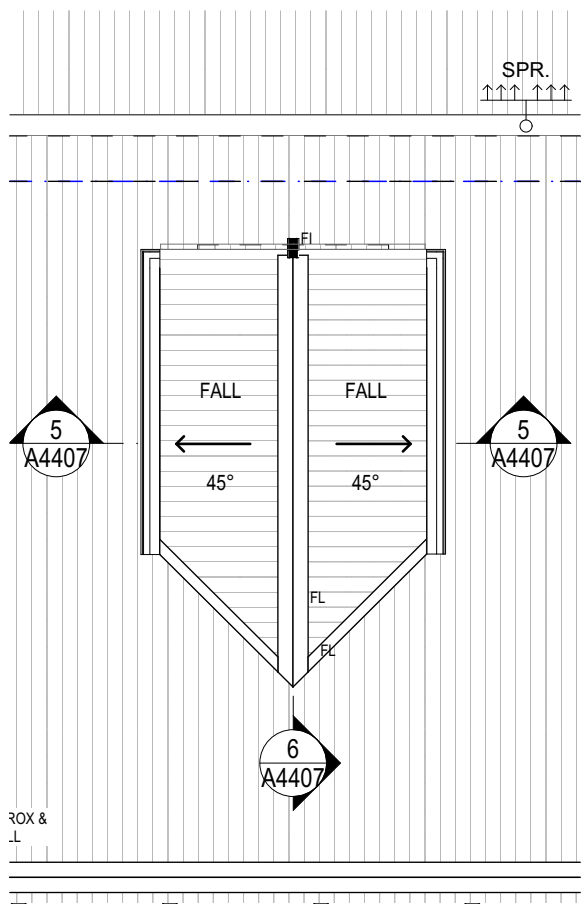
Details
WINDOW DETAILS- SILL HEAD & JAMB

Drawing Number
Revision

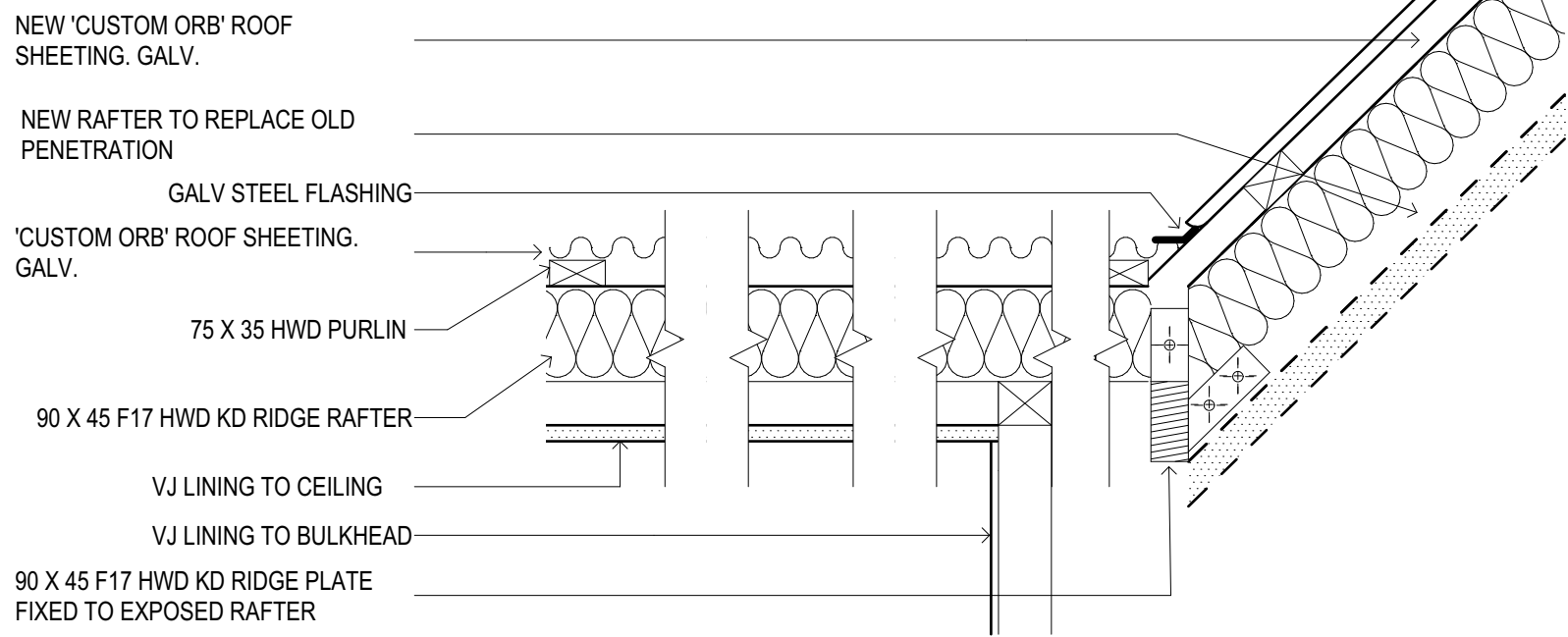
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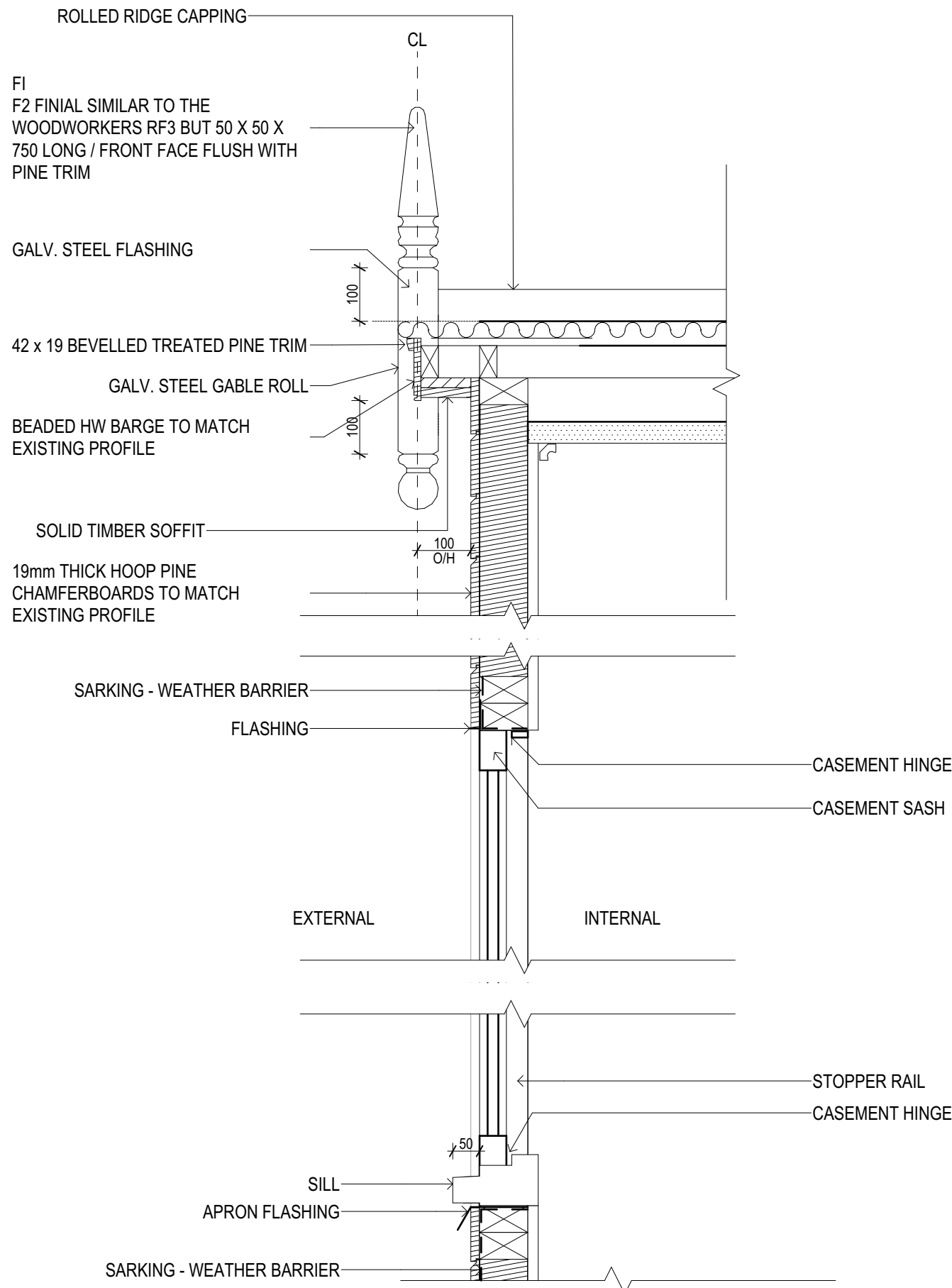
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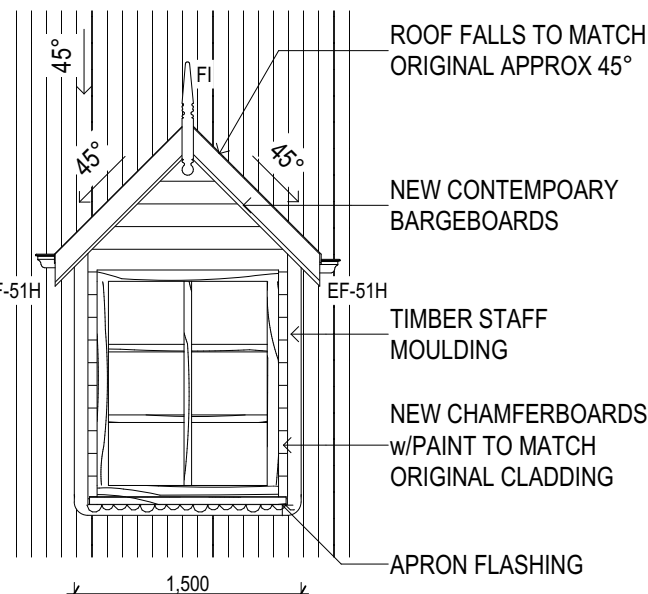
2 DORMER WINDOW - DETAIL PLAN 02
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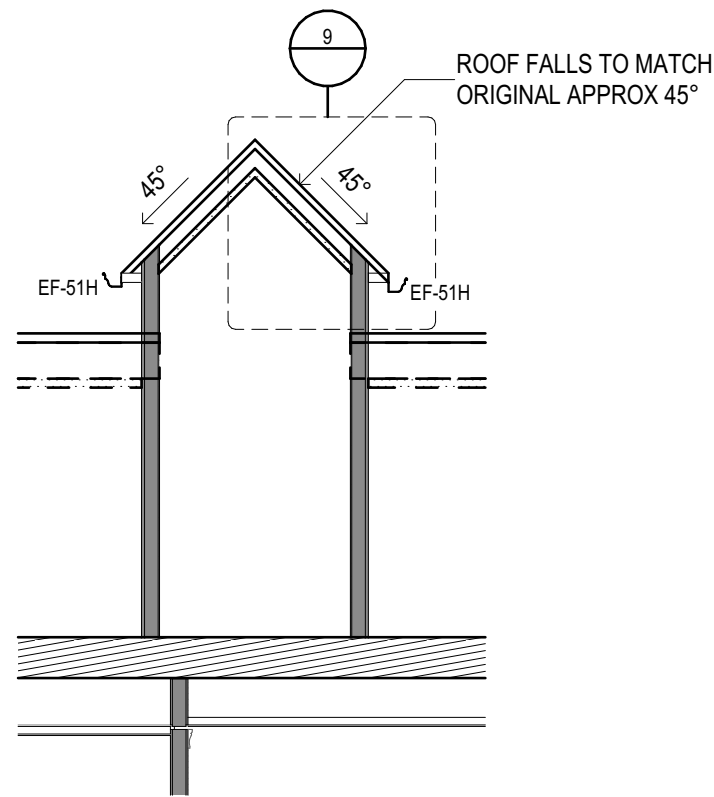
5 DETAIL - DORMER ROOF JUNCTION
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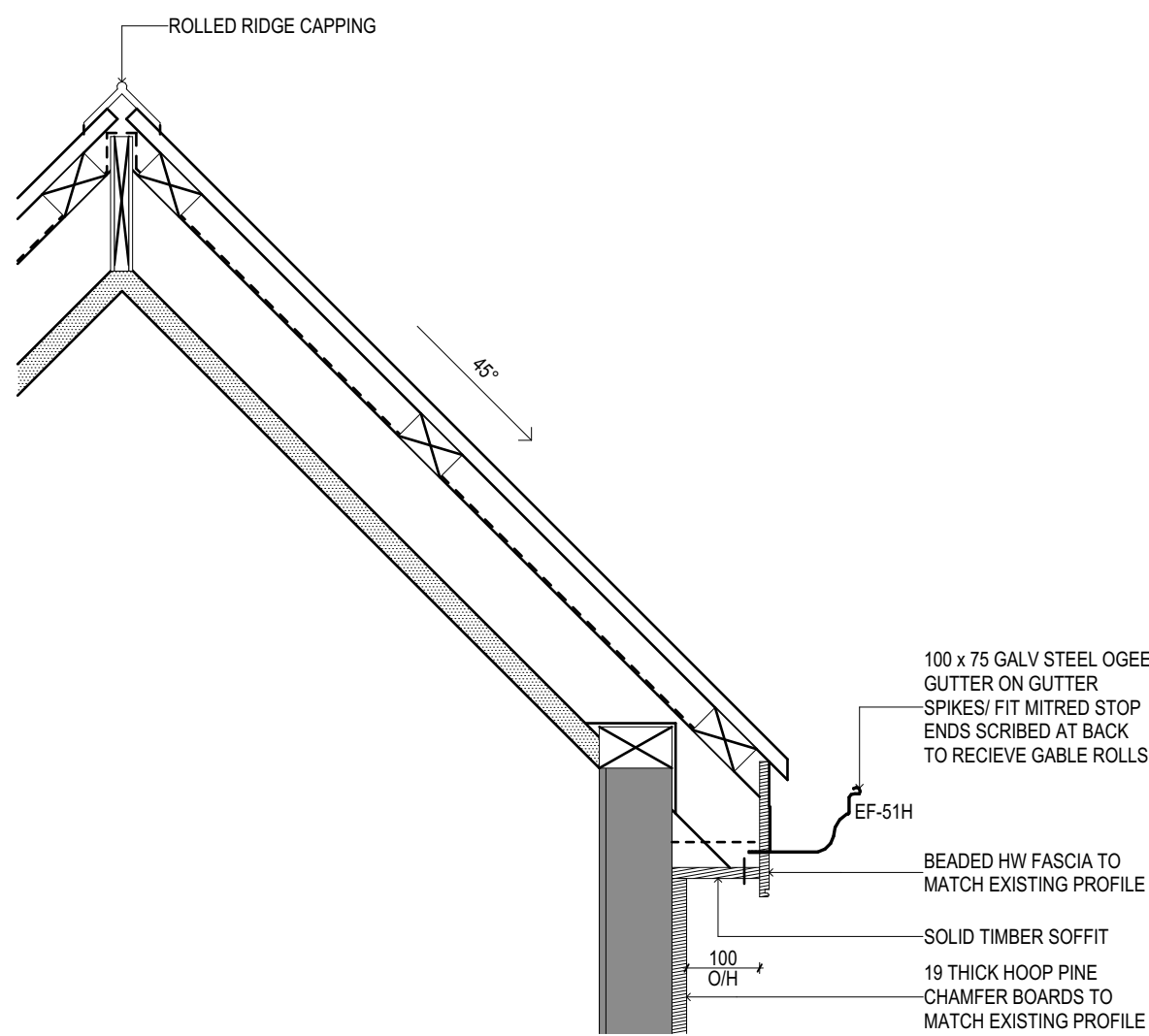
6 DETAIL SECTION - DORMER GABLE END
Scale 1:10



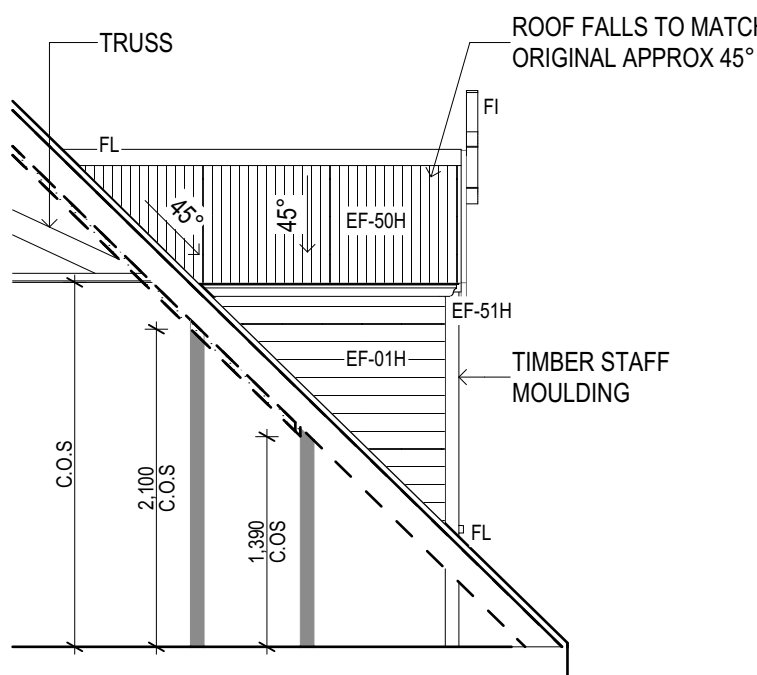
3 DORMER WINDOW - ELEVATION 01
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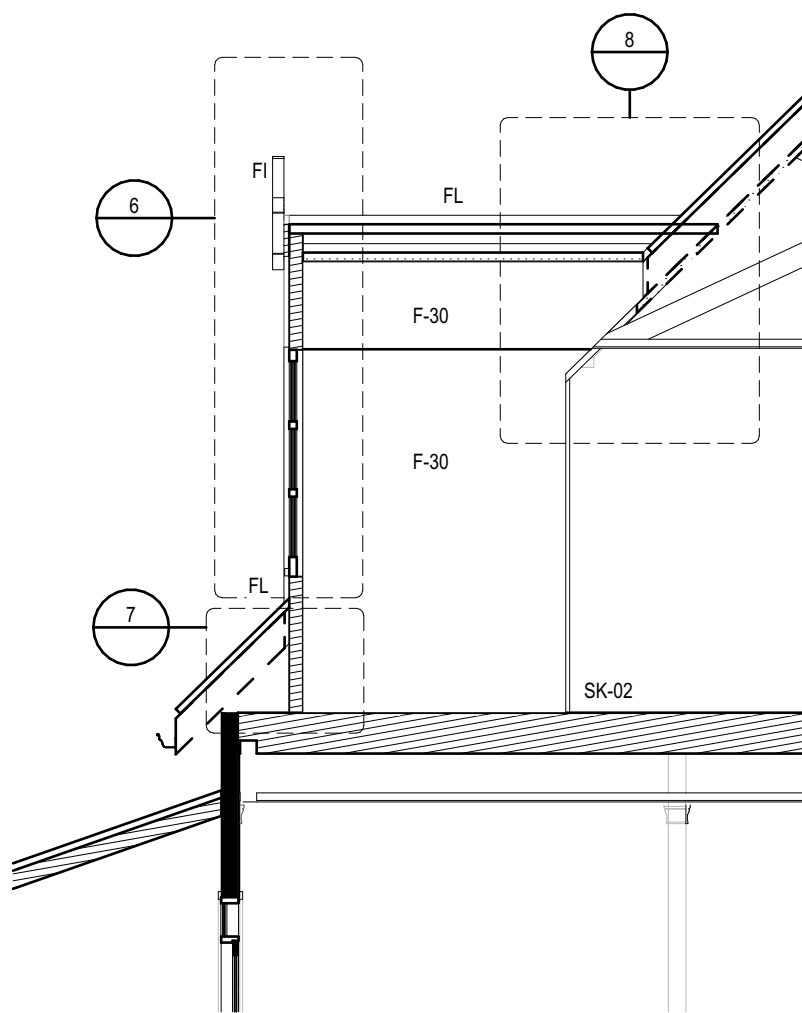
5 DORMER WINDOW - SECTION A-A
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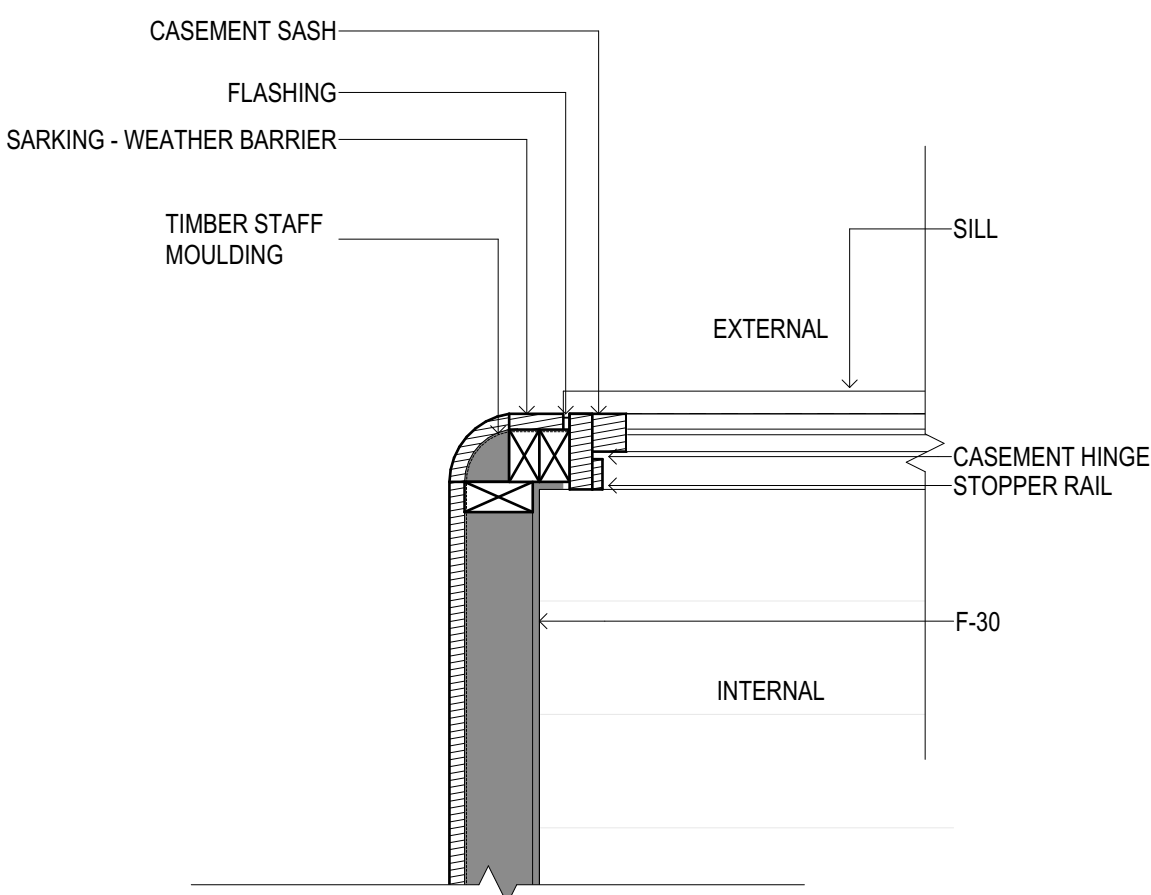
9 DETAIL SECTION - DORMER ROOF
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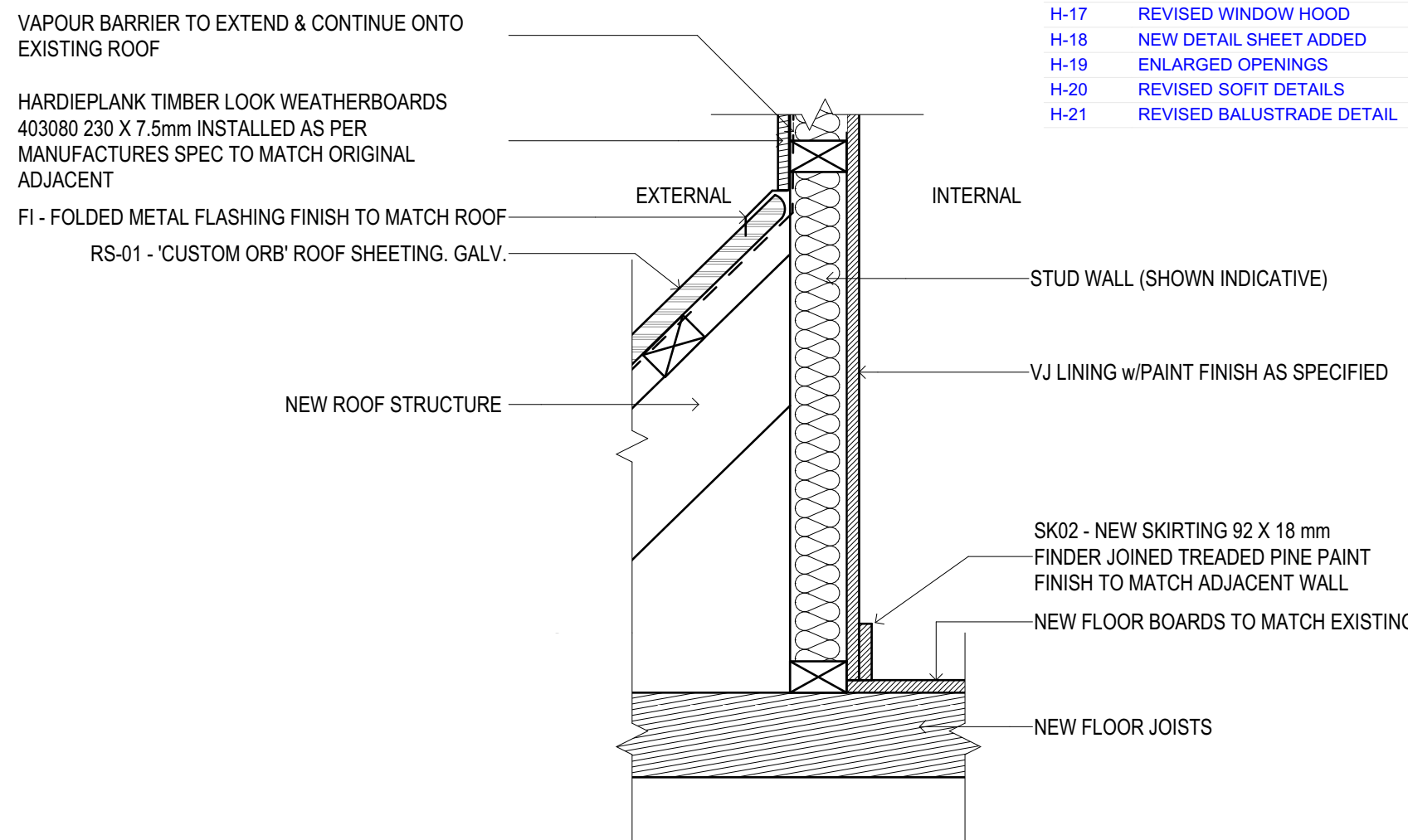
4 DORMER WINDOW - ELEVATION 02
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6 DORMER WINDOW - SECTION B-B
1:50



8 DETAIL - DORMER WINDOW JAMB
1:10



7 DETAIL - DORMER FLOOR JUNCTION
1:10

CHANGE TO APPROVED DA LIST

NO	DESCRIPTION
H-01	NOTES ADDED
H-02	TIMBER CHAMFER BOARD
H-03	WINDOW RETAINED
H-04	REAR STAIR OMITTED
H-05	REVISED ANNEX
H-06	NEW ENTRY DOORS
H-07	REVISED STAIR 01
H-08	NEW INTERNAL STAIR 02
H-09	NEW INTERNAL STAIR
H-10	NEW WC & KITCHEN
H-11	NEW DOUBLE DOORS
H-12	NEW WALL OPENING
H-13	REVISED CEILING
H-14	BARGE BOARD RETURN
H-15	REVISED VERANDAH RAFTERS
H-16	REVISED BARGE & FINIAL
H-17	REVISED WINDOW HOOD
H-18	NEW DETAIL SHEET ADDED
H-19	ENLARGED OPENINGS
H-20	REVISED SOFT DETAILS
H-21	REVISED BALUSTRADE DETAIL

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NO	DESCRIPTION
H-01	NOTES ADDED
H-02	TIMBER CHAMFER BOARD
H-03	WINDOW RETAINED
H-04	REAR STAIR OMITTED
H-05	REVISED ANNEX
H-06	NEW ENTRY DOORS
H-07	REVISED STAIR 01
H-08	NEW INTERNAL STAIR 02
H-09	NEW INTERNAL STAIR
H-10	NEW WC & KITCHEN
H-11	NEW DOUBLE DOORS
H-12	NEW WALL OPENINGS
H-13	REVISED CEILING
H-14	BARGE BOARD RETURN
H-15	REVISED VERANDAH RAFTERS
H-16	RECEIVED BARGE & FINIAL
H-17	REVISED WINDOW HOOD
H-18	NEW DETAIL SHEET ADDED
H-19	ENLARGED OPENINGS
H-20	REVISED SOFFIT DETAILS
H-21	REVISED BALUSTRA DETAIL





NO	DESCRIPTION
H-01	NOTES ADDED
H-02	TIMBER CHAMFER BOARD
H-03	WINDOW RETAINED
H-04	REAR STAIR OMITTED
H-05	REVISED ANNEX
H-06	NEW ENTRY DOORS
H-07	REVISED STAIR 01
H-08	NEW INTERNAL STAIR 02
H-09	NEW INTERNAL STAIR
H-10	NEW WC & KITCHEN
H-11	NEW DOUBLE DOORS
H-12	NEW WALL OPENING
H-13	REVISED CEILING
H-14	BARGE BOARD RETURN
H-15	REVISED VERANDAH RAFTERS
H-16	REVISED BARGE & FINIAL
H-17	REVISED WINDOW HOOD
H-18	NEW DETAIL SHEET ADDED
H-19	ENLARGED OPENINGS
H-20	REVISED SOFIT DETAILS
H-21	REVISED BALUSTRADE DETAIL
H-22	REVISED FINISHES

