



creationhomes

LOT 27 KOBEE STREET
GREENBANK, QLD 4124

DRAWING SCHEDULE				
SHEET NO.	SHEET NAME	REVISION	DESCRIPTION	DATE
0.0	COVER PAGE	E	ENERGY REQUIREMENTS	06.05.2026
1.0	SITE PLAN	E	ENERGY REQUIREMENTS	06.05.2026
2.0	LANDSCAPING PLAN	E	ENERGY REQUIREMENTS	06.05.2026
3.0	FLOOR PLAN	E	ENERGY REQUIREMENTS	06.05.2026
3.1	FLOOR PLAN - FINISHES	E	ENERGY REQUIREMENTS	06.05.2026
4.0	ELEVATIONS	E	ENERGY REQUIREMENTS	06.05.2026
4.1	ELEVATIONS	E	ENERGY REQUIREMENTS	06.05.2026
5.0	SLAB PLAN	E	ENERGY REQUIREMENTS	06.05.2026
6.0	PENETRATIONS PLAN	E	ENERGY REQUIREMENTS	06.05.2026
9.0	ELECTRICAL PLAN	E	ENERGY REQUIREMENTS	06.05.2026
10.0	ROOF PLAN	E	ENERGY REQUIREMENTS	06.05.2026
11.0	SECTIONS	E	ENERGY REQUIREMENTS	06.05.2026
12.0	INTERIALS - KITCHEN	E	ENERGY REQUIREMENTS	06.05.2026
12.1	INTERIALS - BATHROOM	E	ENERGY REQUIREMENTS	06.05.2026
12.2	INTERIALS - ENSUITE & L'DRY	E	ENERGY REQUIREMENTS	06.05.2026
12.3	INTERIALS - WIR	E	ENERGY REQUIREMENTS	06.05.2026
12.4	INTERIALS - DRYING COURT	E	ENERGY REQUIREMENTS	06.05.2026
13.0	DETAILS - FACADE	E	ENERGY REQUIREMENTS	06.05.2026
13.1	DETAILS	E	ENERGY REQUIREMENTS	06.05.2026
13.2	DETAILS	E	ENERGY REQUIREMENTS	06.05.2026
13.3	DETAILS	E	ENERGY REQUIREMENTS	06.05.2026
13.4	DETAILS	E	ENERGY REQUIREMENTS	06.05.2026
14.0	LHD COMPLIANCE PLAN	E	ENERGY REQUIREMENTS	06.05.2026
15.0	3D VIEWS	E	ENERGY REQUIREMENTS	06.05.2026

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV-2026-FLA-4957

Date: 24 July 2026

IN COMPLIANCE WITH NCC 2022

ACOUSTIC:

FOR ACOUSTIC CATEGORY AND ADDITIONAL CONSTRUCTION REQUIREMENTS, REFER TO ACOUSTIC REPORT.

LIVABLE HOUSING DESIGN:

- STEP FREE ENTRY TO COMPLY WITH PART 2.2
- INTERNAL DOORWAYS TO COMPLY WITH PART 3.2
- SANITARY COMPARTMENT TO COMPLY WITH PART 4.2
- STEP FREE SHOWER TO COMPLY WITH PART 5.2
- REINFORCEMENT TO BATHROOM & SANITARY COMPARTMENT WALLS TO COMPLY WITH PART 6.2

STEEL FRAME:

THIS HOUSE IS TO BE STEEL FRAME. DETAILS ON THIS PLAN ARE TYPICAL ONLY. REFER TO STEEL FRAME MANUFACTURERS PLANS FOR SPECIFIC DETAILS.



FLOOR AREA SCHEDULE		WIND RATING :
LIVING	110.77 m²	SOIL TYPE :
GARAGE	20.96 m²	
OUTDOOR LIVING	12.23 m²	
PORCH	4.35 m²	
DRYING COURT	3.77 m²	
GRAND TOTAL	152.07 m²	

	Revision	Description
N3	A	STAGE 2 - WORKING DRAWINGS
H1	B	FACADE FINISHES & BIN STORE UPDATED
	C	WIND RATING UPDATE
	D	JOB NUMBER AND CLIENT UPDATE
	E	ENERGY REQUIREMENTS

Date24.02.2026ByLR05.03.2026ByLR16.03.2026ByPM22.04.2026ByPM06.05.2026ByPM

LVL 1, 393 MACARTHUR AVENUE, HAMILTON QLD 4007
QBCC : 1272561
WWW.CREATIONHOMES.COM.AU PHONE: (07) 3250 8300

CLIENT SIGNATURE : _____ DATE : _____ ? CLIENT SIGNATURE : _____ DATE : _____ ?

CLIENT NAME: LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO

DESIGN: TEVIOT 152 - FACADE 5

ESTATE: SERENITY

COUNCIL/SHIRE: LOGAN CITY COUNCIL

DRAWN BY: _____ PM | DATE: 24.02.2026

SHEET: COVER PAGE 0.0

SHEET NO: LOT 27 KOBEE STREET GREENBANK, QLD 4124

PROJECT ADDRESS: SP312657

RP / SP PLAN: WORKING DRAWINGS

PROJECT STAGE: 403569

PROJECT No: 403569

!!! ACOUSTIC OVERLAY !!!

CONSTRUCTION OF THE DWELLING IS REQUIRED TO COMPLY WITH QDC MP4.4

ACOUSTIC CAT 1

REFER TO LOT SPECIFIC REPORT

MINIMUM TRANSPORT NOISE REDUCTION (dB(A)) REQUIRED FOR HABITABLE ROOMS		25
COMPONENT OF BUILDING'S EXTERNAL ENVELOPE	MINIMUM Rw REQUIRED FOR EACH COMPONENT	
GLAZING	27 (WHERE TOTAL AREA OF GLAZING FOR A HABITABLE ROOM IS GREATER THAN 1.8m²)	
	24 (WHERE TOTAL AREA OF GLAZING FOR A HABITABLE ROOM IS LESS THAN OR EQUAL TO 1.8m²)	
EXTERNAL WALLS	35	
ROOF	35	
FLOORS	0	
ENTRY DOORS	28	

MINIMUM TRANSPORT NOISE REDUCTION (dB(A)) REQUIRED FOR HABITABLE ROOMS			25
COMPONENT OF BUILDING'S EXTERNAL ENVELOPE	MIN Rw	ACCEPTABLE FORMS OF CONSTRUCTION	
GLAZING	27	MINIMUM 4mm THICK GLASS WITH FULL PERIMETER ACOUSTICALLY RATED SEALS.	
	24	MINIMUM 4mm THICK GLASS WITH STANDARD WEATHER SEALS.	
EXTERNAL WALLS	35	SINGLE LEAF OF CLAY BRICK MASONRY AT LEAST 110mm THICK WITH: (i) A ROW OF AT LEAST 70mm x 35mm TIMBER STUDS OR 64mm STEEL STUDS AT 600mm CENTRES, SPACED AT LEASE 20mm FROM THE MASONRY WALL; AND (ii) ONE LAYER OF PLASTERBOARD AT LEAST 10mm THICK FIXED TO INSIDE FACE OF STUDS OR MINIMUM 6mm THICK FIBRE CEMENT SHEETING OR WEATHERBOARDS OR PLANK CLADDING EXTERNALLY, MINIMUM 70mm DEEP TIMBER STUD OR 70mm METAL STUD, STANDARD PLASTERBOARD AT LEAST 13mm THICK INTERNALLY.	
ROOF	35	CONCRETE OR TERRACOTTA TILE OR METAL SHEET ROOF WITH SARKING, PLASTERBOARD CEILING AT LEAST 10mm THICK FIXED TO CEILING CAVITY.	
FLOORS	0	86mm WAFFLE SLAB TO ENGINEERS DETAILS	
ENTRY DOORS	28	FIXED AS TO OVERLAP THE FRAME OR REBATE OF THE FRAME, CONSTRUCTED OF: (i) WOOD, PARTICLEBOARD OR BLOCKBOARD NOT LESS THAN 33mm THICK OR (ii) COMPRESSED FIBRE REINFORCED SHEETING NOT LESS THAN 9mm THICK OR (iii) OTHER SUITABLE MATERIAL WITH A MASS PER UNIT AREA NOT LESS THAN 24.4kg/m² OR (iv) SOLID CORE TIMBER DOOR NOT LESS THAN 35mm THICK FITTED WITH FULL PERIMETER ACOUSTICALLY RATED SEALS.	

DRAINAGE REQUIREMENTS:

SURFACE DRAINAGE OF THE SITE SHALL BE CONTROLLED FROM THE START OF SITE PREPARATION AND CONSTRUCTION. THE DRAINAGE SYSTEM SHALL BE COMPLETED BY THE FINISH OF CONSTRUCTION OF THE BUILDING.

SUBSURFACE DRAINS TO REMOVE GROUNDWATER SHALL BE DESIGNED IN ACCORDANCE WITH ENGINEERING PRINCIPLES.

PLUMBING REQUIREMENTS:

DRAINS ATTACHED TO OR EMERGING FROM UNDERNEATH THE BUILDING SHALL INCORPORATE FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING AND COMMENCING WITHIN 1.0m OF THE BUILDING PERIMETER TO ACCOMMODATE A TOTAL RANGE OF DIFFERENTIAL MOVEMENT IN ANY DIRECTION EQUAL TO THE ESTIMATED CHARACTERISTIC SURFACE MOVEMENT OF THE SITE. THIS REQUIREMENT APPLIES TO ALL STORMWATER AND SANITARY PLUMBING DRAINS AND DISCHARGE PIPES.

THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND / OR SLAB EDGE BEAMS SO AS TO PREVENT MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

LOCATION OF STORMWATER SYSTEM ARE INDICATIVE ONLY.

DOWNPipes TO SERVE <12m OF GUTTER. INSTALL DOWNPipe WITHIN 1200mm OF VALLEY OR PROVIDE OVERFLOWS TO GUTTER.

PROVIDE TUNDISH DRAIN UNDER ALL EXTERNAL A/C DRAINS.

SITE PREPARATION:

UNLESS NOTED OTHERWISE, EXCAVATIONS TO BE BATTERED AT 45° MAX. FOR SAND/SILT/FILL SITES. ALL BATTERS TO BE KEPT WITHIN PROPERTY BOUNDARIES.

ALL CUT & FILL BATTERS MUST BE STABILISED FOLLOWING CONSTRUCTION. THE GROUND LEVEL IMMEDIATELY ADJACENT TO THE BUILDING SHALL BE GRADED TO A UNIFORM FALL OF 50mm MIN. AWAY FROM THE BUILDING OVER THE FIRST METRE.

PROVIDE AGRICULTURAL DRAIN TO BASE OF SITE CUT CONNECTED TO STORMWATER SYSTEM VIA SILT PIT WHERE SITE CUT IS GREATER THAN 300mm.

PROVIDE CUT TOE OR SPOON DRAIN @ MIN. FALL TO BASE OF SITE CUT CONNECTED TO STORMWATER SYSTEM VIA SILT PIT WHERE SITE CUT IS LESSER THAN 300mm WHERE SHOWN.

STORMWATER DISCHARGE:

STORMWATER DISCHARGE LINES AND LOCATIONS TO COMPLY WITH 'AS3500 - PLUMBING AND DRAINAGE PART 3: STORMWATER DRAINAGE'.

ELECTRICAL - MAIN SWITCHBOARD:

ELECTRICAL WORK TO COMPLY WITH WIRING RULES AS3000:2018. A MINIMUM OF 2× POWER POINTS MUST BE PROVIDED TO THE TEMPORARY BOARD AS PER AS 3760 PART 1(4). METERBOX/SWITCHBOARD TO COMPLY WITH AS/NZS 3012:2019. BURIED EARTH ELECTRODE TYPE MUST BE INSTALLED.

HARD LANDSCAPING SCHEDULE

TYPE	AREA	COUNT
CS - EXP AGG - BIN	1.09 m²	1
CS - EXP AGG - DRIVEWAY	24.84 m²	1
CS - EXP AGG - PORCH	4.35 m²	1

FENCE SCHEDULE

TYPE	LENGTH
1800H TIMBER BUTTED PALING FENCE	22134.68
TOTAL LENGTH	22134.68

ACOUSTIC:

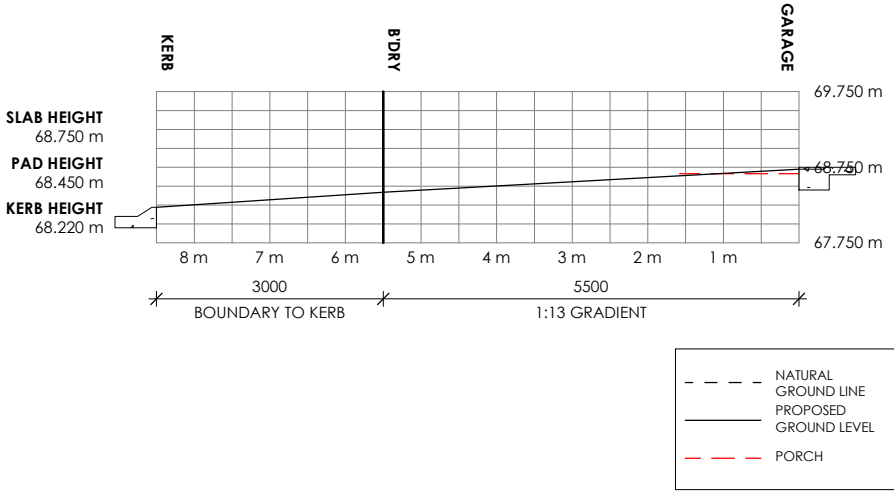
FOR ACOUSTIC CATEGORY AND ADDITIONAL CONSTRUCTION REQUIREMENTS, REFER TO ACOUSTIC REPORT.

STEEL FRAME:

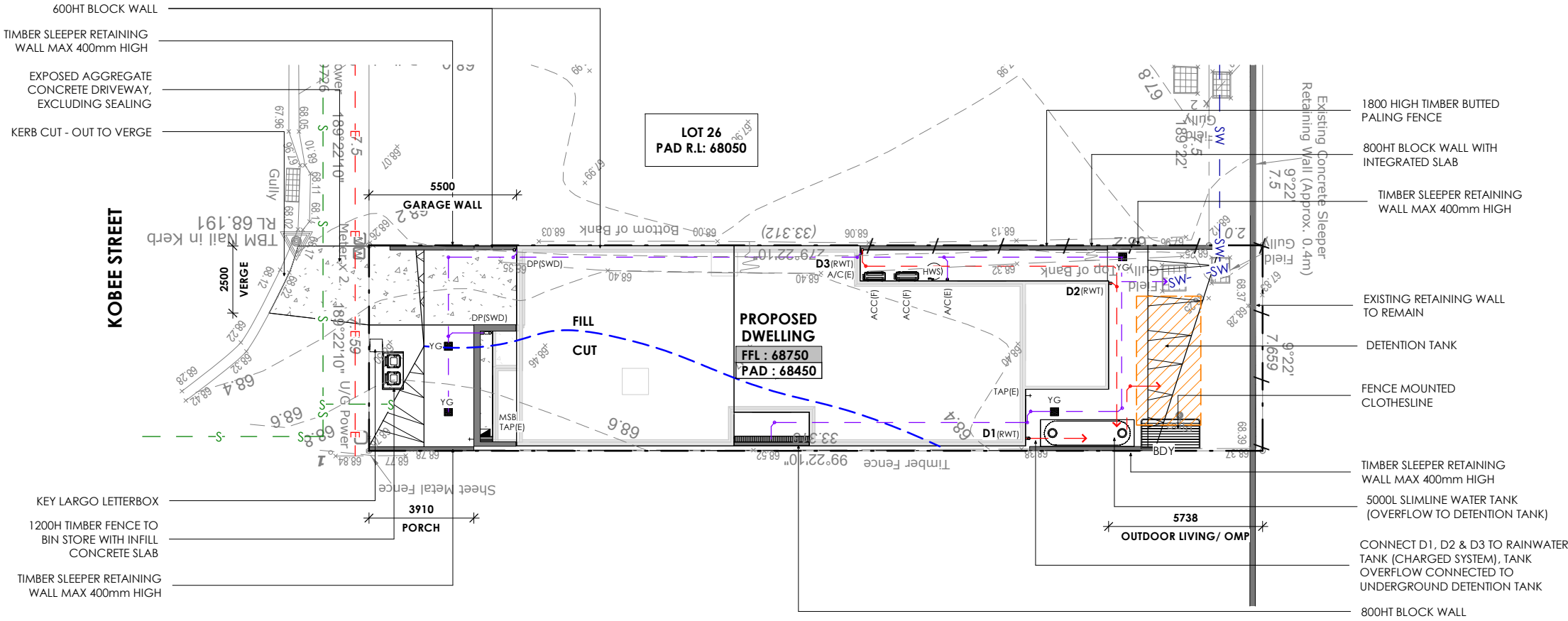
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KEYNOTE LEGEND

A/C(E)	PROVIDE EXTERNAL TUNDISH UNDER ALL EXTERNAL A/C DRAINS
ACC(F)	AC CONDENSOR UNIT FLOOR MOUNTED
CL(F)	FENCE MOUNTED CLOTHESLINE
DP(RWT)	DOWNPipe TO RAINWATER TANK
DP(SWD)	DOWNPipe TO STORMWATER DRAIN
HWS	HOTWATER SYSTEM
KC	KERB CUT - OUT TO VERGE
LB(KL)	KEY LARGO LETTERBOX
MSB	MAIN SWITCHBOARD
RW(RW)	EXISTING RETAINING WALL TO REMAIN
TAP(E)	EXTERNAL TAP
YG	YARD GULLY



Retaining walls to not exceed 1.8m in total
heigh inclusive of a boundary fence



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV-2026-FLA-4957
Date: 24 July 2026



AMENDED IN RED

By: Ali Rizayee
Date: 20 July 2026



FLOOR AREA SCHEDULE	WIND RATING :
LIVING	110.77 m²
GARAGE	20.96 m²
OUTDOOR LIVING	12.23 m²
PORCH	4.35 m²
DRYING COURT	3.77 m²
GRAND TOTAL	152.07 m²

WIND RATING :	SOIL TYPE :
H1	
N3	

SITE AREA BREAKDOWN		
SITE COVERAGE	152.07 m²	60.87%
SITE REMAINING	97.74 m²	39.13%
TOTAL SITE AREA	249.82 m²	

Revision	Description
A	STAGE 2 - WORKING DRAWINGS
B	FACADE FINISHES & BIN STORE UPDATED
C	WIND RATING UPDATE
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Date	By
24.02.2026	LR
05.03.2026	LR
16.03.2026	PM
22.04.2026	PM
06.05.2026	PM

creation homes

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QBCC : 1272561

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CLIENT SIGNATURE : _____ DATE : _____ ?

CLIENT NAME: LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO

DESIGN: TEVIOT 152 - FACADE 5

ESTATE: SERENITY

COUNCIL/SHIRE: LOGAN CITY COUNCIL

DRAWN BY: _____ PM | DATE: 24.02.2026

CLIENT SIGNATURE : _____ DATE : _____ ?

SHEET: SITE PLAN 1.0

SHEET NO: LOT 27 KOBEE STREET GREENBANK, QLD 4124

PROJECT ADDRESS: SP312657

RP / SP PLAN: WORKING DRAWINGS 403569

PROJECT STAGE: PROJECT No: _____

E

SCALE 1:200 @A3

PORCH & ALFRESCO SLABS:

PORCH AND ALFRESCO SLABS POURED AS PART OF LANDSCAPING WORKS.

PLANTING PACKAGE:

- 12m² OF GARDEN INC. MULCH
- 12Lm OF EDGING (38x75mm GARDEN EDGING TO GARDEN EDGE)
- 1x45L TREE
- 5x200mm SHRUBS
- 15x GROUND COVER
- 100x16mm TIMBER EDGING TO GRAVEL AREA'S ONLY

PLUMBING REQUIREMENTS:

PROVIDE TUNDISH DRAIN UNDER ALL EXTERNAL A/C DRAINS.

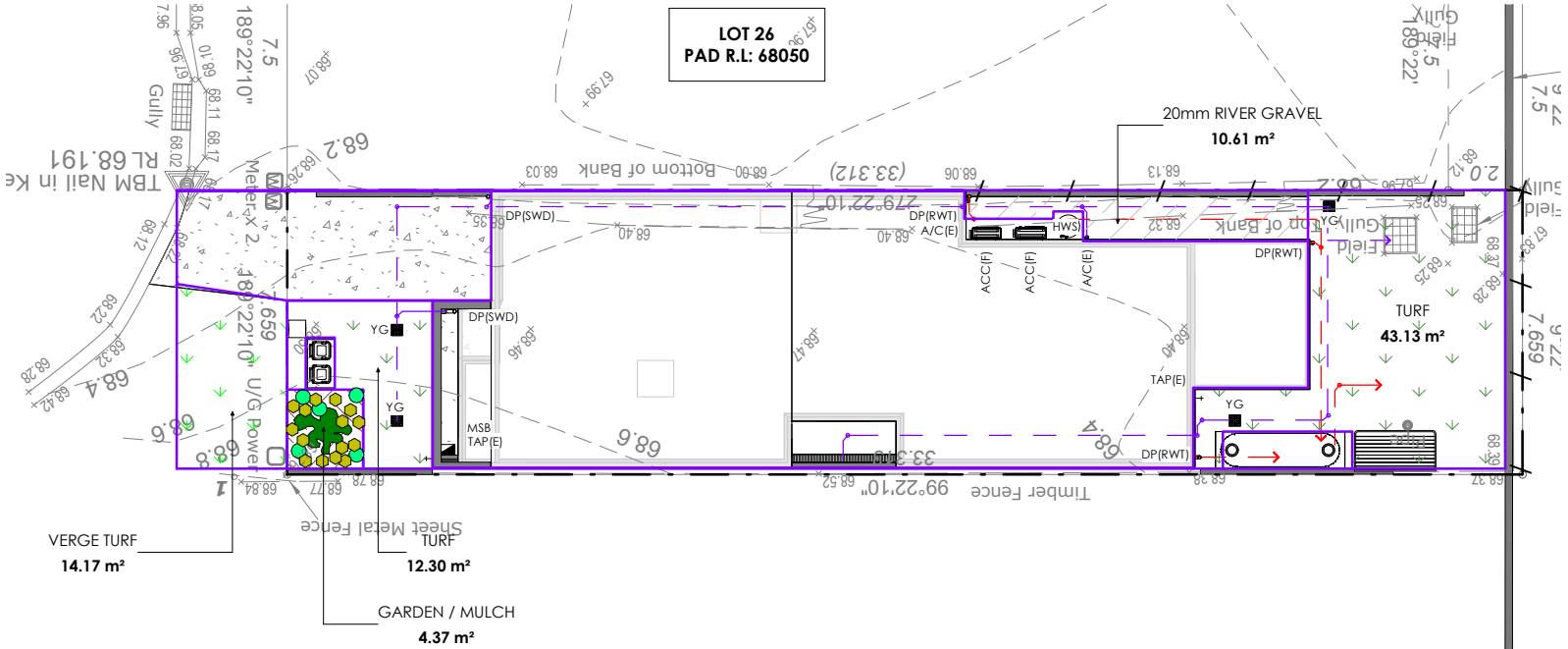
STROMWATER LINES	
TYPE	LENGTH
RAINWATER TANK LINES	21161.67 mm
STORMWATER LINES	54661.92 mm

FENCE SCHEDULE	
TYPE	LENGTH
1800H TIMBER BUTTED PAILING FENCE	22134.68
TOTAL LENGTH	22134.68

HARD LANSCAPING SCHEDULE		
TYPE	AREA	COUNT
CS - EXP AGG - BIN	1.09 m²	1
CS - EXP AGG - DRIVEWAY	24.84 m²	1
CS - EXP AGG - PORCH	4.35 m²	1

LANDSCAPING AREAS	
NAME	AREA
20mm RIVER GRAVEL	10.61 m²
GARDEN / MULCH	4.37 m²
TURF	55.43 m²
VERGE TURF	14.17 m²
TOTAL LANDSCAPE AREA	84.57 m²

KEYNOTE LEGEND	
A/C(E)	PROVIDE EXTERNAL TUNDISH UNDER ALL EXTERNAL A/C DRAINS
ACC(F)	AC CONDENSOR UNIT FLOOR MOUNTED
DP(RWT)	DOWNSPIPE TO RAINWATER TANK
DP(SWD)	DOWNSPIPE TO STORMWATER DRAIN
HWS	HOTWATER SYSTEM
MSB	MAIN SWITCHBOARD
TAP(E)	EXTERNAL TAP
YG	YARD GULLY



LANDSCAPING LEGEND



STEEL FRAME:

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WIND RATING :	
SOIL TYPE :	

Revision	Description
N3	
H1	
A	STAGE 2 - WORKING DRAWINGS
B	FACADE FINISHES & BIN STORE UPDATED
C	WIND RATING UPDATE
D	JOB NUMBER AND CLIENT UPDATE
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Date	By
24.02.2026	LR
05.03.2026	LR
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CLIENT NAME: LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO

DESIGN: TEVIOT 152 - FACADE 5

ESTATE: SERENITY

COUNCIL/SHIRE: LOGAN CITY COUNCIL

DRAWN BY: PM | DATE: 24.02.2026

CLIENT SIGNATURE : _____ DATE : _____ ?

SHEET: LANDSCAPING PLAN 2.0

SHEET NO: LOT 27 KOBEE STREET GREENBANK, QLD 4124

PROJECT ADDRESS: SP312657

PROJECT STAGE: WORKING DRAWINGS

PROJECT No: 403569

By: Ali Rizayee

Date: 20 July 2026

Approval no: DEV-2026-FLA-4957

Date: 24 July 2026

Queensland Government

Queensland Government

WINDOWS:

ALL WINDOWS TO COMPLY WITH N.C.C. CLAUSE H1D8.
ALL WINDOWS AND DOORS TO HAVE CLEAR GLAZING TO AS1288 - 2021 UNLESS SPECIFIED,
SATINLITE GLAZING TO WET AREA WINDOWS TO AS1288 - 2021.

DOORS:

2040 INTERNAL DOOR HEIGHT UNLESS NOTED OTHERWISE.

WC DOOR TO BE REMOVABLE AND FITTED WITH LIFT OFF HINGES
WHERE REQUIRED AS PER N.C.C. H4P3.4

WATERPROOFING:

WATERPROOFING TO WET AREAS TO COMPLY WITH NCC 2022 10.2

VENTILATION:

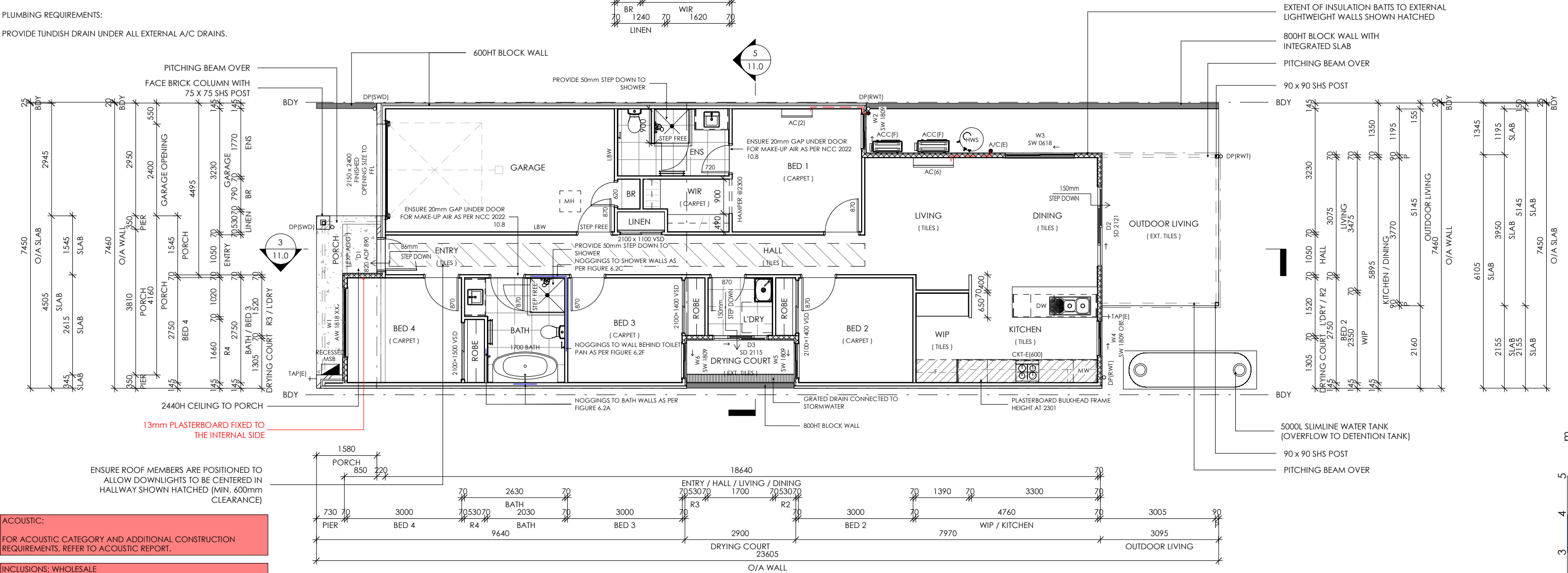
MECHANICAL VENTILATION FOR EXHAUST FANS TO ENSUITE, BATH & RHOOD DUCTED EXTERNALLY.

PLUMBING REQUIREMENTS:

PROVIDE TUNDISH DRAIN UNDER ALL EXTERNAL A/C DRAINS.

KEYNOTE LEGEND

A/C(E)	PROVIDE EXTERNAL TUNDISH UNDER ALL EXTERNAL A/C DRAINS
AC(2)	2.5 KWATT AC UNIT
AC(6)	6 KWATT AC UNIT
ACC(F)	AC CONDENSOR UNIT FLOOR MOUNTED
CKT-E(600)	ELECTRIC COOK TOP 600mm
DP(RWT)	DOWNSPIPE TO RAINWATER TANK
DP(SWD)	DOWNSPIPE TO STORMWATER DRAIN
DW	DISHWASHER
F	REFRIGERATOR
HWS	HOTWATER SYSTEM
LBW	LOAD BEARING WALL
MH	MAN HOLE
MSB	MAIN SWITCHBOARD
MW	MICROWAVE
TAP(E)	EXTERNAL TAP
YGD	GRATED DRAIN CONNECTED TO STORMWATER



ACOUSTIC:
FOR ACOUSTIC CATEGORY AND ADDITIONAL CONSTRUCTION REQUIREMENTS, REFER TO ACOUSTIC REPORT.

INCLUSIONS: WHOLESALE
• 2040 HIGH INTERNAL DOORS
• 20mm STONE KITCHEN BENC TOPS
• LAMINATE VANITY BENC TOPS
• BARRIER SCREENS TO SLIDING GLASS DOORS AND OPERABLE WINDOW OPENINGS
• FLY SCREENS TO ALL OPERABLE FRONT FACADE OPENING WINDOWS

STEEL FRAME:
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FLOOR AREA SCHEDULE	WIND RATING :
LIVING	110.77 m ²
GARAGE	20.96 m ²
OUTDOOR LIVING	12.23 m ²
PORCH	4.35 m ²
DRYING COURT	3.77 m ²
GRAND TOTAL	152.07 m ²

Revision	Description	Date	By
N3	A STAGE 2 - WORKING DRAWINGS	24.02.2026	LR
H1	B FACADE FINISHES & BIN STORE UPDATED	05.03.2026	LR
	C WIND RATING UPDATE	16.03.2026	PM
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CLIENT SIGNATURE : _____ DATE : _____ ? CLIENT SIGNATURE : _____ DATE : _____ ?
CLIENT NAME: **LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO**
DESIGN: **TEVIOT 152 - FACADE 5**
ESTATE: **SERENITY**
COUNCIL/SHIRE: **LOGAN CITY COUNCIL**
DRAWN BY: **PM** | DATE: **24.02.2026**
SHEET: **FLOOR PLAN 3.0**
SHEET NO: **LOT 27 KOBEE STREET GREENBANK, QLD 4124**
PROJECT ADDRESS: **SP312657**
PROJECT STAGE: **WORKING DRAWINGS**
PROJECT No: **403569**

FLOOR FINISHES:

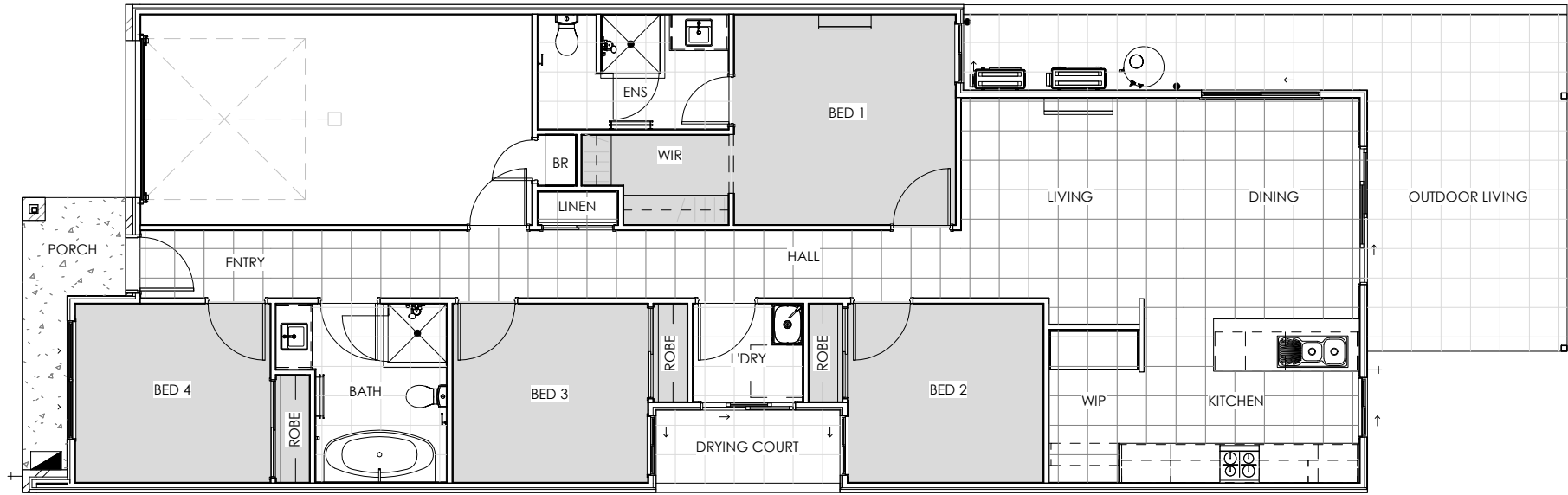
UNLESS NOTED OTHERWISE (CHECK COLOUR SELECTION).

GROUT GAPS WILL BE IN ACCORDANCE WITH AUSTRALIAN STANDARD RECOMMENDATIONS.

WHERE APPROPRIATE SKIRTING TILES TO LINE UP WITH FLOOR TILES.

SKIRTING TO CARPET AND TILED AREAS TO BE KEPT UP 12mm.

ROOM SCHEDULE				
NAME	BASE FINISH	FLOOR FINISH	WALL FINISH	AREA
BATH	CONCRETE / WATERPROOFING	WET AREA TILES	VILLABOARD/TILES	6.19 m²
BED 1	CONCRETE	CARPET	PLASTERBOARD/PAINT	10.98 m²
BED 2	CONCRETE	CARPET	PLASTERBOARD/PAINT	8.25 m²
BED 3	CONCRETE	CARPET	PLASTERBOARD/PAINT	8.25 m²
BED 4	CONCRETE	CARPET	PLASTERBOARD/PAINT	8.25 m²
BR	CONCRETE	CONCRETE	PLASTERBOARD/PAINT	0.47 m²
DINING	CONCRETE	TILES	PLASTERBOARD/PAINT	9.14 m²
DRYING COURT	CONCRETE	EXT. TILES		3.13 m²
ENS	CONCRETE / WATERPROOFING	WET AREA TILES	VILLABOARD/TILES	5.12 m²
ENTRY	CONCRETE	TILES	PLASTERBOARD/PAINT	2.10 m²
GARAGE	CONCRETE	CONCRETE	PLASTERBOARD/PAINT	19.38 m²
HALL	CONCRETE	TILES	PLASTERBOARD/PAINT	11.07 m²
KITCHEN	CONCRETE	TILES	PLASTERBOARD/PAINT	8.28 m²
L'DRY	CONCRETE / WATERPROOFING	WET AREA TILES	VILLABOARD/TILES	2.58 m²
LINEN	CONCRETE	TILES	PLASTERBOARD/PAINT	0.66 m²
LIVING	CONCRETE	TILES	PLASTERBOARD/PAINT	11.20 m²
OUTDOOR LIVING	CONCRETE	EXT. TILES		22.93 m²
PORCH	CONCRETE	EXP.AGG		4.07 m²
ROBE	CONCRETE	CARPET	PLASTERBOARD/PAINT	0.88 m²
ROBE	CONCRETE	CARPET	PLASTERBOARD/PAINT	0.81 m²
ROBE	CONCRETE	CARPET	PLASTERBOARD/PAINT	0.81 m²
WIP	CONCRETE	TILES	PLASTERBOARD/PAINT	3.39 m²
WIR	CONCRETE	CARPET	PLASTERBOARD/PAINT	2.76 m²
Total				150.69 m²



FLOOR FINISHES LEGEND



FLOOR AREA SCHEDULE	
LIVING	110.77 m²
GARAGE	20.96 m²
OUTDOOR LIVING	12.23 m²
PORCH	4.35 m²
DRYING COURT	3.77 m²
GRAND TOTAL	152.07 m²

WIND RATING :
SOIL TYPE :

Revison	Description
N3	
H1	

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CLIENT SIGNATURE : _____ DATE : _____ ?
SHEET: 3.1
SHEET NO:
PROJECT ADDRESS: LOT 27 KOBEE STREET GREENBANK, QLD 4124
RP / SP PLAN: SP312657
PROJECT STAGE: WORKING DRAWINGS
PROJECT No: 403569

CLADDING TRIM NOTES:

- 42 × 42 - SURROUNDING ALL WINDOWS AND LOWER SLIDING DOORS WITHIN CLAD WALLS.
- 66 × 42 - SURROUNDING UPPER SLIDING DOORS WITHIN CLAD WALLS.
- 42 × 18 - EXTERNAL SHEET CLADDING CORNERS.
- 66 × 42 - WEATHERBOARD & EXPRESSED EXTERNAL CORNERS.
- 42 × 42 - INTERNAL CLADDING CORNERS.
- 18 × 18 - EAVES TRIM / DRIP EDGE.
- 75mm - ROLLED WINDOW FLASHING.

ROLLER BLINDS:

ROLLER BLINDS TO ALL SLIDING GLASS DOORS AND WINDOWS, EXCLUDING WET AREAS & SIDE LIGHT.

WINDOW FLASHING:

ROLLED FLASHING OVER ALL WINDOWS AND ALUMINIUM DOORS.

TRUSSES AND FRAMING:

ROOF TRUSSES AND WALL FRAMES TO MANUFACTURERS SPECIFICATIONS.

GLAZING:

ALL WINDOWS TO COMPLY WITH N.C.C. CLAUSE H1D8.
ALL WINDOWS AND DOORS TO HAVE CLEAR GLAZING TO AS1288 - 2021 UNLESS SPECIFIED,
SATINLITE GLAZING TO WET AREA WINDOWS TO AS1288 - 2021.

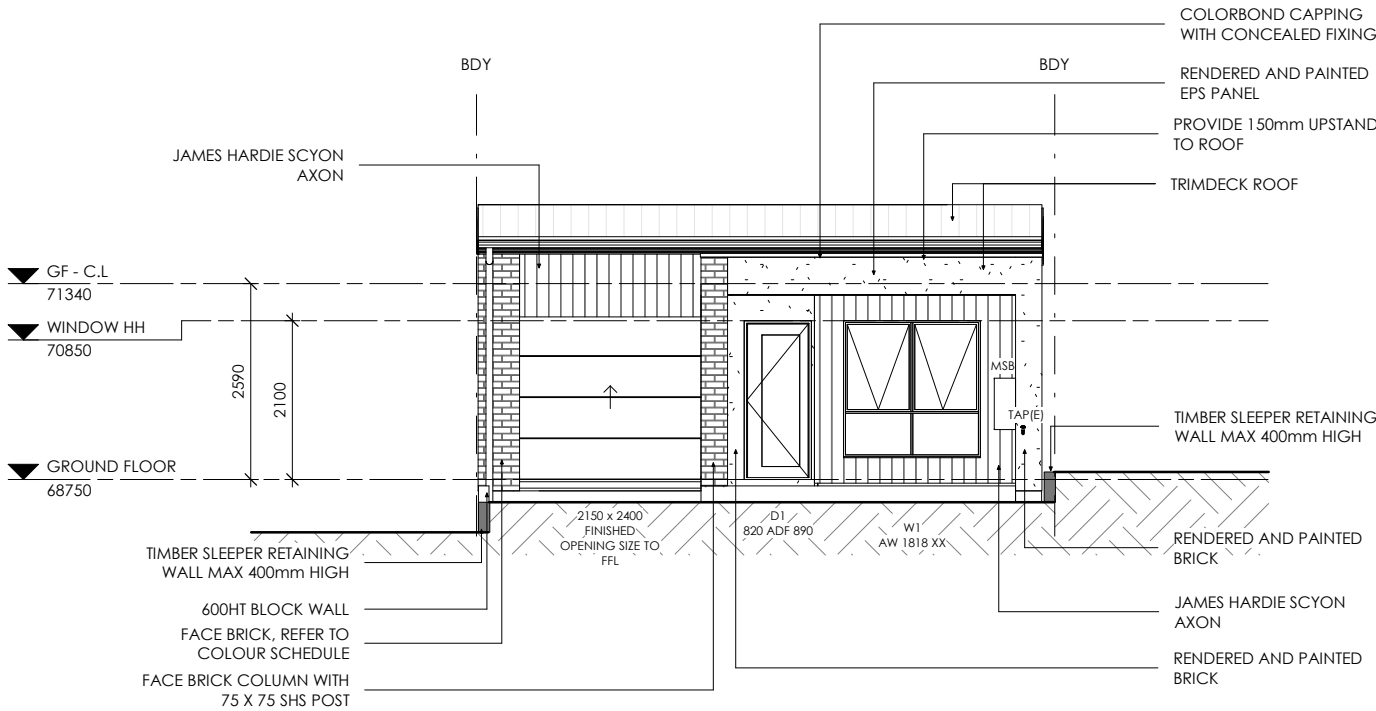
RESTRICTED OPENING TO FIRST FLOOR WINDOWS.

EXPANSION JOINTS:

EXPANSION JOINTS IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS.

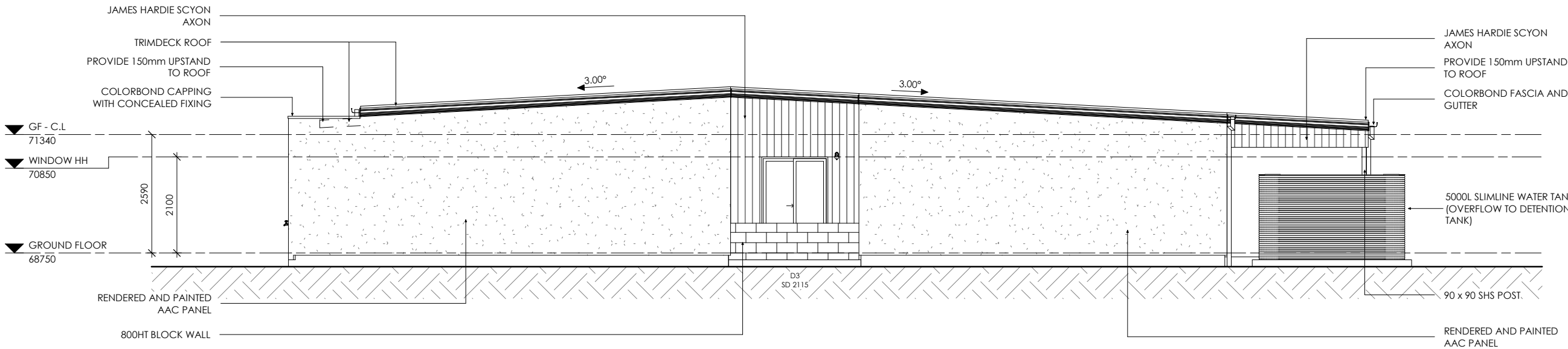
KEYNOTE LEGEND

F(RP)	RENDERED AND PAINTED EPS PANEL
MSB	MAIN SWITCHBOARD
TAP(E)	EXTERNAL TAP
TD	TRIMDECK ROOF



ELEVATION A

1 : 100



ELEVATION B

1 : 100

ACOUSTIC:
FOR ACOUSTIC CATEGORY AND ADDITIONAL CONSTRUCTION REQUIREMENTS, REFER TO ACOUSTIC REPORT.

STEEL FRAME:
THIS HOUSE IS TO BE STEEL FRAME. DETAILS ON THIS PLAN ARE TYPICAL ONLY. REFER TO STEEL FRAME MANUFACTURERS PLANS FOR SPECIFIC DETAILS.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV-2026-FLA-4957

Date: 24 July 2026

FLOOR AREA SCHEDULE	
LIVING	110.77 m²
GARAGE	20.96 m²
OUTDOOR LIVING	12.23 m²
PORCH	4.35 m²
DRYING COURT	3.77 m²
GRAND TOTAL	152.07 m²

WIND RATING :
SOIL TYPE :

Revision	Description
N3	
H1	
A	STAGE 2 - WORKING DRAWINGS
B	FACADE FINISHES & BIN STORE UPDATED
C	WIND RATING UPDATE
D	JOB NUMBER AND CLIENT UPDATE
E	ENERGY REQUIREMENTS

Date	By
24.02.2026	LR
05.03.2026	LR
16.03.2026	PM
22.04.2026	PM
06.05.2026	PM



LVL 1, 393 MACARTHUR AVENUE, HAMILTON QLD 4007
QBCC : 1272561
WWW.CREATIONHOMES.COM.AU
PHONE: (07) 3250 8300

CLIENT SIGNATURE : _____ DATE : _____ ?
CLIENT NAME: LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO
DESIGN: TEVIOT 152 - FACADE 5
ESTATE: SERENITY
COUNCIL/SHIRE: LOGAN CITY COUNCIL
DRAWN BY: PM | DATE: 24.02.2026

CLIENT SIGNATURE : _____ DATE : _____ ?
SHEET: ELEVATIONS 4.0
SHEET NO:
PROJECT ADDRESS: LOT 27 KOBEE STREET GREENBANK, QLD 4124
RP / SP PLAN: SP312657
PROJECT STAGE: WORKING DRAWINGS
PROJECT No: 403569

CLADDING TRIM NOTES:

- 42 × 42 - SURROUNDING ALL WINDOWS AND LOWER SLIDING DOORS WITHIN CLAD WALLS.
- 66 × 42 - SURROUNDING UPPER SLIDING DOORS WITHIN CLAD WALLS.
- 42 × 18 - EXTERNAL SHEET CLADDING CORNERS.
- 66 × 42 - WEATHERBOARD & EXPRESSED EXTERNAL CORNERS.
- 42 × 42 - INTERNAL CLADDING CORNERS.
- 18 × 18 - EAVES TRIM / DRIP EDGE.
- 75mm - ROLLED WINDOW FLASHING.

ROLLER BLINDS:

ROLLER BLINDS TO ALL SLIDING GLASS DOORS AND WINDOWS, EXCLUDING WET AREAS & SIDE LIGHT.

WINDOW FLASHING:

ROLLED FLASHING OVER ALL WINDOWS AND ALUMINIUM DOORS.

TRUSSES AND FRAMING:

ROOF TRUSSES AND WALL FRAMES TO MANUFACTURERS SPECIFICATIONS.

GLAZING:

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ALL WINDOWS AND DOORS TO HAVE CLEAR GLAZING TO AS1288 - 2021 UNLESS SPECIFIED,
SATINLITE GLAZING TO WET AREA WINDOWS TO AS1288 - 2021.

RESTRICTED OPENING TO FIRST FLOOR WINDOWS.

EXPANSION JOINTS:

EXPANSION JOINTS IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS.

KEYNOTE LEGEND

ACC(F)	AC CONDENSOR UNIT FLOOR MOUNTED
F(RP)	RENDERED AND PAINTED EPS PANEL
HWS	HOTWATER SYSTEM
MSB	MAIN SWITCHBOARD
TAP(E)	EXTERNAL TAP
TD	TRIMDECK ROOF

ACOUSTIC:
FOR ACOUSTIC CATEGORY AND ADDITIONAL CONSTRUCTION REQUIREMENTS, REFER TO ACOUSTIC REPORT.

STEEL FRAME:
THIS HOUSE IS TO BE STEEL FRAME. DETAILS ON THIS PLAN ARE TYPICAL ONLY. REFER TO STEEL FRAME MANUFACTURERS PLANS FOR SPECIFIC DETAILS.

FLOOR AREA SCHEDULE	
LIVING	110.77 m²
GARAGE	20.96 m²
OUTDOOR LIVING	12.23 m²
PORCH	4.35 m²
DRYING COURT	3.77 m²
GRAND TOTAL	152.07 m²

WIND RATING :
SOIL TYPE :

Revision	Description	Date	By
N3			
H1			
A	STAGE 2 - WORKING DRAWINGS	24.02.2026	LR
B	FACADE FINISHES & BIN STORE UPDATED	05.03.2026	LR
C	WIND RATING UPDATE	16.03.2026	PM
D	JOB NUMBER AND CLIENT UPDATE	22.04.2026	PM
E	ENERGY REQUIREMENTS	06.05.2026	PM



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QBCC : 1272561
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CLIENT SIGNATURE : _____ DATE : _____ ?
CLIENT NAME: **LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO**
DESIGN: **TEVIOT 152 - FACADE 5**
ESTATE: **SERENITY**
COUNCIL/SHIRE: **LOGAN CITY COUNCIL**
DRAWN BY: **PM** | DATE: **24.02.2026**

CLIENT SIGNATURE : _____ DATE : _____ ?
SHEET: **ELEVATIONS 4.1**
SHEET NO:
PROJECT ADDRESS: **LOT 27 KOBEE STREET GREENBANK, QLD 4124**
RP / SP PLAN: **SP312657**
PROJECT STAGE: **WORKING DRAWINGS**
PROJECT No: **403569**

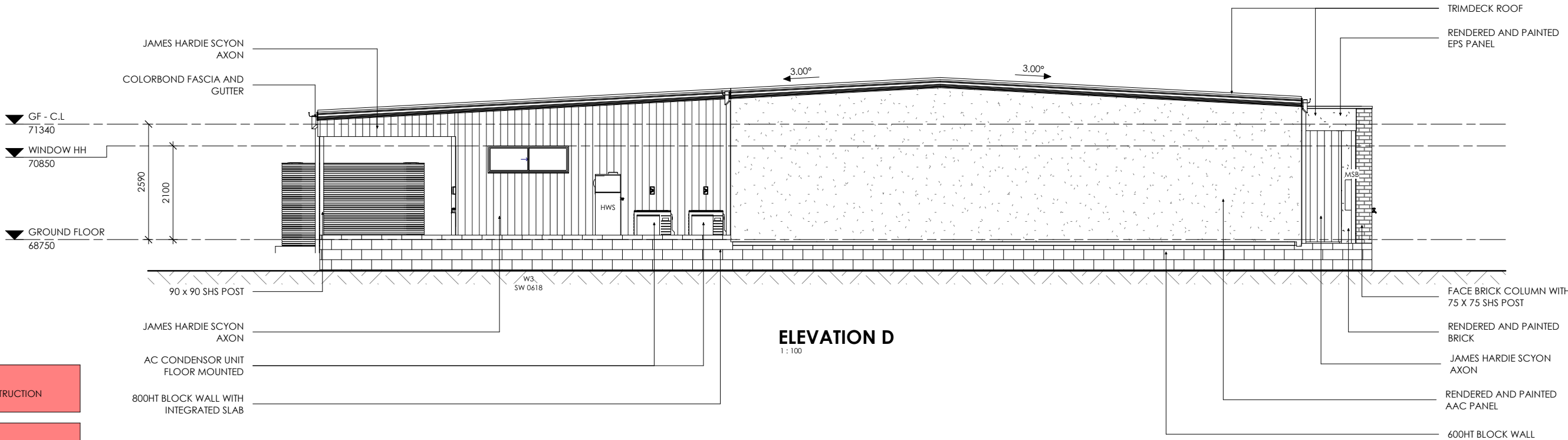
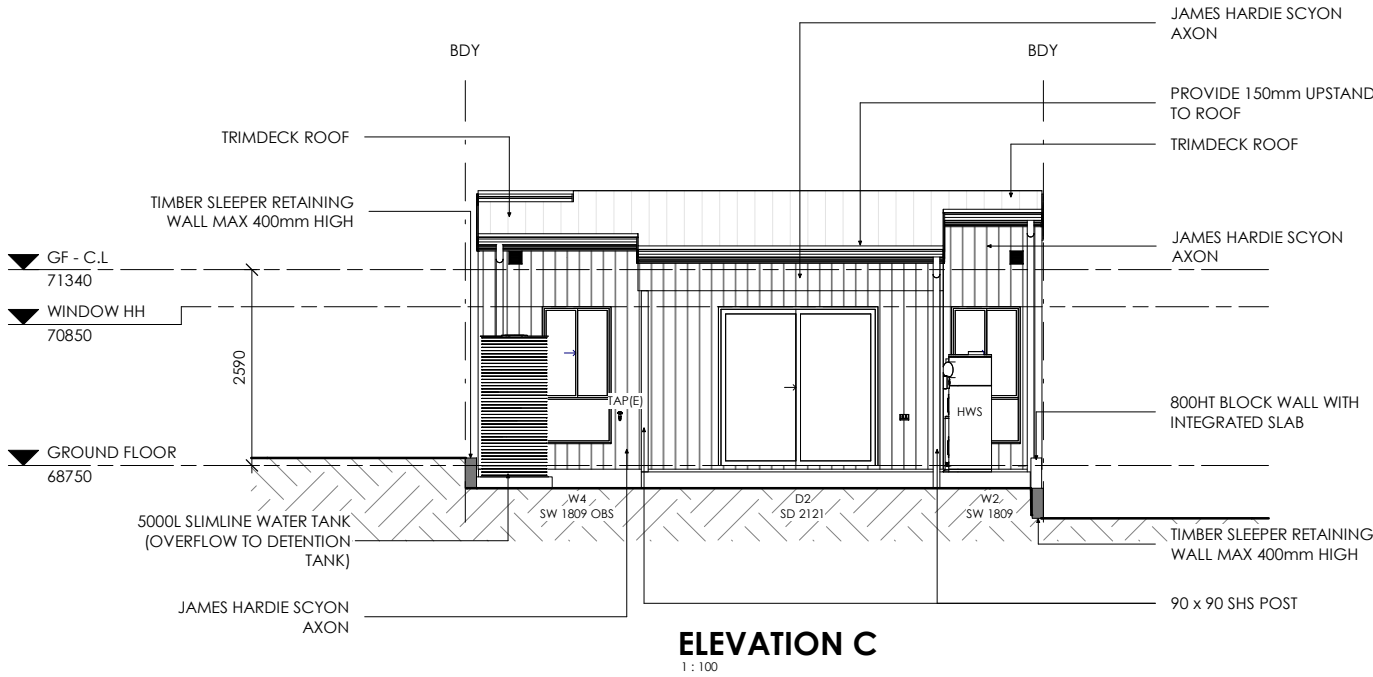
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[Issue 1.0]

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV-2026-FLA-4957

Date: 24 July 2026



SCALE 1: 100 @A3

PORCH & ALFRESCO SLABS:

PORCH AND ALFRESCO SLABS POURED AS PART OF LANDSCAPING WORKS.

SLABS:

SLAB & FOOTINGS AS PER ENGINEER'S DESIGN & SPECIFICATION.

PROVIDE TUNDISH DRAIN UNDER ALL EXTERNAL AC DRAINS.

SLABS & FOOTINGS:

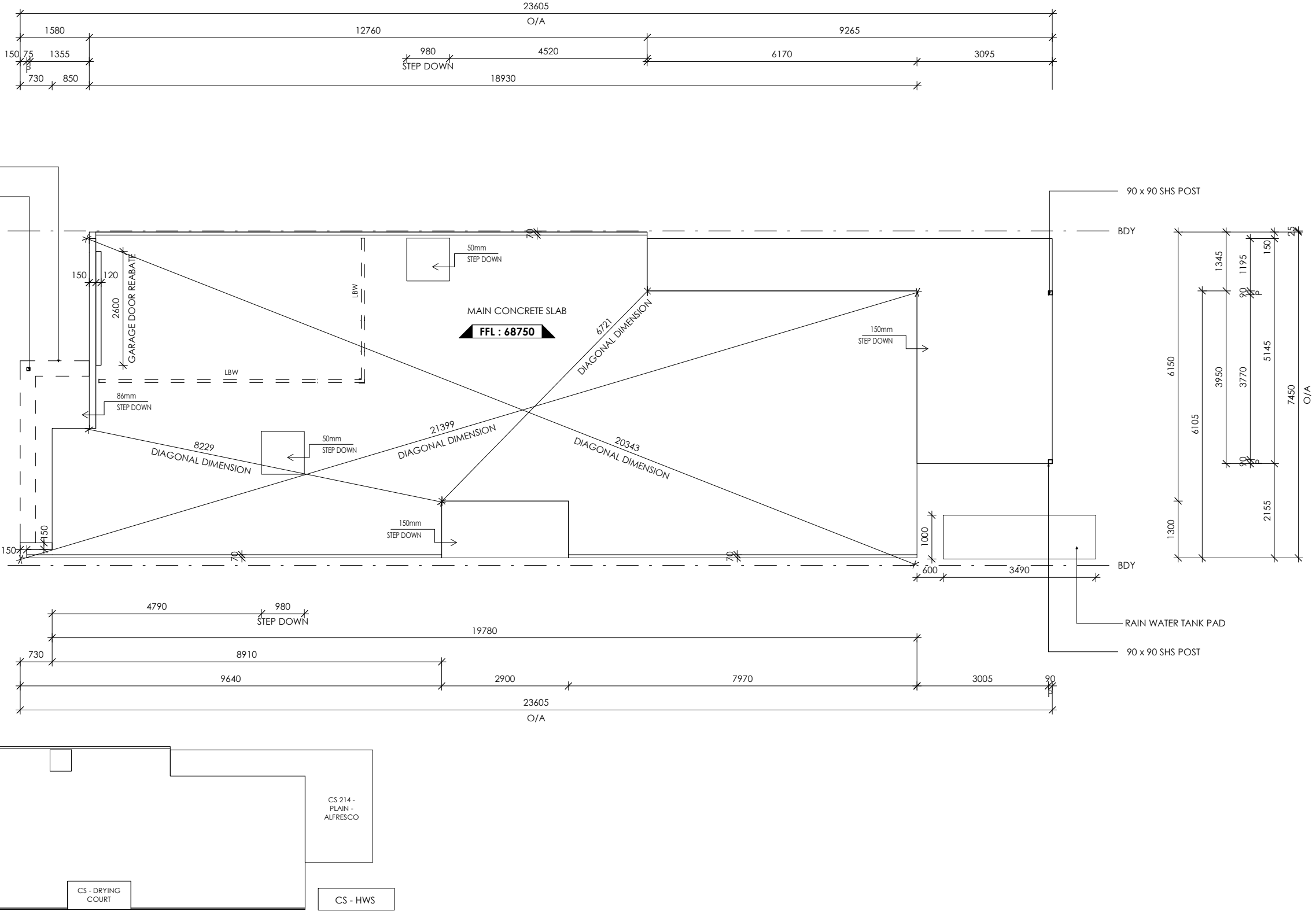
CONCRETE SLAB & FOOTINGS TO STRUCTURAL ENGINEERS DETAILS, INCLUDE TERMITE PROTECTION TO COMPLY WITH AS 3660.1

HARD LANSCAPING SCHEDULE

TYPE	AREA	COUNT
CS - EXP AGG - BIN	1.09 m²	1
CS - EXP AGG - DRIVEWAY	24.84 m²	1
CS - EXP AGG - PORCH	4.35 m²	1

KEYNOTE LEGEND

CS(85)	MAIN CONCRETE SLAB
LBW	LOAD BEARING WALL
SL(SF)	STRIP FOOTING AS PER ENGINEERS DESIGN



FLOOR AREA SCHEDULE	
LIVING	110.77 m²
GARAGE	20.96 m²
OUTDOOR LIVING	12.23 m²
PORCH	4.35 m²
DRYING COURT	3.77 m²
GRAND TOTAL	152.07 m²

WIND RATING :
SOIL TYPE :

N3
H1

Revision	Description
A	STAGE 2 - WORKING DRAWINGS
B	FACADE FINISHES & BIN STORE UPDATED
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Date	By
24.02.2026	LR
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creation homes
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CLIENT SIGNATURE : _____ DATE : _____
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DESIGN: **TEVIOT 152 - FACADE 5**
ESTATE: **SERENITY**
COUNCIL/SHIRE: **LOGAN CITY COUNCIL**
DRAWN BY: **PM** DATE: **24.02.2026**

CLIENT SIGNATURE : _____ DATE : _____
SHEET: **SLAB PLAN 5.0**
SHEET NO: **LOT 27 KOBEE STREET GREENBANK, QLD 4124**
PROJECT ADDRESS: **SP312657**
PROJECT STAGE: **WORKING DRAWINGS**
PROJECT No: **403569**



PORCH & ALFRESCO SLABS:

PORCH AND ALFRESCO SLABS POURED AS PART OF LANDSCAPING WORKS.

SLABS:

SLAB & FOOTINGS AS PER ENGINEER'S DESIGN & SPECIFICATION.

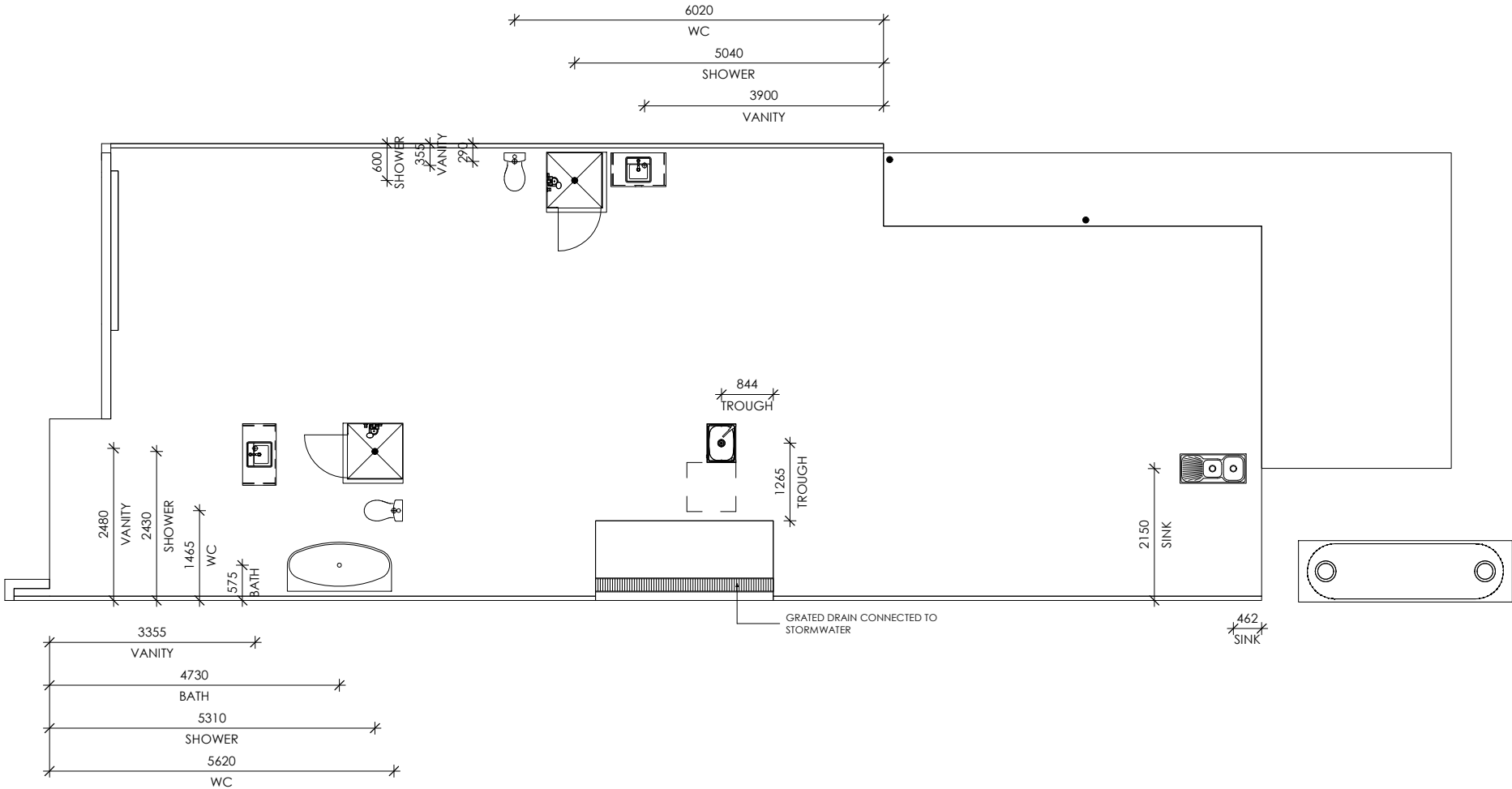
PROVIDE TUNDISH DRAIN UNDER ALL EXTERNAL AC DRAINS.

SLABS & FOOTINGS:

CONCRETE SLAB & FOOTINGS TO STRUCTURAL ENGINEERS DETAILS, INCLUDE TERMITE PROTECTION TO COMPLY WITH AS 3660.1

PENETRATION NOTES:

DIMENSIONS FOR REFERENCE ONLY. NOT TO BE USED FOR UNDERSLAB DRAINAGE SETOUT.



WIND RATING :

SOIL TYPE :

Revision	Description
N3	
H1	
A	STAGE 2 - WORKING DRAWINGS
B	FACADE FINISHES & BIN STORE UPDATED
C	WIND RATING UPDATE
D	JOB NUMBER AND CLIENT UPDATE
E	ENERGY REQUIREMENTS

Date	By
24.02.2026	LR
05.03.2026	LR
16.03.2026	PM
22.04.2026	PM
06.05.2026	PM



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homes**

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CLIENT SIGNATURE : _____ DATE : _____ ?

CLIENT NAME: **LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO**

DESIGN: **TEVIOT 152 - FACADE 5**

ESTATE: **SERENITY**

COUNCIL/SHIRE: **LOGAN CITY COUNCIL**

DRAWN BY: **PM** | DATE: **24.02.2026**

CLIENT SIGNATURE : _____ DATE : _____ ?

SHEET: **PENETRATIONS PLAN**

SHEET NO: **6.0**

PROJECT ADDRESS: **LOT 27 KOBEE STREET GREENBANK, QLD 4124**

RP / SP PLAN: **SP312657**

PROJECT STAGE: **WORKING DRAWINGS**

PROJECT No: **403569**



GENERAL NOTES:

80% OF ALL INTERNAL AND EXTERNAL LIGHT FITTINGS ARE TO BE ENERGY EFFICIENT.

LIGHT SWITCHES TO BE 1100mm ABOVE F.F.L.

BATHROOM GPO BETWEEN SHOWER AND VANITY TO BE VERTICAL.

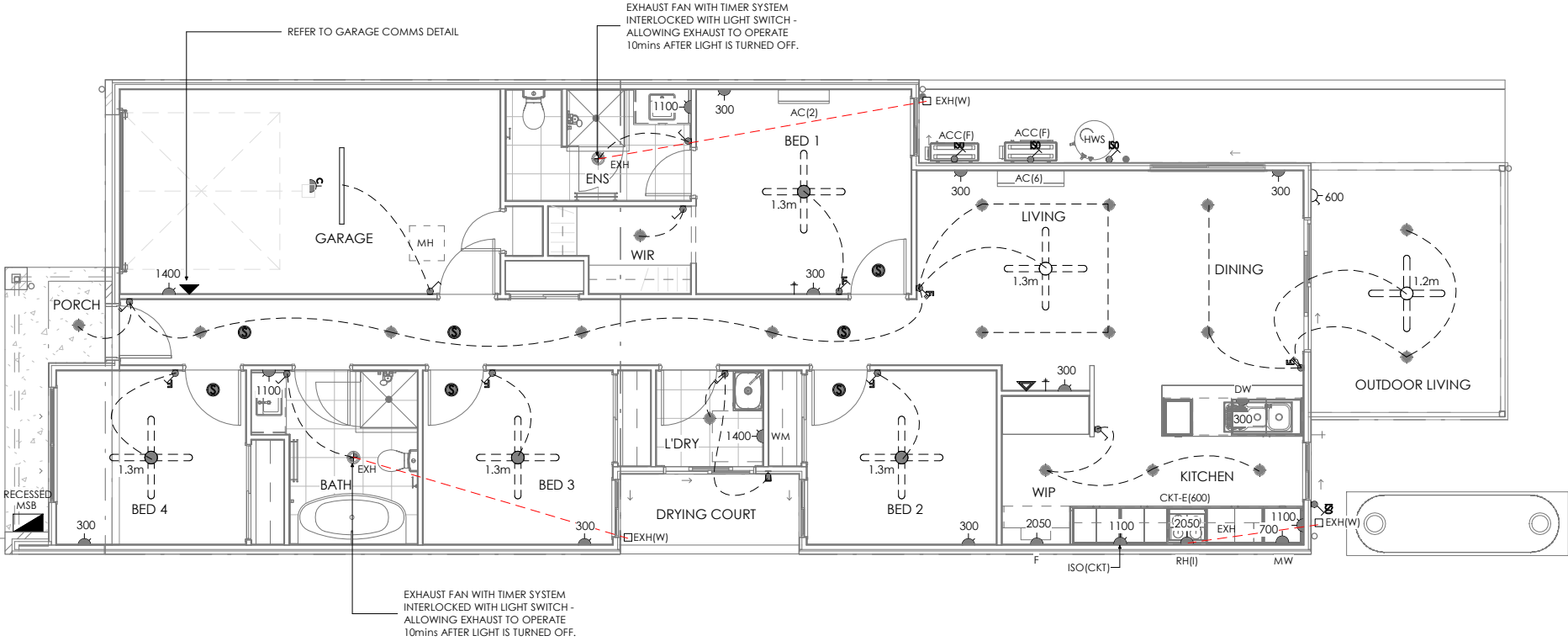
AIR CONDITIONING OUTLETS AND RETURN AIR GRILL (IF APPLICABLE) TO BE CONFIRMED ONSITE BY AIR CONDITIONING SPECIALIST.

MAX ALLOWABLE LIGHTING = FLOOR AREAm² × 4W/m²

TOTAL AREA	MAX WATTS ALLOWED
152.07 m²	608.29 W

ELECTRICAL FIXTURES SCHEDULE			
TYPE	COUNT	WATTS PER UNIT	WATTS
1200mm BATTEN LIGHT	1	40	40
CEILING FAN - 1200mm	1	0	0
CEILING FAN - 1300mm	1	0	0
CEILING FAN WITH LIGHT - 1300mm	4	18	72
DATA POINT - DOUBLE	1	0	0
DOWNLIGHT	18	7	126
EXH GRILLE - WALL	3	0	0
EXHAUST FAN & LIGHT	2	9	18
EXTERNAL GPO - DOUBLE	1	0	0
GPO - DOUBLE	14	0	0
GPO - SINGLE	4	0	0
GPO SINGLE GARAGE DOOR	1	0	0
ISOLATOR SWITCH	4	0	0
LIGHT SWITCH - ONE	5	0	0
LIGHT SWITCH - ONE FAN	4	0	0
LIGHT SWITCH - THREE FAN	2	0	0
LIGHT SWITCH - TWO	2	0	0
MSB	1	0	0
PHONE POINT	1	0	0
RH UNDERMOUNT ×1 SHELF	1	14	14
SMOKE ALARM	7	0	0
SURFACE MOUNT SPOTLIGHT	1	15	15
TV POINT	2	0	0
TOTAL	81		285

KEYNOTE LEGEND	
AC(2)	2.5 KWATT AC UNIT
AC(6)	6 KWATT AC UNIT
ACC(F)	AC CONDENSOR UNIT FLOOR MOUNTED
CKT-E(600)	ELECTRIC COOK TOP 600mm
DW	DISHWASHER
EXH(W)	WALL EXHAUST GRILLE AND DUCTWORK
F	REFRIGERATOR
HWS	HOTWATER SYSTEM
ISO(CKT)	ISOLATOR FOR COOKTOP TO BE LOCATED WITHIN GPO
MH	MAN HOLE
MSB	MAIN SWITCHBOARD
MW	MICROWAVE
NBN	REFER TO GARAGE COMMS DETAIL
RH(I)	INTEGRATED RANGE HOOD
WM	WASHING MACHINE



ELECTRICAL LEGEND

	CEILING FAN
	CEILING FAN WITH LIGHT
	DOUBLE DATA POINT
	SINGLE DATA POINT
	DOWNLIGHT
	OYSTER LIGHT
	BATTEN HOLDER
	GPO - DOUBLE
	GPO - EXTERNAL
	GPO - DOUBLE EXTERNAL
	GPO - DOUBLE UNDER BENCH
	GPO - DOUBLE WITH USB
	GPO - SINGLE
	GPO - SINGLE ON CEILING FOR GARAGE DOOR
	GPO - DOUBLE VERTICAL MOUNT
	PHONE PORT
	TV PORT
	SWITCH - SINGLE WITH FAN
	SWITCH - SINGLE
	SWITCH - DOUBLE
	SWITCH - TRIPPLE
	SWITCH - FOUR
	SWITCH - ISOLATOR
	SMOKE DETECTOR
	LIGHT - EXTERNAL LED
	LIGHT - EXTERNAL UP/DN
	EXHAUST FAN
	EXHAUST FAN AND LIGHT
	SURFACE MOUNT SPOTLIGHT
	LED SURFACE MOUNT WALL LIGHT
	UP-DOWN SURFACE MOUNT WALL LIGHT
	1200mm BATTEN LIGHT
	LED STRIP LIGHT
	GHWS
	GAS HOT WATER SYSTEM
	MECHANICAL VENT OUTLET
	RANGEHOOD VENT OUTLET
	MAIN SWITCHBOARD
	DISTRIBUTION BOARD
	NBN NETWORK TERMINATION DEVICE
	NBN PREMISE CONNECTION DEVICE

FLOOR AREA SCHEDULE	
LIVING	110.77 m²
GARAGE	20.96 m²
OUTDOOR LIVING	12.23 m²
PORCH	4.35 m²
DRYING COURT	3.77 m²
GRAND TOTAL	152.07 m²

WIND RATING :
SOIL TYPE :

Revision	Description
N3	
H1	
A	STAGE 2 - WORKING DRAWINGS
B	FACADE FINISHES & BIN STORE UPDATED
C	WIND RATING UPDATE
D	JOB NUMBER AND CLIENT UPDATE
E	ENERGY REQUIREMENTS

Date	By
24.02.2026	LR
05.03.2026	LR
16.03.2026	PM
22.04.2026	PM
06.05.2026	PM



**creation
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LVL 1, 393 MACARTHUR AVENUE, HAMILTON QLD 4007
QBCC : 1272561

WWW.CREATIONHOMES.COM.AU PHONE: (07) 3250 8300

CLIENT SIGNATURE : _____ DATE : _____ ?
CLIENT NAME: **LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO**
DESIGN: **TEVIOT 152 - FACADE 5**
ESTATE: **SERENITY**
COUNCIL/SHIRE: **LOGAN CITY COUNCIL**
DRAWN BY: **PM** | DATE: **24.02.2026**

CLIENT SIGNATURE : _____ DATE : _____ ?
SHEET: **ELECTRICAL PLAN**
SHEET NO: **9.0**
PROJECT ADDRESS: **LOT 27 KOBEE STREET GREENBANK, QLD 4124**
RP / SP PLAN: **SP312657**
PROJECT STAGE: **WORKING DRAWINGS**
PROJECT No: **403569**



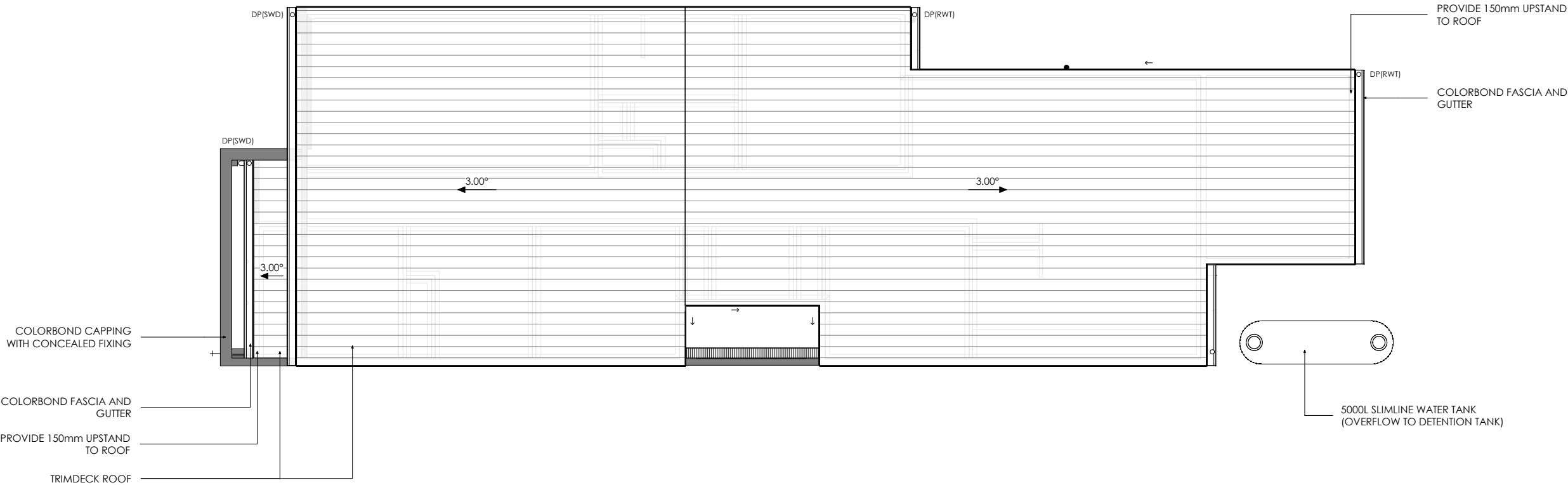
D:\WORK\METRO PROPERTY DEVELOPMENT PTY LTD\Creation Homes Qld - Retail Design - Masters\Wholesale\Production\GREENBANK\SERENITY ESTATE\#403541 Lot 27 Kobee Street - TERRACE\DRAWINGS\#403569 Lot 27 Kobee Street - GREENBANK - TERRACE - RevE.rvt

ROOF SCHEDULE			
TYPE	COUNT	AREA	DOWNPipes
TRIMDEK ROOF	1	82.11 m²	3
TRIMDEK ROOF	1	60.55 m²	2
TRIMDEK ROOF	1	4.15 m²	1

FASCIA & GUTTER SCHEDULE

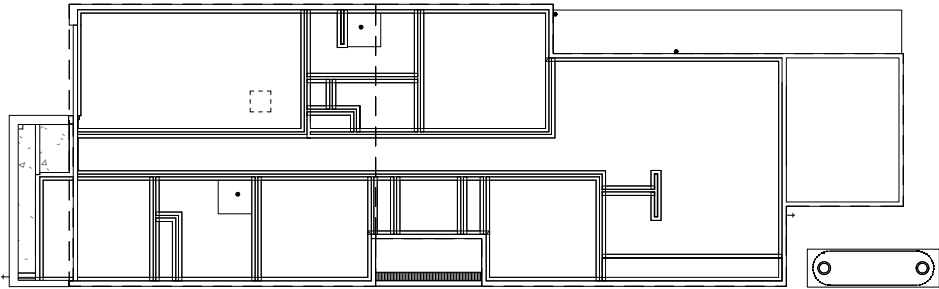
TYPE	COUNT	LENGTH	COMMENTS
STANDARD FASCIA	2	65786	
STANDARD GUTTER	5	19065	

SOFFIT PANELS		
TYPE	LENGTH	NO. OF PANELS



KEYNOTE LEGEND

DP(RWT)	DOWPIPE TO RAINWATER TANK
DP(SWD)	DOWPIPE TO STORMWATER DRAIN
TD	TRIMDECK ROOF



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV-2026-FLA-4957
Date: 24 July 2026

WIND RATING :
SOIL TYPE :

N3
H1

Revision	Description	Date	By
A	STAGE 2 - WORKING DRAWINGS	24.02.2026	LR
B	FACADE FINISHES & BIN STORE UPDATED	05.03.2026	LR
C	WIND RATING UPDATE	16.03.2026	PM
D	JOB NUMBER AND CLIENT UPDATE	22.04.2026	PM
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CLIENT SIGNATURE : _____ DATE : _____ ?
CLIENT NAME: LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO
DESIGN: TEVIOT 152 - FACADE 5
ESTATE: SERENITY
COUNCIL/SHIRE: LOGAN CITY COUNCIL
DRAWN BY: PM | DATE: 24.02.2026

CLIENT SIGNATURE : _____ DATE : _____ ?
SHEET: ROOF PLAN 10.0
SHEET NO: LOT 27 KOBEE STREET GREENBANK, QLD 4124
PROJECT ADDRESS: SP312657
PROJECT STAGE: WORKING DRAWINGS
PROJECT No: 403569

E

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[Issue 1.0]

SCALE 1: 100 @A3

GENERAL NOTES:

ROOF TRUSSES AND WALL FRAMES TO MANUFACTURERS SPECIFICATIONS.

WINDOWS:

ALL WINDOWS TO COMPLY WITH N.C.C. CLAUSE H1D8.
ALL WINDOWS AND DOORS TO HAVE CLEAR GLAZING TO AS1288 - 2021 UNLESS SPECIFIED.
SATINLITE GLAZING TO WET AREA WINDOWS TO AS1288 - 2021.

DOORS:

2040 INTERNAL DOOR HEIGHT UNLESS NOTED OTHERWISE.

WC DOOR TO BE REMOVABLE AND FITTED WITH LIFT OFF HINGES WHERE REQUIRED AS PER N.C.C. H4P3.4

WATERPROOFING:

WATERPROOFING TO WET AREAS TO COMPLY WITH NCC 2022 10.2

VENTILATION:

MECHANICAL VENTILATION FOR EXHAUST FANS TO ENSUITE, BATH & RHOOD DUCTED EXTERNALLY.

PLUMBING REQUIREMENTS:

PROVIDE TUNDISH DRAIN UNDER ALL EXTERNAL A/C DRAINS.

PORCH & ALFRESCO SLABS:

PORCH AND ALFRESCO SLABS POURED AS PART OF LANDSCAPING WORKS.

SLABS:

SLAB & FOOTINGS AS PER ENGINEER'S DESIGN & SPECIFICATION.

PROVIDE TUNDISH DRAIN UNDER ALL EXTERNAL AC DRAINS.

SLABS & FOOTINGS:

CONCRETE SLAB & FOOTINGS TO STRUCTURAL ENGINEERS DETAILS, INCLUDE TERMITE PROTECTION TO COMPLY WITH AS 3660.1

ENERGY EFFICIENCY NOTES:

ELECTRICAL:
DOWNLIGHTS TO BE IC-4 RATED
HOT WATER TYPE TO BE HEAT PUMP (OFF-PEAK), WITH A MINIMUM OF 15STC'S

WINDOWS & DOORS:
ALL WINDOWS TO HAVE BLACK SAFETY GRILL (EXCLUDING FRONT FACADE WINDOWS)
FRONT FACADE WINDOWS TO HAVE INSECT MESH

EXTERNAL WALLS:
BRICK VENEER - REFLECTIVE FOIL
CLAD WALL - SINGLE SIDED REFLECTIVE FOIL AND R2.0 BATTS
R2.0 TO ALL EXTERNAL WALLS

INTERNAL WALLS:
NO REQUIREMENTS.

CEILINGS:
R2.5 INSULATION CEILING BATTS.

ROOFING:
SARKING.

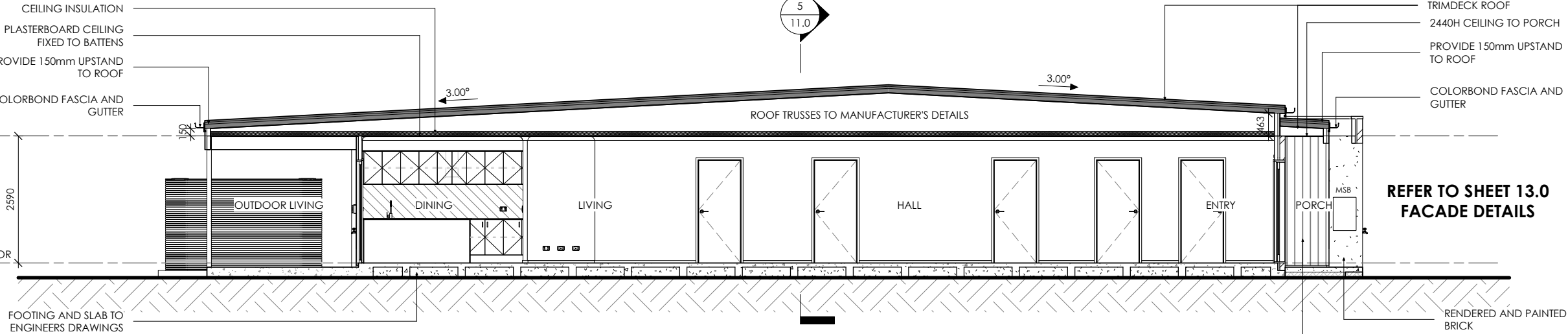
GLAZING:
BRADNAM'S SINGLE CLEAR ALUMINIUM FRAMED PER NATHERS CERTIFICATE.

CEILING PENETRATIONS:
SEALED LED DOWNLIGHTS AND EXHAUST FANS.

FLOOR AREA SCHEDULE	
LIVING	110.77 m²
GARAGE	20.96 m²
OUTDOOR LIVING	12.23 m²
PORCH	4.35 m²
DRYING COURT	3.77 m²
GRAND TOTAL	152.07 m²

WIND RATING :

SOIL TYPE :



SECTION A

1 : 100

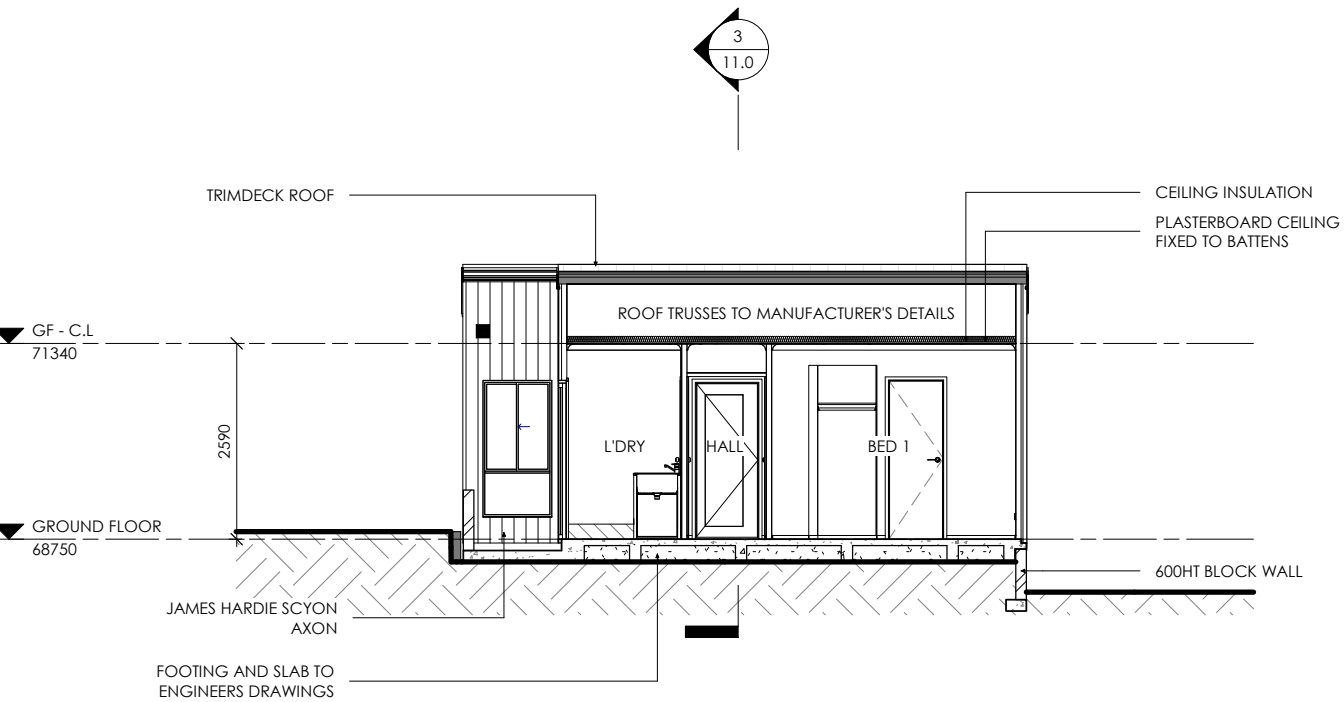
DOOR SCHEDULE - EXTERNAL

No.	Door	Frame H	Frame W	Stud H	Stud W	Comments
D1	820 ADF 890	2100	890	0	0	
D2	SD 2121	2100	2110	2130	2160	
D3	SD 2115	2100	1450	2130	1500	

WINDOW SCHEDULE

No.	Window	Frame H	Frame W	Stud H	Stud W	Comments
W1	AW 1818 XX	1800	1810	1850	1860	
W2	SW 1809	1800	910	1850	960	
W3	SW 0618	600	1810	650	1860	
W4	SW 1809 OBS	1800	910	1850	960	
W5	SW 1809	1800	910	1850	960	
W6	SW 1809	1800	910	1850	960	

WINDOW TYPE	WERS CODE	Glazing type
SLIDING	BRD-001-037	4mm Clear
AWNING	BRD-112-001	4mm Clear
FIXED	BRD-124-304	4mm Clear
SLIDING DOOR	BRD-033-001	4mm Clear
HINGED DOOR	BRD-030-001	4mm Clear
DOUBLE HUNG	BRD-024-034	4mm Clear
LOUVRE	BRD-043-001	6mm Clear



SECTION B

1 : 100

ACOUSTIC:
FOR ACOUSTIC CATEGORY AND ADDITIONAL CONSTRUCTION REQUIREMENTS, REFER TO ACOUSTIC REPORT.

Revision	Description	Date	By
N3	A STAGE 2 - WORKING DRAWINGS	24.02.2026	LR
H1	B FACADE FINISHES & BIN STORE UPDATED	05.03.2026	LR
	C WIND RATING UPDATE	16.03.2026	PM
	D JOB NUMBER AND CLIENT UPDATE	22.04.2026	PM
	E ENERGY REQUIREMENTS	06.05.2026	PM



creation homes

LVL 1, 393 MACARTHUR AVENUE, HAMILTON QLD 4007
QBCC : 1272561

WWW.CREATIONHOMES.COM.AU PHONE: (07) 3250 8300

CLIENT SIGNATURE : _____ DATE : _____ ?

CLIENT NAME: **LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO**

DESIGN: **TEVIOT 152 - FACADE 5**

ESTATE: **SERENITY**

COUNCIL/SHIRE: **LOGAN CITY COUNCIL**

DRAWN BY: **PM** | DATE: **24.02.2026**

CLIENT SIGNATURE : _____ DATE : _____ ?

SHEET: **SECTIONS 11.0**

SHEET NO: **LOT 27 KOBEE STREET GREENBANK, QLD 4124**

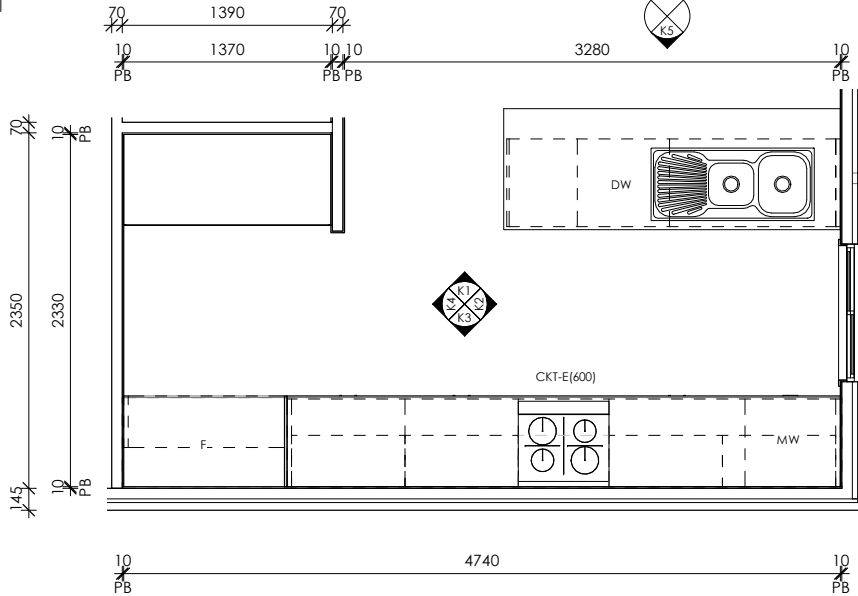
PROJECT ADDRESS: **SP312657**

RP / SP PLAN: **WORKING DRAWINGS**

PROJECT STAGE: **403569**

PROJECT No: **403569**

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5/6/2026 10:03:51 AM



KITCHEN
1 : 50

KEYNOTE LEGEND	
CKT-E(600)	ELECTRIC COOK TOP 600mm
DW	DISHWASHER
F	REFRIGERATOR
MW	MICROWAVE
RH(I)	INTEGRATED RANGE HOOD

- GENERAL NOTES:
- FOR TILE LAYOUT & CABINET HANDLES PLEASE REFER TO COLOUR SCHEDULE.
- PROVIDE FINGER PULL HANDLES TO ALL OVERHEAD CUPBOARDS.
- ALL APPLIANCES, FITTINGS AND FIXTURES ARE INDICATIVE ONLY. CABINETRY ON PLANS NOT TO SCALE.
- 18mm ARCHITRAVES TO WET AREA WINDOWS.
- APPLIANCES:
- COOKTOP ISOLATER TO BE LOCATED IN DOUBLE GPO.
- SHOWERS:
- SHOWER BASE MEASUREMENTS ARE TAKEN FROM THE FACE OF THE FC LINED WALL TO OUTSIDE OF HOB UNLESS NOTED OTHERWISE.
- SHOWER FLOOR BEDDING MIN 1:80, MAX 1:50 FALL TO WASTE.
- GROUT GAPS:
- UNLESS NOTED OTHERWISE (CHECK COLOUR SELECTION) 3mm GROUT GAPS TO WALL TILING (TYPICAL).
- 3-5mm GROUT GAPS TO FLOOR TILING (TYPICAL).
- WHERE APPROPRIATE SKIRTING TILES TO LINE UP WITH FLOOR TILES.

	WIND RATING :	
	SOIL TYPE :	

Revison	Description
N3	
H1	
A	STAGE 2 - WORKING DRAWINGS
B	FACADE FINISHES & BIN STORE UPDATED
C	WIND RATING UPDATE
D	JOB NUMBER AND CLIENT UPDATE
E	ENERGY REQUIREMENTS

Date	By
24.02.2026	LR
05.03.2026	LR
16.03.2026	PM
22.04.2026	PM
06.05.2026	PM

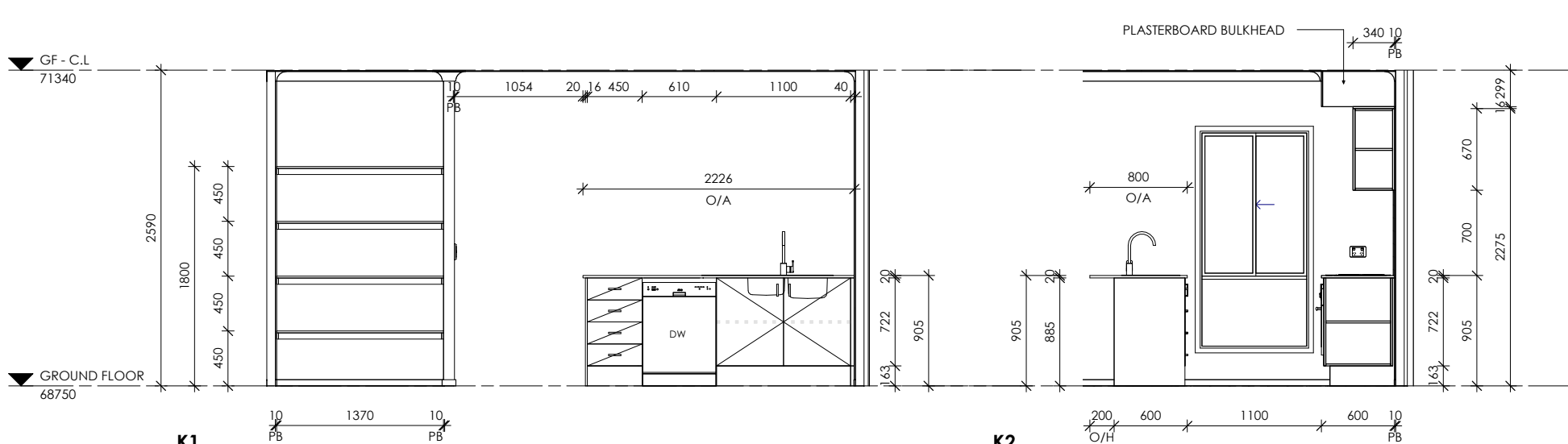


**creation
homes**

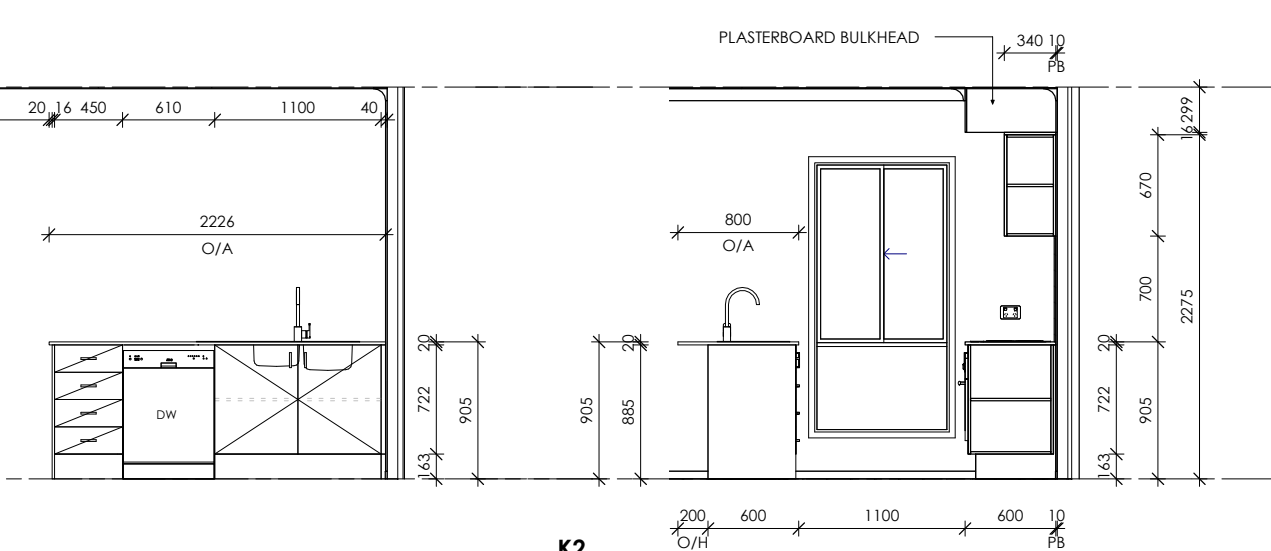
LVL 1, 393 MACARTHUR AVENUE, HAMILTON QLD 4007
QBCC : 1272561

WWW.CREATIONHOMES.COM.AU PHONE: (07) 3250 8300

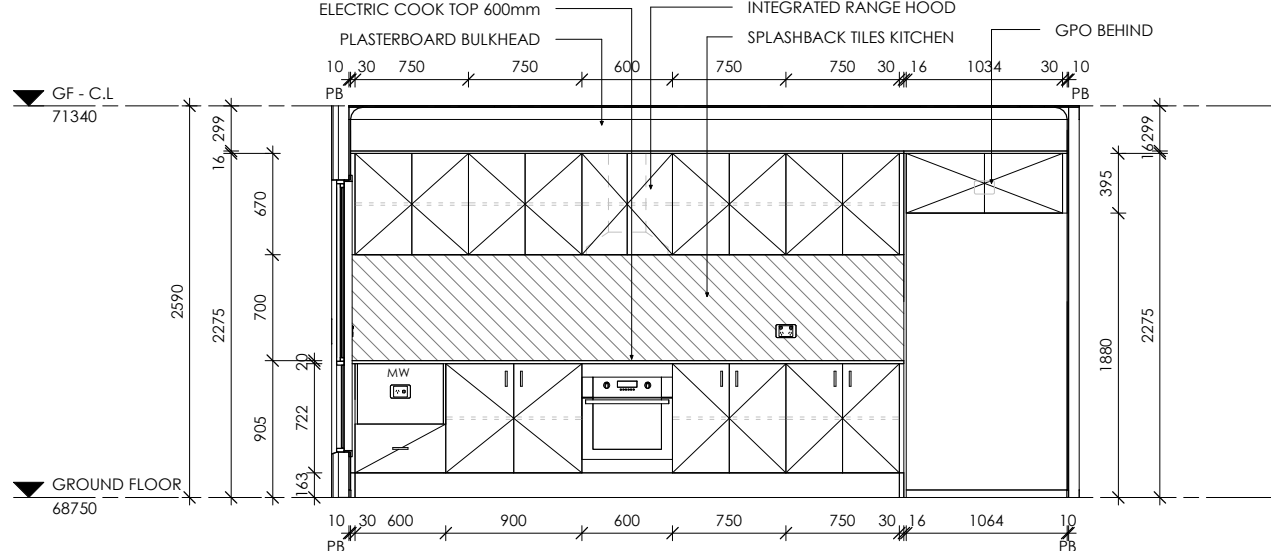
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CLIENT NAME:	LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO				
DESIGN:	TEVIOT 152 - FACADE 5				
ESTATE:	SERENITY				
COUNCIL/SHIRE:	LOGAN CITY COUNCIL				
DRAWN BY:	PM	DATE:	24.02.2026	RP / SP PLAN:	SP312657
				PROJECT STAGE:	WORKING DRAWINGS
				PROJECT No:	403569



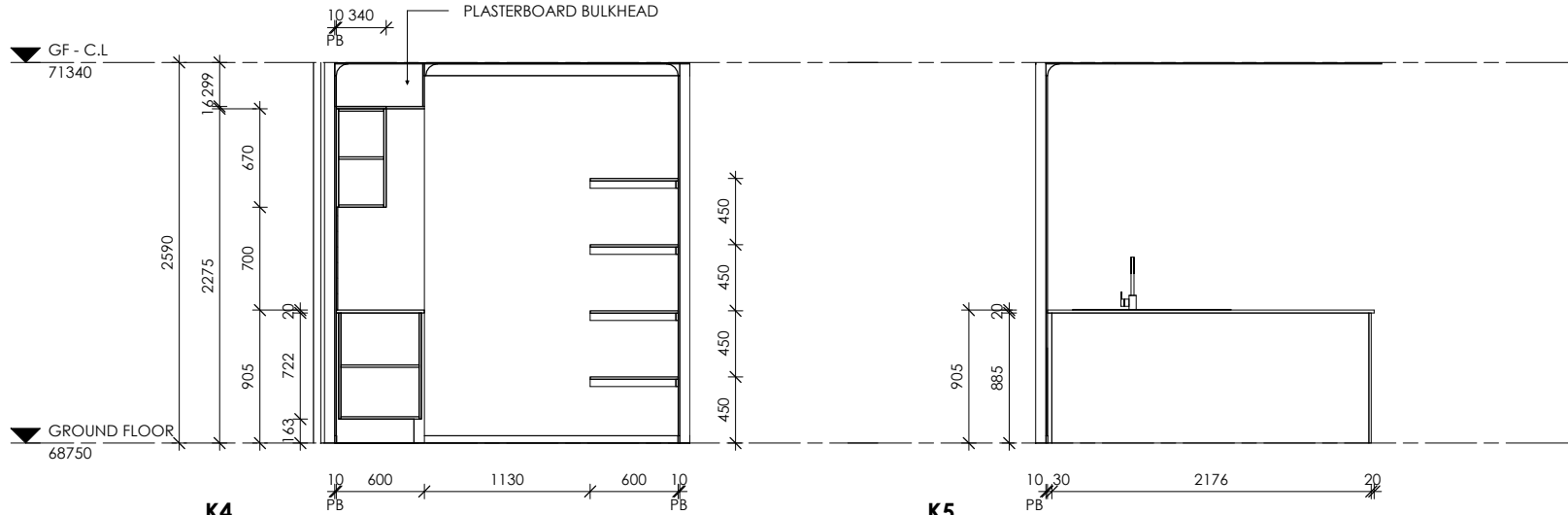
K1
1 : 50



K2
1 : 50



K3
1 : 50



K4
1 : 50

K5
1 : 50

D:\WORK\METRO PROPERTY DEVELOPMENT PTY LTD\Creation Homes Qld - Retail Design - Masters\Wholesale\Production\GREENBANK\SERENITY ESTATE\#403541 Lot 27 Kobee Street, GREENBANK - TERRACE\DRAWINGS\#403569 Lot 27 Kobee Street, GREENBANK - TERRACE - Revit

KEYNOTE LEGEND	
TR(6)	TOWEL RAIL 600MM WIDE

GENERAL NOTES:

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WHERE APPROPRIATE SKIRTING TILES TO LINE UP WITH FLOOR TILES.

WIND RATING :
SOIL TYPE :

N3
H1

Revision	Description
A	STAGE 2 - WORKING DRAWINGS
B	FACADE FINISHES & BIN STORE UPDATED
C	WIND RATING UPDATE
D	JOB NUMBER AND CLIENT UPDATE
E	ENERGY REQUIREMENTS

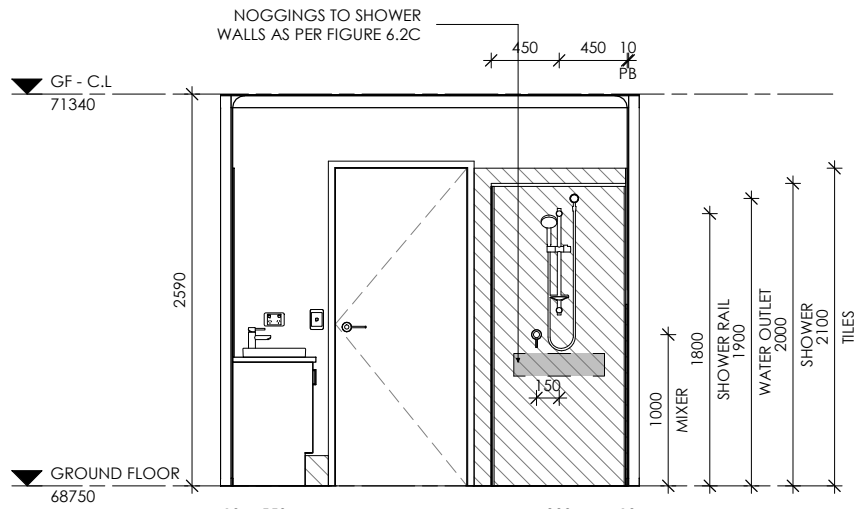
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16.03.2026	PM
22.04.2026	PM
06.05.2026	PM



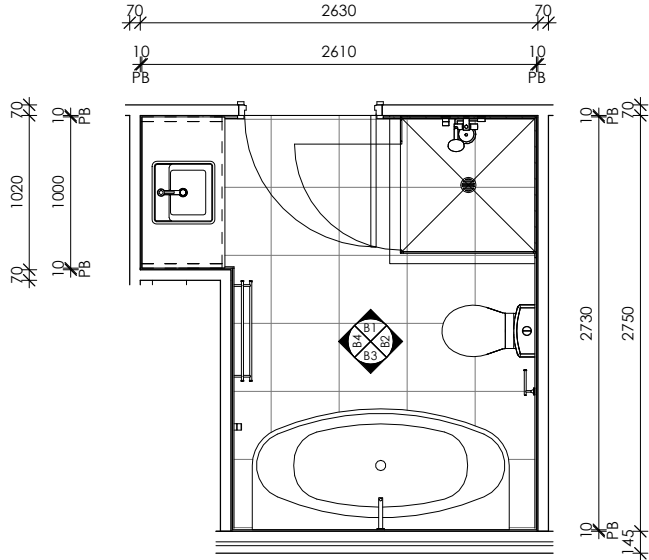
LVL 1, 393 MACARTHUR AVENUE, HAMILTON QLD 4007
QBCC : 1272561
WWW.CREATIONHOMES.COM.AU PHONE: (07) 3250 8300

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homes

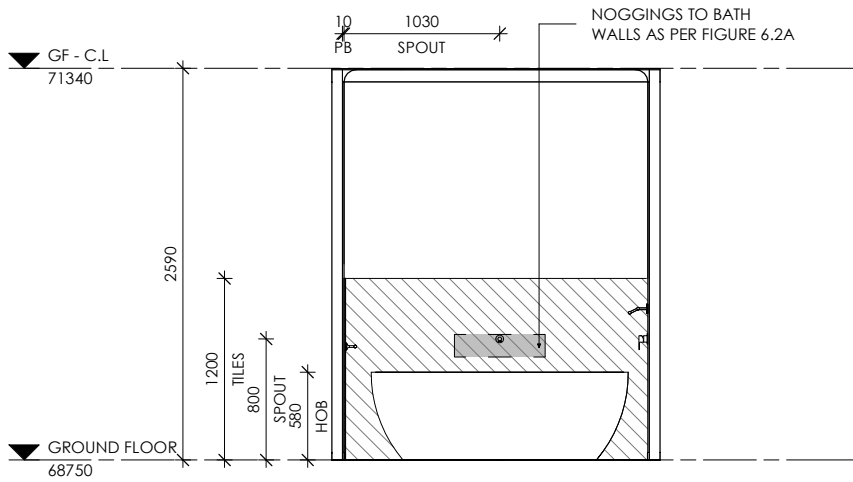
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CLIENT NAME:	LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO	SHEET:	INTERNALS - BATHROOM
DESIGN:	TEVIOT 152 - FACADE 5	SHEET NO:	12.1
ESTATE:	SERENITY	PROJECT ADDRESS:	LOT 27 KOBEE STREET GREENBANK, QLD 4124
COUNCIL/SHIRE:	LOGAN CITY COUNCIL	RP / SP PLAN:	SP312657
DRAWN BY:	PM	PROJECT STAGE:	WORKING DRAWINGS
DATE:	24.02.2026	PROJECT No:	403569



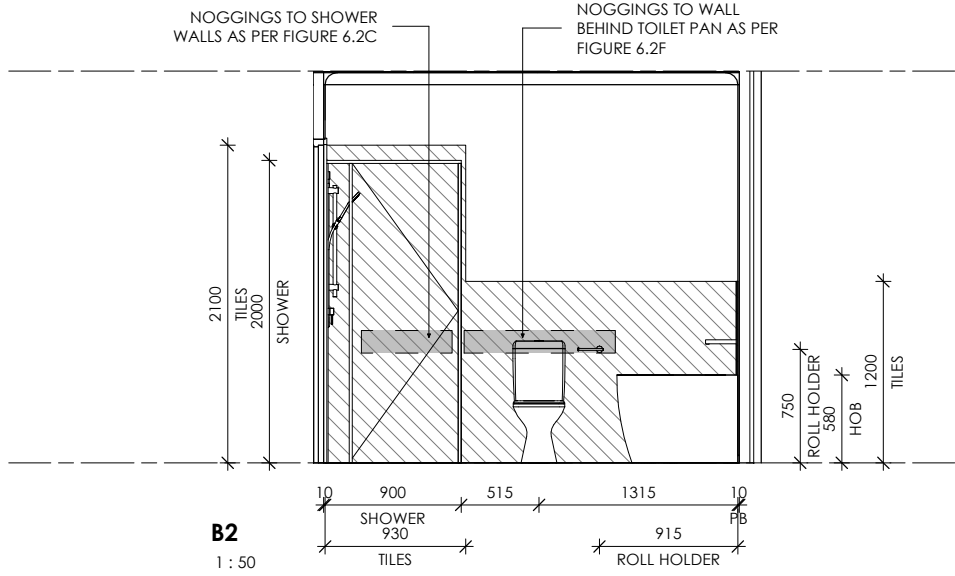
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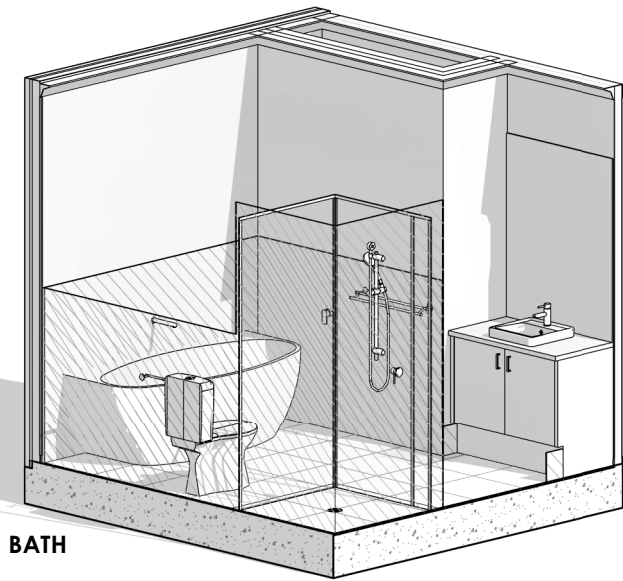
BATH
1 : 50



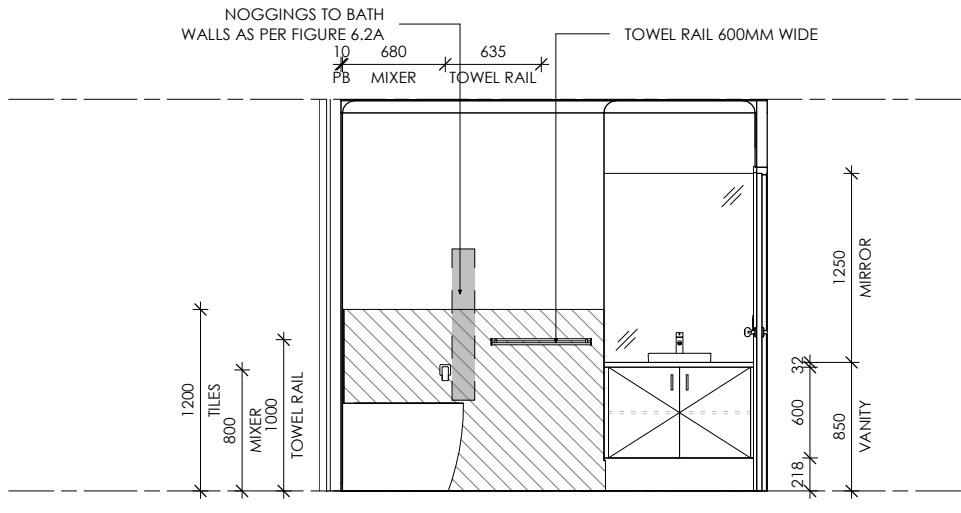
B3
1 : 50



B2
1 : 50



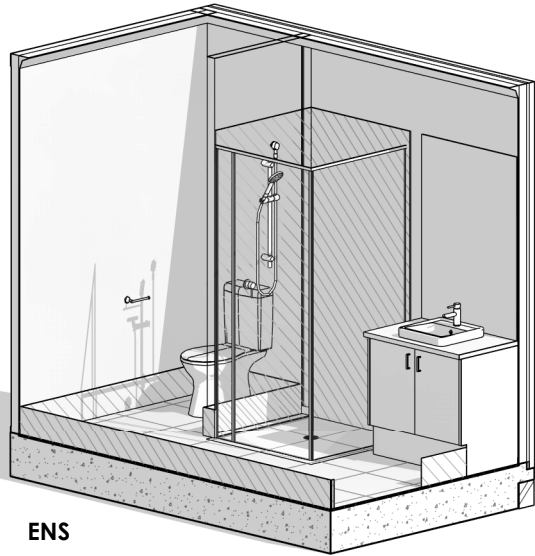
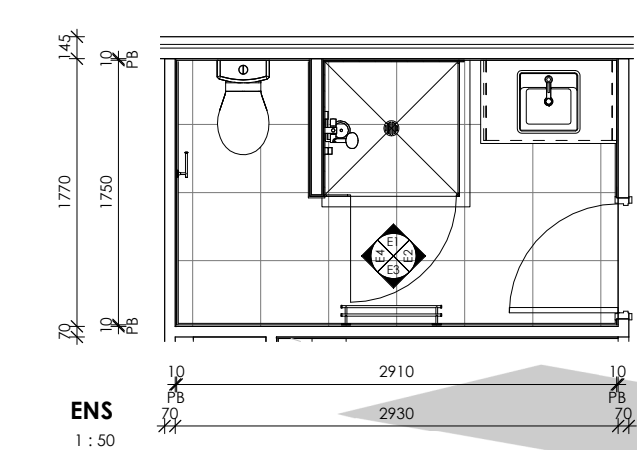
BATH



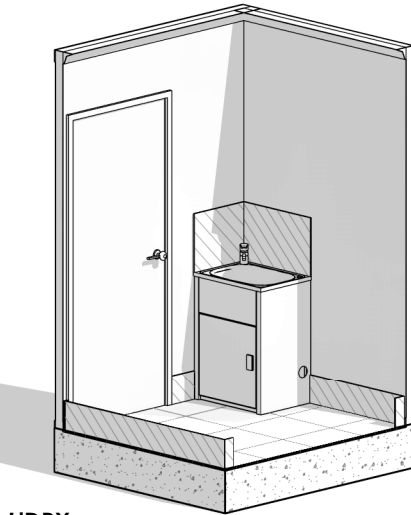
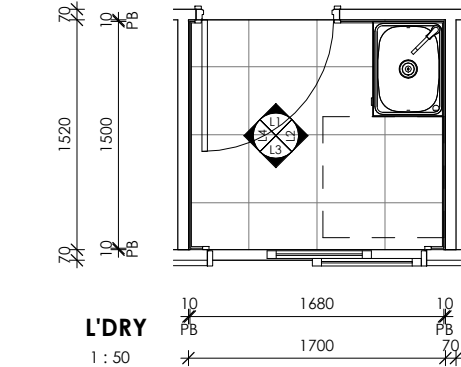
B4
1 : 50

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5/6/2026 10:03:56 AM



ENS



L'DRY

KEYNOTE LEGEND

GENERAL NOTES:

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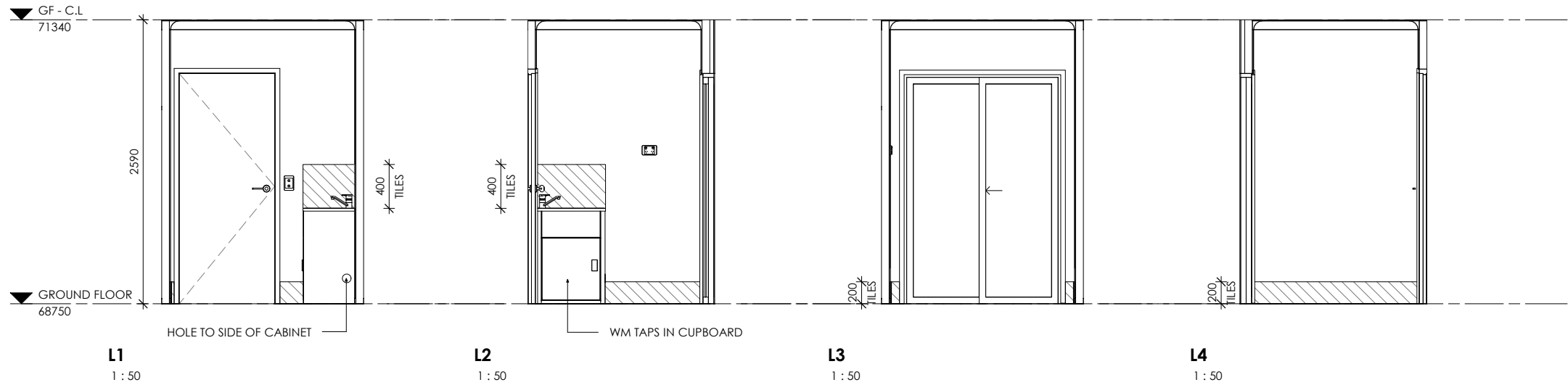
SHOWER FLOOR BEDDING MIN 1:80, MAX 1:50 FALL TO WASTE.

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L1

L2

L3

L4

N3

H1

Revision Description

A	STAGE 2 - WORKING DRAWINGS
B	FACADE FINISHES & BIN STORE UPDATED
C	WIND RATING UPDATE
D	JOB NUMBER AND CLIENT UPDATE
E	ENERGY REQUIREMENTS

Date

24.02.2026	LR
05.03.2026	LR
16.03.2026	PM
22.04.2026	PM
06.05.2026	PM

By

LR
LR
PM
PM
PM



LVL 1, 393 MACARTHUR AVENUE, HAMILTON QLD 4007
QBCC : 1272561

WWW.CREATIONHOMES.COM.AU

PHONE: (07) 3250 8300

CLIENT SIGNATURE : _____

DATE : _____

? CLIENT SIGNATURE : _____

DATE : _____

CLIENT NAME:

LORD AGILLON PANOPIO &
CRISTINE JOY DIMALIBOT PANOPIO

SHEET:

INTERNALS - ENSUITE & L'DRY

DESIGN:

TEVIOT 152 - FACADE 5

SHEET NO:

12.2

ESTATE:

SERENITY

RP / SP PLAN:

SP312657

COUNCIL/SHIRE:

LOGAN CITY COUNCIL

PROJECT STAGE:

WORKING DRAWINGS

DRAWN BY:

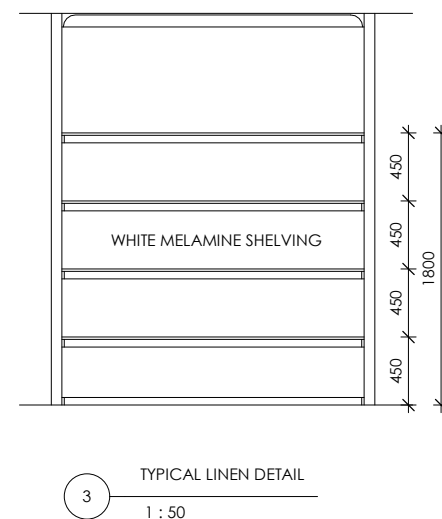
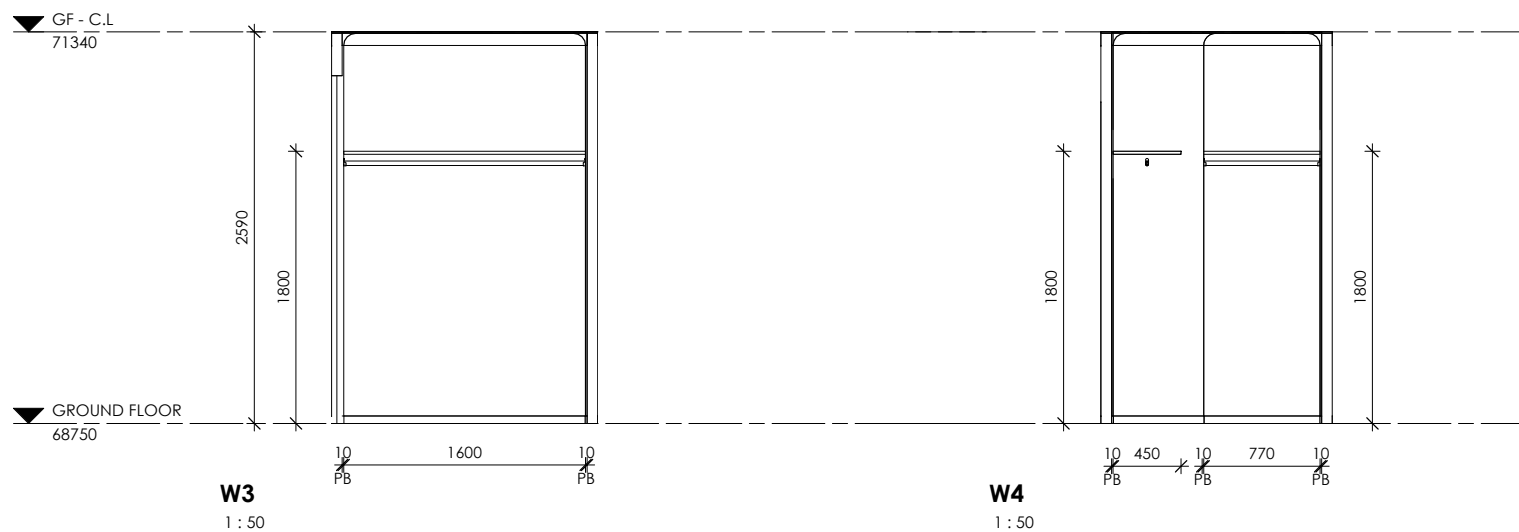
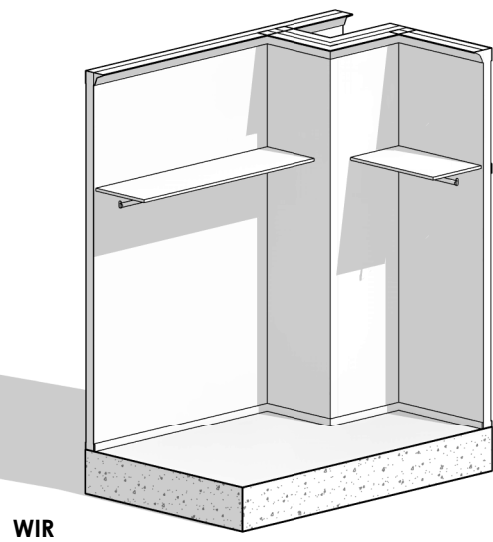
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DATE:

24.02.2026

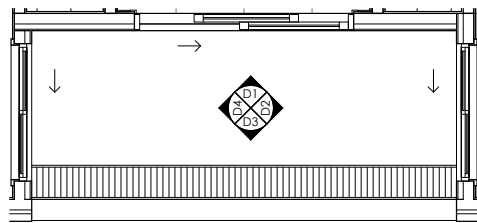
PROJECT No:

403569

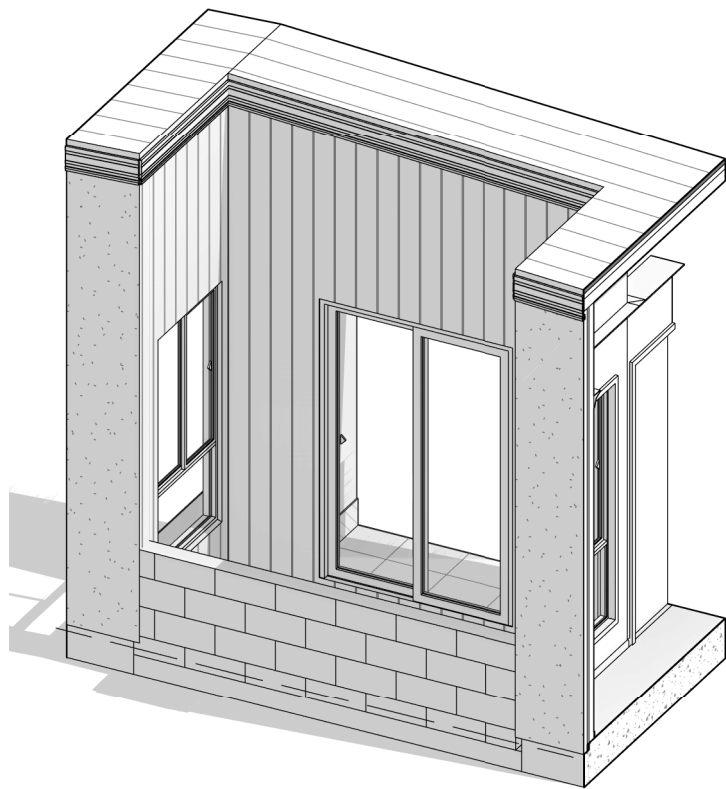


WIND RATING :	N3	<u>Revision</u> <u>Description</u>	<u>Date</u>	<u>By</u>	 LVL 1, 393 MACARTHUR AVENUE, HAMILTON QLD 4007 QBCC : 1272561 WWW.CREATIONHOMES.COM.AU PHONE: (07) 3250 8300	CLIENT SIGNATURE : _____	DATE : _____	CLIENT SIGNATURE : _____	DATE : _____
SOIL TYPE :	H1	A STAGE 2 - WORKING DRAWINGS	24.02.2026	LR		LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO	SHEET: _____	INTERNALS - WIR _____	
		B FACADE FINISHES & BIN STORE UPDATED	05.03.2026	LR		TEVIOT 152 - FACADE 5	SHEET NO: _____	12.3 _____	
		C WIND RATING UPDATE	16.03.2026	PM		DESIGN: _____	PROJECT ADDRESS: _____	LOT 27 KOBEE STREET GREENBANK, QLD 4124	
		D JOB NUMBER AND CLIENT UPDATE	22.04.2026	PM		ESTATE: SERENITY	RP / SP PLAN: _____	SP312657	
		E ENERGY REQUIREMENTS	06.05.2026	PM		COUNCIL/SHIRE: LOGAN CITY COUNCIL	PROJECT STAGE: _____	WORKING DRAWINGS	
					DRAWN BY: PM DATE: 24.02.2026	PROJECT No: 40356			

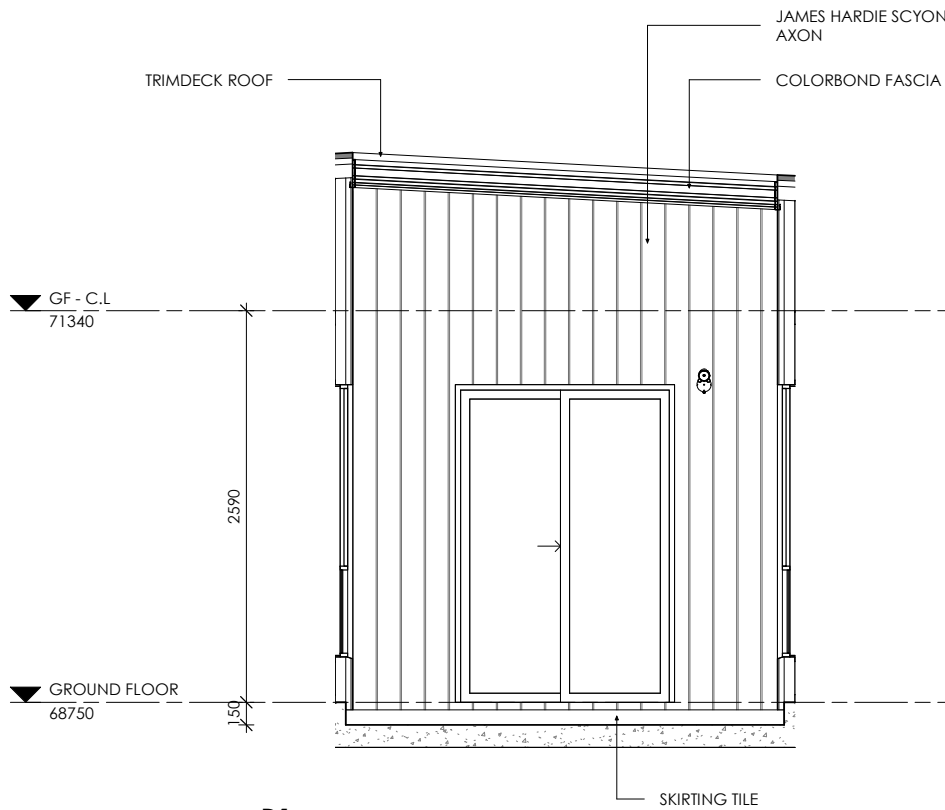
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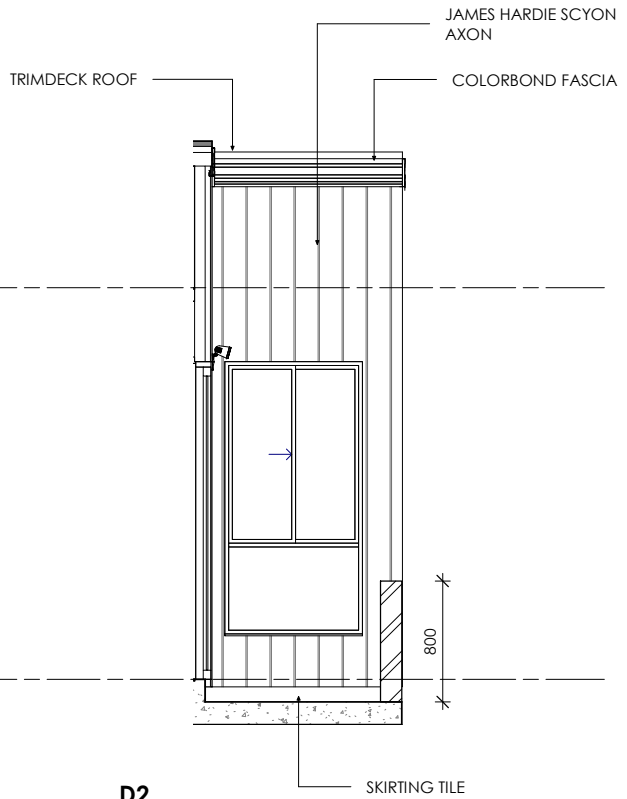
DRYING COURT
1 : 50



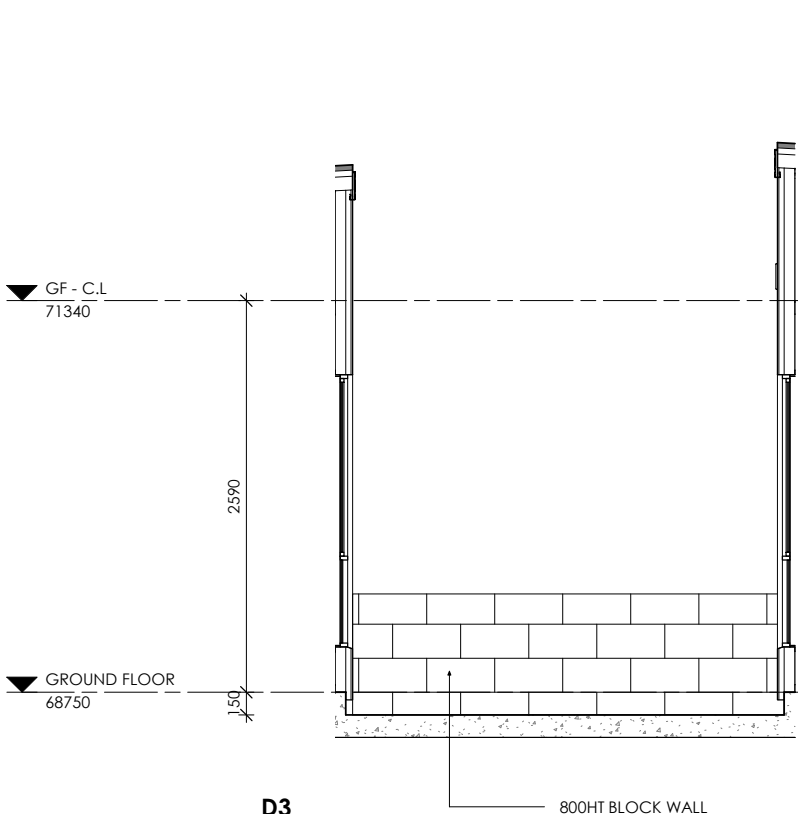
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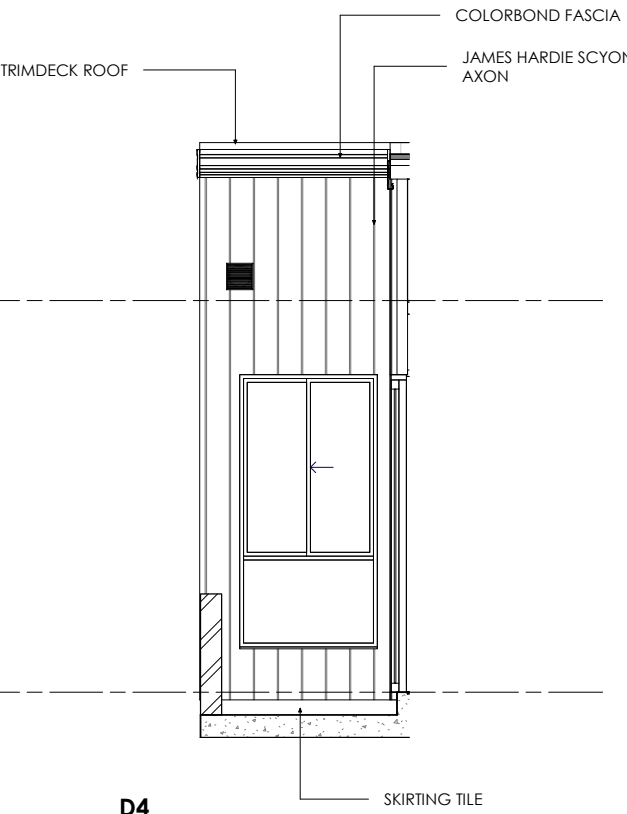
D1
1 : 50



D2
1 : 50



D3
1 : 50



D4
1 : 50

WIND RATING :
SOIL TYPE :

Revision	Description
N3	
H1	
A	STAGE 2 - WORKING DRAWINGS
B	FACADE FINISHES & BIN STORE UPDATED
C	WIND RATING UPDATE
D	JOB NUMBER AND CLIENT UPDATE
E	ENERGY REQUIREMENTS

Date	By
24.02.2026	LR
05.03.2026	LR
16.03.2026	PM
22.04.2026	PM
06.05.2026	PM



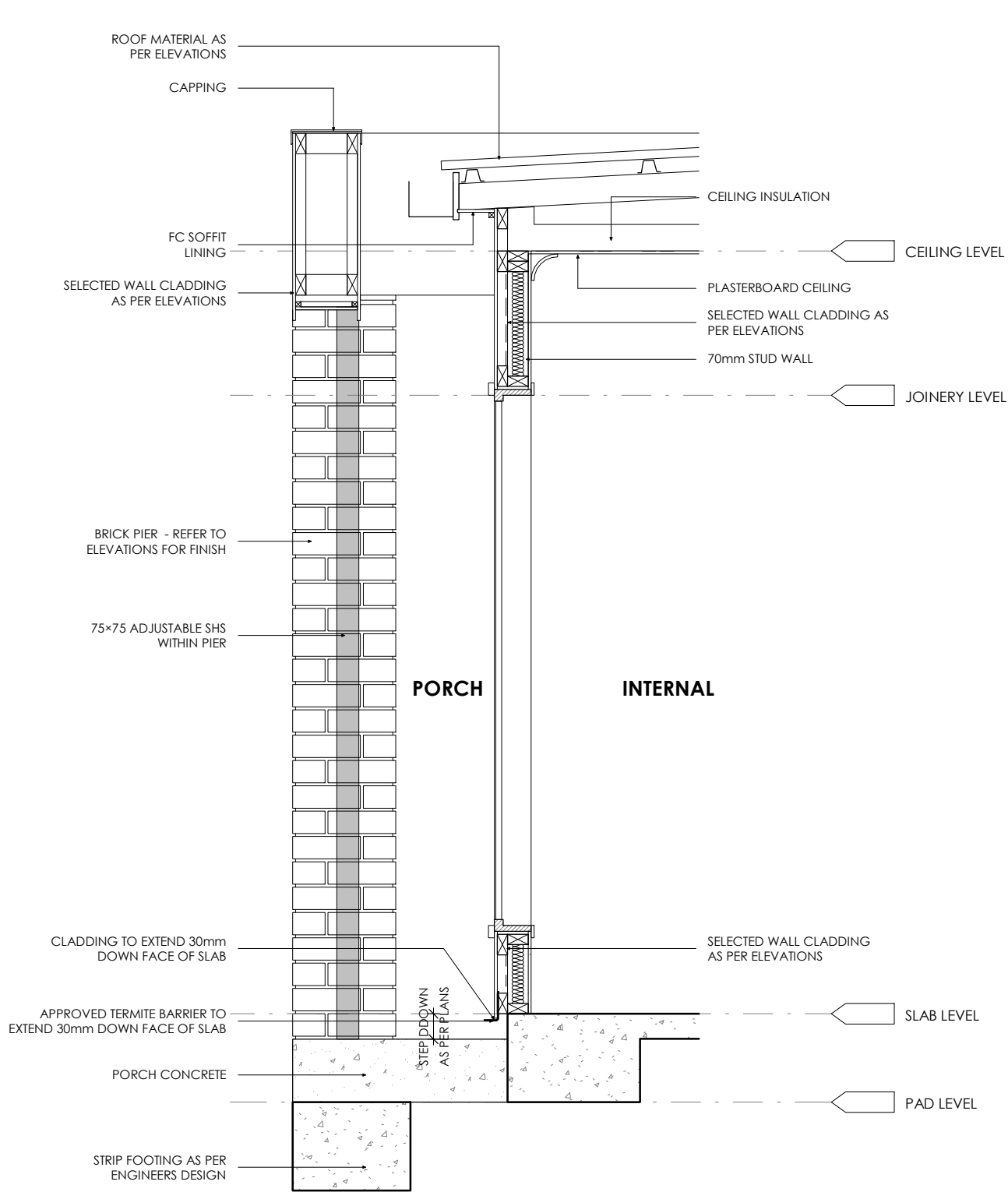
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CLIENT NAME:	LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO	SHEET:	INTERNALS - DRYING COURT
DESIGN:	TEVIOT 152 - FACADE 5	SHEET NO:	12.4
ESTATE:	SERENITY	PROJECT ADDRESS:	LOT 27 KOBEE STREET GREENBANK, QLD 4124
COUNCIL/SHIRE:	LOGAN CITY COUNCIL	RP / SP PLAN:	SP312657
DRAWN BY:	PM	PROJECT STAGE:	WORKING DRAWINGS
DATE:	24.02.2026	PROJECT No:	403569

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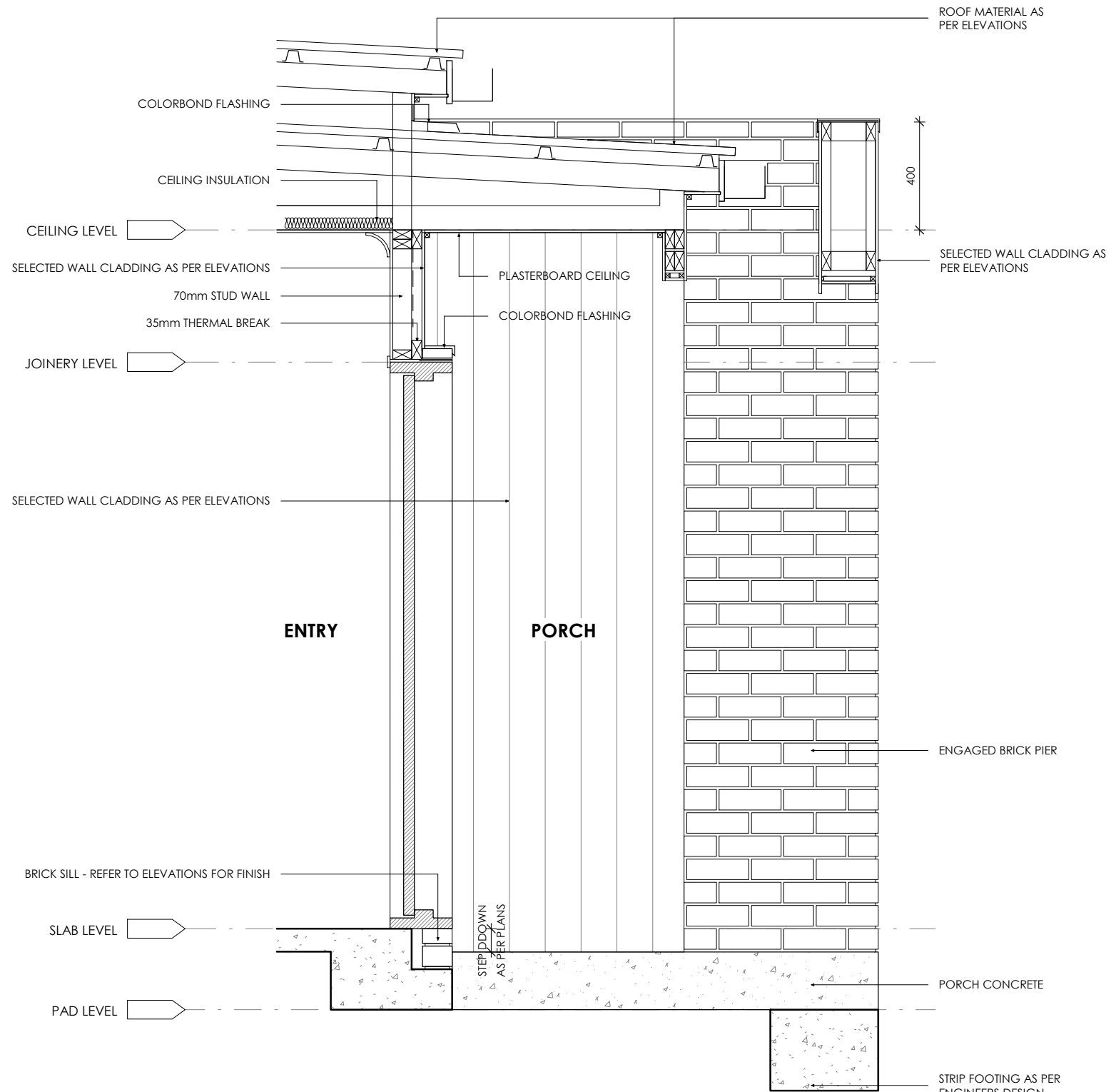


[Issue 1.0]

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4 FACADE SECTION FACADE - 5
1 : 20



6 PORCH SECTION FACADE - 5
1 : 20

0 1 2 3 4 5 m

WIND RATING :
SOIL TYPE :

N3
H1

Revision	Description
A	STAGE 2 - WORKING DRAWINGS
B	FACADE FINISHES & BIN STORE UPDATED
C	WIND RATING UPDATE
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Date	By
24.02.2026	LR
05.03.2026	LR
16.03.2026	PM
22.04.2026	PM
06.05.2026	PM



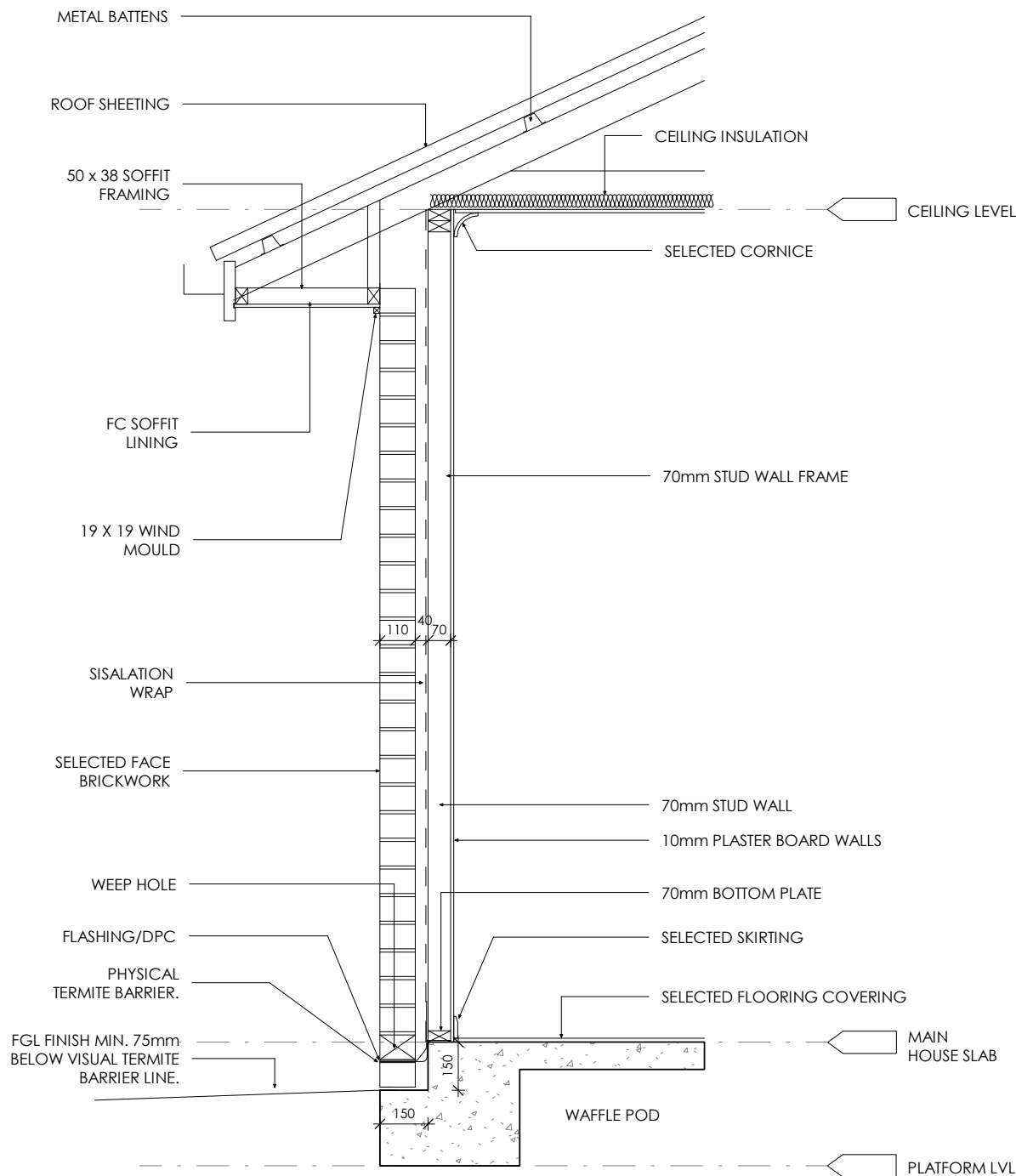
LVL 1, 393 MACARTHUR AVENUE, HAMILTON QLD 4007
QBCC : 1272561
WWW.CREATIONHOMES.COM.AU PHONE: (07) 3250 8300

CLIENT SIGNATURE : _____ DATE : _____
CLIENT NAME: LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO
DESIGN: TEVIOT 152 - FACADE 5
ESTATE: SERENITY
COUNCIL/SHIRE: LOGAN CITY COUNCIL
DRAWN BY: PM DATE: 24.02.2026

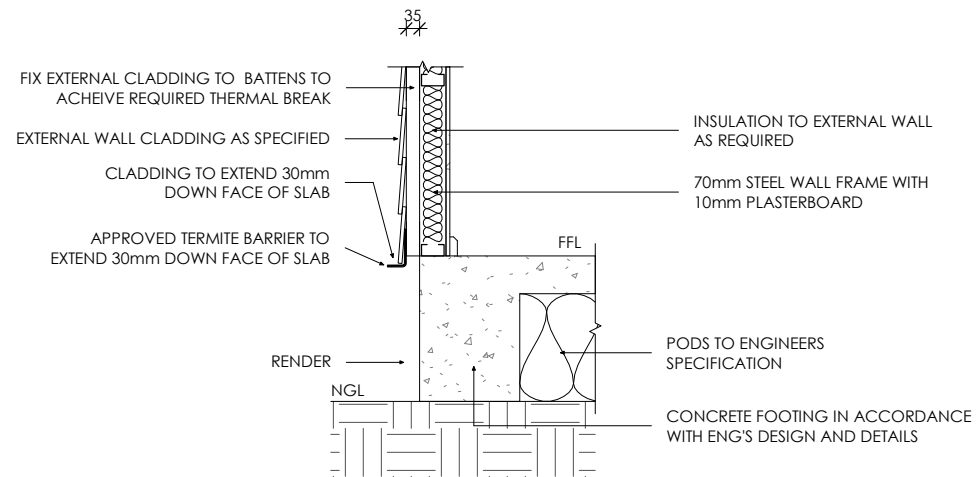
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SHEET: DETAILS - FACADE 13.0
SHEET NO: 13.0
PROJECT ADDRESS: LOT 27 KOBEE STREET GREENBANK, QLD 4124
RP / SP PLAN: SP312657
PROJECT STAGE: WORKING DRAWINGS
PROJECT No: 403569

E

D:\WORK\METRO PROPERTY DEVELOPMENT PTY LTD\Creation Homes Qld - Retail Design - Masters\Wholesale\Production\GREENBANK\SERENITY ESTATE\#403541 Lot 27 Kobee Street, GREENBANK - TERRACE\DRAWINGS\#403569 Lot 27 Kobee Street, GREENBANK - TERRACE - RevE.rvt



1
TYPICAL BRICK WALL SECTION
1 : 20



2
TYPICAL LIGHTWEIGHT WALL SECTION SF
1 : 20

WIND RATING :
SOIL TYPE :

Revision	Description
A	STAGE 2 - WORKING DRAWINGS
B	FACADE FINISHES & BIN STORE UPDATED
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D	JOB NUMBER AND CLIENT UPDATE
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Date	By
24.02.2026	LR
05.03.2026	LR
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22.04.2026	PM
06.05.2026	PM



**creation
homes**

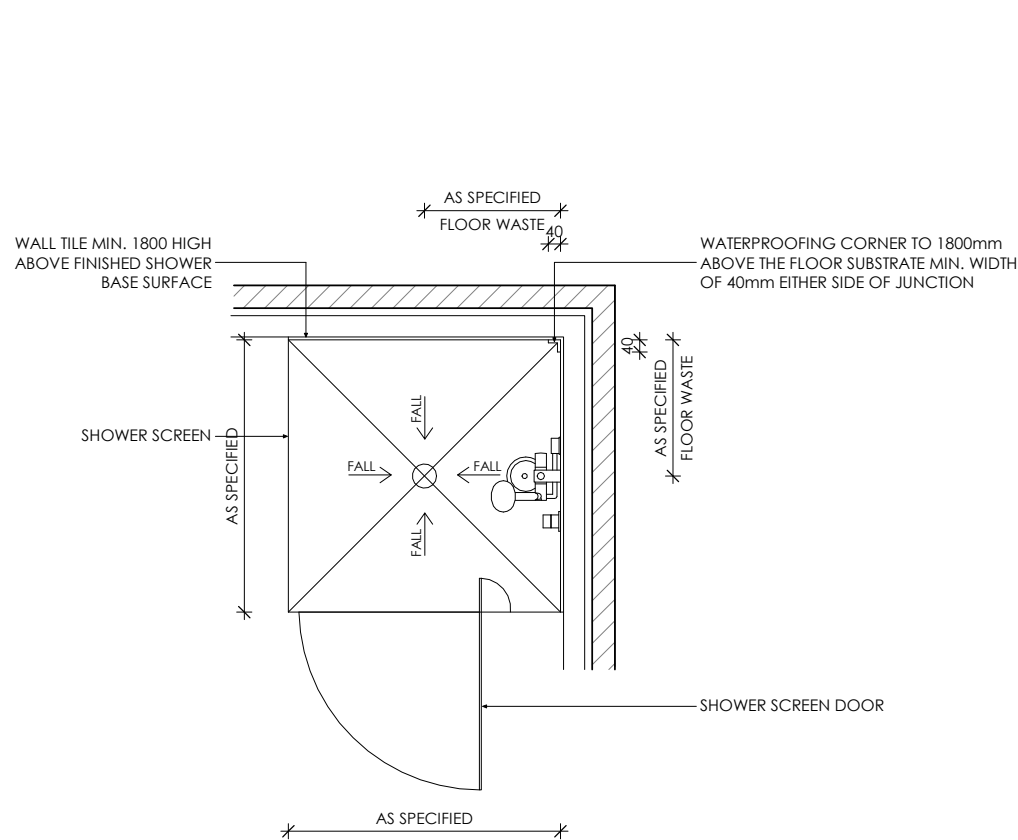
4/5 GARDNER CLOSE, MILTON, QLD, 4064
QBCC : 1272561

WWW.CREATIONHOMES.COM.AU PHONE: (07) 3250 8300

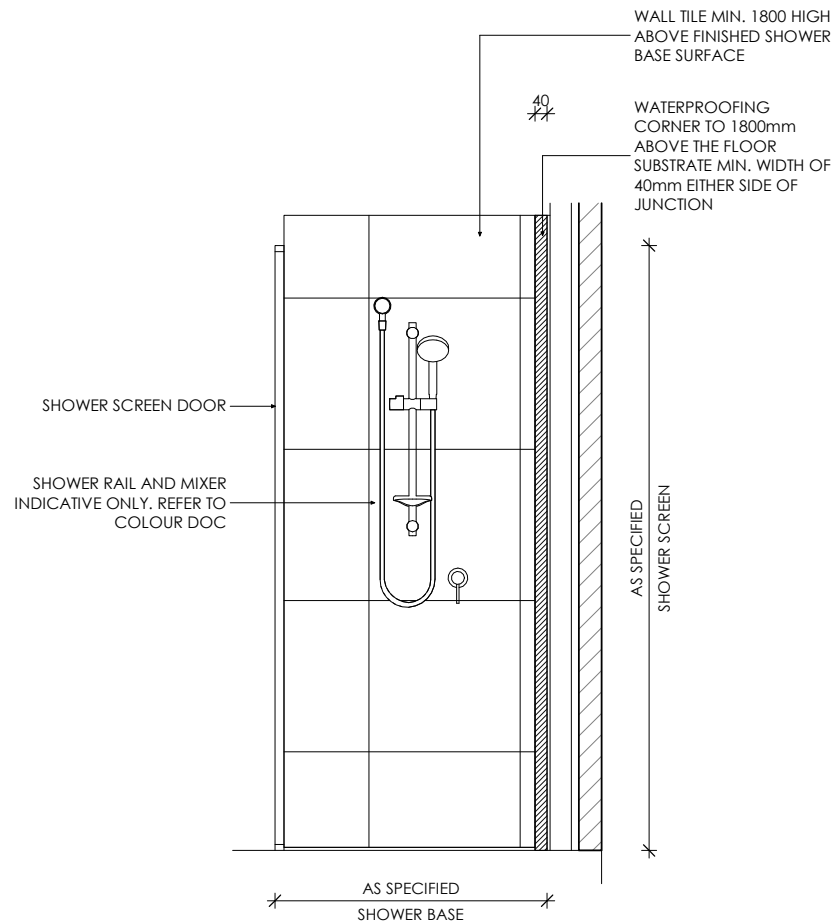
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CLIENT NAME: **LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO**
DESIGN: **TEVIOT 152 - FACADE 5**
ESTATE: **SERENITY**
COUNCIL/SHIRE: **LOGAN CITY COUNCIL**
DRAWN BY: **PM** DATE: **24.02.2026**

CLIENT SIGNATURE : _____ DATE : _____
SHEET: **DETAILS 13.1**
SHEET NO:
PROJECT ADDRESS: **LOT 27 KOBEE STREET GREENBANK, QLD 4124**
PROJECT STAGE: **WORKING DRAWINGS**
PROJECT No: **403569**

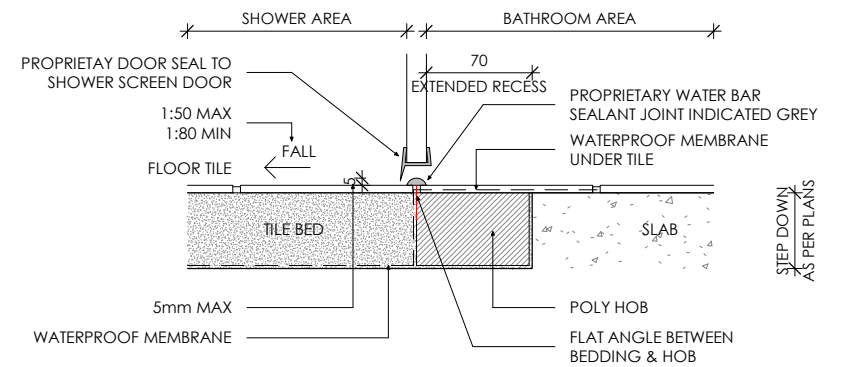
E



1 WET AREA - SHOWER FLOOR PLAN AS PER NCC 2022 10.2
1 : 25



2 WET AREA - SHOWER SECTION AS PER NCC 2022 10.2
1 : 25



3 WET AREA - STEP FREE SHOWER
1 : 5

WIND RATING :
SOIL TYPE :

Revison	Description
A	STAGE 2 - WORKING DRAWINGS
B	FACADE FINISHES & BIN STORE UPDATED
C	WIND RATING UPDATE
D	JOB NUMBER AND CLIENT UPDATE
E	ENERGY REQUIREMENTS

Date	By
24.02.2026	LR
05.03.2026	LR
16.03.2026	PM
22.04.2026	PM
06.05.2026	PM



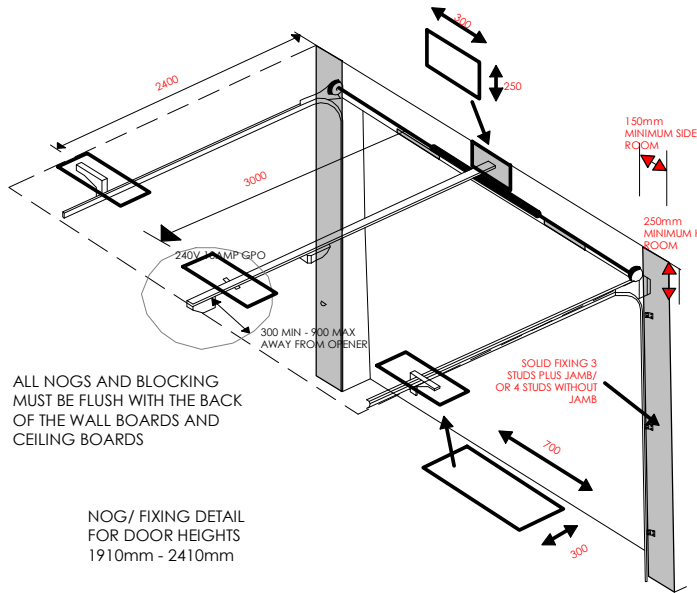
**creation
homes**

4/5 GARDNER CLOSE, MILTON, QLD, 4064
QBCC : 1272561

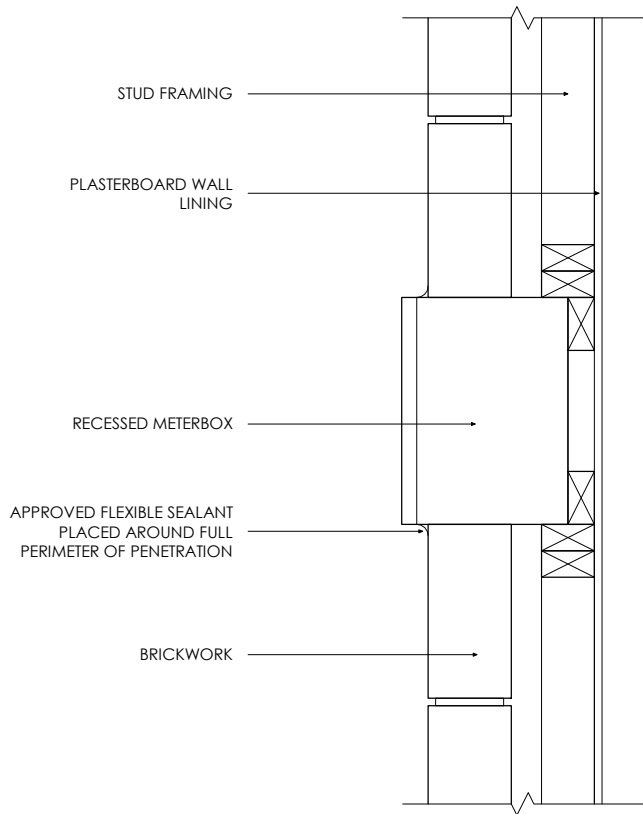
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CLIENT SIGNATURE : _____	DATE : _____	CLIENT SIGNATURE : _____	DATE : _____
CLIENT NAME: LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO		SHEET: DETAILS	
DESIGN: TEVIOT 152 - FACADE 5		SHEET NO: 13.2	
ESTATE: SERENITY		PROJECT ADDRESS: LOT 27 KOBEE STREET GREENBANK, QLD 4124	
COUNCIL/SHIRE: LOGAN CITY COUNCIL		PROJECT STAGE: WORKING DRAWINGS	
DRAWN BY: PM	DATE: 24.02.2026	PROJECT No: 403569	

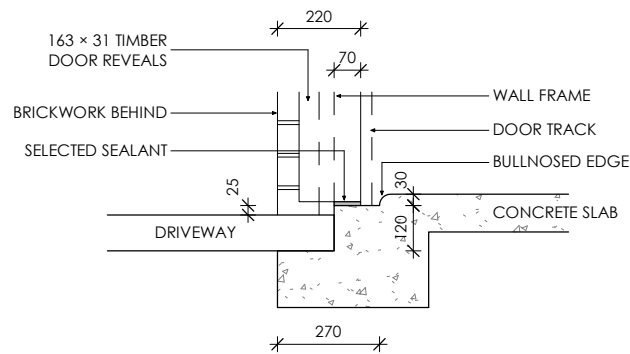
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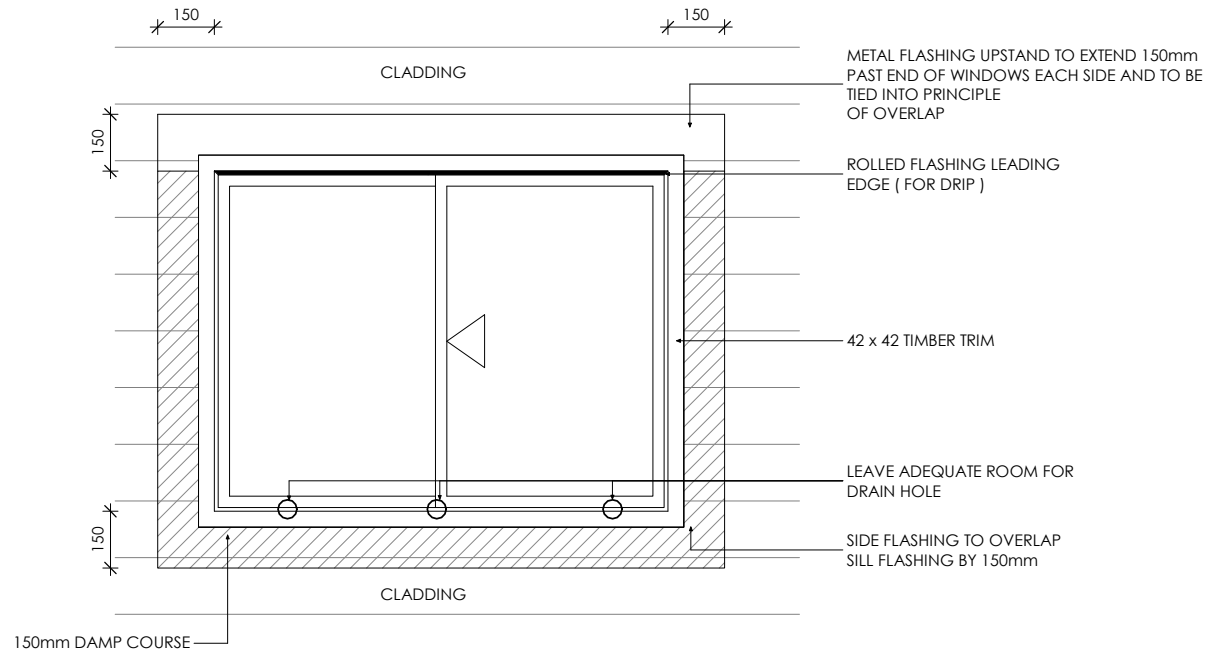
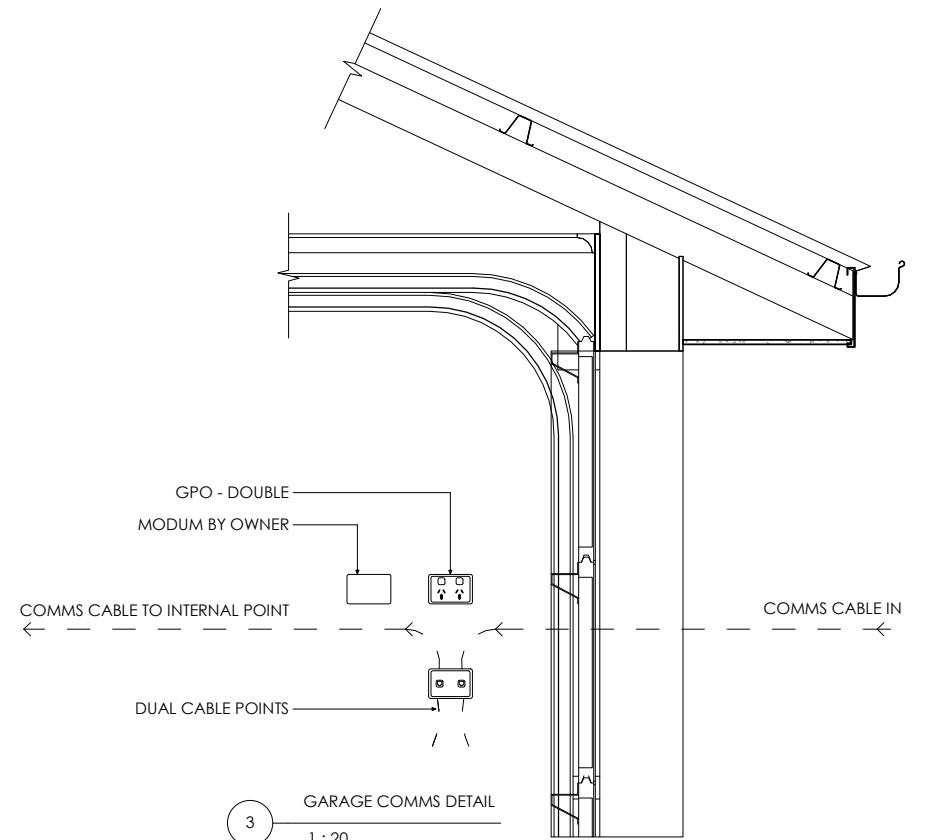
1 GARAGE DOOR HEIGHT DETAIL
1 : 20



4 METERBOX RECESSED - BRICK VENEER
1 : 10



2 TIMBER GARAGE DOOR REBATE - BRICK WALL
1 : 20



5 TYPICAL WINDOW FLASHING DETAIL
1 : 20

WIND RATING :
SOIL TYPE :

N3
H1

Revision	Description
A	STAGE 2 - WORKING DRAWINGS
B	FACADE FINISHES & BIN STORE UPDATED
C	WIND RATING UPDATE
D	JOB NUMBER AND CLIENT UPDATE
E	ENERGY REQUIREMENTS

Date	By
24.02.2026	LR
05.03.2026	LR
16.03.2026	PM
22.04.2026	PM
06.05.2026	PM



LVL 1, 393 MACARTHUR AVENUE, HAMILTON QLD 4007
QBCC : 1272561

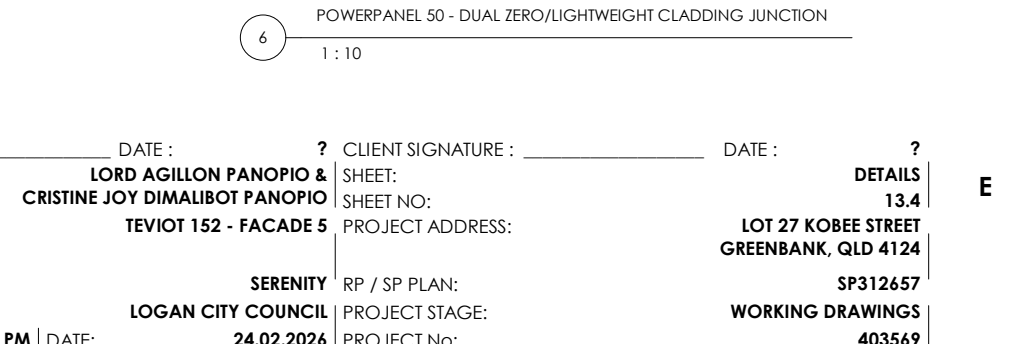
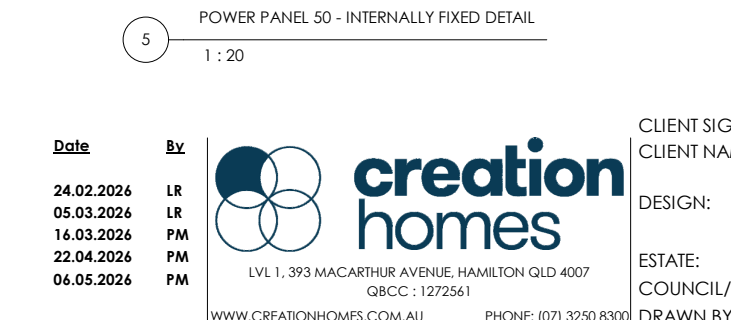
WWW.CREATIONHOMES.COM.AU PHONE: (07) 3250 8300

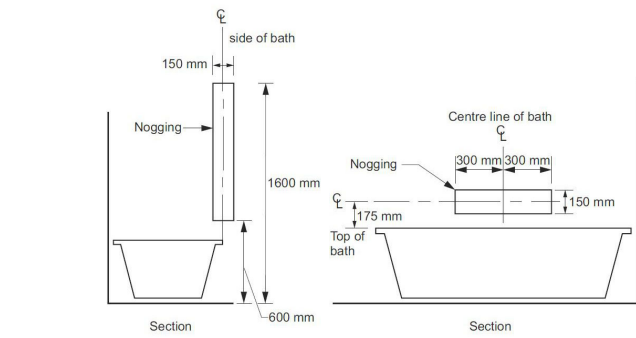
creation
homes

CLIENT SIGNATURE : _____ DATE : _____
CLIENT NAME: LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO
DESIGN: TEVIOT 152 - FACADE 5
ESTATE: SERENITY
COUNCIL/SHIRE: LOGAN CITY COUNCIL
DRAWN BY: PM DATE: 24.02.2026

CLIENT SIGNATURE : _____ DATE : _____
SHEET: DETAILS
SHEET NO: 13.3
PROJECT ADDRESS: LOT 27 KOBEE STREET GREENBANK, QLD 4124
RP / SP PLAN: SP312657
PROJECT STAGE: WORKING DRAWINGS
PROJECT No: 403569

E





2

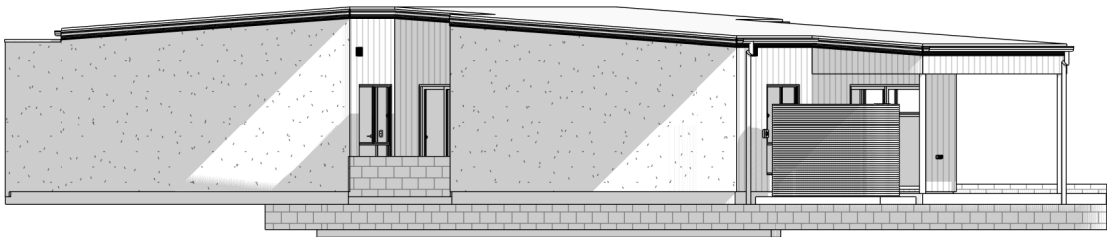
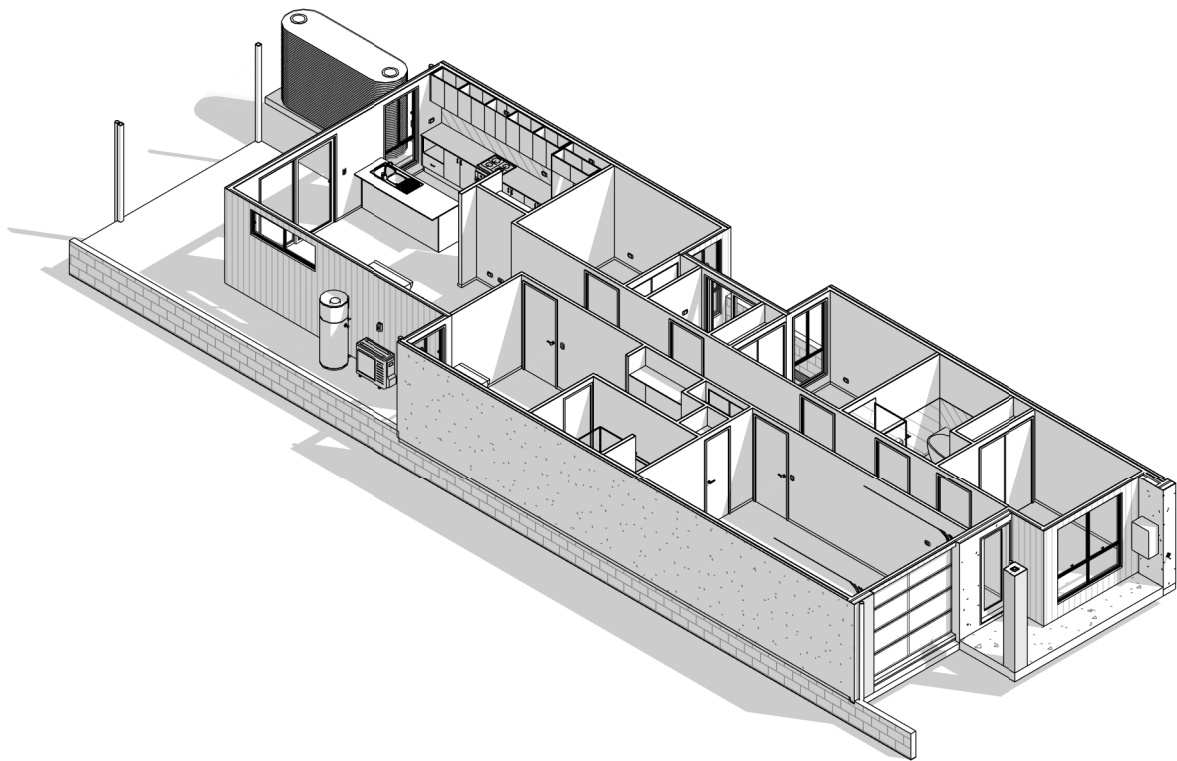
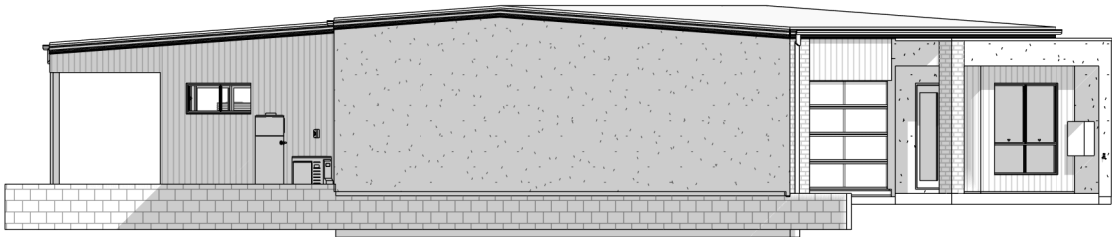


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PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV-2026-FLA-4957

Date: 24 July 2026



WIND RATING :
SOIL TYPE :

N3
H1

Revision	Description
A	STAGE 2 - WORKING DRAWINGS
B	FACADE FINISHES & BIN STORE UPDATED
C	WIND RATING UPDATE
D	JOB NUMBER AND CLIENT UPDATE
E	ENERGY REQUIREMENTS

Date	By
24.02.2026	LR
05.03.2026	LR
16.03.2026	PM
22.04.2026	PM
06.05.2026	PM



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homes**

LVL 1, 393 MACARTHUR AVENUE, HAMILTON QLD 4007
QBCC : 1272561

WWW.CREATIONHOMES.COM.AU PHONE: (07) 3250 8300

CLIENT SIGNATURE : _____	DATE : _____	CLIENT SIGNATURE : _____	DATE : _____
CLIENT NAME:	LORD AGILLON PANOPIO & CRISTINE JOY DIMALIBOT PANOPIO	SHEET:	3D VIEWS
DESIGN:	TEVIOT 152 - FACADE 5	SHEET NO:	15.0
ESTATE:	SERENITY	PROJECT ADDRESS:	LOT 27 KOBEE STREET GREENBANK, QLD 4124
COUNCIL/SHIRE:	LOGAN CITY COUNCIL	RP / SP PLAN:	SP312657
DRAWN BY:	PM	PROJECT STAGE:	WORKING DRAWINGS
DATE:	24.02.2026	PROJECT No:	403569

E