
TOWN PLANNING REPORT

Aura Precinct 4 Stage 22A (Proposed Lot 10) Proposed Material Change of Use, Reconfiguring a Lot and Operational Works PDA Development Application to EDQ

**On behalf of Joy ELC Holdings Pty Limited ATF Joy ELC Holdings
Unit Trust**



7th July 2026

Evolve Planning

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Application Summary

Site Details	
Site Address/ Property Description	Proposed Lot 10 (part of Lot 345 SP357716)
Site Area	7,731m ²
Priority Development Area	Caloundra South (Aura)
Precinct	Precinct 4
Land Owner	Stockland Development Pty Ltd
Planning Framework	
Development Scheme	Caloundra South PDA Development Scheme, October 2011
Approved Master Plan	Caloundra South Master Plan, approved 20 November 2018 (EDQ Approval reference DEV2011/200)
Approved Plan of Development Reference	Aura Business Park Stage 22A Plan of Development (EDQ Reference DEV2024/1552)
Proposal Details	
Proposed Use	Material Change of Use for: • Child Care Centre • Health Care Services • Shop • Food Premises • Business • Indoor Sport & Recreation Reconfiguring a Lot – 1 into 3 Lots with Parking and Access Easements Operational Works – Advertising Devices
Application type	PDA Development Application for Development Permit

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1 Introduction

Evolve Planning has been engaged by Joy ELC Holdings Pty Limited ATF Joy ELC Holdings Unit Trust to prepare and submit a Priority Development Area (PDA) Development Application for a Development Permit for a Material Change of Use, Reconfiguring a Lot and Operational Works to the Minister for Economic Development Queensland (MEDQ). The application seeks approval for a mixed use complex comprising a Child Care Centre, Medical Centre, Shop, Food Premises, Business and Indoor Sport & Recreation, along with a 1 into 3 Lot Reconfiguration, within Precinct 4 at Aura.

The application is lodged over proposed Lot 10, which sits within part of Balance Lot 345 on SP357716.

This report includes a description of the subject site, an overview of the proposed development, summary of the technical issues relating to the proposed development and detailed commentary on the statutory planning framework and requirements that apply to the proposed development.

This report is to be read in conjunction with the following Attachments, which form the PDA Development Application:

Attachment 1 - Architectural Plans (Project 2955-437), prepared by Reddog Architects, 1st July 2026

- *Drawing DA-01 A* *Site Plan*
- *Drawing DA-02 A* *Floor Plan*
- *Drawing DA-03 A* *Roof Plan*
- *Drawing DA-04 A* *ROL Plan*
- *Drawing DA-05 A* *Elevations & Site Sections – Sheet 1*
- *Drawing DA-06 A* *Elevations & Site Sections – Sheet 2*
- *Drawings DA07 A to DA13 A* *3D Views 1-7*
- *Drawing DA-14 A* *Signage*

Attachment 2 – Child Care Architectural Plans (Project No 1149-49), prepared by Elevation Architecture, dated 30th June 2026:

- *A-DA-00.01 Rev B – Titlepage*
- *A-DA-01.01 Rev B – Proposed Site Plan*
- *A-DA-03.01 Rev B – Floor Plan – Ground*
- *A-DA-03.02 Rev B – Floor Plan – First*
- *A-DA-04.01 Rev B – Roof Plan*
- *A-DA-09.01 to 09.03 Rev B – Elevations (Sheets 1-3)*
- *A-DA-10.01 Rev B – Sections*
- *A-DA-22.01 to 22.02 Rev B – Renders (Sheets 1-2)*

Attachment 3 - Landscape Concept Plan, prepared by Laudink (Ref 2603-008 Rev B), SK001, SK002, SK003, SK0010 and SK011, dated June 2026

Attachment 4 – Transport Impact Assessment, prepared by Ratio consultants, (Ref 24474T) Version F01 dated 2 July 2026

Attachment 5 – Site Based Stormwater Management Plan, prepared by Cozens Regan Group (Ref 260184 Rev B) dated 2nd July 2026

Attachment 6 – Engineering Services Report, prepared by Cozens Regan Group (Ref 260185 Rev B), dated 2nd July 2026

Attachment 7 - Waste Management Plan, prepared by Ratio Consultants (Ref 24474W-R01F01), dated 6 July 2026

Attachment 8 - Noise Assessment - Proposed Childcare Centre - Lot 10 Baringa Village, prepared by MWA Environmental, dated 3 July 2026.

The proposal does not strictly meet all of the higher order Plan of Development (PoD) controls to enable the proposal to be considered under the Compliance Assessment process, namely the Child Are Centre Use, and the quantum of on-site parking spaces. As a result, a Material Change of Use application is required to be submitted for this proposal, with supporting justifications and technical reports submitted to justify the departure from the PoD.

The application is therefore recommended to be approved by MEDQ and a Development Permit issued.

2 Location and Site Description

The application site has an area of 7,731m² and is located within Precinct 4 in Aura. The site is currently vacant land and forms part of the Aura Business Park known as Baringa Business Village. The roads and servicing network providing access to the site is currently under construction and is due to be completed in mid-late 2026 allowing construction of this development to commence shortly thereafter.



Figure 1: Aerial Photograph of the site April 2026 (Source: Nearmap)

The site comprises proposed Lot 10 which has been approved by EDQ under PDA Development Approval DEV2024/1552. It is located in the centre of what is known as Stage 22A, which is proposed to be a primarily office-based Business Village. Refer **Figure 2** Below.

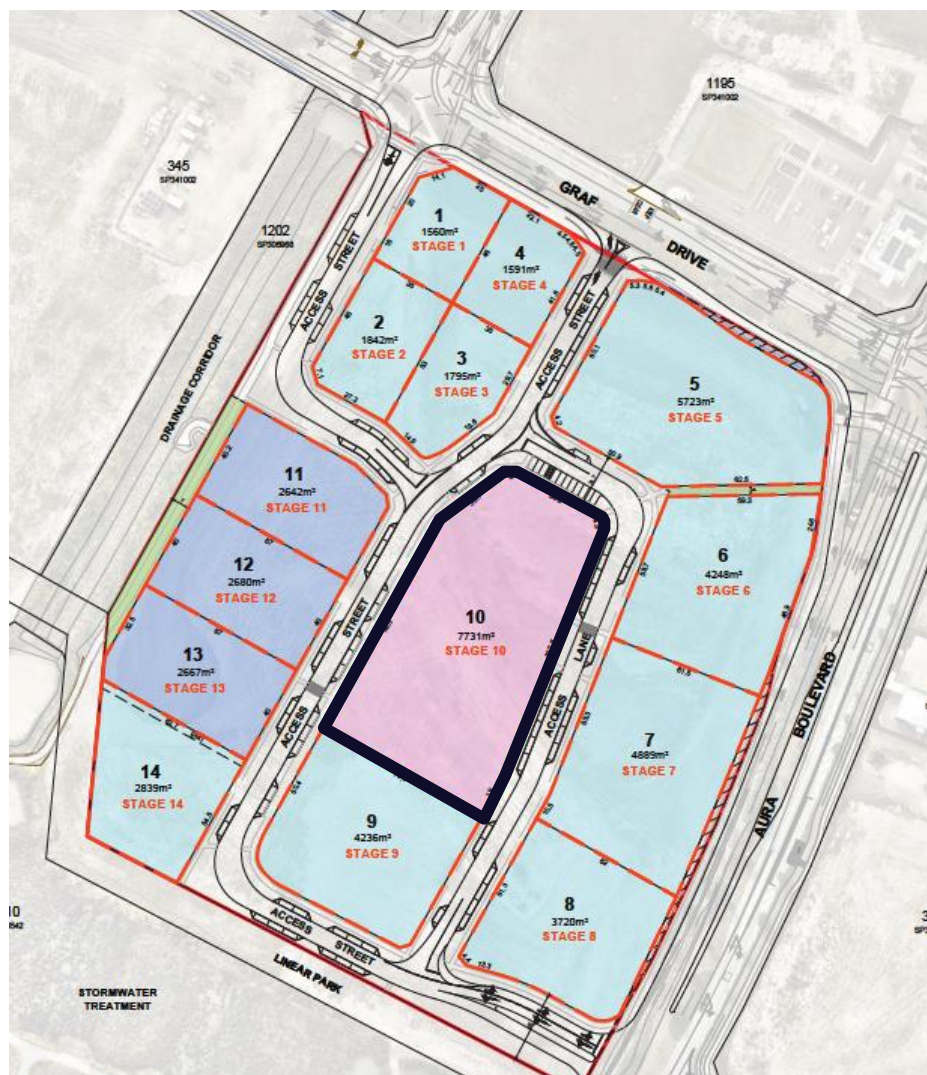


Figure 2: Location of Lot 10 within the approved Stage 22A (Source: RPS)

Civil construction is currently underway on the two northern connection roads (connecting to Graf Drive) along with the internal roads down the southern edge of Lot 10 on both sides. Construction of these roads will be complete around Sept/Oct 2026 enabling full access to the site. Lot 10 is the first lot within this Stage to be sold and developed, and comprises the “Village Heart”.

The site has 3 road frontages, the western being to a future 20m wide Commercial Access Street, and the northern and eastern being to an 18.6m wide Commercial Access Lane, all of which are under construction.

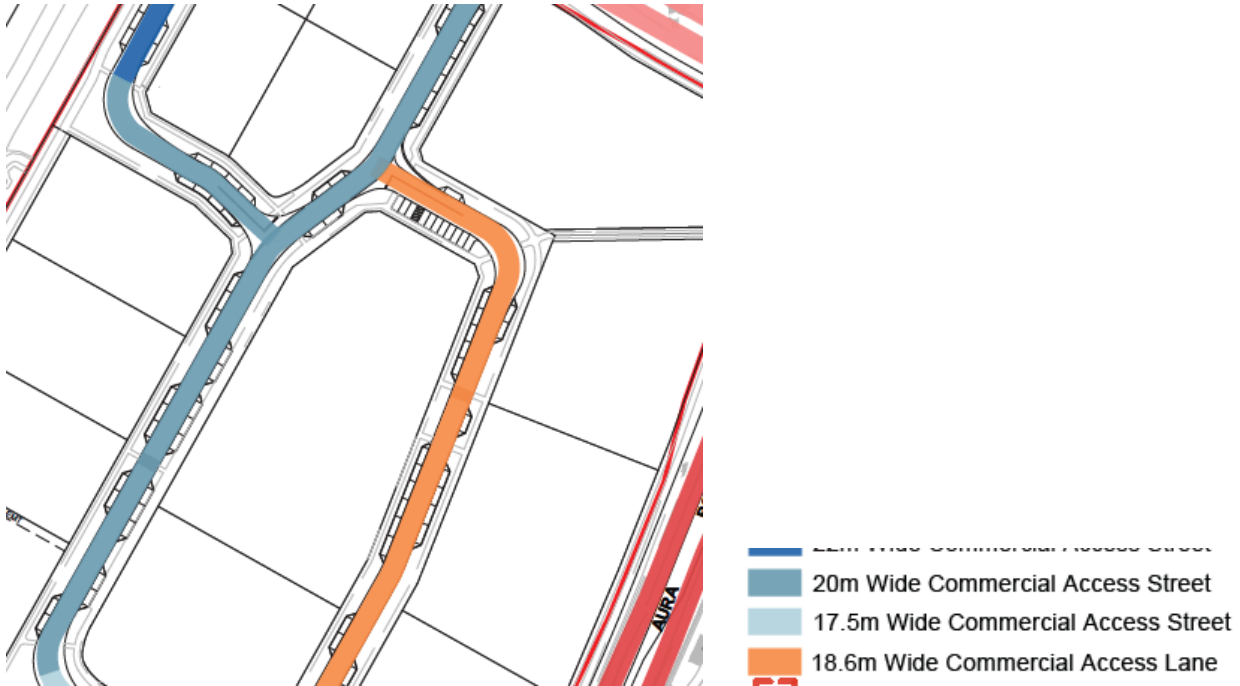


Figure 3: Street network (Source: RPS)

All lead-in infrastructure providing the site with road access, water, sewer, electrical and telecommunication services are currently under construction, ensuring the site is fully serviced, and the Lot Plan Sealed and Registered by around Sept/October 2026.

3 Prelodgement Feedback

Prelodgement Written Advice was provided by EDQ on 13th April 2026 (Ref: PRE-2026-CAS-4622). EDQ confirmed general support for the proposal and its design. In response to the advice, the applicant provides the following responses.

Carparking and Servicing

- EDQ advised that the shortfall in parking could be supported through a temporal analysis as part of the RPEQ Certified Traffic Impact Assessment which demonstrates that the peak traffic loads do not conflict between tenancies.

Response: This has been provided (refer **Attachment 4**)

- A Waste Management Plan will be required

Response: This has been provided (refer **Attachment 7**)

Land Use

- EDQ advised that the land uses are consistent with the land uses outlined in the Plan of Development for this particular precinct and EDQ can support these uses on Lot 10.

Park Interface

- It is noted that the submitted plans show an outdoor dining precinct on Tenancy 1 facing the park and both Tenancies 1 and 2 have glazing facing the park. This is generally supportive, but EDQ would also need to ensure there is accessibility from both tenancies adjoining the park to the park through doors and openings, i.e. creating activation.

Response: There are openings on both edges of these tenancies facing the park, as shown on the Architectural Plans included in **Attachment 1**.

ROL Component

- EDQ can support this ROL component for 1 into 3 lots.

Acoustic Report

- the childcare centre is located in an area surrounded by potential industrial uses. EDQ will need acoustic report to be submitted with the childcare centre application based on the 'highest' industrial use that can be accommodated under DEV2024/1552 to ensure amenity of the childcare centre can be maintained.
- Response: This has been provided (refer Attachment **8**)

4 Proposal

The proposal is for the establishment of a mixed use centre comprising the following uses:

- **Childcare Centre** for 111 places on proposed **Lot 1**
- **Medical Centre** on Proposed **Lot 2**
- Two buildings on Proposed **Lot 3**, that are intended to accommodate **Shops** and **Food Premises**, but with approval sought also for future possible changes of use to **Indoor Sport and Recreation** (possible yoga/pilates studio or small gym, swim school) and **Business Uses** (small Offices or co-working spaces).

The proposal is set out on two sets of Architectural plans that have been developed by two Architects in consultation. The Elevation Architect Plans (refer **Attachment 2**) cover the Child Care Centre building on proposed on Lot 1. The Reddog Architects Plans (in **Attachment 1**) cover the balance of the site including the shared car park and the Medical Centre and Commercial buildings proposed on proposed Lots 2 and 3.

Key Development Statistics

Parameter	Proposal
Site Area	7,731m ²
Gross Floor Area	Proposed Lot 1 - Child Care Centre – 1,008m ² Proposed Lot 2 – Medical Centre – 813.2m ² Proposed Lot 3 – Tenancy 1 and 2 – 827.5m ² Total = 2648.7m²
Site Cover	2648.7m m ² (34.26%)
Maximum Building Height	2 storey (max 7.841m)
Child Care Centre Capacity	Children: 111 Staff (Full time Equivalent): 15
Landscaped Area	Park on Proposed Lot 3 – 662.3m ² (8.5%) Perimeter Landscape – 439.2m ² (5.7%) Child Care Outdoor Play Area – 920m ² (12%) Total = 2021.5m² (26% of the site)
Car Parking, Motorcycle & Bicycle parking	81 on-site car parking spaces 3 Motorcycle Spaces 26 Bicycle parking spaces

Layout

Architectural Plans showing the proposal are included in **Attachments 1 and 2**. The design approach for the complex is such that the buildings are located generally towards the western and northern parts of the site, with the carparking in the centre and along the eastern edge of the site. A 'Village Green' area is located at the northern end, with Tenancies 1 and 2 (which may comprise more than one small tenancy each) opening up to this semi-public area. The 'Village Green' will remain in private ownership and will serve as an informal meeting hub for the surrounding workers once the balance of the buildings in the stage have been completed.

The child care building is located to the south of the site and has been designed to provide a building frontage to the western road, while accommodating the private play area in behind.

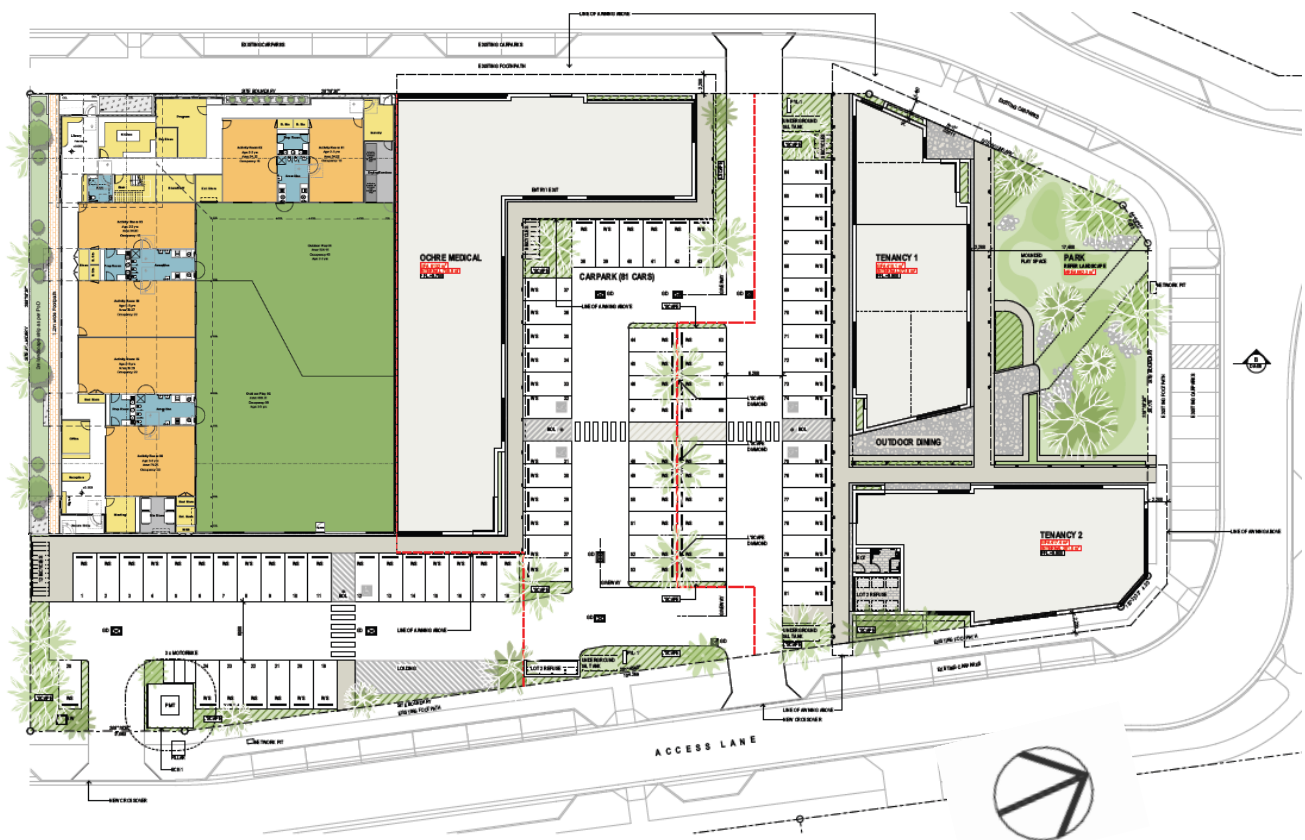


Figure 4: Combined Proposed Site Plan

Vehicle access to the site is off three driveways, two from the eastern laneway and one from the western street, providing access to 81 staff and visitor parking spaces, including 5 PWD spaces.

Building Design & Facades

The proposed buildings are predominantly single storey, with a small first floor area on the Child Care building to be used for a staff retreat area with storage room, toilet and balcony. The addition of the first floor brings about additional activity along the western façade and casual surveillance opportunities to the surrounding street and footpath.

Although designed by two separate Architects, the Child Care building and the balance of the Medical Centre and Commercial tenancies have taken into consideration each others designs to ensure there are some consistencies across the site. This includes building materials, lining up parapets and the inclusion of additional height for the Medical and Commercial tenancies to complement the first floor area on the Child Care building.

The buildings have been designed to provide significant glazing along all street frontages and also to the Park area on proposed Lot 3 where the buildings frame this area with glazing, openings and opportunities for covered outdoor dining for a future Food Premises tenant.

In terms of building materials, the Medical and Commercial Tenancies comprise a combination of rendered masonry walls, colourbond metal sheeting, timber-look batten screening, and surfmist metal sheeting on some of the high level walls and the roof. There are also some small areas of feature stone for the planters and entry points.

The Child Care Centre materials comprise a combination of rendered walls, fibre cement panels, face brick, weatherboard, planter boxes and perforated screening and colorbond roof sheeting.

The Medical Centre and Tenancies 1 and 2 contain 2.2m wide awnings around the majority of the building perimeter, covering all public footpaths in the road reserve where the building abuts the street, as well as covering internal paths that adjoin the tenancy edges. The Child Care building provides an awning along the south where a footpath leads to the building entry. Along each façade there is a varied built form, with projections, recesses and windows, along with a range of materials and colours.

The Childcare entrance is located along the eastern carpark edge, although parents and children arriving from the west are able to access the entrance via a 1.2m wide covered pedestrian footpath that runs along the southern edge of the site to the secure entry.

Landscaping

A Landscape Concept Design has been prepared by Laudink and is provided at **Attachment 3** to this report. The landscape approach includes periphery landscape treatments along the southern boundary and the eastern street frontages with native planting and feature elements. Larger shade feature trees are proposed within the carpark area.

The Park area at the northern edge of the site provides pedestrian connections from the public road (and the 90 degree on street parking) directly to the tenancies, while also enabling the park to be turfed for passive recreation, relaxation and social interaction. A number of large shade trees are proposed around the park with seating and timber benches underneath to provide flexible seating for a range of community uses. Small garden beds form the balance areas. There is also an opportunity for a mounded play scape area to encourage informal play, exploration and child-friendly activities. Refer **Figure 5** below.



Figure 5: Proposed Park layout (Source: Laudink)

Pedestrian Access

The proposal provides strong pedestrian connectivity across the site east-west via two paths, along the frontage of all buildings and also provides a strong connection to the north across the Village Heart park, and across the internal carpark via line marked pedestrian crossings.

Vehicle Access and Car Parking

There are three vehicle entries into the site – one from the Access Street to the west, and two from the Access Lane to the east. This is consistent with what was required in the higher order Plan of Development.

A Transport Impact Assessment has been undertaken by Ratio (refer **Attachment 3**). This Report addresses

- Vehicular site access and circulation through the site;
- The adequacy of the proposed on-site car parking provision;
- Internal parking layout and access design;
- Loading provisions and accessibility;
- Pedestrian connectivity throughout the site;
- Bicycle parking requirements and provisions; and
- Anticipates traffic generation and impacts.

The report concludes that the proposal is satisfactory from a traffic operations perspective and is recommended to be approved.

Parking Provision

In accordance with Appendix I of the Stage 22A PoD, the various individual components of the proposal (when looked at in isolation) generate a parking requirement of 132 spaces. Note that this is based on Tenancies 1 and 2 being used for the highest trip generating uses being Shop and Food Premises. The proposal provides a total of 81 on-site parking spaces in a shared parking arrangement. All car parking spaces are located at grade, accessed directly from the proposed driveways. In addition to these on-site spaces, there are also 28 parking spaces provided along the street frontage of the lot, many of which are perpendicular parks deliberately “oversupplied” by the Developer in the street as part of the precinct design, and to enable additional convenience parking to be located near the Village Heart. Many visitors to this site will also arrive by foot from the surrounding future office buildings.

The attached Transport Impact Assessment (refer **Attachment 4**) includes a detailed Car Parking Demand Assessment, along with a Temporal Car Parking Assessment across the various uses on the site. The proposed development is expected to generate a peak car parking requirement of 104 spaces during the weekday lunchtime period, with lower car parking demands expected for all other periods.

Accordingly, the proposed on-site parking provision is considered appropriate.

Stormwater Drainage

Stormwater Management is addressed in the Site Based Stormwater Management Plan included at **Attachment 5** and addresses the treatment of stormwater during both the Construction Phase and the Operational Phase. This report demonstrates that the proposed development will utilise the drainage systems within the carpark to collect stormwater and discharge to the lawful point of discharge in the south east corner.

All field inlet pits and at-grade stormwater entry pits are proposed to be fitted with Atlan Stormsack devices, or an approved equivalent, to provide gross pollutant capture at source. These devices will remove litter and other gross pollutants from runoff prior to discharge to the subdivision drainage network and downstream WSUD treatment systems.

Rainwater tanks are proposed to be provided for all non-residential development to achieve a minimum 50% roof water capture and reuse. Rainwater tanks are to be sized at a minimum of 1 kL per toilet or urinal, with a minimum tank size of 5 kL. Each proposed building will be required to incorporate a rainwater tank that will be connected to and supply non-potable demands including toilets, irrigation and other approved reuse applications.

The Child Care Centre tanks total 10kL (for the 10 toilets) and they are identified in the plans outside Activity Room 1 in the drying courtyard. Two further 5kL underground tanks are proposed within the landscaped area of the carpark.

Water & Sewer

A DN150 PVC-O Unitywater water main is proposed to be constructed in the near verge of the new circulating roadway to the east of the site as part of the overarching Subdivision. A new water meter is proposed to service each new allotment from the existing DN150 PVC main to the east of the site with a new meter provided within private property of each allotment.

A DN160 PE100 Unitywater sewer main is proposed to be constructed as part of the overarching subdivision within the new circulating road to the east of the site which is to provide a new DN160 property connection for the site in the south-east corner. It is proposed to extend the Unity Water Sewer from the existing Property Connection through the site in order to provide a new connection for each new allotment.

Both water and sewer connections are indicated on the Concept Civil Works Plan included as Plan SK04 in the Engineering Services Report (**Attachment 6**).

Waste Collection

A Waste Management Plan has been prepared by Ratio, and included in **Attachment 7**. The Plan details the anticipated type and quantity of waste, the waste storage requirements and bins and the proposed waste collection arrangements.

There are three bin storage areas proposed across the site. The Child Care has its own within the building, with direct access to the rear car parking. A second bin store is located in the eastern carpark for the medical centre, and a third at the rear of the Commercial Tenancy.

The collection of all waste streams shall be performed on-site by a private waste contractor. Collection shall take place from the loading bay located at southeast end of the development. Staff shall prepare the bins for collection prior to the collection vehicle arrival and ensure the contractor has unimpeded access to the refuse areas on collection days.

A swept path assessment has been prepared using Autodesk Vehicle Tracking Software, demonstrating that the nominated waste collection vehicles can access the site, undertake waste collection within the loading bay, and exit the site in a forward direction.

Acoustic Consideration

As part of the pre-lodgement advice, EDQ noted that the childcare centre is located in an area surrounded by potential industrial uses, and requested an acoustic report to be submitted with the childcare centre application based on the 'highest' industrial use that can be accommodated under DEV2024/1552 to ensure amenity of the childcare centre can be maintained.

In response to this request, a Noise Assessment has been undertaken to determine the impact, with the results contained in **Attachment 8**.

The assessment has considered the noise amenity impact of potential low impact industrial uses located to the west of the site upon the proposed childcare centre. The assessment is based on noise modelling using the SoundPLAN 9.0 software considering typical noise emissions associated with the potential low impact industrial uses, noting that low impact industrial uses typically do not have significant potential to cause an adverse noise impact on adjacent and surrounding sensitive land uses such as a childcare centre.

It was noted in the report that the proposed childcare centre building and adjacent medical centre building are orientated such that the childcare outdoor play areas are located to the east of buildings. As such, the childcare centre outdoor play areas are significantly shielded by the Baringa Village development buildings from the potential low impact industrial use lots that are located to the west. The proposed childcare centre is also separated to the potential low impact industrial uses by an access roadway.

The noise modelling predictions indicated that the relevant outdoor play area noise criterion will be comfortably achieved at all proposed childcare centre outdoor play areas without any specific noise control measures considering typical low impact industrial noise emissions from Lots 11, 12 & 13 located to the west of the site.

Based on the noise modelling predictions, standard construction materials will be appropriate for the proposed childcare centre building facades with the provision of mechanical ventilation and/or air conditioning allowing doors and windows to be shut as deemed appropriate by staff.

The noise assessment undertaken demonstrates that the relevant 'Acoustic Quality Objectives' will be achieved at the proposed childcare centre development and that noise from potential low impact industrial uses on Lots 11, 12 & 13 will not cause an adverse impact upon future occupants at the development.

Reconfiguring a Lot

The application also includes a proposed 1 Lot into 3 Lots Reconfiguration. Each lot will have its own services and has a driveway access, car parking and bicycle parking. The proposed ROL Plan is included in **Attachment 1** and **Figure 6** below.

As mentioned above, the car park is proposed to be a predominantly shared parking area, with some spaces reserved for each of the three lots/uses, and the balance of spaces to be shared. To facilitate the sharing of the access and some of the parking spaces, three access and parking easements will be included on the Survey Plan (at the time of Plan Sealing and Registration of the lots) to secure the shared facilities.

Easement A (on Lot 1) will be in favour of Lots 2 and 3

Easement B (on Lot 2) will be in favour of Lots 1 and 3

Easement C (on Lot 3) will be in favour of Lots 1 and 2



Figure 6: Proposed Access and Parking Easements

Operational Works - Signage

The application also includes Operational Works for the purposes of Advertising Signage forming part of the proposed development. The proposed signage comprises a range of small projecting wall signs and two freestanding Pylon signs.

The proposed signage is shown on the Architectural Plans in **Attachment 1**, and detailed in below. The signage is all in accordance with Council's Advertising Devices Code.

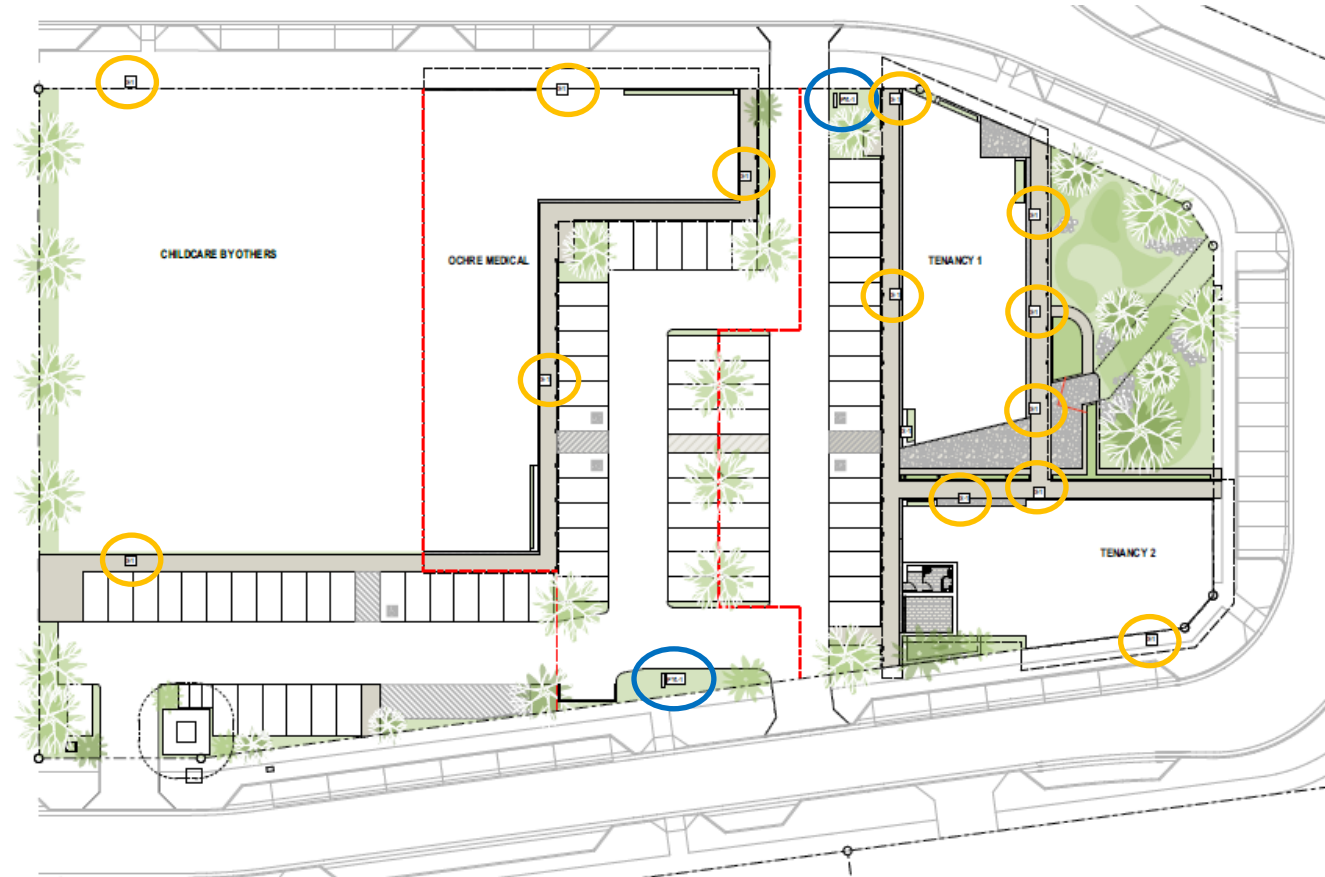


Figure 7: Proposed Signage locations

Sign Type	Plan Symbol	Quantity	Structure/sign Dimensions	Total Signface Area	Wording	Illuminated
Pylon (7m high, double sided)		2	7m x 1.5m (double sided)	42m ²	Centre name & Tenant names	Yes
Projecting Wall Signs		13 (approx)	0.6m x 0.6m (double sided)	9.36m ²	Tenant names	Yes

The Advertising Devices Code requires a maximum signface areas for all signs on a site to be 0.75sqm of signface area per linear metre of street front boundary length. The total Streetfront for the entire site is 290.9 metres in length, meaning up to 218m² of signface area is permitted.

A total of 52m² of Advertising signage is proposed, which is well under the maximum permitted.

5 Planning Framework

The site is located within Precinct 4 at Aura. The below table summarises the higher-order Planning Framework and Development approvals that are relevant to this site and the proposal.

Planning Framework	
Development Scheme	Caloundra South PDA Development Scheme, October 2011
Approved Master Plan	Caloundra South Master Plan, approved 20 November 2018 (EDQ Approval reference DEV2011/200)
Approved Plan of Development	Aura Business Park Stage 22A Plan of Development (EDQ Reference DEV2024/1552) • Lot 10 “Village Heart” • Approved use (subject to Compliance Assessment) includes: ○ Business ○ Health Care Services ○ Food Premise ○ Shop ○ Indoor Sport & Recreation • Supported use (subject to MCU) ○ Child Area Centre

6 Compliance with Planning controls

This section provides a detailed assessment against the relevant provisions of the higher-order Approvals comprising:

1. Caloundra South PDA Development Scheme;
2. Caloundra South approved Master Plan; and
3. Aura Business Park Stage 22A Plan of Development DEV2024/1552.

Caloundra South PDA Development Scheme, October 2011

The proposal is defined within the Caloundra South PDA Development Scheme, as follows:

CHILD CARE CENTRE

Means the use of premises for the minding or care, but not residence of children generally under school age. The use includes but is not limited to a kindergarten, creche or early childhood centre.

HEALTH CARE SERVICES

Means the use of premises for medical, paramedical, alternative therapies and general health care and treatment of persons that involves no overnight accommodation.

BUSINESS

Means the use of premises for administration, clerical, technical, professional or veterinarian clinic or other business activity where any goods or materials made, sold or hired on the premises are ancillary.

FOOD PREMISES

Means the use of premises for the preparation and sale of food and drink to the public for consumption on or off the site. The term includes a cafe, restaurant, coffee shop, bistro, tea room, milk bar, snack bar, kiosk, take-away, but does not include fast food premises as separately defined.

SHOP

Means the use of premises for the display, sale or hire of goods or the provision of personal services or betting to the public.

INDOOR SPORT AND RECREATION

Means the use of premises for leisure, sport, recreation or conducting large scale receptions, displays and functions, predominantly within a building. The term includes facilities commonly described as sports centre, gymnasium, convention centres, amusement and leisure centres.

The site is located within the Industry and Business Zone under the Caloundra South PDA Development Scheme. The Industry and Business Zone is intended to accommodate industrial uses which do not generate dust, noise and odour emissions beyond the zone. The zone provides for a wide range of compatible industrial uses including low and medium impact industry, research and technology facilities, and service industry activities.

A limited range of other uses may also be acceptable in the industry and business zone where it can be demonstrated that the use:

- supports or otherwise has a clear nexus with the primary uses within the zone and is not the predominant use
- does not compete/undermine the vitality and performance of the centres network
- provides a service to the workforce within the zone
- will not prejudice the establishment or operation of the primary uses within the zone.
- The uses comprises Permissible Development under the Caloundra South Development Scheme.

Caloundra South Master Plan (DEV2011/200)

The approved Caloundra South Master Plan provides further guidance on how the development at Aura is to occur and allocates approved land uses and yields to each Precinct. The site is located within the Industry and Business Land Use Area, where the uses are approved land use.

The application site sits within the Northern Locality (in Precinct 4), where higher value business, office and commercial and health-related uses are encouraged.

Stage 22A Approved Plan of Development (DEV2024/1552)

The site comprises proposed Lot 10 which has been approved by EDQ under PDA Development Approval DEV2024/1552. The Plan of Development included within this approval identifies the site as approved for a range of uses, including all those proposed as part of this application.

In relation to the Child Care use, this is identified in the approved PoD as a “supported use”, subject to a Material Change of Use application. The balance uses are all subject to Compliance Assessment.

The Compliance Assessment process is intended to enable EDQ to assess the detailed design of a pre-approved land use, and proposals must meet all the Compliance Assessable criteria set out within the PoD to be endorsed by EDQ under that process. In the case of the current proposal, it does not strictly meet the Car Parking requirements set out in the PoD (and addressed above), and as such a PDA Development Application for a Material Change of Use is required to be lodged (in addition to it also being required for the Child Care use only).

The proposal complies with all other controls and standards set out in the approved PoD relating to the proposal. These are set out in the following sections, and addressed in detail below:

- Stage 22A Precinct Intent (as relevant to Lot 10);
- Stage 22A Design Standards; and
- Specific Use Criteria

Stage 22A Precinct Intent

Stage 22A comprises 14 lots known as the ‘Baringa Village Village’ and intended to provide for a high concentration of employment-generating opportunities, predominantly delivering a Business Park, with a higher concentration of Office buildings and Research and Technology uses.

A central Village Heart (identified as Lot 10) is intended to provide an opportunity for a mixed use meeting place and complimentary supporting uses for workers within the precinct, including a Village Green Space, food premises, retail, office, co-working spaces, as well as providing convenient access to a child care centre (subject to a separate MCU application) and small scale indoor sport and recreation uses.

The western edge provides an opportunity for the provision of boutique Manufacturing and technology, as a transition between the Business Park and the more traditional Industrial uses beyond. Land uses must ensure there are no impacts on sensitive land uses proposed on other nearby sites (eg. child care).

The Illustrative intent plan for the precinct is below in **Figure 7**, with Lot 10 identified (noting that the building footprints were nominal only). It can be seen that the proposed layout shows a similar building footprint with building frontages matching those intended for the site, with the benefit of one communal parking area, rather than two separate parking areas.



Figure 7: Illustrative Intent Plan (Source: RPS)

The Stage 22A PoD pays particular regard to building frontages, identifying specific controls for each frontage. Lot 10 contains a combination of **Secondary Frontage, Shopfront Type Interface**, and **Active Frontage to Village Green**. **The southern boundary with Lot 9 has a 2m minimum Landscape Setback** required (where the building is not built to the boundary). The site is also required to accommodate a minimum 650m² **Village Green Space**.

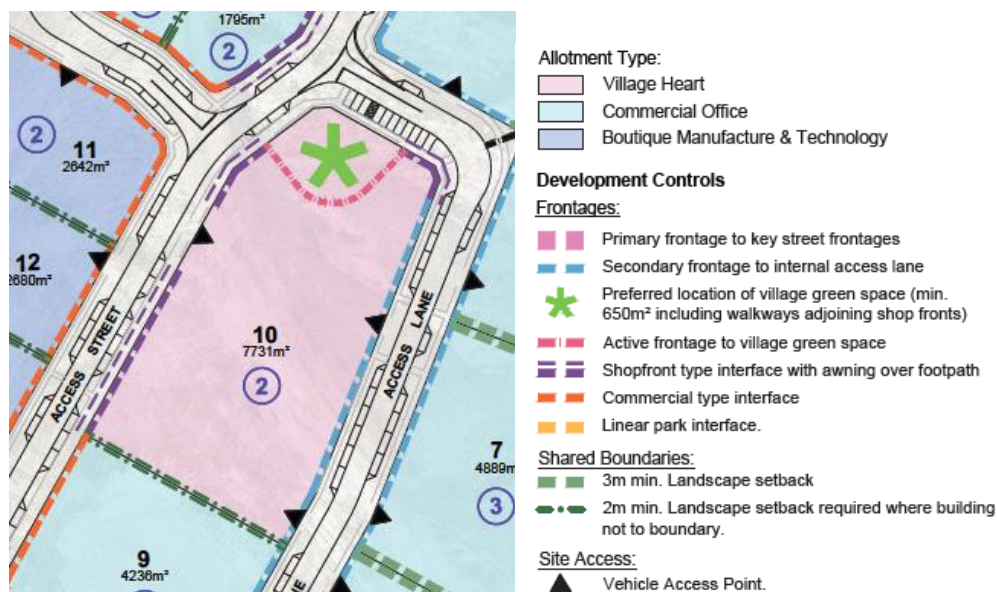


Figure 8: Stage 22A Plan of Development Plan (Source: RPS)

Stage 22A Design Standards

Design Standards applicable to the whole of Stage 22A are outlined below, along with the proposal's compliance with all relevant standards. Some are not relevant to Lot 10, as noted in the final column below.

ELEMENT	DESIGN STANDARD	COMPLIANCE	
Built Form	DS1.1	The GFA on each lot does not exceed the following, except where set out in the note below	✓ Lot 10 has a total proposed GFA of 2648.7m²

	DS1.3	For all development, building height does not exceed 15m. <i>Note: Greater height up to 25m may be permitted where demonstrated that the building is unable to be seen when travelling on the Bells Creek Arterial and by residential neighbourhoods, within and external to the PDA boundary. Any proposed height over 15m and up to 25m will be subject to a standalone MCU Application.</i>	✓ The maximum building height is 7.841 metres.
	DS1.4	Site Cover does not exceed 70 %.	✓ The site cover is 34.26%
	DS1.5	Building Heights are to be a minimum of - For Lots 1-4 and 9-14 – minimum 2 storeys - For Lots 5-8 – minimum 3 storeys	✓ The Child Care building is 2 storeys in height.
	DS1.6	Where development is on a Primary Frontage identified by Appendix D. Where a building: - Buildings are setback a minimum of 2m and a maximum of 6m; - Buildings make up a minimum of 40 % of the lot frontage; - Design includes a combination of design elements such as projections, recesses and openings to enhance the sense of arrival to the precinct; - Built form generates visual interest at the street level, having regard to the proportion of openings windows, materials and features. Blank walls are avoided; - Buildings address the street frontage or frontages by: - Providing clear, legible entry points for pedestrians - Maximising opportunities for overlooking and casual surveillance of streets, public spaces, parking areas and pedestrian/cycling paths; - Design incorporates horizontal and	N/A

		vertical variations in the façade through use of various finishes such as brick, concrete render, timber, steel, aluminium and glass. Where a car park: A soft landscaped strip of at least 3m width is required along the boundary as shown in Appendix D.	
	DS1.7	Where development is on a Secondary Frontage identified by Appendix D: Where a building: - Buildings are setback a minimum of 2m; - Buildings with office, building lobby or customer service component may be set to the front alignment (1 metre) for a maximum of 50 % of the frontage; - Design includes a combination of design elements such as projections, recesses and openings to enhance the character of the precinct; - Buildings address the street frontage or frontages by: - Providing clear, legible entry points for pedestrians - Maximising opportunities for overlooking and casual surveillance of streets, public spaces, parking areas and pedestrian/cycling paths; - Design incorporates horizontal and vertical variations in the façade through use of various finishes such as brick, concrete render, timber, steel, aluminium and glass; and - Blank walls or loading bays are not located on this street frontage. Where a car park: - A soft landscaped strip of at least 2m width is required along the boundary as shown in Appendix D.	✓ The eastern boundary is a secondary frontage and a combination of car parking and buildings is proposed. ✓ there is a 1-3m landscape setback from the building - N/A ✓ The eastern facade includes a combination of glazing, with and entry awning over the street  TENANCY 2 ✓ As above, there is glazing along the frontage to enable casual surveillance of the streets ✓ There is a variety of building materials and design features along this elevation, ✓ There are no blank walls. For the car park area along this frontage: - Due to the angle of the road compared to the car park layout, there are pockets of landscaping along the frontage that vary in width from 1-3 metres.

	DS1.8	Where development is on a Shopfront Type Interface identified by Appendix D: - Buildings are built to the front boundary (0m setback) for a minimum of 70 % of the frontage - Buildings that are built to the front boundary, and are for a Shop or Food Premises only are to provide an awning. Such awnings must extend a minimum of 1. 5m and may extend up to 3. 0 m over the street verge and may include cut-outs to allow for street tree growth. - Visual connectivity to the street for customers and patrons is provided. This street activation is achieved by maximising glazing, entrances, or open dining areas. Blank facades and back of house building elements are not to occupy these frontages. - Design includes a combination of design elements such as projections, recesses and openings to enhance the character of the precinct; - Design incorporates horizontal and vertical variations in the façade through use of various finishes such as timber, glass and t in.	✓ The western boundary of the lot along with the NE corner is identified as a "Shopfront Type Interface". The proposal complies as follows: ✓ Both the western boundary and NE corner have a 0m setback for over 100% of the frontage. - There are no Shop or Food Premises on the western frontage, however a 2.2m wide awning is still proposed for the Medical Centre. - The western façade has a large amount of glazing with no blank walls or back of house elements located along these frontage.  - There is a combination of materials and design features proposed along these frontage. - As above.
	DS1.9	Where development is on a Commercial Type Interface identified by Appendix D, buildings are to: - Be set back a minimum of 2m: - Comprise a minimum of 60 % built form along the frontage, and include glazing to the ground floor level, with car parking minimised.	N/A
	DS1.10	Where development is on a Linear Park Interface identified by Appendix D, a minimum 2m landscape buffer is to be provided to all buildings and car park areas. Any building facing this edge is to include windows, particularly at upper floor level, to ensure overlooking of the adjoining pedestrian path.	N/A

	DS1.11	Where development is on a Landscape Setback required, identified by Appendix D, building and car park areas are to be set back the following: • 3m Landscape Setback – 3m minimum per lot; • 2m Landscape Setback – 2m minimum per lot unless building is set to boundary,	✓ The southern boundary with Lot 9 has a 2m Landscape Setback required, where the building not set to the boundary. This has been provided for the Child Care Center (refer Plans in Attachment 2).
	DESIGN STANDARD		
	DS1.12	Development on a Key Corner identified by Appendix D provides a landscape or built form statement to this corner which: - Ensures that blank walls of buildings or back of house areas are not located on these corners; - Service stations and fast food outlets are not located on these corners. Built form, is provided to this corner and is articulated through use of glass, openings, and recesses.	N/A
	DS1.13	Buildings on other, non “Key Corner” lots should address both street frontages, and express a strong visual appearance.	✓ The building is not on the corner of three streets and in a prominent location within Stage 22A. As a result, the building has been designed specifically to address both the NE and the NW corners with openings addressing both corners and creating an inviting and strong visual appearance.

	DS1.14	Development on Lot 10 must provide a Village Green Space in the general location as indicated in Appendix D. This area is to comprise seating, turf, planted landscaping a gathering/meeting space, to remain in private ownership. Outdoor dining is encouraged, in order to activate the area. Buildings adjoining the Village Green Space are to provide an active frontage to the area, through the use of windows and doors/ openings from the tenancies facing the Village Green Space, as well as awnings over entries and outdoor dining areas.	✓ A 662.3m ² area of privately-owned park has been provided at the northern end of the lot, in the location identified in the PoD. This area comprises turf, planted landscaping and seating and will act as an informal gathering/meeting space. A covered outdoor dining area is able to be accommodated overlooking the park, in order to activate the area. The buildings adjoining the Village Green Space provide an active frontage to the area, through the use of windows and doors/ openings from the tenancies facing the Village Green Space, as well as awnings over entries and outdoor dining areas for the full perimeter. Pedestrian pathways have been cleverly designed and located to provide direct connections to the nearby on-street parking.
Design	DS2.1	Plant rooms and other roof top equipment are screened from view from adjoining streets and noise sensitive areas.	✓ Plant rooms are contained within the individual buildings.
	DS2.2	Waste storage areas and bin wash down areas are screened from view from adjoining streets	✓ There are three waste storage areas, two of which are within the building envelope so screened from view. The third is a screened standalone storage facility in the carpark, adjoining the loading zone.
	DS2.3	Temporary or demountable buildings are not installed on a lot.	✓ There will be no temporary or demountable buildings installed.
	DS2.4	Office facades are distinctly different to other facades of the building (including service and warehouse) through the use of alternative materials and or treatments.	N/A
	DS2.5	Buildings are to provide an entrance awning or canopy at the principal public entrance which is clearly legible from the street.	✓ There are entrance awnings proposed over all buildings entrances.

	DS2.6	External facade materials include a mix of two or more of the following: - glazing clear tinted or colour backed; - brickwork; - coloured rendered / bagged finish or split face concrete block work; - precast concrete panels; - commercial panel systems including prefinished CFC prefinished metal panels, tiles, stone; or recycled materials (e.g. timber).	✓ In terms of building materials, the Medical and Commercial Tenancies comprise a combination of rendered masonry walls, colourbond metal sheeting, timber-look batten screening, and surfmist metal sheeting on some of the high level walls and the roof. There are also some small areas of feature stone for the planters and entry points. The Child Care Centre materials comprise a combination of rendered walls, fibre cement panels, face brick, weatherboard, planter boxes and perforated screening and colorbond roof sheeting.
	DS2.7	Buildings are designed to: - include external shading devices to protect glazed areas on the north, east, and west sides of the building; and - provide roof colours with a solar absorbance not more than 0.45 (i.e. avoid excess use of dark colours and zincalume).	✓ All north, east and west facing windows have awnings ✓ Roof materials will be Surfmist or similar light finish.
	DS2.8	Signage attached to buildings is integrated into the building design	✓ Two Pylon signs are proposed to consolidate the tenancy signage in one location along both the Eastern and Western driveway entrances. Refer Attachment 1 (Sheet DA14 A) Other smaller Tenant signage projecting from the wall under the awnings are also proposed
	DS2.9	All mechanical plant and equipment will be located and screened to meet the noise limits for all existing and future Healthcare Services, Child Care Centre, Educational Establishment and Hospital use within lots 1 - 10 and 14.	✓ Mechanical plant will be housed internally in service rooms so as to contain noise for the Child Care Centre and any other sensitive uses on future nearby lots.

Landscapes and Buffering	DS3.1	A minimum of 10% of the site is landscaped for lots greater than 2500m² or a minimum of 5% of the site is landscaped for lots less than 2, 500 m². Landscaped areas must be a minimum of 1m wide to be included in the 5 -10 % calculation for the lot landscaped area (percentage dependent on site area).	✓ The site is greater than 2500m² and therefore require a minimum of 10% of the site to be landscaped. There is a total of 26% of the site that is landscaped, with the breakdown as follows: • Park on Proposed Lot 3 – 662.3m² (8.5%) • Perimeter Landscape – 439.2m² (5.7%) • Child Care Play Area – 920m² (12%) Total = 2021.5m² (26% of the site)
	DS3.2	A soft landscape strip with a minimum width of 2m is provided within the site boundaries adjacent to all street frontages, except where the building is proposed to the front boundary.	✓ Landscaping is provided around all road frontages where the building is not built to the boundary.
	DS3.3	Utilise deep planting zones within the front setback to establish larger, long-lived trees that contribute shade and amenity to the street.	✓ Deep planting zones are provided where able to be accommodated, particularly in the Park area.
	DS3.4	Street frontages are unfenced.	✓ No fencing along street frontages is proposed.
	DS3.5	Shade trees must be planted in open car parks at a rate of one (1) tree per six (6) car parking spaces.	✓ There are 14 shade trees in the car park as shown on the Landscape Plan included in Attachment 3 . These will provide shade to the car parking and vehicle pavement areas. Noting that 1 tree per 6 spaces would equal 13.5 trees for the 81 parking spaces.
	DS3.6	Landscaping is designed with CPTED principles in mind to reduce areas of possible concealment close to footpaths, parking areas and other publicly accessible spaces.	✓ There are no possible concealment locations as the site is quite open with low vegetation adjoining pathways and building entries.
	DS3.7	Automated watering systems are required for landscaped areas adjacent to street frontages, and are encouraged at all times.	✓ This can be conditioned if required.
	DS3.8	Landscaping should use predominantly endemic and drought tolerant species where possible.	✓ The species selected is predominantly endemic and drought tolerant species.

Parking and Access	DS4.1	On site vehicle parking is provided at the rates outlined in Appendix I. In circumstances where a Traffic Assessment Report is provided that clearly demonstrates a reduced parking demand is expected to be generated by the development or in instances where shared parking arrangements enable greater efficiency in parking utilisation, the applicable parking rates outlined within Appendix I may be reduced. Any reduction that may be applied is limited to a maximum of 20 % variation to the total parking demand.	Refer Section 4 above and the Transport Impact Assessment in Attachment 4 for further details on this response.
	DS4.2	Multi- deck parking or podium structures are to including high quality finishes to road frontages, including openings or semi-transparent screening devices. Blank walls are to be	N/A None are proposed.
	DS4.3	On site vehicle parking / movement is to be provided in accordance with AS2890 – Parking Facilities.	
	DS4.4	Where an on-site waste collection area is provided, access and manoeuvring areas must provide for a Waste Collection Vehicle (WCV).	✓ Refer Waste Management Plan (Attachment 8) and Engineering Services Report (Attachment 6) for confirmation that the waste collection vehicle can enter and exit the site in a
	DS4.5	Access locations are to be provided in accordance with Appendix D.	✓ Driveway accesses align with what is shown on the PoD Plan in Appendix D.
	DS4.6	Shared use of driveways and access points is encouraged between lots, particularly where indicated in Appendix D for Lots 1- 4. Each lot must still independently provide the required number of parking spaces relevant to the proposed land use and GFA on it .	N/A as this application is only over Lot 10, however the complex has been designed to have one shared carparking area, despite the mix of uses.
	DS4.7	Bicycle parking and storage facilities are easily accessible and provided in the building, or on-site within 100 metres of an entrance to the building, in accordance with the rates detailed for the applicable use in Appendix I .	✓ There are three dedicated bicycle parking spaces for each of the buildings being: • 12 bicycle spaces near the entry to the Childcare Centre; • 9 bicycle spaces near the entry to the Medical Centre; and • 5 bicycle spaces near Tenancy 1.

	DS4.8	Loading areas are screened from view from the road.	To minimize conflict between loading areas and the carpark, a Loading bay is proposed to be located adjoining the eastern frontage, behind a landscaped area.
	DS4.9	End of Trip facilities in the form of Change Rooms and lockers are provided in accordance with Appendix I, relative to the number of Bicycle Parking spaces required in DS4.7	✓ Two End-of Trip Facilities are proposed – one being in the Child Care Centre for the staff, and one at the rear of Tenancy 2, for all Medical Centre and Tenancy 1 and 2 staff.
Land Use	DS5.1	Land uses comprise the uses specified for the relevant Lot in Table 2.	✓ All proposed Land uses are listed in Table 2.
	DS5.2	Associated Activities are permitted where they are ancillary to the uses listed in Table 2, and where the GFA does not exceed 25% of the total GFA of the building or 300m ² (or 250m ² Shop), whichever is the lesser	Noted. This can be complied with, dependent on the ultimate uses.
Environment	DS6.1	Development achieves the noise generation levels set out in the Environmental Protection (Noise) Policy 2008, as amended.	✓ No noise generation issues are expected from the proposed uses.
	DS6.2	Development achieves the air quality objectives set out in the Environmental Protection (Air) Policy 2008, as amended.	✓ No air quality issues are expected from the proposed uses.
	DS6.3	For all non-residential buildings, rainwater tanks are to be installed to ensure minimum 50 % roof capture and reuse. Tanks are to be sized as 1KL per toilet or urinal (with a minimum size of 5KL). Tanks must be installed in accordance with all Council, State Government, Federal Government and industry plumbing standards for rainwater tanks. Tanks must be connected to and supply water to all of the following: • Toilets (all toilets) • Urinals (all urinals) • Laundry (all cold taps in laundry) • Outdoor taps (all outdoor taps) and irrigation • All non-potable taps (i.e. washdown taps)	✓ Four 5000kL Rainwater tanks are proposed across the site as follows: • 2 x 5000kL tanks are located with in the drying/services yard of the Child Care Centre • 1 x 5000kL underground tank is proposed along the eastern frontage adjoining the refuse area; and • 1 x 5000kL tank is proposed under the landscaped area adjoining the western driveway

	DS6.4	Stormwater management is to be provided via Gross Pollutant Management for all ground level runoff to remove litter and other gross pollutants prior to discharge from the allotment (noting bioretention pods are not required). Each lot is to provide a stormwater drainage plan certified by an RPEQ that will quantify Gross Pollutant Management provisions.	✓ All field inlet pits and at-grade stormwater entry pits are proposed to be fitted with Atlan Stormsack devices, or an approved equivalent, to provide gross pollutant capture at source. These devices will remove litter and other gross pollutants from runoff prior to discharge to the subdivision drainage network and downstream WSUD treatment systems. Refer Attachment 5 for further details.
Servicing	DS7.1	Development can either demonstrate an existing connection to the reticulated water supply, sewerage, stormwater drainage and telecommunications infrastructure networks and electricity supply, or if such works are not complete, demonstrate that the construction of these works is under way by the Master Developer and that any uncompleted works have been bonded to ensure the works are completed and all connections are made available to the site.	✓ The Master Developer (Stockland) are currently constructing all the water, sewer, telecommunications, stormwater and civil road works to provide Lot 10 as a fully services and accessible site. It is expected that this will be complete in September/October 2026, after which construction will commence on Lot 10.
	DS7.2	Waste collection is to occur on-site.	✓ Waste collection will occur on site from the Loading Bay, as set out in the Waste Management Plan in Attachment 8 .

Specific Use Criteria

Table 4 of the Stage 22A PoD has Specific Use Criteria for a number of uses, only one of which is relevant to this application:

USE	DESIGN STANDARD		COMPLIANCE
Indoor Sport & Recreation	DS1.1	Any Indoor Sport and Recreation use does not exceed 2,000m ² GFA per lot .	✓ This use is only proposed for Tenancies 1 or 2, which only have a total GFA of 410.1m ² and 417.4m ² respectively.
	DS1.2	Indoor Sport and Recreation uses exclude premises for conducting large scale functions, i.e. convention centre, amusement and leisure centre.	✓ This can be conditioned if required. This land use is only proposed to allow pilates, yoga, swim school and small gyms to occupy a tenancy or part of a tenancy.

6 Conclusion

This Priority Development Area (PDA) Development Application for a Development Permit for Material Change of Use, Reconfiguring a Lot and Operational Works to the Minister for Economic Development Queensland (MEDQ) seeks approval for a mixed use complex comprising a Child Care Centre, Medical Centre, Shop, Food Premises, Business and Indoor Sport & Recreation within Precinct 4 at Aura. The application is lodged over proposed Lot 10, which sits within part of Balance Lot 345 SP357716

This Town Planning Report demonstrates that the proposal complies with all the relevant Planning controls set out in the higher order approved Plan of Development, and is therefore recommended to be approved by MEDQ and a PDA Development Permit issued.