MIRVAC

ROL 07 – Everleigh, Precinct 3

ENGINEERING SERVICES REPORT

Rev: A
18 May 2026

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DOCUMENT AUTHORISATION					
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Prepared By		**Reviewed By**		**Authorised By**	
Nicholas Somerville		Andrew Langdon	A. Langdon	Patrick Brady RPEQ: 7112	Digitally signed by PatrickBrady Date: 2026.05.25 11:07:06 +10'00'

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1. INTRODUCTION

Premise was commissioned by Mirvac to prepare an Engineering Services Report for RoL 07, Precinct 3, of the Everleigh development. Everleigh is located at Teviot Road, Greenbank and is part of the Priority Development Area (PDA) with EDQ being the assessing authority.

The proposed development sits south of Precinct 2, DEV2019/1039, and fronts Greenbank Road. The servicing strategy for RoL 07 is consistent with infrastructure master plans approved under DEV2016/768. The deliverable of this precinct is 358 residential lots, including the third vehicle entry point for the estate as well an adjacent linear park. The 358 lots include 8 "interface"/larger lots which back onto Greenbank Road.

This report covers all engineering services that will be required to service the proposed development at a conceptual level for Development Approval. This report should be read in conjunction with the reports provided by Urbis (Town Planning). RoL Layouts by Urbis are included in Appendix A.

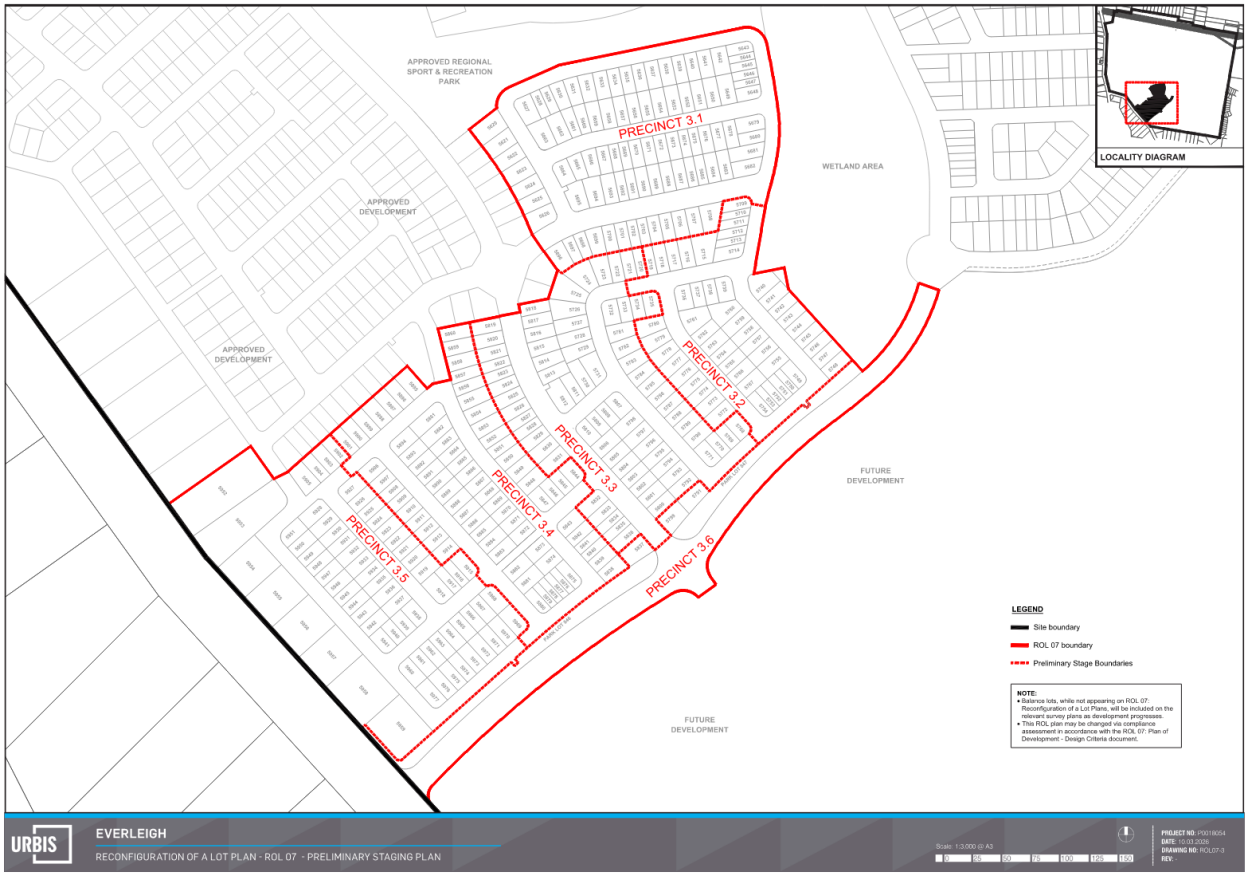


Figure 1.1: RoL 07 layout & sub-precinct split

2. SITE CHARACTERISTICS

RoL 07 has an area of 24.4 ha and is located towards the southwest of the overall site. The site sits south of Precinct 2 and the wetland/eco gully, and fronts Greenbank Road.

The natural surface topography of RoL 07 typically sees the contours grade from southwest to northeast towards the future wetland lot. There is a minor crest towards the Greenbank Road boundary where a naturally occurring gully/overland flow path runs parallel to the future Anderson Road extension. The contours and grades are uniform as it raises from the gully at approximately 6.5-7%.

The proposed site location, shown in the red outline, within the overall Everleigh development can be seen in Figure 2.1.

Figure 2.1: Site Location

3. DATA

Data for this report has been gathered from the following sources:

- Urbis – Lot layout;
- Economic Development Queensland (EDQ) – Greater Flagstone Priority Development Area plans and documents;
- Saunders Havill Group – Detail Survey;
- Premise Movement Network Infrastructure Master Plan, report number P000170/R02, Rev C;
- Premise Traffic Impact Assessment Everleigh ROL07, report number MIR-1700, Rev B;
- Premise Sewerage Infrastructure Masterplan, report number MIR-0020/R01 Rev B;
- Premise Water Infrastructure Masterplan, report number P000196/R01 Rev D;
- Logan City Council – Existing services location (where applicable and relevant) and Planning Scheme 2015 development information;
- Detailed design and construction from DEV20219/1039, DEV2020/1131 and DEV2024/1517;
- Dial Before You Dig;
- ATP Consulting Engineers ''Traffic Noise Impact Assessment, Everleigh Green Bank, RoL 7 Application";
- Engeny Everleigh Stormwater Masterplan, report number QC4060_005-REP-701-2; and
- Stormwater technical letter "Everleigh Precinct 3 – Stormwater Quantity and Stormwater Quality Analysis" by Engeny, BBNE00356_0014-LTR-002-1-Precinct 3 SW Letter

4. SERVICES FOR DEVELOPMENT

4.1 EARTHWORKS

Earthworks will be required to facilitate the construction of the roads, allotments and parks proposed within RoL 07. The earthworks will consist of excavations, filling, permanent batters to existing surface level with maximum slope of 1 in 4 and batters between lots with a maximum slope of 1 in 2. Retaining walls will be constructed during civil works to provide level allotments. Retaining walls will be provided to lots where the height difference is 450mm or greater to a maximum height of 2.5m.

A preliminary earthworks design has been carried out over the RoL 07 area. While the target for the earthworks design was to minimise the cut and fill volumes associated with the earthworks operation along with targeting a cut to fill volume balance, there were several constraints that needed to be considered which influenced levels. These constraints included:

- Interface to natural surface levels and adjoining developed precincts
- Road Gradings
- Benching of allotments
- Relationship between benched allotments and retaining walls
- Interface between wetland and eco gullies of the Central Park precinct.
- Coordination with landscape design in linear parks and pedestrian lanes.
- Material management across Everleigh – increases fills where possible to reduce surpluses from other precincts.
- Stormwater drainage outlet levels

The preliminary earthworks design for the site has identified that the overall earthworks cut and fill volumes result in a shortfall of material, which will be filled using surplus materials from Precinct 2 & 5/6/7.

Vegetation will be cleared under DEV2024/1556. Proposed minimum clearing extent for RoL 07 is shown on plans.

The proposed earthworks design and extent can be seen on the Preliminary Earthworks Sketch Plans Provided in Appendix B.

4.2 EROSION & SEDIMENT CONTROL

Erosion and Sediment Control (ESC) measures will be required during all stages of development from site establishment to project completion. An Erosion and Sediment Control program will be designed and detailed during the detailed design phase.

4.3 ROADWORKS

Main internal vehicle access to the site area will be via the extension of Everleigh Drive, Precinct 2, and Anderson Drive, Precinct 5. However, the 3rd entry for Everleigh will be created under this development which is the Anderson Drive/Greenbank Road intersection.

4.3.1 INTERNAL ROADS

The road layout has been developed in accordance with the road typologies nominated in the approval pending Movement Network Infrastructure Master Plan (MNIMP). Noting however the typologies are consistent with the existing MNIMP.

The roads servicing RoL 07 include:

- Neighbourhood Connector 1
- Neighbourhood Connector 2
- Neighbourhood Connector 3
- Access Street – typical
- Access Street – park

A Road Hierarchy Plan showing the above road typologies located within the precincts can be seen in Appendix C.

All allotments can be accessed from the proposed internal road network via direct driveway access; there are no shared driveway arrangements. The proposed roads will be provided with concrete kerb and channel, 1.5m minimum width concrete footpaths and minimum 4m wide verges which accommodate necessary service corridors as required by Logan City Council.

Anderson Drive will have a linear park for its full length which will have the secondary pathway required for a Neighbourhood Connector 2 and 3.

Internal Road Functional plans detailing the RoL 07 internal road network can be seen in Appendix D.

4.3.2 GREENBANK ROAD INTERSECTION

The Greenbank Road/Anderson Drive intersection has been designed in accordance with the Movement Networks Infrastructure Master Plan as approved under DEV20216/768/63.

This intersection is a priority control 3-way intersection. Anderson Drive will have separate left and right turn lanes to leave the site. Greenbank Road will have a channelised right turn treatment (CHR) and auxiliary left turn treatment (AUL).

The proposed Greenbank Road and Anderson Drive intersection layout can be seen in Appendix D.

4.4 NOISE ATTENUATION

A traffic noise impact assessment has been undertaken by ATP Consulting Engineers (ATP). ATP undertook traffic noise propagation modelling, using SoundPLAN, to consider the future traffic flows for a planning horizon of 2044. Based on the results of the traffic noise impact assessment for RoL 07 of the Everleigh development, the report concluded that the only acoustic treatment that was required was an acoustic setback/buffer for the lot backing onto Greenbank Road.

Figure 6.1 of their report depicts the acoustic requirements. Extract below.

Figure 6.1 Noise control measures – RoL 7

Refer to ATP Consulting Engineers 'Traffic Noise Impact Assessment, Everleigh Green Bank, RoL 7 Application' report attached as part of the application documentation for further information.

4.5 TRAFFIC

Please refer separate traffic impact assessment report "Traffic Impact Assessment Everleigh ROL07, report number MIR-1700, Rev B"

4.6 STORMWATER DRAINAGE

The proposed piped roofwater drainage, underground drainage and major storm overland flow for this site will be designed in accordance with EDQ Guideline 13, Logan City Council and QUDM stormwater design guidelines. It is proposed that a network of gully pits and underground pipes will be constructed to capture and convey stormwater collected from allotments and roadways towards two discharge points into the wetland: one to the north and the other to the south.

Two piped connections will be provided for the western portions of future Precinct 4 to align with the stormwater master plan where this catchment is also treated by the wetland.

There is a minor catchment/sag point on Greenbank Road which will require an overland flow path through Lot 5958 with the minor storm flows captured within lot 5958 and discharged into the piped network in Road 18, and balance flows up to the 1% AEP flowing overland into Road 18.

The major storm overland flows generated from the RoL 07 catchments will be contained in the road reserves and conveyed to multiple discharge points into the wetland. There are also two major flow relief points on Road 18 and 27 through the linear park to Anderson Drive.

Refer to the Preliminary Stormwater Drainage Plans provided in Appendix F.

4.7 STORMWATER QUANTITY & QUALITY

There is no specific stormwater quantity or quality treatment within the RoL 07 development footprint. In accordance with the Stormwater Master Plan, DEV2016/768 and the Central Park approval, DEV2020/1131, RoL 07 treats both quantity and quality within the wetland and downstream riparian revegetation area.

Please refer Engeny tech memo *BBNE00356_0014-LTR-002-1-Precinct 3 SW Letter* for further clarification.

4.8 SEWER RETICULATION

All proposed residential allotments within RoL 07 will be provided with a sewer property service. Properties will be connected to a sewer reticulation pipe network located within the road reserves with the exception of one line at the rear of Lots 5740-5748 within the wetland lot to avoid having a 5m deep main within the road. Lots 5740-5748 will be service via a shallower sewer reticulation main located in the Road 27 verge.

The proposed 225mm main on the southern side of Anderson Drive is to service a future sewer pump station in Precinct 4. Precinct 4 is the last RoL to be submitted, as such the timing of the pump station is not yet known.

The sewer reticulation network will be designed and installed in accordance with SEQ D&C Code, Logan City Council requirements and Premise prepared whole of site sewer design master plan.

All lots and mains within RoL 07 grade to the proposed pump station (SPS001) under DEV2024/1517. The proposed number of lots within this catchment is consistent with the design of SPS001.

The sewer reticulation system details described above are shown on the Preliminary Sewer Reticulation Plans in Appendix G.

4.9 WATER RETICULATION

All proposed allotments in RoL 07 will be provided with a potable water service connection. The water reticulation network will be designed and installed in accordance with the SEQ D&C Code, Logan City Council requirements and the recently resubmitted Water Infrastructure Masterplan prepared by Premise.

In accordance with the Water Infrastructure Master Plan, DEV2016/768, RoL 07 has the higher part of the development in the high-level zone and the remaining areas in the low-level zone. The high-level zone is depicted on the plans with a yellow highlight. There is a connection across Anderson Drive into future Precinct 4 to service those lots in the high-level zone.

The low-level zone is serviced via a 250mm main connection on Greenbank Road which then traverses down Anderson Drive. This connection is conditioned under DEV2024/1517 and is to be completed prior to December 2027. This main will be issued to EDQ for compliance assessment shortly with the detailed design of Precinct 5.2 of RoL13; the same EDQ reference above.

Boundary valves will be provided between the high and low level zones.

The details described above are shown on the Preliminary Water Reticulation Plans in Appendix H.

4.10 ELECTRICAL RETICULATION

The electrical reticulation is covered by an approved Master Plan endorsed by Energex. The HV network/PMT layout is provided in Appendix I.

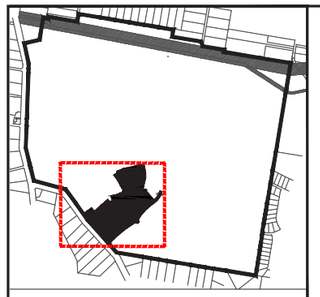
5. CONCLUSION

Based on the information collected and preliminary investigations carried out it has been established that the proposed development can be adequately serviced.

All service and infrastructure layouts are generally in accordance with the relevant approved infrastructure master plans, EDQ requirements, and other relevant and appropriate design standards and guidelines.

APPENDIX A

MASTERPLAN LAYOUT



LOCALITY DIAGRAM

LEGEND

GENERAL

- ROL 07 Boundary
- Proposed Lot Boundaries
- Proposed Road Carriageways
- Major Linear Park
- Pedestrian Link
- Regional Recreation Park (Wetland Area)
- Regional Recreation Park (Adjacent)

RESIDENTIAL - STANDARD LOTS

HOUSE (ATTACHED)

- Front Loaded Terrace
- Potential Attached Dwelling (refer to House (Attached) Design Criteria which prevails to the extent of any inconsistency with this plan)

HOUSE (DETACHED)

- Villa
- Premium Villa
- Courtyard
- Premium Courtyard
- Traditional
- Premium Traditional

MULTIPLE RESIDENTIAL

- Potential Duplex Dwelling (35 sites)

NOTE:

- Balance lots, while not appearing on ROL 07: Reconfiguration of a Lot Plans, will be included on the relevant survey plans as development progresses.
- This ROL plan may be changed via compliance assessment in accordance with the ROL 07: Plan of Development - Design Criteria document.

ROL 07 - YIELD SUMMARY

LOT TYPE		INDICATIVE LOT FRONTAGE	INDICATIVE LOT DEPTH					TOTAL	
			25m Deep	28m Deep	30m Deep	32m Deep	50m Deep	LOTS	%
	Rear Loaded Terrace	7.5m wide	~	~	~	~	~	0 lots	0%
	Front Loaded Terrace	7.5m wide	12	12	~	~	~	24 lots	7%
	Villa	10m wide	2	10	20	~	~	32 lots	8.9%
	Premium Villa	12.5m wide	23	47	51	4	~	125 lots	34.9%
	Courtyard	14m wide	14	43	48	4	~	109 lots	30.4%
	Premium Courtyard	16m wide	17	17	19	2	~	55 lots	15.4%
	Traditional	18m wide	~	2	2	~	~	4 lots	1.1%
	Premium Traditional	20m wide	~	~	~	1	~	1 lots	0.3%
	Interface Lots	40m wide	~	~	~	~	8	8 lots	2.2%
					TOTAL RESIDENTIAL LOTS			358 lots	100%
				DENSITY (NET RESIDENTIAL DENSITY)				19.5 dw/ha	

APPROVED REGIONAL SPORT & RECREATION PARK

WETLAND AREA

APPROVED DEVELOPMENT

APPROVED DEVELOPMENT

FUTURE DEVELOPMENT

FUTURE DEVELOPMENT

PARK LOT 846

PARK LOT 846

PEDESTRIAN LINK

14m WIDE ROAD

15.5m WIDE ROAD

20m WIDE ROAD

21m WIDE ROAD

26m WIDE ROAD

URBIS

EVERLEIGH

RECONFIGURATION OF A LOT PLAN - ROL 07

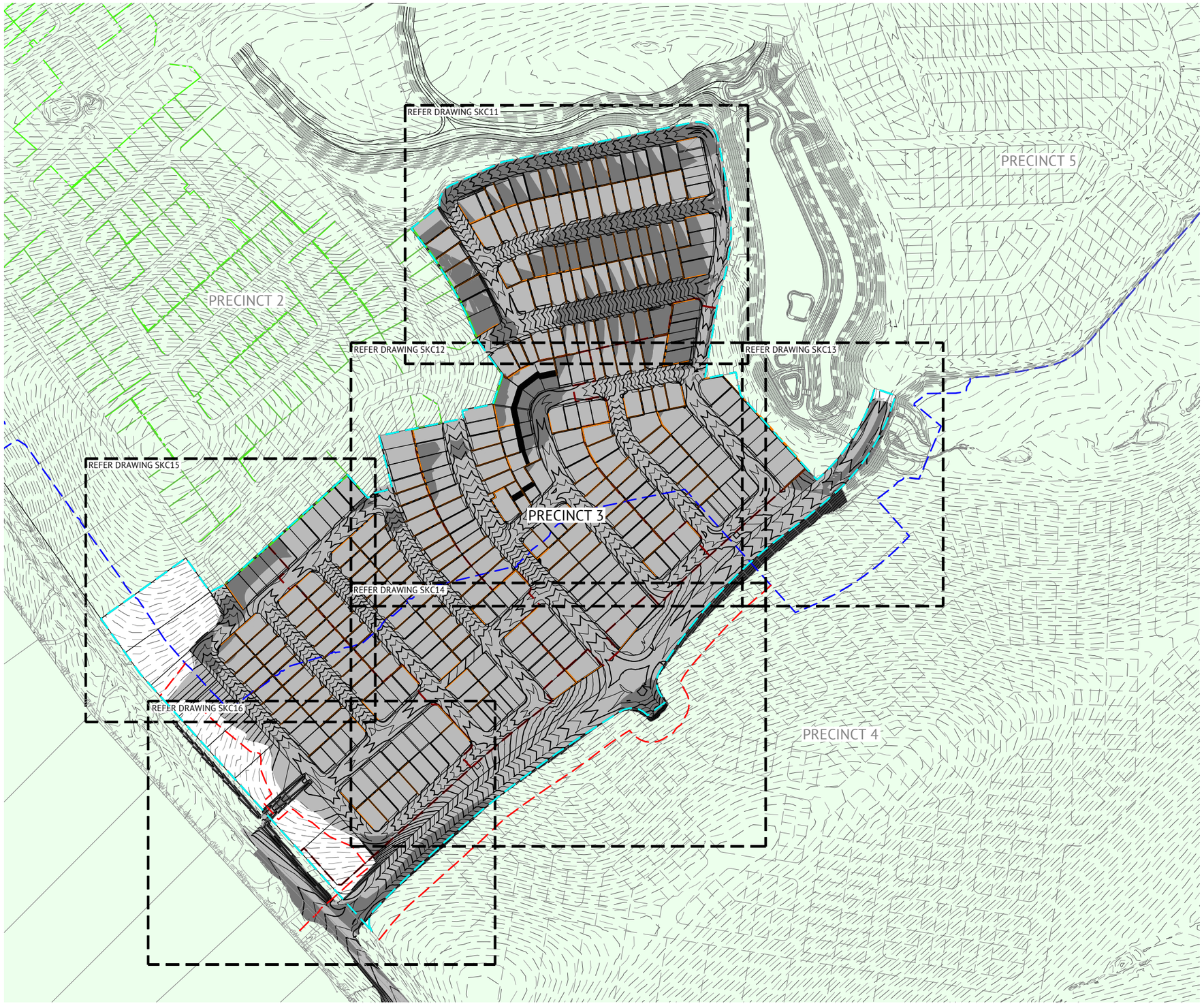
Scale: 1:3,000 @ A3

0 25 50 75 100 125 150

PROJECT NO: P0018054
DATE: 27.01.2026
DRAWING NO: ROL07-1
REV: -

APPENDIX B

PRELIMINARY EARTHWORKS PLANS



N

LEGEND - PROPOSED

- EXTENT OF CUT
- EXTENT OF FILL
- 12.0 — FINISHED MAJOR CONTOURS (0.50m)
- FINISHED MINOR CONTOURS (0.25m)
- RETAINING WALL
- VEGETATION CLEARING LINE
- ROL BOUNDARY
- PRECINCT BOUNDARY

LEGEND - EXISTING

- 12.0 — EXISTING CONTOURS (0.50m)
- RETAINING WALL
- EXISTING VEGETATION CLEARING LINE

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
07/05/2026	2	UPDATED EARTHWORKS	KK	PB
31/03/2026	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	PB

REVISIONS

Premise
PART OF THE Amey GROUP
BRISBANE OFFICE
LEVEL 11, 300 ADELAIDE STREET
BRISBANE, QLD 4000
PH: (07) 3253 2222
WEB: www.premise.com.au

DESIGNED KLYNT KIWANG
CHECKED ANDREW LANGDON
PROJECT MANAGER NICK SOMERVILLE
ENGINEERING CERTIFICATION PATRICK BRADY RPEQ 7112

SCALE 0 40 80 120m
SCALE 1:2000 (A1)
ORIGINAL SHEET SIZE A1

CLIENT MIRVAC QUEENSLAND PTY LTD
PROJECT EVERLEIGH ROL17 SUBDIVISION DEVELOPMENT
LOCATION TEVIOT ROAD, GREENBANK
SHEET TITLE OVERALL PRELIMINARY EARTHWORKS LAYOUT PLAN

JOB CODE MIR-1700
SHEET NUMBER SKC10
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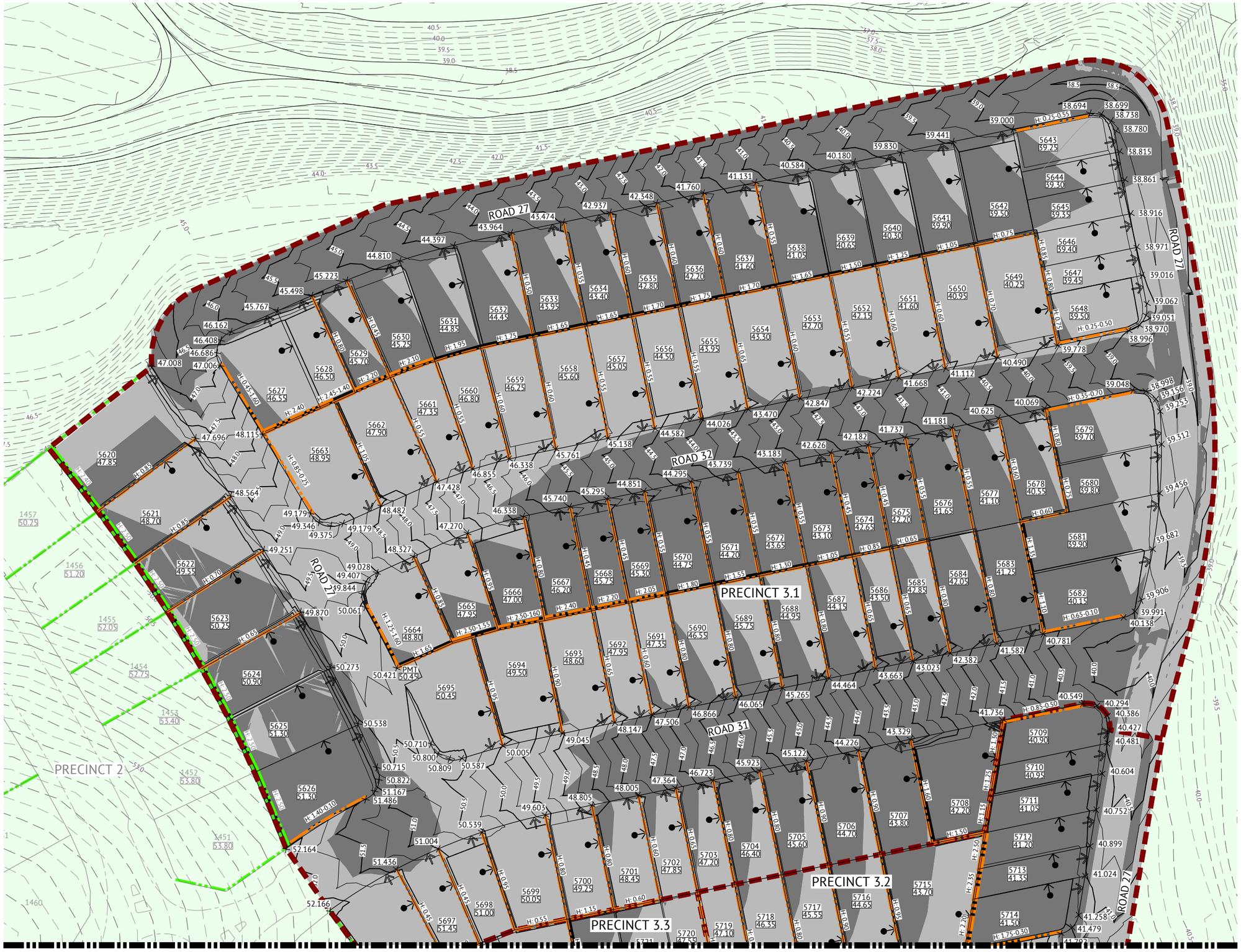

LEGEND - PROPOSED

- EXTENT OF CUT
- EXTENT OF FILL
- 12.0 — FINISHED MAJOR CONTOURS (0.50m)
- FINISHED MINOR CONTOURS (0.25m)
- RETAINING WALL
- VEGETATION CLEARING LINE
- PROPOSED FUTURE DRIVEWAY LOCATION
- ZERO LOT BOUNDARY
- 52.00 — PAD LEVEL
- ×45.20 — SPOT LEVEL
- EASEMENT
- TREE TO RETAIN
- PRECINCT BOUNDARY

LEGEND - EXISTING

- 12.0 — EXISTING CONTOURS (0.50m)
- RETAINING WALL
- EXISTING VEGETATION CLEARING LINE

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BRISBANE OFFICE
LEVEL 11, 300 ADELAIDE STREET
BRISBANE, QLD 4000
PH: (07) 3253 2222
WEB: www.premise.com.au

DESIGNED: KLYNT KIWANG
CHECKED: ANDREW LANGDON
PROJECT MANAGER: NICK SOMERVILLE
ENGINEERING CERTIFICATION: PATRICK BRADY RPEQ 7112

SCALE: 0 10 20 30m — SCALE 1:500 (A1)
ORIGINAL SHEET SIZE A1

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PROJECT: EVERLEIGH ROL17 SUBDIVISION DEVELOPMENT
LOCATION: TEVIOT ROAD, GREENBANK
SHEET TITLE: PRELIMINARY EARTHWORKS LAYOUT PLAN - SHEET 1

JOB CODE: MIR-1700
SHEET NUMBER: SKC11
REV: 2

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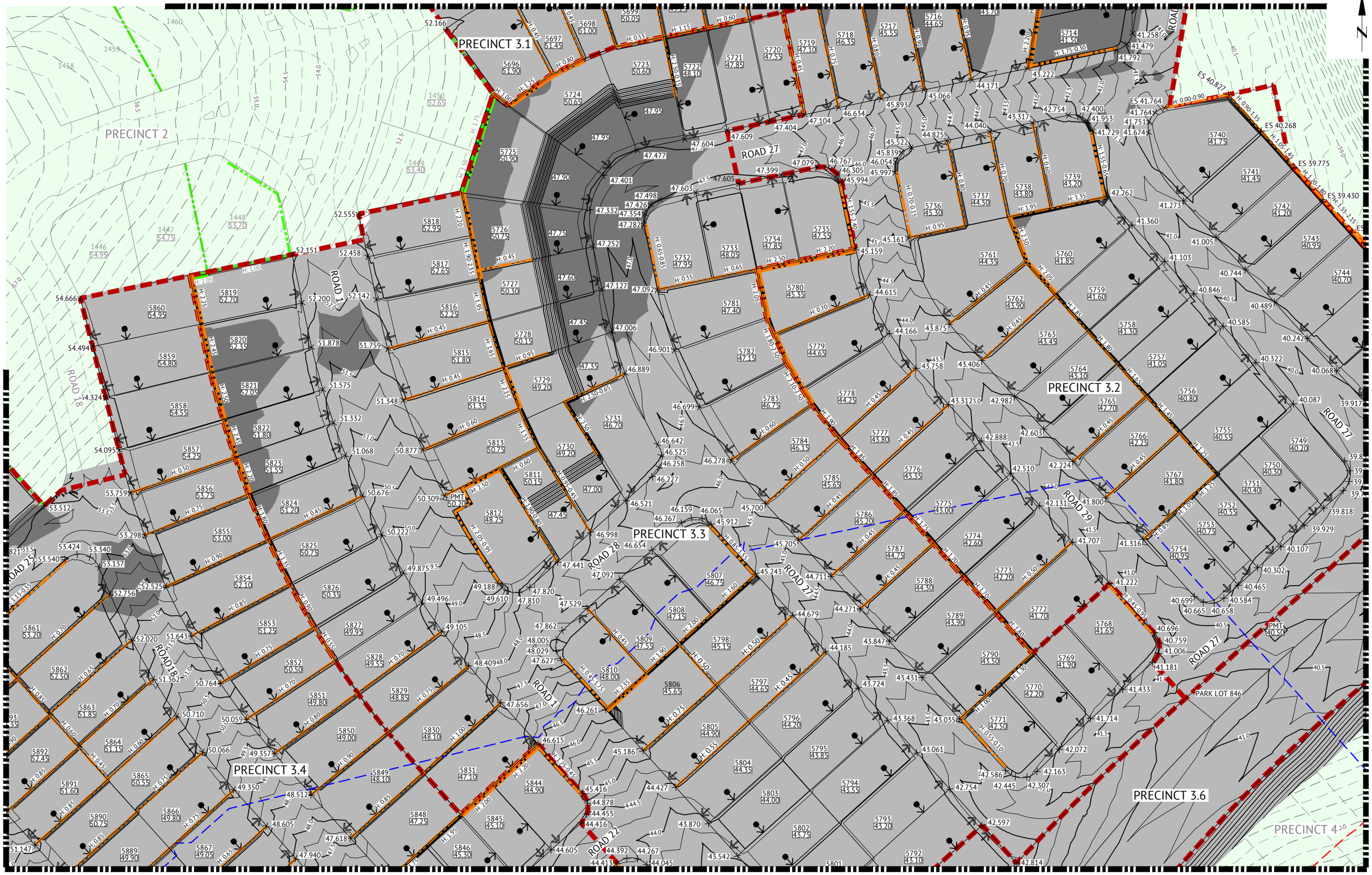

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SHEET TITLE: PRELIMINARY EARTHWORKS LAYOUT PLAN - SHEET 2

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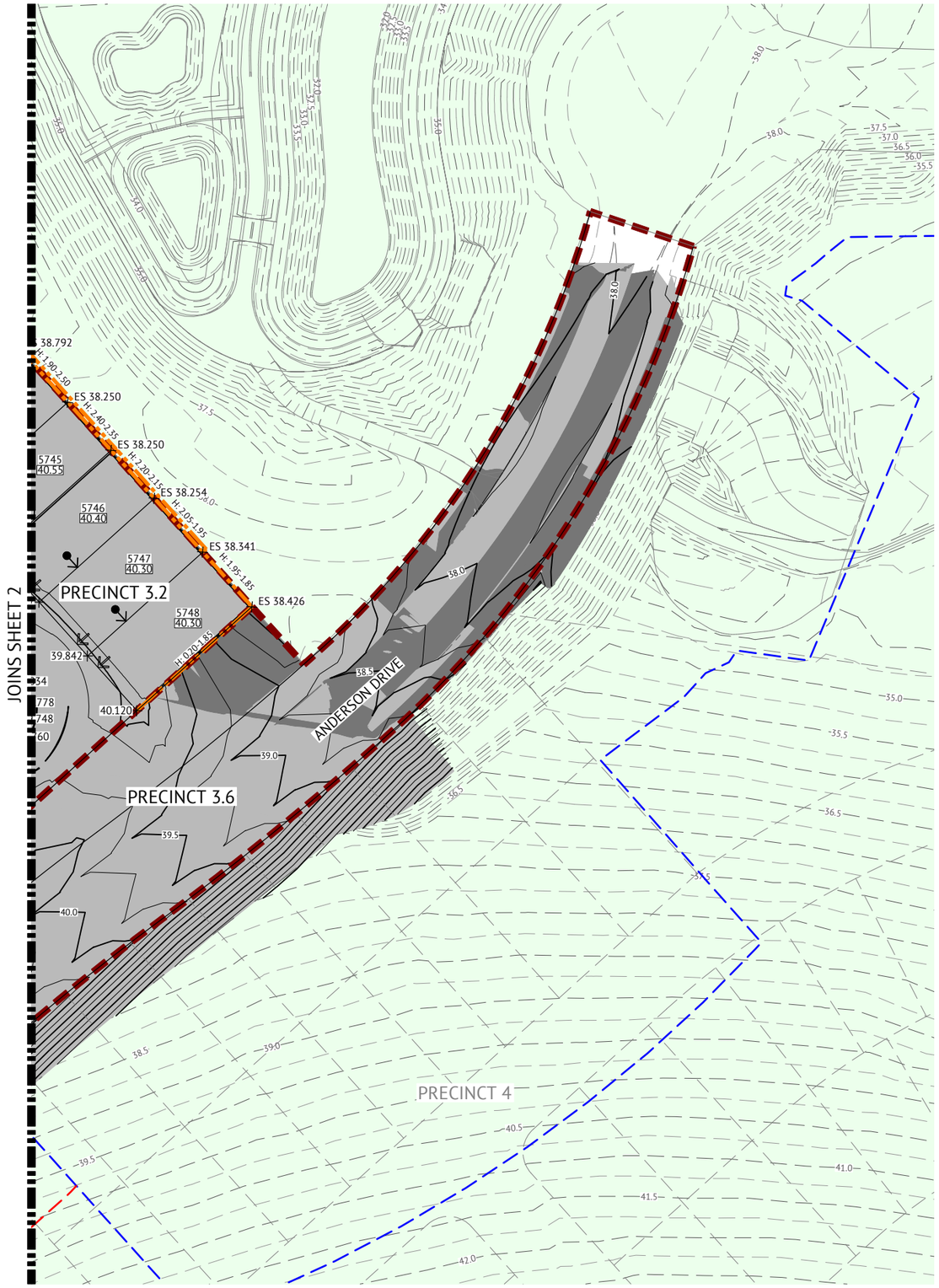

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LOCATION: TEVIOT ROAD, GREENBANK

SHEET TITLE: PRELIMINARY EARTHWORKS LAYOUT PLAN - SHEET 3

JOB CODE: MIR-1700

SHEET NUMBER: SKC13

REV: 1

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LOCATION: TEVIOT ROAD, GREENBANK
SHEET TITLE: PRELIMINARY EARTHWORKS LAYOUT PLAN - SHEET 4

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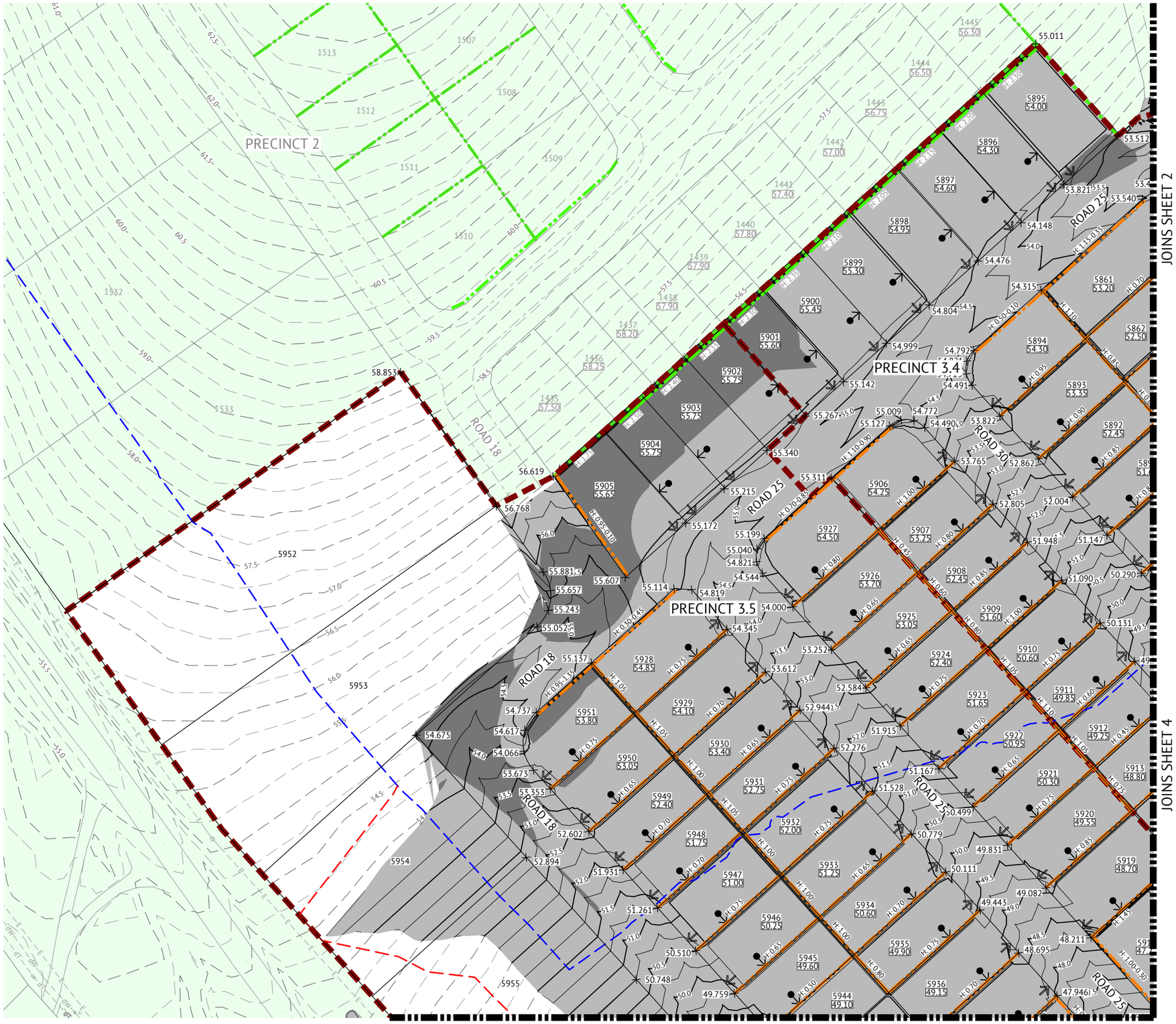

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JOB CODE: MIR-1700
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PRELIMINARY - NOT FOR CONSTRUCTION

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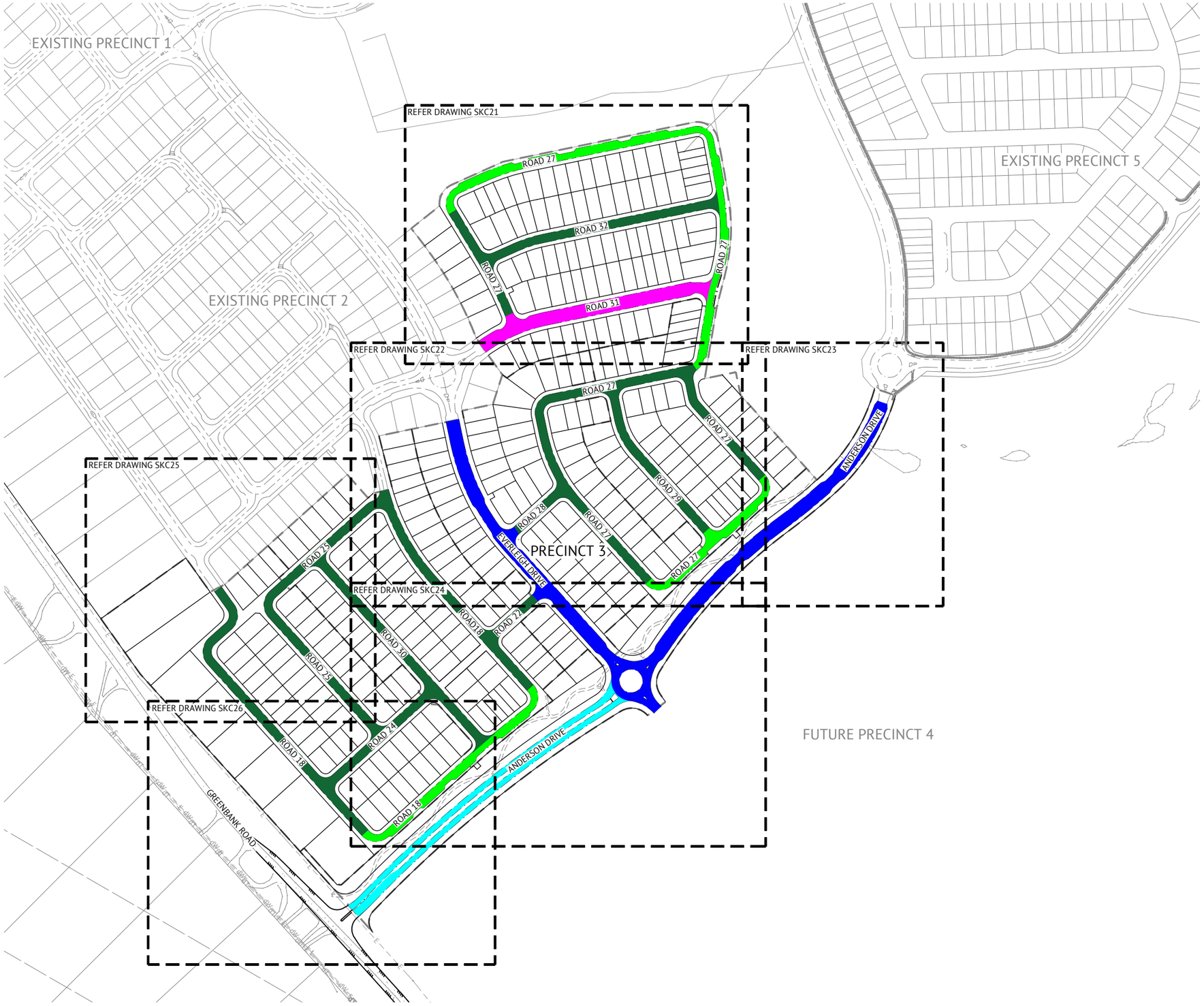
SHEET TITLE: PRELIMINARY EARTHWORKS LAYOUT PLAN - SHEET 6

JOB CODE: MIR-1700
SHEET NUMBER: SKC16
REV: 2

APPENDIX C

ROAD HEIRARCHY PLAN



LEGEND - ROAD HEIRARCHY

- NEIGHBOURHOOD CONNECTOR 1
- NEIGHBOURHOOD CONNECTOR 2
- NEIGHBOURHOOD CONNECTOR 3
- ACCESS STREET (TYPICAL)
- ACCESS STREET (PARK)

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
07/05/2026	2	ADDED EXISTING SERVICES ALONG GREENBANK ROAD	KK	PB
31/03/2026	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	PB

REVISIONS

Premise
BRISBANE OFFICE
LEVEL 11, 300 ADELAIDE STREET
BRISBANE, QLD 4000
PH: (07) 3253 2222
WEB: www.premise.com.au

DESIGNED KLYNT KIWANG
CHECKED ANDREW LANGDON
PROJECT MANAGER NICK SOMERVILLE
ENGINEERING CERTIFICATION PATRICK BRADY RPEQ 7112

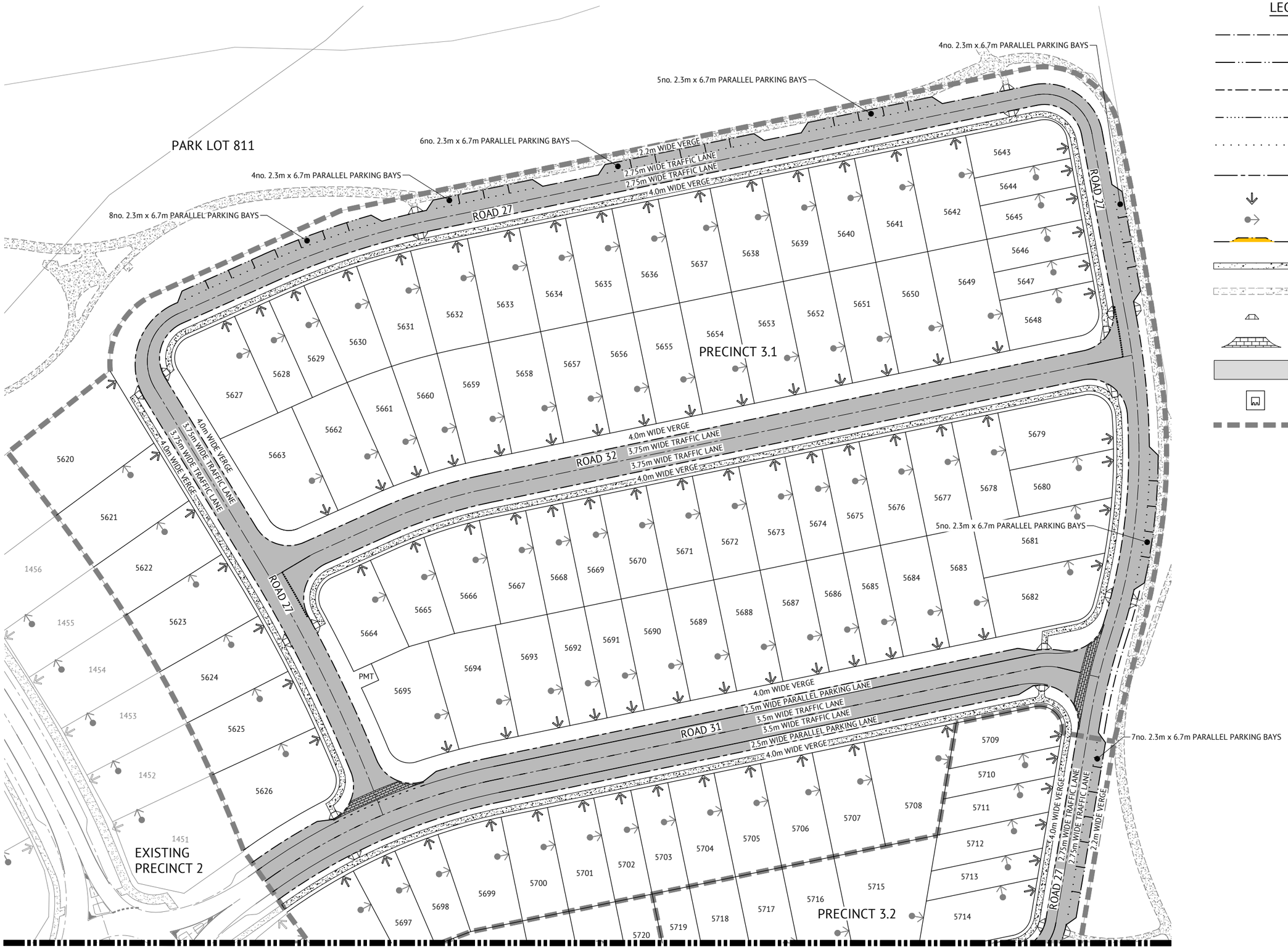
SCALE 0 50 100 150m
SCALE 1:2500 (A1)
ORIGINAL SHEET SIZE A1

CLIENT MIRVAC QUEENSLAND PTY LTD
PROJECT EVERLEIGH ROL07 SUBDIVISION DEVELOPMENT
LOCATION TEVIOT ROAD, GREENBANK
SHEET TITLE ROAD HEIRARCHY PLAN

JOB CODE MIR-1700
SHEET NUMBER SKC20
REV 2

APPENDIX D

INTERNAL ROAD FUNCTIONAL PLANS



LEGEND - PROPOSED

- PROPOSED IPWEA STD TYPE 'B1' KERB & CHANNEL. REFER IPWEA STD DWG RS-080.
- PROPOSED IPWEA STD TYPE 'B2' KERB ONLY. REFER IPWEA STD DWG RS-080.
- PROPOSED IPWEA TYPE 'M3' KERB & CHANNEL. REFER IPWEA STD DWG RS-080.
- PROPOSED IPWEA STD TYPE 'ER1' EDGE RESTRAINT. REFER IPWEA STD DWG RS-080.
- PROPOSED IPWEA INVERT. REFER IPWEA STD DWG RS-080.
- IPWEA STD TYPE 'SM5' KERB ONLY. REFER IPWEA STD DWG RS-080.
- PROPOSED FUTURE DRIVEWAY LOCATION
- ZERO LOT BOUNDARY
- PROPOSED 1.5m WIDE GREEN KERB BUILD-OUT
- PROPOSED 1.5m WIDE (U.N.O.) CONCRETE FOOTPATH.
- FOOTPATH ALIGNMENT BY LANDSCAPE
- PROPOSED KERB RAMP. REFER IPWEA STD DWG RS-090.
- PROPOSED THRESHOLD TREATMENT
- PROPOSED NEW AC PAVEMENT
- PROPOSED PMT SITE LOCATION
- PRECINCT BOUNDARY

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
07/05/2026	2	ADDED KERB RAMP	KK	PB
31/03/2026	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	PB

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Premise
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WEB: www.premise.com.au

DESIGNED: KLYNT KIWANG
CHECKED: ANDREW LANGDON
PROJECT MANAGER: NICK SOMERVILLE
ENGINEERING CERTIFICATION: PATRICK BRADY RPEQ 7112

SCALE: 0 10 20 30m — SCALE 1:500 (A1)
ORIGINAL SHEET SIZE A1

CLIENT: MIRVAC QUEENSLAND PTY LTD
PROJECT: EVERLEIGH ROL07 SUBDIVISION DEVELOPMENT
LOCATION: TEVIOT ROAD, GREENBANK
SHEET TITLE: ROAD FUNCTIONAL LAYOUT - SHEET 1

JOB CODE: MIR-1700
SHEET NUMBER: SKC21
REV: 2

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
31/03/2026	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	PB

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BRISBANE OFFICE
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BRISBANE, QLD 4000
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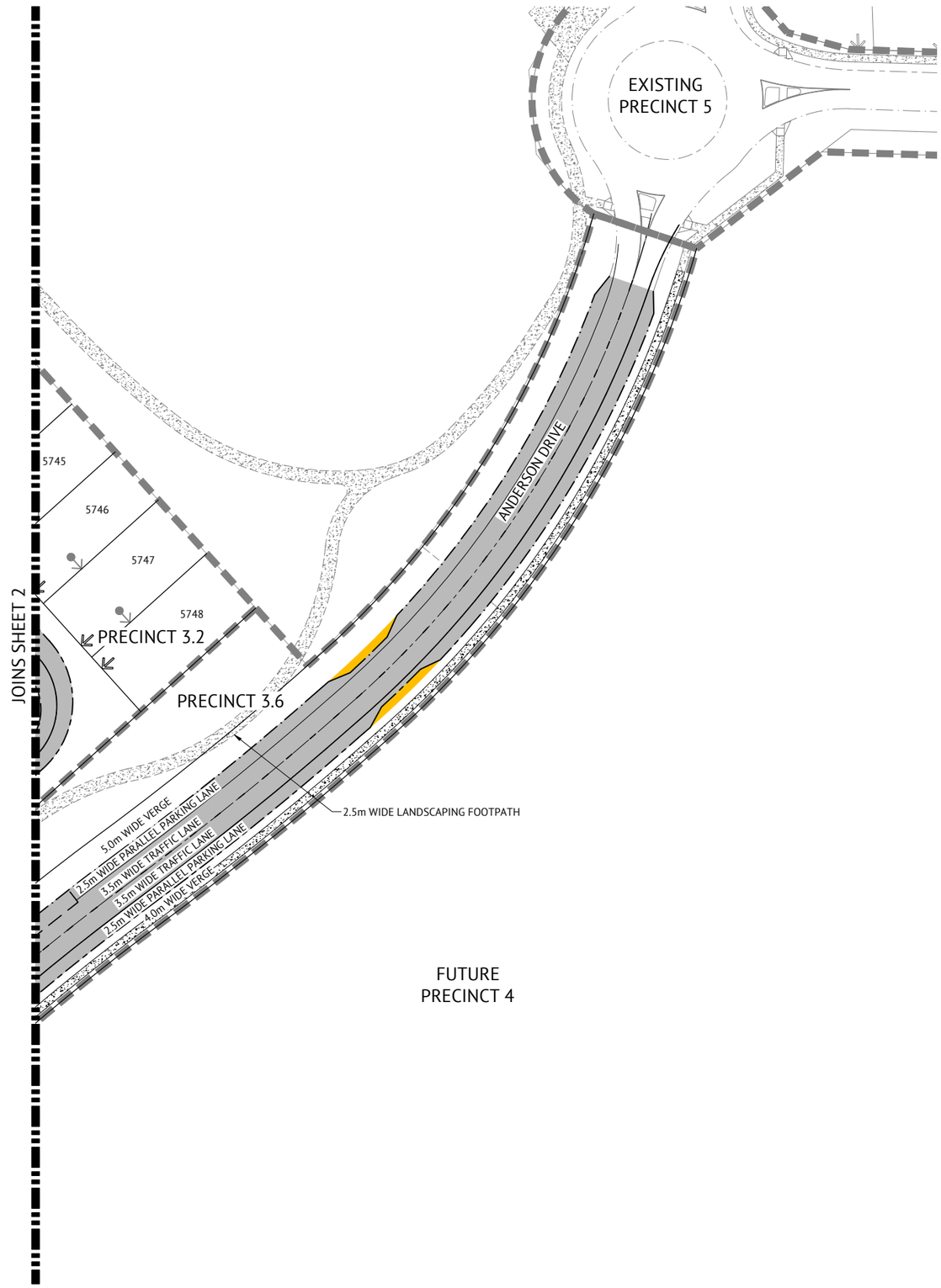
WEB: www.premise.com.au

DESIGNED: KLYNT KIWANG
CHECKED: ANDREW LANGDON
PROJECT MANAGER: NICK SOMERVILLE
ENGINEERING CERTIFICATION: PATRICK BRADY RPEQ 7112

SCALE: 0 10 20 30m
SCALE 1:500 (A1)
ORIGINAL SHEET SIZE A1

CLIENT: MIRVAC QUEENSLAND PTY LTD
PROJECT: EVERLEIGH ROL07 SUBDIVISION DEVELOPMENT
LOCATION: TEVIOT ROAD, GREENBANK
SHEET TITLE: ROAD FUNCTIONAL LAYOUT - SHEET 2

JOB CODE: MIR-1700
SHEET NUMBER: SKC22
REV: 1



NOTE:
REFER SKC21 FOR LEGEND.

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
31/03/2026	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	PB

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PH: (07) 3253 2222
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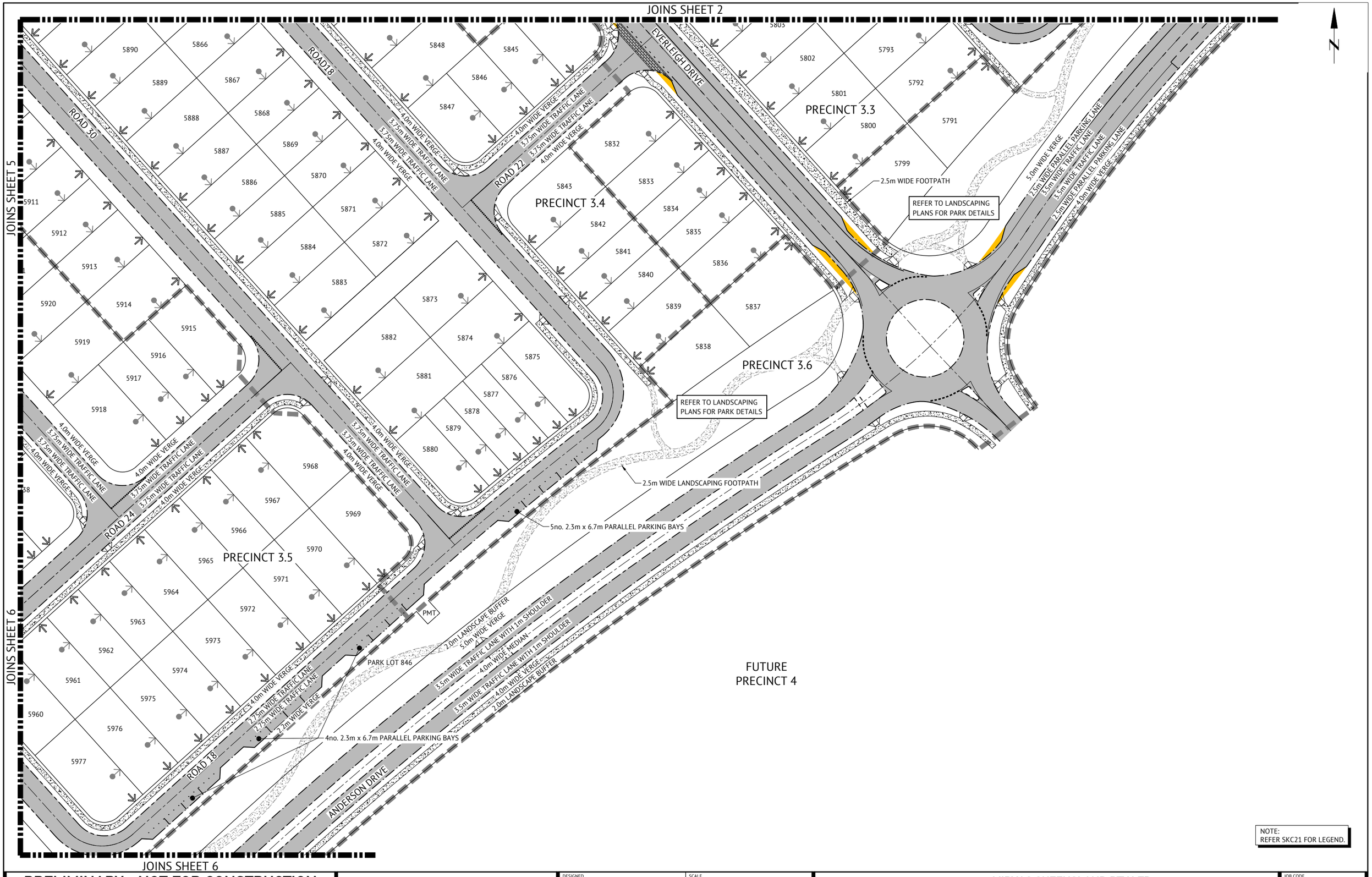
DESIGNED
KLYNT KIWANG
CHECKED
ANDREW LANGDON
PROJECT MANAGER
NICK SOMERVILLE
ENGINEERING CERTIFICATION
PATRICK BRADY RPEQ 7112

SCALE
0 10 20 30m
SCALE 1:500 (A1)
ORIGINAL SHEET SIZE A1

CLIENT: MIRVAC QUEENSLAND PTY LTD
PROJECT: EVERLEIGH ROL07 SUBDIVISION DEVELOPMENT
LOCATION: TEVIOT ROAD, GREENBANK
SHEET TITLE: ROAD FUNCTIONAL LAYOUT - SHEET 3

JOB CODE: MIR-1700
SHEET NUMBER: SKC23
REV: 1



NOTE:
REFER SKC21 FOR LEGEND.

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
31/03/2026	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	PB

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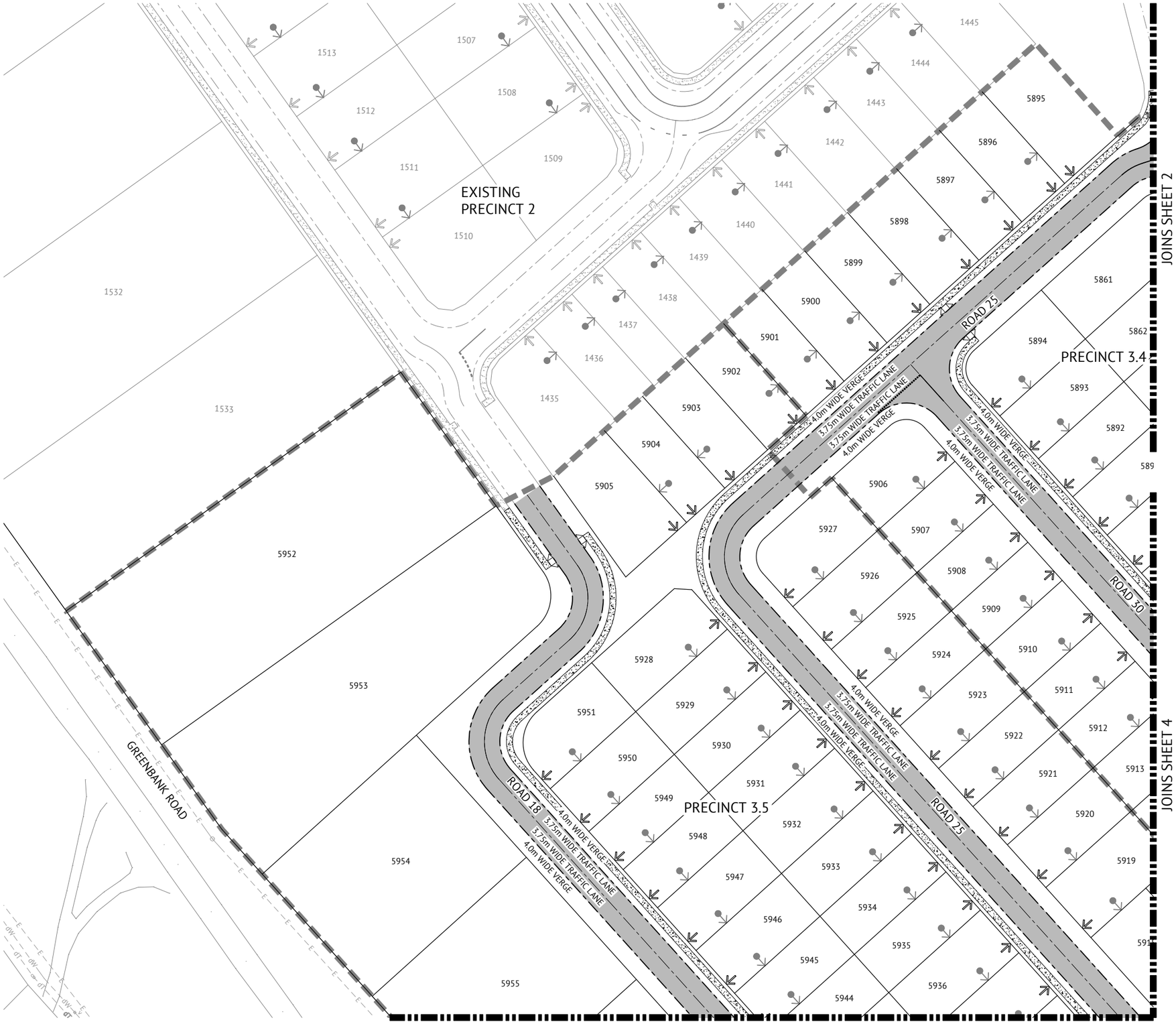
DESIGNED: KLYNT KIWANG
CHECKED: ANDREW LANGDON
PROJECT MANAGER: NICK SOMERVILLE
ENGINEERING CERTIFICATION: PATRICK BRADY RPEQ 7112

SCALE: 0 10 20 30m
SCALE 1:500 (A1)
ORIGINAL SHEET SIZE A1

CLIENT: MIRVAC QUEENSLAND PTY LTD
PROJECT: EVERLEIGH ROL07 SUBDIVISION DEVELOPMENT
LOCATION: TEVIOT ROAD, GREENBANK
SHEET TITLE: ROAD FUNCTIONAL LAYOUT - SHEET 4

JOB CODE: MIR-1700
SHEET NUMBER: SKC24
REV: 1



NOTE:
REFER SKC21 FOR LEGEND.

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
07/05/2026	2	ADDED EXISTING SERVICES ALONG GREENBANK ROAD	KK	PB
31/03/2026	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	PB

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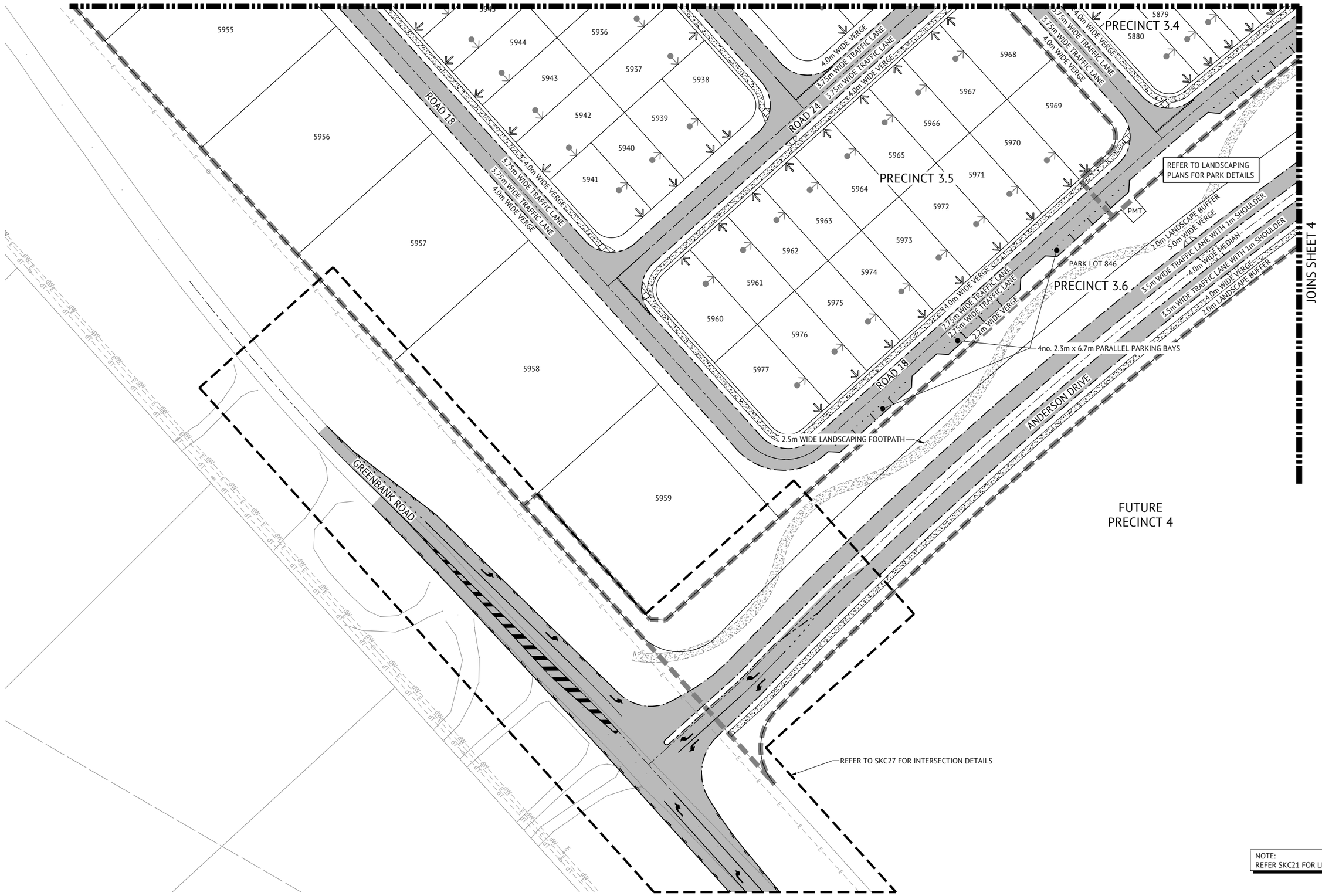
CHECKED: ANDREW LANGDON
PROJECT MANAGER: NICK SOMERVILLE
ENGINEERING CERTIFICATION: PATRICK BRADY RPEQ 7112

SCALE: 0 10 20 30m
SCALE 1:500 (A1)
ORIGINAL SHEET SIZE A1

CLIENT: MIRVAC QUEENSLAND PTY LTD
PROJECT: EVERLEIGH ROL07 SUBDIVISION DEVELOPMENT
LOCATION: TEVIOT ROAD, GREENBANK
SHEET TITLE: ROAD FUNCTIONAL LAYOUT - SHEET 5

JOB CODE: MIR-1700
SHEET NUMBER: SKC25
REV: 2



NOTE:
REFER SKC21 FOR LEGEND.

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
07/05/2026	2	ADDED EXISTING SERVICES ALONG GREENBANK ROAD	KK	PB
31/03/2026	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	PB

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BRISBANE, QLD 4000
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DESIGNED: KLYNT KIWANG
CHECKED: ANDREW LANGDON
PROJECT MANAGER: NICK SOMERVILLE
ENGINEERING CERTIFICATION: PATRICK BRADY RPEQ 7112

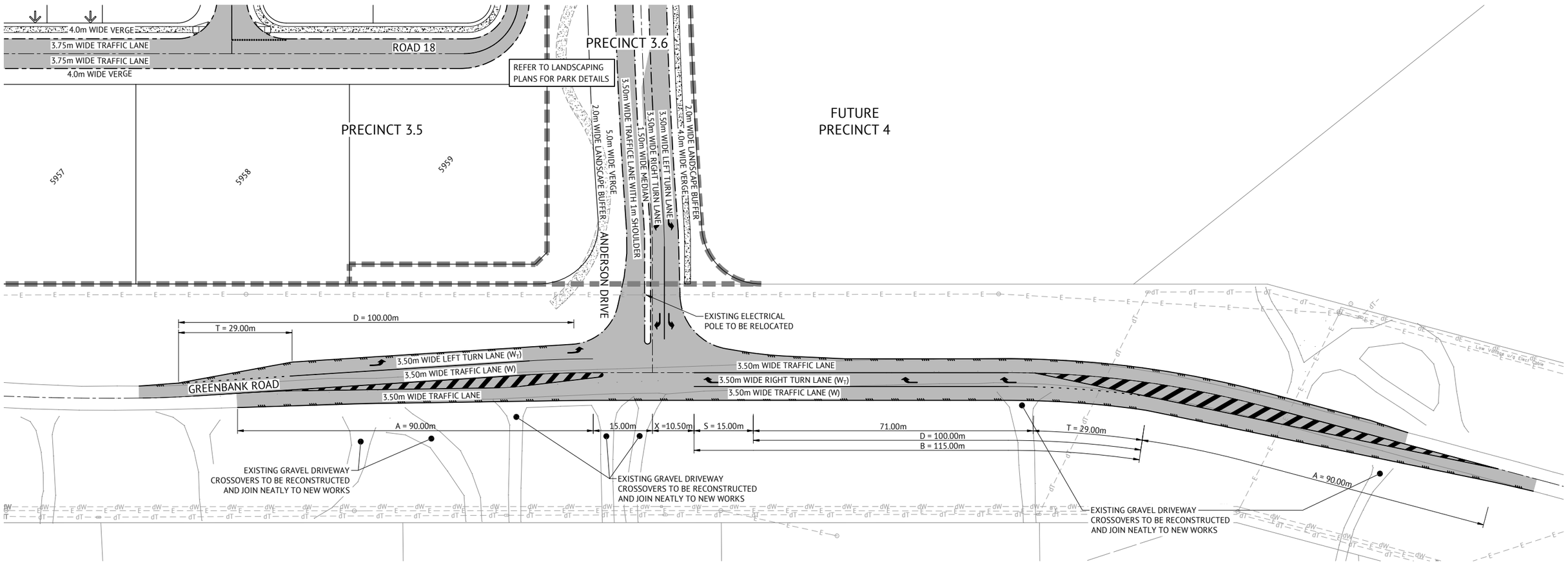
SCALE: 0 10 20 30m
SCALE 1:500 (A1)
ORIGINAL SHEET SIZE A1

CLIENT: MIRVAC QUEENSLAND PTY LTD
PROJECT: EVERLEIGH ROL07 SUBDIVISION DEVELOPMENT
LOCATION: TEVIOT ROAD, GREENBANK
SHEET TITLE: ROAD FUNCTIONAL LAYOUT - SHEET 6

JOB CODE: MIR-1700
SHEET NUMBER: SKC26
REV: 2

AUXILIARY LEFT-TURN (AUL) DIMENSIONS	
W (THROUGH LANE WIDTH)	3.50m
W_T (TURN LANE WIDTH)	3.50m
D (DIVERGE LANE)	100.00m
T (TAPER LENGTH)	29.00m
V (DESIGN SPEED)	90km/h
ROAD SIGN SPEED	80km/h

CHANNELISED RIGHT-TURN (CHR) DIMENSIONS	
W (THROUGH LANE WIDTH)	3.50m
W_T (TURN LANE WIDTH)	3.50m
B (TOTAL LENGTH OF STORAGE, DIVERGE LANE AND TAPER LENGTH)	115.00m
D (DIVERGE LANE)	100.00m
T (TAPER LENGTH)	29.00m
S (STORAGE LENGTH)	15.00m
X	10.50m
A (LATERAL MOVEMENT LENGTH)	90.00m
V (DESIGN SPEED)	90km/h
ROAD SIGN SPEED	80km/h



NOTES:
1. REFER SKC21 FOR LEGEND.
2. FINAL GREENBANK ROAD PAVEMENT EXTENTS (WIDENING/OVERLAY ETC) TO BE DETERMINED DURING DETAILED DESIGN.

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
07/05/2026	2	ADDED EXISTING SERVICES ALONG GREENBANK ROAD	KK	PB
31/03/2026	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	PB

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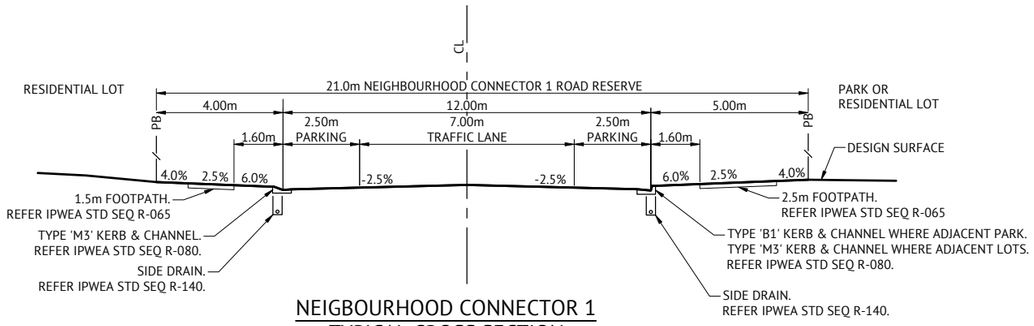
DESIGNED: KLYNT KIWANG
CHECKED: ANDREW LANGDON
PROJECT MANAGER: NICK SOMERVILLE
ENGINEERING CERTIFICATION: PATRICK BRADY RPEQ 7112

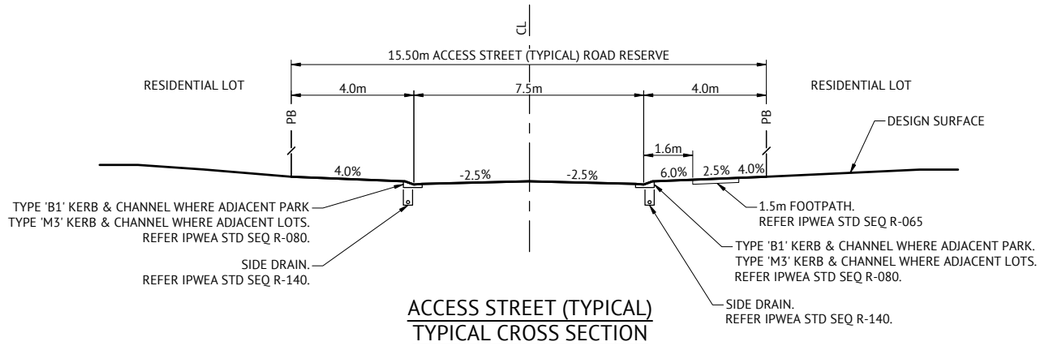
SCALE: 0 10 20 30m
SCALE 1:500 (A1)
ORIGINAL SHEET SIZE A1

CLIENT: MIRVAC QUEENSLAND PTY LTD
PROJECT: EVERLEIGH ROL07 SUBDIVISION DEVELOPMENT
LOCATION: TEVIOT ROAD, GREENBANK
SHEET TITLE: GREENBANK ROAD AND ANDERSON DRIVE INTERSECTION

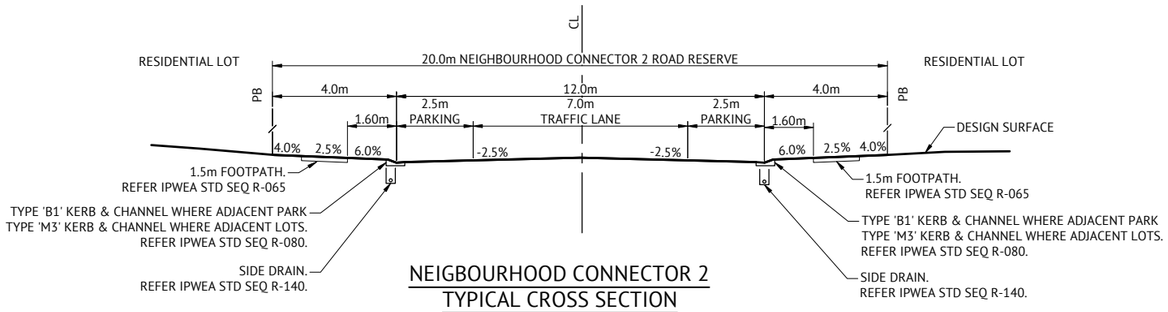
JOB CODE: MIR-1700
SHEET NUMBER: SKC27
REV: 2



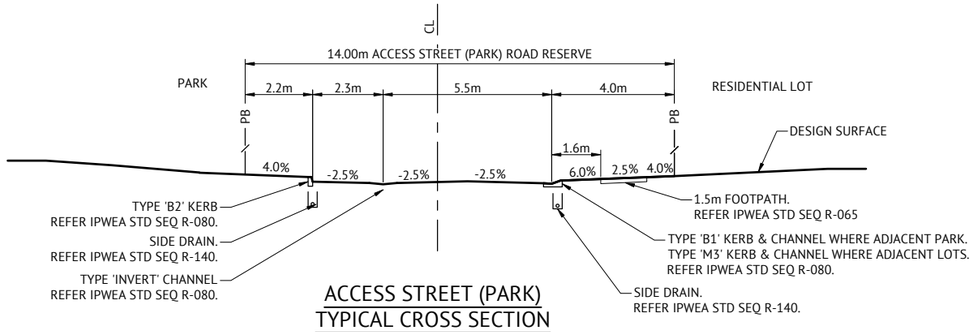
NEIGBOURHOOD CONNECTOR 1
TYPICAL CROSS SECTION



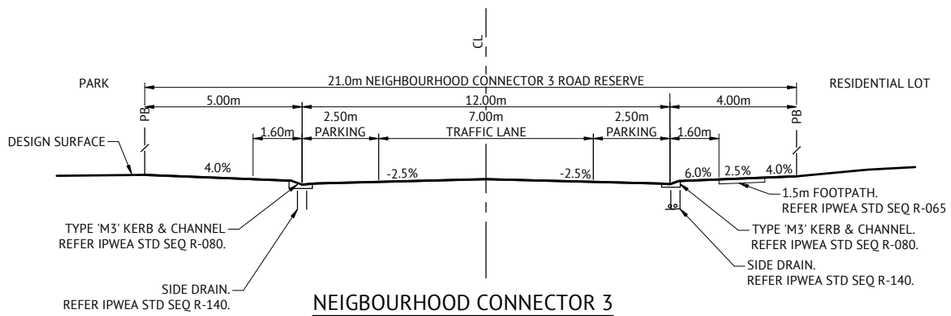
ACCESS STREET (TYPICAL)
TYPICAL CROSS SECTION



NEIGBOURHOOD CONNECTOR 2
TYPICAL CROSS SECTION



ACCESS STREET (PARK)
TYPICAL CROSS SECTION



NEIGBOURHOOD CONNECTOR 3
TYPICAL CROSS SECTION

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
31/03/2026	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	PB

REVISIONS

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DESIGNED KLYNT KIWANG
CHECKED ANDREW LANGDON
PROJECT MANAGER NICK SOMERVILLE
ENGINEERING CERTIFICATION
PATRICK BRADY RPEQ 7112

SCALE
0 2 4 6m
SCALE 1:100 (A1)
ORIGINAL SHEET SIZE A1

CLIENT MIRVAC QUEENSLAND PTY LTD
PROJECT EVERLEIGH ROL07 SUBDIVISION DEVELOPMENT
LOCATION TEVIOT ROAD, GREENBANK
SHEET TITLE TYPICAL ROAD CROSS SECTIONS

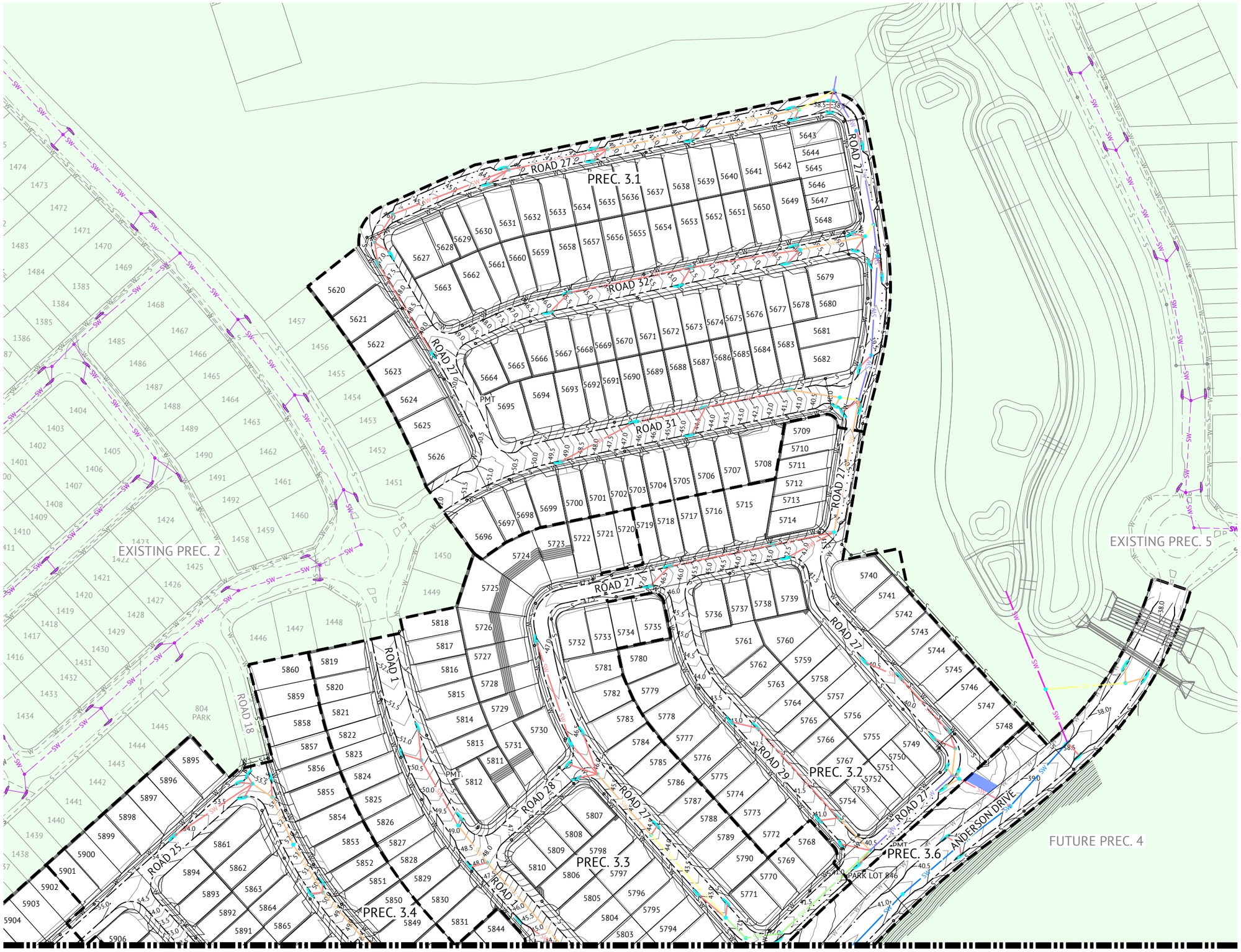
JOB CODE MIR-1700
SHEET NUMBER SKC28
REV 1

APPENDIX E

TRAFFIC IMPACT ASSESSMENT (Supplied in separate document)

APPENDIX F

PRELIMINARY STORMWATER DRAINAGE PLANS



LEGEND - PROPOSED

- DN375 STORMWATER
- DN450 STORMWATER
- DN525 STORMWATER
- DN600 STORMWATER
- DN750 STORMWATER
- DN1050 STORMWATER
- DN1200 STORMWATER
- DN1350 STORMWATER
- DN1500 STORMWATER
- DN1650 STORMWATER
- DN1800 STORMWATER
- DN2100 STORMWATER
- OVERLAND FLOW PATH
- 12.0 — FINISHED CONTOURS (0.50m)
- PROPOSED IPWEA STD TYPE 'B1' KERB & CHANNEL. REFER IPWEA STD DWG RS-080.
- PROPOSED IPWEA STD TYPE 'B2' KERB ONLY. REFER IPWEA STD DWG RS-080.
- PROPOSED IPWEA TYPE 'M3' KERB & CHANNEL. REFER IPWEA STD DWG RS-080.
- PROPOSED IPWEA STD TYPE 'ER1' EDGE RESTRAINT. REFER IPWEA STD DWG RS-080.
- PROPOSED IPWEA INVERT. REFER IPWEA STD DWG RS-080.
- IPWEA STD TYPE 'SM5' KERB ONLY. REFER IPWEA STD DWG RS-080.
- S — GRAVITY SEWER
- RM — SEWER RISING MAIN
- W — WATER
- PRECINCT BOUNDARY

LEGEND - EXISTING

- SW — STORMWATER
- S — GRAVITY SEWER
- RM — SEWER RISING MAIN
- W — WATER
- E — ELECTRICAL
- T — TELSTRA
- G — GAS
- dW — WATER (DBYD)
- dG — GAS (DBYD)

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
07/05/2026	2	AMENDED EXISTING AND PROPOSED SERVICES	KK	PB
31/03/2026	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	PB

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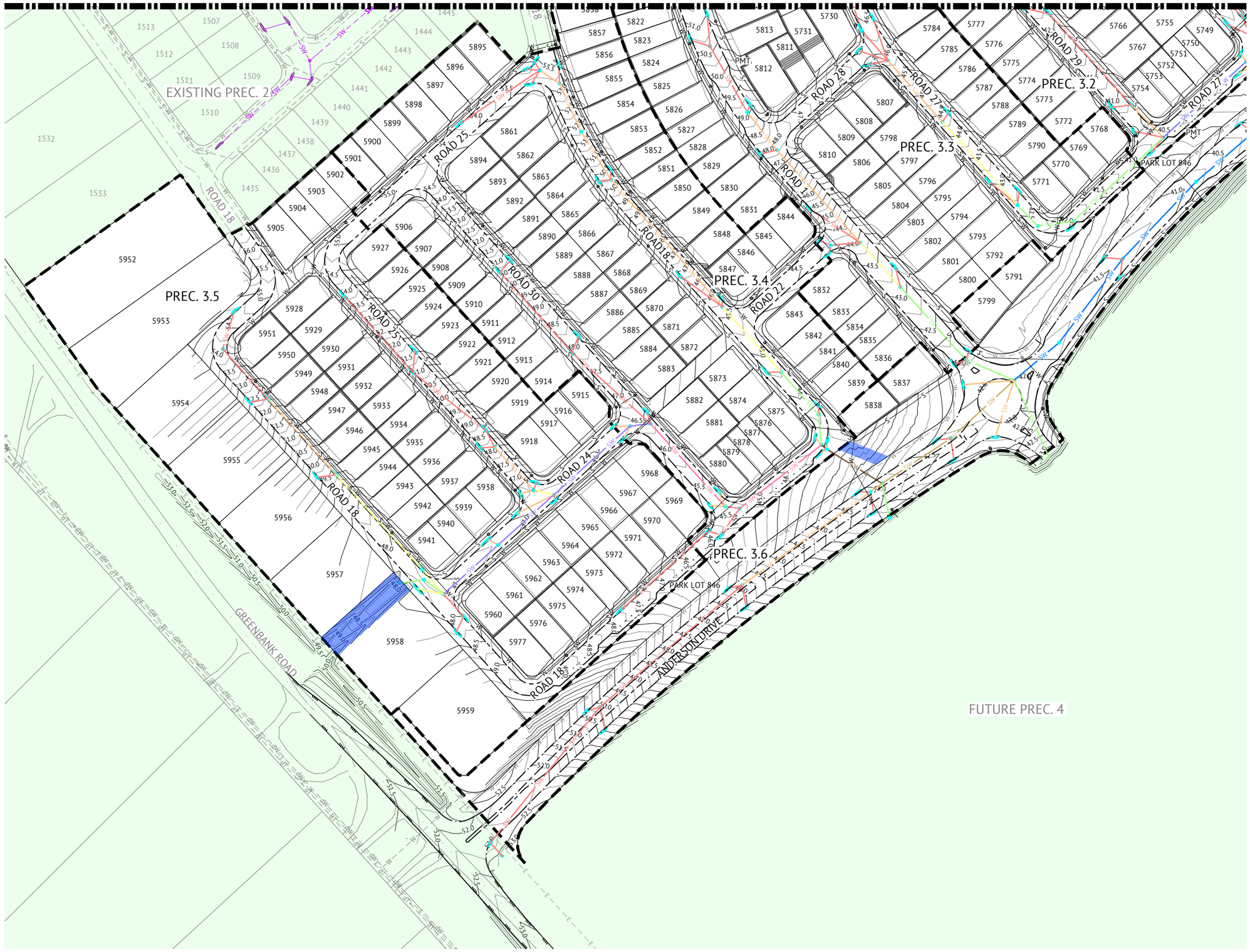
DESIGNED: KLYNT KIWANG
CHECKED: ANDREW LANGDON
PROJECT MANAGER: NICK SOMERVILLE
ENGINEERING CERTIFICATION: PATRICK BRADY RPEQ 7112

SCALE: 0 20 40 60m — SCALE 1:1000 (A1)
ORIGINAL SHEET SIZE A1

CLIENT: MIRVAC QUEENSLAND PTY LTD
PROJECT: EVERLEIGH ROL07 SUBDIVISION DEVELOPMENT
LOCATION: TEVIOT ROAD, GREENBANK
SHEET TITLE: PRELIMINARY STORMWATER LAYOUT PLAN - SHEET 1

JOB CODE: MIR-1700
SHEET NUMBER: SKC40
REV: 2

JOINS SHEET 1



LEGEND - PROPOSED

- DN375 STORMWATER
- DN450 STORMWATER
- DN525 STORMWATER
- DN600 STORMWATER
- DN750 STORMWATER
- DN1050 STORMWATER
- DN1200 STORMWATER
- DN1350 STORMWATER
- DN1500 STORMWATER
- DN1650 STORMWATER
- DN1800 STORMWATER
- DN2100 STORMWATER
- OVERLAND FLOW PATH
- 12.0 — FINISHED CONTOURS (0.50m)
- PROPOSED IPWEA STD TYPE 'B1' KERB & CHANNEL. REFER IPWEA STD DWG RS-080.
- PROPOSED IPWEA STD TYPE 'B2' KERB ONLY. REFER IPWEA STD DWG RS-080.
- PROPOSED IPWEA TYPE 'M3' KERB & CHANNEL. REFER IPWEA STD DWG RS-080.
- PROPOSED IPWEA STD TYPE 'ER1' EDGE RESTRAINT. REFER IPWEA STD DWG RS-080.
- PROPOSED IPWEA INVERT. REFER IPWEA STD DWG RS-080.
- IPWEA STD TYPE 'SM5' KERB ONLY. REFER IPWEA STD DWG RS-080.
- S — GRAVITY SEWER
- RM — SEWER RISING MAIN
- W — WATER
- PRECINCT BOUNDARY

LEGEND - EXISTING

- SW — STORMWATER
- S — GRAVITY SEWER
- RM — SEWER RISING MAIN
- W — WATER
- E — ELECTRICAL
- T — TELSTRA
- G — GAS
- dW — WATER (DBYD)
- dG — GAS (DBYD)

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
07/05/2026	2	AMENDED EXISTING AND PROPOSED SERVICES	KK	PB
31/03/2026	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	PB

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CHECKED: ANDREW LANGDON
PROJECT MANAGER: NICK SOMERVILLE
ENGINEERING CERTIFICATION: PATRICK BRADY RPEQ 7112

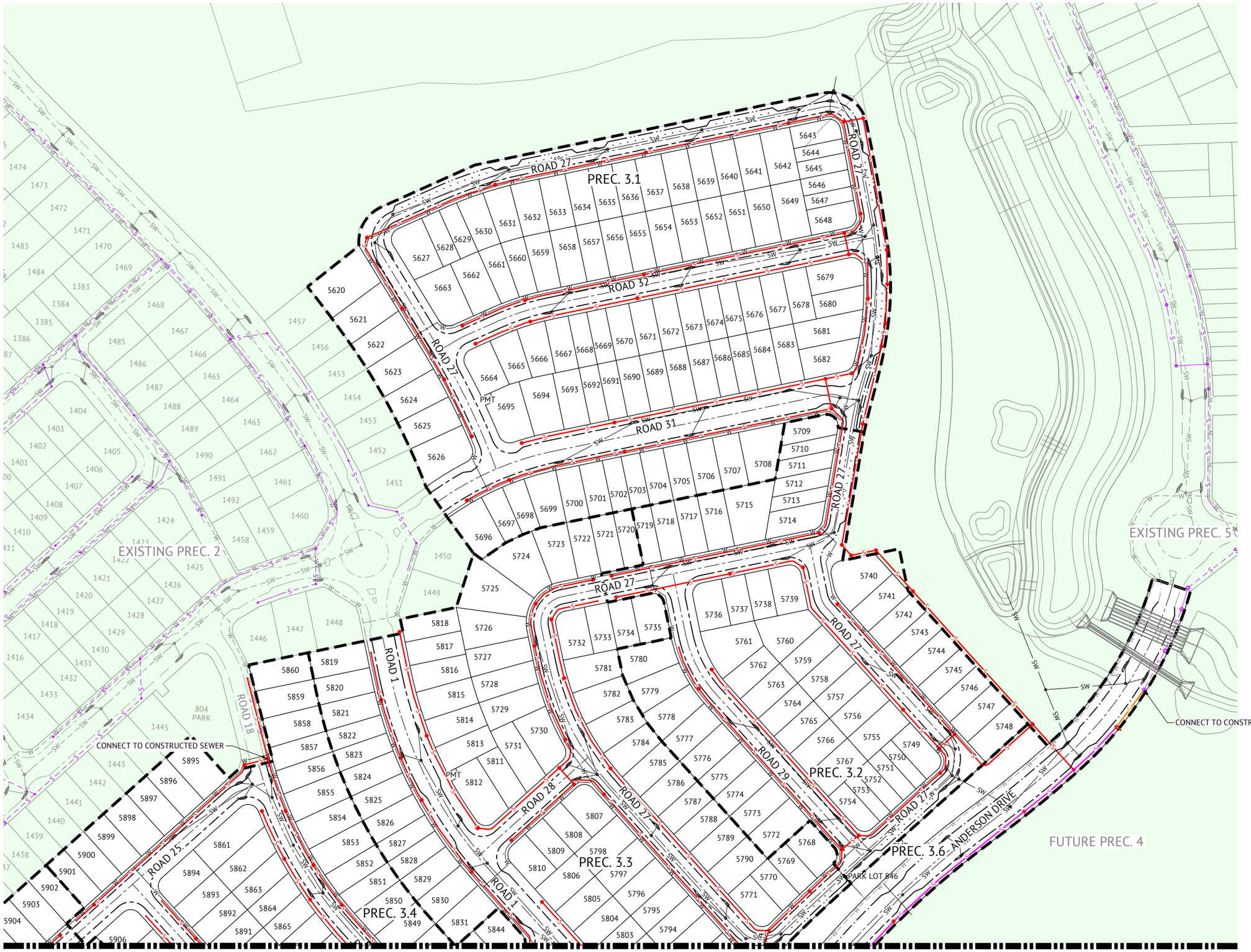
SCALE: 0 20 40 60m — SCALE 1:1000 (A1)
ORIGINAL SHEET SIZE A1

CLIENT: MIRVAC QUEENSLAND PTY LTD
PROJECT: EVERLEIGH ROL07 SUBDIVISION DEVELOPMENT
LOCATION: TEVIOT ROAD, GREENBANK
SHEET TITLE: PRELIMINARY STORMWATER LAYOUT PLAN - SHEET 2

JOB CODE: MIR-1700
SHEET NUMBER: SKC41
REV: 2

APPENDIX G

PRELIMINARY SEWER RETICULATION PLANS



LEGEND - PROPOSED

- DN150 PVC GRAVITY SEWER
- DN225 PVC GRAVITY SEWER
- DN300 PVC GRAVITY SEWER
- MAINTENANCE STRUCTURE
- STORMWATER DRAINAGE
- DRINKING WATER MAIN
- PRECINCT BOUNDARY

LEGEND - EXISTING

- GRAVITY SEWER
- SEWER RISING MAIN
- STORMWATER DRAINAGE
- WATER
- ELECTRICAL
- TELSTRA
- GAS
- WATER (DBYD)
- GAS (DBYD)

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
07/05/2026	2	AMENDED EXISTING AND PROPOSED SERVICES	KK	PB
31/03/2026	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	PB

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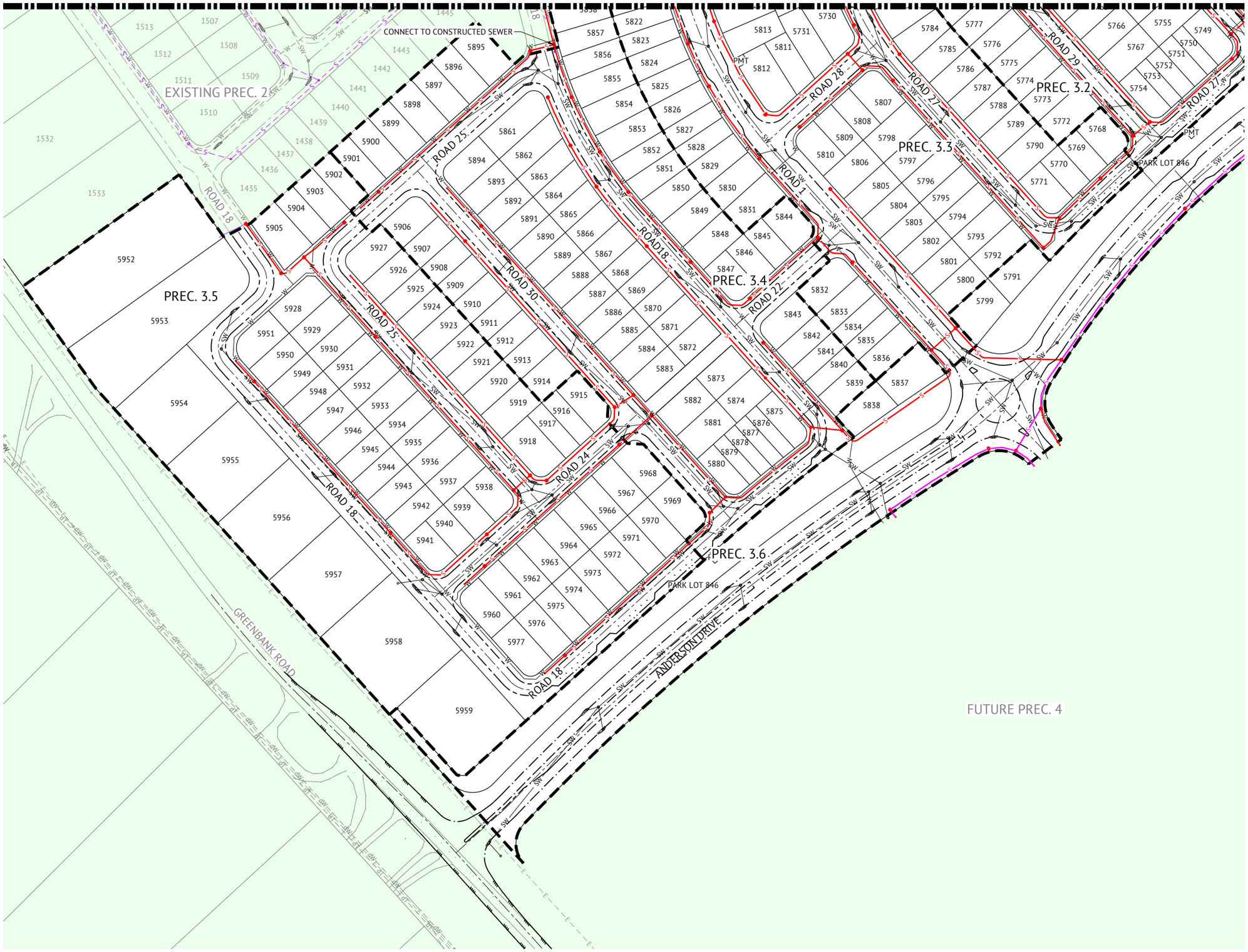
CHECKED: ANDREW LANGDON
PROJECT MANAGER: NICK SOMERVILLE
ENGINEERING CERTIFICATION: PATRICK BRADY RPEQ 7112

SCALE: 0 20 40 60m
SCALE 1:1000 (A1)
ORIGINAL SHEET SIZE A1

CLIENT: MIRVAC QUEENSLAND PTY LTD
PROJECT: EVERLEIGH ROL07 SUBDIVISION DEVELOPMENT
LOCATION: TEVIOT ROAD, GREENBANK
SHEET TITLE: PRELIMINARY SEWER LAYOUT PLAN - SHEET 1

JOB CODE: MIR-1700
SHEET NUMBER: SKC50
REV: 2

JOINS SHEET 1



LEGEND - PROPOSED

- DN150 PVC GRAVITY SEWER
- DN225 PVC GRAVITY SEWER
- DN300 PVC GRAVITY SEWER
- MAINTENANCE STRUCTURE
- STORMWATER DRAINAGE
- DRINKING WATER MAIN
- PRECINCT BOUNDARY

LEGEND - EXISTING

- GRAVITY SEWER
- SEWER RISING MAIN
- STORMWATER DRAINAGE
- WATER
- ELECTRICAL
- TELSTRA
- GAS
- WATER (DBYD)
- GAS (DBYD)

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
07/05/2026	2	AMENDED EXISTING AND PROPOSED SERVICES	KK	PB
31/03/2026	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	PB

REVISIONS

Premise
PART OF THE Amey GROUP
BRISBANE OFFICE
LEVEL 11, 300 ADELAIDE STREET
BRISBANE, QLD 4000
PH: (07) 3253 2222
WEB: www.premise.com.au

DESIGNED KLYNT KIWANG
CHECKED ANDREW LANGDON
PROJECT MANAGER NICK SOMERVILLE
ENGINEERING CERTIFICATION PATRICK BRADY RPEQ 7112

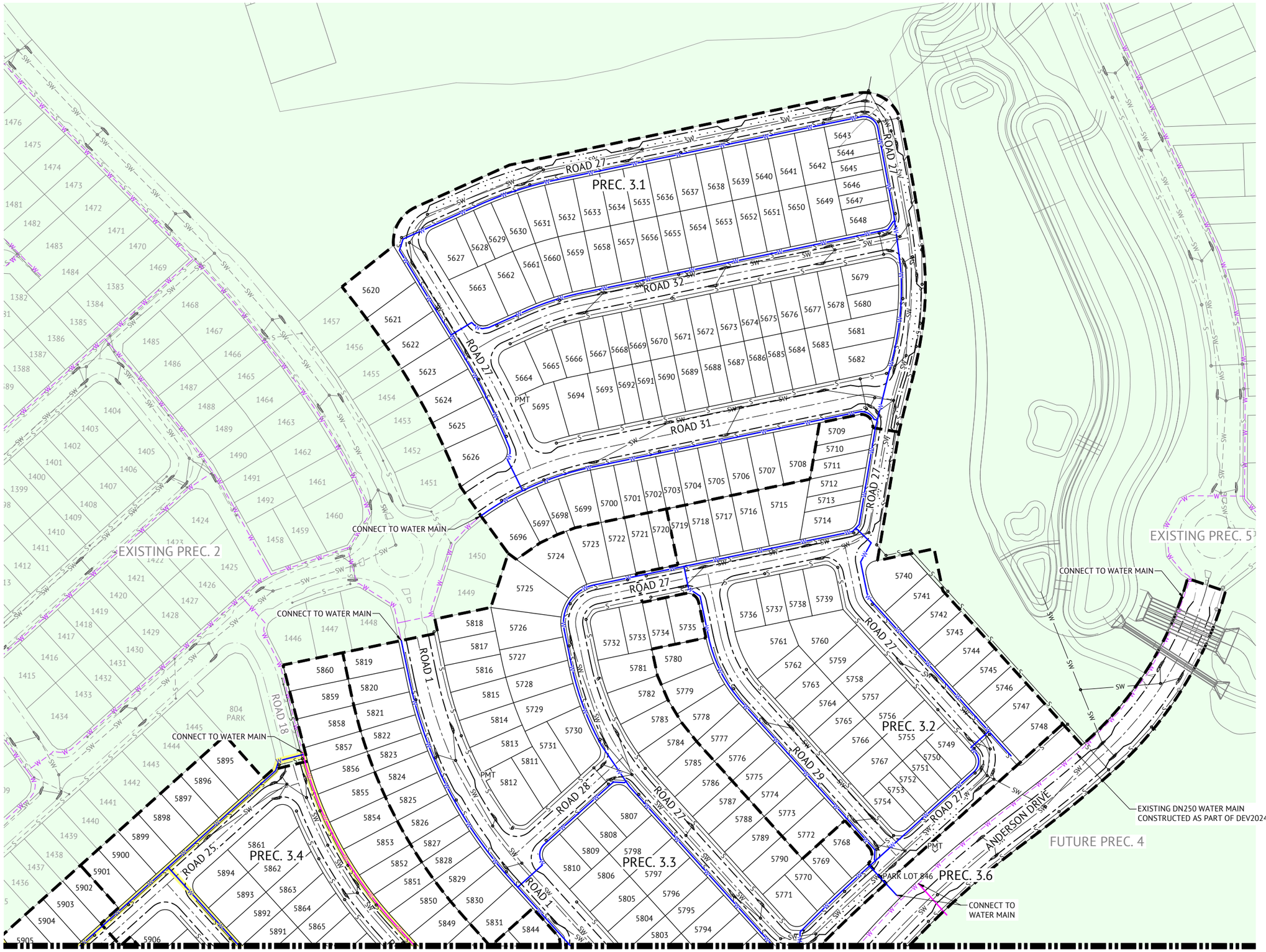
SCALE 0 20 40 60m
SCALE 1:1000 (A1)
ORIGINAL SHEET SIZE A1

CLIENT MIRVAC QUEENSLAND PTY LTD
PROJECT EVERLEIGH ROL07 SUBDIVISION DEVELOPMENT
LOCATION TEVIOT ROAD, GREENBANK
SHEET TITLE PRELIMINARY SEWER LAYOUT PLAN - SHEET 2

JOB CODE MIR-1700
SHEET NUMBER SKC51
REV 2

APPENDIX H

PRELIMINARY WATER RETICULATION PLANS



JOINS SHEET 2

LEGEND - PROPOSED

- DN100 WATER MAIN
- DN150 WATER MAIN
- DN250 WATER MAIN
- HIGH LEVEL ZONE
- STORMWATER
- GRAVITY SEWER
- SEWER RISING MAIN
- PRECINCT BOUNDARY

LEGEND - EXISTING

- WATER
- WATER (DBYD)
- STORMWATER
- GRAVITY SEWER
- SEWER RISING MAIN
- ELECTRICAL
- TELSTRA
- GAS
- GAS (DBYD)

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
07/05/2026	2	AMENDED EXISTING AND PROPOSED SERVICES	KK	PB
31/03/2026	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	PB

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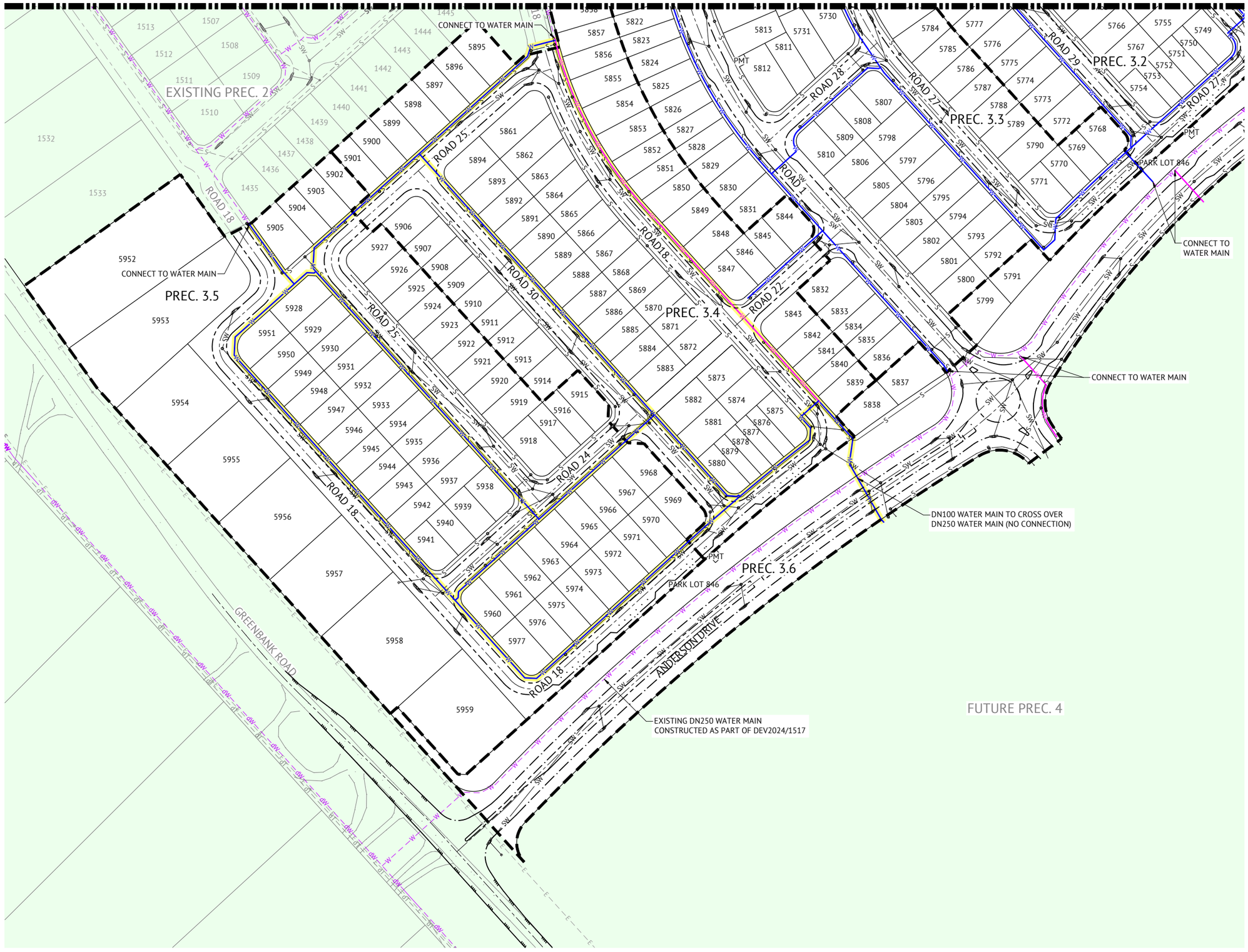
CHECKED ANDREW LANGDON
PROJECT MANAGER NICK SOMERVILLE
ENGINEERING CERTIFICATION PATRICK BRADY RPEQ 7112

SCALE 0 20 40 60m
SCALE 1:1000 (A1)
ORIGINAL SHEET SIZE A1

CLIENT MIRVAC QUEENSLAND PTY LTD
PROJECT EVERLEIGH ROL07 SUBDIVISION DEVELOPMENT
LOCATION TEVIOT ROAD, GREENBANK
SHEET TITLE PRELIMINARY WATER LAYOUT PLAN - SHEET 1

JOB CODE MIR-1700
SHEET NUMBER SKC60
REV 2

JOINS SHEET 1



LEGEND - PROPOSED

- DN100 WATER MAIN
- DN150 WATER MAIN
- DN250 WATER MAIN
- HIGH LEVEL ZONE
- STORMWATER
- GRAVITY SEWER
- SEWER RISING MAIN
- PRECINCT BOUNDARY

LEGEND - EXISTING

- WATER
- WATER (DBYD)
- STORMWATER
- GRAVITY SEWER
- SEWER RISING MAIN
- ELECTRICAL
- TELSTRA
- GAS
- GAS (DBYD)

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
07/05/2026	2	AMENDED EXISTING AND PROPOSED SERVICES	KK	PB
31/03/2026	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	PB

REVISIONS

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PART OF THE Amey GROUP

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BRISBANE, QLD 4000
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DESIGNED: KLYNT KIWANG
CHECKED: ANDREW LANGDON
PROJECT MANAGER: NICK SOMERVILLE
ENGINEERING CERTIFICATION: PATRICK BRADY RPEQ 7112

SCALE: 0 20 40 60m
SCALE 1:1000 (A1)
ORIGINAL SHEET SIZE A1

CLIENT: MIRVAC QUEENSLAND PTY LTD
PROJECT: EVERLEIGH ROL07 SUBDIVISION DEVELOPMENT
LOCATION: TEVIOT ROAD, GREENBANK
SHEET TITLE: PRELIMINARY WATER LAYOUT PLAN - SHEET 2

JOB CODE: MIR-1700
SHEET NUMBER: SKC61
REV: 2

APPENDIX I

ELECTRICAL MASTER PLAN

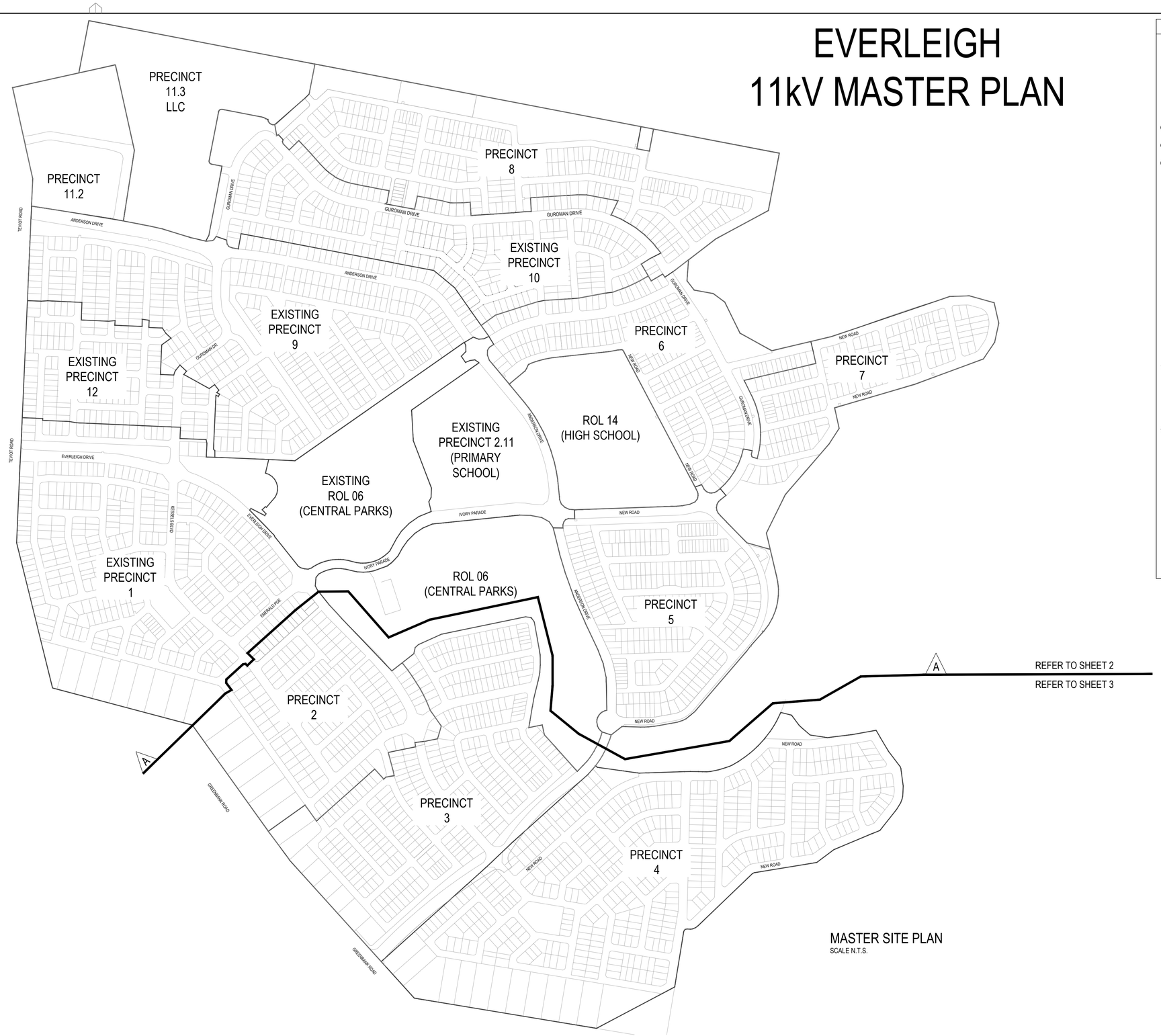
EVERLEIGH
11kV MASTER PLAN

ASSOCIATED ENERGEX PROJECTS

PRECINCT 1.1 EARLY WORKS #1 - S0105979 / C370
PRECINCT 1.1 EARLY WORKS #2 - S0106101 / C493
PRECINCT 1.1 - S0105907 / C295
PRECINCT 1.2 - S0105907 / C296
PRECINCT 1.3 - S0105908 / C297
PRECINCT 8.1 - S0107848 / F209
PRECINCT 8.2 & 8.4A - S0107849 / F210
PRECINCT 8.3, 8.4B & 8.4C - S0107850 / F211
PRECINCT 8.4 & 8.4E - S0107851 / F212
PRECINCT 9.1 - S0107215 / D597
PRECINCT 9.2 - S0107216 / D598
PRECINCT 9.5 - S0107219 / D601
PRECINCT 9.7 - S0107221 / D603
PRECINCT 10.1 - S0107682 / F051
PRECINCT 10.3 - S0107684 / F053
PRECINCT 10.4 - S0107808 / F169
PRECINCT 10.4 PUMPING STATION - S0107809 / F170
PRECINCT 10.5 - S0107836 / F197
PRECINCT 12.1 - S0107011 / D393
PRECINCT 12.3 - S0107013 / D395
CENTRAL PARKS - S0108065 / F406
TEVIOT RD 11kV TIE - S0107852 / F213
ANDERSON DR 11kV TIE - S0108000 / F345

PRECINCT SEQUENCING

PRECINCT 8 + PRECINCT 11.2
PRECINCT 6.5
PRECINCT 5.1A + 5.1B (HEMBROWS DNC)
PRECINCT 7 (HEMBROWS DNC)
PRECINCT 6 (HEMBROWS DNC)
PRECINCT 5
PRECINCT 2
PRECINCT 3
PRECINCT 4
PRECINCT 11.3 - CTS DEVELOPMENT (BY OTHERS)



MASTER SITE PLAN
SCALE N.T.S.

LEGEND: ELECTRICAL

- EXISTING UNDERGROUND CABLE / CONDUIT
- PROPOSED UNDERGROUND CABLE / CONDUIT
- FUTURE UNDERGROUND CABLE / CONDUIT
- END OF CONDUIT POINT / CONDUIT CAP
- BORED CONDUIT
- STATION NUMBERS
- PADMOUNT TRANSFORMER, EXISTING / PROPOSED / FUTURE
- RING MAIN UNIT, EXISTING / PROPOSED / FUTURE
- POLE TRANSFORMER, EXISTING / PROPOSED / FUTURE
- CABLE FAULT INDICATOR
- SERVICE PILLAR, EXISTING / PROPOSED / FUTURE
- LINK PILLAR, EXISTING / PROPOSED / FUTURE
- C&I PILLAR, EXISTING / PROPOSED / FUTURE
- LV LINKS (OPEN), EXISTING / PROPOSED / FUTURE
- LV LINKS (CLOSED), EXISTING / PROPOSED / FUTURE
- EXISTING OVERHEAD ELECTRICITY MAINS
- PROPOSED OVERHEAD ELECTRICITY MAINS
- FUTURE OVERHEAD ELECTRICITY MAINS
- HV POLE, EXISTING / PROPOSED / FUTURE
- HV + LV POLE, EXISTING / PROPOSED / FUTURE
- LV POLE, EXISTING / PROPOSED / FUTURE
- EARTH, EXISTING / PROPOSED / FUTURE
- STREET LIGHT, EXISTING / PROPOSED / FUTURE
- EXISTING RATE 3 STREETLIGHT CABLE
- PROPOSED RATE 3 STREETLIGHT CABLE
- FUTURE RATE 3 STREETLIGHT CABLE
- RATE 3 STREET LIGHT, EXISTING / PROPOSED / FUTURE
- RATE 3 SWITCHBOARD, EXISTING / PROPOSED
- EXISTING CONSUMERS UNDERGROUND CABLE
- PROPOSED CONSUMERS UNDERGROUND CABLE
- TO BE RECOVERED
- CABLE, EXISTING / PROPOSED
- 32 - 50mm HD CONDUIT
- 80/100mm LD CONDUIT
- 100mm WHITE ENERGEX COMMS. CONDUIT
- 125mm LD CONDUIT
- ELECTRIC CABLE MARKER PLATE

DATE	REV	REVISION	APP.	DATE	REV	REVISION	APP.
01/04/2025	A	HV MASTER PLAN	R.R.	15/12/2025	F	UPDATED P6.5 SCHEMATIC	R.R.
14/05/2025	B	REVISED 11KV MASTER PLAN	R.R.	18/02/2026	G	UPDATED P2 & P3 LAYOUT	R.R.
10/07/2025	C	UPDATED P11.2 & SCHEMATIC	R.R.	27/02/2026	H	PMT SC2.2 MOVED	R.R.
25/08/2025	D	UPDATED P11.2 TO DUAL PMT SITE	R.R.	10/03/2026	I	UPDATED P11.2 PMT DETAIL	R.R.
21/10/2025	E	REVISED HV MASTER PLAN	R.R.				

CURRENT REVISION CHANGES:
Revl: SC11.2 CHANGED FROM 750kVA TO 1000kVA TO ALLOW 700kVA CAPACITY FOR COLES. ADDED 2 x HV CONDUITS FOR A TOTAL 6 x HV.

Robin Russell & ASSOCIATES PTY. LTD.
CONSULTING ENGINEERS - ELECTRICAL

SUBDIVISION ELECTRICAL SERVICES
2046 Sabarra Street
Stafford, QLD 4053
Tel: (07) 3872 5555
Fax: (07) 3872 5566
Email: rr@robrus.com.au
www.robrus.com.au
A.B.N. 78 010 589 661

THIS IS A UDC GENERATED DESIGN.

COUNCIL	LOGAN CITY	DWT REV.	V53-3 20210504
COUNCIL REF	ROL10 - DEV2022/1277		
DESIGNED	G.Jennings	DRAWN	C.McAuley
CHECKED	G.Jennings	APPROVED	ROBIN RUSSELL RPEQ 1546
DATE	01/04/2025	SIGNED	

DESCRIPTION
ELECTRICITY RETICULATION - RESIDENTIAL

CLIENT
Mirvac Queensland Pty Limited

LOCATION
EVERLEIGH
456-520 GREENBANK ROAD
GREENBANK

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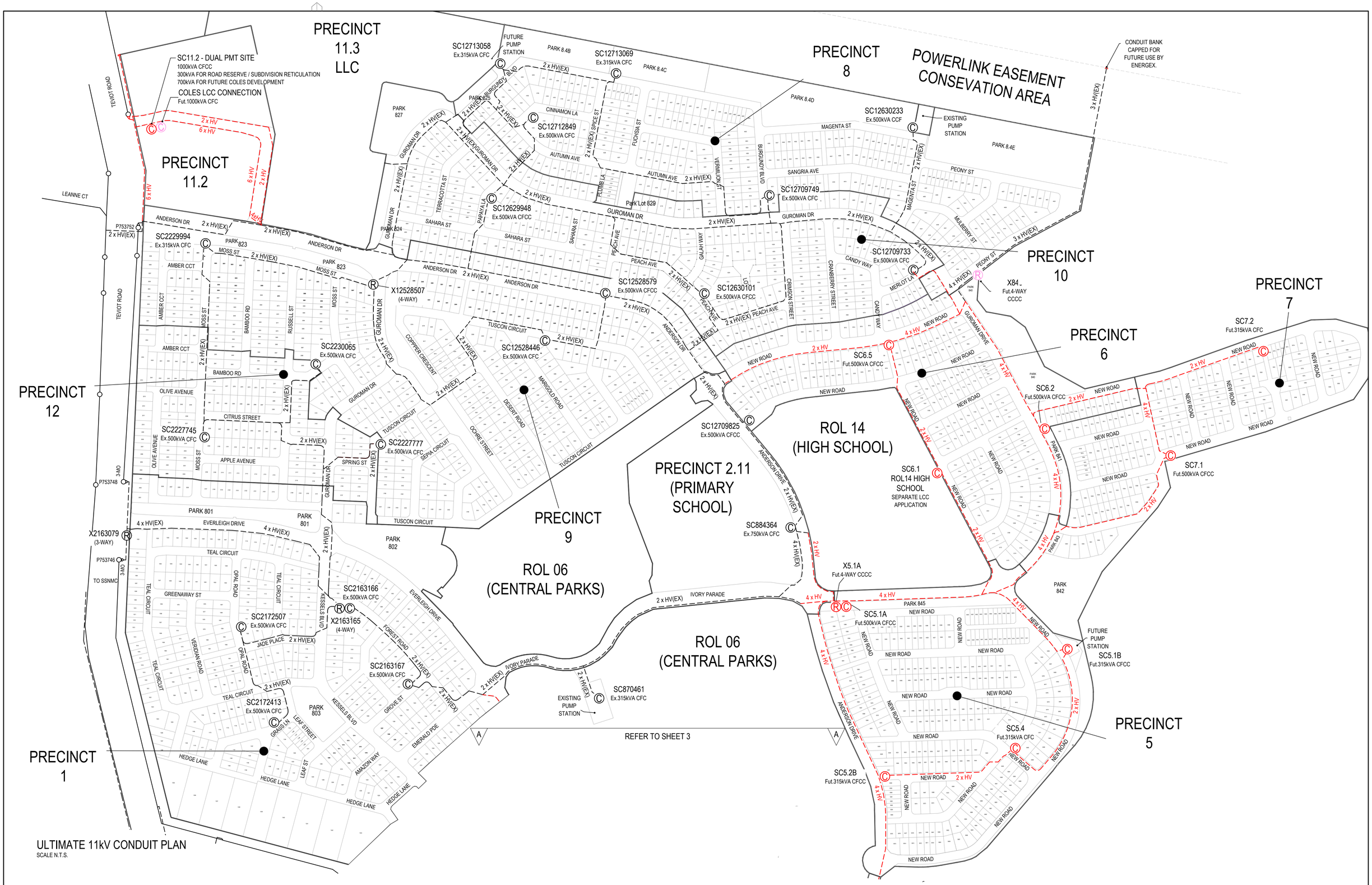
A1

DRAWING No. **F418-01**
REVISION **I**
ENERGEX PROJECT No. **S0108077**
SHEET No. 1 OF 11



ULTIMATE 11kV CONDUIT PLAN
SCALE N.T.S.

DATE	REV	REVISION	APP.	DATE	REV	REVISION	APP.
01/04/2025	A	HV MASTER PLAN	R.R.	15/12/2025	F	UPDATED P6.5 SCHEMATIC	R.R.
14/05/2025	B	REVISED 11KV MASTER PLAN	R.R.	18/02/2026	G	UPDATED P2 & P3 LAYOUT	R.R.
10/07/2025	C	UPDATED P11.2 & SCHEMATIC	R.R.	27/02/2026	H	PMT SC2.2 MOVED	R.R.
25/08/2025	D	UPDATED P11.2 TO DUAL PMT SITE	R.R.	10/03/2026	I	UPDATED P11.2 PMT DETAIL	R.R.
21/10/2025	E	REVISED HV MASTER PLAN	R.R.				

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COUNCIL REF	ROL10 - DEV2022/1277		
DESIGNED	G.Jennings	DRAWN	C.McAuley
CHECKED	G.Jennings	APPROVED	ROBIN RUSSELL RPEQ 1546
DATE	01/04/2025	SIGNED	

DESCRIPTION
ELECTRICITY RETICULATION - RESIDENTIAL

CLIENT
Mirvac Queensland Pty Limited

LOCATION
EVERLEIGH
456-520 GREENBANK ROAD
GREENBANK

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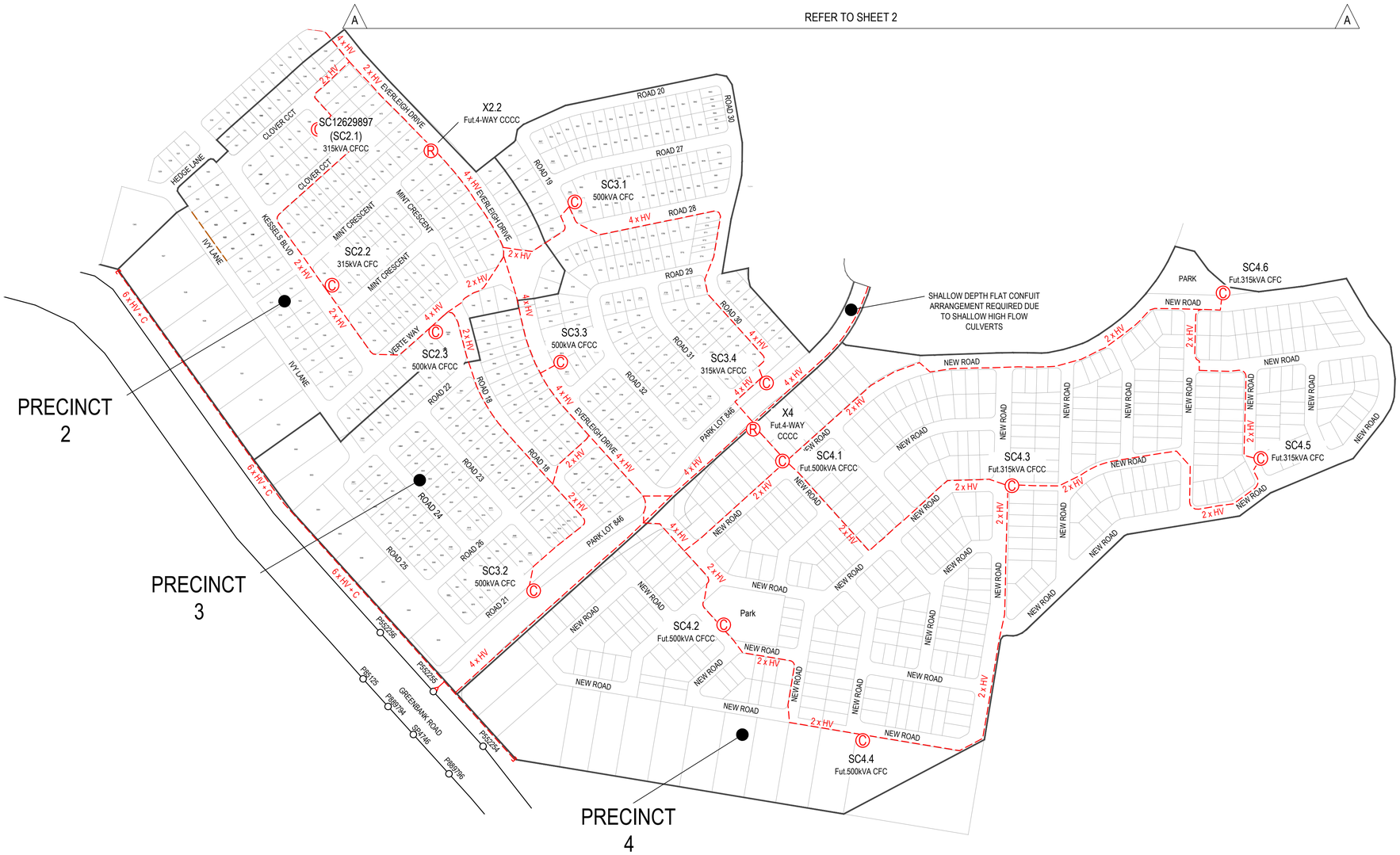
DRAWING No. **F418-02**
REVISION **I**
ENERGEX PROJECT No. **S0108077**
SHEET No. 2 OF 11



ULTIMATE 11kV CONDUIT PLAN

SCALE N.T.S.

DATE	REV	REVISION	APP.	DATE	REV	REVISION	APP.
01/04/2025	A	HV MASTER PLAN	R.R.	15/12/2025	F	UPDATED P6.5 SCHEMATIC	R.R.
14/05/2025	B	REVISED 11KV MASTER PLAN	R.R.	18/02/2026	G	UPDATED P2 & P3 LAYOUT	R.R.
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25/08/2025	D	UPDATED P11.2 TO DUAL PMT SITE	R.R.	10/03/2026	I	UPDATED P11.2 PMT DETAIL	R.R.
21/10/2025	E	REVISED HV MASTER PLAN	R.R.				

CURRENT REVISION CHANGES:

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COUNCIL	LOGAN CITY	DWT REV.	V53-3 20210504
COUNCIL REF	ROL10 - DEV2022/1277		
DESIGNED	G.Jennings	DRAWN	C.McAuley
CHECKED	G.Jennings	APPROVED	ROBIN RUSSELL RPEQ 1546
DATE	01/04/2025	SIGNED	

DESCRIPTION
ELECTRICITY RETICULATION - RESIDENTIAL

CLIENT
Mirvac Queensland Pty Limited

LOCATION
EVERLEIGH
456-520 GREENBANK ROAD
GREENBANK

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DRAWING No. **F418-03**
REVISION **I**
ENERGEX PROJECT No. **S0108077**
SHEET No. 3 OF 11

LEGEND: ELECTRICAL

- EXISTING UNDERGROUND CABLE / CONDUIT
- PROPOSED UNDERGROUND CABLE / CONDUIT
- FUTURE UNDERGROUND CABLE / CONDUIT
- END OF CONDUIT POINT / CONDUIT CAP
- BORED CONDUIT
- STATION NUMBERS
- PADMOUNT TRANSFORMER, EXISTING / PROPOSED / FUTURE
- RING MAIN UNIT, EXISTING / PROPOSED / FUTURE
- POLE TRANSFORMER, EXISTING / PROPOSED / FUTURE
- CABLE FAULT INDICATOR
- SERVICE PILLAR, EXISTING / PROPOSED / FUTURE
- LINK PILLAR, EXISTING / PROPOSED / FUTURE
- C&I PILLAR, EXISTING / PROPOSED / FUTURE
- LV LINKS (OPEN), EXISTING / PROPOSED / FUTURE
- LV LINKS (CLOSED), EXISTING / PROPOSED / FUTURE
- EXISTING OVERHEAD ELECTRICITY MAINS
- PROPOSED OVERHEAD ELECTRICITY MAINS
- FUTURE OVERHEAD ELECTRICITY MAINS
- HV POLE, EXISTING / PROPOSED / FUTURE
- HV + LV POLE, EXISTING / PROPOSED / FUTURE
- LV POLE, EXISTING / PROPOSED / FUTURE
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- PROPOSED RATE 3 STREETLIGHT CABLE
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- PROPOSED CONSUMERS UNDERGROUND CABLE
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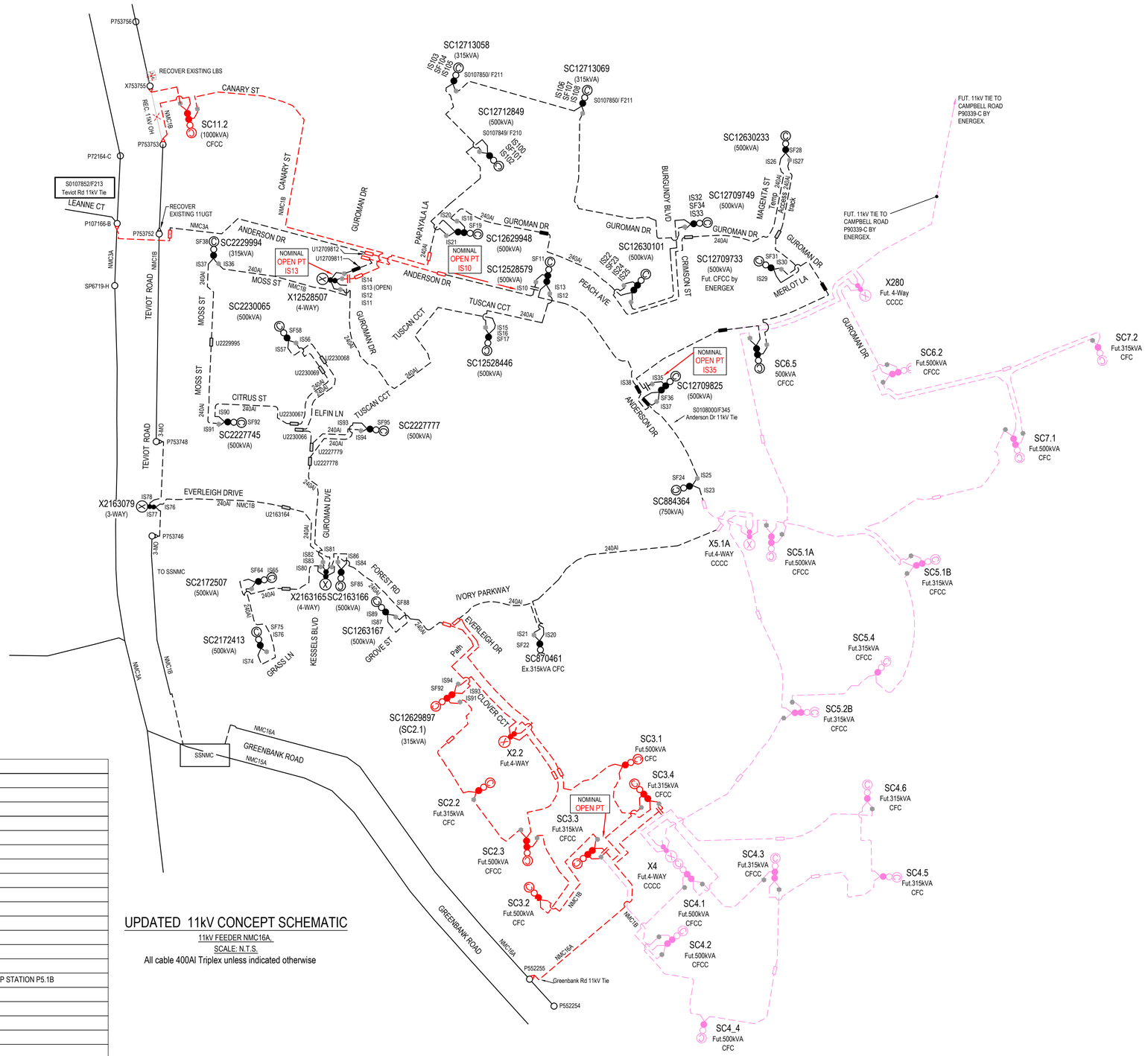
- 32 - 50mm HD CONDUIT
- 80/100mm LD CONDUIT
- 100mm WHITE ENERGEX COMMS. CONDUIT
- 125mm LD CONDUIT
- ELECTRIC CABLE MARKER PLATE



PMT CIRCUIT ALLOCATION

TRANSFORMER	FS1	FS2	FS3	FS4	COUNT	COMMENT
SC2.1	19	15	17	13	64	
SC2.2	15	18	18	15	66	
SC2.3	21	26	25	20	92	
SC3.1	22	21	24	19	86	
SC3.2	21	23	20	19	83	
SC3.3	16	17	21	14	68	
SC3.4	17	15	17	16	65	
SC4.1	20	25	20	23	88	
SC4.2	22	22	21	23	88	
SC4.3	15	18	17	16	66	
SC4.4	22	19	22	23	86	
SC4.5	16	17	15	15	63	
SC4.6	18	19	16	13	66	
SC5.1A	23	25	22	20	90	
SC5.1B	11	15	12	0	38	SPARE CAPACITY FOR PUMP STATION P5.1B
SC5.2B	18	17	17	14	66	
SC5.4	15	17	21	14	67	
SC6.2	25	23	20	22	90	
SC6.5	24	26	28	22	100	
SC7.1	25	21	26	20	92	
SC7.2	14	15	12	18	59	
SC8.2	22	20	21	14	77	
SC8.3_1	0	0	0	2	2	SPARE CAPACITY FOR FUTURE CTS P11.3 & PUMP STATION
SC8.4_2	17	14	14	18	63	

UPDATED 11kV CONCEPT SCHEMATIC

11kV FEEDER NMC16A.

SCALE: N.T.S.

All cable 400AI Triplex unless indicated otherwise

DATE	REV	REVISION	APP.	DATE	REV	REVISION	APP.
01/04/2025	A	HV MASTER PLAN	R.R.	15/12/2025	F	UPDATED P6.5 SCHEMATIC	R.R.
14/05/2025	B	REVISED 11KV MASTER PLAN	R.R.	18/02/2026	G	UPDATED P2 & P3 LAYOUT	R.R.
10/07/2025	C	UPDATED P11.2 & SCHEMATIC	R.R.	27/02/2026	H	PMT SC2.2 MOVED	R.R.
25/08/2025	D	UPDATED P11.2 TO DUAL PMT SITE	R.R.	10/03/2026	I	UPDATED P11.2 PMT DETAIL	R.R.
21/10/2025	E	REVISED HV MASTER PLAN	R.R.				

CURRENT REVISION CHANGES:

Rev I: SC11.2 CHANGED FROM 750kVA TO 1000kVA TO ALLOW 700kVA CAPACITY FOR COLES. ADDED 2 x HV CONDUITS FOR A TOTAL 6 x HV.

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A.B.N. 78 010 589 661
THIS IS A UDC GENERATED DESIGN.

COUNCIL	LOGAN CITY	DWT REV.	V53-3 20210504
COUNCIL REF	ROL10 - DEV2022/1277		
DESIGNED	G.Jennings	DRAWN	C.McAuley
CHECKED	G.Jennings	APPROVED	ROBIN RUSSELL RPEQ 1546
DATE	01/04/2025	SIGNED	

DESCRIPTION: **ELECTRICITY RETICULATION - RESIDENTIAL**

CLIENT: Mirvac Queensland Pty Limited

LOCATION: **EVERLEIGH 456-520 GREENBANK ROAD** GREENBANK

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DRAWING No. **F418-04** REVISION **I**

ENERGEX PROJECT No. **S0108077**

SHEET No. 4 OF 11

PLAN VIEW
SCALE 1:500

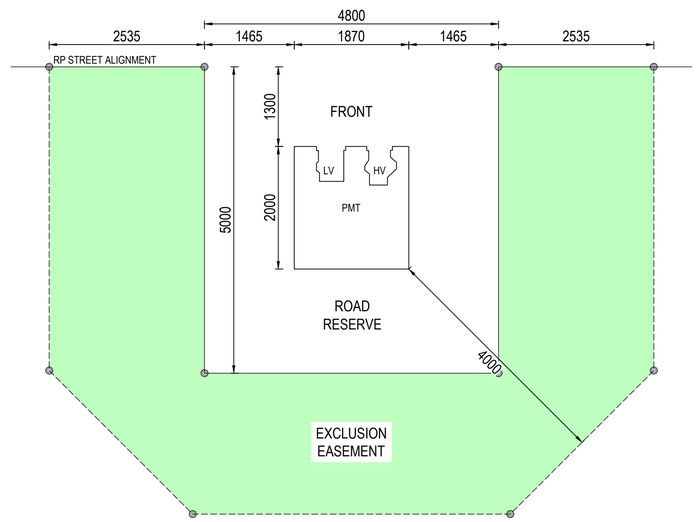
-10m 0 10 20 30m

1 : 500 (A1 - NOT REDUCED)

PROPOSED ENERGEX SQUARE PADMOUNT TRANSFORMER EXCLUSION EASEMENT DETAIL

SCALE 1:50 @ A1 SIZE

UNIT ID : SC12629897 | STN : TBC | LOCATION : CLOVER CCT



MINIMUM ENERGEX EXCLUSION EASEMENT

PROVIDE INDENTED ROAD RESERVE AS SHOWN.
THE DEVELOPER SHALL EXECUTE AN EASEMENT (STANDARD EASEMENT CONDITIONS DEALING NO 708346714) IN FAVOUR OF ENERGEX OVER THE GREEN SHADED AREA SHOWN.

DATE	REV	REVISION	APP.	DATE	REV	REVISION	APP.
01/04/2025	A	HV MASTER PLAN	R.R.	15/12/2025	F	UPDATED P6.5 SCHEMATIC	R.R.
14/05/2025	B	REVISED 11KV MASTER PLAN	R.R.	18/02/2026	G	UPDATED P2 & P3 LAYOUT	R.R.
10/07/2025	C	UPDATED P11.2 & SCHEMATIC	R.R.	27/02/2026	H	PMT SC2.2 MOVED	R.R.
25/08/2025	D	UPDATED P11.2 TO DUAL PMT SITE	R.R.	10/03/2026	I	UPDATED P11.2 PMT DETAIL	R.R.
21/10/2025	E	REVISED HV MASTER PLAN	R.R.				

CURRENT REVISION CHANGES:
Revl: SC11.2 CHANGED FROM 750kVA TO 1000kVA TO ALLOW 700kVA CAPACITY FOR COLES. ADDED 2 x HV CONDUITS FOR A TOTAL 6 x HV.

Robin Russell & ASSOCIATES PTY. LTD.
CONSULTING ENGINEERS - ELECTRICAL

SUBDIVISION ELECTRICAL SERVICES
204/6 Babarra Street, Stafford, QLD 4053
Tel: (07) 3872 5555
Fax: (07) 3872 5566
Email: rr@robrus.com.au
www.robrus.com.au
A.B.N. 78 010 589 661
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COUNCIL	LOGAN CITY	DWT REV.	V53-3 20210504
COUNCIL REF	ROL10 - DEV2022/1277		
DESIGNED	G.Jennings	DRAWN	C.McAuley
CHECKED	G.Jennings	APPROVED	ROBIN RUSSELL RPEQ 1546
DATE	01/04/2025	SIGNED	

DESCRIPTION
ELECTRICITY RETICULATION - RESIDENTIAL

CLIENT
Mirvac Queensland Pty Limited

LOCATION
EVERLEIGH
456-520 GREENBANK ROAD
GREENBANK

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DRAWING No. **F418-05** REVISION **I**

ENERGEX PROJECT No. **S0108077**

SHEET No. 5 OF 11

PLAN VIEW
SCALE 1:500

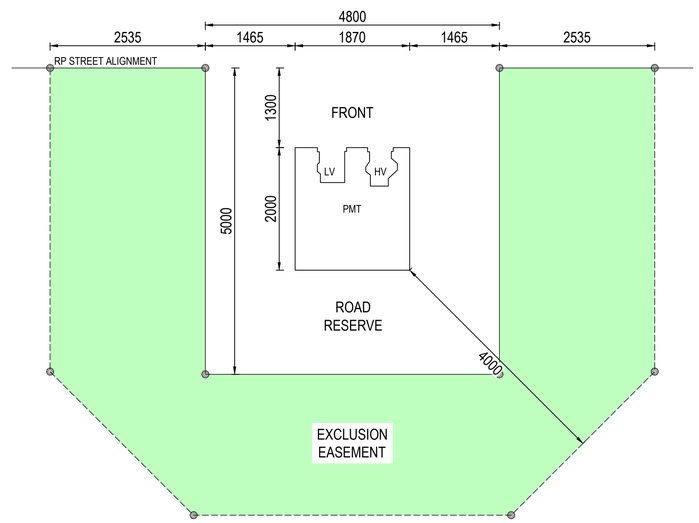
-10m 0 10 20 30m

1 : 500 (A1 - NOT REDUCED)

PROPOSED ENERGEX SQUARE PADMOUNT TRANSFORMER EXCLUSION EASEMENT DETAIL

SCALE 1:50 @ A1 SIZE

UNIT ID : SC2.2 | STN : TBC | LOCATION : KESSELS BLVD



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COUNCIL REF	ROL10 - DEV2022/1277		
DESIGNED	G.Jennings	DRAWN	C.McAuley
CHECKED	G.Jennings	APPROVED	ROBIN RUSSELL RPEQ 1546
DATE	01/04/2025	SIGNED	

DESCRIPTION
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CLIENT
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DRAWING No. **F418-06** REVISION **I**

ENERGEX PROJECT No. **S0108077**

SHEET No. 6 OF 11

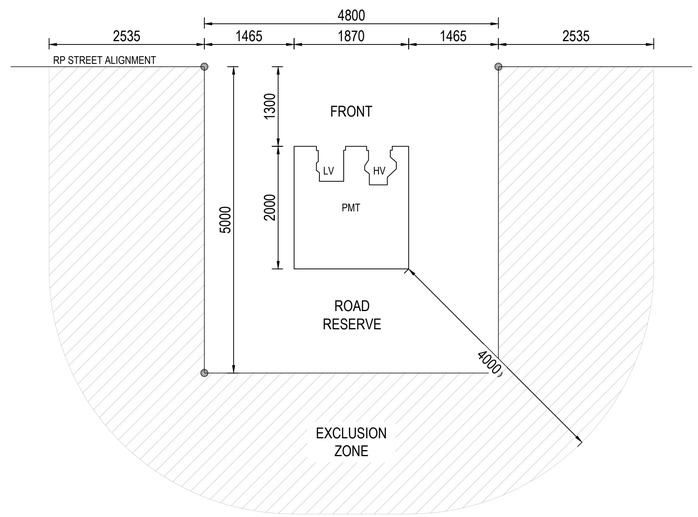
PLAN VIEW
SCALE 1:500

1 : 500 (A1 - NOT REDUCED)

PROPOSED ENERGEX SQUARE PADMOUNT TRANSFORMER EXCLUSION ZONE DETAIL

SCALE 1:50 @ A1 SIZE

UNIT ID : SC2.3 | STN : TBC | LOCATION : VERTE WAY



MINIMUM ENERGEX EXCLUSION ZONE

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COUNCIL	LOGAN CITY	DWT REV.	V53-3 20210504
COUNCIL REF	ROL10 - DEV2022/1277		
DESIGNED	G.Jennings	DRAWN	C.McAuley
CHECKED	G.Jennings	APPROVED	ROBIN RUSSELL RPEQ 1546
DATE	01/04/2025	SIGNED	

DESCRIPTION
ELECTRICITY RETICULATION - RESIDENTIAL

CLIENT
Mirvac Queensland Pty Limited

LOCATION
EVERLEIGH
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DRAWING No. **F418-07** REVISION **I**

ENERGEX PROJECT No. **S0108077**

SHEET No. 7 OF 11

PLAN VIEW
SCALE 1:500

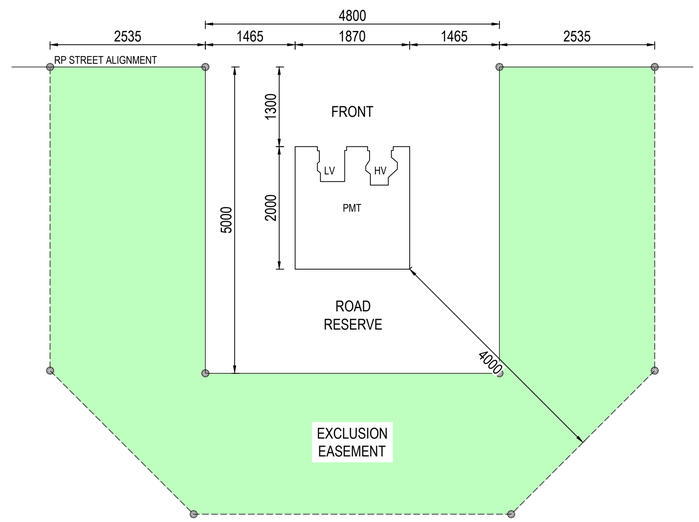
-10m 0 10 20 30m

1 : 500 (A1 - NOT REDUCED)

PROPOSED ENERGEX SQUARE PADMOUNT TRANSFORMER EXCLUSION EASEMENT DETAIL

SCALE 1:50 @ A1 SIZE

UNIT ID : SC3.1 | STN : TBC | LOCATION : ROAD 19



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25/08/2025	D	UPDATED P11.2 TO DUAL PMT SITE	R.R.	10/03/2026	I	UPDATED P11.2 PMT DETAIL	R.R.
21/10/2025	E	REVISED HV MASTER PLAN	R.R.				

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COUNCIL	LOGAN CITY	DWT REV.	V53-3 20210504
COUNCIL REF	ROL10 - DEV2022/1277		
DESIGNED	G.Jennings	DRAWN	C.McAuley
CHECKED	G.Jennings	APPROVED	ROBIN RUSSELL RPEQ 1546
DATE	01/04/2025	SIGNED	

DESCRIPTION
ELECTRICITY RETICULATION - RESIDENTIAL

CLIENT
Mirvac Queensland Pty Limited

LOCATION
EVERLEIGH
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DRAWING No. **F418-08** REVISION **I**

ENERGEX PROJECT No. **S0108077**

SHEET No. 8 OF 11

PLAN VIEW
SCALE 1:500

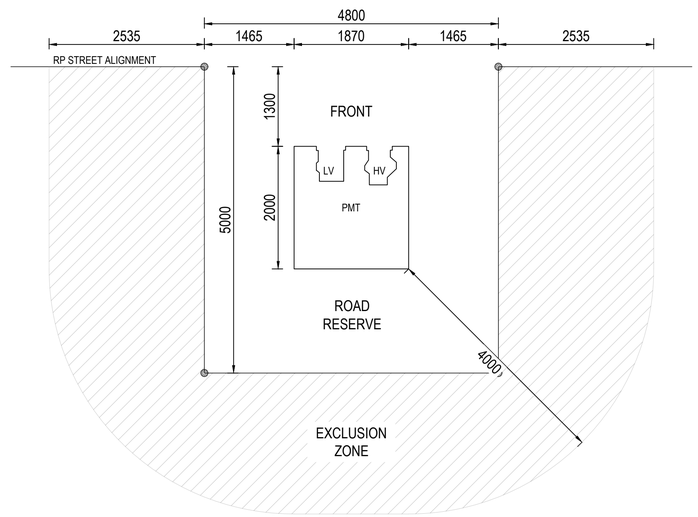
-10m 0 10 20 30m

1 : 500 (A1 - NOT REDUCED)

PROPOSED ENERGEX SQUARE PADMOUNT TRANSFORMER EXCLUSION ZONE DETAIL

SCALE 1:50 @ A1 SIZE

UNIT ID : SC3.2 | STN : TBC | LOCATION : ROAD 21



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DESIGNED	G.Jennings	DRAWN	C.McAuley
CHECKED	G.Jennings	APPROVED	ROBIN RUSSELL RPEQ 1546
DATE	01/04/2025	SIGNED	

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CLIENT
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LOCATION
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DRAWING No. **F418-09** REVISION **I**

ENERGEX PROJECT No. **S0108077**

SHEET No. 9 OF 11

PLAN VIEW
SCALE 1:500

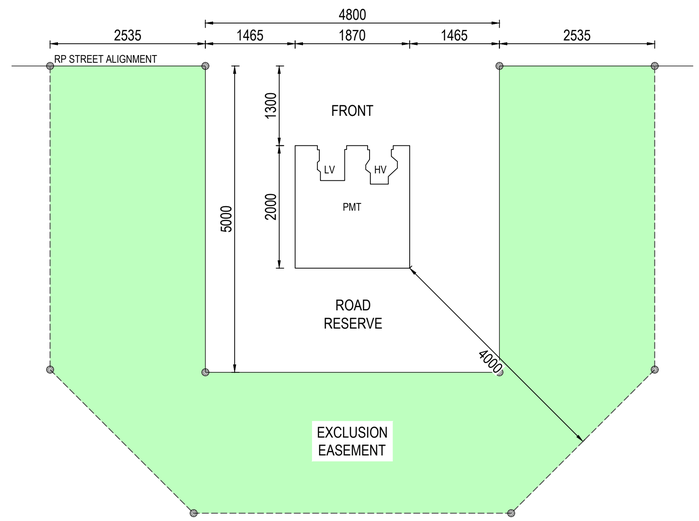
-10m 0 10 20 30m

1 : 500 (A1 - NOT REDUCED)

PROPOSED ENERGEX SQUARE PADMOUNT TRANSFORMER EXCLUSION EASEMENT DETAIL

SCALE 1:50 @ A1 SIZE

UNIT ID : SC3.3 | STN : TBC | LOCATION : EVERLEIGH DRIVE



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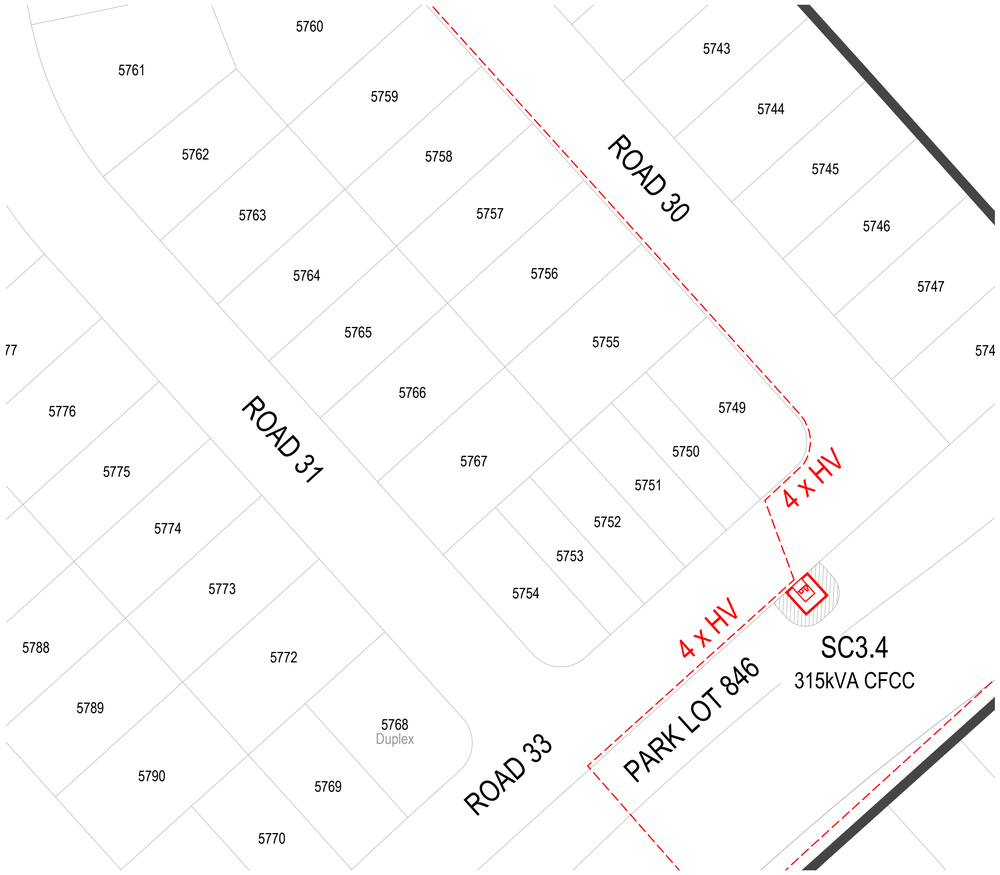
DRAWING No. **F418-10** REVISION **I**

ENERGEX PROJECT No. **S0108077**

SHEET No. 10 OF 11



PLAN VIEW
SCALE 1:500

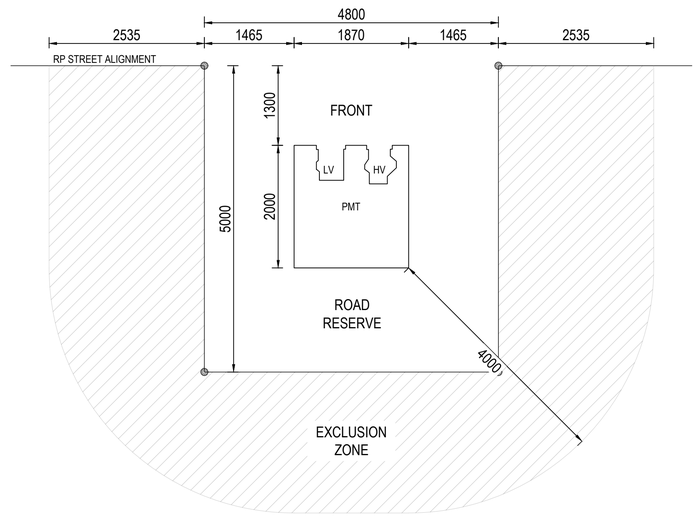
-10m 0 10 20 30m

1 : 500 (A1 - NOT REDUCED)

PROPOSED ENERGEX SQUARE PADMOUNT TRANSFORMER EXCLUSION ZONE DETAIL

SCALE 1:50 @ A1 SIZE

UNIT ID : SC3.4 | STN : TBC | LOCATION : ROAD 33



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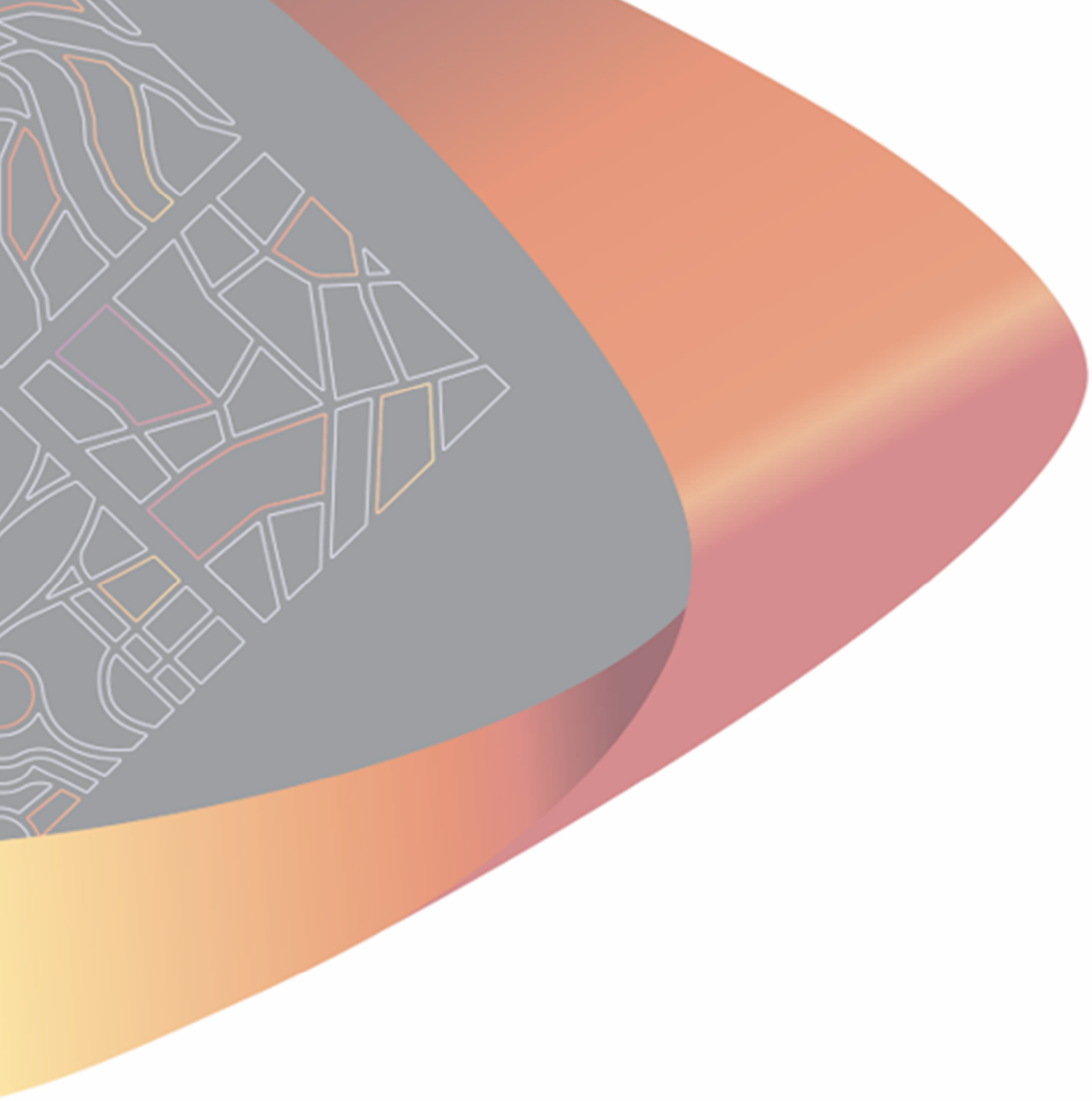
DRAWING No. **F418-11** REVISION **I**

ENERGEX PROJECT No. **S0108077**

SHEET No. 11 OF 11



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