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DECISION NOTICE

Ministerial Infrastructure Designation Royal Queensland Golf Club

Decision details

Decision: Ministerial Infrastructure Designation (MID) made under section 38 of the *Planning Act 2016*

Date of decision: 1 September 2025

Type of infrastructure: Planning Regulation 2017, Schedule 5, Part 2:

- Item 17: sporting facilities

DSDIP reference: MID-0125-0907

Premises details

Street address: 431 Curtin Avenue West and 541 Curtin Avenue East, Eagle Farm

Real property description: Lot 45 on SP120367 and Lot 1158 on SP233736

Local Government area: Brisbane City Council (the Council)

Infrastructure entity details

Infrastructure entity: Royal Queensland Golf Club

Requirements

A notice of requirements included in the MID is at **Schedule 1**.

Submissions

A notice of how I have considered submissions is at **Schedule 2**.

Advice to the entity

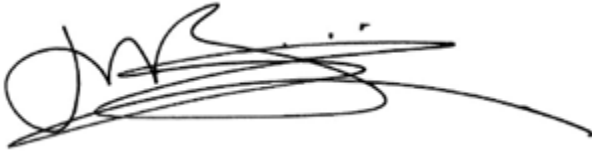
Despite the MID, the entity is responsible for determining what obligations exist under previous development approvals that apply to the premises.

Effective date

As set out in section 9(3) of the *Planning Act 2016*, the MID will take effect from the date the gazette notice for this MID is published in the Queensland Government Gazette.

Duration of MID

The duration of the MID is set out in section 39 of the *Planning Act 2016*.

A handwritten signature in black ink, appearing to be 'Jarrod Bleijie', with a long horizontal stroke extending to the right.

JARROD BLEIJIE MP
DEPUTY PREMIER
Minister for State Development, Infrastructure and Planning
Minister for Industrial Relations

Enc (2)

Schedule 1 - Notice of requirements included in the MID

Development under the MID is to be carried out in accordance with the requirements included in Table 1.

Table 1 – Requirements	
Plan of designation	
1.	The extent of development is to be carried out generally in accordance with the 'Plan of designation for Royal Queensland Golf Club –Sheet 1 of 2 and Sheet 2 of 2', ref. MID-0125-0907 and included at Annexure 1 (Plan of designation).
Active Transport	
2.	Prior to the commencing work, liaise with the Council to ensure the protection of an active transport corridor with a minimum width of nine metres, extending from the western boundary of Lot 45 SP120367 to the eastern boundary of Lot 1158 on SP233736. This should be undertaken in general accordance with the location indicated on the Plan of Designation in Annexure 1 .
Earthworks	
3.	Maintain natural ground levels near Gateway Bridge supports, as shown on SECTION THROUGH BRIDGE STRUCTURES, Sheet No. SK.06, prepared by Neylan Architecture, dated 13 May 2025 and included in Annexure 2 .
Stormwater management	
4.	(a) Prior to the commencement of works, prepare a new or updated Stormwater Management Plan (SMP). (b) The new or updated SMP must be certified by a Registered Professional Engineer of Queensland and demonstrate the following: i. a lawful point of discharge for internal site drainage ii. compliance with the State Planning Policy (SPP) water quality benchmarks. iii. no material worsening to adjoining and downstream properties or the State-controlled road or Gateway Bridge structure iv. no new discharge points for stormwater runoff onto the State-controlled road or Gateway Bridge structure v. no concentration or increase of the velocity of flows to the State-controlled road or Gateway Bridge structure vi. no interference with or damage to the existing stormwater drainage on the State-controlled road or Gateway Bridge structure vii. no reduction to the quality of stormwater discharge onto the State-controlled road or Gateway Bridge structure viii. no reduction of the floodplain immunity of the State-controlled road

	ix. best practice stormwater management. (c) Submit a copy of the new or updated SMP to the Department of State Development, Infrastructure and Planning (DSDIP) (infrastructuredesignation@dsdilgp.qld.gov.au). (d) From commencement of use, implement stormwater management measures in accordance with the new or updated SMP.
Erosion prone area	
5.	The new pavilion and essential electrical services must be set at least 0.8 metres above the Highest Astronomical Tide.
Bat and bird strikes	
6.	Implement a monitoring program to record bird and bat species and their usage patterns. If monitoring indicates a possible increase in bird or bat strike risk, coordinate with Brisbane Airport and carry out agreed mitigation measures to reduce the risk of bird strike.
Vegetation Clearing and Fauna Management Plan	
7.	(a) Prior to the commencement of works, prepare a Vegetation Clearing and Fauna Management Plan (VCFMP). (b) The VCFMP must include/address the measures contained in Section 5.5 of the Ecological Assessment Report, Job No. 11871, prepared by Saunders Havill Group, dated 24 April 2024 and included in Annexure 3. (c) Submit a copy of the VCFMP to DSDIP (infrastructuredesignation@dsdilgp.qld.gov.au). (d) Carry out the development/clearing in accordance with the VCFMP.
Vegetation removal	
8.	(a) Prior to the commencement of works, undertake the necessary actions to protect trees that are not required to be cleared to facilitate the development in accordance with the AS4970-2009 Protection of Trees on Development Sites, including on adjoining properties. (b) Prior to any clearing operations, a suitably qualified wildlife officer or ecologist must undertake a preclearing inspection of trees and other vegetation for fauna, hollows, nests and other breeding places and must be present during clearing operations.
Waterway barrier works	
9.	Waterway barrier structures for boardwalks and bridges are to be constructed generally in accordance with the Response to RFI - Royal Queensland Golf Club Golf Course Redevelopment Bridge Structures, prepared by Morgan Consulting Engineers Pty Ltd, Ref no. 25090-A/JT, dated 16 June 2025 and included in Annexure 4 .

Car parking	
10.	(a) Prior to commencing use of the new nine-hole golf course and pavilion, provide at least 414 on-site parking spaces, including 13 for Persons with a Disability (PWD). (b) All new car parking spaces are to comply with the relevant Council or Australian standards.
11.	The design of all new vehicle manoeuvring and servicing areas on-site are to be in accordance with the relevant Council or Australian standards.
Erosion and Sediment Control	
12.	(a) Prior to the commencement of works, prepare an Erosion and Sediment Control Plan (ESCP). (b) The ESCP is to be prepared by an appropriately qualified person and address erosion risk and surface water run-off in accordance with the Best Practice Erosion and Sediment Control (BPESC) guidelines for Australia (International Erosion Control Association). (c) Submit a copy of the ESCP to DSDIP (infrastructuredesignation@dasilgp.qld.gov.au) and the Department of Natural Resources and Mines, Manufacturing, and Regional and Rural Development (dorplanning@resources.qld.gov.au). (d) Undertake works generally in accordance with the recommendations of the ESCP.
Event Management Plan	
13.	(a) Prior to commencing use of the new nine-hole golf course and pavilion, prepare an Event Transport Management Plan (ETMP) addressing the following: - all transport modes such as urban bus services, private/ chartered coaches/ buses/ shuttles, taxis, rideshare, private vehicles, active transport (walking, cycling, personal mobility devices) - the expected number of major events likely to generate significantly higher than typical daily attendance and the likely maximum attendees at each of these events per year - transport and traffic management before, during and after events - provision of wayfinding signage for all vehicles and pedestrians accessing the site - temporary private vehicle and rideshare drop-off/pick-up facilities with associated waiting areas, pedestrian access and management of these facilities - temporary bus setdown facilities with associated waiting areas for passengers and pedestrian access - temporary interchange and lay-by locations for private/ chartered buses/ coaches/ shuttles on the wider transport network - extent of any regular road closures

	ix. measures to minimise vehicle/pedestrian/bicycle conflict in proximity to the site x. stakeholder consultation with the Council, the Department of Transport and Main Roads (TransLink Events and Brisbane Region) and Queensland Police. (b) Prior to the commencement of use, submit a copy of the ETMP to DSDIP (infrastructuredesignation@dsdilgp.qld.gov.au). (c) From commencement of use of the nine-hole golf course and pavilion building, implement the ETMP.
Waste collection	
14.	(a) Prior to commencing use of the new nine-hole golf course and pavilion, prepare a waste management plan. (b) The waste management plan must be prepared in accordance with the relevant Council standards and include and/or address the following: i. the number and size of bins ii. details of how bin enclosures accord with Council requirements iii. RPEQ-endorsed swept paths analysis which documents ingress and egress of refuse collection vehicles iv. collection times v. frequency of collection. (c) Provide a copy of the Waste Management Plan to DSDIP (infrastructuredesignation@dsdilgp.qld.gov.au). (d) Waste collection is to be undertaken in accordance with the waste management plan.
Design/built form	
15.	(a) The design of the new pavilion building should include/incorporate the following design elements: i. variation in roof form ii. easy to identify building entrances iii. well disguised service elements and variation in façade materials, detailing and muted tones generally in accordance with the Proposed short course pavilion, prepared by Saunders Havill Group, Dwg No. 11871 P 01 Rev A - PRO 01, dated 26/06/2025 and included at Annexure 5.
Landscaping	
16.	(a) Prior to the commencement of works, prepare a Landscape Concept Plan (LCP) for the works on Lot 1158 on SP233736. (b) The LCP must be prepared by a suitably qualified person and include: i. planting within the proposed carparking areas to achieve 50 per cent coverage within five years of planting

	ii. a landscaping strip along the Curtin Avenue East frontage of Lot 1158 on SP233736 iii. details of any replanting and wetland rehabilitation iv. identification of vegetation to be retained over the site. v. types of species and maintenance requirements associated with the landscaping measures outlined in i-iv. (c) Submit a copy of the LCP to DSDIP (infrastructuredesignation@dsdilgp.qld.gov.au). (d) Prior to the commencement of use of the Eastern Short Course on Lot 1158 on SP233736, carry out landscaping in accordance with the LCP.
Coastal hazard	
17.	Carry out the development as recommended in Section 5 of the Royal Queensland Golf Club Redevelopment Coastal Hazard Assessment (Burchills Engineering Solutions, Document BE240242-RP-CHA-04, Version 0, dated 17/06/2025), attached at Annexure 6 .
Lighting	
18.	All external lighting must meet Australian standards and be shielded to prevent light spill onto nearby residences.
Refuse and plant screening	
19.	Refuse storage bins, and all new plant, equipment and water tanks, are to be stored behind fencing or screened from view from roads and public open space.
Construction management	
20.	(a) Prior to the commencement of work, a Construction Environmental Management Plan (CEMP) must be prepared and submitted to DSDIP (infrastructuredesignation@dsdilgp.qld.gov.au). The CEMP must include/address: i. an Erosion and Sediment Control Plan that addresses the erosion risk and surface water run-off ii. dust mitigation methods (such as use of water to suppress potential dust) and air quality management measures iii. hours of construction, vibration, and construction noise (including the default noise standards), in accordance with the <i>Environmental Protection Act 1994</i> (s440R & 440S) iv. construction waste control and management, in conjunction with a waste management plan if deemed necessary v. disposal and management of hazardous materials and regulated waste, including removal by a suitably licenced contractor where deemed necessary vi. chemical and fuel used during construction stored in bunded areas

	vii. access locations for and management of construction vehicle traffic (any construction parking off-site is subject to engagement with Council and relevant landowners) viii. appropriate machine hygiene measures ix. proximity of works to easements and services and any necessary design measures, additional analysis or safe work methods x. other required permits from the Council, easement holders or utility providers xi. maintenance of safe and accessible pedestrian and cyclist access/movement around the site xii. complaint resolution procedures, including who to contact and a record of how complaints have been addressed xiii. a construction communication plan including: ▪ how neighbouring properties will be advised of construction activities for each stage ▪ how the appropriate extent of neighbouring properties to be notified will be determined ▪ timeframes for notification of construction activities, with notification to occur prior to works commencing. (b) Construction of the development is to be undertaken in accordance with the CEMP.
Information signage	
21.	(a) Prior to the commencement of work, place an information sign on the site. (b) The information sign is to: i. include the following details: ▪ a link to where a copy of the MID decision and CEMP can be viewed on the DSDIP website; and ▪ the name, postal and/or email address and a contact telephone number for the key contact/principal contractor ii. be positioned on the Curtin Avenue East and Curtin Avenue West frontages of the site and be clearly visible for a pedestrian iii. be non-illuminated and maintained at all times during construction.
Servicing	
22.	(a) Prior to the commencement of work, confirm the adequacy, capability and location of utilities including water, sewer, electricity and telecommunications to service the proposed development. (b) Prior to the commencement of use, obtain the relevant approvals and carry out any works to upgrade or install new utilities including water, sewer, electricity, and telecommunications to service the development.

	(c) Prior to commencement of use, ensure the development is connected to all available utilities including water, sewer, electricity, and telecommunications to service the development.
Geotechnical conditions	
23.	As part of detailed design, undertake a geotechnical investigation that confirms the ground conditions and informs building requirements.
Acid Sulfate Soils	
24.	If potential or actual acid sulfate soil (ASS) is identified during construction, an ASS investigation is to be carried out and managed in accordance with an ASS management plan.

Schedule 2 – Notice of how submissions were considered

Submissions received during Minister's consultation

On 21 February 2025, I gave notice to the Council and the landowner advising that I was proposing to make the MID and inviting submissions within 25 business days.

Five submissions were received during the public notification period. The submissions were from the Council and nearby residents

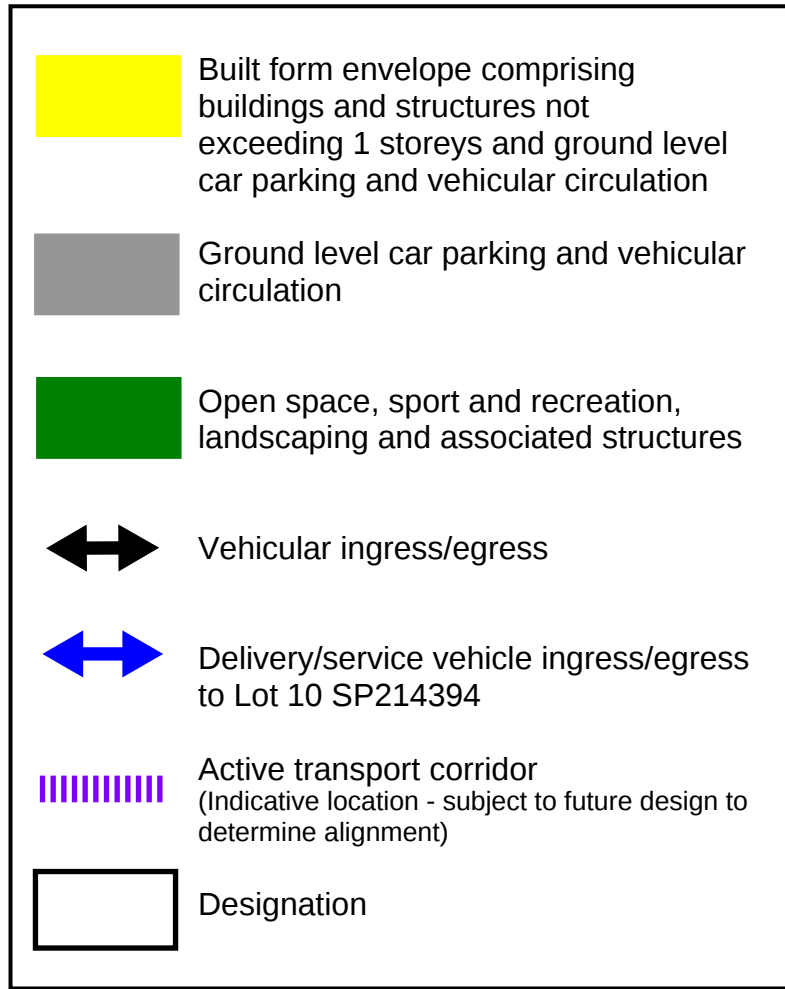
A summary of how I have considered the submission is provided in the table below.

Matters raised	Response
Active Transport	
The <i>Brisbane City Plan</i> 2014 and Hamilton Priority Development Scheme designate a pedestrian and cyclist corridor along the river next to the golf course. Maintain a 30-metre buffer zone along the one kilometre riverfront from Hamilton Reach to the Gateway Bridge, plus 650 metres along the bridge alignment to connect with existing cycle and pedestrian paths. Ensure public accessibility is included in the final design.	While the identified corridor sits largely outside of the MID boundary, the assessment of the MID proposal has ensured the proposed works will not prejudice the provision of this corridor. The MID requires Royal Queensland Golf Club to liaise with the Council on providing for this corridor.
Ecological and Landscape Values	
Riverfront development to preserve and improve the Brisbane River's appearance, protect its landscape values, and avoid visual dominance from the river.	The submitted ecological assessment report demonstrates that the development will not result in adverse impacts on the form, function or environmental values of the waterway. The proposed pavilion is a single storey building and is not considered to detract from the landscape values along the river.
The site's mature vegetation may support native fauna. Survey any hollows to help retain habitat trees. Keep significant vegetation and incorporate it into the proposed development.	The proposal has sought to retain existing mature vegetation to the greatest extent possible. The MID requires vegetation not required to be removed to be retained. Additionally, a Vegetation Clearing and Fauna Management Plan is required to be implemented which includes specific fauna management procedures for potential or known habitat trees.

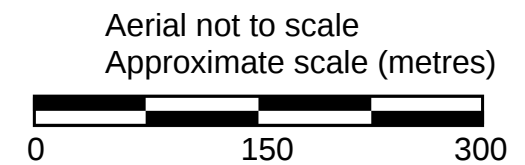
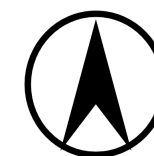
Matters raised		Response
Landscaping		
Planting areas are recommended within the proposed open-air car parking area to ensure that landscaping and shade trees achieve a minimum 50 per cent shade cover within five years of planting.		The MID requires a landscape concept plan for the development to be prepared and implemented which is to include shading for carparking areas.
Protective netting should be installed where required, depending on the final fairway layout.		The existing and proposed courses are designed in such a way that directs shots away from residential dwellings and other structures.
Noise		
Concerns about noise from large landscaping equipment early in the morning.		Landscaping equipment may only be used during daylight hours, as required by the Environmental Protection Act's noise standards. The MID does not propose any changes to current maintenance practices.
Lighting		
No measures are in place to limit lighting impacts on nearby residences. The golf course currently lacks sporting lights and adding them would likely have negative effects. Night golf and driving range operations should be excluded.		There are no plans to extend operating hours past 5pm or add course lighting for night golf. All external lighting will comply with Australian Standards to prevent light spill into residential areas.
Construction Impacts		
Environmental and residential impacts of the construction phase.		The MID requires the preparation and implementation of a construction management plan addressing dust, noise, hours of construction, traffic management and erosion and sediment control. A stormwater management plan is also required to control run off from the site.
Access to the golf course by residents		
At least half of the 9-hole course's playing slots should be open to the public. Exclusive use is limited to major events, with a cap of 73 days per year and no more than 12 weekends.		These requests are considered to be commercial decisions for the club and are not considered to be relevant to the assessment of the MID.

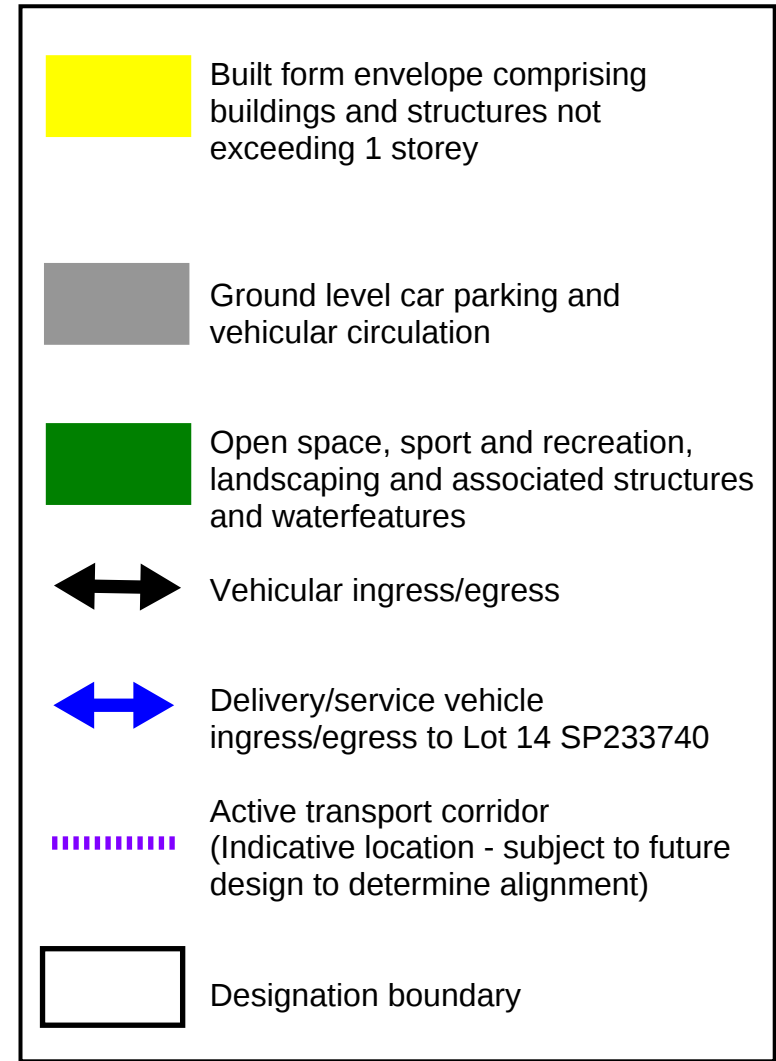
Matters raised	Response
Infrastructure Charges	
This proposal will generate additional demand on the networks; and in this circumstance, Council understands that it will be able to levy infrastructure charges for the additional demand placed on its infrastructure networks.	The Council has the ability to levy infrastructure charges through any building works applications associated with the MID.

Annexure 1 to Schedule 1 – Plan of Designation

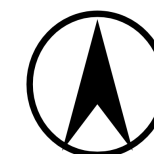


Title: Plan of Designation for the Royal Queensland Golf Club - Sheet 1 of 2
Address: 431 Curtin Avenue West and 541 Curtin Avenue East, Eagle Farm
Reference: MID-0125-0907





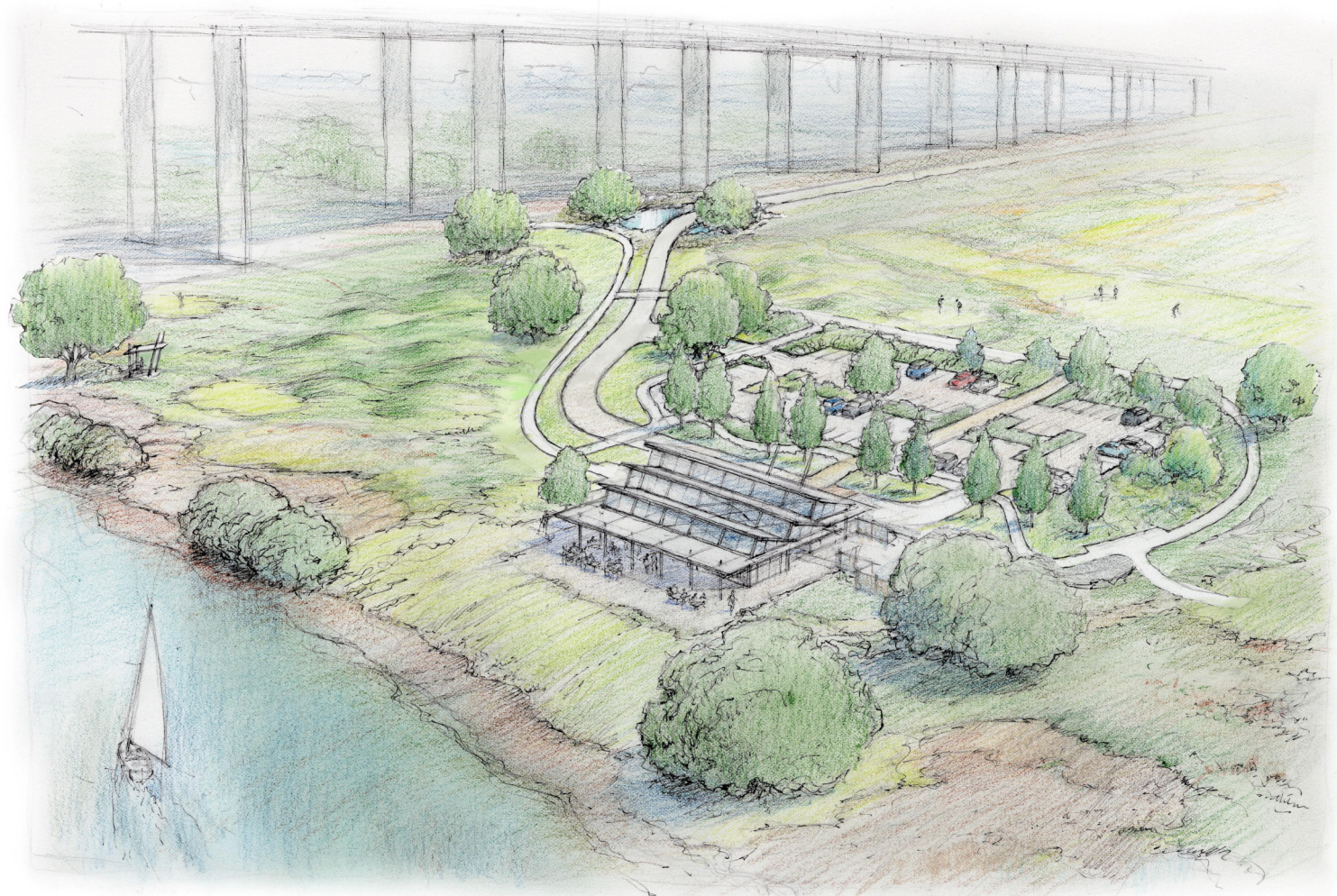
Title: Plan of Designation for the Royal Queensland Golf Club - Sheet 2 of 2
Address: 431 Curtin Avenue West and 541 Curtin Avenue East, Eagle Farm
Reference: MID-0125-0907



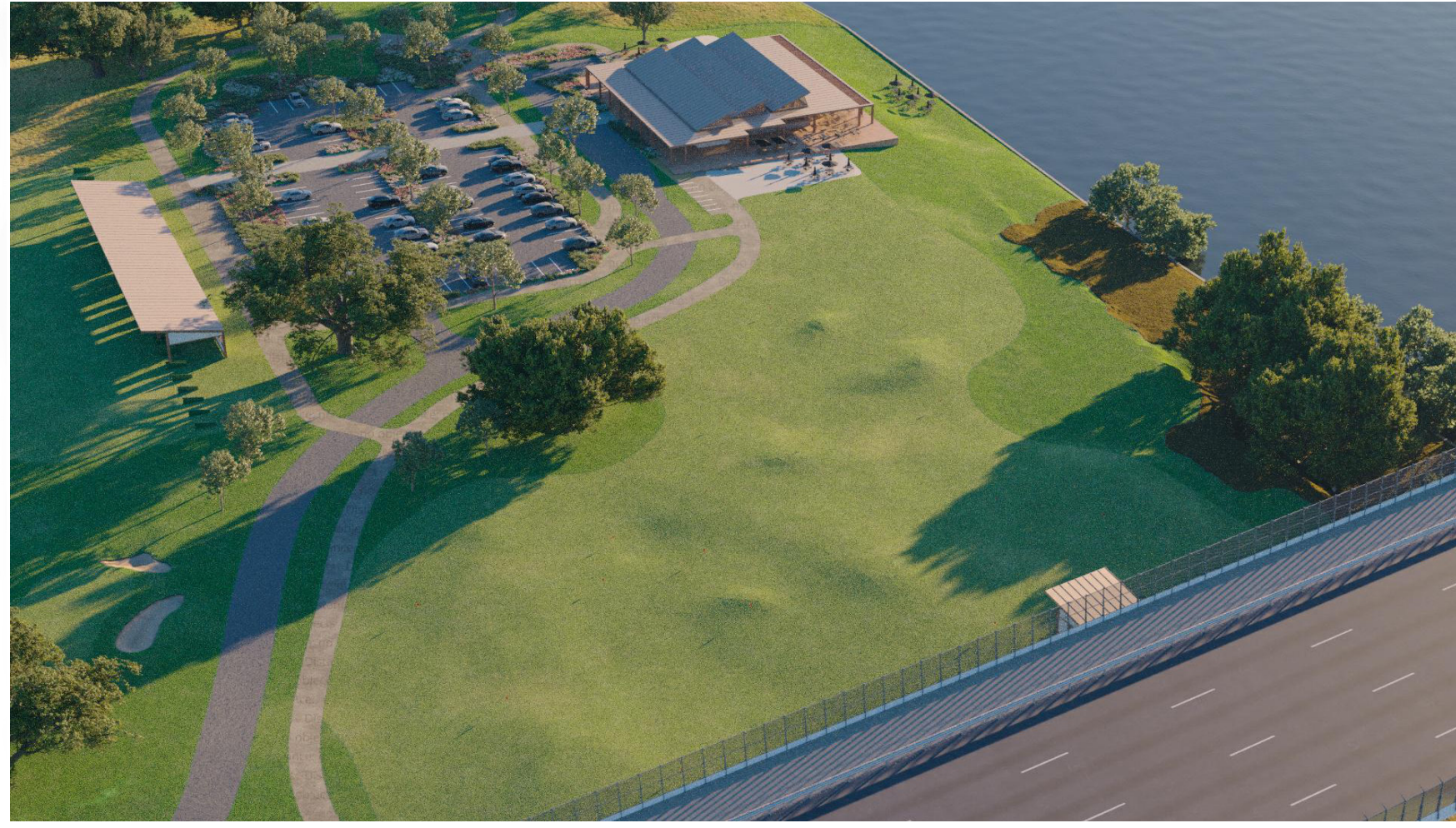
Aerial not to scale
 Approximate scale (metres)



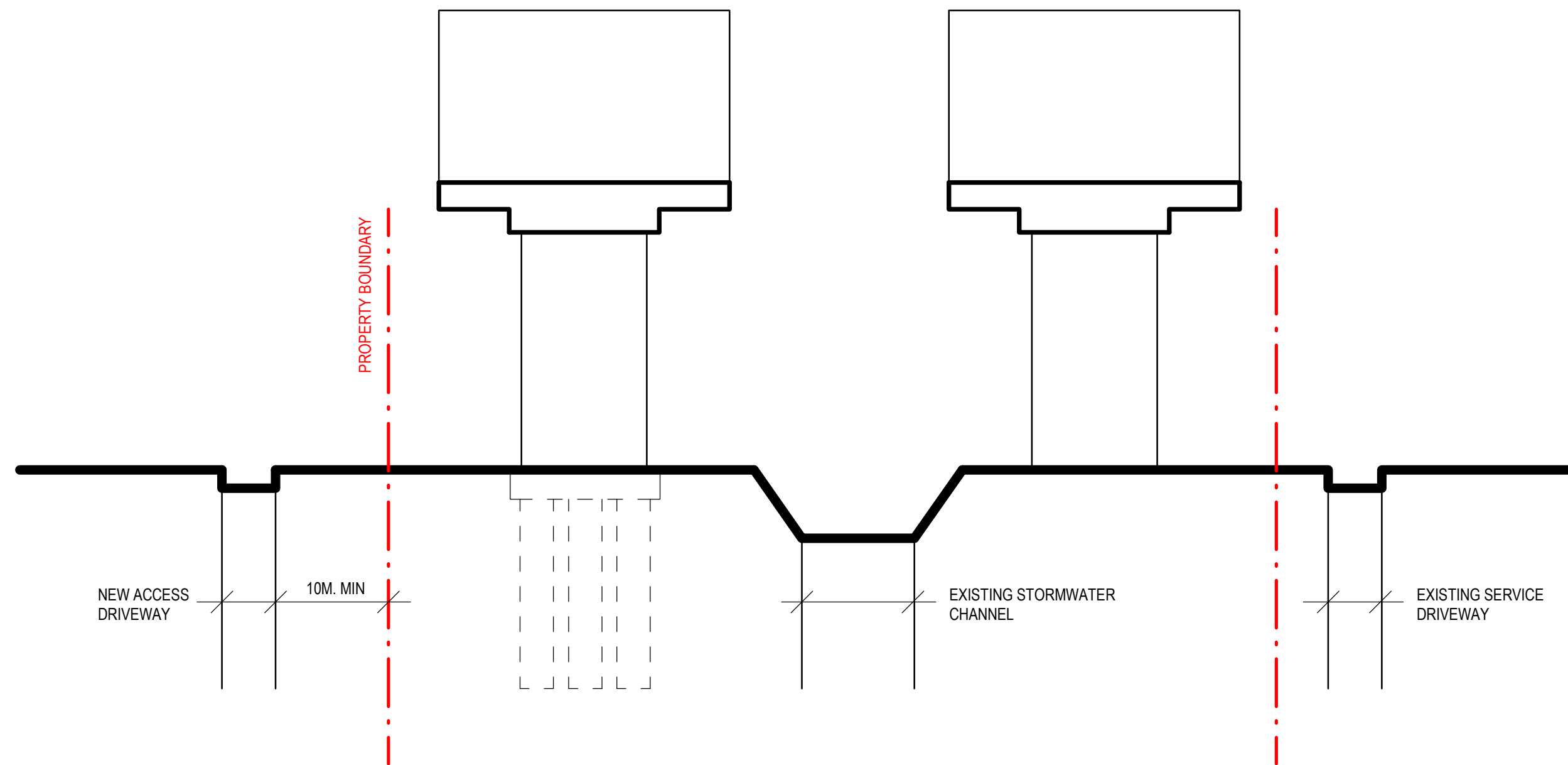
Annexure 2 to Schedule 1 – Earthworks



AERIAL PERSPECTIVE VIEW
OF PROPOSED PAVILLION & CARPARK



'HIMALAYAS' PUTTING GREEN
ITEM C ON PLAN



SECTION THROUGH BRIDGE STRUCTURES
LOOKING SOUTH



VIEW OF BRIDGE STRUCTURE
FROM NEW ACCESS DRIVEWAY



VIEW OF EXISTING SERVICE DRIVEWAY
ITEM F ON PLAN

neylan
ARCHITECTURE

CLIENT
ROYAL QUEENSLAND GOLF CLUB

PROJECT INFORMATION
**EASTERN DEVELOPMENT
AT ROYAL QUEENSLAND
GOLF CLUB**

PROJECT NO. 2208

SHEET NAME
GOLF COURSE

SHEET NO.
SK.06

REV.

SCALE
SHEET SIZE A2
DATE 13.05.2025
DRAWN BY GO
CHECKED BY JN

Annexure 3 to Schedule 1 – Vegetation Clearing and Fauna Management Plan

5.4.7 Hazardous and dangerous goods

Spills and leaks from transfers (fuel, chemicals) and inadequate storage of dangerous goods and hazardous wastes could result in point-source contamination of surrounding land. Direct adverse impacts could include toxic impacts on vegetation (resulting in degradation or loss of vegetation and habitats), direct toxic impacts on fauna (from contact, inhalation or ingestion) or indirect impacts on threatened and migratory species from habitat loss. Direct adverse impacts on surface and groundwater quality are also possible.

With the application of standard mitigation and management measures, impacts from liquid and solid waste disposal will be avoided or localised and small in scale. Further to this, the likelihood of significant spillages is considered low. Therefore, the development is likely to result in a negligible impact to ecological values due to potential spills and leaks.

5.4.8 Increased human presence

Increased human activity during construction has the potential to disturb fauna within the site and on adjacent habitat areas. Examples of impacts included heightened vigilance and predator avoidance, which can disrupt foraging and roosting efficiency, or deter wildlife from using particular areas. Impacts essentially represent a reduction in core habitat due to edge effects. The development is likely to result in a temporary and minor impact to ecological values due the increased human presence on-site during construction and due to the sites location within a urban and highly modified locality.

5.5. Management measures

A Vegetation Clearing and Fauna Management Plan (VCFMP) should form part of the broader management document for the site once detailed design and engineering works are known. The VCFMP should cover clearing of vegetation and include details on:

- Clearly show trees to be removed.
- Temporary and permanent exclusion and protection fencing.
- Roles and responsibilities for site contractors, the developer and the consultant group.
- Stockpiling and site access locations.
- Fauna species surveyed as using the site with a focus on those most likely impacted by development works.
- A list of relevant State legislation constraints and controls for the above listed fauna.
- A plan showing existing habitat opportunities and locations.
- A clearing sequence plan showing the commencement of clearing and direction of removal
- Details of the threats to existing fauna species.
- Management and mitigation measures, e.g. temporary use of fauna exclusion fencing.
- Fauna spotter role, contacts and certification.
- Specific fauna management procedures for potential or known habitat trees.
- Links to weed management and revegetation proposals.
- The stock piling and reuse of cleared vegetation.

Annexure 4 to Schedule 1 – Waterway barrier works



♦STRUCTURAL♦CIVIL♦HOUSING♦FORENSIC♦

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Our Ref: 25090-A/JT

Monday, 16 June 2025

Royal Queensland Golf Club

ABN: 66 009 659 312

431 Curtin Avenue West

EAGLE FARM QLD 4009

RE: Response to RFI
Royal Queensland Golf Club Golf Course Redevelopment Bridge Structures
431 Curtin Avenue, Eagle Farm QLD

We have reviewed the proposed masterplan for the Royal Queensland Golf Club Golf Course Redevelopment which indicates two bridge structures which we understand traverse, or are in close proximity to, wetland areas.

This response is provided in respect to the queries raised in an email by Sean McCawley of the Department of State Development, Infrastructure and Planning, dated 13 May 2025. This response addresses the structural engineering aspects of the bridges relating to the form of construction, potential disturbance during and following construction, and other potential effects on the wetland areas as a result of the construction of the bridges.

These structures are proposed to be designed to minimise any disturbance to the wetland by using lightweight timber boardwalk structures similar to the conceptual design diagrams shown below.

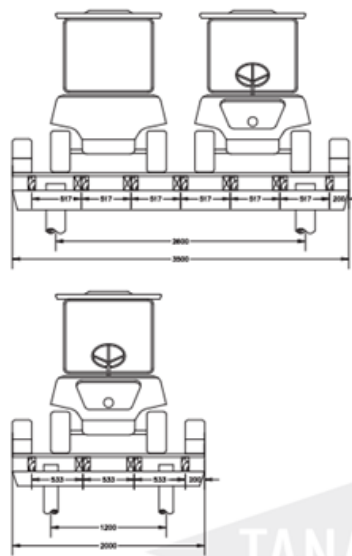


Figure 1 - Typical boardwalk sections for 2-way and 1-way traffic

It is proposed that these structures would be supported using supports at approximately 3m spacing. Larger clear spans may be feasible subject to the final design geometry of the structure and geotechnical advice.

Suitable foundation systems for the boardwalk would include timber posts, steel screw piers or other proprietary low, or no, disturbance foundation systems. These systems are commonly used in highly sensitive protected wetland boardwalks as they create minimal disturbance on the surrounding ground during or following construction. They also maximise the open space beneath the structure, providing a clear path for water to flow under the structures to adjacent wetland areas.

Typically, considering the relatively small loads that are needed to be supported, screw piers would have a flight diameter of 300mm or less, and a post diameter of less than 100mm. Timber posts would be approximately 150mm diameter. Subject to ground conditions, both the steel piles and timber posts may require a small concrete collar around them at ground surface level. It is expected that this collar would be approximately 300mm diameter for both pier/post types.

The deck of the boardwalk is anticipated to be constructed from timber boards which can be designed to provide gaps between the boards to allow penetration of light through the structure into the water beneath.

We confirm that the proposed bridge structures can be constructed to create minimal disturbance and not have a detrimental effect on the wetlands in the short or long-term.

If you have any queries regarding this matter, please contact the undersigned.

Yours faithfully,
MORGAN CONSULTING ENGINEERS PTY LTD



James Thomas MIEAust CPEng RPEQ 5524

Annexure 5 to Schedule 1 – Design/built form

ROYAL QUEENSLAND GOLF CLUB OLYMPIC MASTER PLAN
HARRIS KALINKA 3D RENDERS - PROPOSED SHORT COURSE PAVILION



THE PRELIMINARY 3D RENDERS ILLUSTRATE THE DESIGN INTENT OF ROYAL QUEENSLAND GOLF CLUB FOR THE PROPOSED SHORT COURSE PAVILION. THE FINAL PAVILION DESIGN MAY BE SUBJECT TO REFINEMENT AND VARIATION AS THE DETAILED DESIGN AND TENDER PROCESS PROGRESSES.

Annexure 6 to Schedule 1 – Coastal Hazard



5. Conclusions & Recommendations

This report has assessed the impacts of coastal hazards impacts upon the proposed redevelopment works at 431 Curtin Avenue West, Eagle Farm which is properly described as Lot 45 on SP120367 and Lot 1158 on SP233736, documenting the negative impacts that coastal hazards may have upon proposed development.

The report has determined that the Royal Queensland Golf Club is situated in a coastal environment (within a sheltered riverine environment) which is mapped by the State Planning Policy as being subject to erosion and may be subject to the impacts of medium and high storm tide inundation. The proposed redevelopment works and associated infrastructure should therefore give due consideration to the impacts of coastal processes (erosion and storm tide inundation) during the design process.

It is recommended that the proposed development be designed in accordance with the following criteria:

- All future development within mapped coastal hazard areas are to be designed to accommodate / withstand hydraulic forces and coastal processes
- The finished floor level of any proposed building should be established in accordance with the levels prescribed by Table 8.2.6.3.C of the BCC Coastal Hazard Overlay Code.
- The foundation design of any building subjected to coastal processes be informed by a detailed Geotechnical investigation and report.
- Foundations of buildings / structures within mapped erosion prone areas or areas subject to inundation by storm tide events are designed, constructed in accordance with the current Australian Standards, certified by an RPEQ and maintained in perpetuity for the life of the use.
- The design of the proposed development be undertaken to reduce (where practicable) impacts upon established vegetation where in close proximity to creek / waterway / riverbanks.
- A Flood Emergency Management Plan be developed which caters for the early evacuation of the site prior to the onset of flooding from storm tide / regional flood events.

An assessment of the proposed development against the State Development Assessment Provisions and the Brisbane City Council's Coastal Hazard Overlay Code has been undertaken as part of this assessment. Based on the available information, this report has determined that the proposed works can be undertaken without:

- Negatively impacting upon coastal processes;
- Impacting upon the protective function of landforms and retains vegetation;
- Significantly impacting the risk or impacts to people or properties;
- Increasing the severity of coastal erosion either on or off site;
- Impacting negatively upon coastal processes; or
- Impacting negatively upon Matters of State Ecological Significance.

