

FLINDERS PACIFIQ LAKES



DEVELOPMENT APPLICATION - ROL

NH3B AND NH3C - DEV2019/1085
SECTION 3: SPECIALIST REPORTS





ATTACHMENT 4

Subdivision Plans prepared by RPS

Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Source Information:
Site boundaries: Registered Survey Plans.
Adjoining information: DGD6.
Contours:
Aerial photography:
Environment constraints:



Yield Breakdown - Residential		
Neighbourhood 3B & 3C		Total
Allotment Type	Quantity	%
Standard Allotment 28m Product		
10.5m Villa	—	0.0%
12.5m Premium Villa	9	6.2%
14m Courtyard	12	8.2%
16m Premium Courtyard	7	4.8%
18m Traditional	4	2.7%
Subtotal	32	21.9%
Standard Allotment 32m Product		
10.5m Villa	4	2.7%
12.5m Premium Villa	29	19.9%
14m Courtyard	42	28.8%
16m Premium Courtyard	24	16.4%
18m Traditional	15	10.3%
Subtotal	114	78.1%
Total Residential Allotments	146	100.0%

Land Budget		
Neighbourhood 3B & 3C		
Land Use	16.505 ha	100.0%
Developable Allotments		
Residential Allotments	7.471 ha	45.3%
Total Area of Allotments	7.471 ha	45.3%
Management Lots		
Management Lot	0.069 ha	0.4%
Total Management Lots	0.069 ha	0.4%
Open Space		
Neighbourhood Recreation Park	0.500 ha	3.0%
Linear Park	0.212 ha	1.3%
Drainage/ Stormwater	4.684 ha	28.4%
Total Area of Open Space	5.396 ha	32.7%
Road		
Local Streets	3.166 ha	19.2%
Collector Street	0.077 ha	0.5%
Pedestrian Linkage/ Embellishment	0.120 ha	0.7%
Landscape Buffer	0.208 ha	1.3%
Total Area of New Road	3.570 ha	21.6%

- Legend**
- Site Boundary
 - Existing Contour 1m Interval
 - 5m Landscape Buffer
 - Potential Bushfire Emergency Access

PLAN REF: **AU416385 – 12**
Rev No: **1**
DATE: 3 June 2026
CLIENT: PACIFIQ
DRAWN BY: SE
CHECKED BY: CC

0 10 20 30 40 50 1:1,000 @ A1

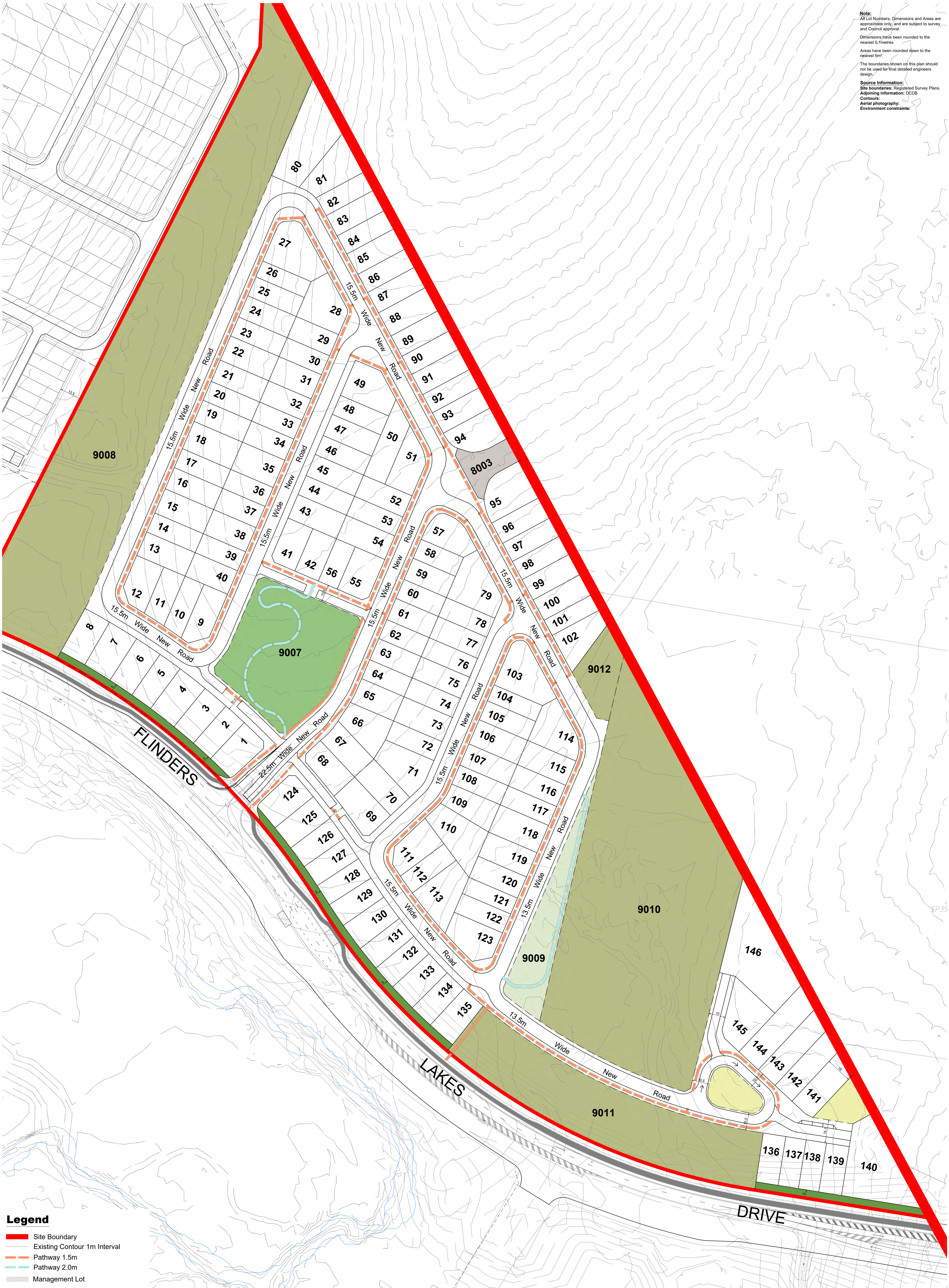
**FLINDERS LAKES
NEIGHBOURHOODS 3B & 3C
Plan of Subdivision**

URBAN DESIGN
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
T +61 7 3559 5500
W rpsgroup.com

rps

© COPYRIGHT PROTECTS THIS PLAN
Unauthorised reproduction or amendment not permitted. Please contact the author.

Note:
All Lot Numbers, Dimensions and Areas are approximate only and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Source Information:
Site boundaries: Registered Survey Plans.
Adjoining information: DCDB.
Contours: Aerial photography.
Environment constraints:



Legend

- Site Boundary
- Existing Contour 1m Interval
- Pathway 1.5m
- Pathway 2.0m
- Management Lot

PLAN REF: AU416385 – 13
Rev No: H
DATE: 3 June 2026
CLIENT: PACIFIQ
DRAWN BY: SE
CHECKED BY: CC



0 10 20 30 40 50 1:1,000 @ A1

**FLINDERS LAKES
NEIGHBOURHOOD 3B & 3C
CONNECTIVITY PLAN**

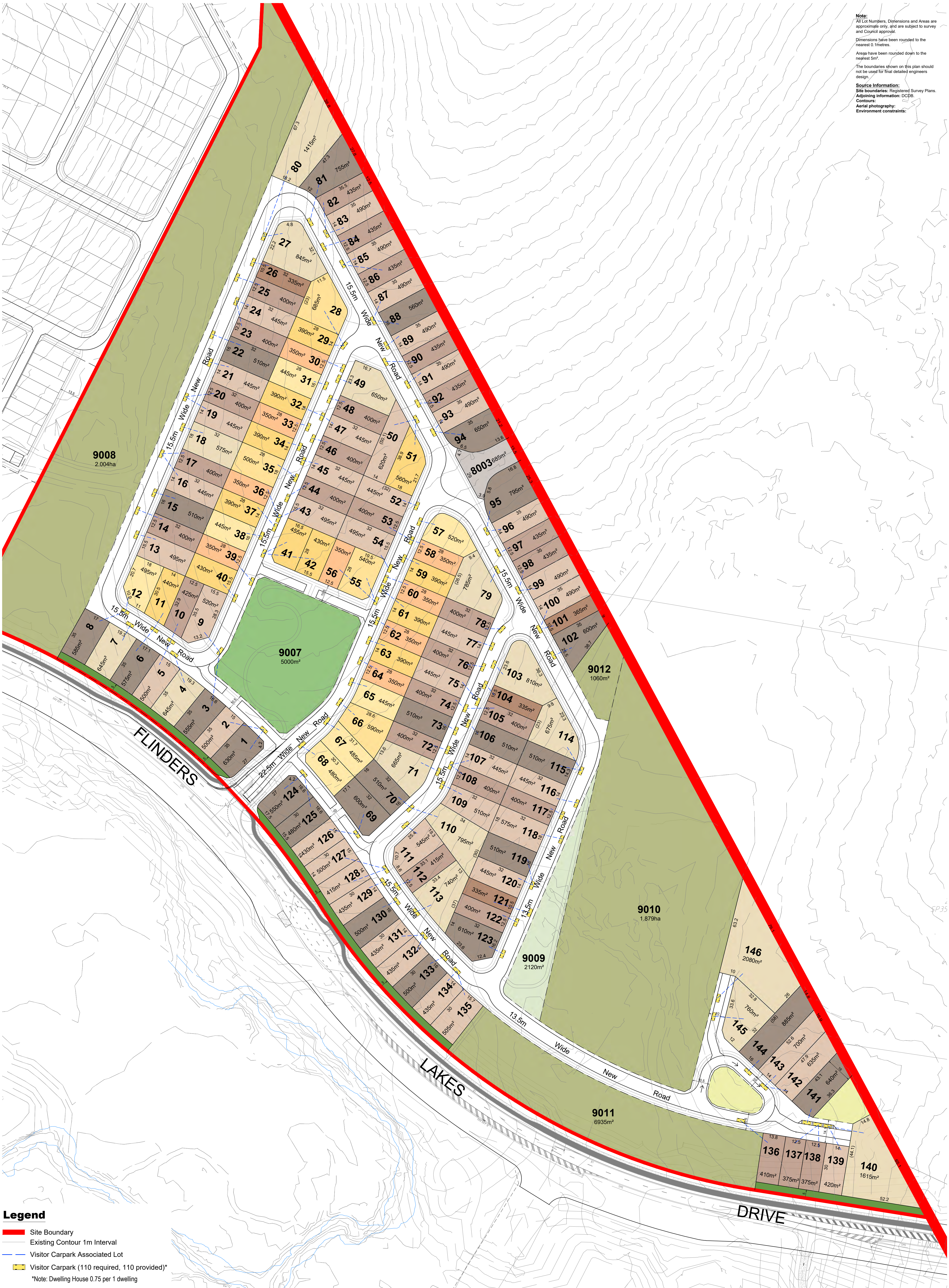
URBAN DESIGN
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
T +61 7 3559 5500
W rpsgroup.com



© COPYRIGHT PROTECTS THIS PLAN
Unauthorised reproduction or amendment not permitted. Please contact the author.

Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.

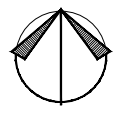
Source Information:
Site boundaries: Registered Survey Plans.
Adjoining information: DCDB.
Contours: Aerial photography.
Environment constraints:



Legend

- Site Boundary
- Existing Contour 1m Interval
- Visitor Carpark Associated Lot
- Visitor Carpark (110 required, 110 provided)*
*Note: Dwelling House 0.75 per 1 dwelling

PLAN REF: AU416385 – 15
Rev No: G
DATE: 3 June 2026
CLIENT: PACIFIQ
DRAWN BY: SE
CHECKED BY: CC



0 10 20 30 40 50 1:1,000 @ A1

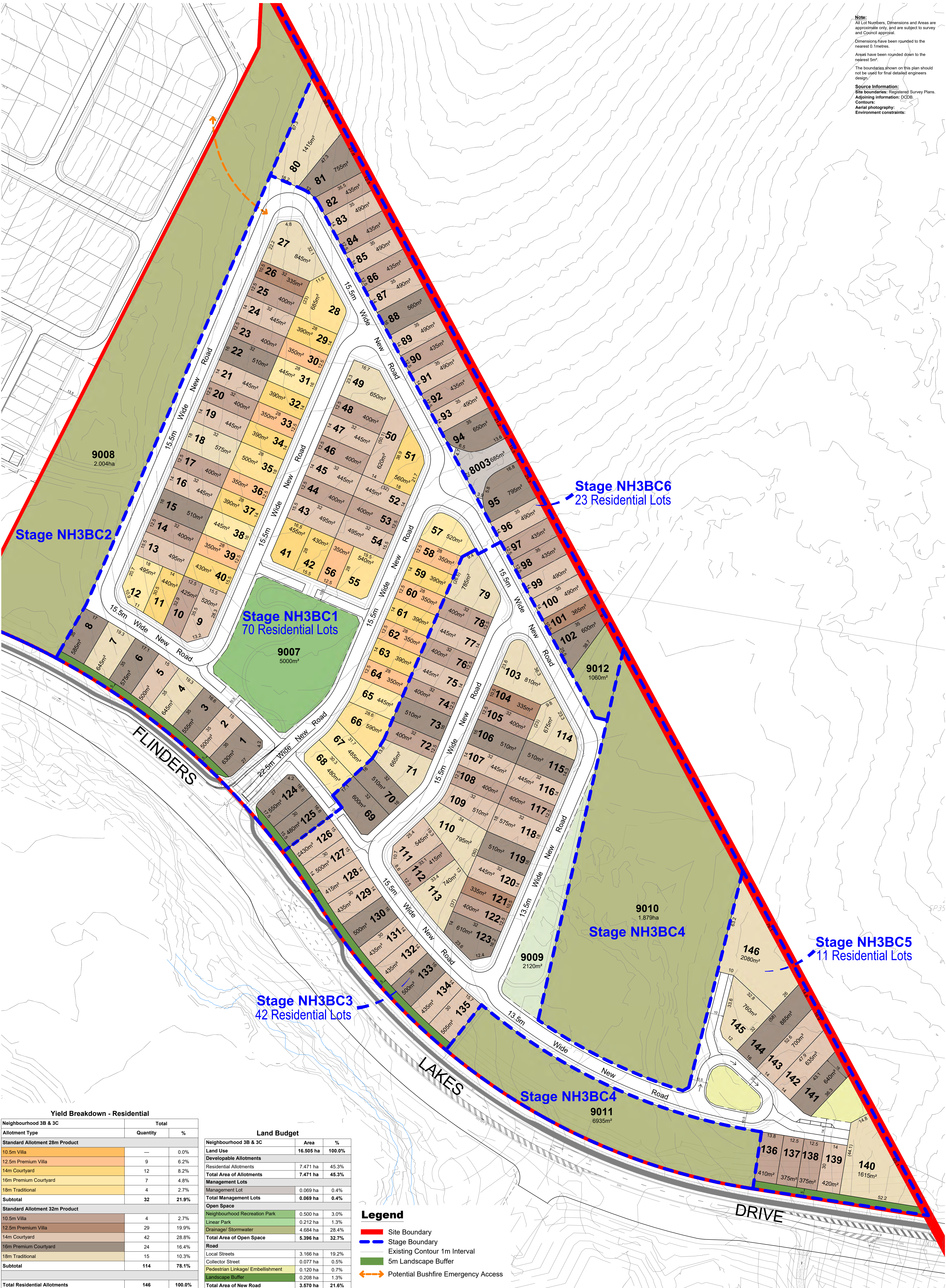
**FLINDERS LAKES
NEIGHBOURHOOD 3B & 3C
ON-STREET PARKING PLAN**

URBAN DESIGN
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
T +61 7 3559 5500
W rpsgroup.com

© COPYRIGHT PROTECTS THIS PLAN
Unauthorised reproduction or amendment not permitted. Please contact the author.



Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Source Information:
Site boundaries: Registered Survey Plans.
Adjoining information: DGD8.
Contours:
Aerial photography:
Environment constraints:



Yield Breakdown - Residential		
Neighbourhood 3B & 3C	Total	
Allotment Type	Quantity	%
Standard Allotment 28m Product		
10.5m Villa	—	0.0%
12.5m Premium Villa	9	6.2%
14m Courtyard	12	8.2%
16m Premium Courtyard	7	4.8%
18m Traditional	4	2.7%
Subtotal	32	21.9%
Standard Allotment 32m Product		
10.5m Villa	4	2.7%
12.5m Premium Villa	29	19.9%
14m Courtyard	42	28.8%
16m Premium Courtyard	24	16.4%
18m Traditional	15	10.3%
Subtotal	114	78.1%
Total Residential Allotments	146	100.0%

Land Budget		
Neighbourhood 3B & 3C	Area	%
Land Use	16.505 ha	100.0%
Developable Allotments		
Residential Allotments	7.471 ha	45.3%
Total Area of Allotments	7.471 ha	45.3%
Management Lots		
Management Lot	0.069 ha	0.4%
Total Management Lots	0.069 ha	0.4%
Open Space		
Neighbourhood Recreation Park	0.500 ha	3.0%
Linear Park	0.212 ha	1.3%
Drainage/ Stormwater	4.684 ha	28.4%
Total Area of Open Space	5.396 ha	32.7%
Road		
Local Streets	3.166 ha	19.2%
Collector Street	0.077 ha	0.5%
Pedestrian Linkage/ Embellishment	0.120 ha	0.7%
Landscape Buffer	0.208 ha	1.3%
Total Area of New Road	3.570 ha	21.6%

- Legend**
- Site Boundary
 - Stage Boundary
 - Existing Contour 1m Interval
 - 5m Landscape Buffer
 - Potential Bushfire Emergency Access

FLINDERS LAKES
NEIGHBOURHOODS 3B & 3C
STAGING PLAN

URBAN DESIGN
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
T +61 7 3559 5500
W rpsgroup.com

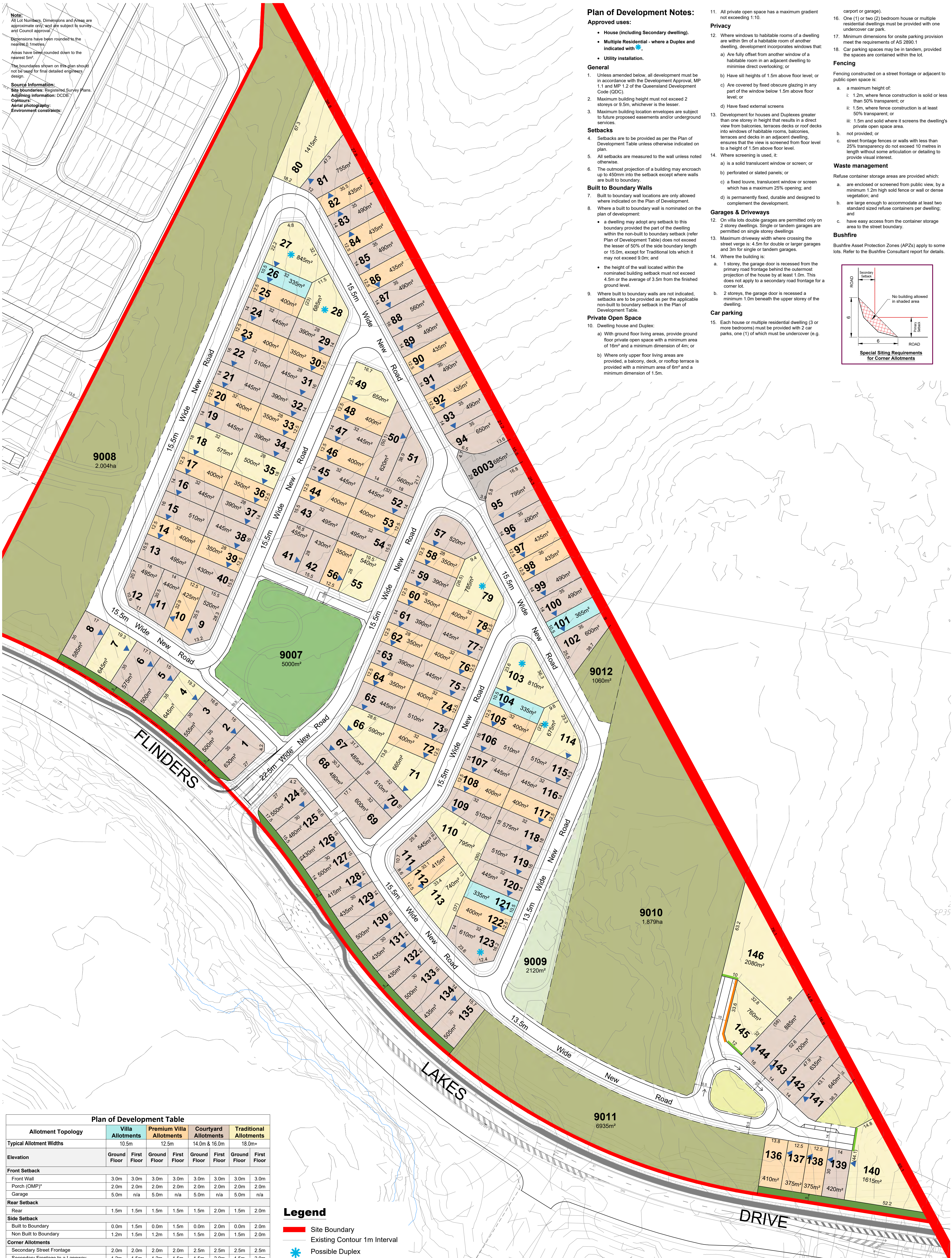
© COPYRIGHT PROTECTS THIS PLAN
Unauthorised reproduction or amendment not permitted. Please contact the author.



ATTACHMENT 5

Plan of Development (including Display village)
Prepared by RPS

Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineering design.
Source Information:
Site boundaries: Registered Survey Plans
Adjoining information: DCDB
Contours:
Aerial photography:
Environment constraints:



Plan of Development Table									
Allotment Topology		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Traditional Allotments	
		Typical Allotment Widths		10.5m		12.5m		14.0m & 16.0m	
Elevation		Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Setback									
Front Wall		3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Porch (OMP)*		2.0m	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m
Garage		5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear Setback									
Rear		1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m
Side Setback									
Built to Boundary		0.0m	1.5m	0.0m	1.5m	0.0m	2.0m	0.0m	2.0m
Non Built to Boundary		1.2m	1.5m	1.2m	1.5m	1.5m	2.0m	1.5m	2.0m
Corner Allotments									
Secondary Street Frontage		2.0m	2.0m	2.0m	2.0m	2.5m	2.5m	2.5m	2.5m
Secondary Frontage to a Laneway		1.2m	1.5m	1.2m	1.5m	1.5m	2.0m	1.5m	2.0m
Site Coverage (maximum)		60%		60%		60%		60%	
*	Porches, covered front decks and terraces, and bay windows								
OMP:		Outermost projection							

- Legend**
- Site Boundary
 - Existing Contour 1m Interval
 - Possible Duplex
 - Built to Boundary Wall
 - Primary Frontage
 - Secondary Frontage

Plan of Development Notes:

Approved uses:

- House (including Secondary dwelling).
- Multiple Residential - where a Duplex and indicated with
- Utility installation.

General

- Unless amended below, all development must be in accordance with the Development Approval, MP 1.1 and MP 1.2 of the Queensland Development Code (QDC).
- Maximum building height must not exceed 2 storeys or 9.5m, whichever is the lesser.
- Maximum building location envelopes are subject to future proposed easements and/or underground services.

Setbacks

- Setbacks are to be provided as per the Plan of Development Table unless otherwise indicated on plan.
- All setbacks are measured to the wall unless noted otherwise.
- The outmost projection of a building may encroach up to 450mm into the setback except where walls are built to boundary.

Built to Boundary Walls

- Built to boundary wall locations are only allowed where indicated on the Plan of Development.
- Where a built to boundary wall is nominated on the plan of development:

- a dwelling may adopt any setback to this boundary provided the part of the dwelling within the non-built to boundary setback (refer Plan of Development Table) does not exceed the lesser of 50% of the side boundary length or 15.0m, except for Traditional lots which it may not exceed 9.0m; and
- the height of the wall located within the nominated building setback must not exceed 4.5m or the average of 3.5m from the finished ground level.

- Where built to boundary walls are not indicated, setbacks are to be provided as per the applicable non-built to boundary setback in the Plan of Development Table.

Private Open Space

- Dwelling house and Duplex:
 - With ground floor living areas, provide ground floor private open space with a minimum area of 16m² and a minimum dimension of 4m; or
 - Where only upper floor living areas are provided, a balcony, deck, or rooftop terrace is provided with a minimum area of 6m² and a minimum dimension of 1.5m.

- All private open space has a maximum gradient not exceeding 1:10.

Privacy

- Where windows to habitable rooms of a dwelling are within 9m of a habitable room of another dwelling, development incorporates windows that:
 - Are fully offset from another window of a habitable room in an adjacent dwelling to minimise direct overlooking; or
 - Have sill heights of 1.5m above floor level; or
 - Are covered by fixed obscure glazing in any part of the window below 1.5m above floor level; or
 - Have fixed external screens
- Development for houses and Duplexes greater than one storey in height that results in a direct view from balconies, terraces decks or roof decks into windows of habitable rooms, balconies, terraces and decks in an adjacent dwelling, to a height of 1.5m above floor level.
- Where screening is used, it:
 - is a solid translucent window or screen; or
 - perforated or slatted panels; or
 - a fixed louvre, translucent window or screen which has a maximum 25% opening; and
 - is permanently fixed, durable and designed to complement the development.

Garages & Driveways

- On villa lots double garages are permitted only on 2 storey dwellings. Single or tandem garages are permitted on single storey dwellings.
- Maximum driveway width where crossing the street verge is: 4.5m for double or larger garages and 3m for single or tandem garages.
- Where the building is:
 - 1 storey, the garage door is recessed from the primary road frontage behind the outermost projection of the house by at least 1.0m. This does not apply to a secondary road frontage for a corner lot.
 - 2 storeys, the garage door is recessed a minimum 1.0m beneath the upper storey of the dwelling.

Car parking

- Each house or multiple residential dwelling (3 or more bedrooms) must be provided with 2 car parks, one (1) of which must be undercover (e.g.

- carport or garage).
- One (1) or two (2) bedroom house or multiple residential dwellings must be provided with one undercover car park.
- Minimum dimensions for onsite parking provision meet the requirements of AS 2890.1
- Car parking spaces may be in tandem, provided the spaces are contained within the lot.

Fencing

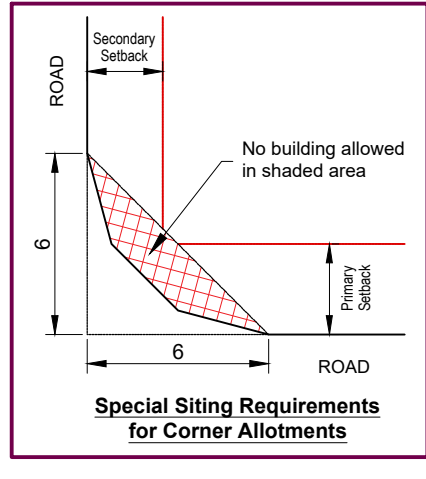
- Fencing constructed on a street frontage or adjacent to public open space is:
- a maximum height of:
 - 1.2m, where fence construction is solid or less than 50% transparent; or
 - 1.5m, where fence construction is at least 50% transparent; or
 - 1.5m and solid where it screens the dwelling's private open space area.
 - not provided; or
 - street frontage fences or walls with less than 25% transparency do not exceed 10 metres in length without some articulation or detailing to provide visual interest

Waste management

- Refuse container storage areas are provided which:
- are enclosed or screened from public view, by a minimum 1.2m high solid fence or wall or dense vegetation; and
 - are large enough to accommodate at least two standard sized refuse containers per dwelling; and
 - have easy access from the container storage area to the street boundary.

Bushfire

Bushfire Asset Protection Zones (APZs) apply to some lots. Refer to the Bushfire Consultant report for details.



PLAN REF: AU416385 – 14
Rev No: 1
DATE: 3 June 2026
CLIENT: PACIFIQ
DRAWN BY: SE
CHECKED BY: CC

0 10 20 30 40 50 1:1,000 @ A1

**FLINDERS LAKES
NEIGHBOURHOOD 3B & 3C
PLAN OF DEVELOPMENT**

URBAN DESIGN
Level 4 HQ South
620 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
T +61 7 3559 5500
W rpsgroup.com

© COPYRIGHT PROTECTS THIS PLAN
Unauthorised reproduction or amendment not permitted. Please contact the author.



Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Registered Survey Plans.
Adjoining information: DCCB.
Contours: Aerial photography.
Environment constraints:

- Legend**
- Display Village Boundary
 - Design Contour 0.5m Interval
 - CP** Carpark
 - B** Landscape Forecourt
 - *** Discovery Centre/ Sales Office
 - Boom Gates
 - Display Homes
 - Display Village Expansion

PLAN REF: **AU416385 – 26**
Rev No: **C**
DATE: 02 June 2026
CLIENT: PACIFIQ
DRAWN BY: SE
CHECKED BY: CC

0 5 10 15 20 25 1:500 @ A1

**FLINDERS LAKES
NEIGHBOURHOOD 3B
Display Village**

URBAN DESIGN
Level 4 HQ South
620 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
T +61 7 3559 5500
W rpgroup.com

Copyright PROTECTS THIS PLAN
Unauthorised reproduction or amendment not permitted. Please contact the author.



Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Source Information:
Site boundaries: Registered Survey Plans
Adjoining information: DCDB
Contours:
Aerial photography
Environment constraints:

Notes:

General

- Proposed Advertising Devices must be of materials and colours which present a visually attractive appearance to the public.
- Advertising Devices must be:
 - Maintained to not cause disturbance to the occupants of nearby developments; and
 - Located and designed to not create a nuisance or potential hazard to pedestrians.
- Construction of Advertising Devices is limited to 6:30am – 6:30pm Monday to Saturday, and may not occur outside of these hours, on Sundays or on public holidays.
- Estate Entry Signs:
 - are placed at the entrance of an estate generally where shown on plan;
 - Is set at or within 500mm of ground level;
 - Is maintained as a freestanding structure in a landscaped environment;
 - Does not obstruct pedestrian/cycle access to the estate or sight lines for vehicle movement;
 - Signface area does not exceed 30m²;
 - Is a maximum height of 5 metres.
- A Billboard Identification Sign is permitted where complying with the following Criteria:
 - Is mounted as freestanding structure in a landscape environment;
 - Does not project beyond the front alignment of the site/lot on which it sits;
 - Is designed and treated in such a way that the supporting framework and the back of the signface area blend with the surrounding streetscape or field a view;
 - Has a maximum thickness not exceeding 75mm per metre of height above ground level; and
 - Is permitted up to a maximum height of 10 metres and a maximum signface area of 30m² per signface unless otherwise marked on this plan;
 - If a sign is to be illuminated, luminance must not exceed 350 candelas/m².
- Signage cannot include flashing lights.
- Banner Pole/ Directional Sign can be 2m wide x 3m high - 6m² per sign.
- Pylon Sign & Banner Pole can be 0.6m wide x 2m high - 1.2m² per sign.
- A Third Party Sign (Pylon Sign & Banner Pole) is permitted to be erected on land owned or under the control of Pacifiq, and intended to advertise the emerging community of Flinders Lakes, the Display Village, or Partner Builders with Display Homes within the Display Village.

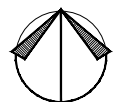
Legend

- Site Boundary
- Display Village Boundary
- Design Contour 0.5m Interval
- Neighbourhood Recreation Park
- Linear Park
- Drainage/ Stormwater
- Pedestrian Linkage
- Landscape Buffer
- Management Lot
- Boom Gates
- Banner Pole / Directional Sign (20 years)
- 6x3m Billboard Identification Sign (10 years)
- Pylon Sign and Banner Poles (10 years)
- Estate Entry Sign

**FLINDERS LAKES
NEIGHBOURHOOD 3B & 3C
SIGNAGE PLAN**

PLAN REF: AU416385 – 32

Rev No: D
DATE: 02 June 2026
CLIENT: PACIFIQ
DRAWN BY: SE/CC
CHECKED BY: CC



0 10 20 30 40 50 1:1,000 @ A1

URBAN DESIGN
Level 4 HQ South
620 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
T +61 7 3559 5500
W rpsgroup.com



© COPYRIGHT PROTECTS THIS PLAN
Unauthorised reproduction or amendment not permitted. Please contact the author.



ATTACHMENT 6

Preliminary Engineering Drawings prepared by
Mortons Urban Solutions



NEIGHBOURHOOD

3B & 3C

PRELIMINARY ENGINEERING

No. 23301-PRENH3BC

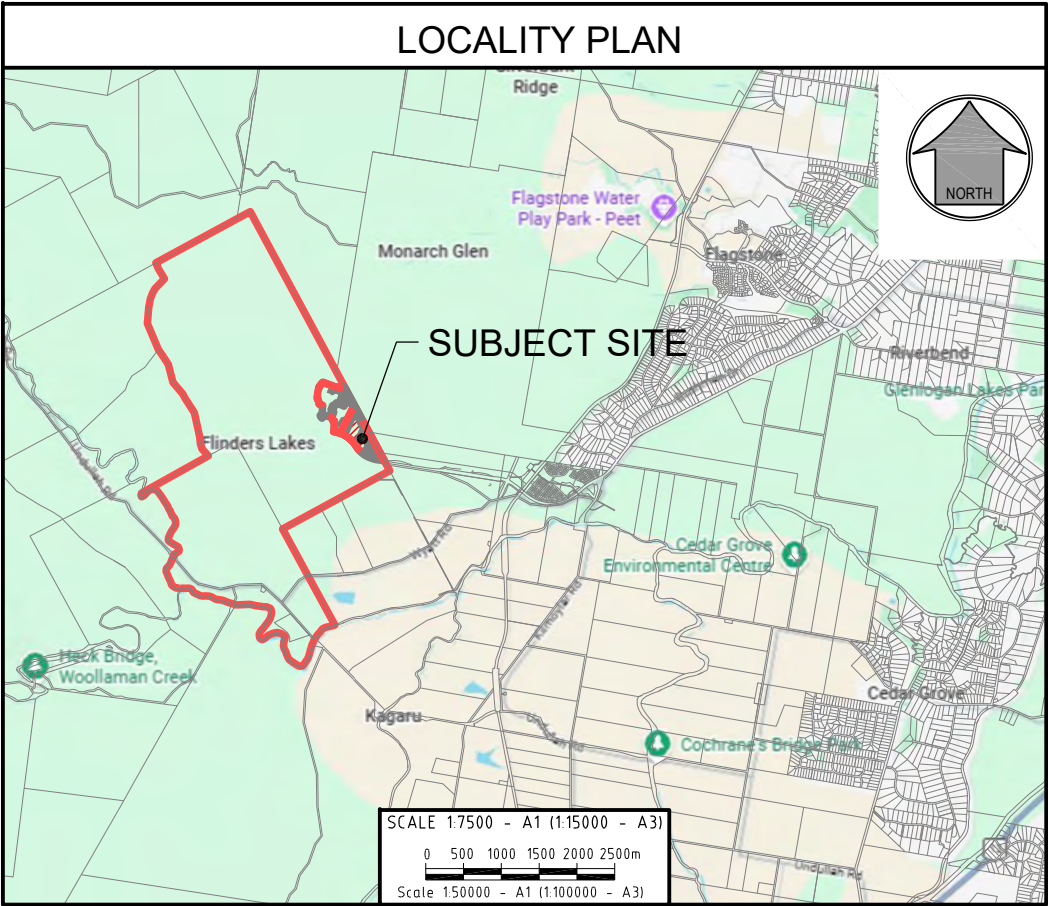
SCHEDULE OF DRAWINGS		
NUMBER	REV. NO.	TITLE
GENERAL		
23301-PREN3BC-000	A	COVER SHEET
23301-PREN3BC-005	A	ROAD HIERARCHY, STAGING PLAN & GENERAL NOTES
EARTHWORKS: EXISTING FEATURES & DEMOLITION		
23301-PREN3BC-020	A	PLAN SHEET 01
EARTHWORKS: BULK EARTHWORKS CUT/FILL		
23301-PREN3BC-040	A	PLAN SHEET 01
23301-PREN3BC-041	A	PLAN SHEET 02
23301-PREN3BC-042	A	PLAN SHEET 03
23301-PREN3BC-043	A	PLAN SHEET 04
23301-PREN3BC-044	A	PLAN SHEET 05
EARTHWORKS: RETAINING WALL & DETAIL GRADING		
23301-PREN3BC-060	A	PLAN SHEET 01
23301-PREN3BC-061	A	PLAN SHEET 02
23301-PREN3BC-062	A	PLAN SHEET 03
23301-PREN3BC-063	A	PLAN SHEET 04
23301-PREN3BC-064	A	PLAN SHEET 05
23301-PREN3BC-065	A	PLAN SHEET 06
23301-PREN3BC-066	A	PLAN SHEET 07
23301-PREN3BC-067	A	PLAN SHEET 08
23301-PREN3BC-068	A	PLAN SHEET 09
23301-PREN3BC-069	A	PLAN SHEET 10
23301-PREN3BC-070	A	PLAN SHEET 11
23301-PREN3BC-071	A	PLAN SHEET 12
23301-PREN3BC-072	A	PLAN SHEET 13
23301-PREN3BC-075	A	DETAILS SHEET 01
EARTHWORKS: FINAL SURFACE & SEDIMENT AND EROSION CONTROL		
23301-PREN3BC-080	A	PLAN SHEET 01
23301-PREN3BC-081	A	PLAN SHEET 02
23301-PREN3BC-082	A	PLAN SHEET 03
23301-PREN3BC-083	A	PLAN SHEET 04
23301-PREN3BC-084	A	PLAN SHEET 05
ROADS: COMBINED SERVICES		
23301-PREN3BC-090	A	PLAN SHEET 01
23301-PREN3BC-091	A	PLAN SHEET 02
23301-PREN3BC-092	A	PLAN SHEET 03
23301-PREN3BC-093	A	PLAN SHEET 04
23301-PREN3BC-094	A	PLAN SHEET 05
ROADS: ROADWORKS		
23301-PREN3BC-100	A	PLAN SHEET 01
23301-PREN3BC-102	A	PLAN SHEET 02
23301-PREN3BC-103	A	PLAN SHEET 03
23301-PREN3BC-104	A	PLAN SHEET 04
23301-PREN3BC-105	A	PLAN SHEET 05
23301-PREN3BC-120	A	DETAILS SHEET 01
23301-PREN3BC-121	A	DETAILS SHEET 02
23301-PREN3BC-122	A	DETAILS SHEET 03
23301-PREN3BC-123	A	DETAILS SHEET 04
ROADS: LONGITUDINAL SECTIONS		
23301-PREN3BC-200	A	ROAD 01 SHEET 01
23301-PREN3BC-201	A	ROAD 01 (Cont.) SHEET 02
23301-PREN3BC-202	A	ROAD 01 (Cont.) SHEET 03
23301-PREN3BC-203	A	ROAD 01 (Cont.) SHEET 04
23301-PREN3BC-204	A	ROAD 02 SHEET 01
23301-PREN3BC-205	A	ROAD 02 (Cont.) SHEET 02
23301-PREN3BC-206	A	ROAD 02 (Cont.) SHEET 03
23301-PREN3BC-207	A	DWY 01-04 & 41-55 & 68-69
23301-PREN3BC-208	A	DWY 141-146 & 150-151



CLIENT:

PACIFIQ

ASSOCIATED CONSULTANTS:



R. P. DESCRIPTION
Lot 3 on S311896
MOUNT ELLIOTT ROAD
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY-LOGAN CITY COUNCIL

GENERAL

1. CONTRACT SPECIFICATIONS
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE CONTRACT SPECIFICATION.
2. SETOUT
SURVEY SETOUT INFORMATION HAS BEEN ESTABLISHED ON SITE BY THE PRINCIPAL'S SURVEYOR TO ENABLE THE CONTRACTOR TO ACCURATELY SETOUT THE WORKS TO THE CO-ORDINATES SHOWN. SETOUT INFORMATION SHALL NOT BE OBTAINED BY SCALING FROM THESE DRAWINGS.
3. DATUM
LEVELS SHOWN ARE TO A.H.D.
4. TRENCH SPOIL
ALL MATERIALS ARISING FROM ROADS & SERVICES ARE TO BE COMPACTED TO FUTURE STAGES, TO LEVEL 1 IF NO SPOIL AREA IS AVAILABLE THESE MATERIALS SHALL BE TRUCKED TO A LICENSED TIP. THESE WORKS FORM PART OF THE CONTRACTED WORKS.
5. CHECK ELECTRONIC SETOUT
CONTRACTOR IS RESPONSIBLE TO ENSURE ANY ELECTRONIC DATA FILES MATCH THE DRAWINGS.
6. PRE START
a. ERECT SITE SIGNAGE, CONSTRUCT ENTRY & EXIT POINT AS INDICATED.
b. CONSTRUCT VEHICLE WASHDOWN AREA & ASSOCIATED SILT MANAGEMENT DEVICES.
c. CONSTRUCT SITE OFFICE & STORAGE COMPOUND AREA.
d. INSTALL EROSION & SEDIMENT CONTROL DEVICES AS PER THE CONTRACTOR'S EROSION & SEDIMENT CONTROL PLAN.
e. ERECT TEMPORARY TREE PROTECTION FENCING IN ACCORDANCE WITH THE APPROVED VEGETATION MANAGEMENT PLAN & AUTHORITIES APPROVAL CONDITIONS (IF REQUIRED).
7. HEALTH & SAFETY
ALL WORKS UNDERTAKEN BY THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE WORKPLACE HEALTH & SAFETY LEGISLATION.
8. STOCKPILING
STOCKPILING OF ANY SURPLUS MATERIAL IS NOT PERMITTED.

PROJECT SPECIFIC REPORTS

- THE CONTRACTOR MUST FOLLOW THE RECOMMENDATIONS & PROCEDURES OUTLINED IN THE FOLLOWING REPORTS AT ALL TIMES:
- a) GEOTECHNICAL INVESTIGATION REPORTS (INCLUDING ANY ACID SULPHATE OR DISPERSIVE SOIL REPORTING)
- b) VEGETATION & FAUNA MANAGEMENT PLANS
- c) OTHER MANAGEMENT PLANS NOMINATED IN THE CONTRACT, AUTHORITIES APPROVAL CONDITIONS OR BY THE SUPERINTENDENT.

LEGEND

- TYPE 3A-LOCAL ACCESS ROAD (15.5m RESERVE)
LCC-URBAN ACCESS ROAD
- TYPE 3B-LOCAL ACCESS (15.5m RESERVE)
LCC-URBAN ACCESS ROAD
- TYPE 3C-LOCAL ACCESS (13.5m RESERVE)
LCC-URBAN ACCESS ROAD
- TYPE 3D SHARED DRIVEWAY (10.5m RESERVE)
IPWEA DRIVEWAY
- TYPE 3E-ONE WAY STREET (10.5m RESERVE)
URBAN ACCESS STREET
- TYPE 3F-LOCAL ACCESS (14.0m RESERVE)
LCC-URBAN ACCESS ROAD

- EXISTING PROPERTY LINE
- EXISTING KERB (INVERT)
- FUTURE PROPERTY LINE
- FUTURE KERB (INVERT)
- PROPOSED PROPERTY LINE
- PROPOSED KERB (INVERT)
- NEIGHBOURHOOD BOUNDARY
- STAGE BOUNDARY
- LIMIT OF WORKS BOUNDARY



REFER 120 DRAWINGS
SERIES FOR TYPICAL
SECTIONS



PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S31896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 15 30 45 60 75m
Scale 1:1500 - A1 (1:3000 - A3)

REV	DATE	DESCRIPTION	INT
A	29-05-26	EDD ISSUE	EP

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

ROAD HIERARCHY,
STAGING PLAN
&
GENERAL NOTES

PRELIMINARY ISSUE
NOT FOR CONSTRUCTION



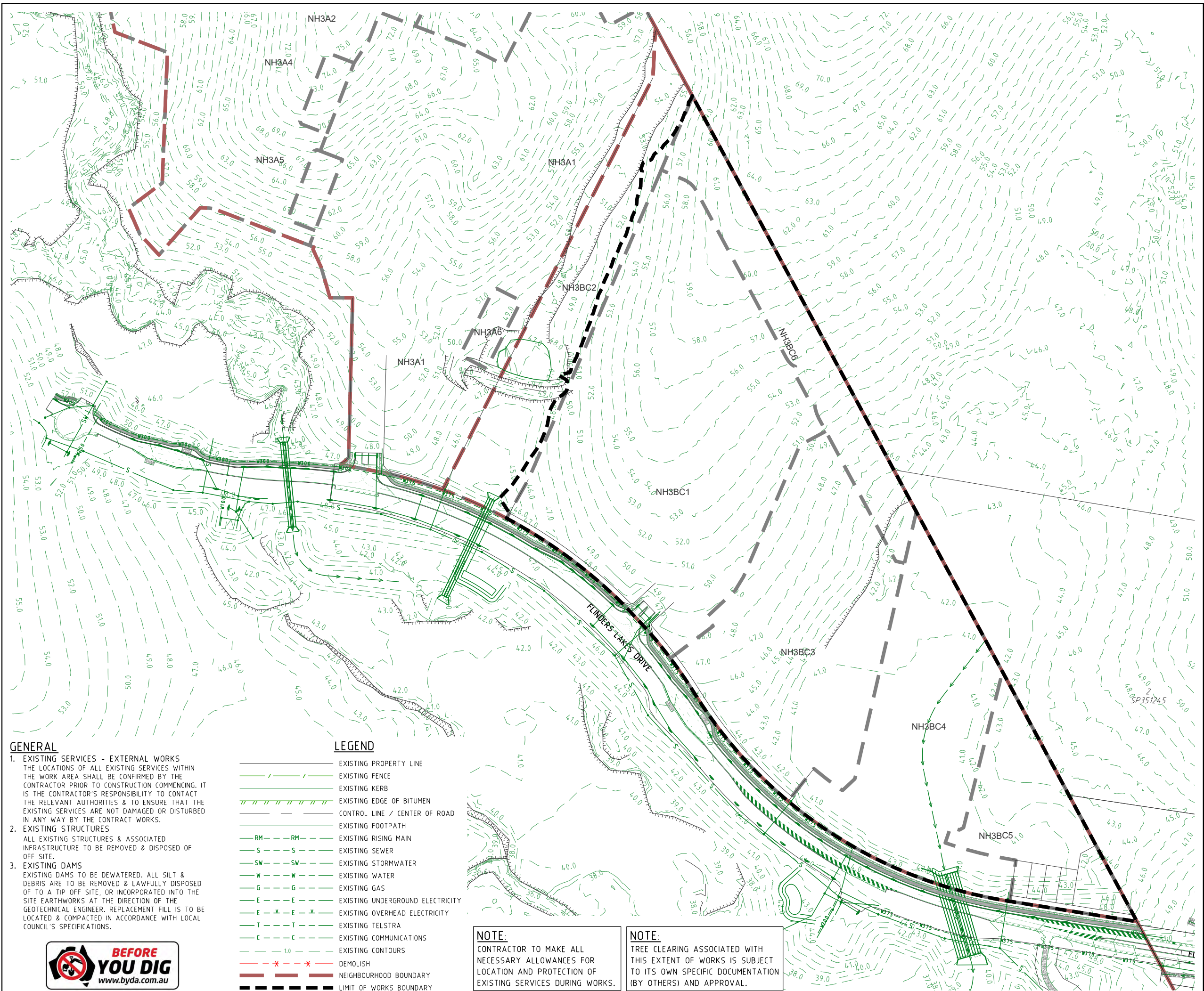
MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE	RPE 23228	DATE 29-05-26

DRAWING NUMBER	REV
23301-PREN3BC-005	A



PROJECT NAME



**NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING**

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 15 30 45 60 75m
Scale 1:1500 - A1 (1:3000 - A3)

A	29-05-26	EDG ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

**EXISTING FEATURES
& DEMOLITION
PLAN
SHEET 01**



MUS Pty Ltd T/A:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

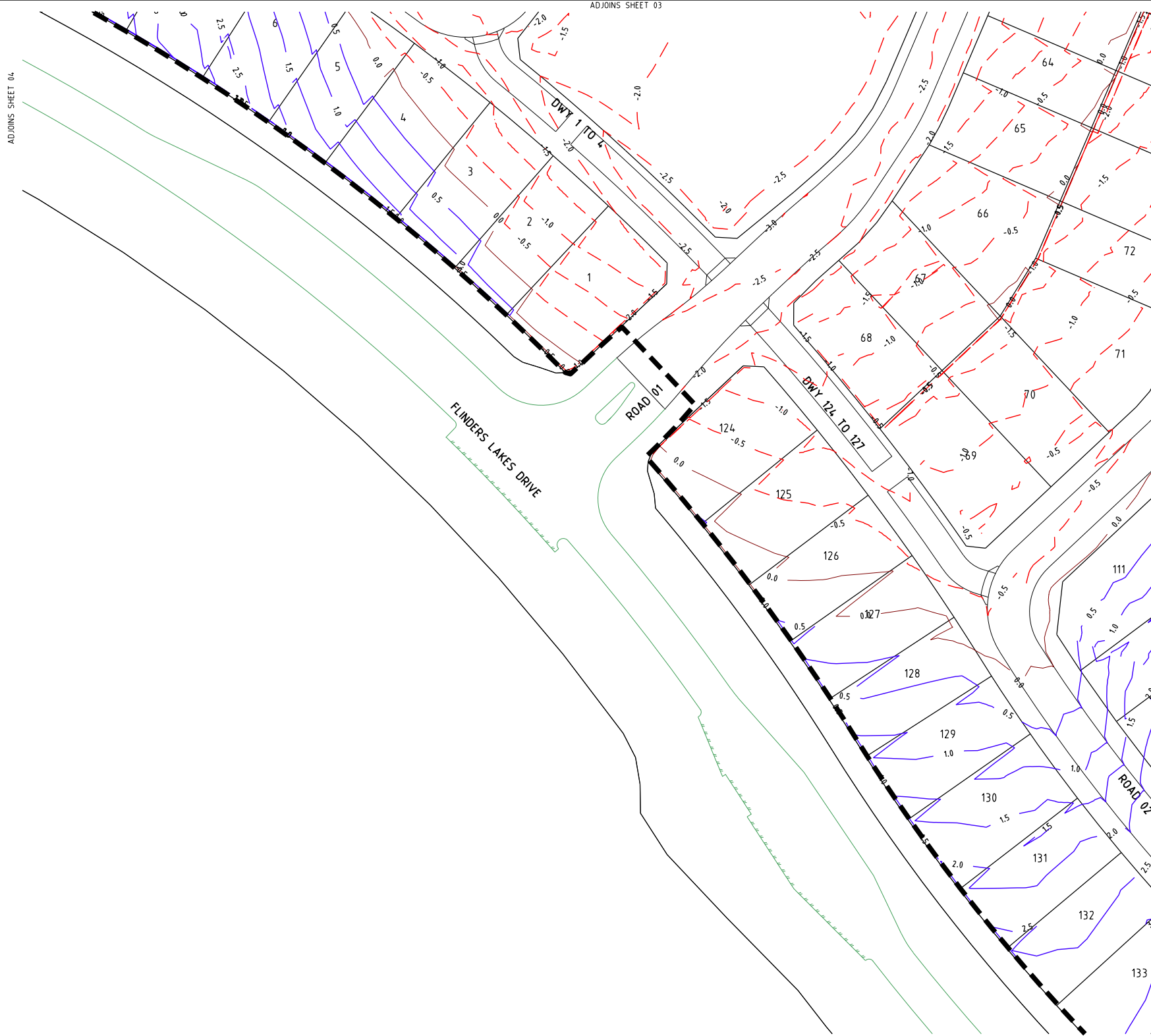
Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE <i>Ursula Weeks</i>	RPEQ 23228	DATE 29-05-26
DRAWING NUMBER	REV	
23301-PREN3BC-020	A	

EARTHWORKS

1. TOPSOIL STRIPPING
TOPSOIL SHALL BE STRIPPED ACROSS THE ENTIRE LIMIT OF THE EARTHWORKS CUT & FILL AREAS & SHALL BE STOCKPILED IN A LOCATION APPROVED BY THE SUPERINTENDENT. THE EXISTING STRATA IS TO BE TREATED IN ACCORDANCE WITH THE SPECIFICATION PRIOR TO PLACING ANY FILL.
2. EARTHWORKS LEVELS
EARTHWORKS LEVELS SHOWN ON DRAWINGS ARE TO FINISHED SURFACE LEVELS & INCLUDE 100mm OF TOPSOIL.
3. COMPACTION STANDARD
SITE FILLING & TRENCH BACKFILL SHALL BE COMPACTED TO THE STANDARDS OUTLINED IN THE LOCAL AUTHORITY'S SPECIFICATIONS. FILL BATTER FACES ARE TO BE OVERFILLED, COMPACTED & CUT BACK TO DESIGN LEVELS. ALL CUT BATTERS ARE TO BE CUT BACK & TRIMMED TO DESIGN LEVELS.
4. PAVEMENT DEPTHS
THE DESIGN PAVEMENT DEPTHS ALLOWED IN EARTHWORKS CALCULATIONS ARE BASED ON THE DEPTHS SHOWN IN THE SCHEDULE OF PAVEMENT DEPTHS. THE PAVEMENT DEPTHS GIVEN ARE DESIGN DEPTHS ONLY & MAY BE VARIED AFTER SUB GRADE TESTS ARE TAKEN & AUTHORITY APPROVAL.
5. TESTING & CERTIFICATION
ALL COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED N.A.T.A. TESTING AUTHORITY. ALL SITE FILLING SHALL BE TESTED AT LEVEL 1 REQUIREMENTS. THE CONTRACTOR IS TO PROVIDE ALL REQUIRED EARTHWORKS CERTIFICATIONS IN ACCORDANCE WITH THE APPROVAL CONDITIONS. THE CONTRACTOR IS TO PROVIDE A CONSTRUCTED EARTHWORKS SLOPE STABILITY CERTIFICATION CONFIRMING REQUIRED F.O.S. CERTIFIED BY A RPEQ.
6. TOPSOIL REPLACEMENT
ALL FOOTPATHS, BATTERS & ALLOTMENT CUT & FILL AREAS SHALL BE TOPSOILED WITH TOPSOIL FROM ONSITE STOCKPILES. & AMELIORATE SOIL AS NECESSARY TO ENSURE GRASS STRIKE.
7. GRASSING
ALL CUT/FILL AREAS, DISTURBED AREAS & TRENCHED AREAS SHALL BE GRASSED TO THE SATISFACTION OF THE SUPERINTENDENT & LOCAL AUTHORITY.
8. ROCK
THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR EARTHWORKS RATE.
9. EARTHWORKS ZONE
THE FOLLOWING ACTIVITIES ARE PROHIBITED OUTSIDE THE EARTHWORKS ZONE - STORAGE & MIXING OF MATERIALS, VEHICLE PARKING, LIQUID DISPOSAL, MACHINERY REPAIRS/REFUELING, PLACEMENT OF SITE OFFICES OR SHEDS, COMBUSTION OF ANY MATERIAL, STOCKPILING OF SOIL, RUBBLE OR DEBRIS, ANY FILLING OR EXCAVATION INCLUDING TRENCHES, TOPSOIL, SKIMMING AND/OR SURFACE EXCAVATION UNLESS OTHERWISE APPROVED BY THE RELEVANT AUTHORITY.
10. CONSTRUCTION - STOCKPILING
TEMPORARY SILT FENCE TO BE ERCTED 5m FROM TOE OF BATTER ON LOW SIDE OF STOCKPILING. STOCKPILE SITE TO BE CLEAR OF ADJACENT PROPERTY BOUNDARIES SO AS NOT TO CAUSE A NUISANCE TO ADJOINING PROPERTIES. NO STOCKPILES ARE TO BE LOCATED WITHIN THE TREE PROTECTION ZONE. REFER VEGETATION MANAGEMENT PLAN FOR MORE DETAILS. THE CONTRACTOR SHALL NOT CREATE STOCKPILES OF SURPLUS MATERIALS UNLESS DIRECTED BY THE SUPERINTENDENT. ALL MATERIALS ARISING FROM THE WORKS SHALL BE COMPACTED TO FUTURE FILL AREAS AS NOMINATED OR REMOVED FROM THE SITE.
11. TOPSOIL SCREENING
TOPSOIL SHALL BE SCREENED BY THE CONTRACTOR WHEN DIRECTED BY THE SUPERINTENDENT. ALL UNSUITABLE MATERIAL SCREENED FROM THE TOPSOIL WILL BE TAKEN TO AN OFFSITE TIP BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.
12. EARTHWORKS MATERIAL SIZE
ALL EARTHWORKS MATERIAL IS TO BE BROKEN DOWN TO AN ACCEPTABLE SIZE TO BE COMPACTED UNDER LEVEL 1 FILL. WHERE THE RELEVANT GUIDELINES DON'T SPECIFY AN ACCEPTABLE SIZE, EARTHWORKS MATERIAL IS TO BE BROKEN DOWN TO A SIZE NO LARGER THAN 75mm.
13. MOISTURE CONTENT
EARTHWORKS MOISTURE VARIATION TO NOT EXCEED ±2% OF THE OPTIMUM MOISTURE CONTENT.
14. SURFACE FINISH
THE FINISHED SURFACE LEVEL IS TO BE CAPPED WITH FINER MATERIAL & SMOOTH DRUM ROLLED & GRADED TO PROMOTE SURFACE WATER RUNOFF IN A CONTROLLED MANNER.
15. EARTHWORKS LIMITS
THE CONTRACTOR IS TO TIE IN TO THE NATURAL SURFACE AT THE LIMIT OF THE EARTHWORKS. THE TIE IN IS TO BE COMPLETED IN A MANNER TO ENSURE THERE IS NO PONDING OF SURFACE WATER.
16. IMPORTED MATERIAL
LOTS - ALL IMPORTED MATERIAL FOR PLACEMENT ON LOTS TO BE A MINIMUM CBR 10 MATERIAL & HAVE A SWELL % <1.5.
ROADS - ALL IMPORTED MATERIAL FOR PLACEMENT ON ROADS TO BE A MINIMUM CBR10 MATERIAL WITH A SWELL % <1.5, LIQUID LIMIT <70 & PLASTICITY INDEX <4.5.
SOIL PARAMETERS TO BE REVIEWED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT ON SITE.
17. REACTIVE SOILS
a. ALL REACTIVE TOPSOIL TO BE IDENTIFIED BY THE GEOTECHNICAL ENGINEER & BE SEPARATED FROM THE NON REACTIVE TOPSOIL.
b. ALL REACTIVE TOPSOIL TO BE RESPREAD IN THE OPEN SPACE AREA. WHERE REACTIVE TOPSOIL IS REQUIRED TO BE RESPREAD ON DEVELOPABLE AREAS THE CONTRACTOR SHALL LIME TREAT THE TOPSOIL TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
c. WHEN UNDERTAKING THE EARTHWORKS CUT, ALL MATERIALS SHOULD BE SELECTIVELY SORTED SO THAT THE REACTIVE SOILS ARE SEPARATED FROM THE LOW REACTIVE RESIDUAL SOILS & XW BEDROCK.
d. ALL REACTIVE SOILS ARE TO BE PLACED IN THE LOWER SECTIONS OF FILL WITH THE LESS REACTIVE RESIDUAL SOILS & XW BEDROCK TO BE PLACE IN THE UPPER FILLS. ALTERNATIVELY, THE REACTIVE SOILS CAN BE BLENDED WITH THE LESS REACTIVE SOILS & XW ROCK TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
e. NO REACTIVE CLAY SOILS SHOULD BE PLACED WITHIN THE UPPER 0.75M APPROX. FILL PROFILE WHERE POSSIBLE.
f. WHEN PLACING FILL OVER HIGHLY REACTIVE SOILS, TREATMENT MAY BE REQUIRED IF THE FILLS ARE ONLY MINOR, 0.3m APPROX. & THE REACTIVE SOIL PROFILE IS GREATER THAN 0.7m APPROX. IN THESE AREAS SUBGRADE REPLACEMENT OF AT LEAST 0.75m OF NON REACTIVE / LOW REACTIVE MATERIAL OVERLYING THE REACTIVE SOILS SHALL BE UNDERTAKEN.
g. ALL WORKS ASSOCIATED WITH THE IDENTIFICATION, PLACEMENT & TREATMENT OF REACTIVE SOILS SHALL BE UNDERTAKEN TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
18. VERTICAL FACES
WHERE VERTICAL EARTHWORKS FACES ARE PROPOSED AS PART OF THE EARTHWORKS DESIGN & RETAINING WALLS ARE NOT PROPOSED AS PART OF THE WORKS, THE CIVIL CONTRACTOR IS TO CONSTRUCT A TEMPORARY 1 in 2 BATTER.
19. EARTHWORKS VOLUMES
a. EARTHWORKS VOLUMES CONTAINED WITHIN THE CONTRACT DOCUMENTS ARE APPROXIMATE ONLY. CONTRACTOR TO VERIFY & ALLOW FOR ANY DISCREPANCY IN THE CONTRACT VALUE.
b. VOLUMES INDICATE THE STRUCTURAL QUANTITY OF EARTHWORKS, IE BETWEEN THE EXISTING SURFACE & THE UNDERSIDE OF THE MINIMUM BOX & OF THE FSL, AS PRESCRIBED IN THE CONTRACT DOCUMENTATION.
c. NO ALLOWANCE FOR COMPACTION OR BULKING FACTOR IS INCLUDED IN THE EARTHWORKS VOLUMES. THE CONTRACTOR IS TO MAKE ALLOWANCES FOR BULKING/COMPACTION AS PART OF THEIR CONTRACT WORKS.
d. THE CONTRACTOR IS TO VERIFY EXISTING SURFACE & TOPSOIL DISTRIBUTION PRIOR TO SIGNING THE CONTRACT. THE CONTRACTORS PRICE FOR THESE WORKS IS DEEMED TO BE ACCEPTING OF THE NATURAL SURFACE & TOPSOIL DISTRIBUTION.
e. THE CONTRACTOR IS REQUIRED TO EXPORT / IMPORT AS NEEDED TO ACHIEVE THE FINAL SURFACE LEVELS. THE EXPORT/IMPORT AS REQUIRED TO COMPLETE EARTHWORKS FORMS PART OF THE CONTRACT WORKS.
f. WHERE NO SPOIL AREA IS AVAILABLE WITHIN THE PROJECT FOOTPRINT, THE CIVIL CONTRACTOR SHALL EXPORT EXCESS MATERIALS TO A LICENCED TIP OFF SITE. THESE WORKS FORM PART OF THE CONTRACT WORKS.

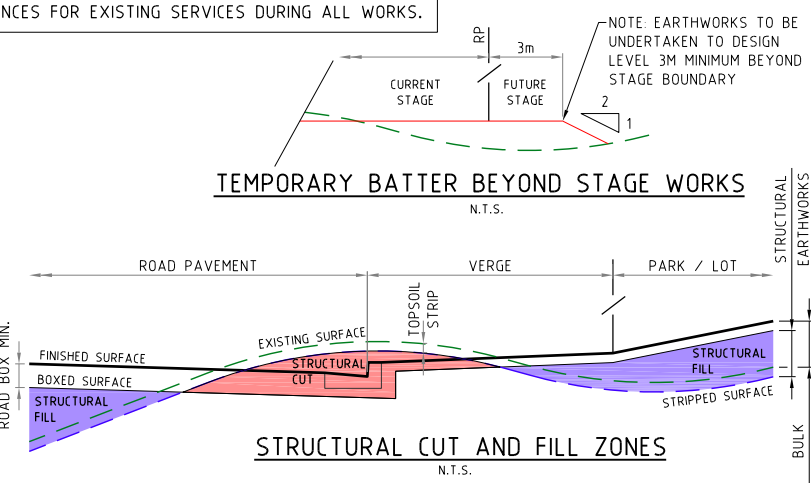


- LEGEND**
- — — — — EXISTING PROPERTY LINE
 - — — — — EXISTING KERB (INVERT)
 - — — — — FUTURE KERB (INVERT)
 - — — — — FUTURE PROPERTY LINE
 - — — — — LIMIT OF EARTHWORKS BOUNDARY
 - — — — — PROPOSED PROPERTY LINE
 - — — — — PROPOSED KERB (INVERT)
 - - - - -0.5- - - - - CUT CONTOUR
 - - - - -0.0- - - - - INTERFACE CONTOUR
 - - - - -0.5- - - - - FILL CONTOUR
 - - - - - NEIGHBOURHOOD BOUNDARY
 - - - - - STAGE BOUNDARY



NOTE:
CONTRACTOR TO MAKE ALL NECESSARY ALLOWANCES FOR EXISTING SERVICES DURING ALL WORKS.

SHEET LAYOUT



PROJECT NAME



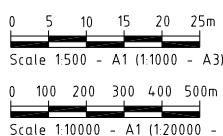
NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

EARTHWORKS
CUT TO FILL
PLAN
SHEET 01



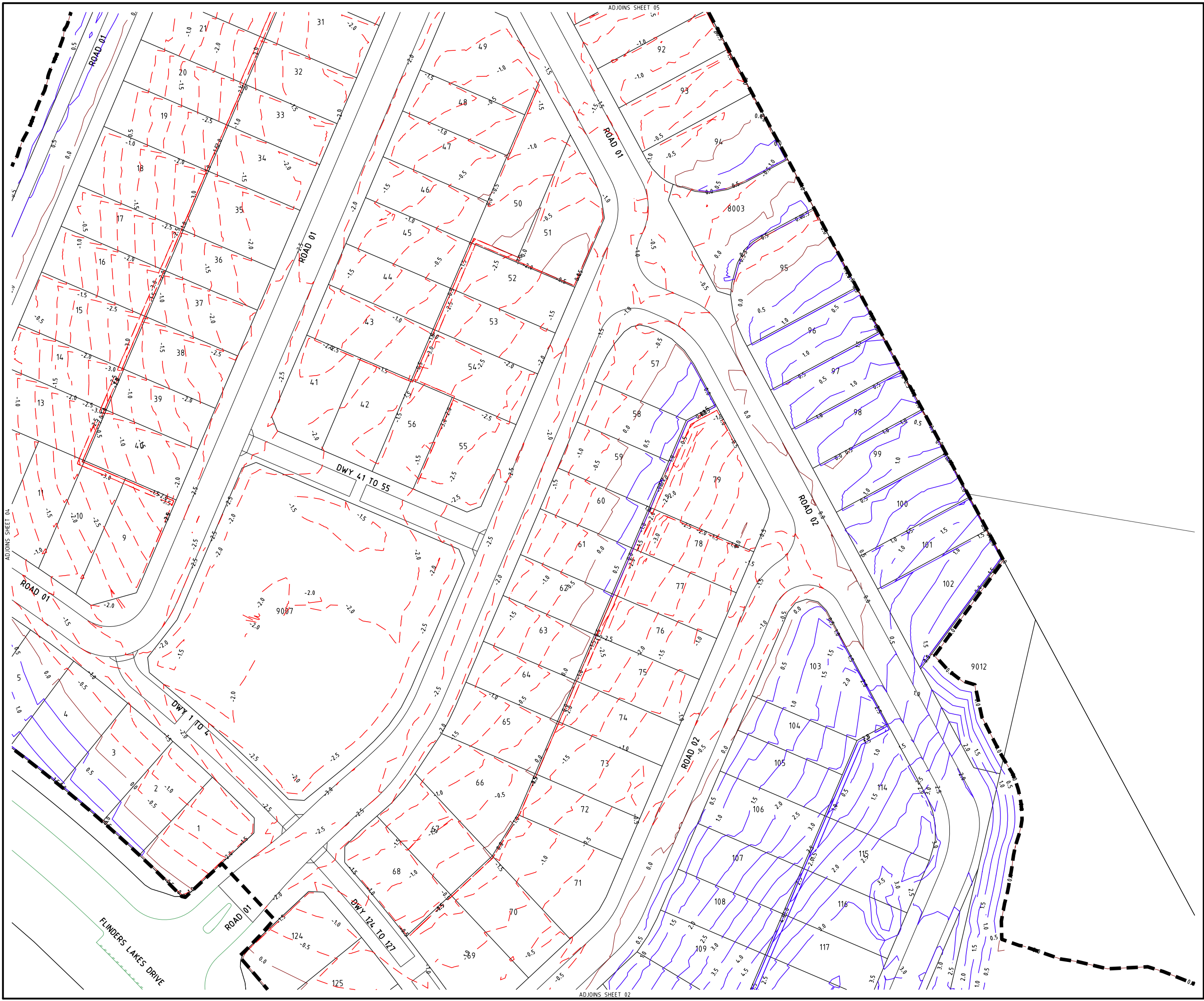
MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED	URSULA WEEKS	DESIGNED	PP	DRAWN	EP
SIGNATURE	<i>URSULA WEEKS</i>	RPEQ 23228	DATE 29-05-26		

DRAWING NUMBER	REV
23301-PREN3BC-040	A



PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S31896
 LOCALITY OF FLINDERS LAKES
 LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT







Scale 1:500 - A1 (1:1000 - A3)

A	29-05-26	EDD - ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS







DRAWING TITLE

EARTHWORKS
 CUT TO FILL
 PLAN
 SHEET 03



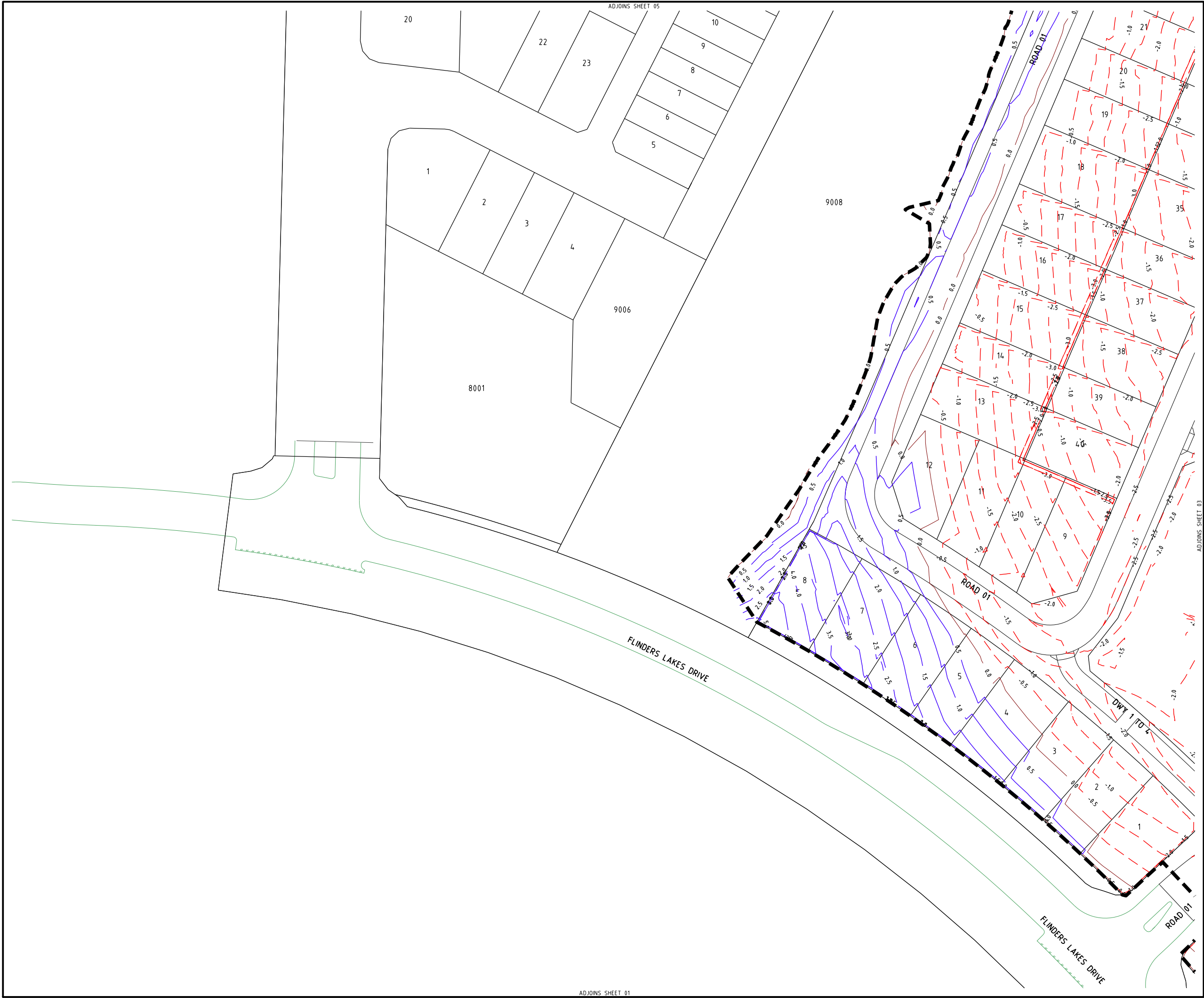
MUS Pty Ltd T/As:
 Mortons-Urban Solutions
 ABN: 39 116 375 065
 mortons@urbansolutions.net.au
 www.urbansolutions.net.au
 Tel: 07 5571 1099

Postal Address:
 PO Box 2484
 Southport QLD 4215

 Gold Coast Office:
 Suite 9, 19 Short St
 Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE 	RPEQ 23228	DATE 29-05-26
DRAWING NUMBER		REV
23301-PREN3BC-042		A

y:\2333 - pdc tua\01 - flinders precinct 01\NH 3B 3C\preliminary\Current\23301-PREN3BC-040.dwg, PLAN SHEET 03, 29/05/2026 4:33:35 PM, 1:2



PROJECT NAME


FLINDERS
LAKES

NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ


NORTH


0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

A	29-05-26	EDD - ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS





DRAWING TITLE

EARTHWORKS
CUT TO FILL
PLAN
SHEET 04



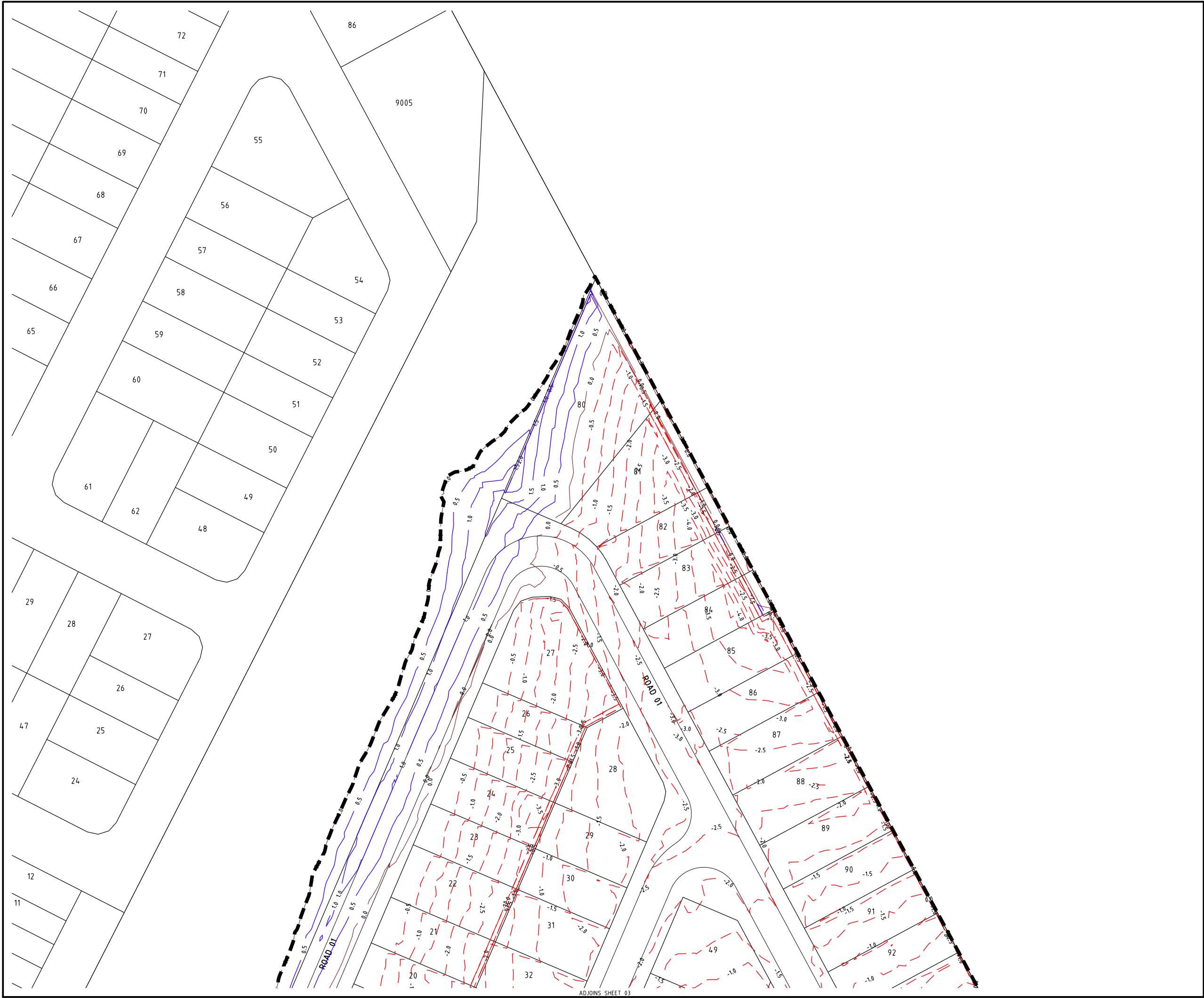
MORTONS
urbansolutions
Civil Engineering
Project Coordination

MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address:
PO Box 2484
Southport QLD 4215

Gold Coast Office:
Suite 9, 19 Short St
Southport QLD 4215

APPROVED	URSULA WEEKS	DESIGNED	PP	DRAWN	EP
SIGNATURE		RPEQ 23228	DATE	29-05-26	
DRAWING NUMBER					REV
23301-PREN3BC-043					A



PROJECT NAME


FLINDERS
LAKES

NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

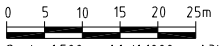
R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ


NORTH


0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

A	29-05-26	EDD - ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS


BMT


saunders
havill
group


ups
urbsaeps.com.au


rps
A TETRA TECH COMPANY

DRAWING TITLE

EARTHWORKS
CUT TO FILL
PLAN
SHEET 05


MORTONS
urbansolutions
Civil Engineering
Project Coordination

MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE 	RPEQ 23228	DATE 29-05-26
DRAWING NUMBER		REV
23301-PREN3BC-044		A

GENERAL

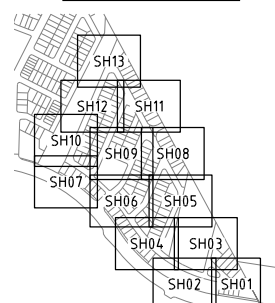
1. CONTRACT SPECIFICATIONS
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE CONTRACT SPECIFICATION.
2. SETOUT
SURVEY SETOUT INFORMATION HAS BEEN ESTABLISHED ON SITE BY THE PRINCIPAL'S SURVEYOR TO ENABLE THE CONTRACTOR TO ACCURATELY SETOUT THE WORKS TO THE CO-ORDINATES SHOWN. SETOUT INFORMATION SHALL NOT BE OBTAINED BY SCALING FROM THESE DRAWINGS.
3. DATUM
LEVELS SHOWN ARE TO A.H.D.
4. EXISTING SERVICES - EXTERNAL WORKS
THE LOCATIONS OF ALL EXISTING SERVICES WITHIN THE WORK AREA SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT AUTHORITIES & TO ENSURE THAT THE EXISTING SERVICES ARE NOT DAMAGED OR DISTURBED IN ANY WAY BY THE CONTRACT WORKS.
5. ALL MATERIALS ARISING FROM RETAINING WALL CONSTRUCTION ARE TO BE COMPACTED TO FUTURE STAGES, TO LEVEL 1 OR IF DIRECTED BY THE SUPERINTENDENT SHALL BE TRUCKED TO A LICENSED TIP.

LEGEND

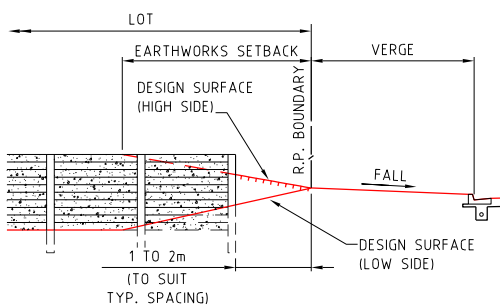
- EXISTING KERB (INVERT)
- EXISTING PROPERTY LINE
- EXISTING CONTOURS
- EXISTING SLEEPER RETAINING WALL
- EXISTING BOULDER RETAINING WALL
- FUTURE KERB (INVERT)
- FUTURE PROPERTY LINE
- FUTURE CONTOURS
- FUTURE SLEEPER RETAINING WALL
- FUTURE BOULDER RETAINING WALL
- PROPOSED KERB (INVERT)
- PROPOSED PROPERTY LINE
- DESIGN CONTOURS
- PROPOSED SLEEPER RETAINING WALL
- PROPOSED BOULDER RETAINING WALL
- PL50.4 NOMINAL LOT PAD LEVEL
- RH1.0 INDICATIVE WALL HEIGHT
- DETAIL PAD FALL DIRECTION
(CONTRACTOR TO ENSURE LOTS FALL TO ROAD AT 1:150 MIN. REFER DRG. 072)
- LANDSCAPE EASEMENT
- BUSHFIRE BUFFER

NOTE:
WALLS WILL BE CONSTRUCTED AS PART OF OPW PHASE. TEMPORARY 1 IN 2 BATTERS PROPOSED WHERE WALL SHOWN

SHEET LAYOUT

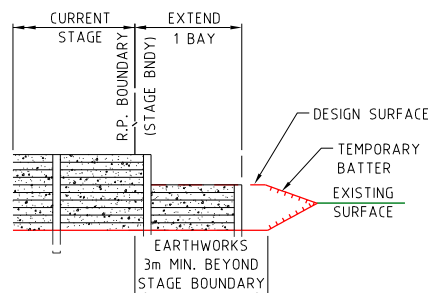
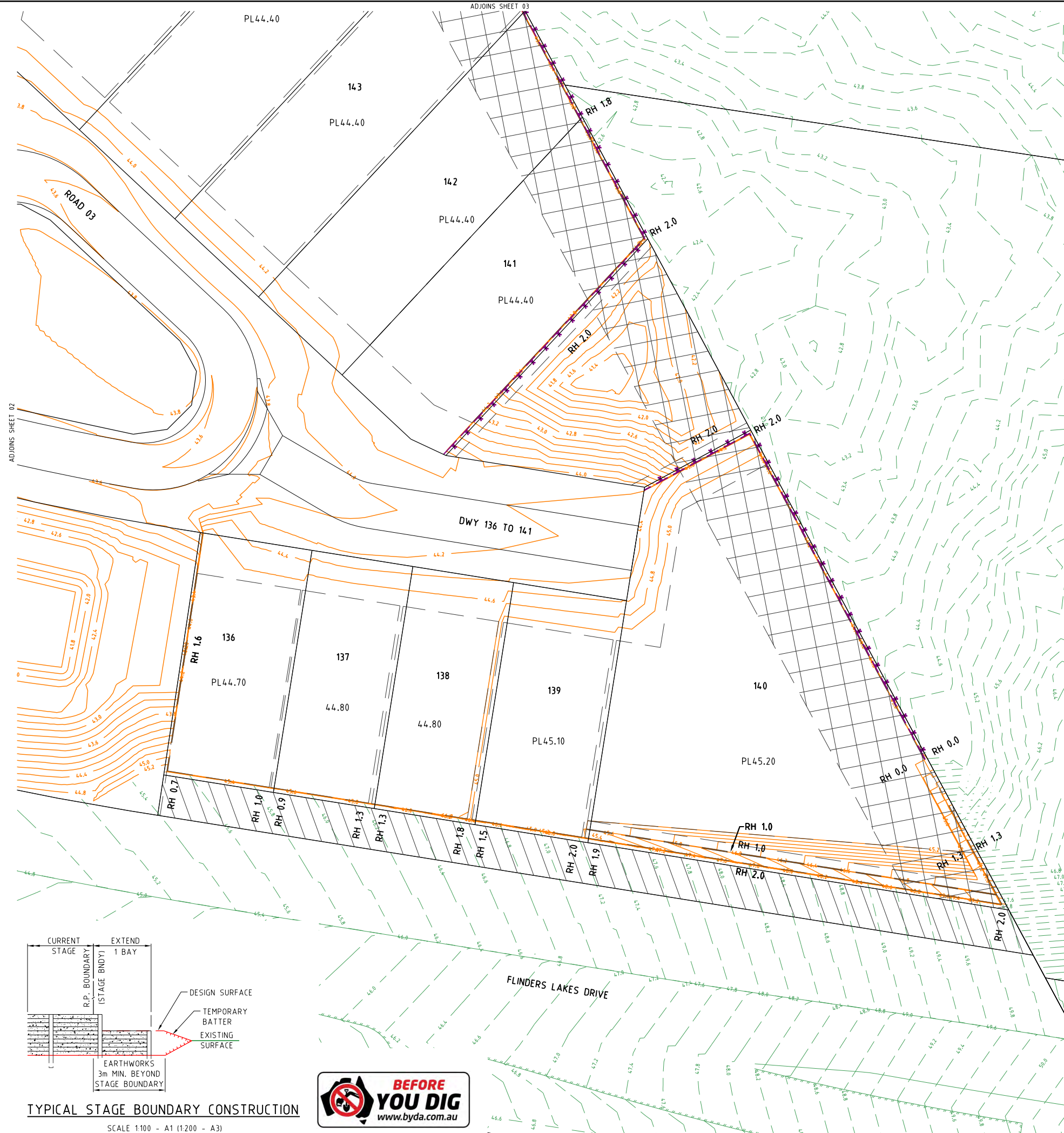


SCALE 1:10000 - A1 (120000 - A3)



TYPICAL SIDE BOUNDARY CONSTRUCTION

SCALE 1:100 - A1 (1200 - A3)



TYPICAL STAGE BOUNDARY CONSTRUCTION

SCALE 1:100 - A1 (1200 - A3)



PROJECT NAME



NEIGHBOURHOOD 3B & 3C PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON 531896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 1 2 3 4 5m
Scale 1:100 - A1 (1:200 - A3)
0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)
0 100 200 300 400 500m
Scale 1:10000 - A1 (1:20000 - A3)

REV	DATE	DESCRIPTION	INT
A	29-05-26	EDD ISSUE	EP

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

RETAINING WALL & DETAIL GRADING PLAN SHEET 01



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

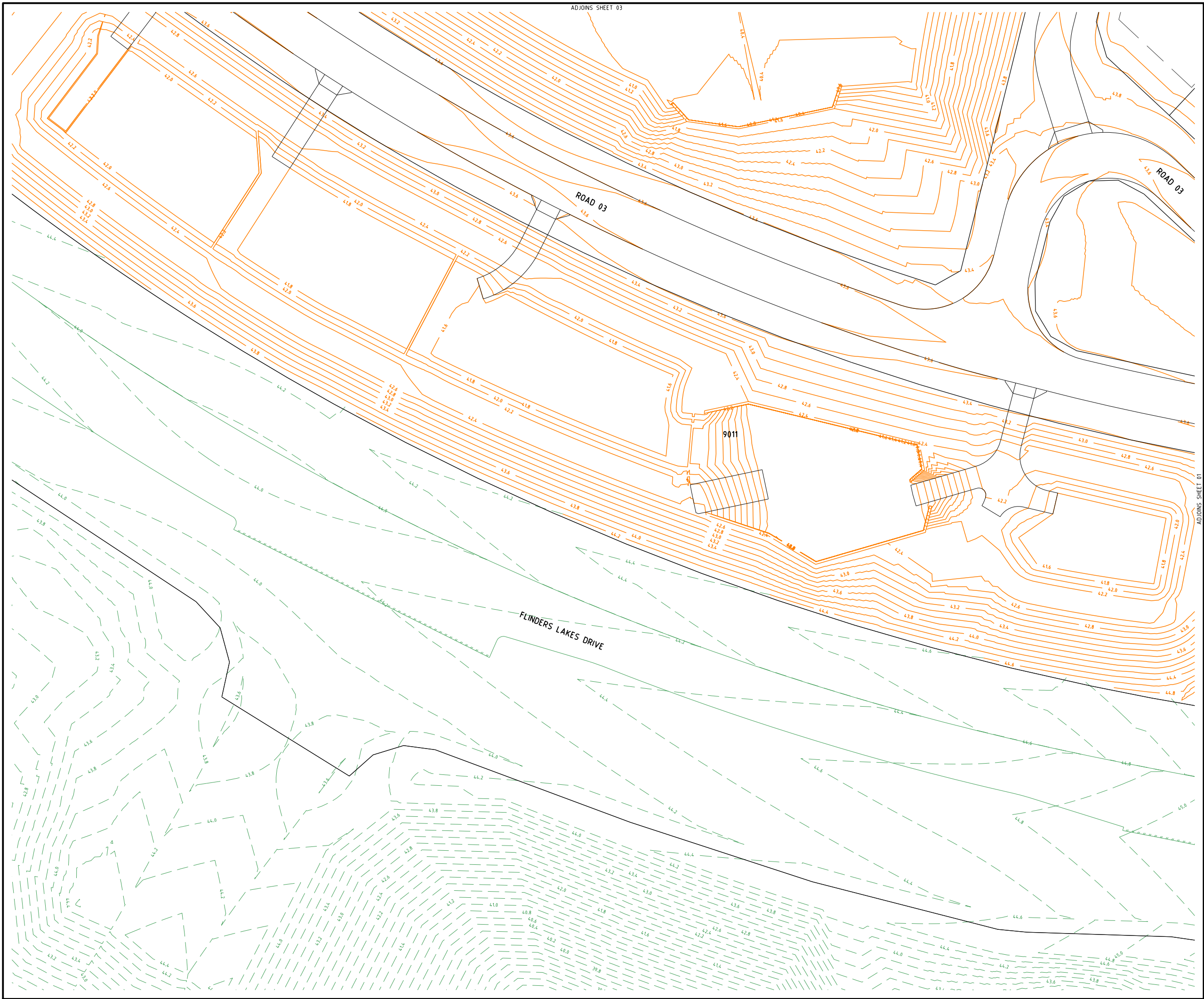
Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE	DATE 23/05/26	DATE 29-05-26

DRAWING NUMBER
23301-PREN3BC-060

REV
A



PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

REV	DATE	DESCRIPTION	INT
A	29-05-26	EDD ISSUE	EP

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND
WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION.
DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

RETAINING WALL
& DETAIL GRADING PLAN
SHEET 02



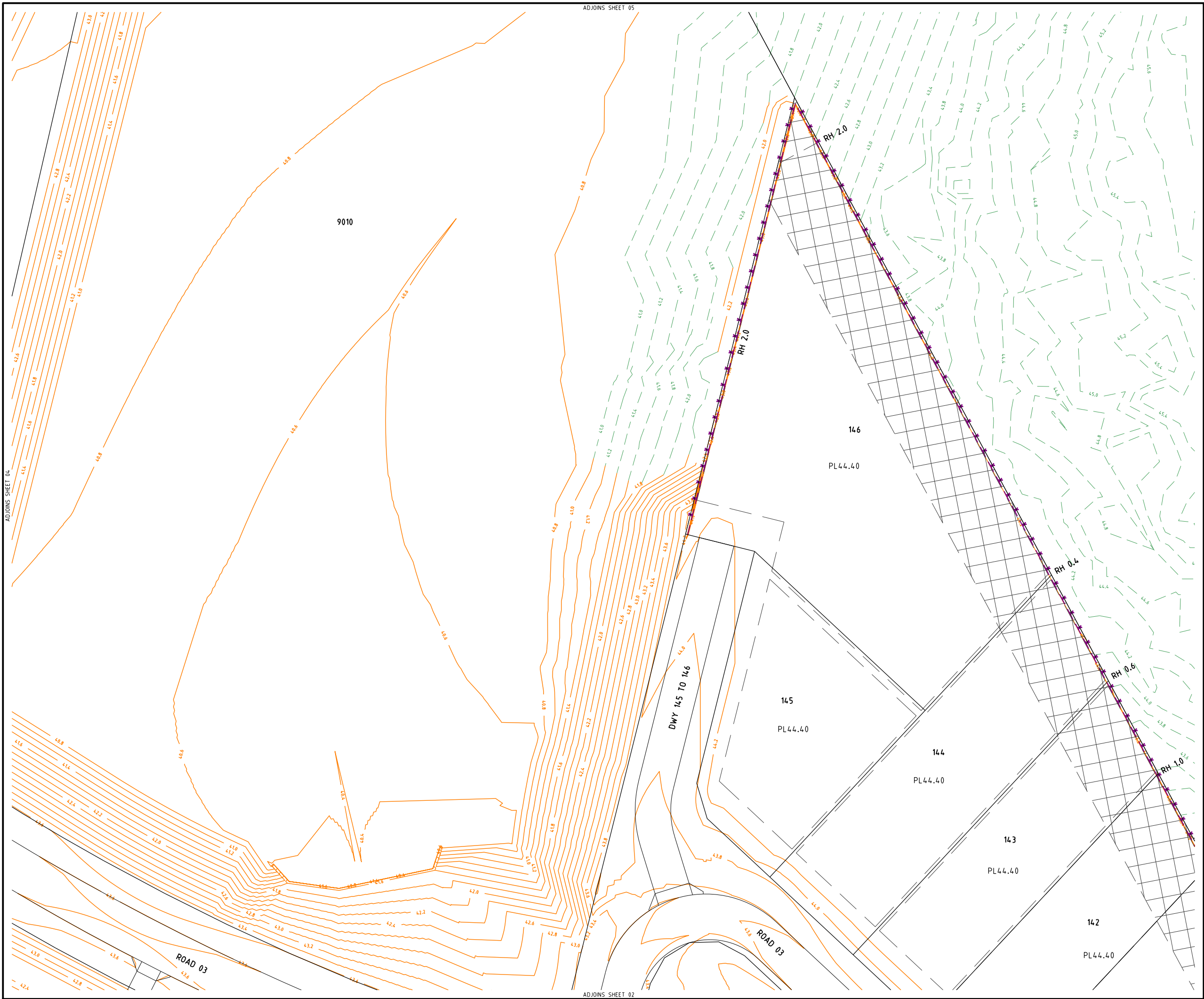
MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED	URSULA WEEKS	DESIGNED	PP	DRAWN	EP
SIGNATURE		RPEQ 23228			

DRAWING NUMBER	REV
23301-PREN3BC-061	A



PROJECT NAME



NEIGHBOURHOOD 3B & 3C PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND
WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION.
DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

RETAINING WALL & DETAIL GRADING PLAN SHEET 03



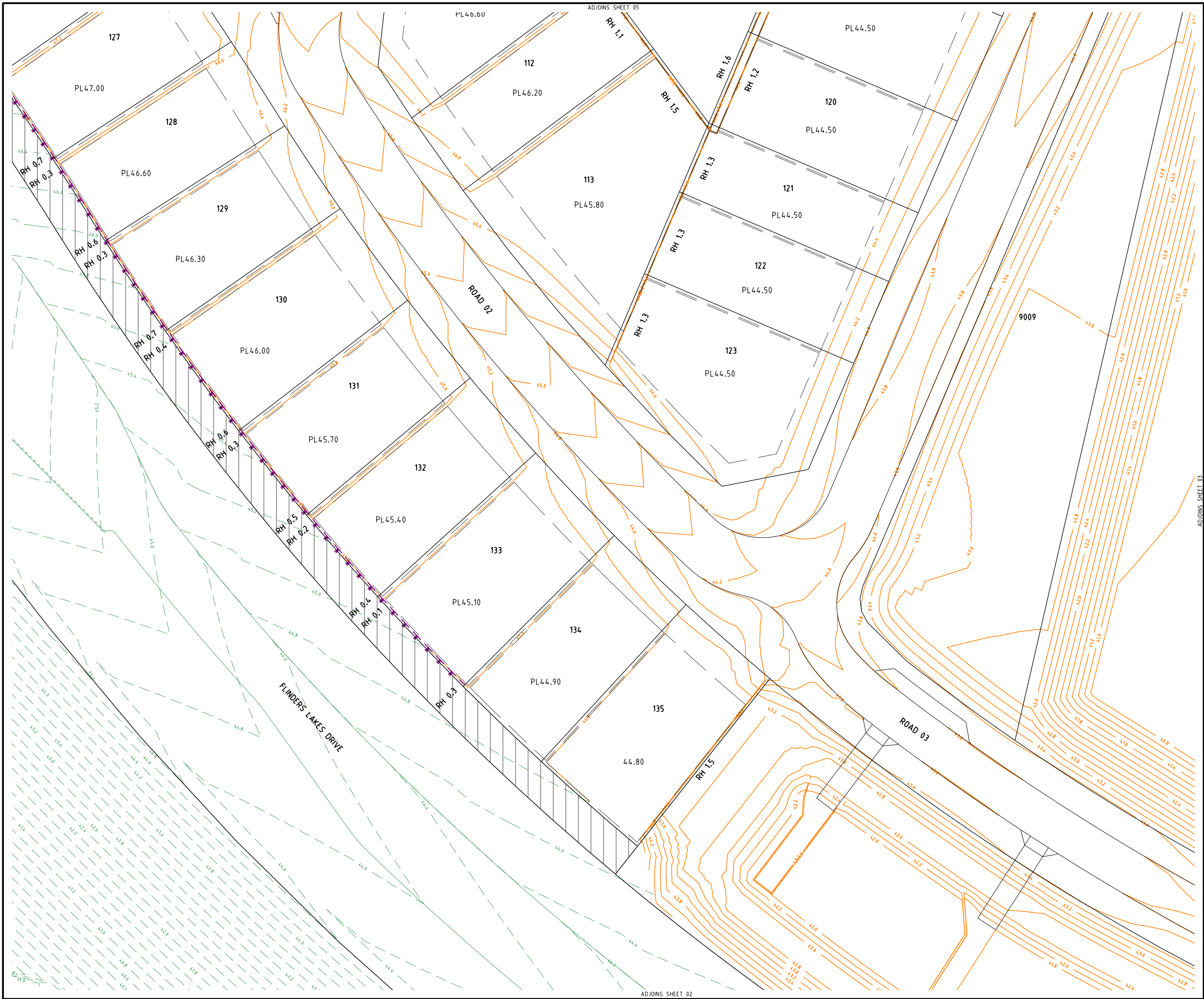
MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address:
PO Box 2484
Southport QLD 4215

Gold Coast Office:
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE <i>Ursula Weeks</i>	RPEQ 23228	DATE 29-05-26

DRAWING NUMBER	REV
23301-PREN3BC-062	A



PROJECT NAME


NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT




NORTH

0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

A	29-05-26	EDD - ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

RETAINING WALL
& DETAIL GRADING PLAN
SHEET 04

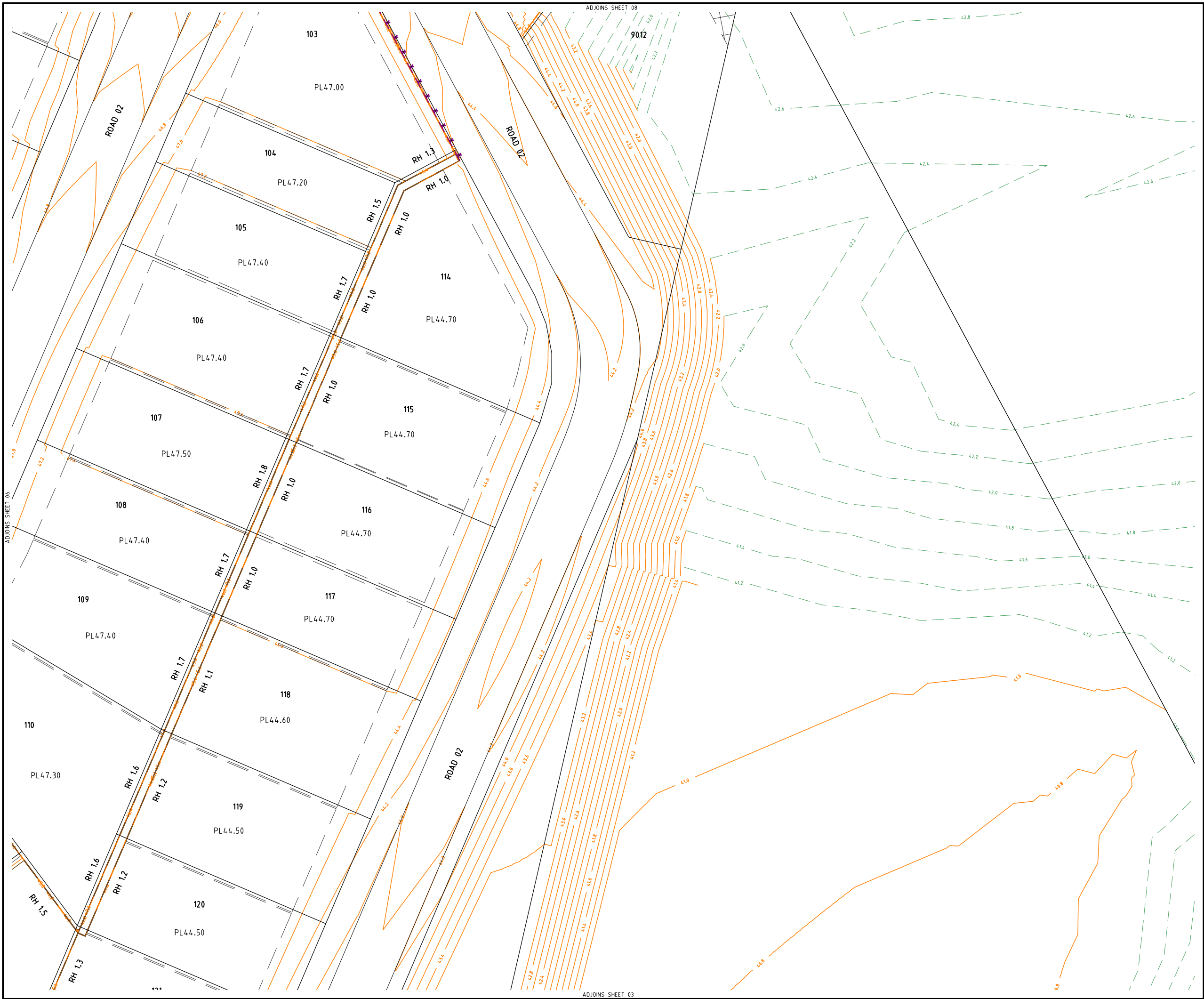

MORTONS
urbansolutions
Civil Engineering
Project Coordination

MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE 	RPEQ 23228	DATE 29-05-26
DRAWING NUMBER		REV
23301-PREN3BC-063		A



PROJECT NAME


FLINDERS
LAKES

NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION
LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT




NORTH
0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



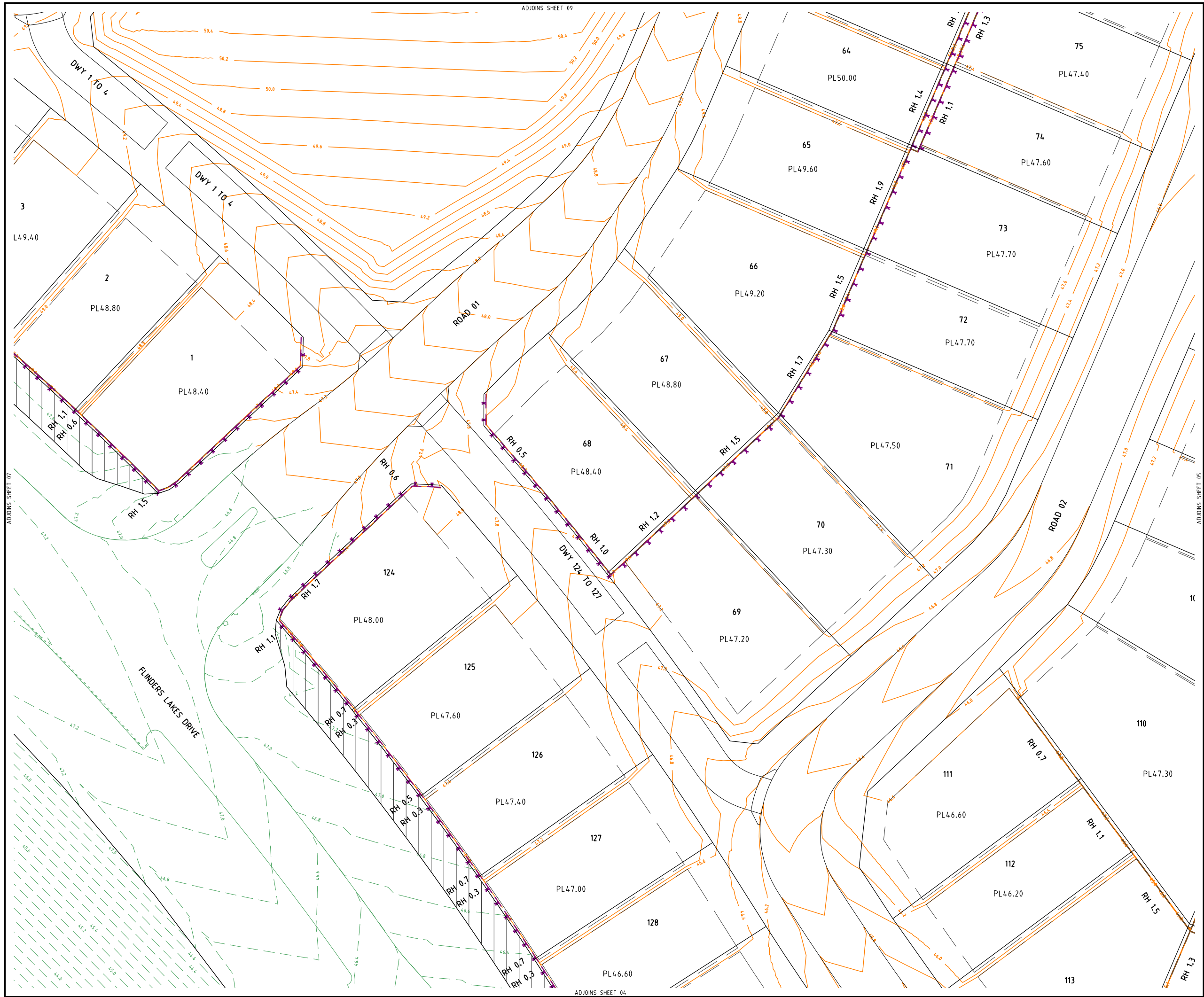
DRAWING TITLE

RETAINING WALL
& DETAIL GRADING PLAN
SHEET 05


MORTONS
urbansolutions
Civil Engineering
Project Coordination
MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099
Postal Address:
PO Box 2484
Southport QLD 4215
Gold Coast Office:
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE 	RPEQ 23228	DATE 29-05-26
DRAWING NUMBER		REV

23301-PREN3BC-064A



PROJECT NAME


FLINDERS
LAKES

NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION
LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT




NORTH

0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS





DRAWING TITLE

RETAINING WALL
& DETAIL GRADING PLAN
SHEET 06

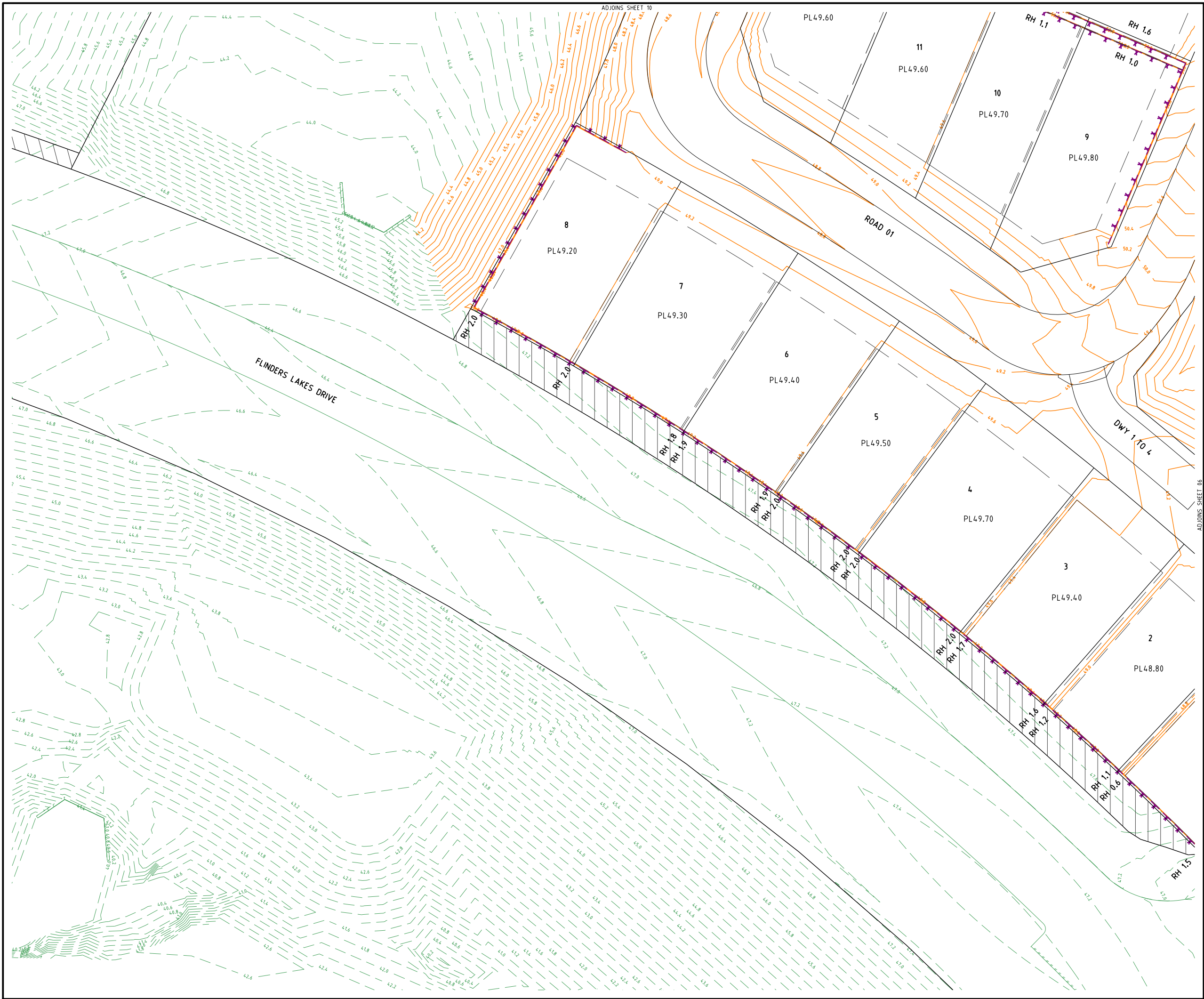

MORTONS
urbansolutions
Civil Engineering
Project Coordination

MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE 	RPEQ 23228	DATE 29-05-26
DRAWING NUMBER		REV
23301-PREN3BC-065		A



PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

REV	DATE	DESCRIPTION	INT
A	29-05-26	EDD ISSUE	EP

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND
WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION.
DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

RETAINING WALL
& DETAIL GRADING PLAN
SHEET 07



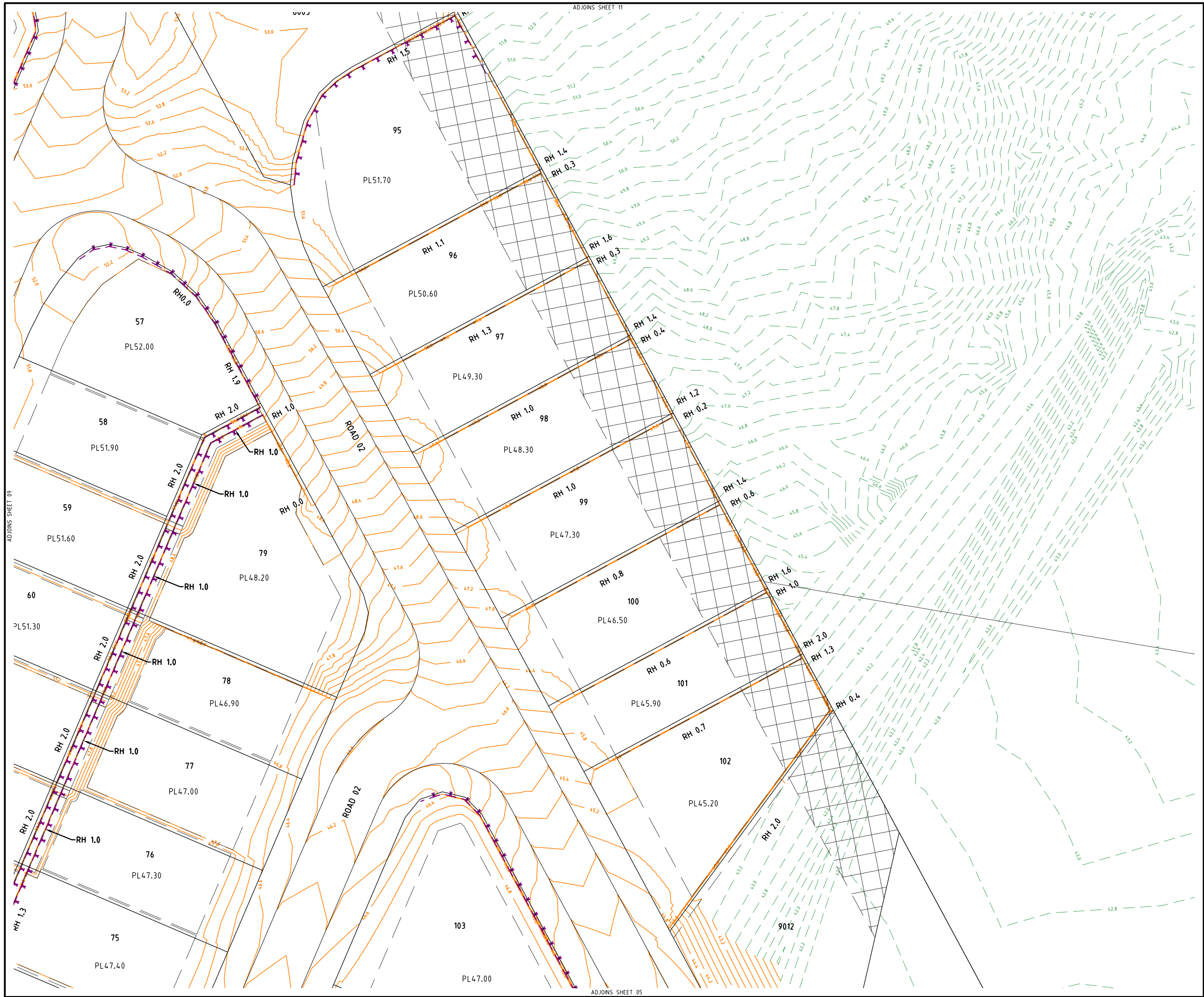
MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED	URSULA WEEKS	DESIGNED	PP	DRAWN	EP
SIGNATURE		RPE 23228			

DRAWING NUMBER	REV
23301-PREN3BC-066	A



PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S31896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

REV	DATE	DESCRIPTION	INT
A	29-05-26	EDD ISSUE	EP

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND
WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION.
DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

RETAINING WALL
& DETAIL GRADING PLAN
SHEET 08



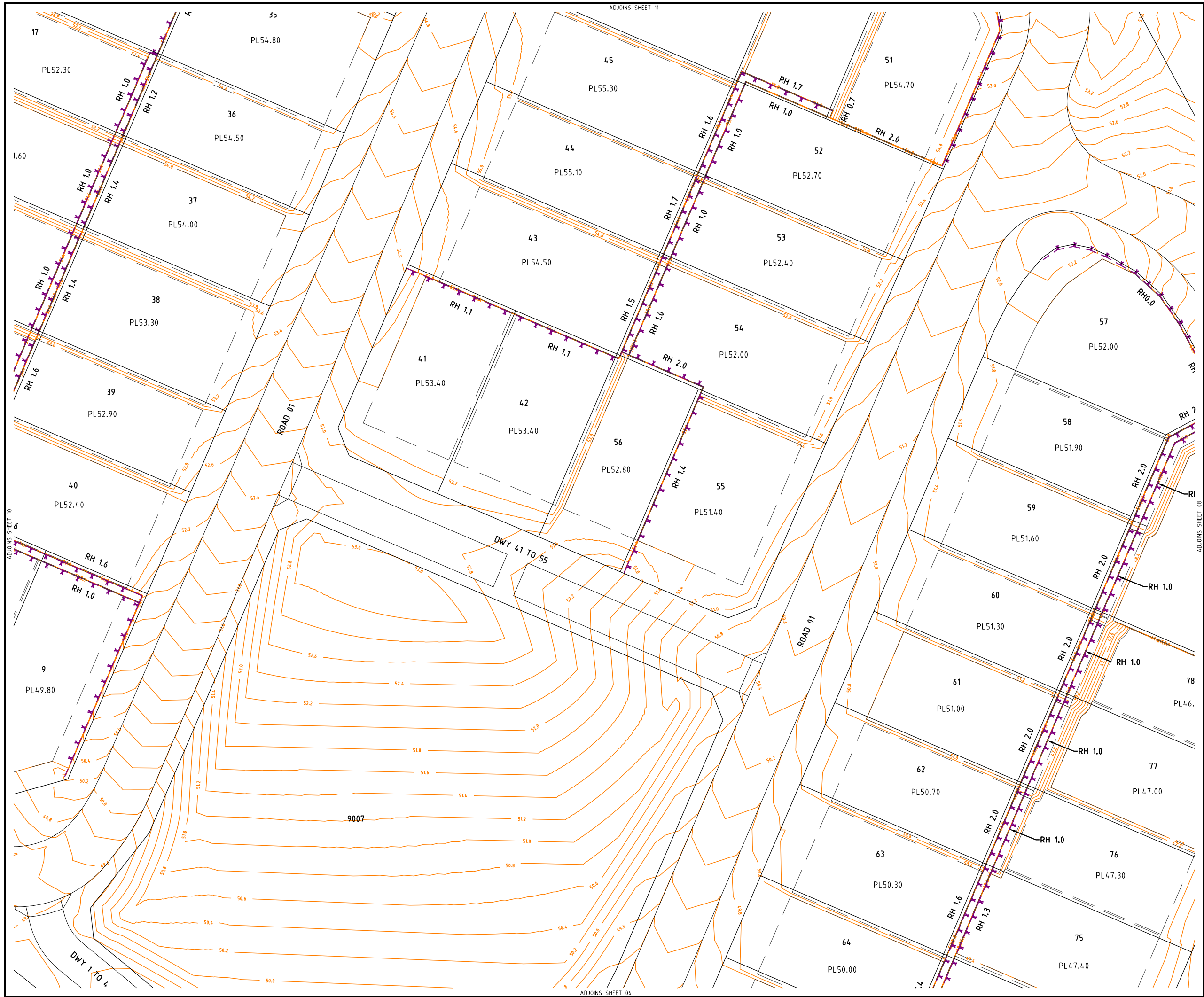
MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE <i>Ursula Weeks</i>	RPEQ 23228	DATE 29-05-26

DRAWING NUMBER	REV
23301-PREN3BC-067	A



PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

REV	DATE	DESCRIPTION	INT
A	29-05-26	EDD ISSUE	EP

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

RETAINING WALL
& DETAIL GRADING PLAN
SHEET 09



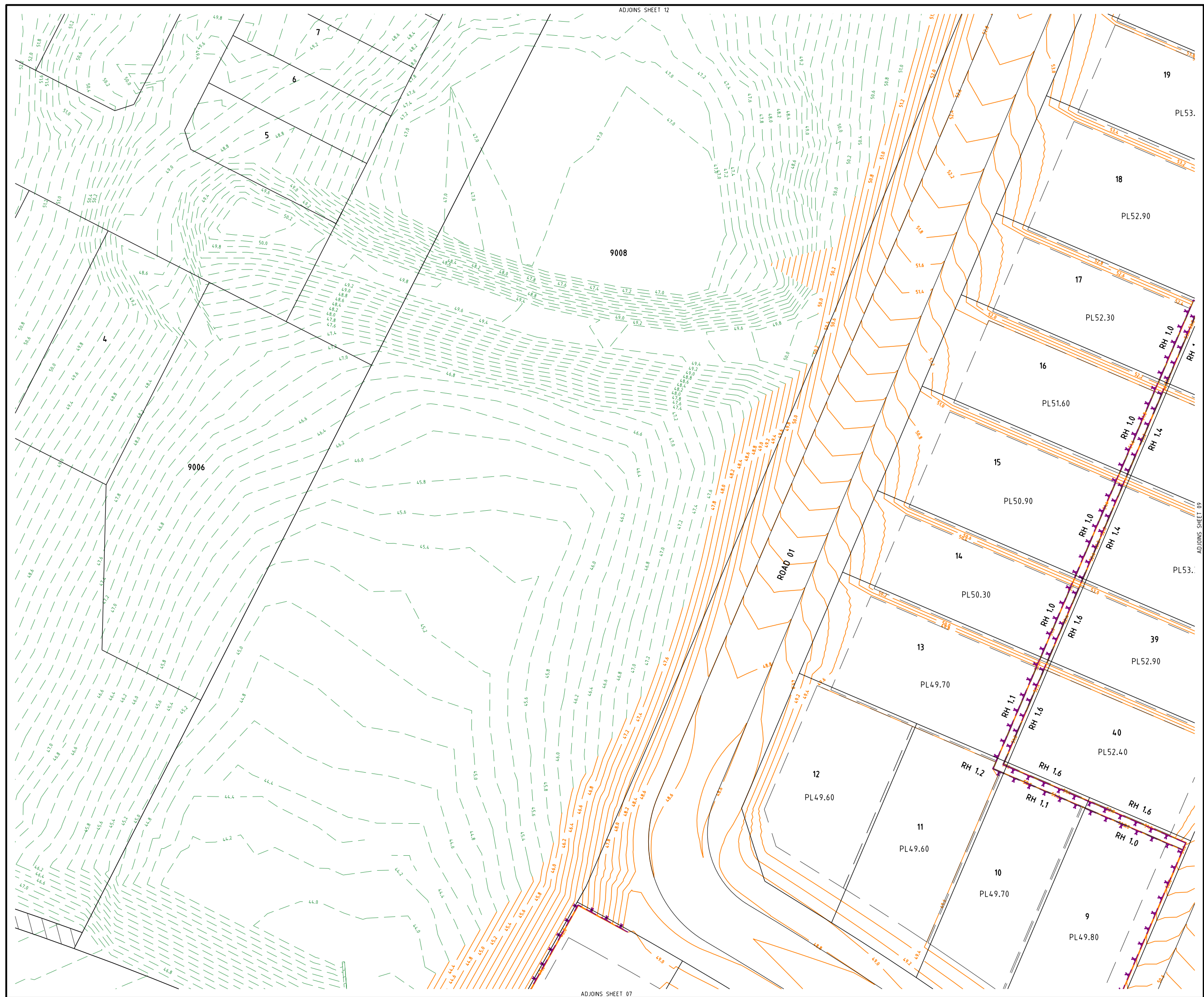
MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE	DATE 23228	DATE 29-05-26

DRAWING NUMBER	REV
23301-PREN3BC-068	A



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

<u>R. P. DESCRIPTION</u>
LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

C L I E N T

PACIFIQ



A	29-05-26	EDQ ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND
WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION.
DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



D R A W I N G T I T L E

RETAINING WALL
& DETAIL GRADING PLAN
SHEET 10



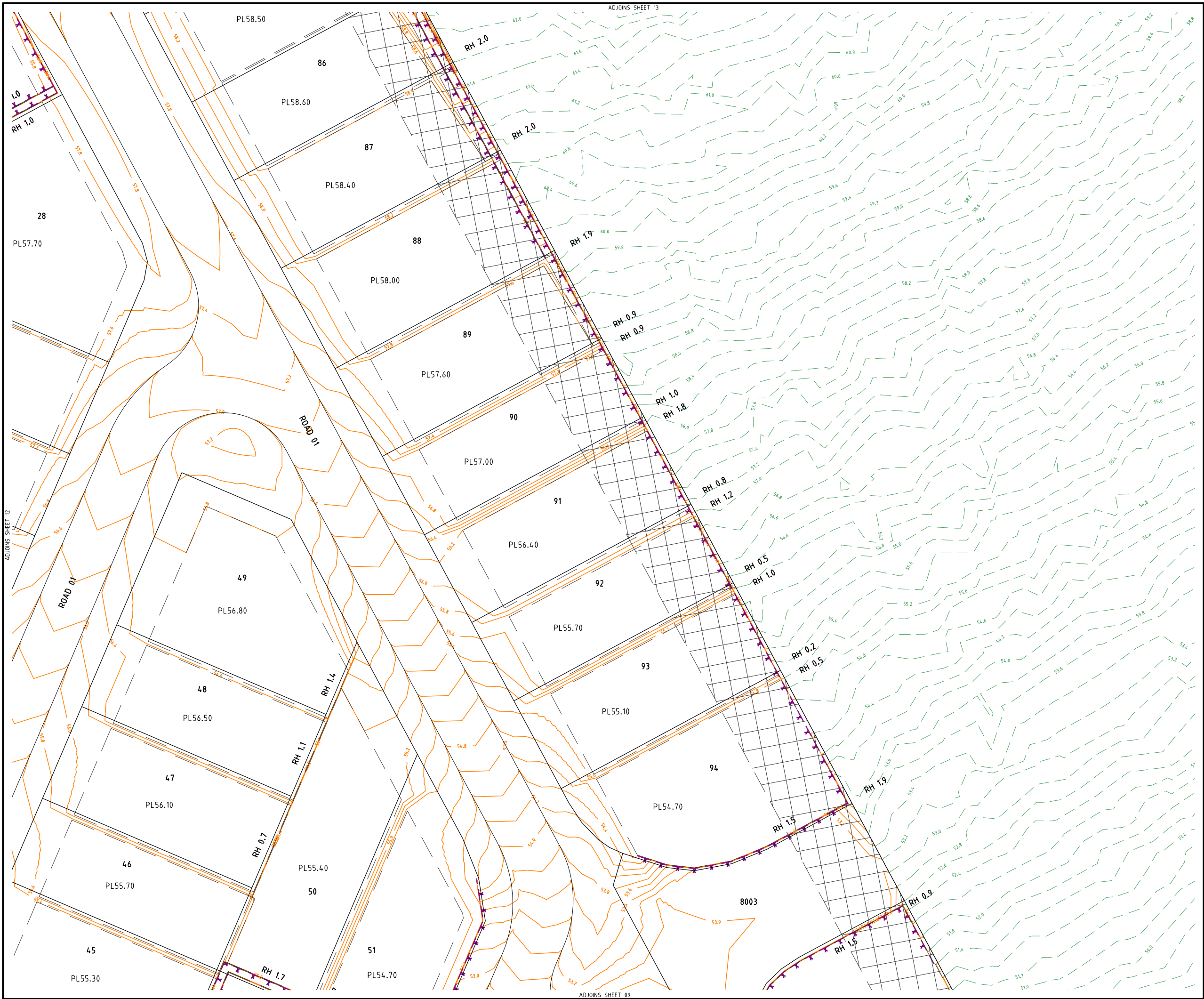
MUS Pty Ltd T/A:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbandsolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED	URSULA WEEKS	DESIGNED	PP	DRAWN	EP
SIGNATURE 		RPEQ	23228	DATE	29-05-26

DRAWING NUMBER	REV
23301-PREN3BC-069	A



PROJECT NAME


FLINDERS
LAKES

NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

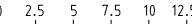
R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT


PACIFIQ


NORTH


0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

A	29-05-26	EDD - ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

RETAINING WALL
& DETAIL GRADING PLAN
SHEET 11

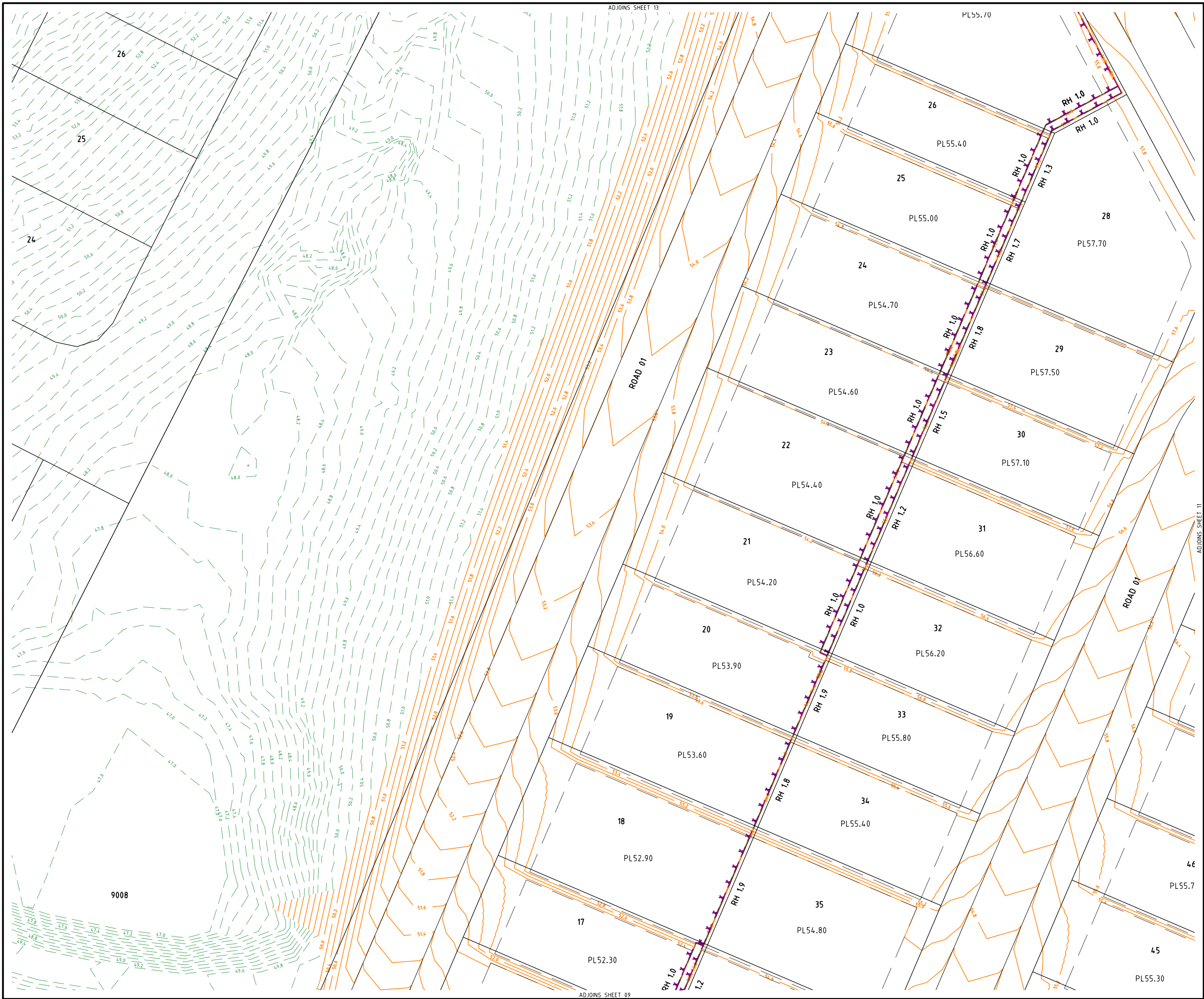

MORTONS
urbansolutions
Civil Engineering
Project Coordination

MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE 	RPEQ 23228	DATE 29-05-26
DRAWING NUMBER		REV
23301-PREN3BC-070		A



PROJECT NAME


FLINDERS
LAKES

NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

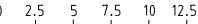
R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT




NORTH


Scale 1:250 - A1 (1:500 - A3)

A	29-05-26	EDD: ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

RETAINING WALL
& DETAIL GRADING PLAN
SHEET 12

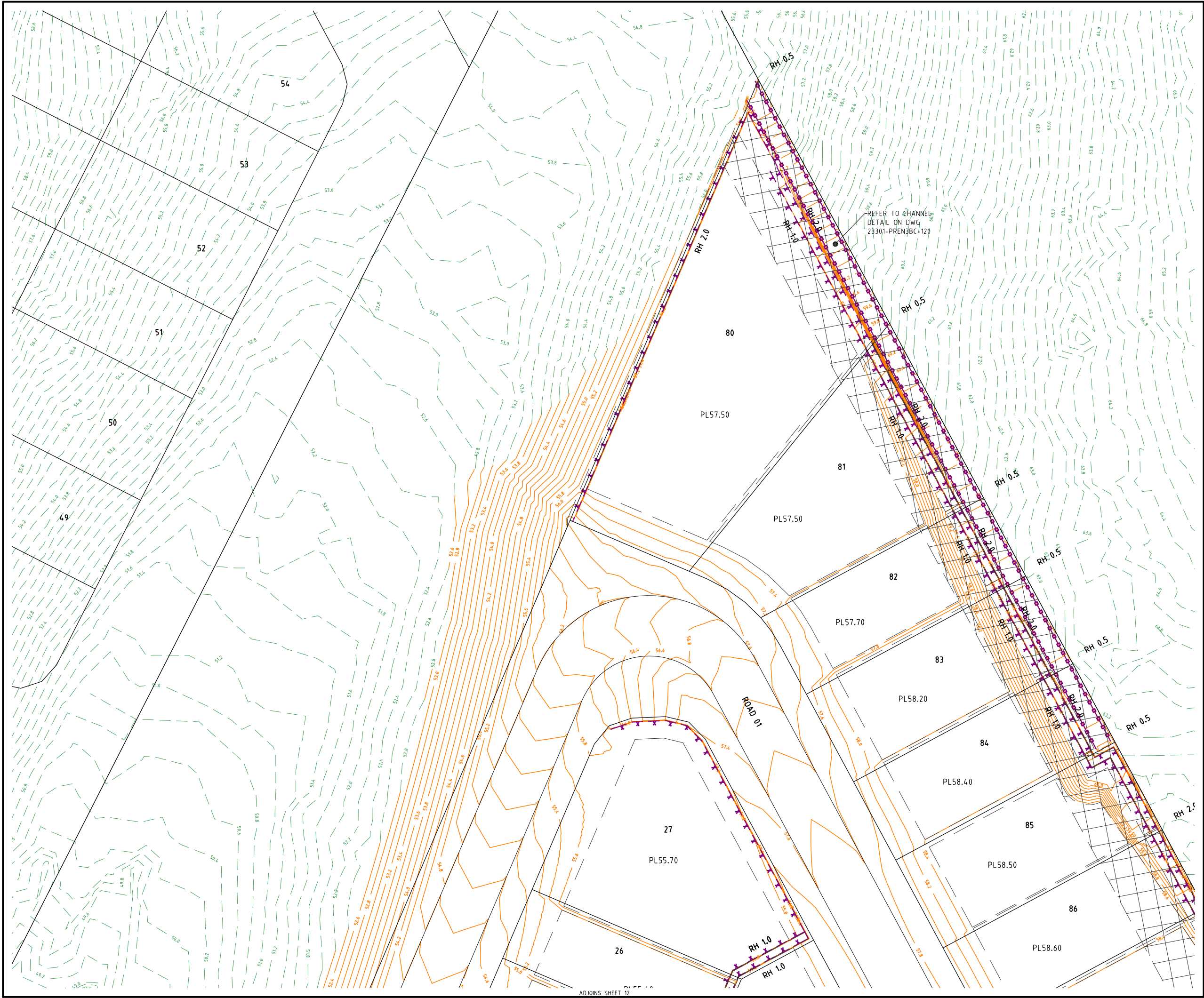

Civil Engineering
Project Coordination

MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE 	RPEQ 23228	DATE 29-05-26
DRAWING NUMBER		REV
23301-PREN3BC-071		A



PROJECT NAME


FLINDERS
LAKES

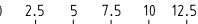
NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION
LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT




NORTH


0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

RETAINING WALL
& DETAIL GRADING PLAN
SHEET 13


Civil Engineering
Project Coordination

MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE 	RPEQ 23228	DATE 29-05-26
DRAWING NUMBER		REV
23301-PREN3BC-072		A

NOTES:

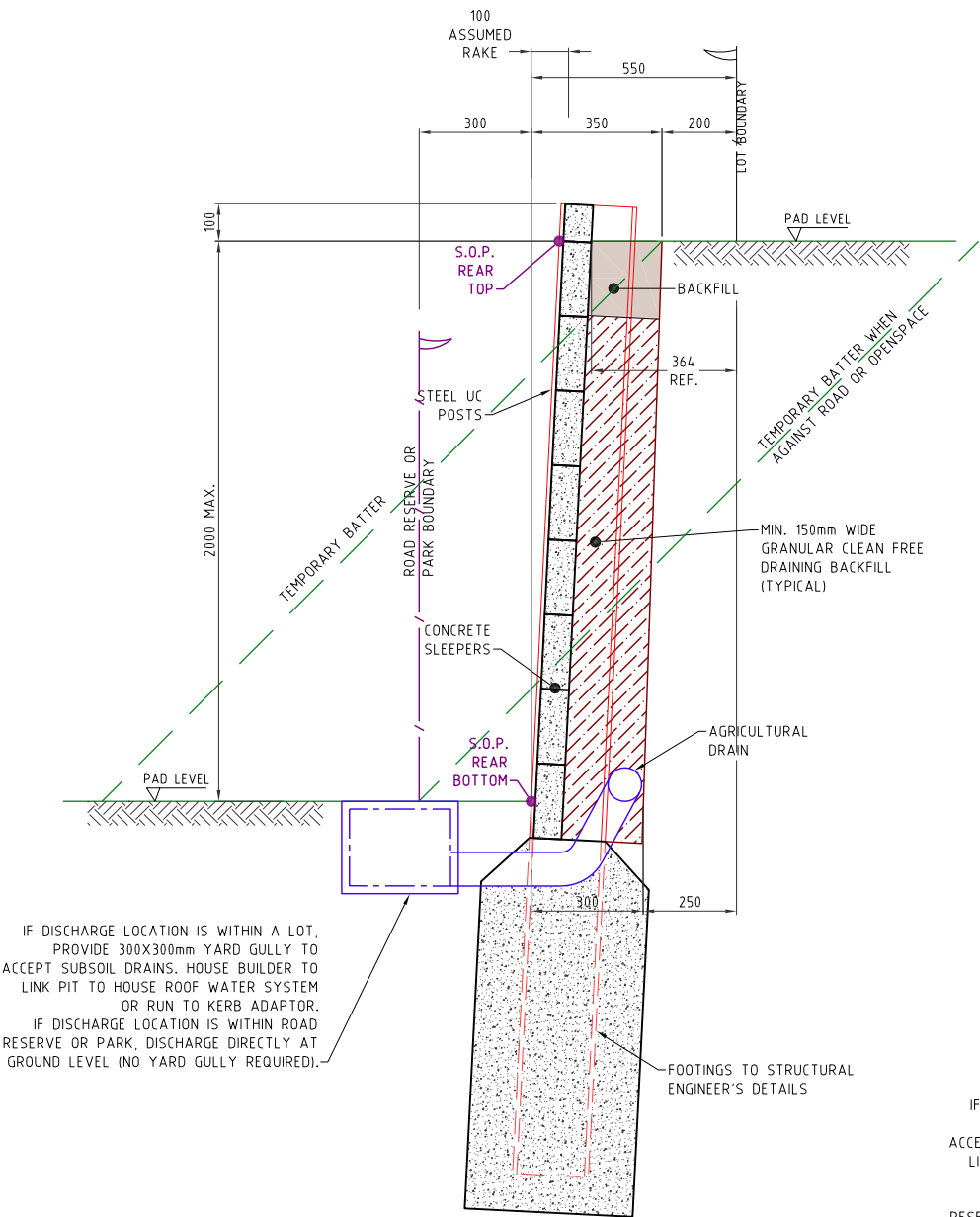
1. RETAINING WALL DETAILS ARE INDICATIVE ONLY.
2. CONTRACTOR TO ARRANGE FOR DESIGN & CONSTRUCTION OF WALLS BY RPEQ STRUCTURAL ENGINEER. CONTRACTOR TO PROVIDE STRUCTURAL CERTIFICATION OF DESIGN & FINAL CONSTRUCTION.
3. ALLOW FOR 5KPa LOADING TO WALLS EXCEPT ADJACENT TO ROADS WHICH REQUIRE A 10KPa LOADING.
4. CONTRACTOR TO CONFIRM LOCATION OF LOT BOUNDARY PRIOR TO COMMENCING WALL CONSTRUCTION.
5. THE BUILDING ON THE HIGHER SIDE OF THE RETAINING WALL MUST MAINTAIN AN OFFSET OR APPROPRIATE FOUNDATION STRUCTURES (EG. PIERS) IN ORDER TO ENSURE THE ENTIRE DEPTH OF THE RETAINING WALL IS FREE FROM THE ZONE OF INFLUENCE OF THE BUILDING/OVERBURDEN LOAD UNLESS OTHERWISE SPECIFIED BY STRUCTURAL ENGINEER.
6. STRUCTURAL ENGINEER TO DESIGN SLAB & PIER.
7. AGRICULTURAL DRAIN TO DISCHARGE TO 300x300mm STORMWATER PIT. HOUSE BUILDER TO CONNECT 300x300mm STORMWATER PIT TO ROOFWATER SYSTEM.
8. RETAINING WALL DESIGN TO ALLOW FOR ALL SERVICES (ADJACENT OR BELOW) & HAVE NO IMPACT.
9. SANDSTONE & PROPRIETARY RETAINING WALLS TO BE DESIGNED & CONSTRUCTED TO HAVE VERTICAL FACE UNLESS OTHERWISE AGREED BY THE SUPERINTENDENT.
10. ANY WALL GREATER THAN 0.9M HIGH TO INSTALL A FALL BARRIER AT THE TOP OF WALL. THE FALL BARRIER IS TO BE MAINTAINED UNTIL THE END OF THE MAINTENANCE PERIOD OR THE ASSOCIATED LOT IS SOLD BY THE DEVELOPER.
11. REFER TO LANDSCAPE ARCHITECT FOR RETAINING WALL COLOUR & FINISH.
12. SETBACKS- REFER TABLE
13. WHERE RETAINING WALLS ARE LOCATED WITHIN 2m OF A PMT SITE THE RETAINING WALL IS TO BE DESIGNED & CONSTRUCTED TO ALLOW EXCAVATION OF THE FULL PMT SITE TO A DEPTH OF 1.3m.

RETAINING WALL COLOUR AND FACE FINISH NOTE:

1. RETAINING WALL COLOUR AND FINISH IS TO BE AS PER LANDSCAPE CONSULTANTS SPECIFICATION

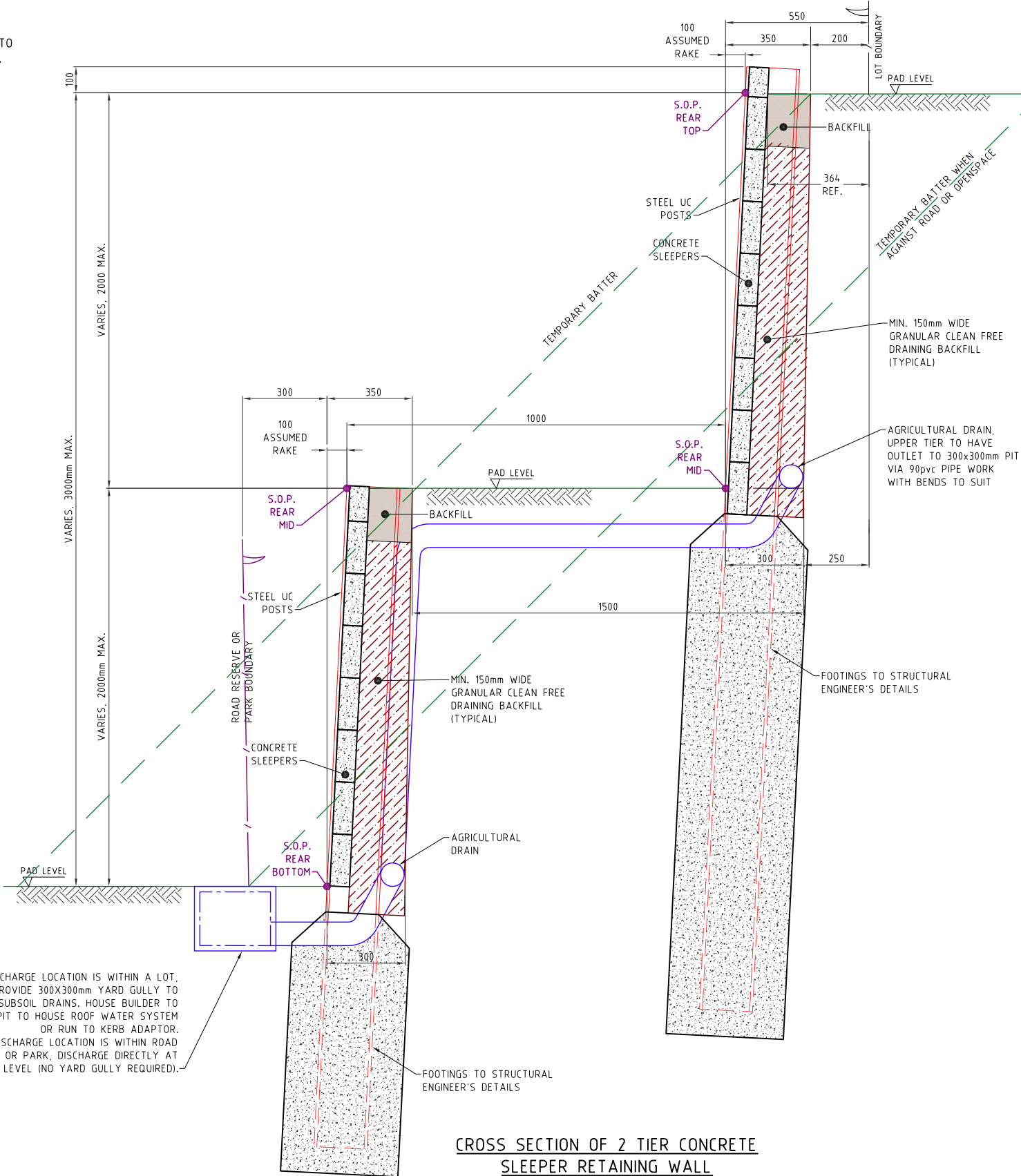
SETBACKS:

ROAD RESERVE
OR OPEN SPACE =300mm
BOUNDARY
SIDE BOUNDARY =200mm
REAR BOUNDARY =200mm



IF DISCHARGE LOCATION IS WITHIN A LOT, PROVIDE 300X300mm YARD GULLY TO ACCEPT SUBSOIL DRAINS. HOUSE BUILDER TO LINK PIT TO HOUSE ROOF WATER SYSTEM OR RUN TO KERB ADAPTOR.
IF DISCHARGE LOCATION IS WITHIN ROAD RESERVE OR PARK, DISCHARGE DIRECTLY AT GROUND LEVEL (NO YARD GULLY REQUIRED).

CROSS SECTION OF CONCRETE SLEEPER RETAINING WALL
NOT TO SCALE



IF DISCHARGE LOCATION IS WITHIN A LOT, PROVIDE 300X300mm YARD GULLY TO ACCEPT SUBSOIL DRAINS. HOUSE BUILDER TO LINK PIT TO HOUSE ROOF WATER SYSTEM OR RUN TO KERB ADAPTOR.
IF DISCHARGE LOCATION IS WITHIN ROAD RESERVE OR PARK, DISCHARGE DIRECTLY AT GROUND LEVEL (NO YARD GULLY REQUIRED).

CROSS SECTION OF 2 TIER CONCRETE SLEEPER RETAINING WALL
NOT TO SCALE

PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ

REV	DATE	DESCRIPTION	INT
A	16-12-25	COUNCIL ISSUE	EP

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

RETAINING WALL
DETAILS
SHEET 01



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099
Postal Address:
PO Box 2484
Southport QLD 4215
Gold Coast Office:
Suite 9, 19 Short St
Southport QLD 4215

APPROVED	URSULA WEEKS	DESIGNED	PP	DRAWN	EP
SIGNATURE		RPEQ 23228	DATE	16-12-25	

DRAWING NUMBER	REV
23301-PREN3BC-075	A

SEDIMENT AND EROSION

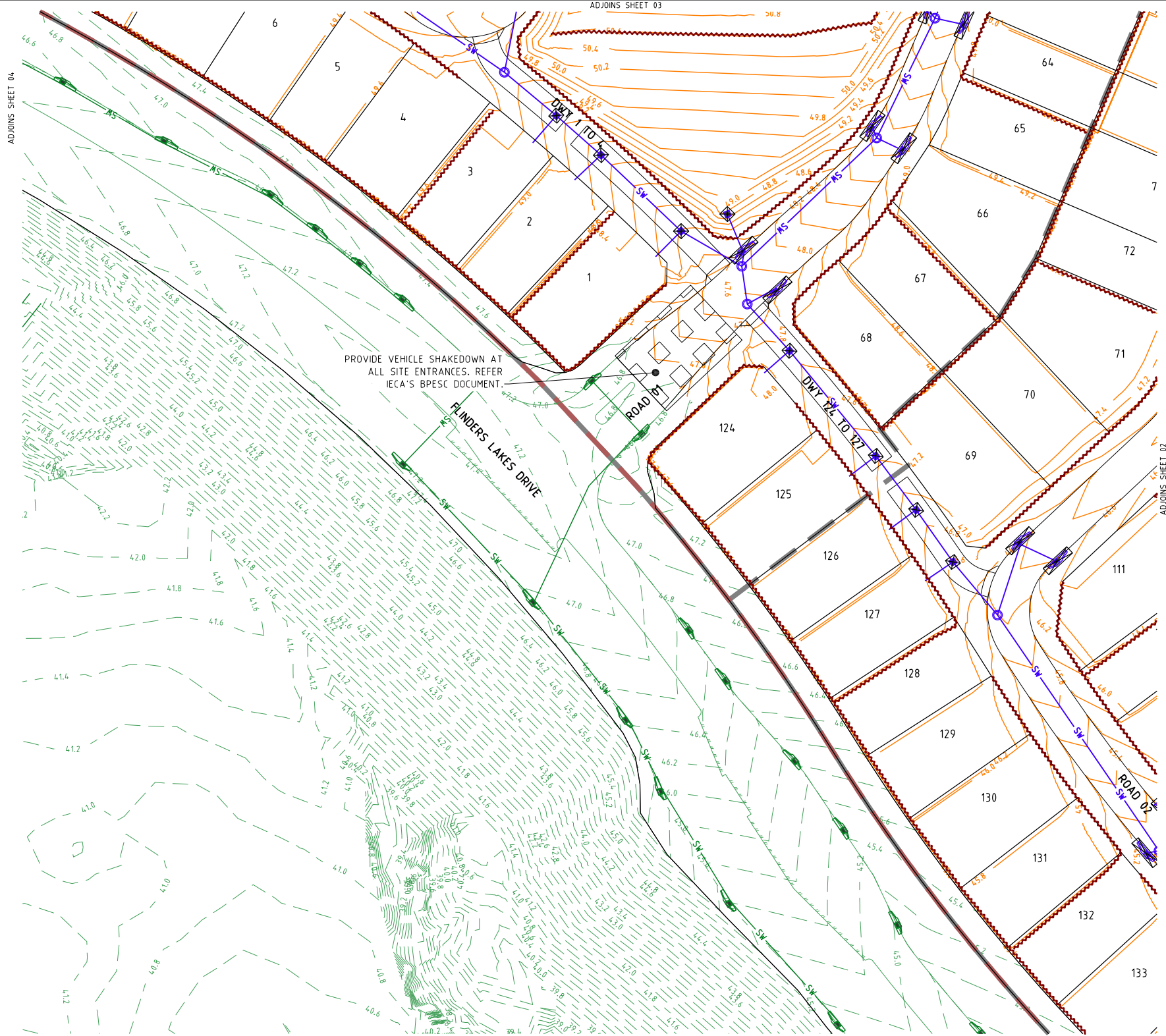
- THE EROSION & SEDIMENT CONTROL DEVICES SHOWN ON THESE DRAWINGS ARE INDICATIVE & PROVIDED FOR SUBMISSION TO LOCAL AUTHORITY ONLY. NOTWITHSTANDING THE EROSION & CONTROL DEVICES SHOWN ON THESE DRAWINGS, THE CONTRACTOR MUST PREPARE & FOLLOW A SITE SPECIFIC EROSION & SEDIMENT CONTROL PLAN TO MEET ALL LOCAL & STATE GOVERNMENT LEGISLATION INCLUDING BUT NOT LIMITED TO:
 - ENVIRONMENTAL PROTECTION ACT WITH SPECIFIC REFERENCE TO PARTS 5440G & 5319
 - STATE PLANNING POLICYPRESCRIBED WATER CONTAMINANTS (AS DEFINED IN THE ENVIRONMENTAL PROTECTION ACT 1994) MUST NOT BE RELEASED FROM THE SITE OR TO WATERS WITHIN THE SITE, OR BE LIKELY TO BE RELEASED SHOULD RAINFALL OCCUR, UNLESS ALL REASONABLE & PRACTICABLE MEASURES ARE TAKEN TO PREVENT OR MINIMISE THE RELEASE & CONCENTRATION OF CONTAMINATION. THE ESC PLAN MUST BE DESIGNED, IMPLEMENTED & MAINTAINED IN ACCORDANCE WITH "BEST PRACTICE EROSION & SEDIMENT CONTROL" PUBLISHED BY THE INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIAN CHAPTER) (IECA, 2008).
- TO COMPLY WITH THE REQUIREMENTS OF THE EP ACT & BEST PRACTICE DESIGN, THE SEDIMENT BASINS ON THE SITE MUST BE DESIGNED & IMPLEMENTED TO ACHIEVE THE FOLLOWING:

SEDIMENT BASINS ARE TO BE DESIGNED, IMPLEMENTED & MAINTAINED TO A STANDARD WHICH WOULD ACHIEVE AT LEAST 80% OF THE AVERAGE ANNUAL RUNOFF VOLUME OF THE CONTRIBUTING CATCHMENT TREATED (I.E. 80% HYDROLOGIC EFFECTIVENESS) TO 50MG/L TSS OR LESS & PH IN THE RANGE 6.5-8.5

THIS WILL REQUIRE THE INSTALLATION & OPERATION OF A HIGH-EFFICIENCY SEDIMENT BASIN(S) DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS CONTAINED IN THE "BEST PRACTICE EROSION & SEDIMENT CONTROL - APPENDIX B SEDIMENT BASIN DESIGN & OPERATION" PUBLISHED BY THE INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIAN CHAPTER) (IECA, 2016, DRAFT)
- THE EROSION & SEDIMENT CONTROL PLAN MUST BE PREPARED & CERTIFIED BY A CERTIFIED PROFESSIONAL IN EROSION & SEDIMENT CONTROL & FOLLOW THE REQUIREMENTS OUTLINED IN IECA'S BEST PRACTICE EROSION & SEDIMENT CONTROL DOCUMENT & THE QUEENSLAND URBAN DRAINAGE MANUAL.
- PRIOR TO THE COMMENCEMENT OF WORKS ONSITE THE CONTRACTOR MUST MAKE THEMSELVES AWARE OF ALL PREVIOUS GEOTECHNICAL REPORTS & DETERMINE THE DISPERSIVE CHARACTERISTICS OF THE SOIL (INCLUDING PERFORMING ANY SOIL TESTS IF REQUIRED). THE RESULTS OF THIS REVIEW & ANY TESTS MUST BE INCLUDED IN THE CONTRACTOR'S EROSION & SEDIMENT CONTROL PLAN. A COPY OF ALL TEST RESULTS MUST BE PROVIDED TO THE SUPERINTENDENT.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO CONTROL EROSION & DOWNSTREAM SEDIMENTATION DURING ALL STAGES OF CONSTRUCTION (INCLUDING THE MAINTENANCE PERIOD). NOTWITHSTANDING THE CONTROL MEASURES OR FINISHED EARTHWORKS DESIGN SHOWN ON THESE DRAWINGS, THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING ADDITIONAL OR ALTERNATIVE EROSION & SEDIMENT CONTROL MEASURES TO MINIMISE SEDIMENT ACROSS OR LEAVING THE SITE.
- AT ALL TIMES THE CONTRACTOR SHALL MONITOR THE PREVAILING WEATHER CONDITIONS (INCLUDING WEEKENDS & PUBLIC HOLIDAYS) & AT ALL TIMES REMAINS RESPONSIBLE TO:
 - CLEAN & REPAIR CONTROL DEVICES WHENEVER THE ACCUMULATED SEDIMENT REDUCES THEIR CAPACITY BY 50%.
 - MAINTAIN POSITIVE GRADES OF ALL PERIMETER BANKS & SWALES TO AN OUTLET.
 - PROTECT ANY DOWNSTREAM CONSTRUCTION.
 - CONTROLLING DUST.
 - MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH DETAILS OUTLINED IN THEIR EROSION & SEDIMENT CONTROL PLAN & AS DIRECTED BY THE SUPERINTENDENT.
- THE CONTRACTOR'S PLAN SHALL ALLOW FOR SUITABLE ACCESS TO ALLOW MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES. NO ADDITIONAL VEGETATION CLEARING IS PERMITTED FOR GAINING ACCESS UNLESS APPROVED BY THE SUPERINTENDENT.
- THE CONTRACTOR MAY REQUEST APPROVAL FROM THE SUPERINTENDENT TO REUSE THE STOCKPILED MULCH FOR STABILISING BATTERS ONLY IN LOCATIONS WHERE THE APPROVED LANDSCAPE OPW DESIGN REQUIRES MULCH ULTIMATELY.
- CONSTRUCTION STOCKPILING:
 - TOPSOIL SHALL BE STRIPPED & STOCKPILED IN LOCATIONS NOMINATED ON THE CONSTRUCTION DRAWINGS OR IN LOCATIONS AGREED WITH THE SUPERINTENDENT.
 - ADDITIONAL VEGETATION CLEARING IS NOT PERMITTED TO FACILITATE THE STOCKPILING OF MATERIALS UNLESS SHOWN ON THE APPROVED VEGETATION MANAGEMENT PLAN.
 - ANY STOCKPILE SITE MUST BE CLEAR OF ADJACENT PROPERTY BOUNDARIES SO AS NOT TO CAUSE A NUISANCE TO ADJOINING PROPERTIES.
 - NO STOCKPILES ARE TO BE LOCATED WITHIN THE TREE PROTECTION ZONE OF VEGETATION.
 - A TEMPORARY SILT FENCE IS TO BE ERECTED APPROXIMATELY 5m FROM TOE OF BATTER ON LOW SIDE OF STOCKPILING.
- NOTWITHSTANDING THE DETAILS SHOWN IN THE CONTRACTOR'S EROSION & SEDIMENT CONTROL PLAN, DURING CONSTRUCTION THE CONTRACTOR MUST:
 - SIZE ALL TEMPORARY SEDIMENT BASINS APPROPRIATELY TO TREAT THE UPSTREAM CATCHMENT. NOTE THAT THE PERMANENT BIO BASINS SHOWN ON THESE DRAWINGS ARE SIZED FOR THE ULTIMATE CATCHMENT NOT FOR THE CONSTRUCTION PHASE.
 - PLACE A ROCK BUND AROUND ALL HEADWALLS DURING CONSTRUCTION.
 - PROVIDE KERB INLET PROTECTION TO ALL GULLIES.
 - PLACE A MINIMUM 1.0m WIDE TURF STRIP BEHIND ALL KERBS & IN A HERRINGBONE LAYOUT WITHIN THE ROAD VERGE.
 - MAINTENANCE (INCLUDING FLOCCULATION IF REQUIRED & PUMP OUT) OF ALL CONSTRUCTION SEDIMENT BASINS (WHETHER EXISTING OR NEW).
 - CLEAN OUT OF ALL GROSS POLLUTANT TRAPS, SEDIMENT FOREBAYS & ALL OTHER PERMANENT SEDIMENT CONTROL DEVICES AT BOTH ON & OFF MAINTENANCE.
- CONTRACTOR TO CONFIRM THE EXTENTS OF REQUIRED GRASSING TREATMENTS WITH THE SUPERINTENDENT AT LEAST 7 DAYS PRIOR TO FINAL TRIMMING.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT GRASSING STRIKE RATES ARE ACHIEVED AT THE ON & OFF MAINTENANCE INSPECTIONS IN ACCORDANCE WITH COUNCIL REQUIREMENTS. THIS INCLUDES THE SUPPLY & INSTALLATION OF ANY REQUIRED CHEMICAL/FERTILISER AMELIORATION TO ACHIEVE THE SPECIFIED GRASS STRIKE RATES.
- GEOFABRIC LINING OF CHANNELS & CHECK DAMS MAY BE REQUIRED SUBJECT TO THE SITE CONDITIONS.
- BATTERS WITHIN PUBLIC OPEN SPACE TO BE VEGETATED IN ACCORDANCE WITH APPROVED OPEN SPACE MANAGEMENT PLAN & LANDSCAPING OPW. CONTRACT DOCUMENTATION WILL SPECIFY WHETHER THIS IS THE CIVIL CONTRACTOR OR THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO SUPPLY & INSTALL. THE CIVIL CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUITABLE ACCESS FOR THE LANDSCAPE CONTRACTOR TO PERFORM THEIR WORKS.
- MAINTENANCE PERIOD (PRE TO POST CONSTRUCTION)
 - ALL PROTECTION MEASURES ARE TO BE INSPECTED & MAINTAINED REGULARLY
 - REPAIRS ARE TO BE EFFECTED IMMEDIATELY.
 - SILT AFTER RAIN IS TO BE CLEANED FROM STREETS & ALLOTMENTS IMMEDIATELY & CORRECTIVE ACTION TAKEN TO AVOID A RE-OCCURRENCE.
 - AT OFF-MAINTENANCE & ONLY WHEN DIRECTED BY COUNCIL, REMOVE & DISPOSE OFFSITE ALL TEMPORARY EROSION & SEDIMENT CONTROL DEVICES.
- EROSION & SEDIMENT CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR AND THE CONTRACTOR HOLDS ALL LIABILITY.

NOTE:

SEDIMENT AND EROSION CONTROL MEASURES SHOWN RELATE TO THE FINISHED SURFACE ONLY AND ARE CONCEPTUAL ONLY. THE CONTRACTOR IS TO PREPARE A SITE SPECIFIC CONSTRUCTION AND MAINTENANCE PHASE SEDIMENT AND EROSION CONTROL PLAN.



LEGEND

- EXISTING PROPERTY LINE
- EXISTING KERB (INVERT)
- EXISTING STORMWATER
- EXISTING CONTOURS
- PROPOSED PROPERTY LINE
- PROPOSED KERB (INVERT)
- PROPOSED STORMWATER
- DESIGN CONTOURS
- NEIGHBOURHOOD BOUNDARY
- STAGE BOUNDARY

- MANHOLE
- KERB INLET (ON GRADE) PIT
- KERB INLET (SAG) PIT
- HEADWALL
- SEDIMENT FENCE
- SCOUR PROTECTION
- TEMPORARY SEDIMENT BASIN
- STORMWATER INLET FILTER
- ROCK CHECK DAM
- VEHICLE SHAKEDOWN (AT ALL SITE ENTRANCES MIN.)
- TEMPORARY SWALE
- TREES

PROVIDE SEDIMENT AND EROSION CONTROL MEASURES IN ACCORDANCE WITH THE INTERNATIONAL EROSION CONTROL ASSOCIATION BPESC DOCUMENT.

SHEET LAYOUT



SCALE 1:10000 - A1 (1:20000 - A3)

PROJECT NAME



NEIGHBOURHOOD 3B & 3C PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON 531896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

REV	DATE	DESCRIPTION	INT
A	29-05-26	EDD ISSUE	EP

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

FINAL SURFACE AND SEDIMENT & EROSION PLAN SHEET 01



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED	URSULA WEEKS	DESIGNED	PP	DRAWN	EP
SIGNATURE	<i>URSULA WEEKS</i>	RPEQ 23228	DATE 29-05-26		

DRAWING NUMBER
23301-PREN3BC-080

REV
A



PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND
WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION.
DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

FINAL SURFACE AND
SEDIMENT & EROSION
PLAN
SHEET 02



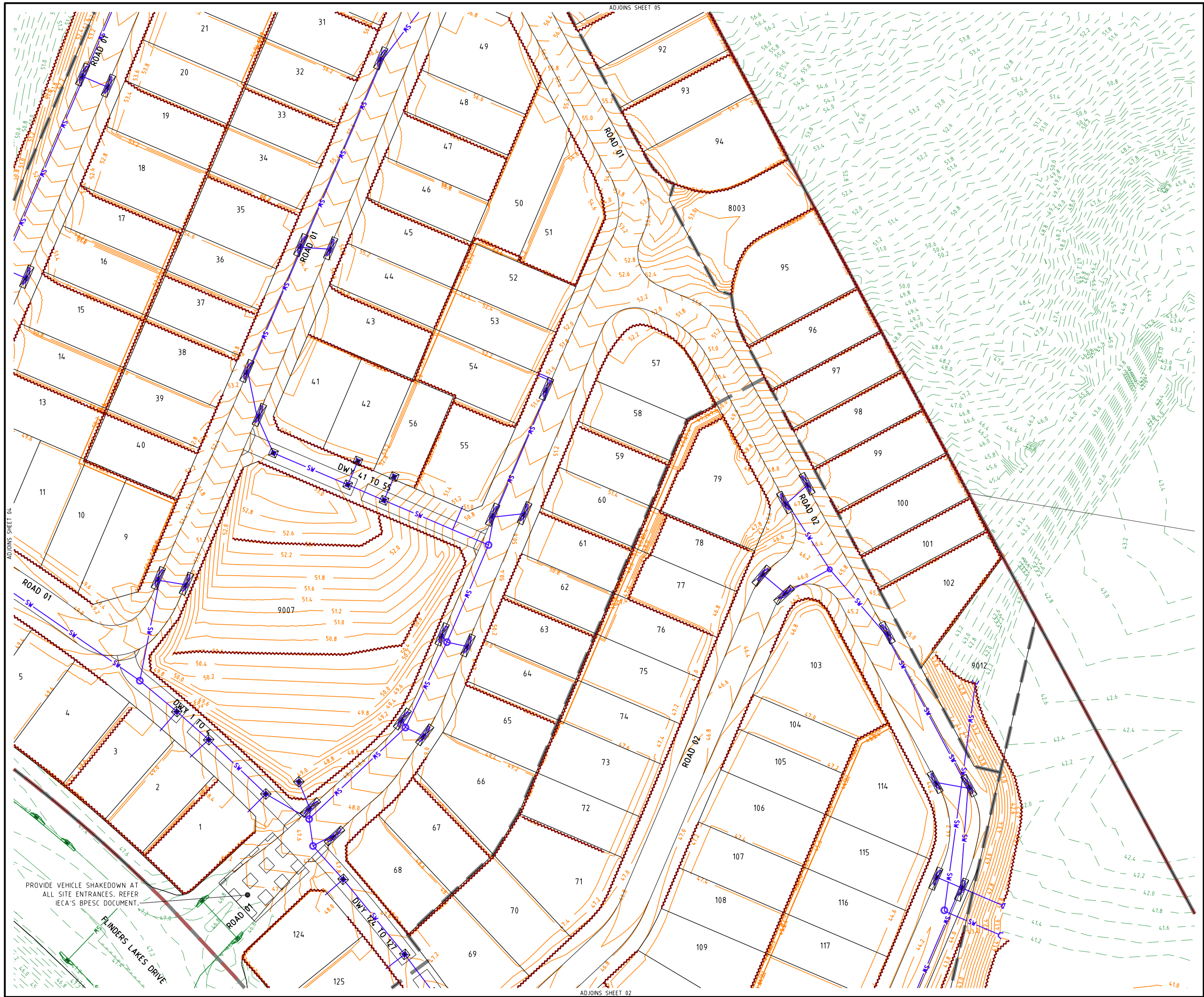
MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE <i>UWeeks</i>	RPEQ 23228	DATE 29-05-26

DRAWING NUMBER	REV
23301-PREN3BC-081	A



PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

A	29-05-26	EDD - ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

FINAL SURFACE AND
SEDIMENT & EROSION
PLAN
SHEET 03



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE <i>UWeeks</i>	RPEQ 23228	DATE 29-05-26

DRAWING NUMBER	REV
23301-PREN3BC-082	A



PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S31896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

REV	DATE	DESCRIPTION	INT
A	29-05-26	EDD ISSUE	EP

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

FINAL SURFACE AND
SEDIMENT & EROSION
PLAN
SHEET 04



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS DESIGNED PP DRAWN EP

SIGNATURE *Ursula Weeks* RPEQ 23228 DATE 29-05-26

DRAWING NUMBER REV

23301-PREN3BC-083

A



PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

REV	DATE	DESCRIPTION	INT
A	29-05-26	EDD ISSUE	EP

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND
WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION.
DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

FINAL SURFACE AND
SEDIMENT & EROSION
PLAN
SHEET 05



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE <i>URSULA WEEKS</i>	RPEQ 23228	DATE 29-05-26

DRAWING NUMBER	REV
23301-PREN3BC-084	A

CONSTRUCTION SERVICES

1. CONSTRUCTION OF
SEWER/ROOFWATER/STORMWATER/SERVICES
EXCAVATED MATERIAL TO BE PLACED ON HIGH SIDE
OF TRENCH & TO PROTECT PIPE WORK & DIRECT
SURFACE MATERIAL AWAY FROM EXCAVATIONS.
TOPSOIL & GRASS SEED AREAS IN ALLOTMENTS
IMMEDIATELY AFTER COMPLETING THE SEWER &
ROOFWATER DRAINAGE CONSTRUCTION.
DEPRESS GROUND AROUND TEMPORARY FIELD
INLETS TO CREATE SILT POND.
2. TRIP HAZARD
MANHOLES OR STRUCTURES INSTALLED IN THE
ROAD, FOOTPATH OR VERGE MUST MATCH NEATLY
WITH NO TRIP HAZARD.
3. EXISTING SERVICES - EXTERNAL WORKS
THE LOCATIONS OF ALL EXISTING SERVICES WITHIN
THE WORK AREA SHALL BE CONFIRMED BY THE
CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING.
IT IS THE CONTRACTOR'S RESPONSIBILITY TO
CONTACT THE RELEVANT AUTHORITIES & TO
ENSURE THAT THE EXISTING SERVICES ARE NOT
DAMAGED OR DISTURBED IN ANY WAY BY THE
CONTRACT WORKS.

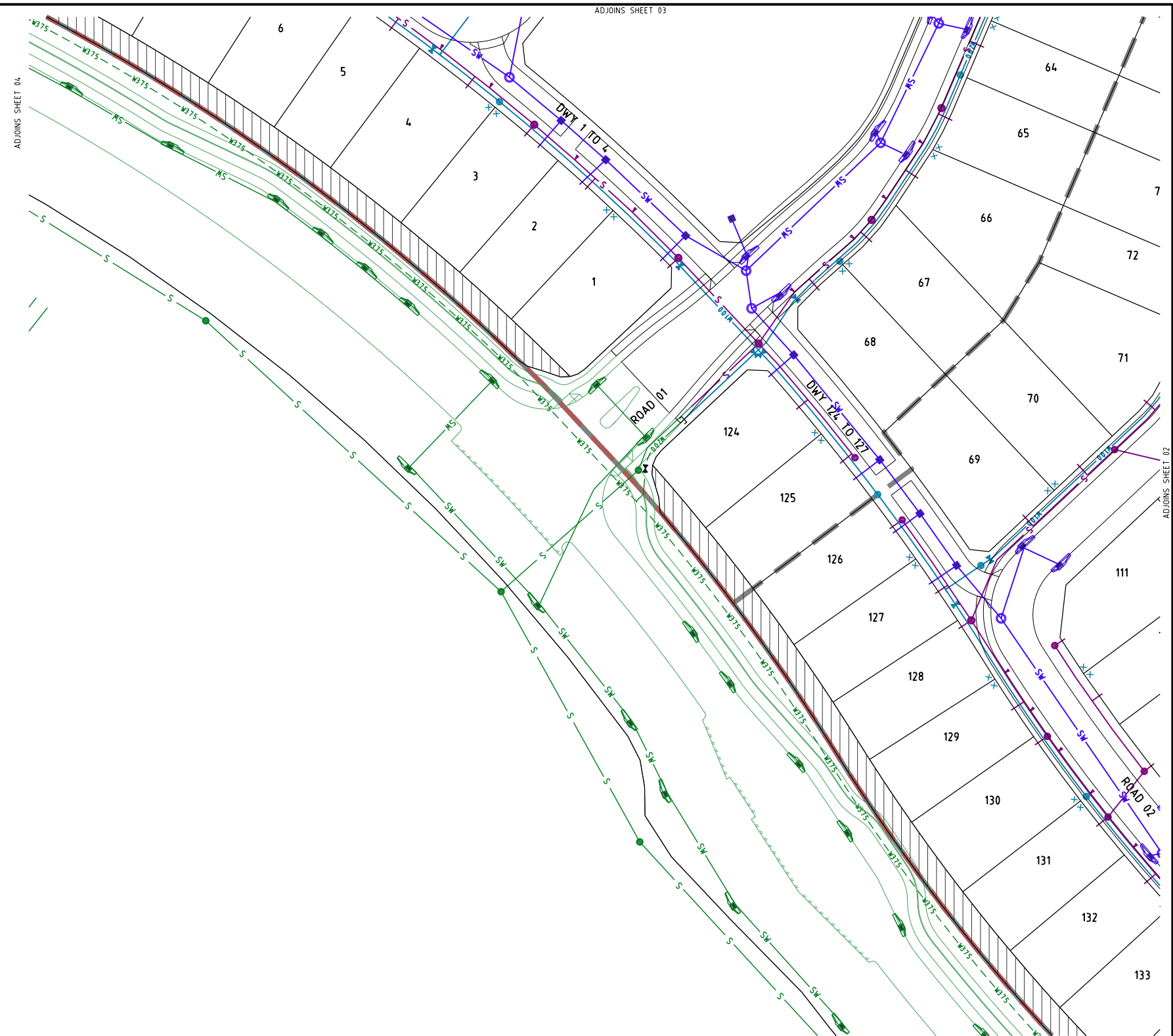
LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING KERB (INVERT)
---	EXISTING FOOTPATH
RM	EXISTING RISING MAIN
S	EXISTING SEWER
SW	EXISTING STORMWATER
RW	EXISTING ROOFWATER
SS	EXISTING SUBSOIL
W100	EXISTING WATER
W150	EXISTING WATER
W200	EXISTING WATER
W225	EXISTING WATER
W250	EXISTING WATER
W300	EXISTING WATER
---	EXISTING WATER CONDUIT
---	PROPOSED PROPERTY LINE
---	PROPOSED KERB (INVERT)
---	PROPOSED FOOTPATH
RM	PROPOSED RISING MAIN
S	PROPOSED SEWER
SW	PROPOSED STORMWATER
RW	PROPOSED ROOFWATER
SS	PROPOSED SUBSOIL
W100	PROPOSED WATER
W150	PROPOSED WATER
W200	PROPOSED WATER
W225	PROPOSED WATER
W250	PROPOSED WATER
W300	PROPOSED WATER
---	PROPOSED WATER CONDUIT
---	NEIGHBOURHOOD BOUNDARY
---	STAGE BOUNDARY
D	DUPLEX LOT
---	LANDSCAPE EASEMENT
---	BUSHFIRE BUFFER

SHEET LAYOUT



SCALE 1:10000 - A1 (1:20000 - A3)



PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

REV	DATE	DESCRIPTION	INT
A	29-05-26	EDD ISSUE	EP

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND
WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION.
DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

COMBINED SERVICES
PLAN
SHEET 01

MORTONS
urbansolutions
Civil Engineering
Project Coordination

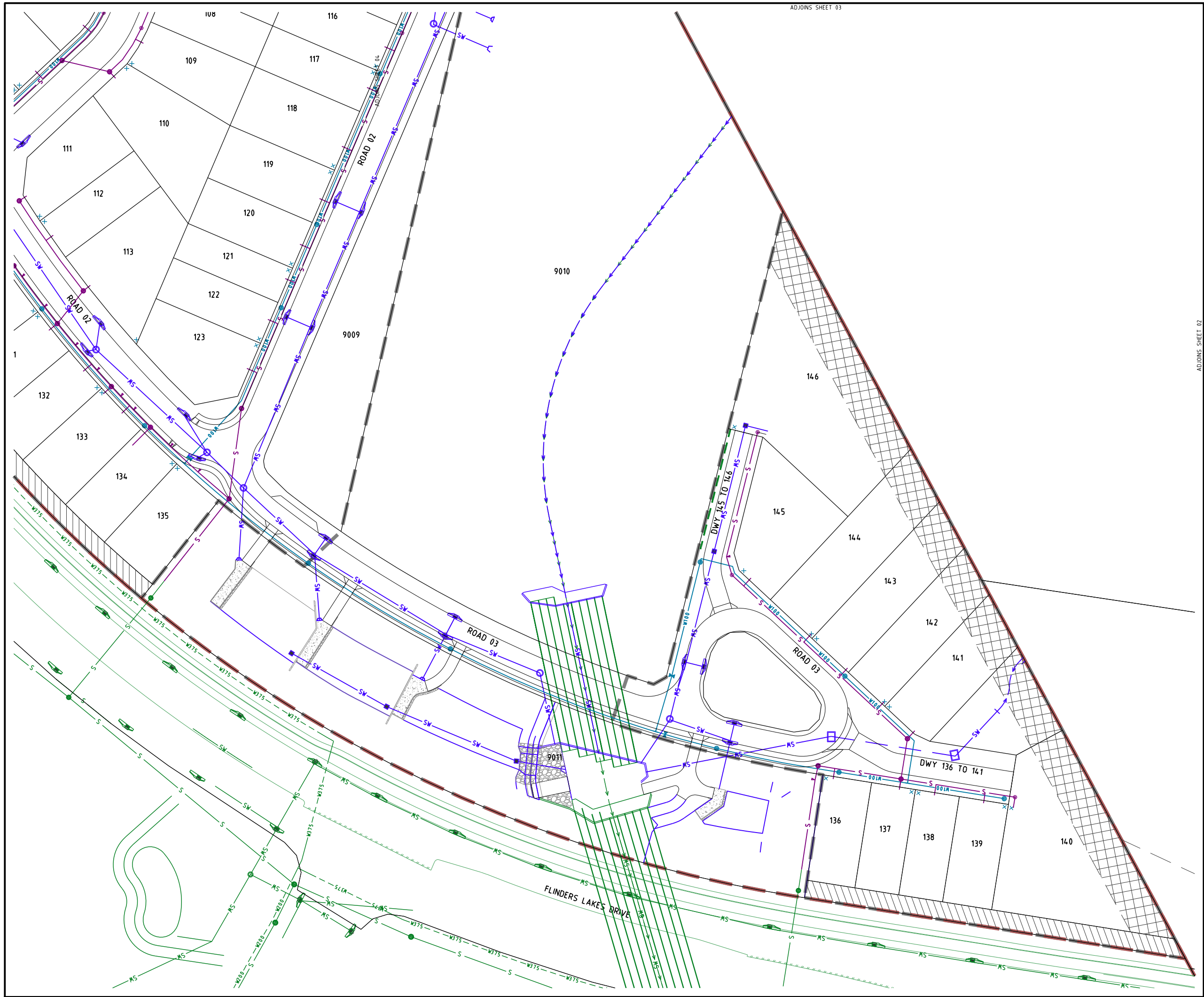
MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED	URSULA WEEKS	DESIGNED	PP	DRAWN	EP
SIGNATURE		RPEQ 23228	DATE 29-05-26		

DRAWING NUMBER	REV
23301-PREN3BC-090	A



ADJOINS SHEET 03

ADJOINS SHEET 02

PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND
WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION.
DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

COMBINED SERVICES
PLAN
SHEET 02



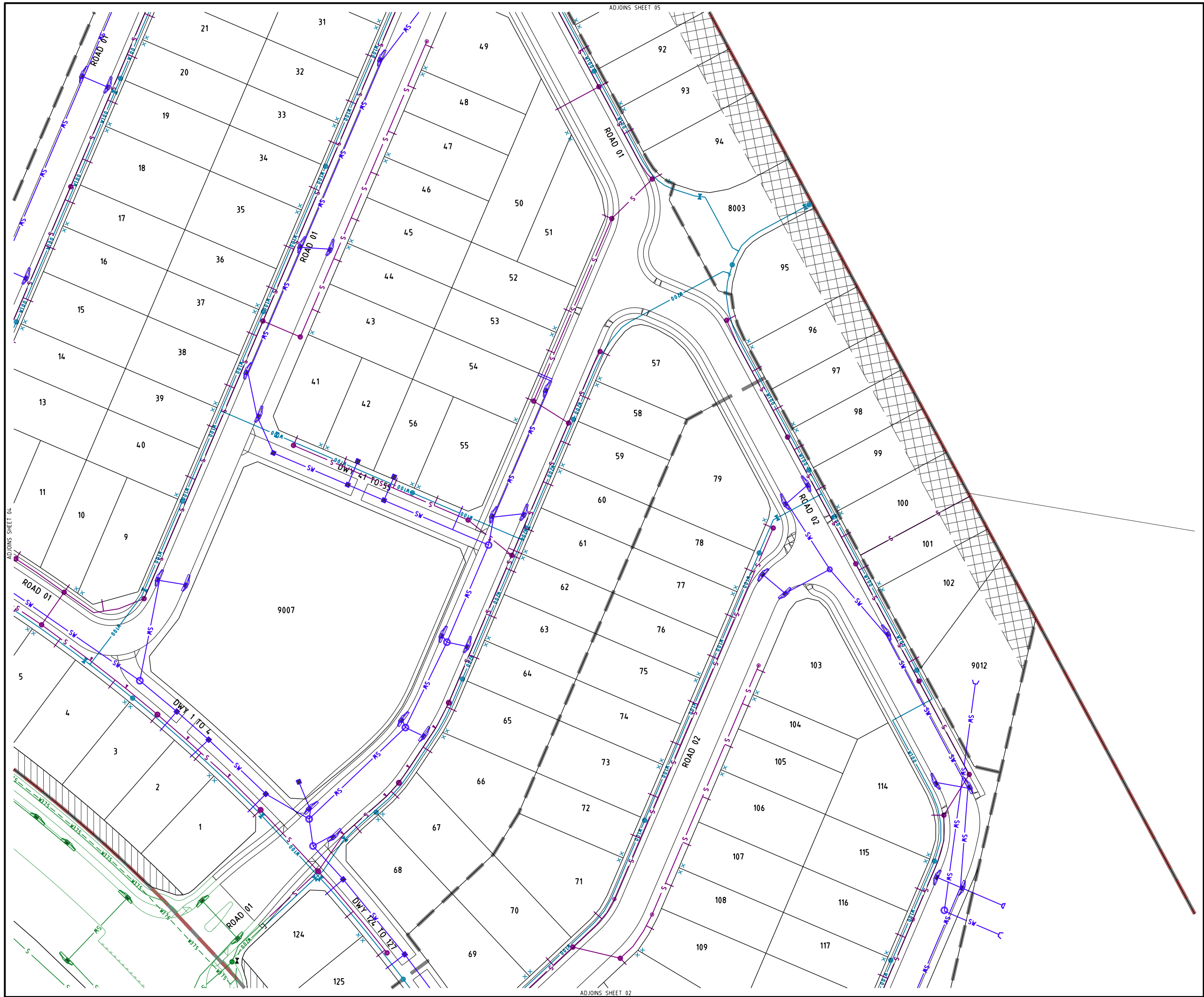
MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

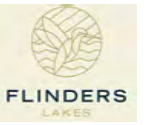
Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED	URSULA WEEKS	DESIGNED	PP	DRAWN	EP
SIGNATURE		RPEQ 23228	DATE	29-05-26	

DRAWING NUMBER	REV
23301-PREN3BC-091	A



PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

REV	DATE	DESCRIPTION	INT
A	29-05-26	EDD ISSUE	EP

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

COMBINED SERVICES
PLAN
SHEET 03



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address:
PO Box 2484
Southport QLD 4215

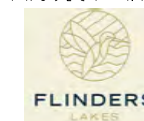
Gold Coast Office:
Suite 9, 19 Short St
Southport QLD 4215

APPROVED	URSULA WEEKS	DESIGNED	PP	DRAWN	EP
SIGNATURE	<i>URSULA WEEKS</i>	RPEQ 23228	DATE	29-05-26	

DRAWING NUMBER	REV
23301-PREN3BC-092	A



PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R. P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

A	29-05-26	EDQ ISSUE	E
REV	DATE	DESCRIPTION	I

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND
WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION.
DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



D R A W I N G T I T L E

COMBINED SERVICES
PLAN
SHEET 04



MUS Pty Ltd T/As: Postal Address
Mortons-Urban Solutions PO Box 248
ABN: 39 116 375 065 Southport QLD 4211
mortons@urbansolutions.net.au
www.urbansolutions.net.au Gold Coast Office
Tel 07 5571 1099 Suite 9, 19 Short St
Southport QLD 4211

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN E
SIGNATURE	RPEQ 23228	DATE 29-05-

DRAWING NUMBER	REVISION
23301-PREN3BC-093	A



PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND
WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION.
DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

COMBINED SERVICES
PLAN
SHEET 05



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address:
PO Box 2484
Southport QLD 4215

Gold Coast Office:
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE <i>Ursula Weeks</i>	RPE 23228	DATE 29-05-26

DRAWING NUMBER	REV
23301-PREN3BC-094	A

ROADWORKS

1. PAVEMENT DEPTHS
- a. THE DESIGN PAVEMENT DEPTHS ALLOWED IN EARTHWORKS CALCULATIONS ARE BASED ON THE AUTHORITY'S MINIMUM PAVEMENT BOX.
- b. THE PAVEMENT DEPTHS GIVEN ARE NOMINAL DESIGN DEPTHS ONLY & MAY BE VARIED AFTER SUB-GRADE TESTS ARE TAKEN. THE CONTRACTOR IS TO PROVIDE THE SUPERINTENDENT A SUBGRADE C.B.R. REPORT PREPARED BY A SUITABLY QUALIFIED GEOTECHNICAL ENGINEER. IN PROJECTS EXPECTING LIME STABILISED SUBGRADE, THE CONTRACTOR MUST PROVIDE LIME DEMAND TEST RESULTS WITH THE CBR REPORT.
- c. THE SUPERINTENDENT WILL COORDINATE THE AUTHORITIES APPROVAL OF THE PAVEMENT DESIGN.
- d. REFER TO DWG. 120 FOR TYPICAL ROAD SECTIONS.
2. TESTING
- ALL COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED N.A.T.A. TESTING AUTHORITY. ALL SITE FILLING SHALL BE TESTED AT LEVEL 1 REQUIREMENTS.
3. SUBSOIL DRAINS
- SUBSOIL DRAINS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL AUTHORITY'S SPECIFICATIONS. SUBSOIL DRAINS SHALL BE PLACED UNDER ALL KERB STRUCTURES & ARE TO BE CONSTRUCTED TO A DEPTH GREATER THAN THAT OF THE INVERT OF THE DEEPEST SERVICE CROSSING.
4. MITRE DRAINS
- MITRE DRAINS ARE TO BE CONSTRUCTED ALONG THE CUT/FILL INTERFACE & SAG/LOW POINTS OF ALL ROADS. CONTRACTOR TO REQUEST DIRECTION FROM SUPERINTENDENT WHETHER TO INSTALL MITRE DRAIN AT ROCK ENCOUNTERED IN SUBGRADE. ALL MITRE DRAINS MUST BE FREE DRAINING & TIE INTO THE ADJACENT SUBSOIL DRAINS.
5. ROCK
- THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR RATES.
6. TURF
- 1.0m TURF STRIP TO BE INSTALLED BEHIND THE BACK OF ALL KERBS. A PERPENDICULAR TURF STRIP AT MAXIMUM 10m INCREMENTS MUST BE INSTALLED TO FULL VERGE WIDTH FOR SEDIMENT & EROSION CONTROL PURPOSES.
7. KERBS
- ALL KERBS TO BE CONSTRUCTED IN ACCORDANCE WITH AUTHORITY STANDARDS. FOR ALL KERB TYPES REFER TO DWG 120.
8. PAVEMENT TIE-IN
- PAVEMENT TIE-IN TO BE IN ACCORDANCE WITH DWG 120.

LEGEND

- EXISTING KERB (INVERT)
- EXISTING KERB (LIP & BACK)
- EXISTING FOOTPATH
- EXISTING PROPERTY LINE
- 1.0 — EXISTING CONTOURS
- FUTURE KERB
- FUTURE FOOTPATH
- FUTURE PROPERTY LINE
- 1.0 — FUTURE CONTOURS
- CONTROL LINE / CENTER OF ROAD
- PROPOSED KERB (INVERT)
- PROPOSED KERB (LIP & BACK)
- PROPOSED FOOTPATH
- PROPOSED PROPERTY LINE
- 1.0 — DESIGN CONTOURS
- NEIGHBOURHOOD BOUNDARY
- STAGE BOUNDARY
- L-LINEMARK
- L-LINEMARK-DL1
- L-LINEMARK-BL1
- L-LINEMARK-BL2
- L-LINEMARK-BL3
- L-LINEMARK-LL1
- L-LINEMARK-LL4
- L-LINEMARK-EL
- L-LINEMARK-CL
- L-LINEMARK-TL
- L-LINEMARK-NS1
- L-LINEMARK-GW
- L-LINEMARK-SL
- L-LINEMARK-PL
- PROPOSED CYCLEWAY
- PROPOSED FOOTPATH
- LANDSCAPE EASEMENT
- BUSHFIRE BUFFER
- 41.065 CENTRELINE CHAINAGE
- REFER TO DWG 120 FOR KERB TYPES
- B1 BARRIER KERB & CHANNEL
- SM5 SEMI MOUNTABLE KERB (MEDIAN KERB)
- ER1 EDGE RESTRAINT
- M3 MOUNTABLE KERB



SCALE 1:10000 - A1 (1:20000 - A3)



PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S31896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

REV	DATE	DESCRIPTION	INT
A	29-05-26	EDD ISSUE	EP

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

ROADWORKS
PLAN
SHEET 01



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

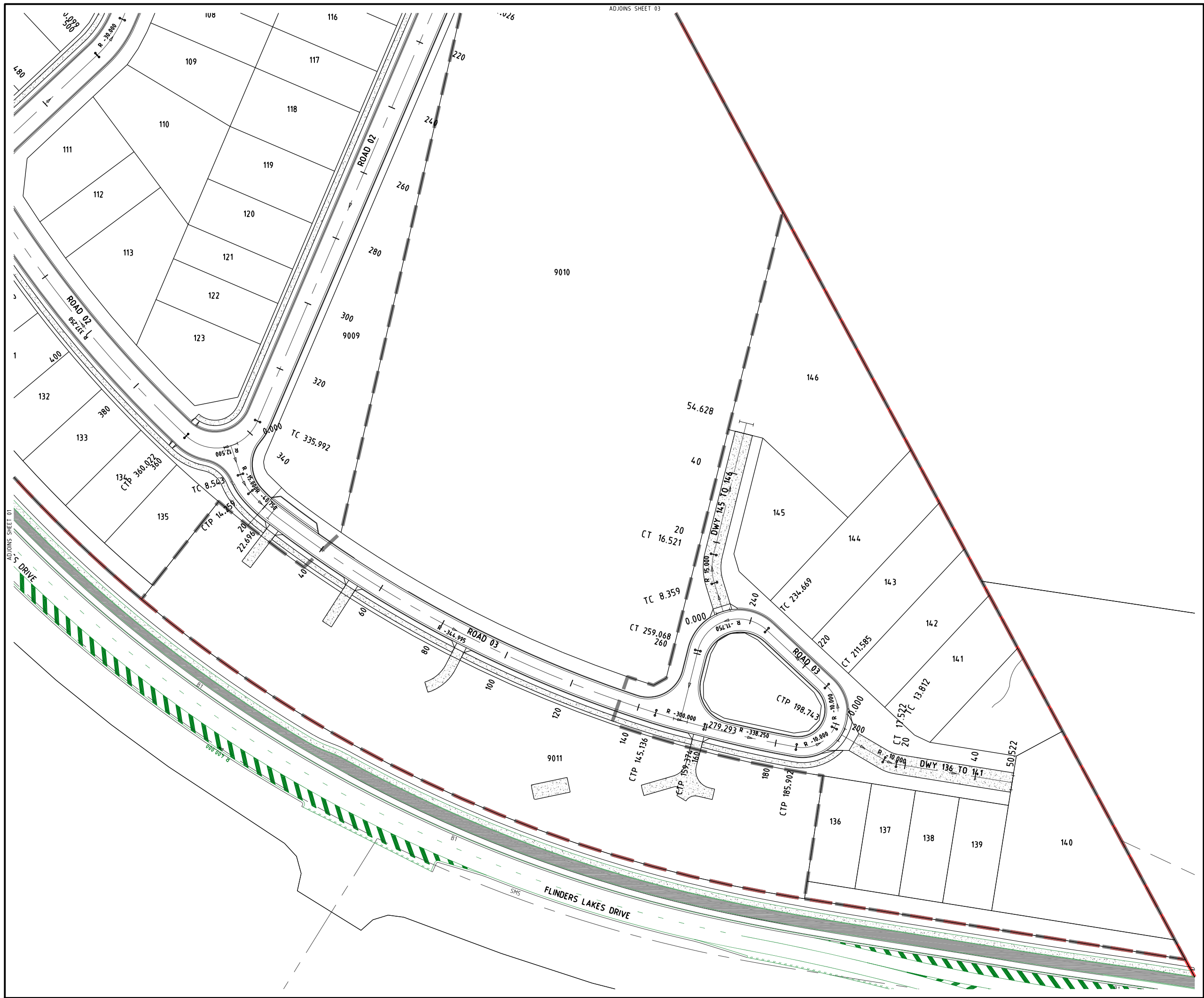
Postal Address:
PO Box 2484
Southport QLD 4215

Gold Coast Office:
Suite 9, 19 Short St
Southport QLD 4215

APPROVED	URSULA WEEKS	DESIGNED	PP	DRAWN	EP
SIGNATURE	<i>URSULA WEEKS</i>	RPEQ 23228	DATE 29-05-26		

DRAWING NUMBER	REV
23301-PREN3BC-100	A





PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND
WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION.
DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

ROADWORKS
PLAN
SHEET 02



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE <i>Ursula Weeks</i>	RPEQ 23228	DATE 29-05-26

DRAWING NUMBER	REV
23301-PREN3BC-102	A





PROJECT NAME


FLINDERS
LAKES

NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT




NORTH

0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

REV	DATE	DESCRIPTION	INT
A	29-05-26	EDD ISSUE	EP

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

ROADWORKS
PLAN
SHEET 04


MORTONS
urbansolutions
Civil Engineering
Project Coordination

MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED	URSULA WEEKS	DESIGNED	PP	DRAWN	EP
SIGNATURE		RPEQ 23228	DATE 29-05-26		

DRAWING NUMBER	REV
23301-PREN3BC-104	A

y:\233 - pdc\trua\01 - flinders precinct\01NH 3B 3C\preliminary\Current\23301-PREN3BC-100.dwg, PLAN SHEET 04, 29/05/2026 4:39:33 PM, 1:2



PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND
WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION.
DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

ROADWORKS
PLAN
SHEET 05



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

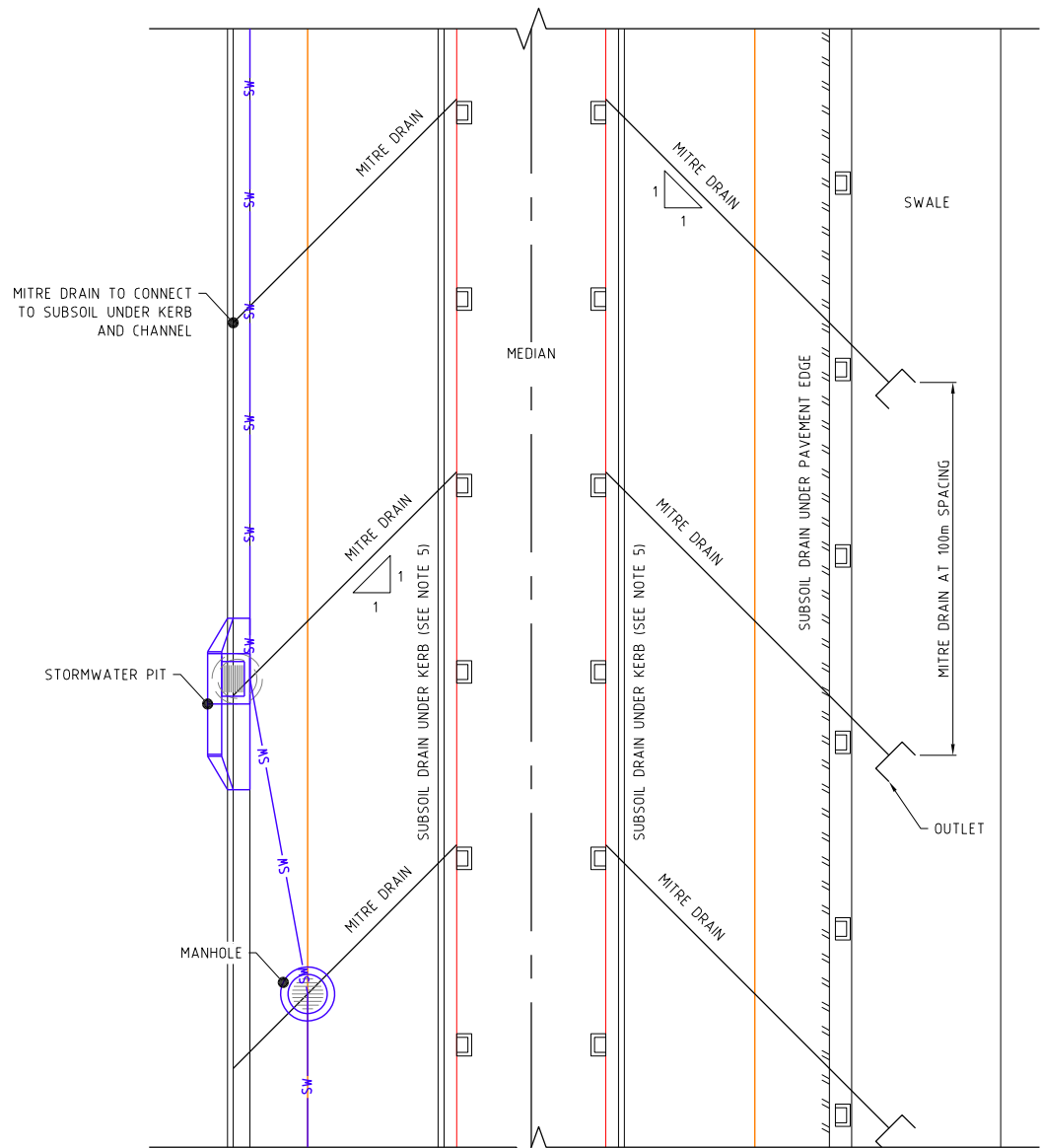
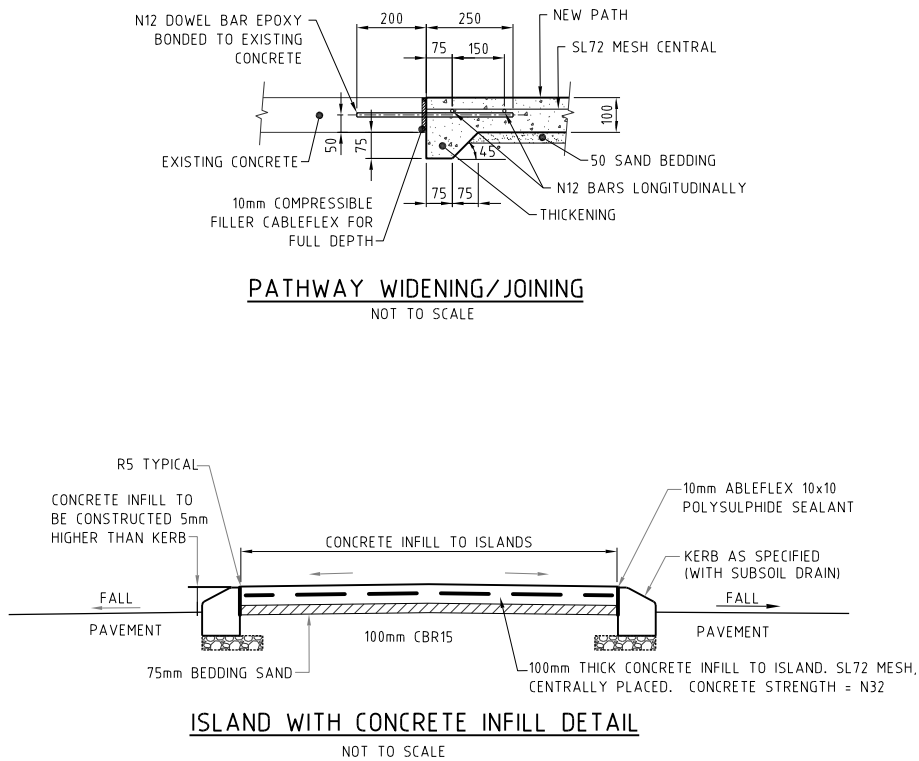
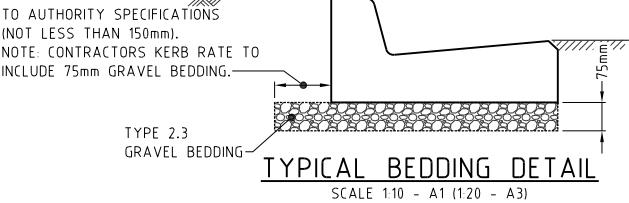
Postal Address:
PO Box 2484
Southport QLD 4215

Gold Coast Office:
Suite 9, 19 Short St
Southport QLD 4215

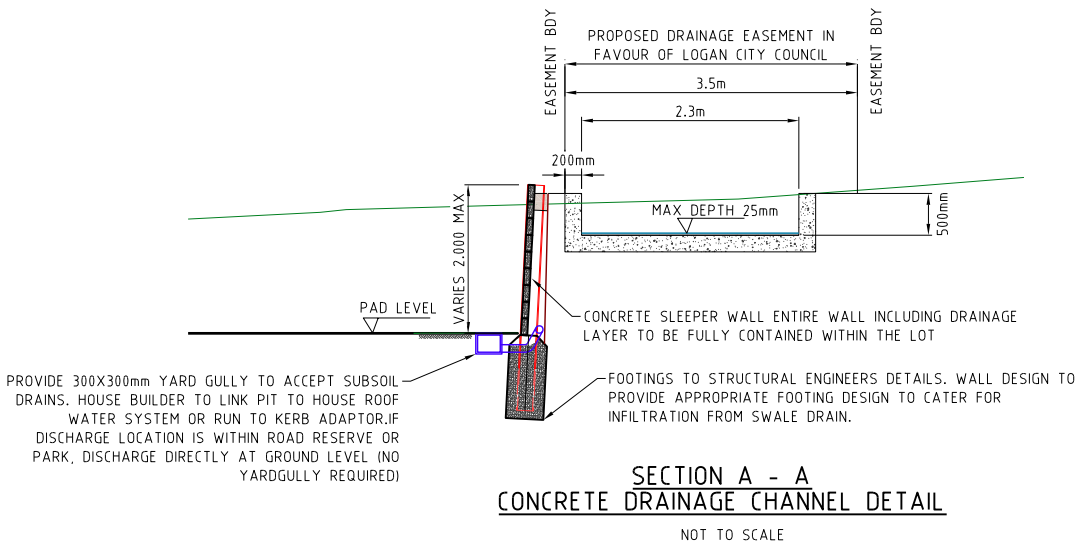
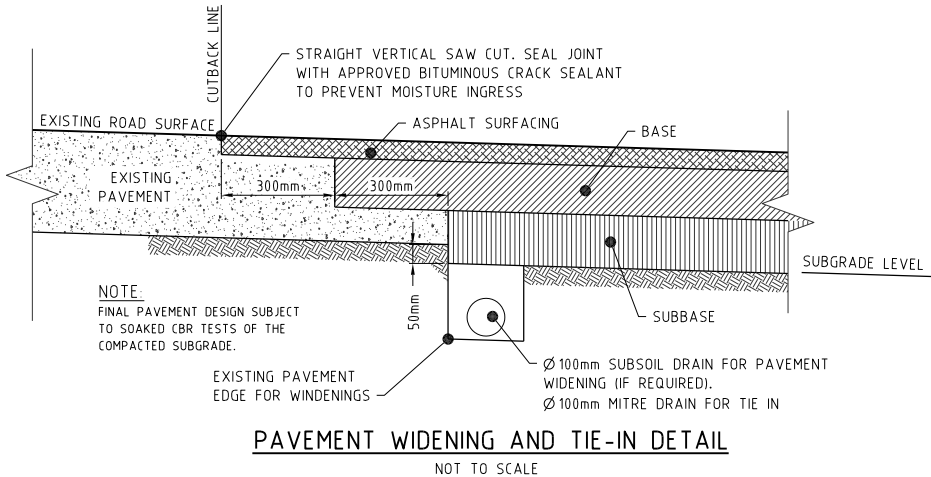
APPROVED URSULA WEEKS	DESIGNED PP	DRAWN EP
SIGNATURE <i>Ursula Weeks</i>	RPEQ 23228	DATE 29-05-26

DRAWING NUMBER	REV
23301-PREN3BC-105	A

SCHEDULE OF KERB TYPES		
KERB TYPE	IMAGE	REFERENCE
B1		IPWEA DWG. RSD-200 NOTE: SUBSOIL DRAINS TO BE PLACED UNDER ALL KERBS.
SM5		
ER1		
M3		



- NOTE:
- CLEAN OUTS IN ACCORDANCE WITH IPWEAQ DWG RSD-802. MAXIMUM 50m SPACINGS
 - OUTLETS IN ACCORDANCE WITH IPWEAQ DWG RSD-802. MAXIMUM AT 100m SPACINGS
 - SUBSOIL DRAINS TO IPWEA DWG RSD-801. MAXIMUM AT 100m SPACINGS
 - WHERE SUBSOIL DRAINS CROSS SERVICE CONDUITS (IE ELECTRICAL, WATER ETC) THE SPACE BETWEEN THE INVERT OF THE SERVICE CONDUIT AND THE OVERT OF THE SUBSOIL DRAIN SHALL BE 50mm.
 - SUBSOIL DRAIN REQUIRED UNDER MEDIAN KERBS.



PROJECT NAME

**FLINDERS
LAKES**

NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION
LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ

0 0.1 0.2 0.3 0.4 0.5m
Scale 1:10 - A1 (1:20 - A3)

A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS

DRAWING TITLE

ROADWORKS
DETAILS
SHEET 01

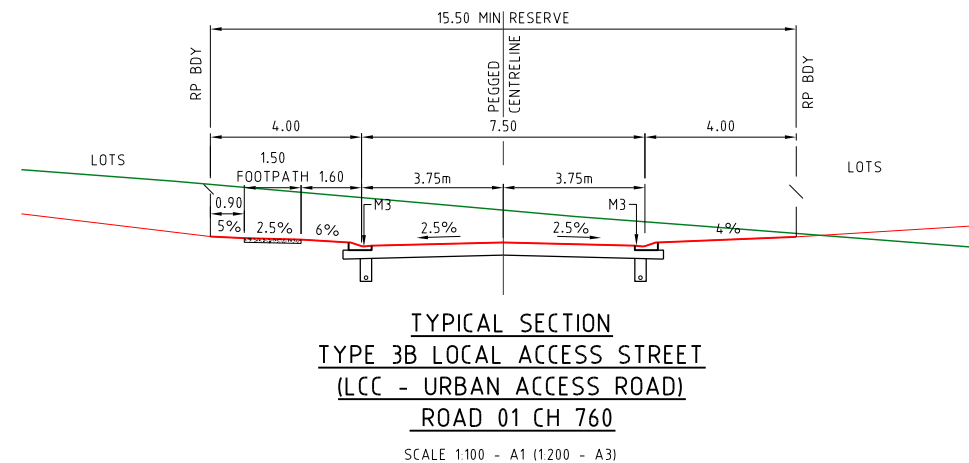
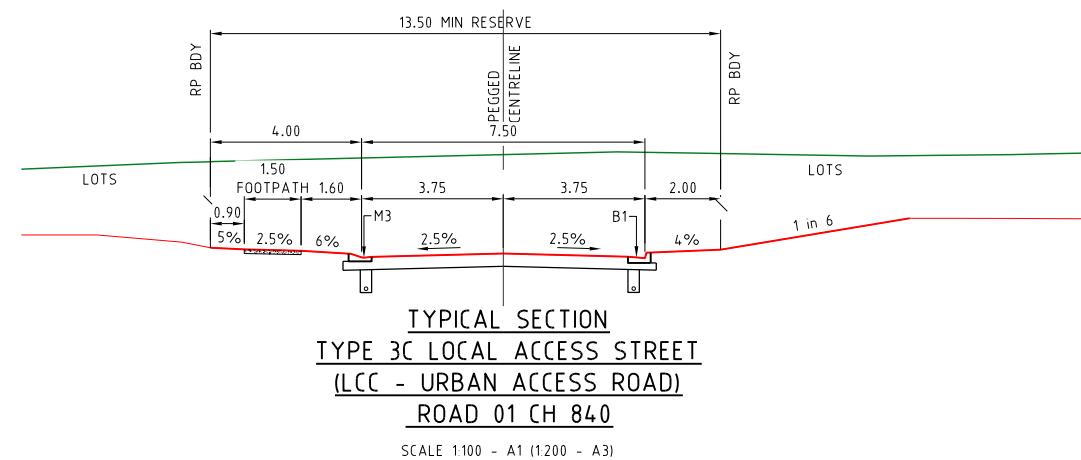
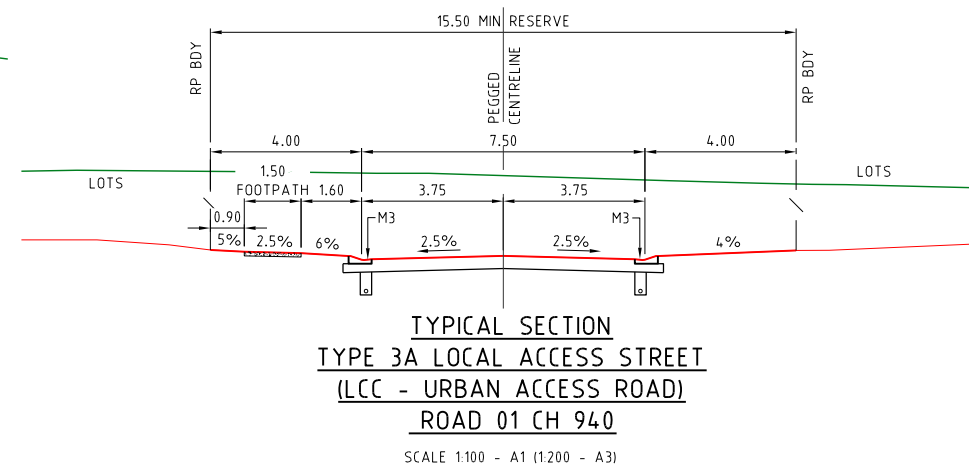
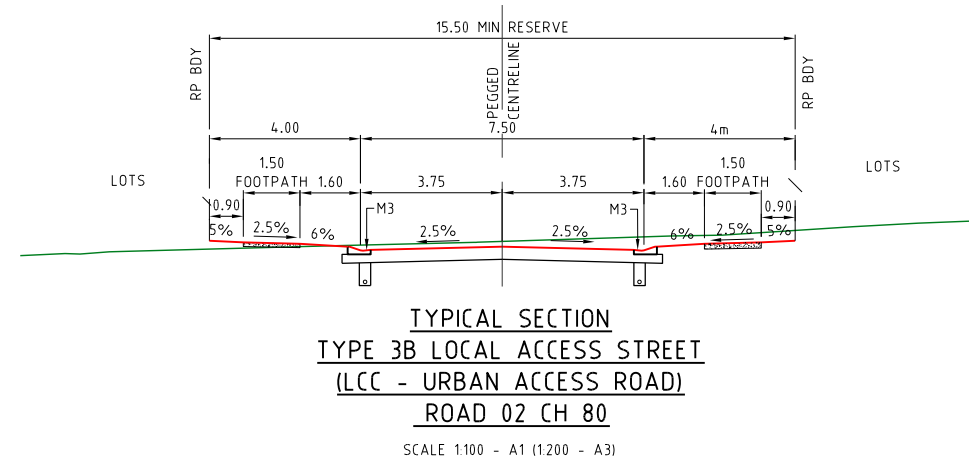
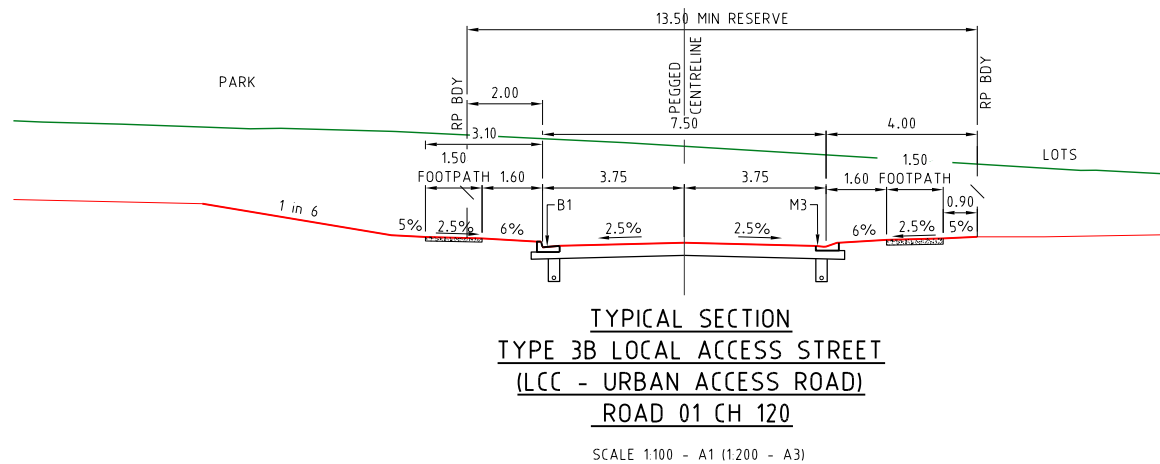
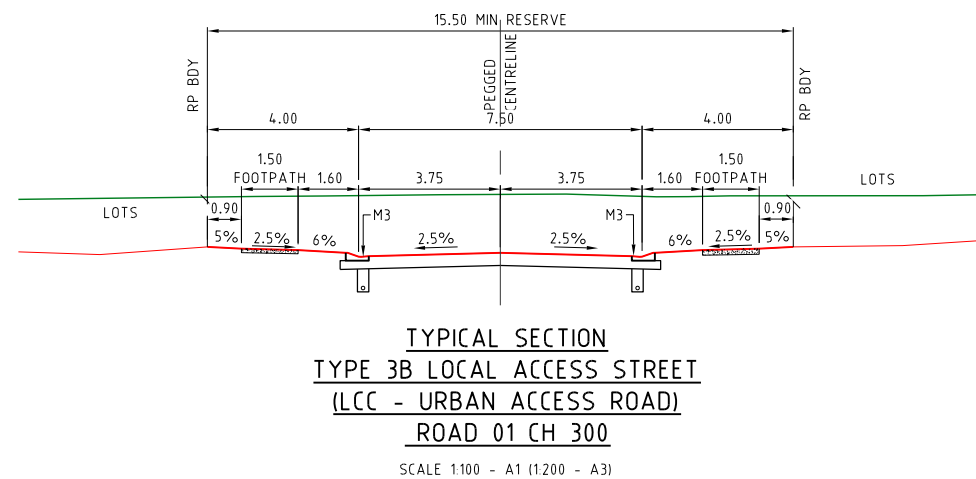
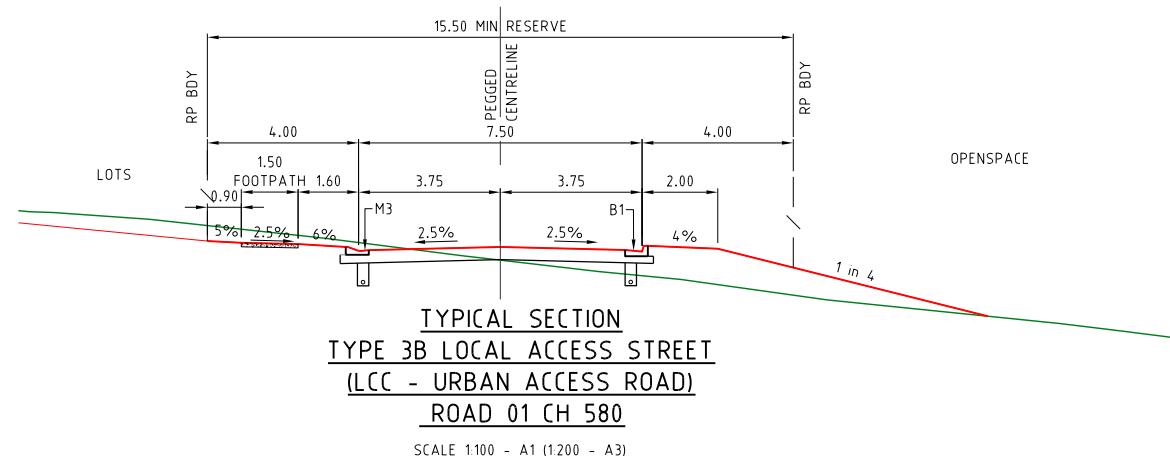
MORTONS
urbansolutions
Civil Engineering
Project Coordination

MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

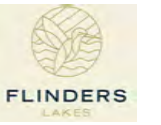
Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED GW	DRAWN EP
SIGNATURE	RPEQ 23228	DATE 29-05-26
DRAWING NUMBER		REV
23301-PREN3BC-120		A



PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ

0 1 2 3 4 5m
Scale 1:100 - A1 (1:200 - A3)

REV	DATE	DESCRIPTION	INT
A	29-05-26	EDD ISSUE	EP

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND
WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION.
DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

ROADWORKS
DETAILS
SHEET 02

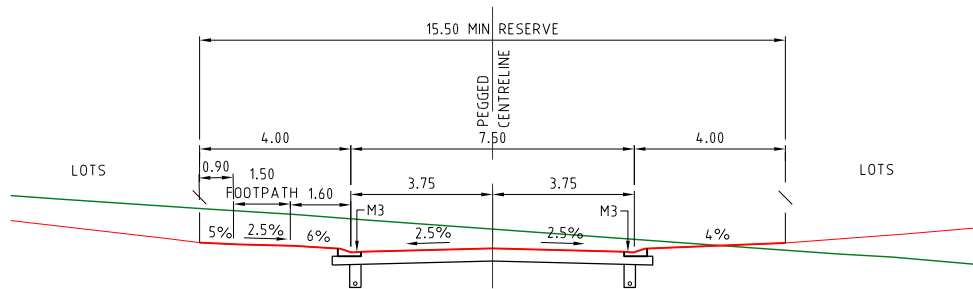


MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

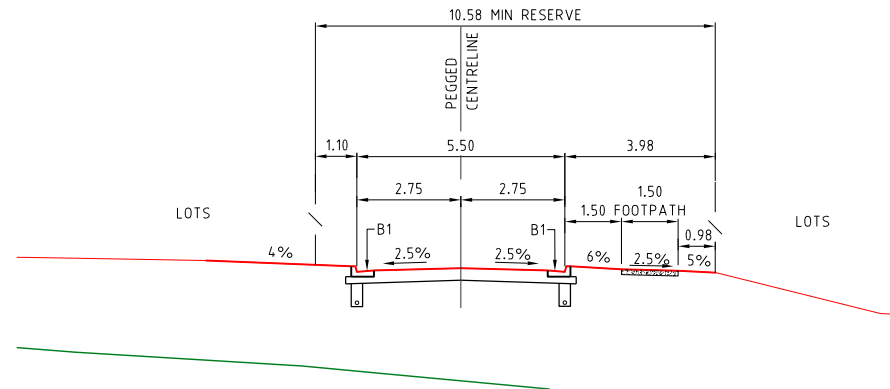
Postal Address:
PO Box 2484
Southport QLD 4215

Gold Coast Office:
Suite 9, 19 Short St
Southport QLD 4215

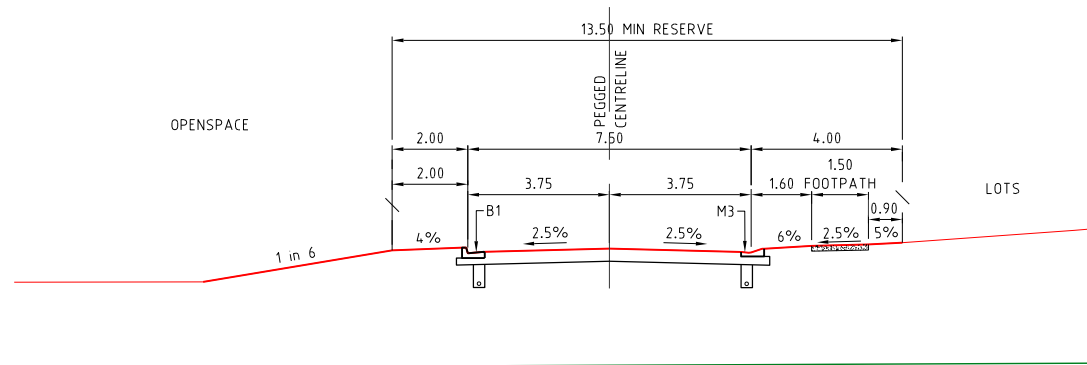
APPROVED	URSULA WEEKS	DESIGNED	GW	DRAWN	EP
SIGNATURE		RPEQ 23228	DATE 29-05-26		
DRAWING NUMBER	23301-PREN3BC-121	REV	A		



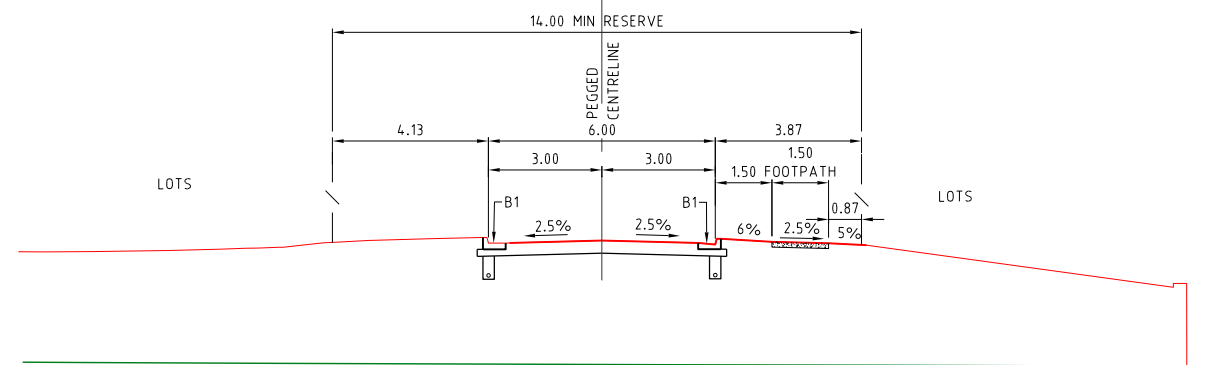
TYPICAL SECTION
TYPE 3A LOCAL ACCESS STREET
(LCC - URBAN ACCESS ROAD)
ROAD 02 CH 560
SCALE 1:100 - A1 (1:200 - A3)



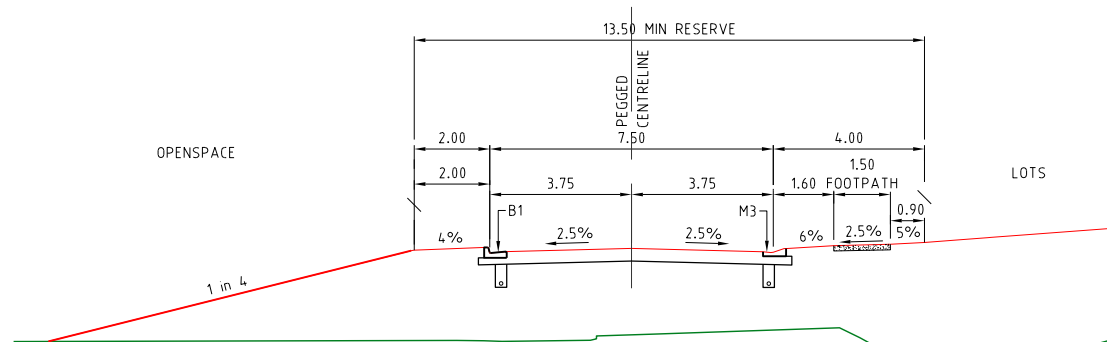
TYPICAL SECTION
TYPE 3E LOCAL ACCESS STREET
(LCC - URBAN ACCESS ROAD)
ROAD 03 CH 180
SCALE 1:100 - A1 (1:200 - A3)



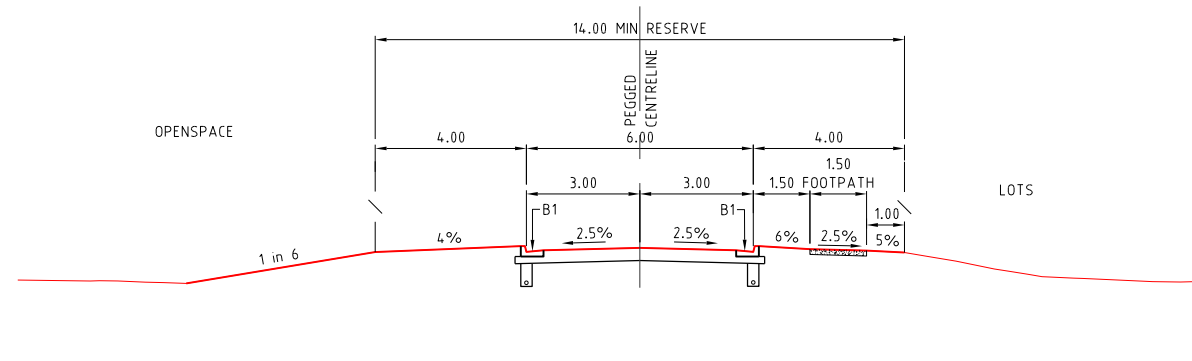
TYPICAL SECTION
TYPE 3C LOCAL ACCESS STREET
(LCC - URBAN ACCESS ROAD)
ROAD 02 CH 280
SCALE 1:100 - A1 (1:200 - A3)



TYPICAL SECTION
TYPE 3F LOCAL ACCESS STREET
(LCC - URBAN ACCESS ROAD)
ROAD 03 CH 120
SCALE 1:100 - A1 (1:200 - A3)



TYPICAL SECTION
TYPE 3C LOCAL ACCESS STREET
(LCC - URBAN ACCESS ROAD)
ROAD 02 CH 200
SCALE 1:100 - A1 (1:200 - A3)



TYPICAL SECTION
TYPE 3F LOCAL ACCESS STREET
(LCC - URBAN ACCESS ROAD)
ROAD 03 CH 20
SCALE 1:100 - A1 (1:200 - A3)

PROJECT NAME



NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ

0 1 2 3 4 5m
Scale 1:100 - A1 (1:200 - A3)

REV	DATE	DESCRIPTION	INT
A	29-05-26	EDD ISSUE	EP

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND
WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION.
DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

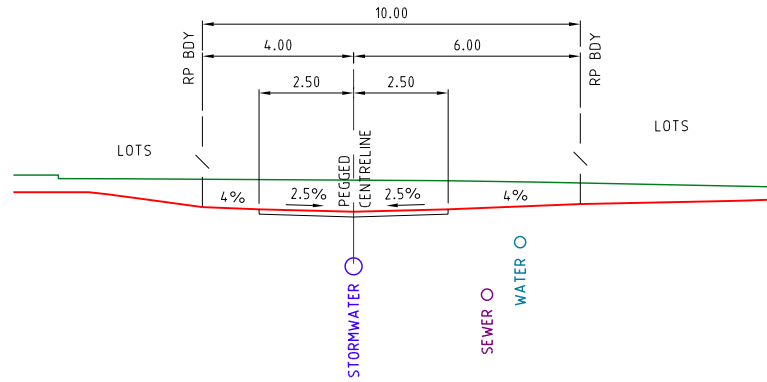
ROADWORKS
DETAILS
SHEET 03



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099
Postal Address:
PO Box 2484
Southport QLD 4215
Gold Coast Office:
Suite 9, 19 Short St
Southport QLD 4215

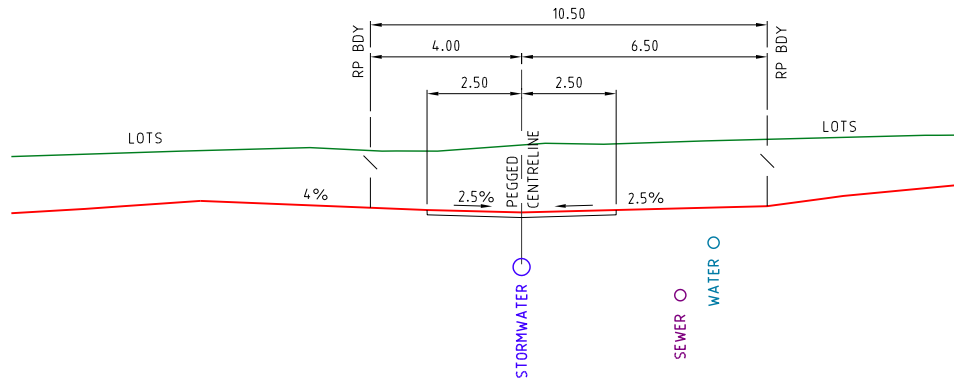
APPROVED	URSULA WEEKS	DESIGNED	GW	DRAWN	EP
SIGNATURE		RPEQ 23228	DATE	29-05-26	

DRAWING NUMBER	REV
23301-PREN3BC-122	A



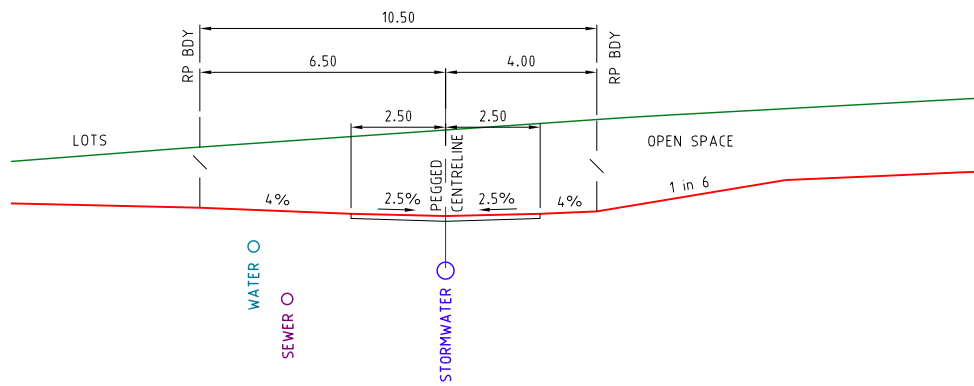
DWY 124 TO 127 TYPICAL SECTION
(CH 60)

SCALE 1:100 - A1 (1:200 - A3)



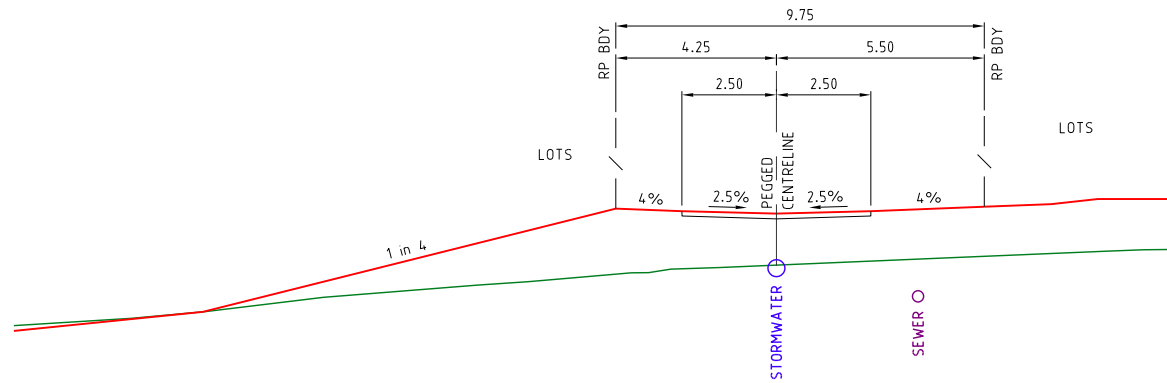
DWY 41 TO 55 TYPICAL SECTION
(CH 40)

SCALE 1:100 - A1 (1:200 - A3)



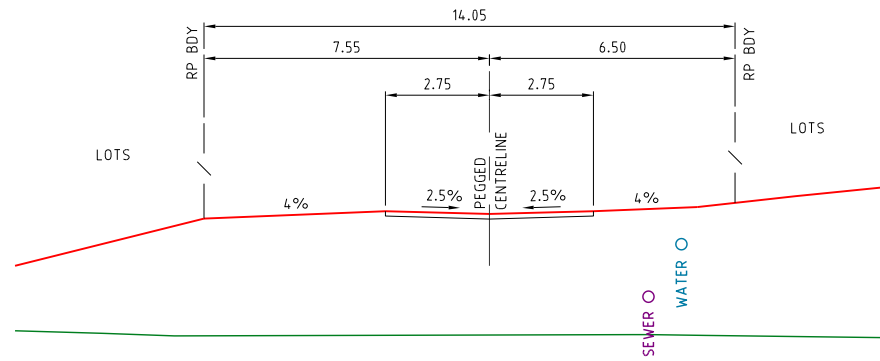
DWY 01 TO 04 TYPICAL SECTION
(CH 40)

SCALE 1:100 - A1 (1:200 - A3)



DWY 145 TO 146 TYPICAL SECTION
(CH 40)

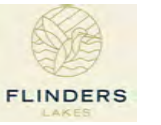
SCALE 1:100 - A1 (1:200 - A3)



DWY 136 TO 140 TYPICAL SECTION
(CH 40)

SCALE 1:100 - A1 (1:200 - A3)

PROJECT NAME



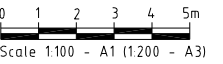
NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



REV	DATE	DESCRIPTION	INT
A	29-05-26	EDD ISSUE	EP

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

ROADWORKS
DETAILS
SHEET 04



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

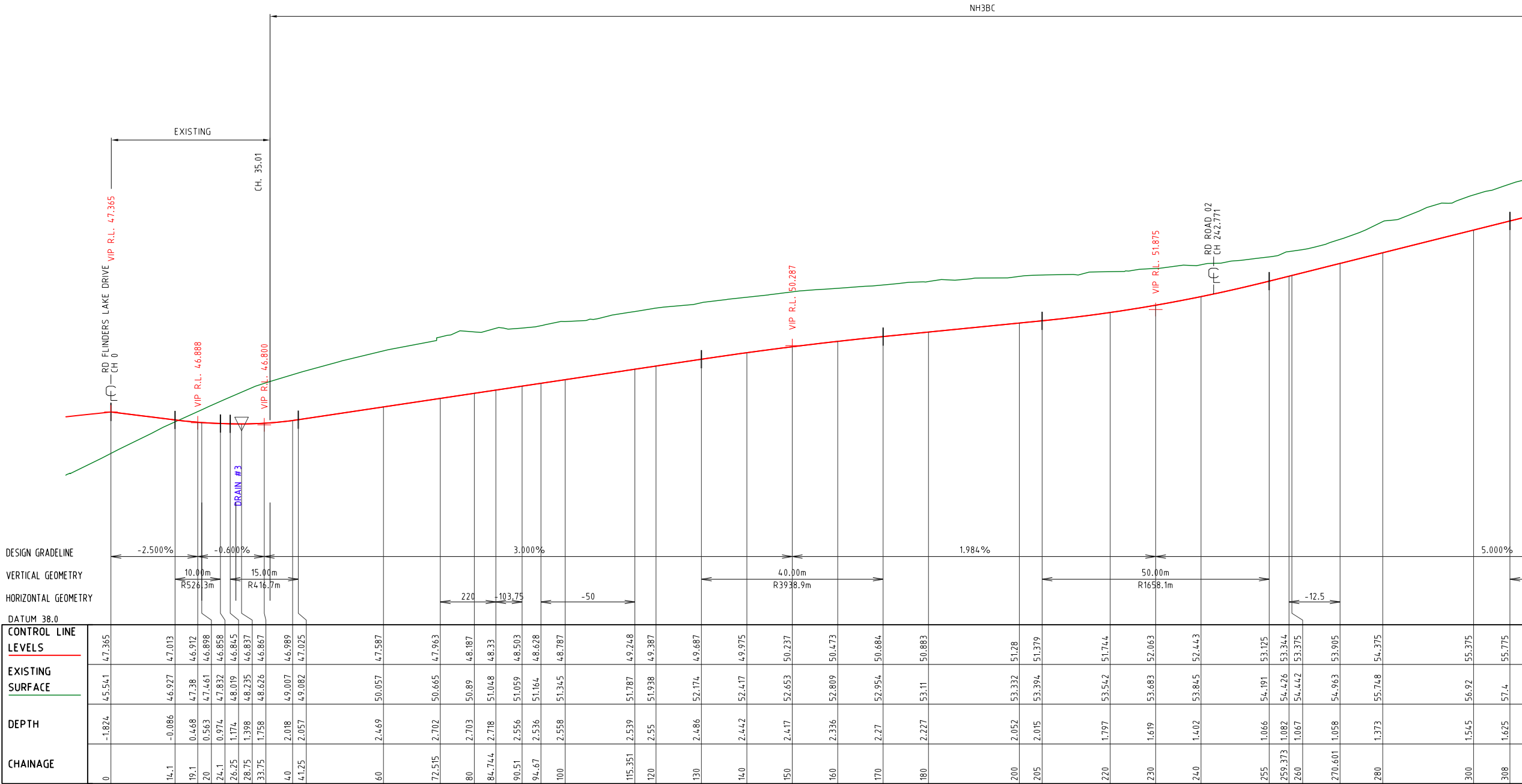
Postal Address:
PO Box 2484
Southport QLD 4215

Gold Coast Office:
Suite 9, 19 Short St
Southport QLD 4215

APPROVED	URSULA WEEKS	DESIGNED	GW	DRAWN	EP
SIGNATURE	<i>URSULA WEEKS</i>	RPEQ 23228	DATE	29-05-26	

DRAWING NUMBER	REV
23301-PREN3BC-123	A

y:\2331 - pdc trax\01 - flinders precinct\01NH 3B 3C\preliminary\Current\23301-PREN3BC-200.dwg, ROAD 01 SHEET 01, 29/05/2026 4:40:30 PM, 12



LONGITUDINAL SECTION ROAD 01

PROJECT NAME



FLINDERS
LAKES

NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ

0 5 10 15 20 25m

Horiz. Scale 1:500 - A1 (1:1000 - A3)

0 1 2 3 4 5m

Vert. Scale 1:100 - A1 (1:200 - A3)

A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



BMT



saunders
havill
group



ups
urbanpro.com.au



A TETRA TECH COMPANY

DRAWING TITLE

LONGITUDINAL SECTIONS
ROAD 01
SHEET 01



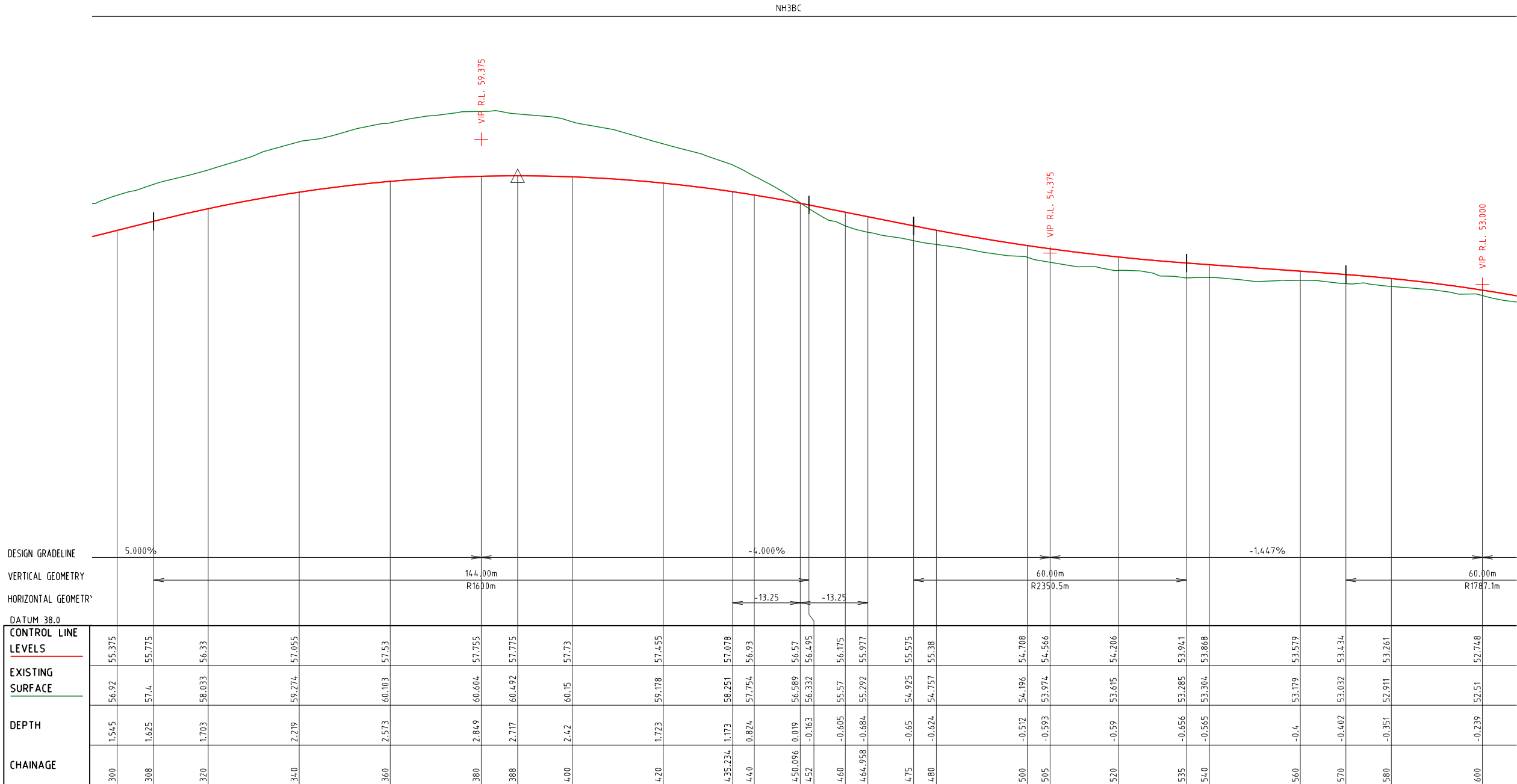
MORTONS
urbansolutions
Civil Engineering
Project Coordination

MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215
Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED	URSULA WEEKS	DESIGNED	GW	DRAWN	EP
SIGNATURE		RPEQ 23228	DATE 29-05-26	REV	
DRAWING NUMBER					REV
23301-PREN3BC-200					A

y:\2331 - pdc\2331-01 - flinders precinct 01\NH 3B 3C\preliminary\Current\23301-PREN3BC-200.dwg, ROAD 01 (Cont.) SHEET 02, 29/05/2026 4:40:39 PM, 1:2



LONGITUDINAL SECTION ROAD 01 (Cont.)

PROJECT NAME



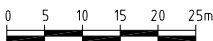
NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

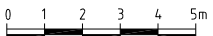
LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



Horiz. Scale 1:500 - A1 (1:1000 - A3)



Vert. Scale 1:100 - A1 (1:200 - A3)

A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

LONGITUDINAL SECTIONS
ROAD 01 (Cont.)
SHEET 02



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address:
PO Box 2484
Southport QLD 4215

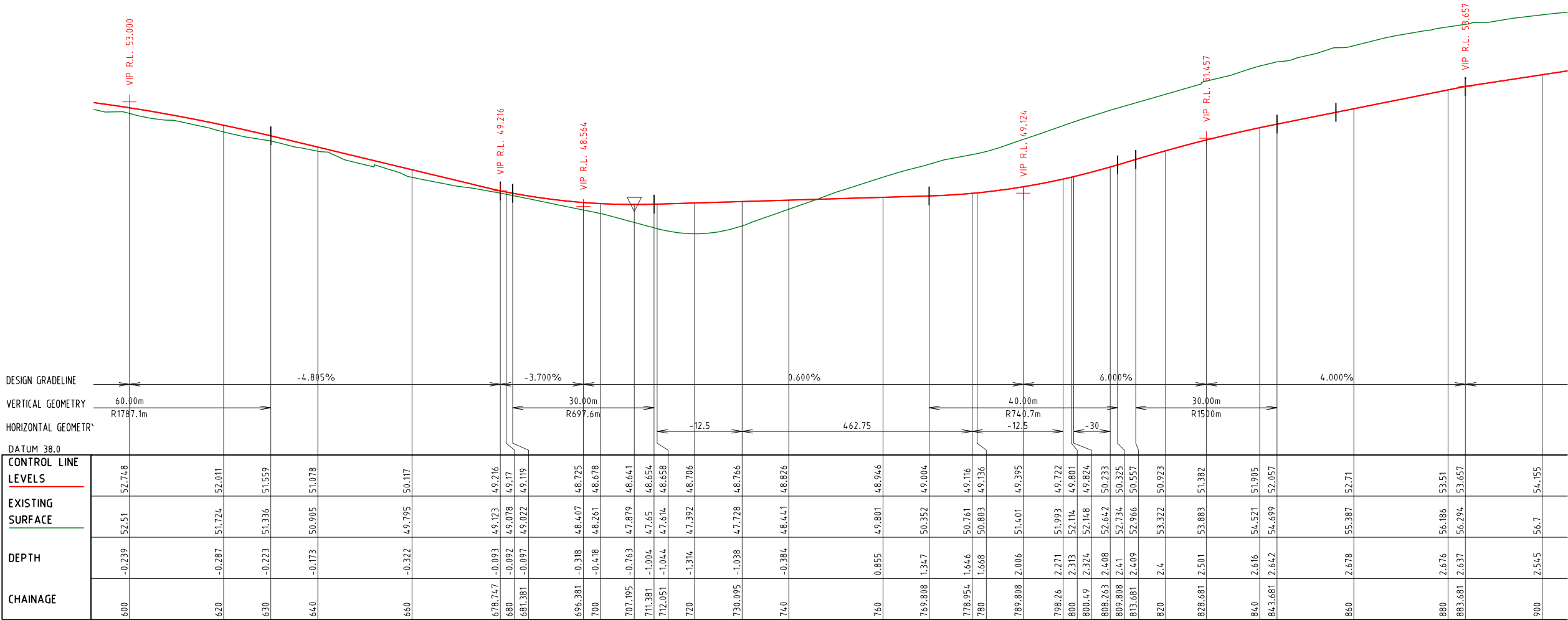
Gold Coast Office:
Suite 9, 19 Short St
Southport QLD 4215

APPROVED	URSULA WEEKS	DESIGNED	GW	DRAWN	EP
SIGNATURE		RPEQ 23228	DATE 29-05-26		

DRAWING NUMBER	REV
23301-PREN3BC-201	A

y:\2331 - pdc trs\01 - flinders precinct 01\NH 3B 3C\preliminary\Current\23301-PREN3BC-200.dwg, ROAD 01 (Cont.) SHEET 03, 29/05/2026 4:40:48 PM, 1:2

NH3BC



PROJECT NAME



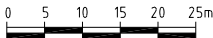
NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

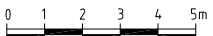
LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



Horiz. Scale 1:500 - A1 (1:1000 - A3)



Vert. Scale 1:100 - A1 (1:200 - A3)

REV	DATE	DESCRIPTION	INT
A	29-05-26	EDD ISSUE	EP

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

LONGITUDINAL SECTIONS
ROAD 01 (Cont.)
SHEET 03



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

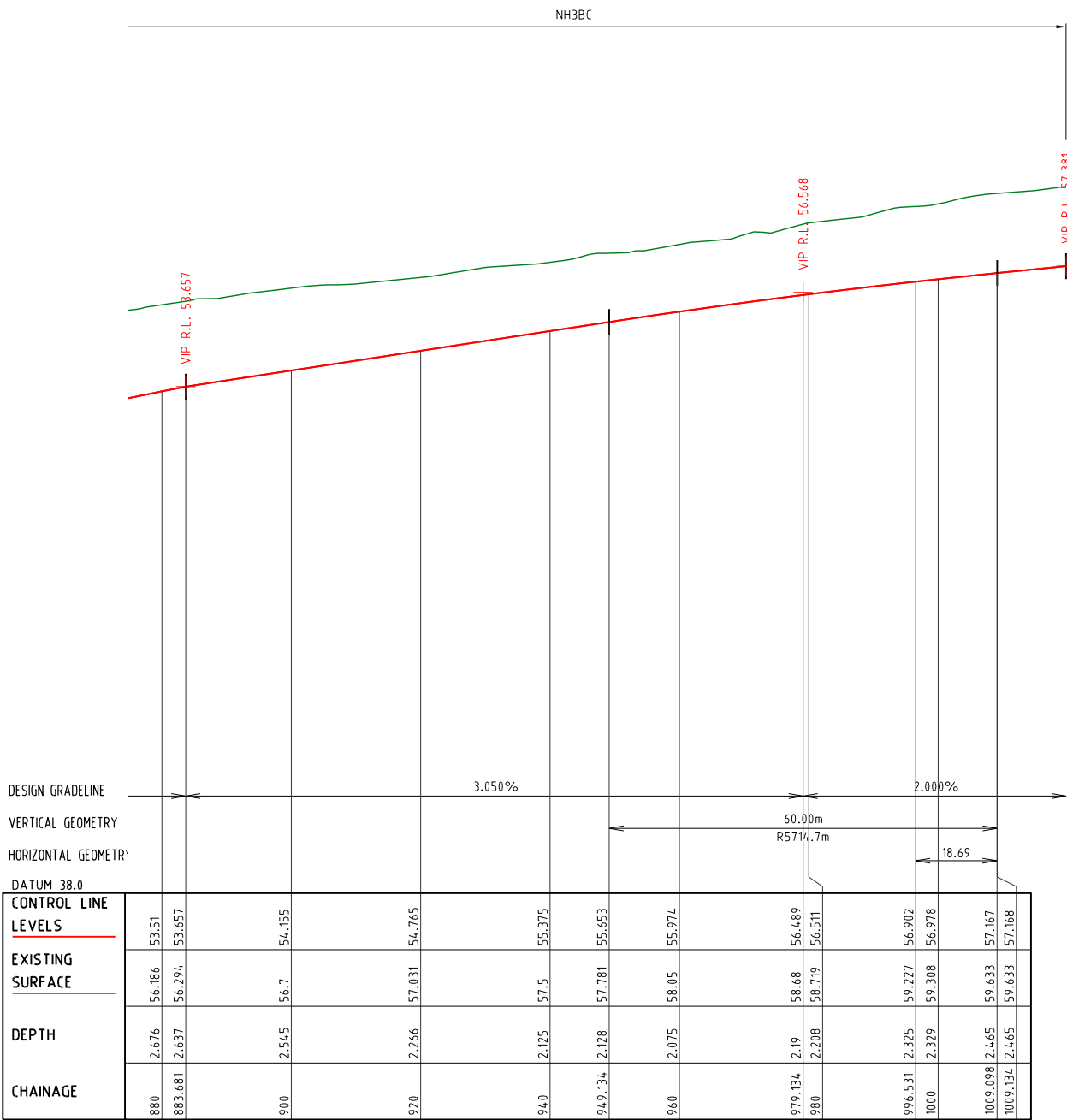
Postal Address:
PO Box 2484
Southport QLD 4215

Gold Coast Office:
Suite 9, 19 Short St
Southport QLD 4215

APPROVED	URSULA WEEKS	DESIGNED	GW	DRAWN	EP
SIGNATURE		RPEQ 23228	DATE 29-05-26		

DRAWING NUMBER	REV
23301-PREN3BC-202	A

y:\233 - pdc trus\01 - flinders precinct\01\NH 3B 3C\preliminary\Current\23301-PREN3BC-200.dwg, ROAD 01 (Cont.) SHEET 04, 29/05/2026 4:40:56 PM, 1:2



LONGITUDINAL SECTION ROAD 01 (Cont.)

PROJECT NAME



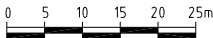
NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

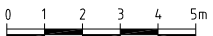
LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



Horiz. Scale 1:500 - A1 (1:1000 - A3)



Vert. Scale 1:100 - A1 (1:200 - A3)

A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND
WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION.
DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

LONGITUDINAL SECTIONS
ROAD 01 (Cont.)
SHEET 04



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

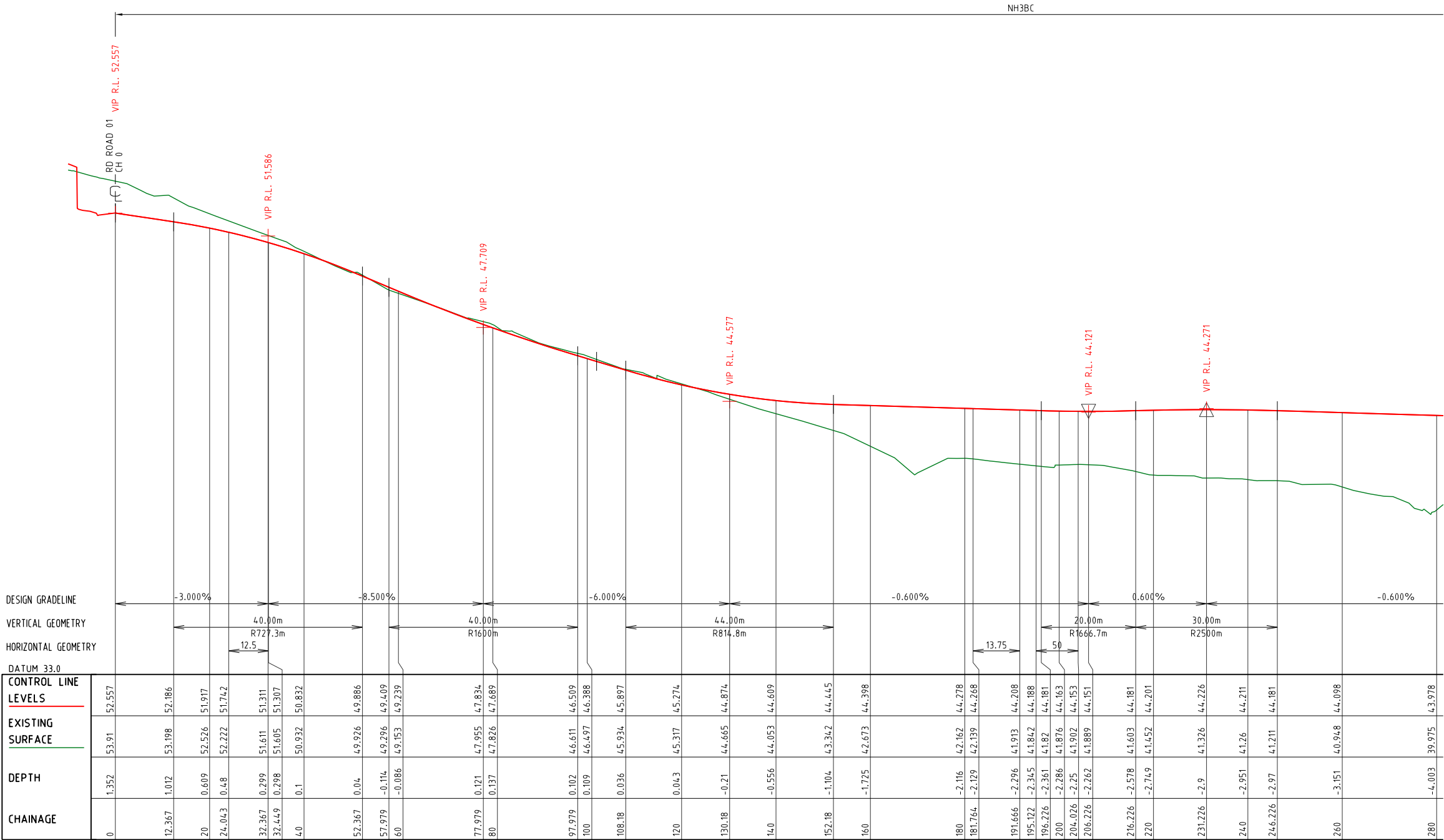
Postal Address:
PO Box 2484
Southport QLD 4215

Gold Coast Office:
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED GW	DRAWN EP
SIGNATURE	RPEQ 23228	DATE 29-05-26

DRAWING NUMBER	REV
23301-PREN3BC-203	A

y:\2331 - pdc\2331-01 - flinders precinct 01\NH 3B 3C\preliminary\Current\23301-PREN3BC-200.dwg, ROAD 02 SHEET 01, 29/05/2026 4:41:05 PM, 12



PROJECT NAME


FLINDERS
LAKES

NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION
LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ

0 5 10 15 20 25m

Horiz. Scale 1:500 - A1 (1:1000 - A3)

0 1 2 3 4 5m

Vert. Scale 1:100 - A1 (1:200 - A3)

A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS

BMT

saunders
havill
group

ups
urbansolutions.com.au

rps
A TETRA TECH COMPANY

DRAWING TITLE

LONGITUDINAL SECTIONS
ROAD 02
SHEET 01

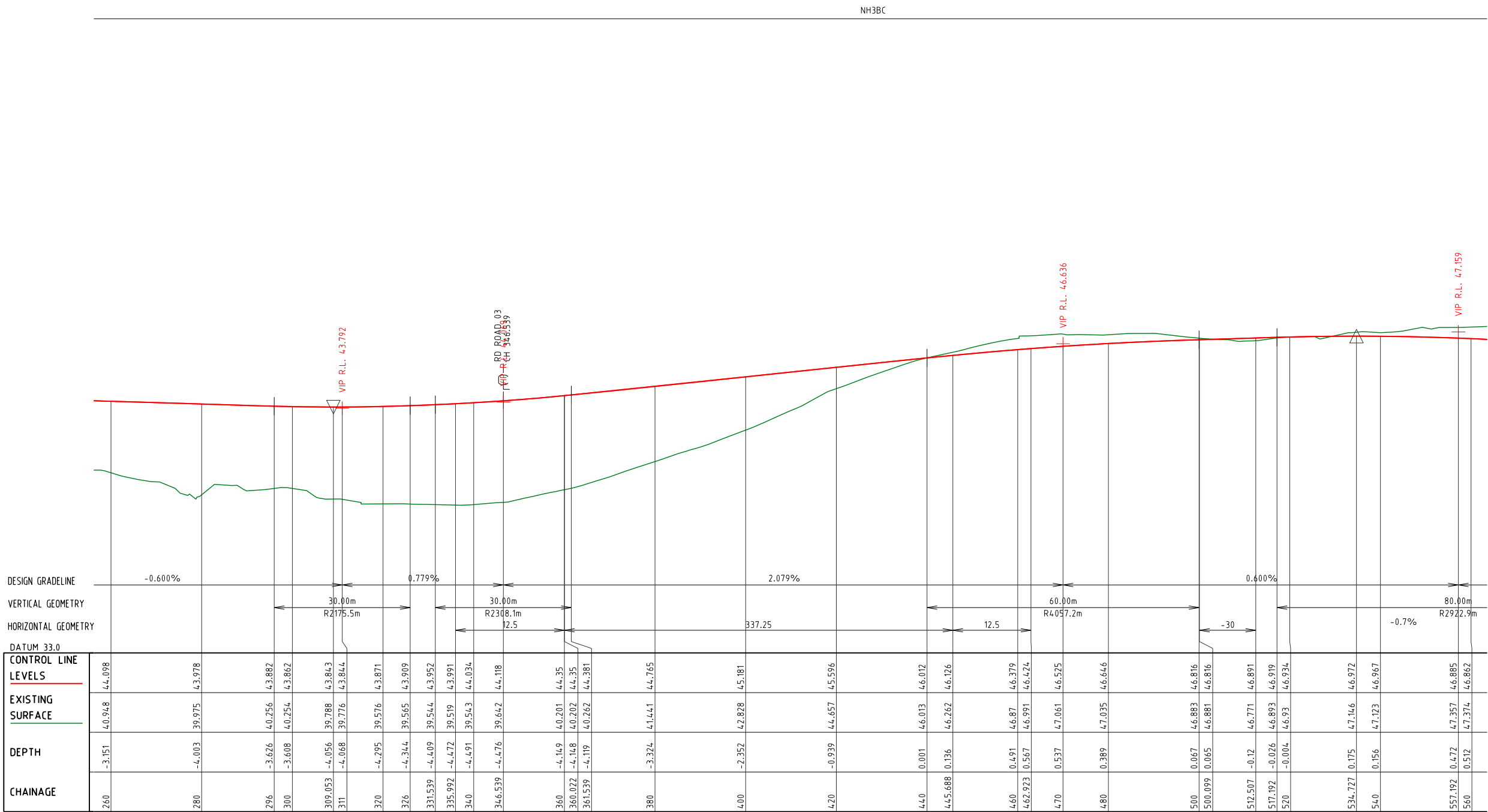

MORTONS
urbansolutions
Civil Engineering
Project Coordination

MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215
Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED	URSULA WEEKS	DESIGNED	GW	DRAWN	EP
SIGNATURE		RPEQ 23228	DATE 29-05-26		
DRAWING NUMBER				REV	
23301-PREN3BC-204				A	

y:\2331 - pdc\2331 - flinders precinct 01\NH 3B 3C\preliminary\Current\23301-PREN3BC-200.dwg, ROAD 02 (Cont.) SHEET 02, 29/05/2026 4:41:14 PM, 1:2



LONGITUDINAL SECTION ROAD 02 (Cont.)

PROJECT NAME



FLINDERS
LAKES

NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ

0 5 10 15 20 25m

Horiz. Scale 1:500 - A1 (1:1000 - A3)

0 1 2 3 4 5m

Vert. Scale 1:100 - A1 (1:200 - A3)

A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



BMT



saunders
havill
group



ups
urbanengineering.com.au



rps
A TETRA TECH COMPANY

DRAWING TITLE

LONGITUDINAL SECTIONS
ROAD 02 (Cont.)
SHEET 02



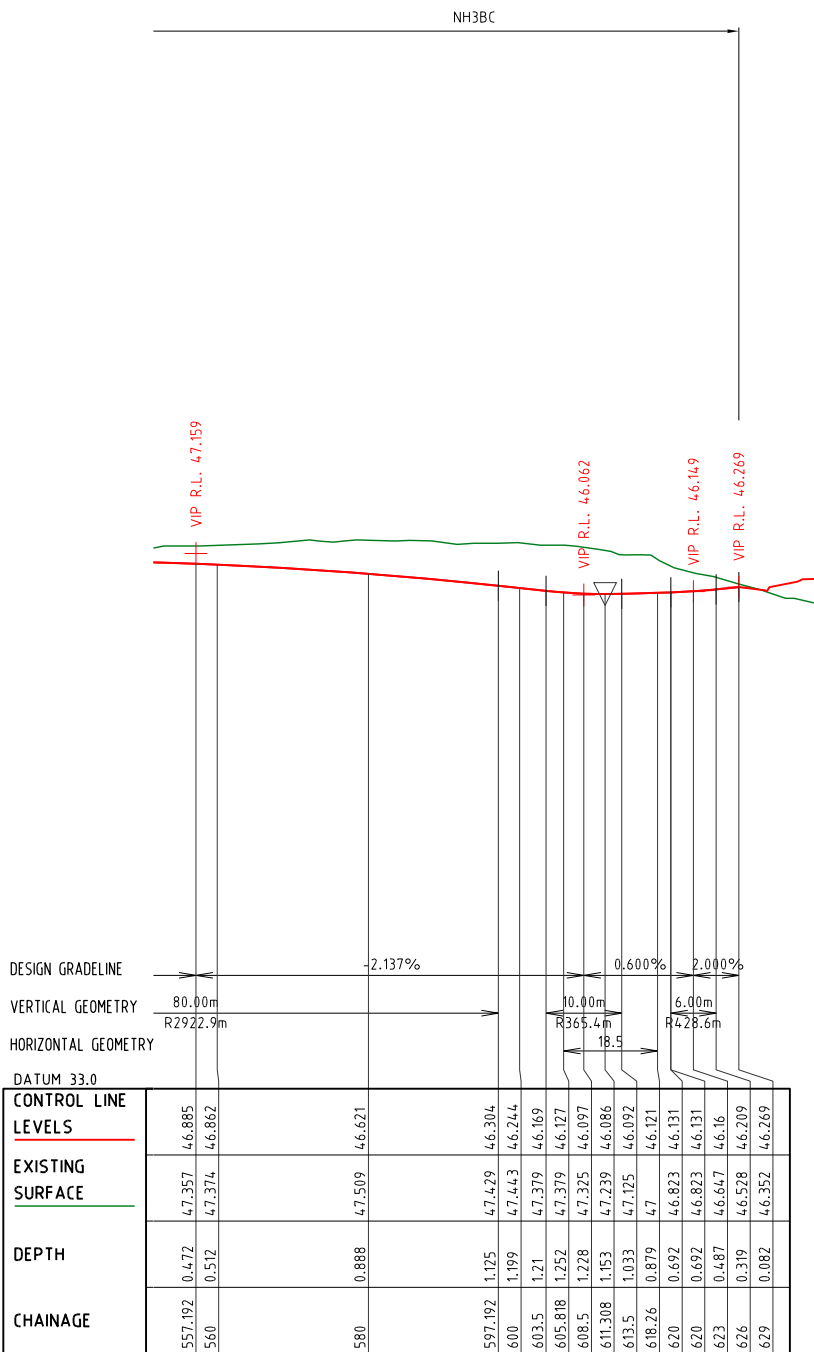
MORTONS
urbansolutions
Civil Engineering
Project Coordination

MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215
Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED	URSULA WEEKS	DESIGNED	GW	DRAWN	EP
SIGNATURE		RPEQ 23228	DATE 29-05-26	REV	
DRAWING NUMBER					REV
23301-PREN3BC-205					A

y:\233 - pdc trua\01 - flinders precinct 01\NH 3B 3C\preliminary\Current\23301-PREN3BC-200.dwg, ROAD 02 (Cont.) SHEET 03, 29/05/2026 4:41:23 PM, 1:2



LONGITUDINAL SECTION ROAD 02 (Cont.)

PROJECT NAME



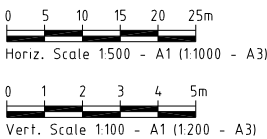
NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION

LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ



A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND
WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION.
DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

LONGITUDINAL SECTIONS
ROAD 02 (Cont.)
SHEET 03



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

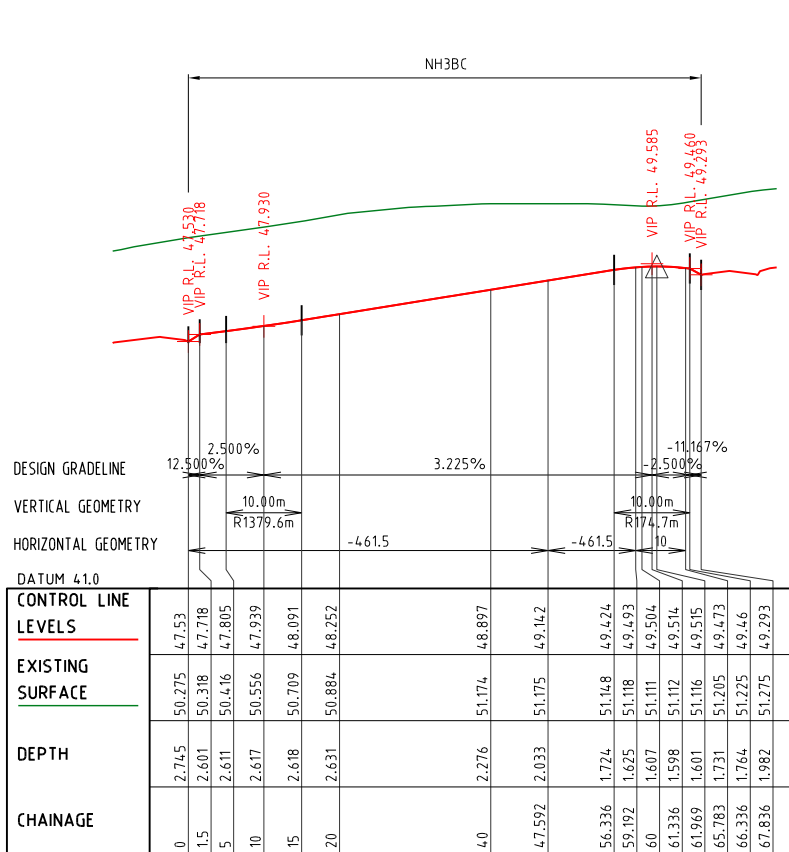
Postal Address:
PO Box 2484
Southport QLD 4215

Gold Coast Office:
Suite 9, 19 Short St
Southport QLD 4215

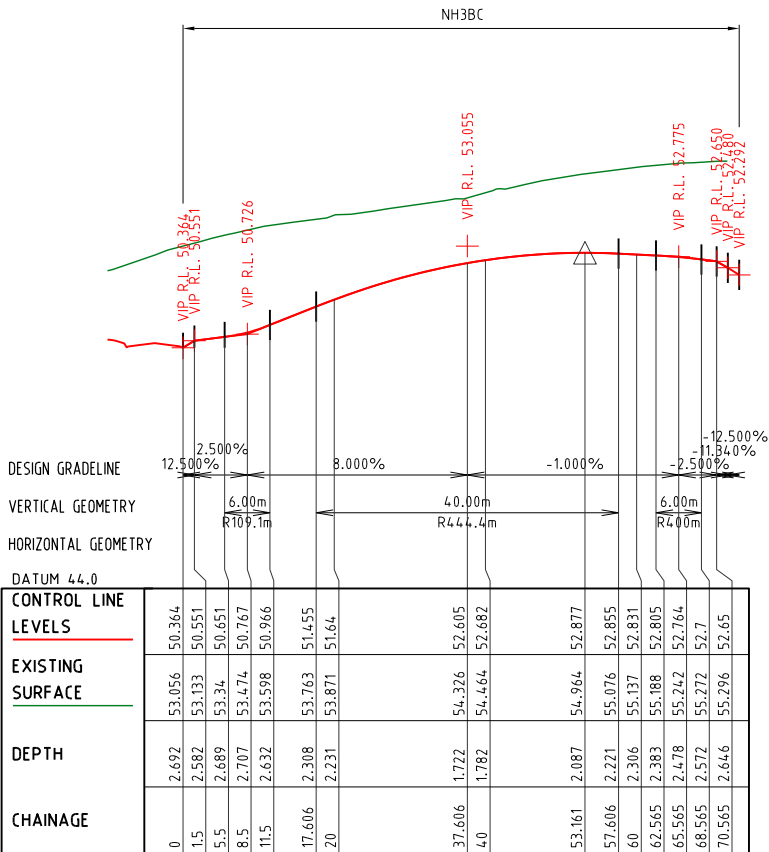
APPROVED URSULA WEEKS	DESIGNED GW	DRAWN EP
SIGNATURE <i>Ursula Weeks</i>	RPEQ 23228	DATE 29-05-26

DRAWING NUMBER	REV
23301-PREN3BC-206	A

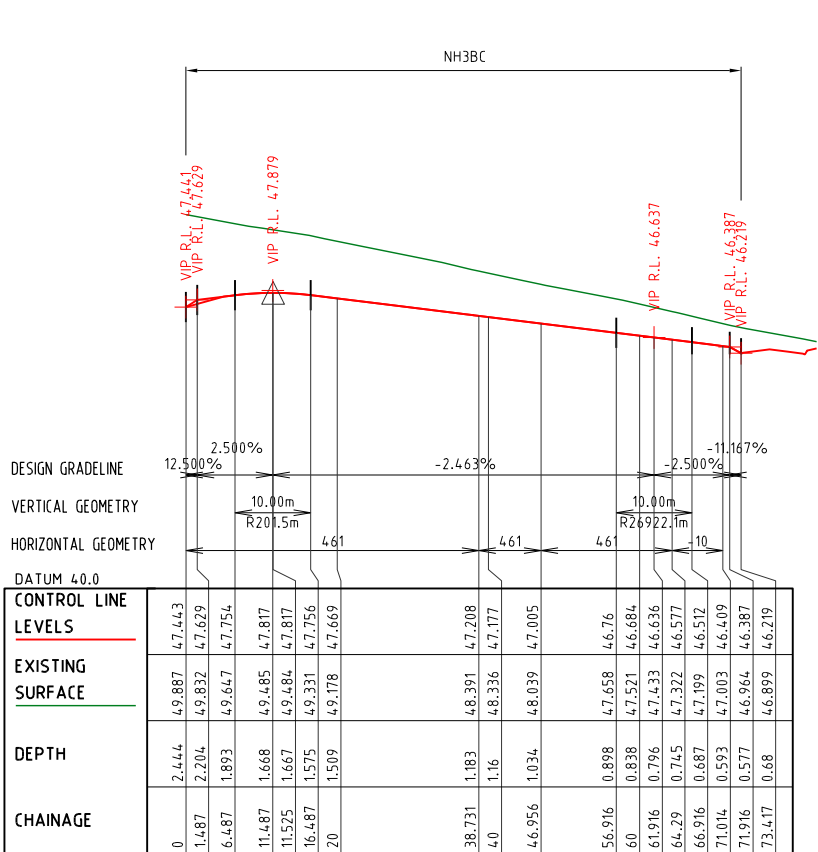
y:\2331 - pdc trust01 - flinders precinct 01\NH 3B 3C\preliminary\Current\23301-PREN3BC-200.dwg DWY 01-04 & 41-56 & 68-69; 29/05/2026 4:41:31 PM; 1:2



LONGITUDINAL SECTION DWY 1 TO 4



LONGITUDINAL SECTION DWY 41 TO 55



LONGITUDINAL SECTION DWY 68 TO 69

PROJECT NAME


FLINDERS
LAKES

NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION
LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ

0 5 10 15 20 25m

Horiz. Scale 1:500 - A1 (1:1000 - A3)

0 1 2 3 4 5m

Vert. Scale 1:100 - A1 (1:200 - A3)

A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS



DRAWING TITLE

LONGITUDINAL SECTIONS
DWY 01-04 & 41-55 & 68-69
SHEET 01

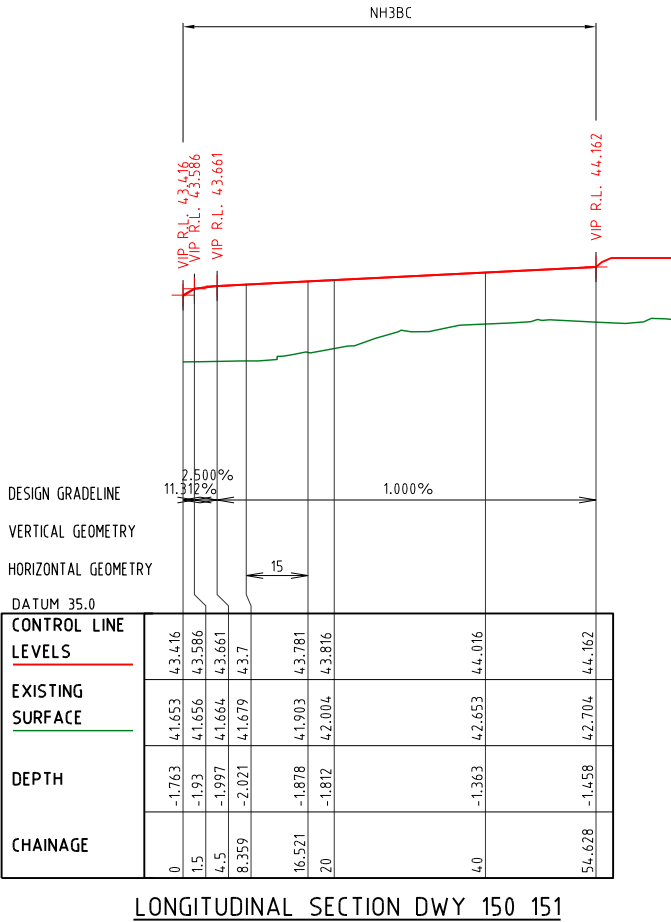
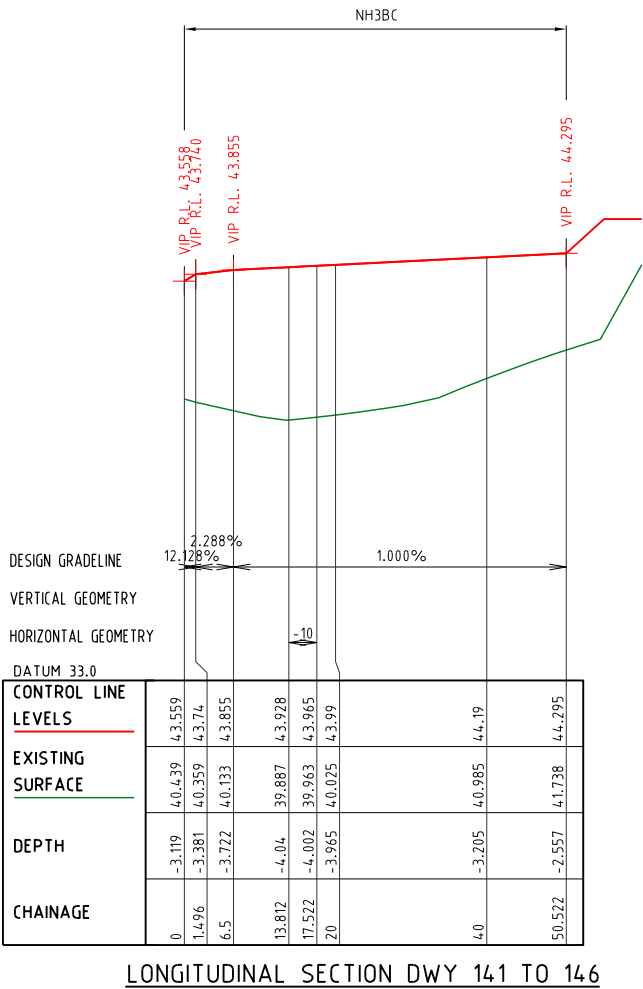


MUS Pty Ltd T/A:s
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215
Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED GW	DRAWN EP
SIGNATURE 	RPEQ 23228	DATE 29-05-26
DRAWING NUMBER		REV
23301-PREN3BC-207		A

y:\233 - pdc trust01 - flinders precinct 01\NH 3B 3C\preliminary\Current\23301-PREN3BC-200.dwg DWY 141-146 & 150-151, 28/05/2028 4:41:40 PM, 12



PROJECT NAME


FLINDERS
LAKES

NEIGHBOURHOOD 3B & 3C
PRELIMINARY ENGINEERING

R.P. DESCRIPTION
LOT 3 ON S311896
LOCALITY OF FLINDERS LAKES
LOCAL AUTHORITY - LOGAN CITY COUNCIL

CLIENT

PACIFIQ

0 5 10 15 20 25m

Horiz. Scale 1:500 - A1 (1:1000 - A3)

0 1 2 3 4 5m

Vert. Scale 1:100 - A1 (1:200 - A3)

A	29-05-26	EDD ISSUE	EP
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS





DRAWING TITLE

LONGITUDINAL SECTIONS
DWY 141-146 & 150-151
SHEET 01


MORTONS
urbansolutions
Civil Engineering
Project Coordination

MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN: 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215
Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

APPROVED URSULA WEEKS	DESIGNED GW	DRAWN EP
SIGNATURE 	RPEQ 23228	DATE 29-05-26
DRAWING NUMBER		REV
23301-PREN3BC-208		A