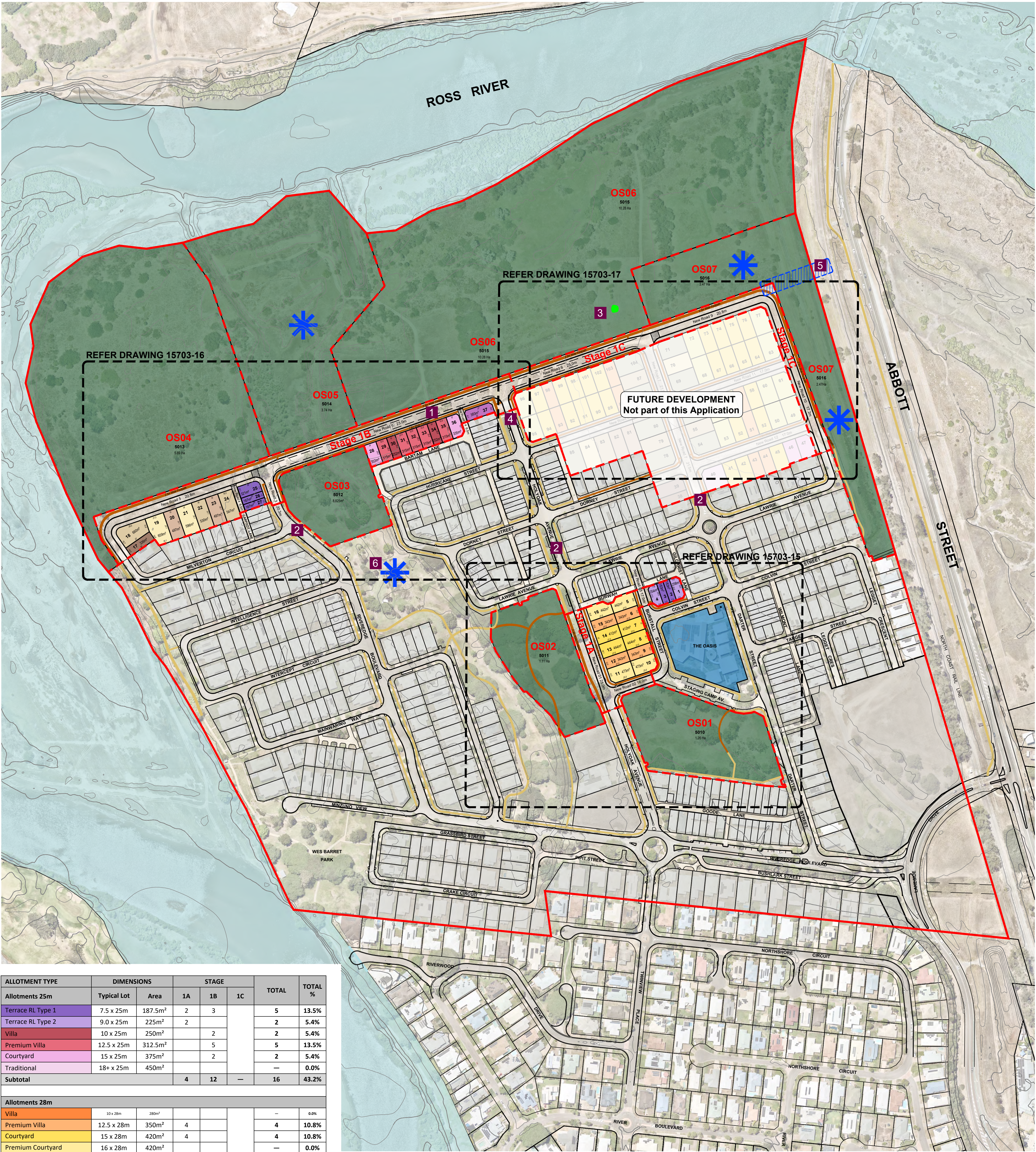


Appendix B

Reconfiguration Proposal Plans and Plan of Development



ALLOTMENT TYPE	DIMENSIONS		STAGE			TOTAL	TOTAL %
Allotments 25m	Typical Lot	Area	1A	1B	1C		
Terrace RL Type 1	7.5 x 25m	187.5m ²	2	3		5	13.5%
Terrace RL Type 2	9.0 x 25m	225m ²	2			2	5.4%
Villa	10 x 25m	250m ²		2		2	5.4%
Premium Villa	12.5 x 25m	312.5m ²		5		5	13.5%
Courtyard	15 x 25m	375m ²		2		2	5.4%
Traditional	18+ x 25m	450m ²				—	0.0%
Subtotal			4	12	—	16	43.2%

Allotments 28m							
Villa	10 x 28m	280m ²				—	0.0%
Premium Villa	12.5 x 28m	350m ²	4			4	10.8%
Courtyard	15 x 28m	420m ²	4			4	10.8%
Premium Courtyard	16 x 28m	420m ²				—	0.0%
Traditional	18 x 28m	504m ²	4			4	10.8%
Premium Traditional	20 x 28m	560m ²				—	0.0%
Subtotal			12	—	—	12	32.4%

Allotments 30m+							
Terrace RL	9 x 30m	270m ²		1		1	2.7%
Villa	10.5 x 30m	315m ²		1		1	2.7%
Premium Villa	12.5 x 30m	375m ²				—	0.0%
Courtyard	15 x 30m	450m ²		2		2	5.4%
Premium Courtyard	16 x 30m	480m ²		3		3	8.1%
Traditional	18 x 30m	540m ²		2		2	5.4%
Premium Traditional	20 x 30m	600m ²				—	0.0%
Subtotal			—	9	—	9	24.3%

Total Residential Allotments (Excludes Balance Lot)	16	21	NA	37	100.0%
Average Lot Size (sq.m) (Excludes Balance Lot)	362	390	NA	378	

	STAGE			TOTAL (ha)
	1A	1B	1C	
Total Saleable Area	0.58	0.82	NA	1.40
Open Space / Stormwater Quality		25.74		25.74

Legend

- The Village Site Boundary
- Stage Boundary
- Existing Development
- The Oasis - Veteran Community
- Existing Footpath
- Proposed Footpath
- Stormwater Quality
- Proposed minor collector road
- Existing minor collector road
- Existing bomb crater
- Existing footpath and pram ramp to be demolished
- The location of the rail corridor footpath crossing is subject to further discussions and detail design with the relevant state departments and Council
- Proposed works with Council open space

Note:

All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

The development extent adopted is subject to future flood model mapping.

Source Information:

Site boundaries: Registered Survey Plans.

Adjoining information: DCDB.

Contours: Elvis Spatial, 1m Intervals

Aerial photography: Nearthmap.

THE VILLAGE, OONONBA RAL PROPOSAL PLAN STAGE 1 - OVERALL

DELIVERING
FOR QUEENSLAND



URBAN DESIGN

Unit 7
5-7 Barlow Street
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PLAN REF: 15703 - 14

Rev No: A
DATE: 30th April 2026
CLIENT: ECONOMIC DEVELOPMENT QUEENSLAND
DRAWN BY: MJB / WNW
CHECKED BY: MJB

0 20 40 60 80 100 1:2,000 @ A1



Legend

- The Village Site Boundary
- Stage Boundary
- Existing Development
- The Oasis - Veteran Community
- Open Space / Stormwater Quality
- Existing Footpath
- Proposed Footpath
- Proposed Built to Boundary Wall

Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

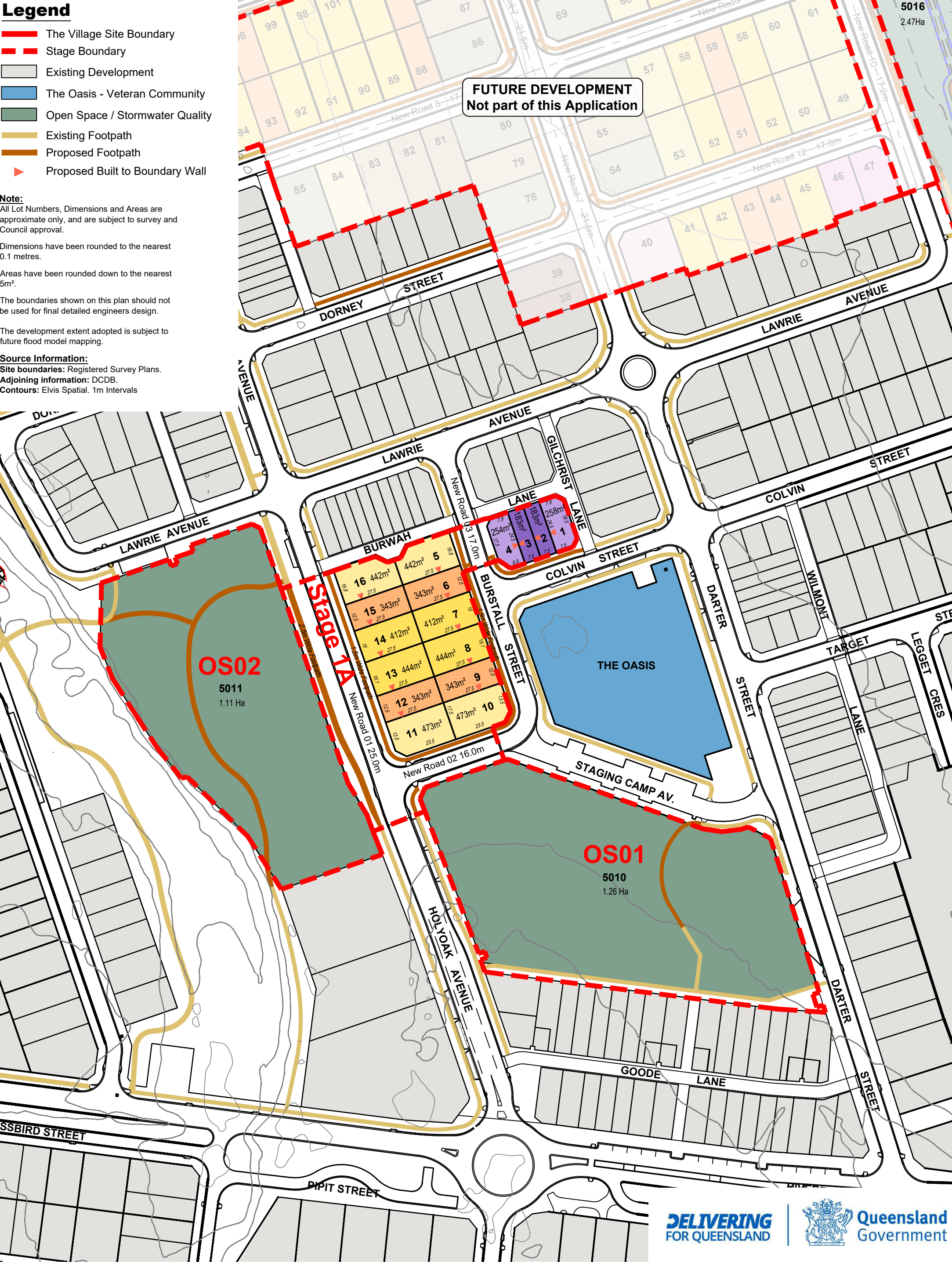
The development extent adopted is subject to future flood model mapping.

Source Information:

Site boundaries: Registered Survey Plans.

Adjoining information: DCDB.

Contours: Elvis Spatial. 1m Intervals



PLAN REF: 15703 – 15
Rev No: A
DATE: 30th April 2026
CLIENT: ECONOMIC DEVELOPMENT QUEENSLAND
DRAWN BY: MJB
CHECKED BY: MJB



THE VILLAGE, OONOONBA
RAL PROPOSAL PLAN
STAGE 1A

URBAN DESIGN
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5-7 Barlow Street
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Legend

- The Village Site Boundary
- Stage Boundary
- Existing Development
- Open Space / Stormwater Quality
- Existing Footpath
- Proposed Footpath
- Proposed Built to Boundary Wall
- Stormwater Quality
- Proposed minor collector road
- Existing minor collector road
- Existing footpath and pram ramp to be demolished
- Proposed works within Council open space

Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

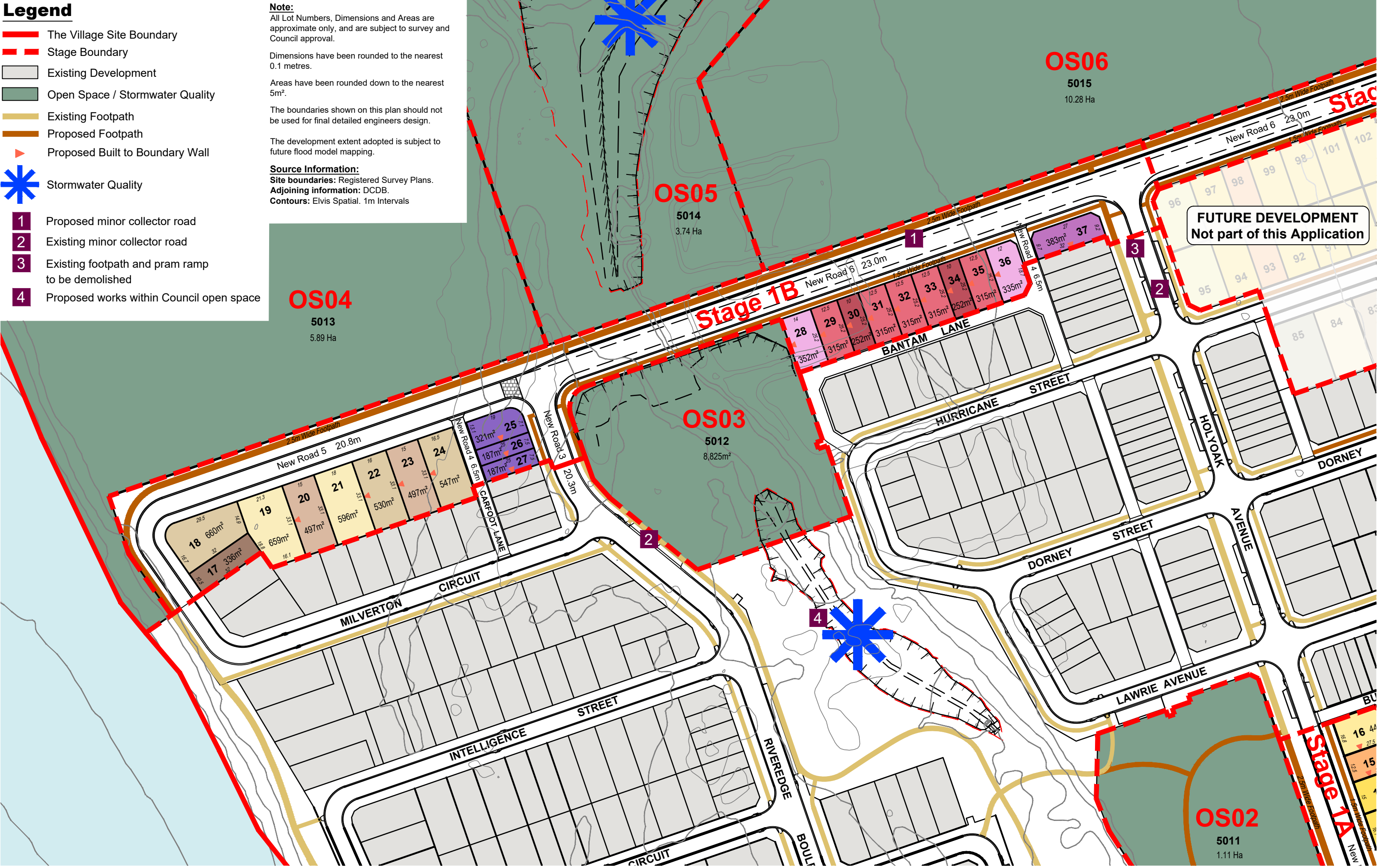
Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

The development extent adopted is subject to future flood model mapping.

Source Information:
Site boundaries: Registered Survey Plans.
Adjoining information: DCDB.
Contours: Elvis Spatial. 1m Intervals



THE VILLAGE, OONOONBA
RAL PROPOSAL PLAN
STAGE 1B



Legend

-  The Village Site Boundary
-  Stage Boundary
-  Existing Development
-  Open Space / Stormwater Quality
-  Existing Footpath
-  Proposed Footpath
-  Proposed Built to Boundary Wall



- 1 Proposed minor collector road
- 2 Existing minor collector road
- 3 Existing bomb crater
- 4 Existing footpath and pram ramp to be demolished
- 5 The location of the rail corridor footpath crossing is subject to further discussions and detail design with the relevant state departments and Council

Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

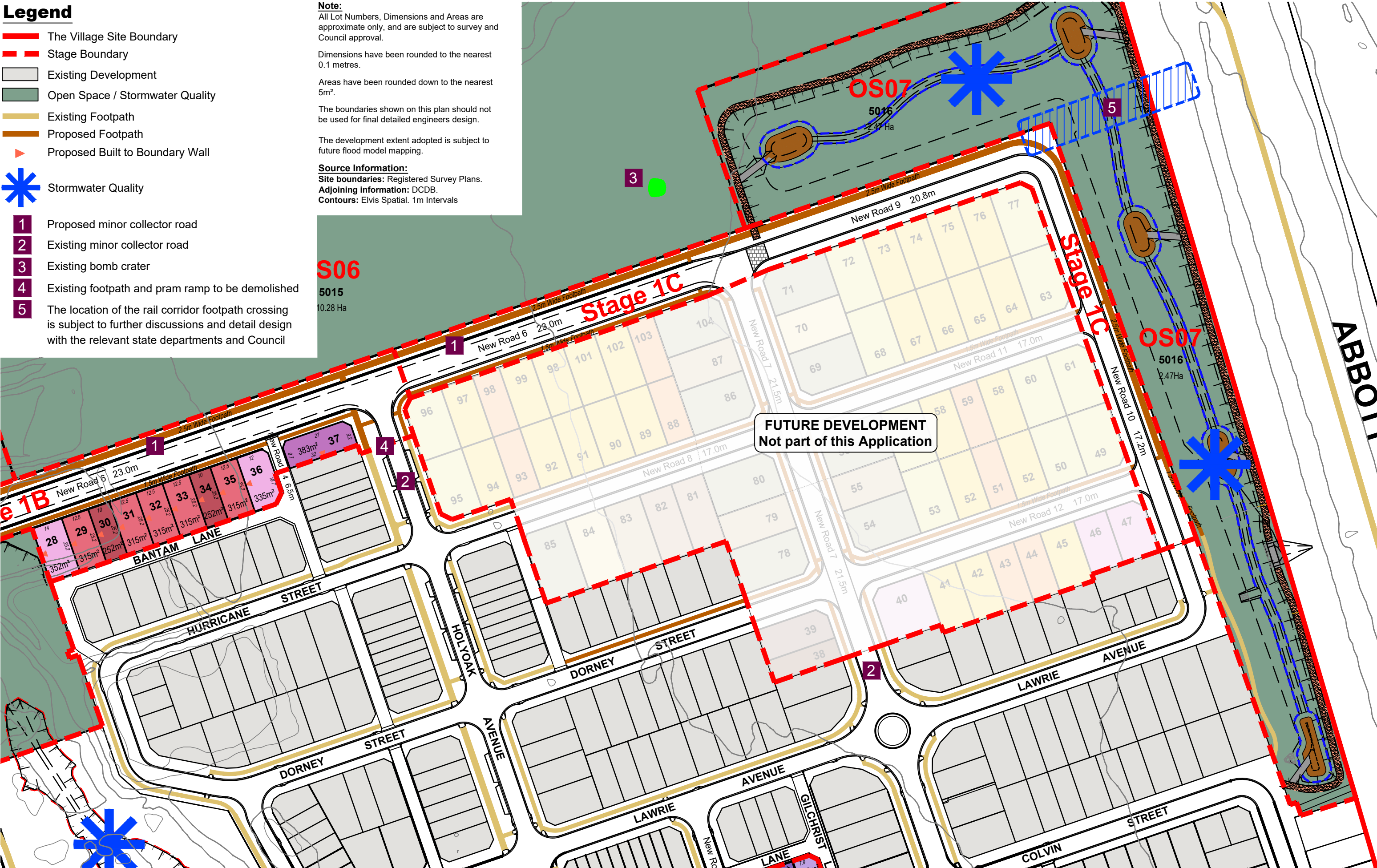
The development extent adopted is subject to future flood model mapping.

Source Information:

Site boundaries: Registered Survey Plans.

Adjoining information: DCDB.

Contours: Elvis Spatial. 1m Intervals



PLAN REF: **15703 – 17**

Rev No: **A**

DATE: 30th April 2026

CLIENT: ECONOMIC DEVELOPMENT QUEENSLAND

DRAWN BY: MJB

CHECKED BY: MJB



0 20 40 60 80 100 1 : 1,500 @ A3

THE VILLAGE, OONOONBA RAL PROPOSAL PLAN STAGE 1C

DELIVERING
FOR QUEENSLAND



Queensland
Government

URBAN DESIGN

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Plan of Development Requirements

General:

1. The maximum height of buildings shall not exceed 2 storeys.
1a. Unless otherwise specified, all lots are to contain a house.

Orientation:

2. Entries - Front doors and letterboxes of dwellings are to address the primary street frontage and be visible from the street.
3. Buildings are to address each street frontage with the inclusion of 4 or more of the following design elements:
- Verandah or balcony.
 - Porches.
 - Awning and shade structures.
 - Variation to roof and building lines.
 - Inclusion of window openings.
 - Variations to building materials.

Site Cover and Amenity:

4. Site cover as per Plan of Development Table.
5. Minimum private open space requirements:
- For a one bedroom or studio dwelling, 5m² with a minimum dimension of 2.4m; or
 - For a two-bedroom dwelling, 9m² with a minimum dimension of 2.4m; or
 - For a three or more-bedroom dwelling, 12m² with a minimum dimension of 2.4m; and
 - The area must be covered and accessed from the main internal living area of the dwelling.

Setbacks:

6. Setbacks are as per the Plan of Development Table unless otherwise specified.
7. Boundary setbacks are measured to the outer most projection.
8. Eaves should not encroach (other than where the building is built to the boundary) closer than 300mm to the lot boundary.
9. Optional built to boundary walls are to have a maximum length of 15m, a maximum average height of 4m and are not to exceed 4.5m in height.
10. Mandatory built to boundary walls on Urban Allotments are to extend a minimum of 30%of the boundary length, not exceed 80% of the boundary length and be no more than 7.5 min height. Built to boundary walls must not encroach on the prescribed setbacks.
11. Mandatory built to boundary walls on Terrace Allotments are to extend a minimum 7m or 30% of the boundary length (whichever is less), have a maximum continuous length of20m, not exceed 80% of the boundary length and be no more than 7.5m in height. Built to boundary walls must not encroach on the prescribed setbacks.
12. Allotments (not on a laneway) with a frontage of 12.5m or more are to have a minimum 4.5m setback to the garage door, with the exception of designs that require a greater setback in order to comply with off-street parking provisions in accordance with Note 16.
13. A setback of 1.0m is required to the laneway boundary for a garage/enclosed carport accessed from a laneway.
14. Allotments (not on a laneway) with a frontage of less than12.5m and less than 20m in length are to have a minimum of 5.0m setback to the garage door, provided off-street parking requirements are satisfied in accordance with Note 16.

15. In sections where optional built to boundary walls are not adopted, side setbacks are to comply with those noted in the Plan of Development table for the specific lot type.

Parking:

16. Minimum off-street parking requirement:
- Studio, one- and two-bedroom dwellings, 1 space per dwelling
 - Three plus bedroom dwellings, 2 spaces per dwelling, which may be in tandem configuration
 - At least one space per dwelling must be covered.
17. Double garages will not be permitted on any lots:
- (a) fronting a laneway; or
(b) with a frontage of less than 10.0m
18. A double garage on lots greater than10.0m but less than12.5m must adhere to the following design criteria:
- (a) The front facing building wall, which comprises the garage door/s, may not exceed an external width of 5.7m; and
(b) The garage door width must not exceed 4.8m; and
(c) The garage door must have a minimum 450mm eave above it and be setback a minimum of 240mm behind the pillar of the garage door; and
(d) Must have a sectional, tilt or roller door; and
(e) The front façade of the dwelling must include the following:
- a front entrance door and windows with a sidelight.
 - a front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door.
 - the verandah, portico or porch is to include front piers with distinct materials and/or colours.
- (a) The garage has one side constructed as a built to boundary wall in a position consistent with the Plan of Development for the lot; and
(b) The driveway of the garage is to taper down from the central edge to 3m at the lot boundary, equal to what would have been required if the garage were only a single garage.
19. Any combination of a 'garage', 'carport' or 'open carport' as defined in the Queensland Development Code (QDC) are taken to be a 'garage' under this PoD.
20. Garages/enclosed carports serviced off a laneway are to comply with EDQ Practice Note 12 issued March 2014.

Driveways:

21. For conventional allotments (not on a laneway) the maximum width of a driveway:
- Serving a double garage shall be 4.8m of the lot boundary
 - Serving a single garage shall be 3.0m of the lot boundary
22. Driveways should avoid on street works such as dedicated on-street parking bays, drainage pits and service pillars.
23. The minimum distance of a driveway from an intersection of one street with another street shall be 6.0m, except where the driveway is from a laneway.
24. A maximum of one driveway per lot is permitted, unless otherwise specified in this PoD.

Urban and Terrace Allotments:

25. Entries - Front doors of dwellings are to address the primary street frontage and have a clearly identifiable front door and a portico or undercover point of entry.

26. Where Urban and Terrace dwellings encompass more than one street frontage, they are to be designed to address each street frontage.
27. Dwellings should have outdoor lighting to the doorway entrance and a clearly identifiable letterbox and clear house number.
28. All second storey windows addressing an adjoining lot's private open space are to have fixed, external privacy screens or opaque glass where sill heights are less than 1.7m.
29. External drainage pipes are integrated with the building design.
30. Clothes lines, condenser units, hot water systems and other items must be screened behind the main face of the dwelling.
31. Each dwelling must include a hard surface bin enclosure screened from public view.
32. All habitable rooms must incorporate at least two openings to facilitate cross ventilation and access to natural light. The openings shall have a minimum area of no less than 5% of the total floor area of the room. Openings can include a combination of:
- External opening windows,
 - Internal opening windows,
 - Louvered windows,
 - Ceiling and/or roof ventilation shafts / skylights; and
 - Mechanical ventilation,

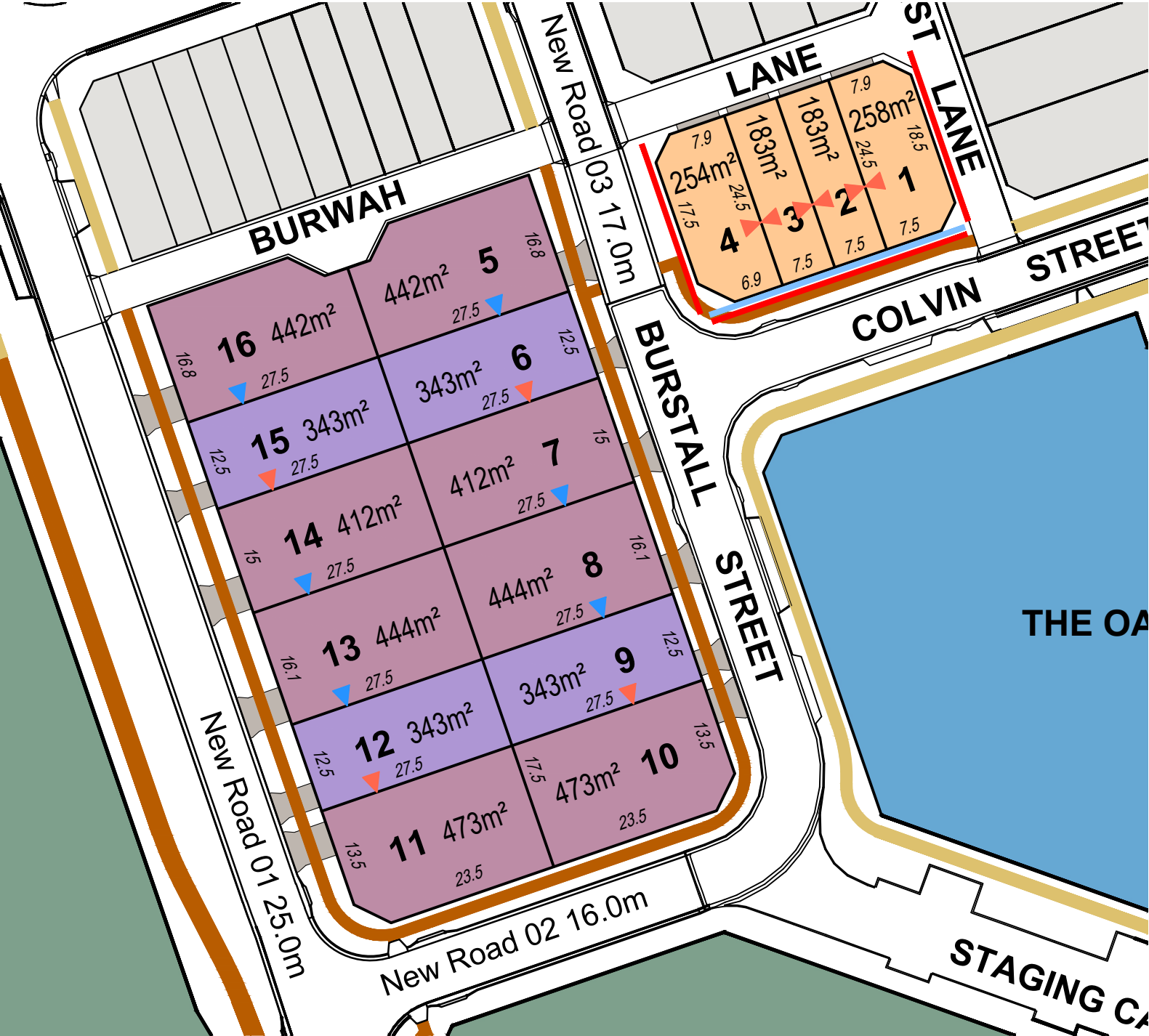
For clarity, the two openings cannot be located on the same wall and must beat least 2m apart.

Fencing:

33. The solid portion of front fences and walls are to be no more than 1.2 metres high.
34. If containing openings that make the fence more than 50percent transparent, the maximum fence height can be 1.8 metres.

Additional criteria for Secondary Dwellings:

35. Secondary dwellings are to be subordinate to the primary dwelling and have a gross floor area of 30m² - 60m².
36. Secondary dwellings are not permitted on lots:
- (a) fronting a laneway
(b) with a frontage of less than 12.5m
37. Secondary dwellings are not permitted on Courtyard Allotments.
38. Secondary dwellings are not to have more than 2 bedrooms.
39. Adequate light and ventilation are to be provided for each dwelling as per Note 32.
40. All dwellings must have a clearly identifiable entry, letter box and clear house numbering which addresses the primary frontage and is covered.
41. Off street parking requirements must be met for both dwellings as per Note 16.
42. Private open space must be met for both dwellings as per Note 5.
43. Site cover of the primary and secondary dwelling combined is not to exceed 60%.
44. Clothes lines, condenser units, hot water systems and other items must be screened behind the main face of the dwelling and not located in the path between the street and the front door of the secondary dwelling.
45. Each dwelling must include a hard surface bin enclosure screened from public view.
46. Only one driveway maybe permitted per lot.



Legend

- Existing Development
- The Oasis - Veteran Community
- Open Space / Stormwater Quality
- Existing Footpath
- Proposed Footpath
- Primary Street Frontage
- No Vehicle Access
- Proposed Built to Boundary Wall
- Optional Built to Boundary Wall
- Preferred Driveway Location

Plan of Development Table	Terrace Allotments 5m - 10m Frontage		Villa Allotments (1) 10m Frontage		Premium Villa Allotments (2) 11.5-13.5m Frontage		Courtyard Allotments ≥ 15.0m Frontage	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Primary Frontage (*Mandatory)	*1.5m	*1.5m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Side - General Lots								
Build to Boundary	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m
Non Build to Boundary	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m
Laneway Lots								
Laneway Setback (Mandatory)	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m

Note:
This plan is conceptual only. The boundaries shown on this plan should not be used for final detailed engineers design.

All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Source Information:
Site boundaries: Registered Survey Plans.
Adjoining information: DCDB.
Contours: Elvis Spatial. 1m Intervals

PLAN REF: 15703 – 19

Rev No:
DATE: 22nd May 2026
CLIENT: ECONOMIC DEVELOPMENT QUEENSLAND
DRAWN BY: MJB
CHECKED BY: MJB



THE VILLAGE, OONOONBA
PLAN OF DEVELOPMENT
STAGE 1A

URBAN DESIGN
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Plan of Development Requirements

General:

1. The maximum height of buildings shall not exceed 2 storeys.
- 1a. Unless otherwise specified, all lots are to contain a house.
- Orientation:
2. Entries - Front doors and letterboxes of dwellings are to address the primary street frontage and be visible from the street.
3. Buildings are to address each street frontage with the inclusion of 4 or more of the following design elements:
 - Verandah or balcony.
 - Porches.
 - Awning and shade structures.
 - Variation to roof and building lines.
 - Inclusion of window openings.
 - Variations to building materials.

Site Cover and Amenity:

4. Site cover as per Plan of Development Table.
5. Minimum private open space requirements:
 - For a one bedroom or studio dwelling, 5m² with a minimum dimension of 2.4m; or
 - For a two-bedroom dwelling, 9m² with a minimum dimension of 2.4m; or
 - For a three or more-bedroom dwelling, 12m² with a minimum dimension of 2.4m; and
 - The area must be covered and accessed from the main internal living area of the dwelling.

Setbacks:

6. Setbacks are as per the Plan of Development Table unless otherwise specified.
7. Boundary setbacks are measured to the outer most projection.
8. Eaves should not encroach (other than where the building is built to the boundary) closer than 300mm to the lot boundary.
9. Optional built to boundary walls are to have a maximum length of 15m, a maximum average height of 4m and are not to exceed 4.5m in height.
10. Mandatory built to boundary walls on Urban Allotments are to extend a minimum of 30%of the boundary length, not exceed 80% of the boundary length and be no more than 7.5 min height. Built to boundary walls must not encroach on the prescribed setbacks.
11. Mandatory built to boundary walls on Terrace Allotments are to extend a minimum 7m or 30% of the boundary length (whichever is less), have a maximum continuous length of20m, not exceed 80% of the boundary length and be no more than 7.5m in height. Built to boundary walls must not encroach on the prescribed setbacks.
12. Allotments (not on a laneway) with a frontage of 12.5m or more are to have a minimum 4.5m setback to the garage door, with the exception of designs that require a greater setback in order to comply with off-street parking provisions in accordance with Note 16.
13. A setback of 1.0m is required to the laneway boundary for a garage/enclosed carport accessed from a laneway.
14. Allotments (not on a laneway) with a frontage of less than12.5m and less than 20m in length are to have a minimum of 5.0m setback to the garage door, provided off-street parking requirements are satisfied in accordance with Note 16.

15. In sections where optional built to boundary walls are not adopted, side setbacks are to comply with those noted in the Plan of Development table for the specific lot type.
- Parking:
16. Minimum off-street parking requirement:
 - Studio, one- and two-bedroom dwellings, 1 space per dwelling
 - Three plus bedroom dwellings, 2 spaces per dwelling, which may be in tandem configuration
 - At least one space per dwelling must be covered.
17. Double garages will not be permitted on any lots:

(a) fronting a laneway; or

(b) with a frontage of less than 10.0m
18. A double garage on lots greater than10.0m but less than12.5m must adhere to the following design criteria:

(a) The front facing building wall, which comprises the garage door/s, may not exceed an external width of 5.7m; and

(b) The garage door width must not exceed 4.8m; and

(c) The garage door must have a minimum 450mm eave above it and be setback a minimum of 240mm behind the pillar of the garage door; and

(d) Must have a sectional, tilt or roller door; and

(e) The front façade of the dwelling must include the following:
 - a front entrance door and windows with a sidelight.
 - a front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door.
 - the verandah, portico or porch is to include front piers with distinct materials and/or colours.
- (a) The garage has one side constructed as a built to boundary wall in a position consistent with the Plan of Development for the lot; and
- (b) The driveway of the garage is to taper down from the central edge to 3m at the lot boundary, equal to what would have been required if the garage were only a single garage.
19. Any combination of a 'garage', 'carport' or 'open carport' as defined in the Queensland Development Code (QDC) are taken to be a 'garage' under this PoD.
20. Garages/enclosed carports serviced off a laneway are to comply with EDQ Practice Note 12 issued March 2014.
- Driveways:
21. For conventional allotments (not on a laneway) the maximum width of a driveway:
 - Serving a double garage shall be 4.8m of the lot boundary
 - Serving a single garage shall be 3.0m of the lot boundary
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23. The minimum distance of a driveway from an intersection of one street with another street shall be 6.0m, except where the driveway is from a laneway.
24. A maximum of one driveway per lot is permitted, unless otherwise specified in this PoD.
- Urban and Terrace Allotments:
25. Entries - Front doors of dwellings are to address the primary street frontage and have a clearly identifiable front door and a portico or undercover point of entry.

26. Where Urban and Terrace dwellings encompass more than one street frontage, they are to be designed to address each street frontage.
27. Dwellings should have outdoor lighting to the doorway entrance and a clearly identifiable letterbox and clear house number.
28. All second storey windows addressing an adjoining lot's private open space are to have fixed, external privacy screens or opaque glass where sill heights are less than 1.7m.
29. External drainage pipes are integrated with the building design.
30. Clothes lines, condenser units, hot water systems and other items must be screened behind the main face of the dwelling.
31. Each dwelling must include a hard surface bin enclosure screened from public view.
32. All habitable rooms must incorporate at least two openings to facilitate cross ventilation and access to natural light. The openings shall have a minimum area of no less than 5% of the total floor area of the room. Openings can include a combination of:
 - External opening windows,
 - Internal opening windows,
 - Louvered windows,
 - Ceiling and/or roof ventilation shafts / skylights; and
 - Mechanical ventilation,
- For clarity, the two openings cannot be located on the same wall and must beat least 2m apart.

Fencing:

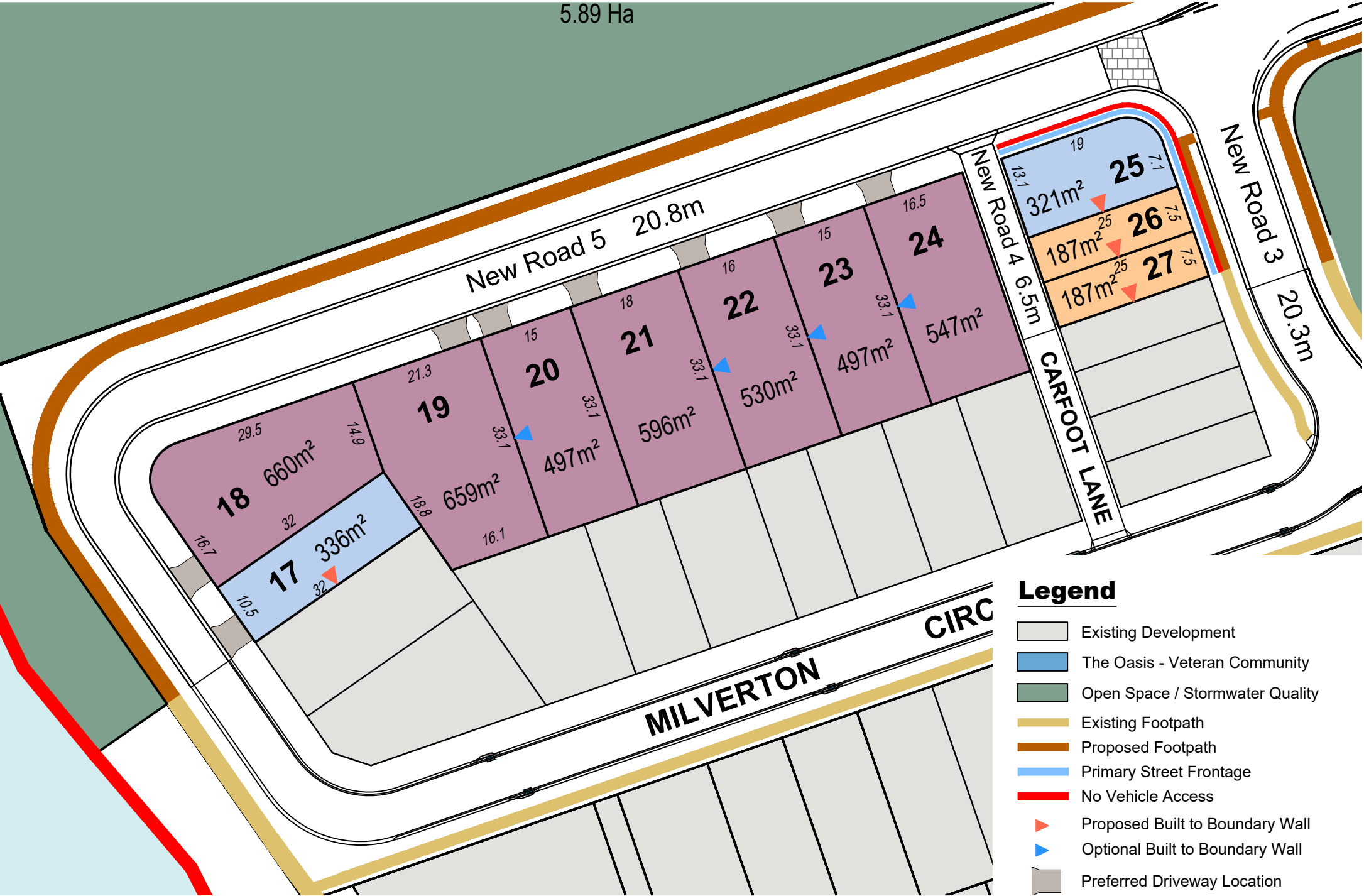
33. The solid portion of front fences and walls are to be no more than 1.2 metres high.
34. If containing openings that make the fence more than 50percent transparent, the maximum fence height can be 1.8 metres.

Additional criteria for Secondary Dwellings:

35. Secondary dwellings are to be subordinate to the primary dwelling and have a gross floor area of 30m² - 60m².
36. Secondary dwellings are not permitted on lots:

(a) fronting a laneway

(b) with a frontage of less than 12.5m
37. Secondary dwellings are not permitted on Courtyard Allotments.
38. Secondary dwellings are not to have more than 2 bedrooms.
39. Adequate light and ventilation are to be provided for each dwelling as per Note 32.
40. All dwellings must have a clearly identifiable entry, letter box and clear house numbering which addresses the primary frontage and is covered.
41. Off street parking requirements must be met for both dwellings as per Note 16.
42. Private open space must be met for both dwellings as per Note 5.
43. Site cover of the primary and secondary dwelling combined is not to exceed 60%.
44. Clothes lines, condenser units, hot water systems and other items must be screened behind the main face of the dwelling and not located in the path between the street and the front door of the secondary dwelling.
45. Each dwelling must include a hard surface bin enclosure screened from public view.
46. Only one driveway maybe permitted per lot.



Plan of Development Table	Terrace Allotments 5m - 10m Frontage		Villa Allotments (1) 10m Frontage		Premium Villa Allotments (2) 11.5-13.5m Frontage		Courtyard Allotments ≥ 15.0m Frontage	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Primary Frontage (*Mandatory)	*1.5m	*1.5m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Side - General Lots								
Build to Boundary	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m
Non Build to Boundary	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m
Laneway Lots								
Laneway Setback (Mandatory)	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m

Note:
This plan is conceptual only. The boundaries shown on this plan should not be used for final detailed engineers design.

All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Source Information:
Site boundaries: Registered Survey Plans.
Adjoining information: DCDB.
Contours: Elvis Spatial. 1m Intervals

Plan of Development Requirements

General:

1. The maximum height of buildings shall not exceed 2 storeys.
- 1a. Unless otherwise specified, all lots are to contain a house.
- Orientation:**
2. Entries - Front doors and letterboxes of dwellings are to address the primary street frontage and be visible from the street.
3. Buildings are to address each street frontage with the inclusion of 4 or more of the following design elements:
- Verandah or balcony.
 - Porches.
 - Awning and shade structures.
 - Variation to roof and building lines.
 - Inclusion of window openings.
 - Variations to building materials.

Site Cover and Amenity:

4. Site cover as per Plan of Development Table.
5. Minimum private open space requirements:
- For a one bedroom or studio dwelling, 5m² with a minimum dimension of 2.4m; or
 - For a two-bedroom dwelling, 9m² with a minimum dimension of 2.4m; or
 - For a three or more-bedroom dwelling, 12m² with a minimum dimension of 2.4m; and
 - The area must be covered and accessed from the main internal living area of the dwelling.

Setbacks:

6. Setbacks are as per the Plan of Development Table unless otherwise specified.
7. Boundary setbacks are measured to the outer most projection.
8. Eaves should not encroach (other than where the building is built to the boundary) closer than 300mm to the lot boundary.
9. Optional built to boundary walls are to have a maximum length of 15m, a maximum average height of 4m and are not to exceed 4.5m in height.
10. Mandatory built to boundary walls on Urban Allotments are to extend a minimum of 30%of the boundary length, not exceed 80% of the boundary length and be no more than 7.5 min height. Built to boundary walls must not encroach on the prescribed setbacks.
11. Mandatory built to boundary walls on Terrace Allotments are to extend a minimum 7m or 30% of the boundary length (whichever is less), have a maximum continuous length of20m, not exceed 80% of the boundary length and be no more than 7.5m in height. Built to boundary walls must not encroach on the prescribed setbacks.
12. Allotments (not on a laneway) with a frontage of 12.5m or more are to have a minimum 4.5m setback to the garage door, with the exception of designs that require a greater setback in order to comply with off-street parking provisions in accordance with Note 16.
13. A setback of 1.0m is required to the laneway boundary for a garage/enclosed carport accessed from a laneway.
14. Allotments (not on a laneway) with a frontage of less than12.5m and less than 20m in length are to have a minimum of 5.0m setback to the garage door, provided off-street parking requirements are satisfied in accordance with Note 16.

15. In sections where optional built to boundary walls are not adopted, side setbacks are to comply with those noted in the Plan of Development table for the specific lot type.

Parking:

16. Minimum off-street parking requirement:
- Studio, one- and two-bedroom dwellings, 1 space per dwelling
 - Three plus bedroom dwellings, 2 spaces per dwelling, which may be in tandem configuration
 - At least one space per dwelling must be covered.
17. Double garages will not be permitted on any lots:
- (a) fronting a laneway; or
- (b) with a frontage of less than 10.0m
18. A double garage on lots greater than10.0m but less than12.5m must adhere to the following design criteria:
- (a) The front facing building wall, which comprises the garage door/s, may not exceed an external width of 5.7m; and
- (b) The garage door width must not exceed 4.8m; and
- (c) The garage door must have a minimum 450mm eave above it and be setback a minimum of 240mm behind the pillar of the garage door; and
- (d) Must have a sectional, tilt or roller door; and
- (e) The front façade of the dwelling must include the following:
- a front entrance door and windows with a sidelight.
 - a front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door.
 - the verandah, portico or porch is to include front piers with distinct materials and/or colours.
- (a) The garage has one side constructed as a built to boundary wall in a position consistent with the Plan of Development for the lot; and
- (b) The driveway of the garage is to taper down from the central edge to 3m at the lot boundary, equal to what would have been required if the garage were only a single garage.
19. Any combination of a 'garage', 'carport' or 'open carport' as defined in the Queensland Development Code (QDC) are taken to be a 'garage' under this PoD.
20. Garages/enclosed carports serviced off a laneway are to comply with EDQ Practice Note 12 issued March 2014.

Driveways:

21. For conventional allotments (not on a laneway) the maximum width of a driveway:
- Serving a double garage shall be 4.8m of the lot boundary
 - Serving a single garage shall be 3.0m of the lot boundary
22. Driveways should avoid on street works such as dedicated on-street parking bays, drainage pits and service pillars.
23. The minimum distance of a driveway from an intersection of one street with another street shall be 6.0m, except where the driveway is from a laneway.
24. A maximum of one driveway per lot is permitted, unless otherwise specified in this PoD.

Urban and Terrace Allotments:

25. Entries - Front doors of dwellings are to address the primary street frontage and have a clearly identifiable front door and a portico or undercover point of entry.

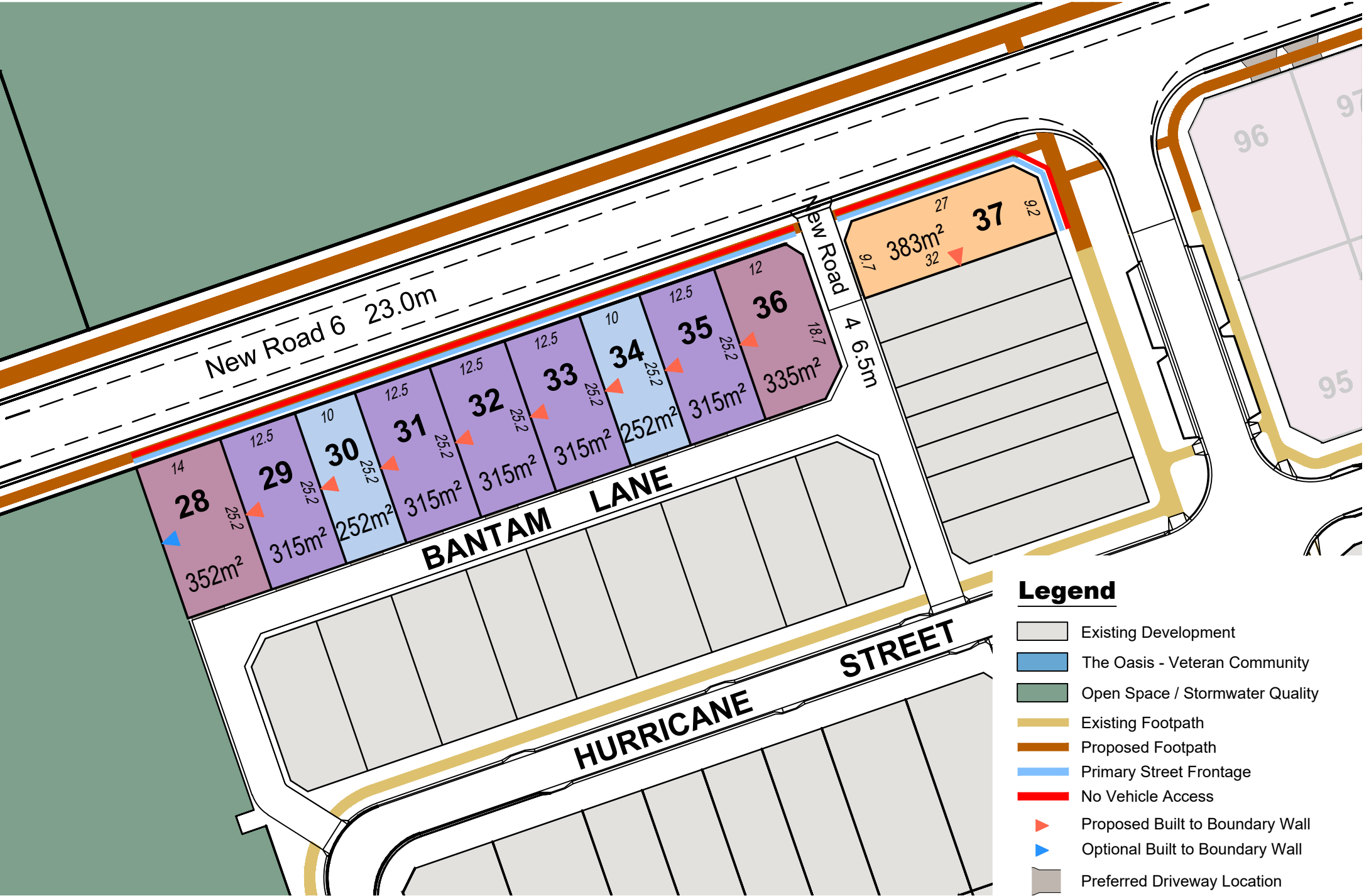
26. Where Urban and Terrace dwellings encompass more than one street frontage, they are to be designed to address each street frontage.
27. Dwellings should have outdoor lighting to the doorway entrance and a clearly identifiable letterbox and clear house number.
28. All second storey windows addressing an adjoining lot's private open space are to have fixed, external privacy screens or opaque glass where sill heights are less than 1.7m.
29. External drainage pipes are integrated with the building design.
30. Clothes lines, condenser units, hot water systems and other items must be screened behind the main face of the dwelling.
31. Each dwelling must include a hard surface bin enclosure screened from public view.
32. All habitable rooms must incorporate at least two openings to facilitate cross ventilation and access to natural light. The openings shall have a minimum area of no less than 5% of the total floor area of the room. Openings can include a combination of:
- External opening windows,
 - Internal opening windows,
 - Louvered windows,
 - Ceiling and/or roof ventilation shafts / skylights; and
 - Mechanical ventilation,
- For clarity, the two openings cannot be located on the same wall and must beat least 2m apart.

Fencing:

33. The solid portion of front fences and walls are to be no more than 1.2 metres high.
34. If containing openings that make the fence more than 50percent transparent, the maximum fence height can be 1.8 metres.

Additional criteria for Secondary Dwellings:

35. Secondary dwellings are to be subordinate to the primary dwelling and have a gross floor area of 30m² - 60m².
36. Secondary dwellings are not permitted on lots:
- (a) fronting a laneway
- (b) with a frontage of less than 12.5m
37. Secondary dwellings are not permitted on Courtyard Allotments.
38. Secondary dwellings are not to have more than 2 bedrooms.
39. Adequate light and ventilation are to be provided for each dwelling as per Note 12.
40. All dwellings must have a clearly identifiable entry, letter box and clear house numbering which addresses the primary frontage and is covered.
41. Off street parking requirements must be met for both dwellings as per Note 16.
42. Private open space must be met for both dwellings as per Note 5.
43. Site cover of the primary and secondary dwelling combined is not to exceed 60%.
44. Clothes lines, condenser units, hot water systems and other items must be screened behind the main face of the dwelling and not located in the path between the street and the front door of the secondary dwelling.
45. Each dwelling must include a hard surface bin enclosure screened from public view.
46. Only one driveway maybe permitted per lot.



Plan of Development Table	Terrace Allotments 5m - 10m Frontage		Villa Allotments (1) 10m Frontage		Premium Villa Allotments (2) 11.5-13.5m Frontage		Courtyard Allotments ≥ 15.0m Frontage	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Primary Frontage (*Mandatory)	*1.5m	*1.5m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
Side - General Lots								
Build to Boundary	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m
Non Build to Boundary	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m
Laneway Lots								
Laneway Setback (Mandatory)	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m

Note:
This plan is conceptual only. The boundaries shown on this plan should not be used for final detailed engineers design.

All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Source Information:
Site boundaries: Registered Survey Plans.
Adjoining information: DCDB.
Contours: Elvis Spatial. 1m Intervals

PLAN REF: 15703 – 21

Rev No:
DATE: 22nd May 2026
CLIENT: ECONOMIC DEVELOPMENT QUEENSLAND
DRAWN BY: MJB
CHECKED BY: MJB



THE VILLAGE, OONOONBA
PLAN OF DEVELOPMENT
STAGE 1B Sheet 2

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