

GRIFFITH UNIVERSITY HATRIC DEVELOPMENT APPLICATION PACKAGE

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV-2026-GCP-4617

Date: 02/06/2026



Queensland
Government



Hassell

Yuggera and Turrbal Country
Level 2, The Ice Cream Factory
45 Mollison Street
West End QLD
Australia 4101

T +61 7 3914 4000
E brisbane@hassellstudio.com
hassellstudio.com
@hassell_studio

Contact

Konrad Panitz
Associate
kpanitz@hassellstudio.com
+61 7 3914 4068

1.

2.

3.

4.

5.

6.

6.

7.

Site Plan

Departmental Plans

Elevations

Sections

Materials Palette

Design Intent

GFA Plans

Perspectives

03

04

11

15

17

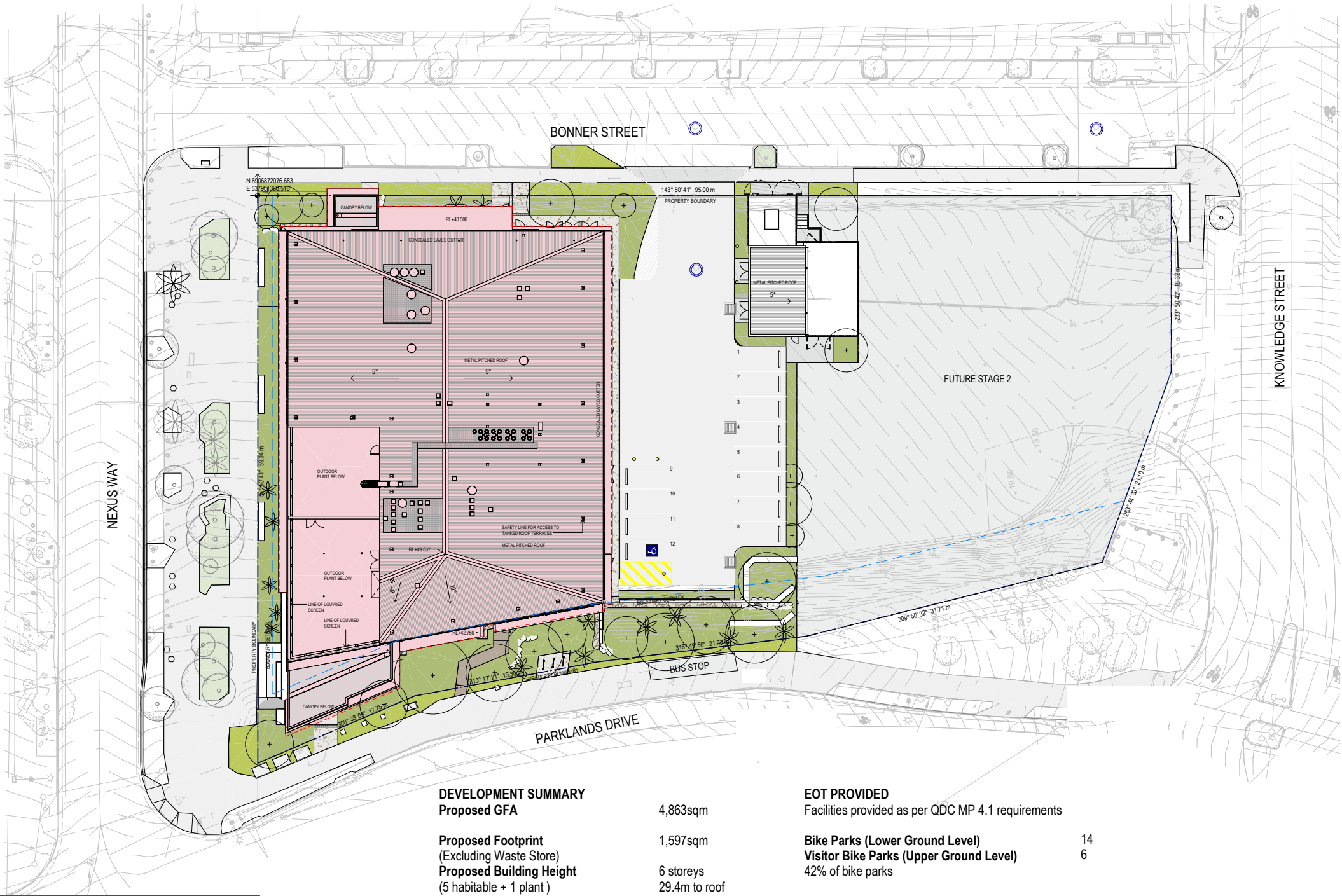
19

20

21

Document Control			
Rev	Date	Approved By	Description
01	04.08.2025	G.Grigson	DA Pre-lodgement
02	15.08.2025	G.Grigson	DA Pre-lodgement update
03	22.08.2025	G.Grigson	DA Pre-lodgement Update
04	27.08.2025	K.Panitz	DA Pre-lodgement Update
05	28.08.2025	K.Panitz	DA Pre-lodgement Update
06	30.09.2025	K.Panitz	DA Update
07	02.10.2025	K.Panitz	DA Update
08	23.03.2026	K.Panitz	DA Update
09	19.05.2026	K.Panitz	DA Update

SITE PLAN



DEVELOPMENT SUMMARY
Proposed GFA

Proposed Footprint
(Excluding Waste Store)
Proposed Building Height
(5 habitable + 1 plant)

Effective Building Height

Car Parks

Total Planting Area
Within Property Boundary
Beyond Property Boundary (Council Land):
plus
Temporary Landscape (On Future Lot):

4,863sqm
1,597sqm
6 storeys
29.4m to roof
22.5
12
781 sqm Approx.
528 sqm
129 sqm
124sqm

EOT PROVIDED
Facilities provided as per QDC MP 4.1 requirements

Bike Parks (Lower Ground Level)
Visitor Bike Parks (Upper Ground Level)
42% of bike parks

Lockers
1.6:1 ratio for every bicycle parking space

Showers
2, plus 1 additional shower for every 20 bicycle parking spaces provided thereafter*.

WC
2 closet pans, plus 1 additional sanitary compartment for every 60 bicycle parking spaces provided thereafter*.

Basins
1, plus 1 additional wash basin for every 60 bicycle parking spaces provided thereafter*.

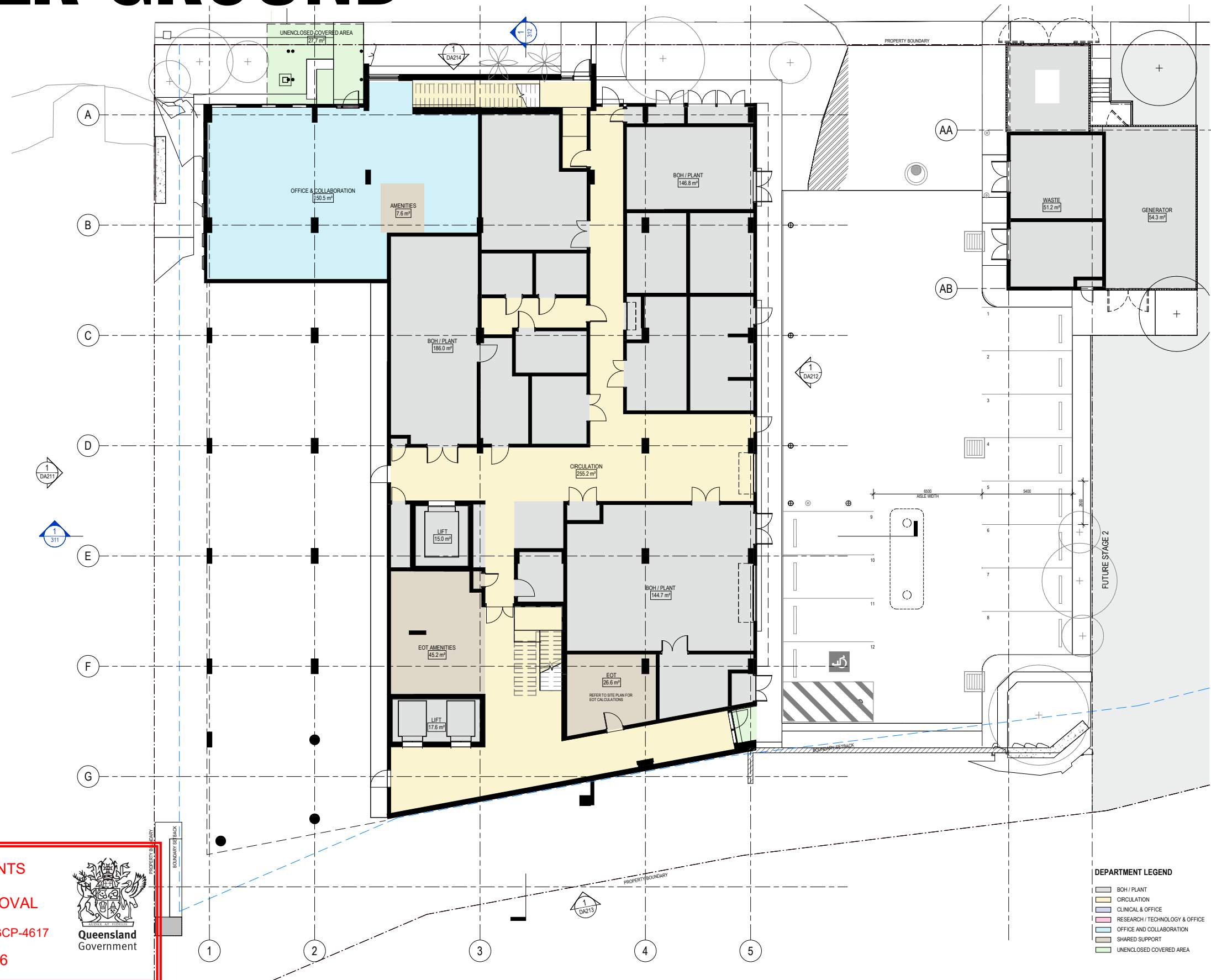
14
6
24
MALE
FEMALE
ALL GENDERED ACCESSIBLE

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

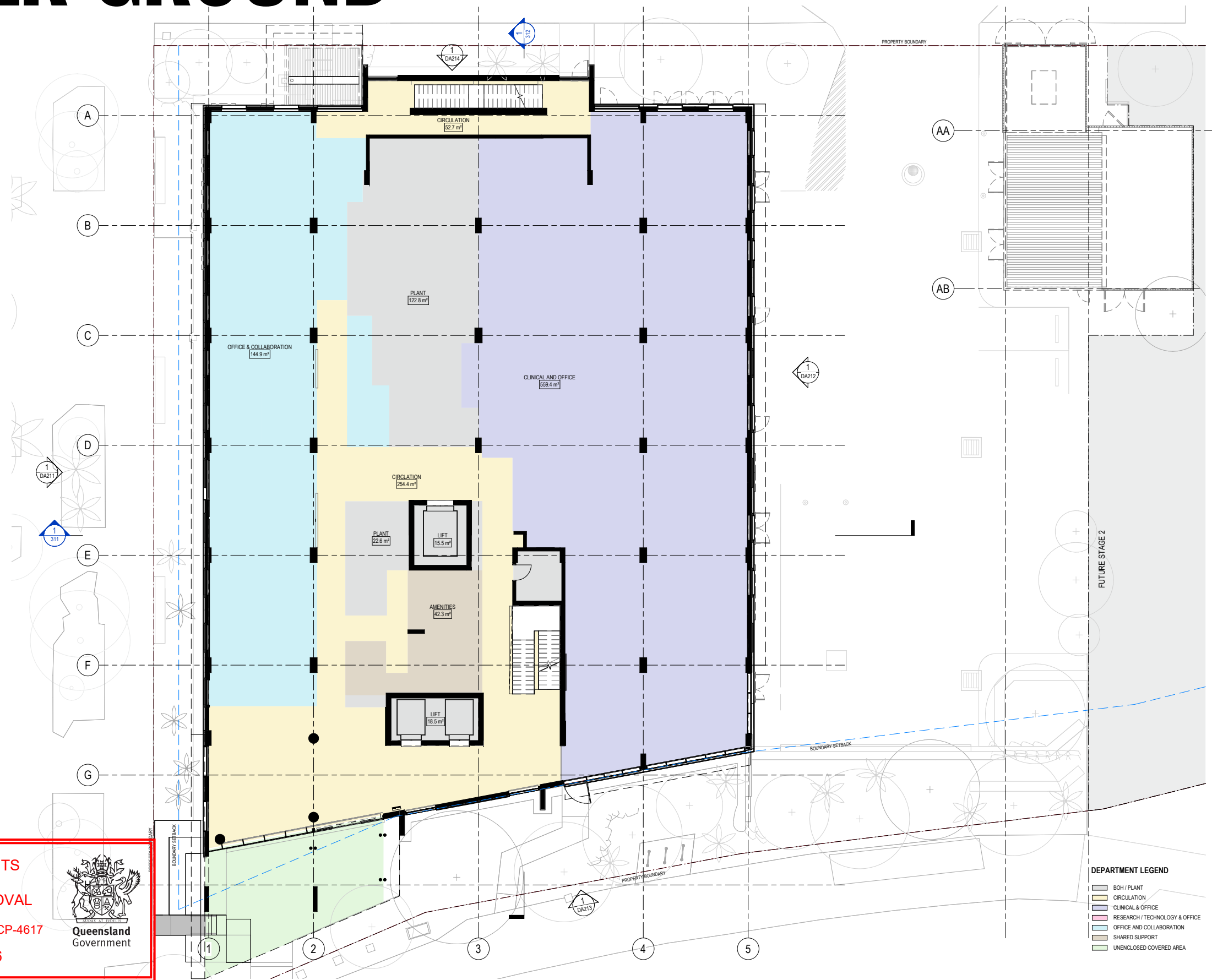
Approval no: DEV-2026-GCP-4617
Date: 02/06/2026



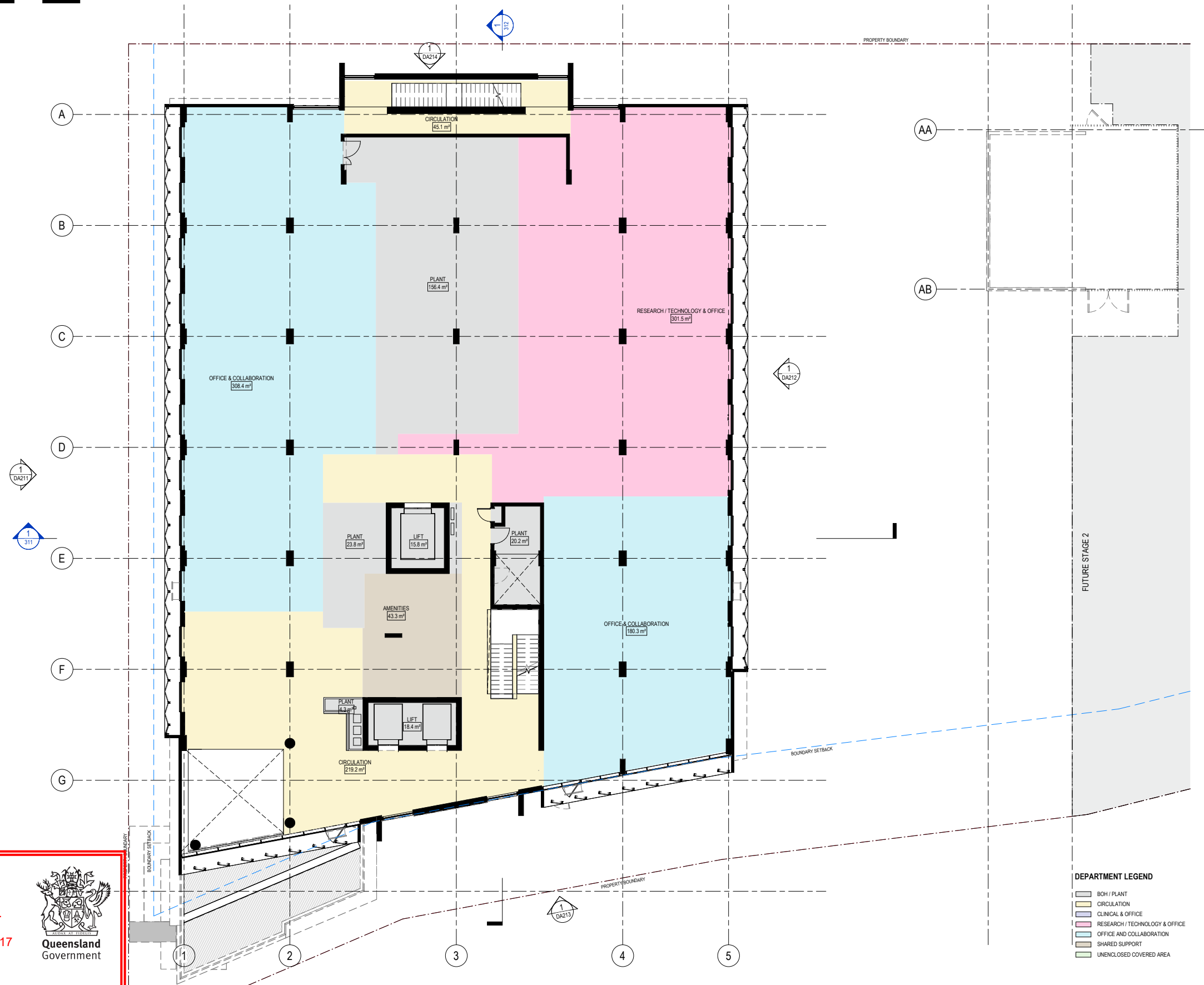
LOWER GROUND



UPPER GROUND



LEVEL 1



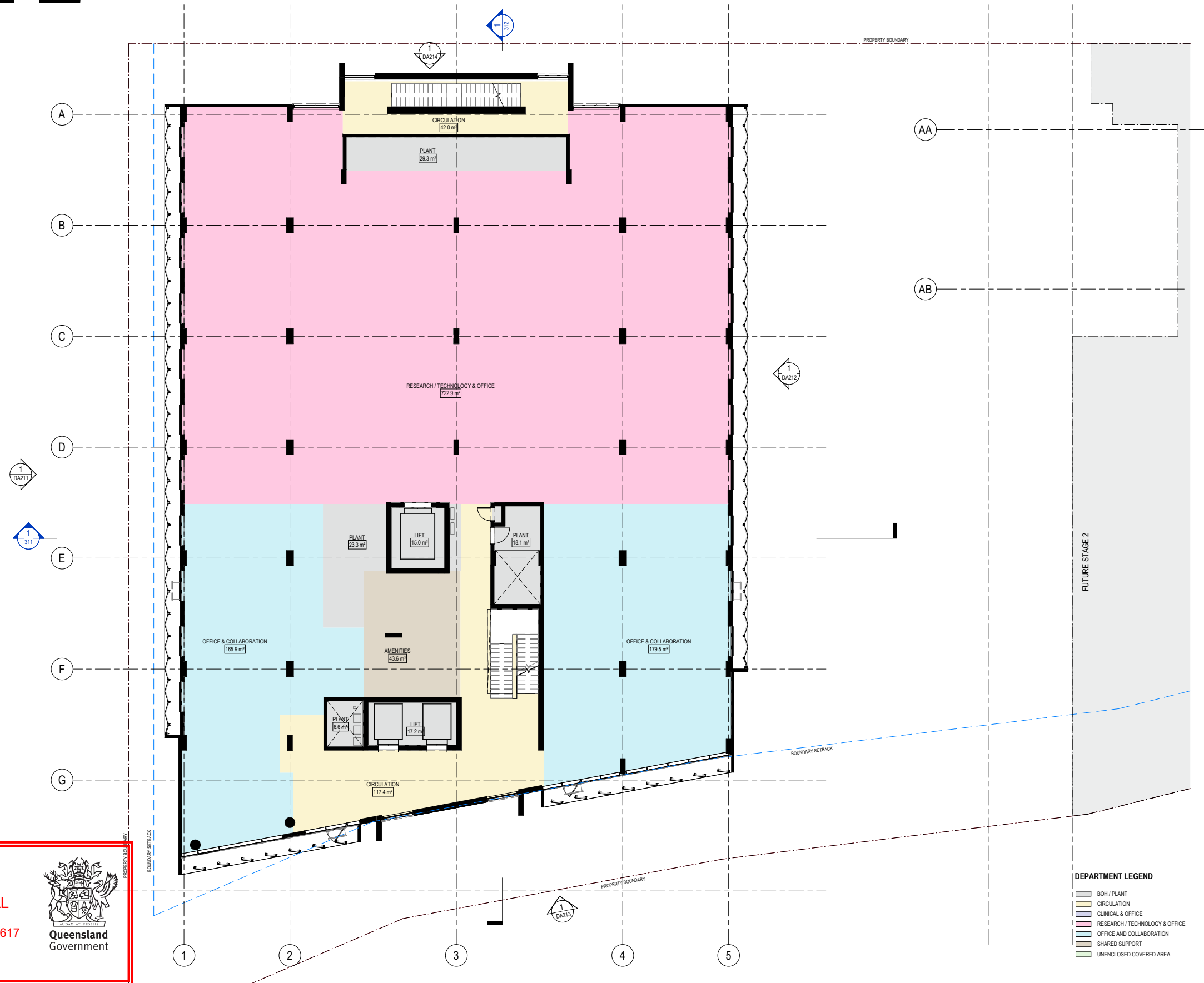
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV-2026-GCP-4617

Date: 02/06/2026



LEVEL 2



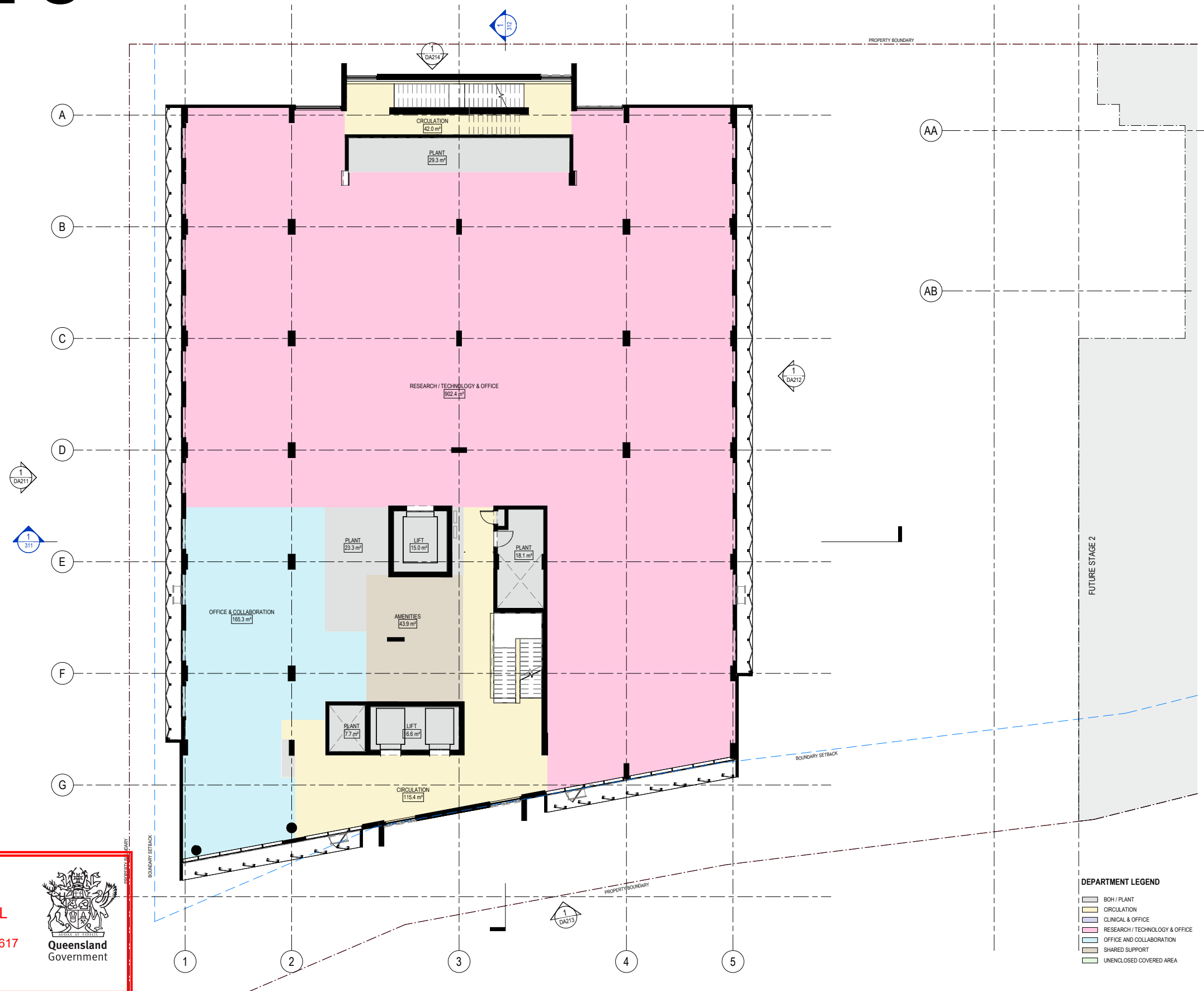
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV-2026-GCP-4617

Date: 02/06/2026



LEVEL 3



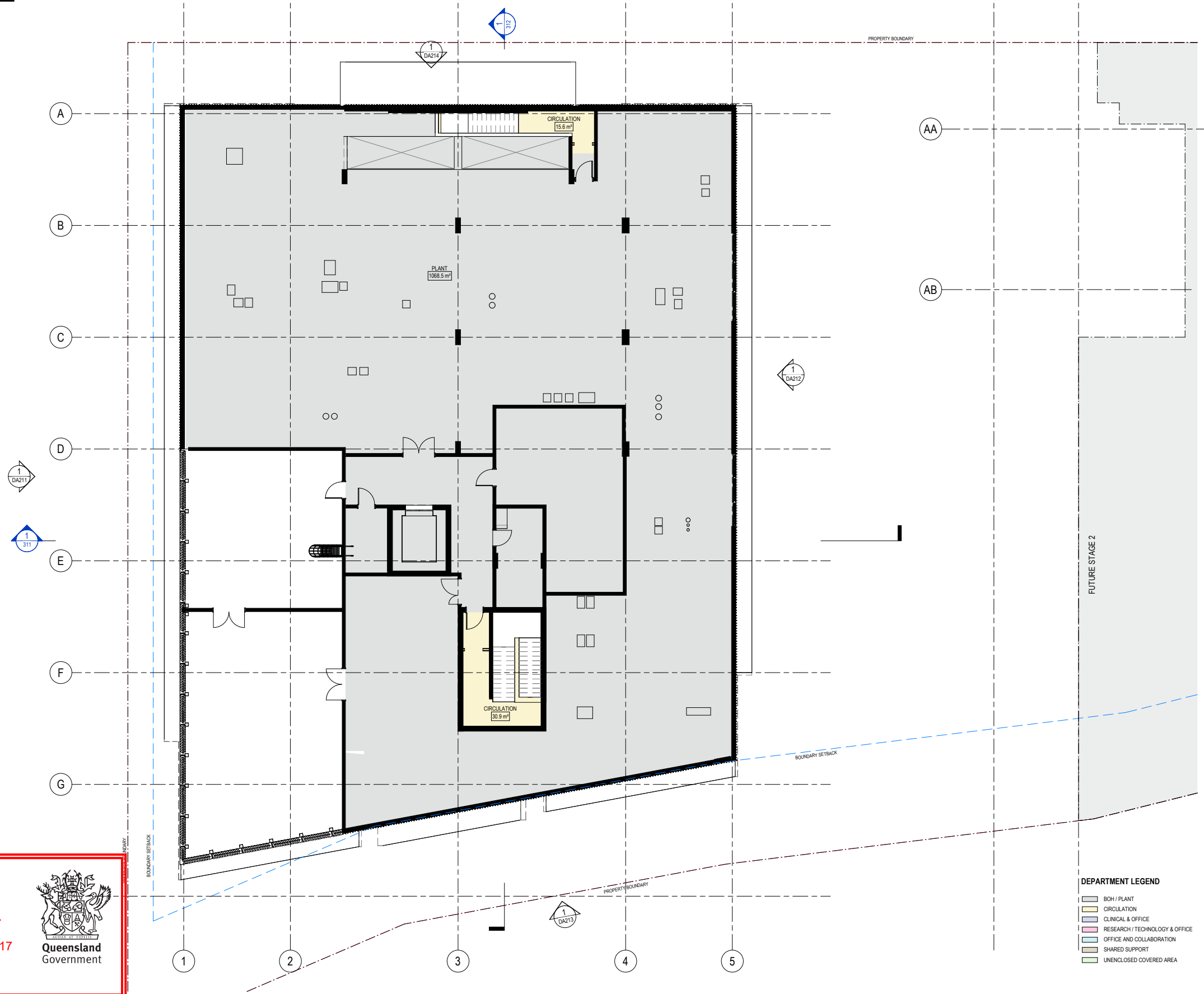
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV-2026-GCP-4617

Date: 02/06/2026



PLANT



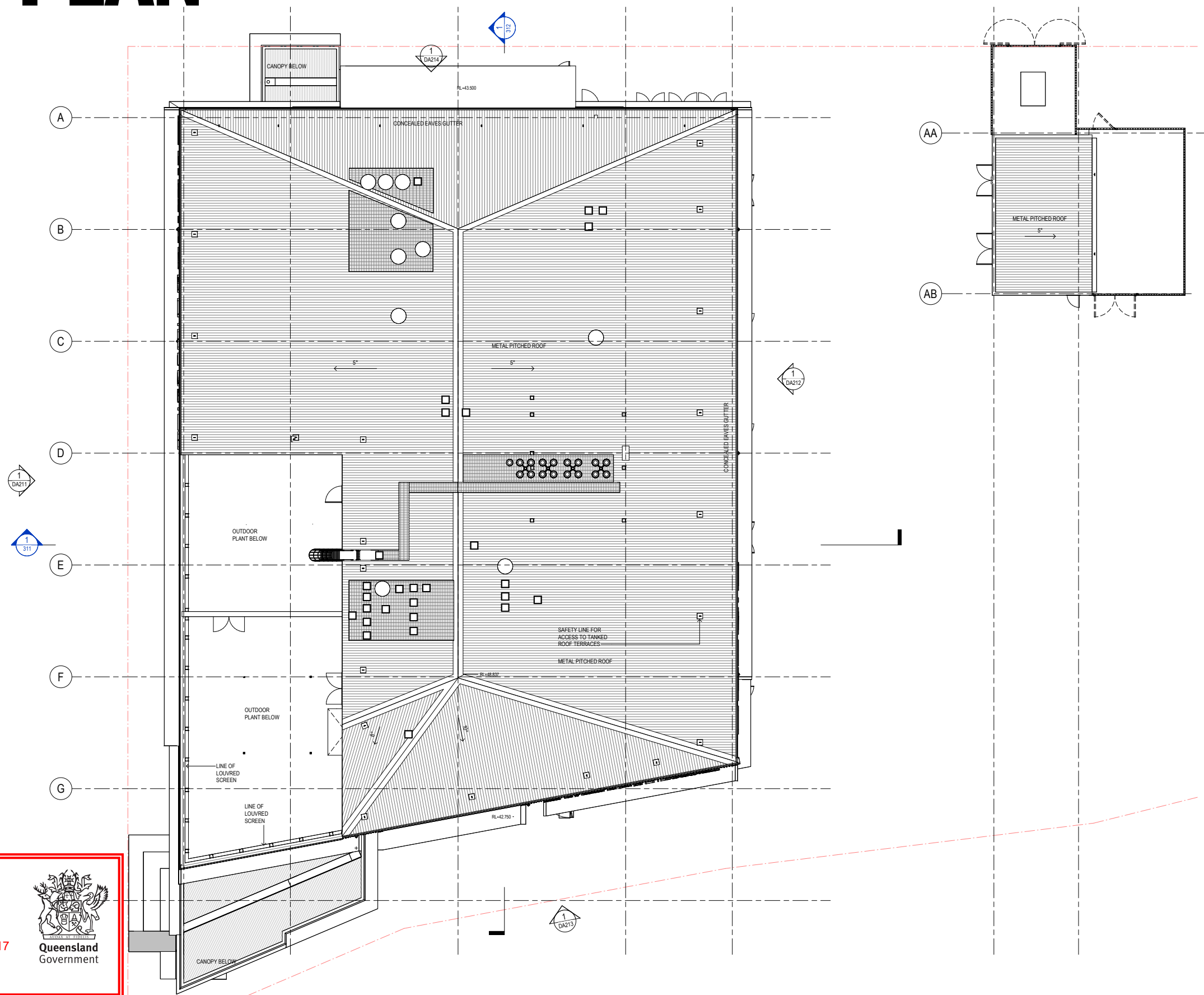
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV-2026-GCP-4617

Date: 02/06/2026



ROOF PLAN



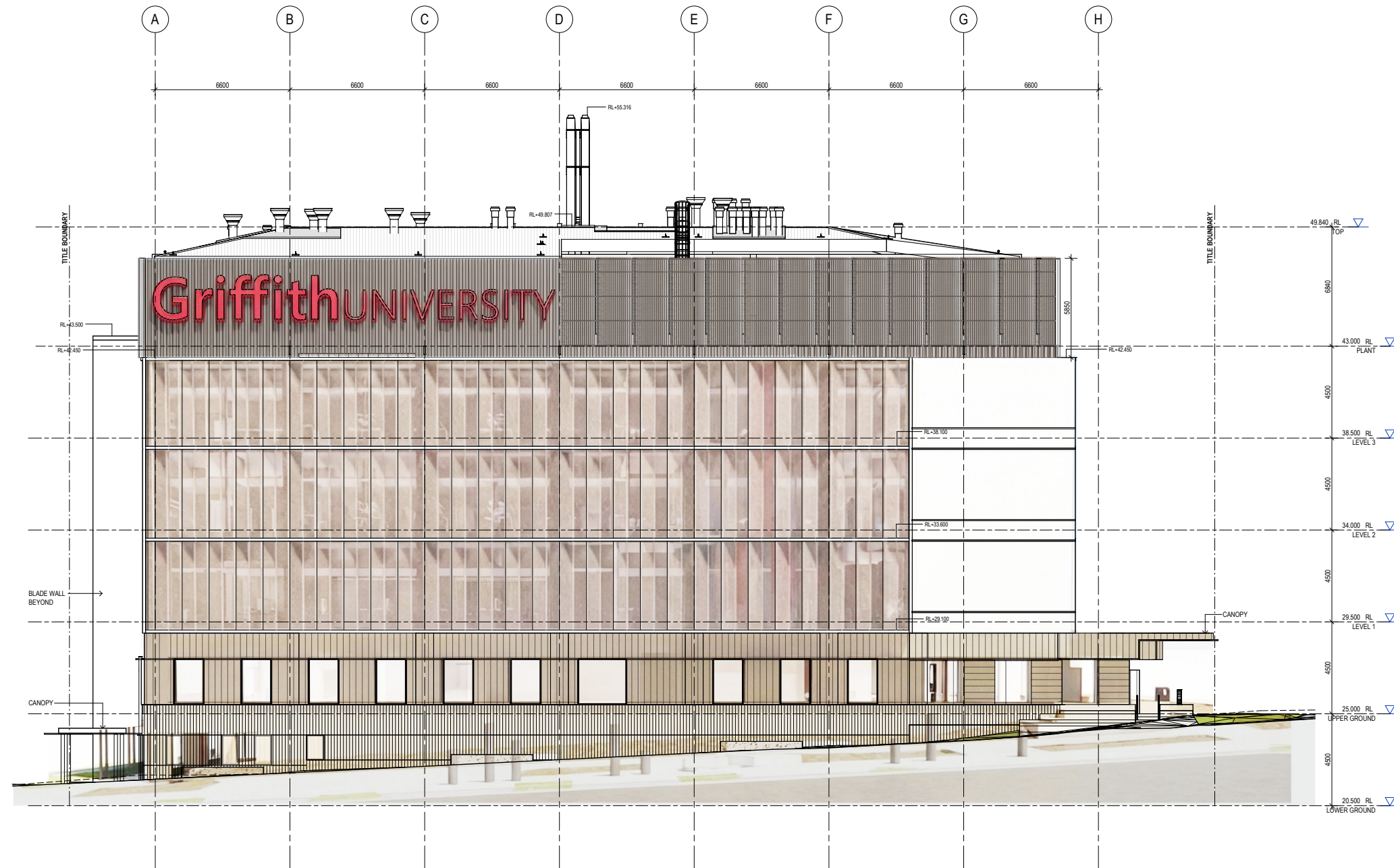
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV-2026-GCP-4617

Date: 02/06/2026

Queensland
Government

NEXUS WAY ELEVATION



1 ELEVATION - NORTH WEST

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

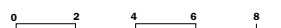
Approval no: DEV-2026-GCP-4617

Date: 02/06/2026



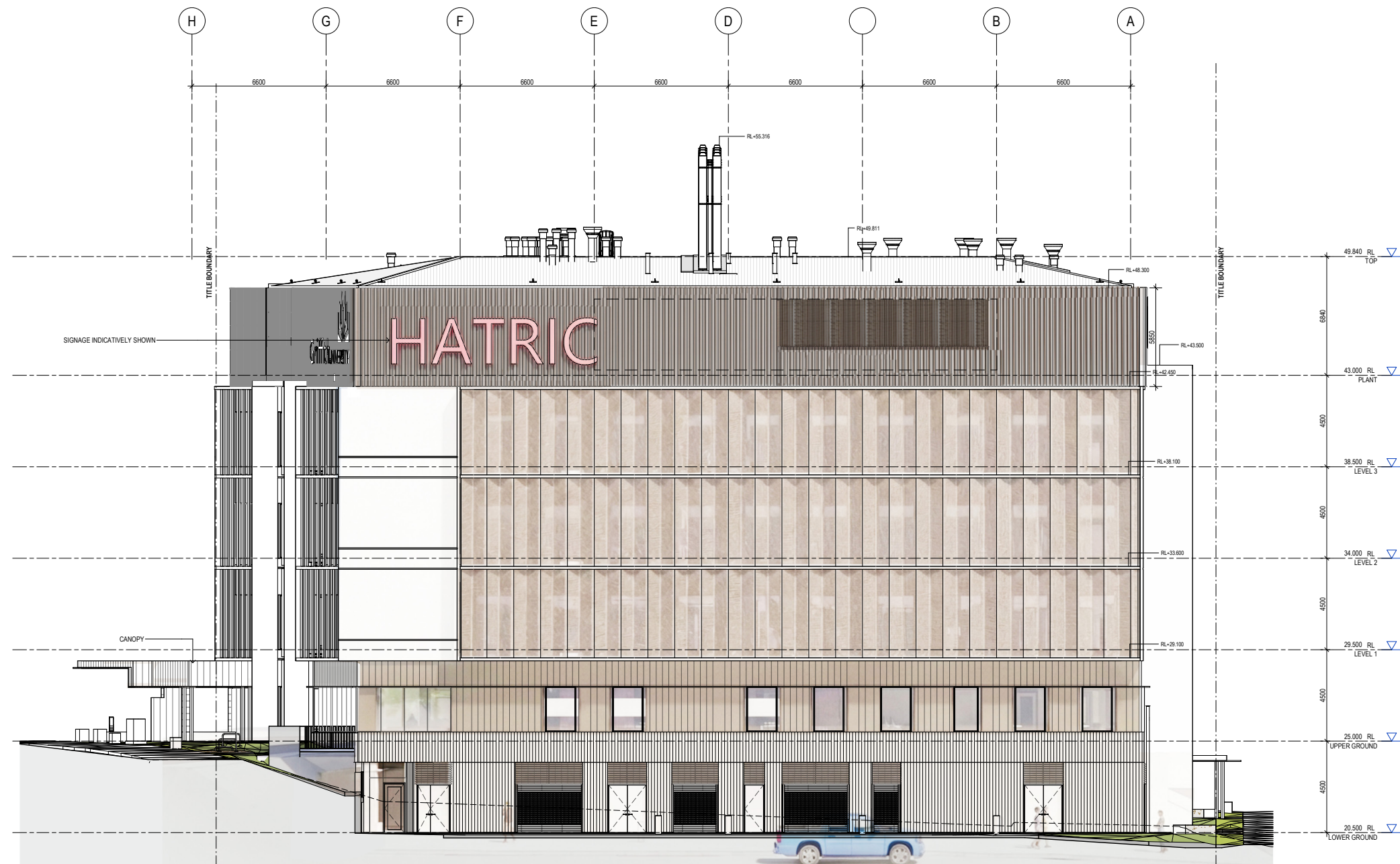
Griffith University
Health and Technology Research Innovation Centre

SCALE 1:250



Hassell ©
Architecture

KNOWLEDGE STREET ELEVATION



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

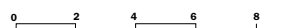
Approval no: DEV-2026-GCP-4617

Date: 02/06/2026



Griffith University
Health and Technology Research Innovation Centre

SCALE 1:250



Hassell ©
Architecture

BONNER STREET ELEVATION



1 ELEVATION - NORTH EAST

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV-2026-GCP-4617

Date: 02/06/2026



Queensland
Government

PARKLANDS DRIVE ELEVATION



1 ELEVATION - SOUTH WEST
x003

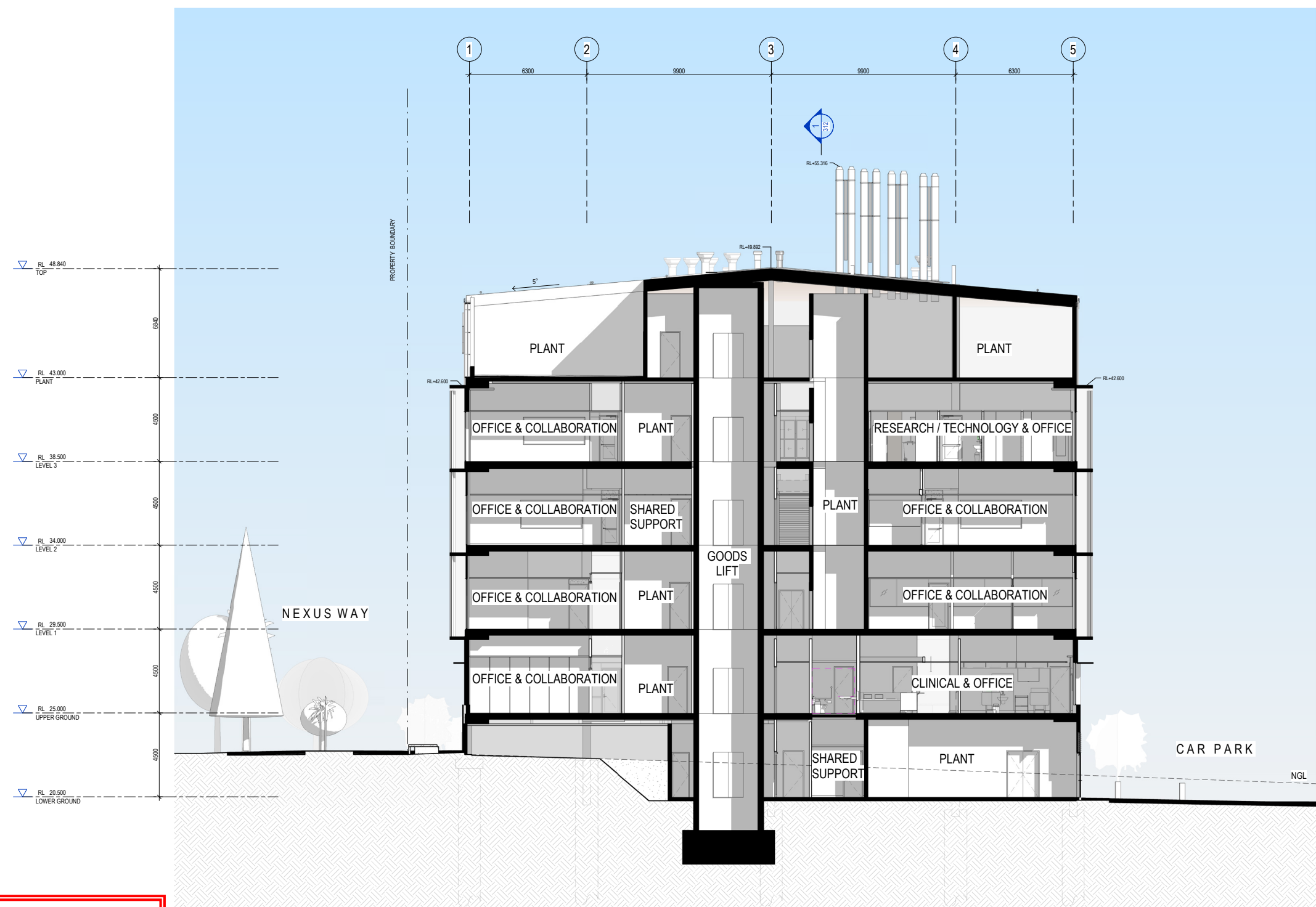
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV-2026-GCP-4617

Date: 02/06/2026



SECTIONS



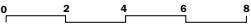
NEXUS WAY CROSS SECTION

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

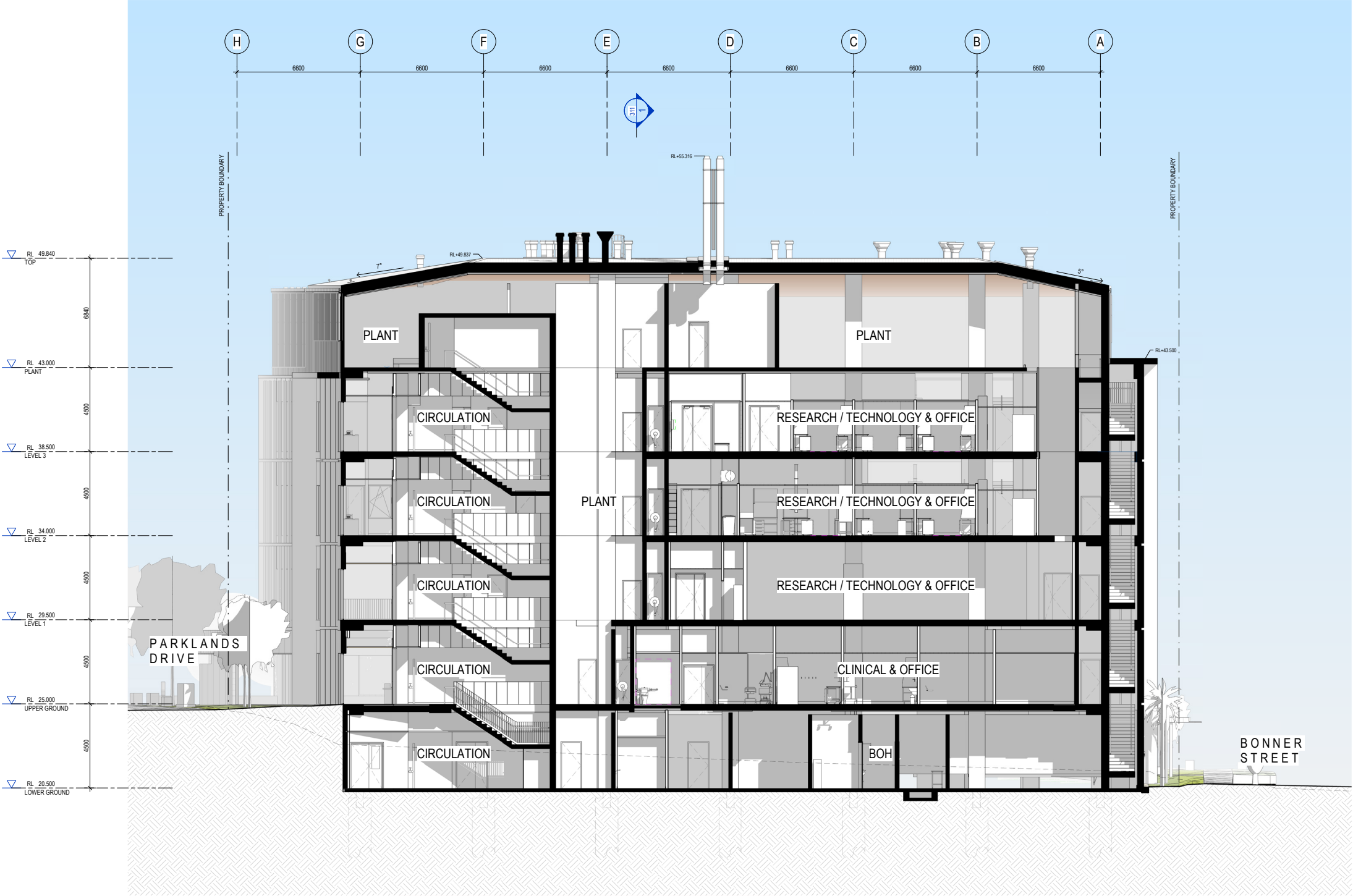
Approval no: DEV-2026-GCP-4617
Date: 02/06/2026



SCALE 1:250



SECTIONS



PARKLANDS DRIVE CROSS SECTION

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV-2026-GCP-4617
Date: 02/06/2026

Queensland
Government

SCALE 1:250

0 2 4 6 8

MATERIAL PALETTE

Landscape Influencing Interiors

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

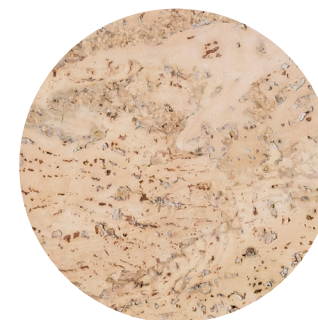
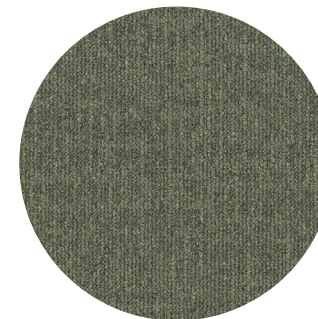
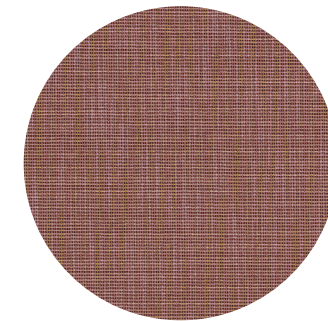
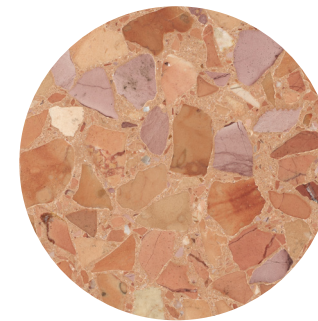
Approval no: DEV-2026-GCP-4617

Date: 02/06/2026



Ormeau Bottle Tree

With the endangered Ormeau Bottle Tree envisioned as a striking feature in the surrounding landscape, the material palette draws inspiration from its three distinctive elements: the vibrant pink of its new leaves, the soft, washed green of its budding flowers, and the rich brown tones of its seeds.



MATERIAL PALETTE

Overview

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

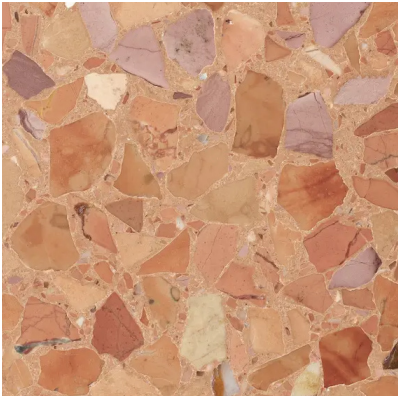
Approval no: DEV-2026-GCP-4617
Date: 02/06/2026



Queensland
Government



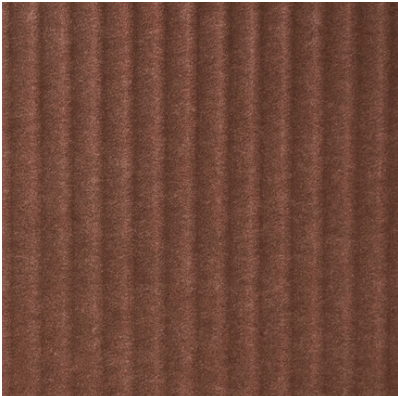
Laminate



Stone



Timber



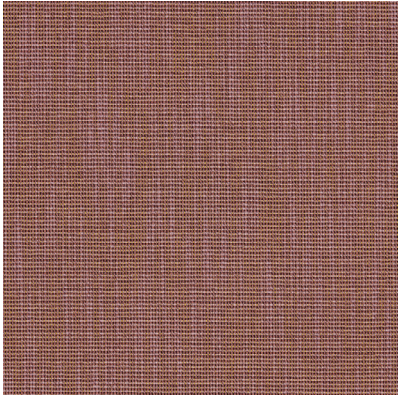
Acoustic Panel



Feature Carpet



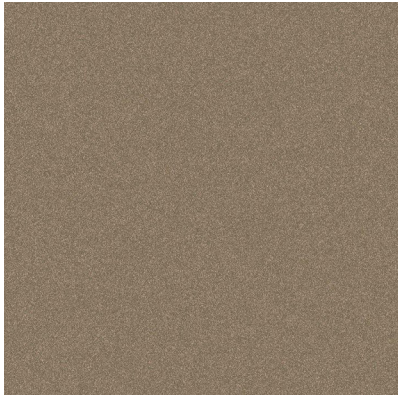
Stair Vinyl



Upholstery



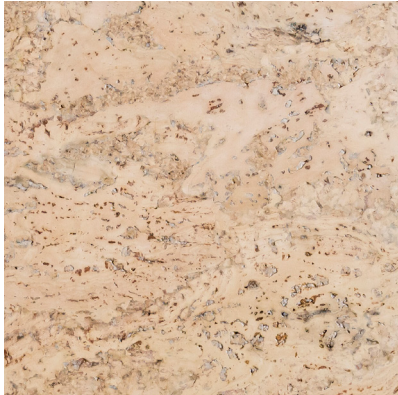
Upholstery



Powdercoat



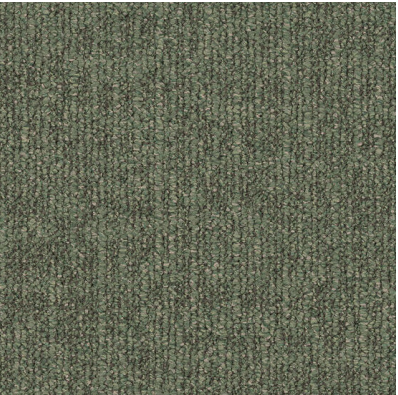
Marmoleum Flooring



Cork Wall Finish



Stainless Steel



Feature Carpet



Acoustic Panel



Rubber Flooring



Carpet



Porcelain Floor Tile



Paint Finish

DESIGN INTENT

Building exterior look & feel

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV-2026-GCP-4617

Date: 02/06/2026



Material palette

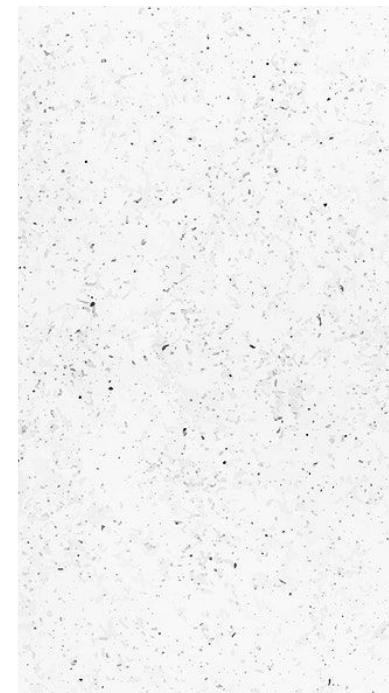
The external finishes is designed to promote the play of shadow over the façades whilst providing optimal sun shading for the functional interior spaces. Vertical metal folded screens in bronze colour and deep horizontal concrete ledges provide protection to sun exposure. High performance low-e glazing allows visibility in and out of the building whilst maintaining thermal performance. The selection of white concrete enables a durable low maintenance building that fits for the context. Reckli formliner is proposed to the ground podium to introduce tactility and human scale to the ground plane, enabling a harmonious blend with the landscaped foreground.

The use of the Griffith's red in various hues and gradations as an accent colour adds highlights to the building's exterior and reinforces the university's identity.

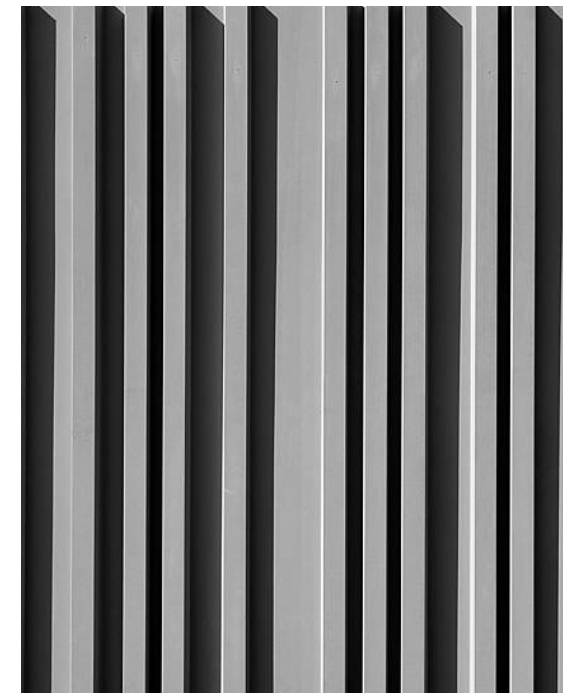
The overall colour palette of the exteriors pays homage to the sandy beaches and natural surrounding of the Gold Coast.



BRONZE



CONCRETE - KEIM



RECKLI FORMLINER



EARTHY TONES

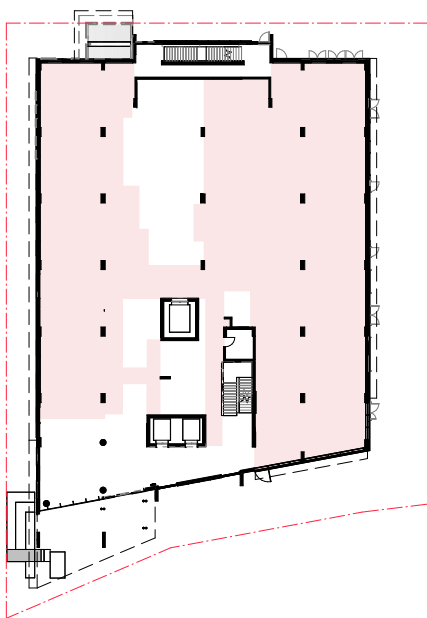


GU RED

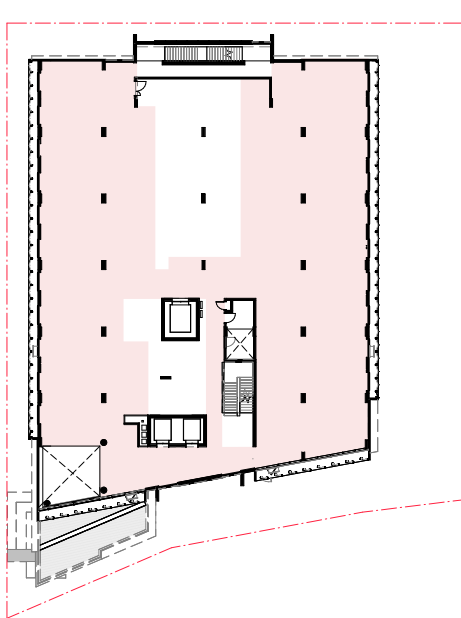
GFA PLANS



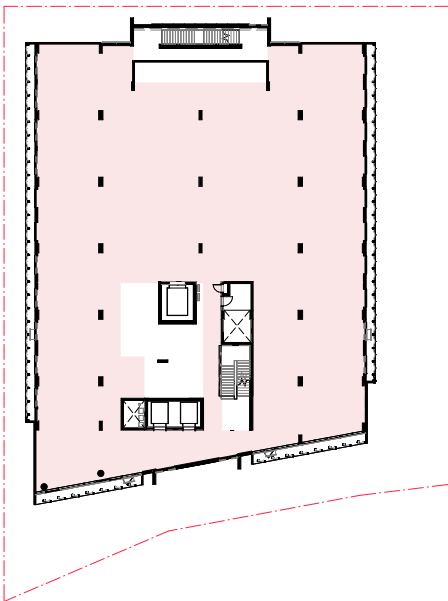
LOWER GROUND



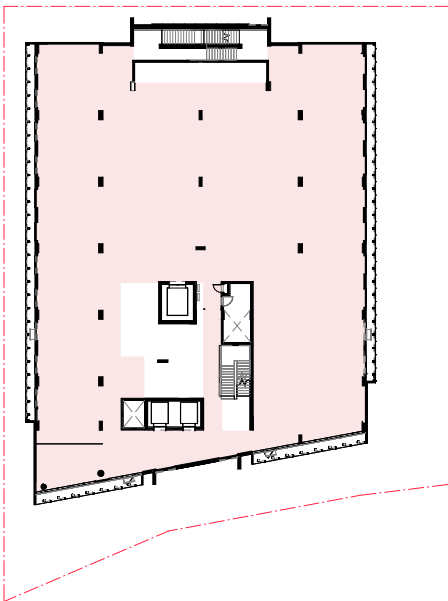
UPPER GROUND



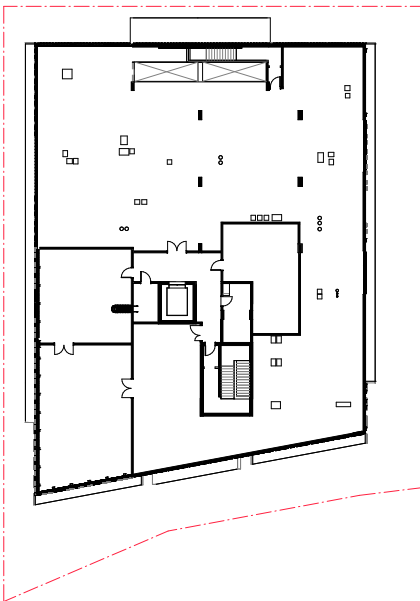
LEVEL 1



LEVEL 2



LEVEL 3



PLANT

GFA: GROSS FLOOR AREA

THE TOTAL FLOOR AREA OF ALL STOREYS OF THE BUILDING, INCLUDING ANY MEZZANINES, (MEASURED FROM THE OUTSIDE OF THE EXTERNAL WALLS AND THE CENTRE OF ANY COMMON WALLS OF THE BUILDING), OTHER THAN AREAS USED FOR:

- BUILDING SERVICES; OR
- A GROUND FLOOR PUBLIC LOBBY; OR
- A PUBLIC MALL IN A SHOPPING COMPLEX; OR
- PARKING, LOADING, MANOEUVRING OF VEHICLES, OR
- BALCONIES, WHETHER ROOFED OR NOT.

GFA SCHEDULE	
Level	Area
LOWER GROUND	575 m ²
UPPER GROUND	949 m ²
LEVEL 1	1007 m ²
LEVEL 2	1165 m ²
LEVEL 3	1165 m ²
	4863 m ²

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV-2026-GCP-4617

Date: 02/06/2026



PERSPECTIVES

Main entrance



PERSPECTIVES

View from Nexus Way and Bonner Street



PERSPECTIVES

View from Parklands Drive



PERSPECTIVES

View from Bonner Street



AUSTRALIA
BRISBANE
Yuggera and Turrbal Country
Level 2, The Ice Cream Factory
45 Mollison Street
West End QLD
Australia 4101
T +61 7 3914 4000
E brisbane@hassellstudio.com

MELBOURNE
Wurundjeri Country
61 Little Collins Street
Melbourne VIC
Australia 3000
T +61 3 8102 3000
E melbourne@hassellstudio.com

PERTH
Whadjuk Country
Level 1
Commonwealth Bank Building
242 Murray Street
Perth WA
Australia 6000
T +61 8 6477 6000
E perth@hassellstudio.com

SYDNEY
Gadigal Country
Level 2
Pier 8/9, 23 Hickson Road
Sydney NSW
Australia 2000
T +61 2 9101 2000
E sydney@hassellstudio.com

ASIA
HONG KONG
22F, 169 Electric Road
North Point Hong Kong
T +852 2552 9098
E hongkong@hassellstudio.com

SHANGHAI
12F, 45 Caoxi North Road
Xuhui District
Shanghai 200030 China
T+8621 5456 3666
E shanghai@hassellstudio.com

SINGAPORE
115 Amoy Street
#03-03 Singapore 069935
T +65 6224 4688
E singapore@hassellstudio.com

UNITED KINGDOM
LONDON
Level 1
6-14 Underwood Street
London N1 7JQ
United Kingdom
T +44 20 7490 7669
E london@hassellstudio.com