

DEVELOPMENT SCHEDULE	
SITE AREA:	1445m²
SITE COVER:	59.4% (858m²) Max: 70%
LANDSCAPING:	15.9% (230m²) Min: 5% (72.3m²)
AREA BREAKDOWN (GFA)	
GROUND FLOOR	750m²
MEZZANINE	199m²
TOTAL	949m²
NOTE: GFA AREA IS MEASURED TO THE OUTSIDE FACE OF WALLS	
CARPARKING (Low Impact Industry: 1/50m² First 500m² + 1/100m²)	
REQUIRED:	14
PROVIDED:	14
BICYCLES (1/500m²) Minimum 5	
REQUIRED	5
PROVIDED	5
SERVICE VEHICLE PROVISIONS	
WCV	TEMPORARY DRIVEWAY SPACE
HRV	TEMPORARY DRIVEWAY SPACE

WALL TYPE LEGEND

	CONCRETE TILT-UP PANEL
	90mm STUD

WALL TYPE NOTES

REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR STRUCTURAL DESIGN OF MASONRY AND FRAMED WALLS, REINFORCING, BRACING, AND TIE DOWNS

PROVIDE CONTROL JOINTS TO CONCRETE WALLS AS PER STRUCTURAL ENGINEER'S DETAIL

ALL CONCRETE CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND AS 3600: CONCRETE STRUCTURES

ADDITIONAL FRAMING / NOGGINGS

- PROVIDE ADDITIONAL STUD FRAMING / NOGGINGS TO ALL WALLS WITH TELEVISIONS, OVERHEAD CUPOARDS, AND GRABRAILS
- ENSURE SUFFICIENT SUPPORT FOR INSTALLATION OF GRABRAILS TO MEET APPLIED FORCES AS REQUIRED BY AS1428.1: DESIGN FOR ACCESS AND MOBILITY - NEW BUILDING WORK

THERMAL INSULATION

- ALL EXTERNAL FRAMED STUD WALLS TO HAVE REFLECTIVE FOIL INSULATION AND BRADFORD GOLD WALL BATTS R.T.B.A TO ALL CAVITIES
- INSTALL TO MANUFACTURER'S DETAIL

WALL FINISHES

- REFER EXTERIOR FINISHES SCHEDULE FOR ALL WALL CLADDING MATERIALS AND FINISHES
- REFER INTERIOR FINISHES SCHEDULE FOR WALL LINING MATERIALS AND FINISHES

LEGEND

B	BOLLARD
BAL	BALUSTRADE
BY	BICYCLE RACK
COL	COLUMN
CONC	CONCRETE
DP	DOWNPIPE
DT	DOOR THRESHOLD
FW	FLOOR WASTE
HB	HAND BASIN
HC	HOLLOW CATCH
MSB	MAIN SWITCHBOARD
REF	REFRIGERATOR
SCR1	SCREEN TYPE 1
SHR	SHOWER
SK	SINK
TGSI	TACTILE GROUND SURFACE INDICATOR
TL	TILE
WC	WATER CLOSET
WMA	WATER SUB-METER ASSEMBLY
WS	WHEEL STOP

SITE PLAN SYMBOLS

ADJACENT SURFACES TO BE EQUAL LEVEL - NO STEP

LANDSCAPING

E ELECTRICAL LINE
S SEWER LINE
SW STORMWATER LINE
T COMMUNICATIONS LINE
W WATERMAIN LINE

SITE PLAN NOTES

FOOTPATHS AND PAVED AREAS

- FALL ALL FOOTPATHS AND PAVED AREAS AWAY FROM BUILDING
- REFER TO CIVIL ENGINEER'S DRAWINGS FOR PAVEMENT LEVELS
- REFER TO EXTERIOR FINISHES SCHEDULE FOR FINISHES SELECTIONS

LANDSCAPING

REFER TO CD104

CIVIL / EARTHWORKS / LEVELS

- REFER TO CIVIL ENGINEER'S DRAWINGS FOR ALL ROADWORK AND CIVIL WORKS
- ALL EXTERNAL LEVELS TO BE IN ACCORDANCE WITH CIVIL ENGINEER'S DOCUMENTATION
- REFER TO CIVIL ENGINEER'S DRAWINGS FOR ALL RETAINING WALL DETAILS

LINEMARKING

- REFER TO CIVIL ENGINEER'S DRAWINGS FOR LINEMARKING REQUIREMENTS
- ALL LINEMARKING TO BE IN ACCORDANCE WITH AS 2890.1: PARKING FACILITIES - OFF-STREET CAR PARKING
- PWD CAR PARKING TO COMPLY WITH AS/NZS 2890.6: PARKING FACILITIES - OFF-STREET PARKING FOR PEOPLE WITH DISABILITIES

TACTILE GROUND SURFACE INDICATORS (TGSI) TO COMPLY WITH AS 1428.1: DESIGN FOR ACCESS AND MOBILITY - TACTILE INDICATORS

- TGSI TO BE SUPPLIED AND INSTALLED TO SUIT APPLICATION

ENERGY EFFICIENCY

THERMAL INSULATION

- ALL THERMAL INSULATION TO CONDITIONED SPACES TO COMPLY WITH BERS REPORT PREPARED FOR THE PROJECT.
- TO COMPLY WITH THE NCC.

GLAZING

- ALL GLAZING TO COMPLY WITH MINIMUM REQUIREMENTS OUTLINED IN BERS REPORT PREPARED FOR THE PROJECT.
- TO COMPLY WITH THE NCC.

ALL INFORMATION SHOWN IS PRELIMINARY ONLY & PENDING FURTHER CONSULTANT COORDINATION. INDICATIVE SIZE AND LOCATIONS SHOWN FOR COLUMNS & DOWNPIPES.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2026/CAS/4586
Date: 01 June 2026



AMENDED IN RED

By: Andrew Edwards
Date: 25 May 2026



All Crossovers to have sight splays (2.5m x 2m triangles as per AS2890.1 Figure 3.3)

Scale 1:100 (m)

DATE	DRAWN
FEB 2026	CO
SCALE	CHECKED
A1: 1:100 A3: 1:200	
DRAWING NO.	REVISION
2747 - CD101	

Street Trees to be located a minimum of 2.5m from any proposed crossover as per Table 7: Positioning of trees, of the Sunshine Coast Open Space Landscape Infrastructure Manual, April 2024

01 SITE / GROUND FLOOR PLAN
LOT 1115 STRONG STREET 1 : 100

PRELIMINARY
17.03.2026

SITE INFORMATION
LOT: 1115 ON PLAN: SP330057
LOCALITY: BARINGA
AREA: 1445m²

BUILDING INFORMATION
BUILDING CLASSIFICATION: 7 / 8
CONSTRUCTION TYPE: C

GENERAL NOTES
CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS
ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS
DO NOT SCALE OFF DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE READINGS
REFER TO CONSULTING ENGINEERS' DRAWINGS FOR ALL CIVIL, STRUCTURAL, MECHANICAL, HYDRAULIC, & ELECTRICAL DETAILS

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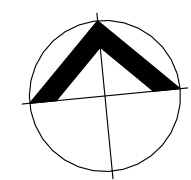
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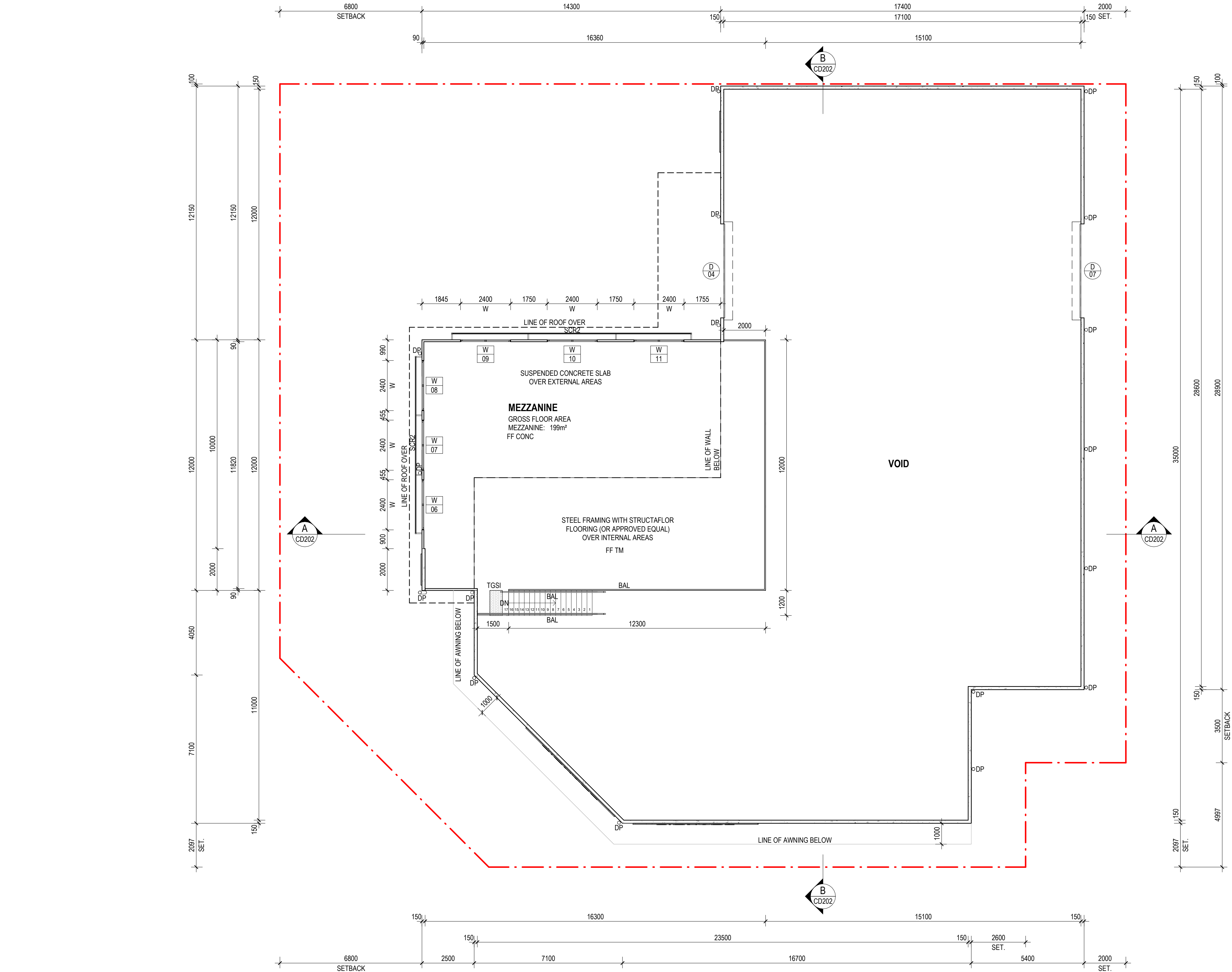
BRDG GROUP
SUNSHINE COAST
BRISBANE
BUILDING DESIGN
INTERIOR DESIGN
DESIGN MANAGEMENT
GRAPHIC DESIGN

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PROJECT
INDUSTRIAL DEVELOPMENT
LOCATION
LOT 1115 CNR STRONG ST & ABELES ST, BARINGA
CLIENT
FIRST CHOICE COMMERCIAL
TITLE
SITE & GROUND FLOOR PLAN



PROJECT
INDUSTRIAL DEVELOPMENT
LOCATION
LOT 1115 CNR STRONG ST & ABELES ST, BARINGA
CLIENT
FIRST CHOICE COMMERCIAL
TITLE
SITE & GROUND FLOOR PLAN



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BICYCLES (1/500m²) Minimum 5
REQUIRED: 5
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SERVICE VEHICLE PROVISIONS

WCV: TEMPORARY DRIVEWAY SPACE
HRV: TEMPORARY DRIVEWAY SPACE

WALL TYPE LEGEND

CONCRETE TILT-UP PANEL
90mm STUD

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ENERGY EFFICIENCY

THERMAL INSULATION

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GLAZING

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LEGEND

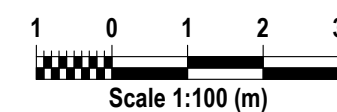
BAL: BALUSTRADE
CONC: CONCRETE
DP: DOWNPIPE
SCR2: SCREEN TYPE 2
TGSi: TACTILE GROUND SURFACE INDICATOR
TM: TIMBER

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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2026/CAS/4586

Date: 01 June 2026



01 MEZZANINE PLAN
LOT 1115 STRONG STREET 1 : 100

ISSUE	DESCRIPTION	DRAWN	DATE

PRELIMINARY

17.03.2026

SITE INFORMATION

LOT: 1115 ON PLAN: SP330057

LOCALITY: BARINGA

AREA: 1445m2

BUILDING INFORMATION

BUILDING CLASSIFICATION: 7 / 8

CONSTRUCTION TYPE: C

GENERAL NOTES

CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS

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SUNSHINE COAST
BRISBANE

BUILDING DESIGN
INTERIOR DESIGN
DESIGN MANAGEMENT
GRAPHIC DESIGN

Interiors ■ Residential ■ Commercial ■ Planning ■ Hospitality ■ Institutional

ABN 60 151 445 851 ■ QBC12 190627

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PROJECT

INDUSTRIAL DEVELOPMENT

LOCATION

LOT 1115 CNR STRONG ST & ABELES ST, BARINGA

CLIENT

FIRST CHOICE COMMERCIAL

TITLE

MEZZANINE FLOOR PLAN

DATE

FEB 2026

SCALE

A1: 1:100 A3: 1:200

DRAWING NO.

2747 - CD102

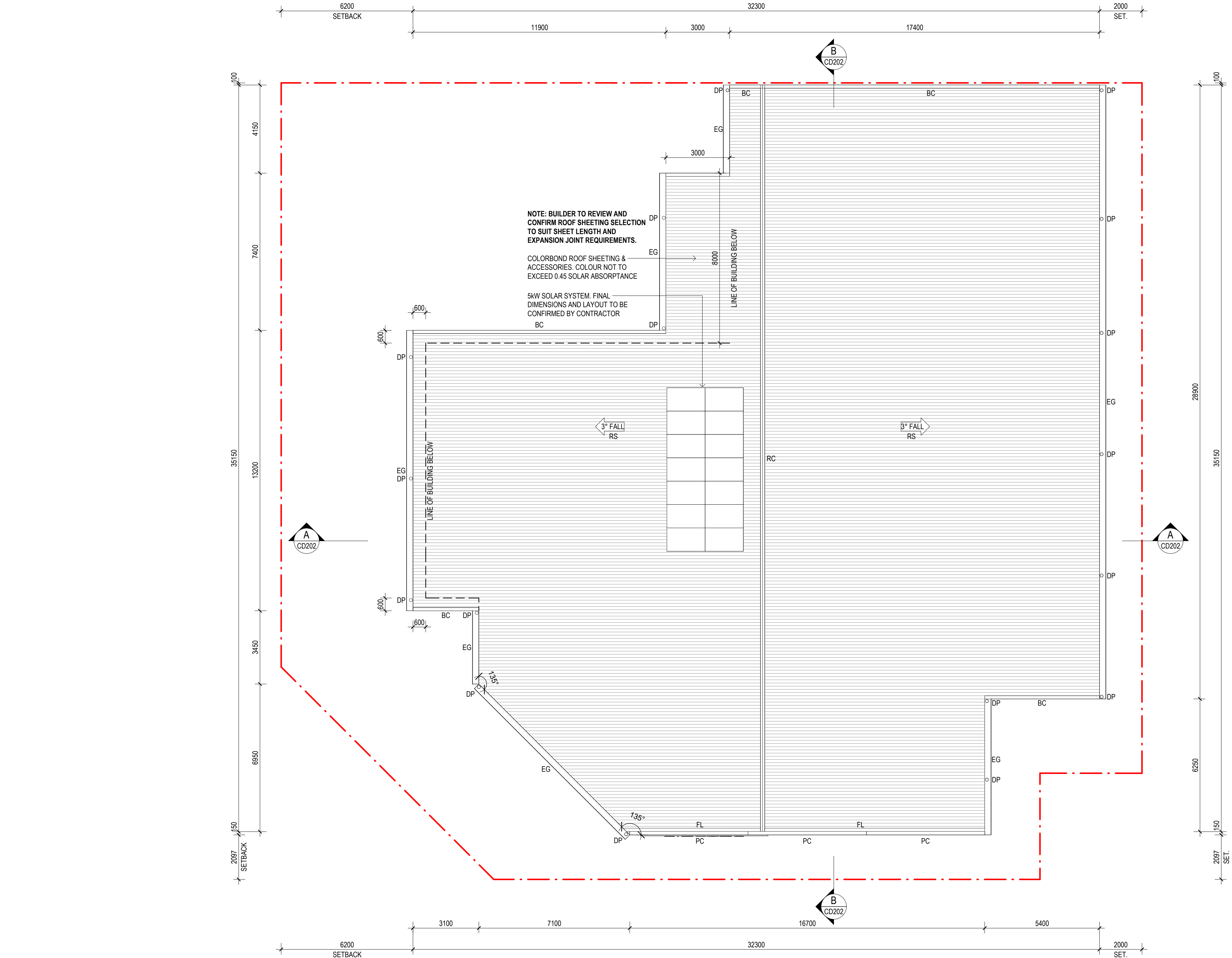
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CO

CHECKED

REVISION

PRELIMINARY
17.03.2026



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PROVIDED: 14

BICYCLES (1/500m²) Minimum 5
REQUIRED: 5
PROVIDED: 5

SERVICE VEHICLE PROVISIONS

WCV: TEMPORARY DRIVEWAY SPACE
HRV: TEMPORARY DRIVEWAY SPACE

ROOF PLAN NOTES

ROOF PLANS TO BE READ IN CONJUNCTION WITH STRUCTURAL AND HYDRAULIC ENGINEER'S DRAWINGS

ROOF SHEETING TO BE INSTALLED TO MANUFACTURER'S SPECIFICATION

GUTTER SIZE & PROFILE TO BE IN ACCORDANCE WITH HYDRAULIC ENGINEERS SPECIFICATION

PROVIDE A PERMANENT ROOF ACCESS SAFETY SYSTEM TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC), RELEVANT AUSTRALIAN STANDARDS, AND THE WORK HEALTH AND SAFETY ACT & REGULATION 2011

INSULATION

- PROVIDE INSULATION TO THE UNDERSIDE OF ROOF SHEETING AS REQUIRED BY THE NCC AND THE ENERGY EFFICIENCY REPORT PREPARED FOR THIS PROJECT
- INSULATION TO BE INSTALLED TO MANUFACTURER'S RECOMMENDATION

ALL ROOF PENETRATIONS TO BE ADEQUATELY FLASHED AND SEALED TO ENSURE WATER TIGHT SEAL

LOCATION OF SERVICES PENETRATIONS TO BE CONFIRMED ON SITE

WIND REGION REQUIREMENTS

- ALL ROOF SHEETING, FIXINGS, FITTINGS, AND FLASHINGS TO BE INSTALLED TO NCC, RELEVANT AUSTRALIAN STANDARDS, AND MANUFACTURER'S REQUIREMENTS TO SUIT WIND CATEGORY FOR THE SITE

ENERGY EFFICIENCY

THERMAL INSULATION

- ALL THERMAL INSULATION TO CONDITIONED SPACES TO COMPLY WITH BERS REPORT PREPARED FOR THE PROJECT.
- TO COMPLY WITH THE NCC.

GLAZING

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LEGEND

BC: BARGE CAPPING
DP: DOWNPIPE
EG: EAVES GUTTER
FL: FLASHING
PC: PARAPET COPING
RC: RIDGE CAPPING
RS: ROOF SHEETING

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PLANS AND DOCUMENTS referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026/CAS/4586

Date: 01 June 2026



01 ROOF PLAN
LOT 1115 STRONG STREET 1 : 100

PRELIMINARY
17.03.2026

SITE INFORMATION

LOT: 1115 ON PLAN: SP330057
LOCALITY: BARINGA
AREA: 1445m²

BUILDING INFORMATION

BUILDING CLASSIFICATION: 7 / 8
CONSTRUCTION TYPE: C

GENERAL NOTES

CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS

ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS

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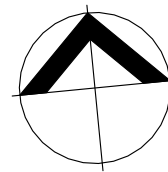
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PROJECT

INDUSTRIAL DEVELOPMENT

LOCATION

LOT 1115 CNR STRONG ST & ABELES ST, BARINGA

CLIENT

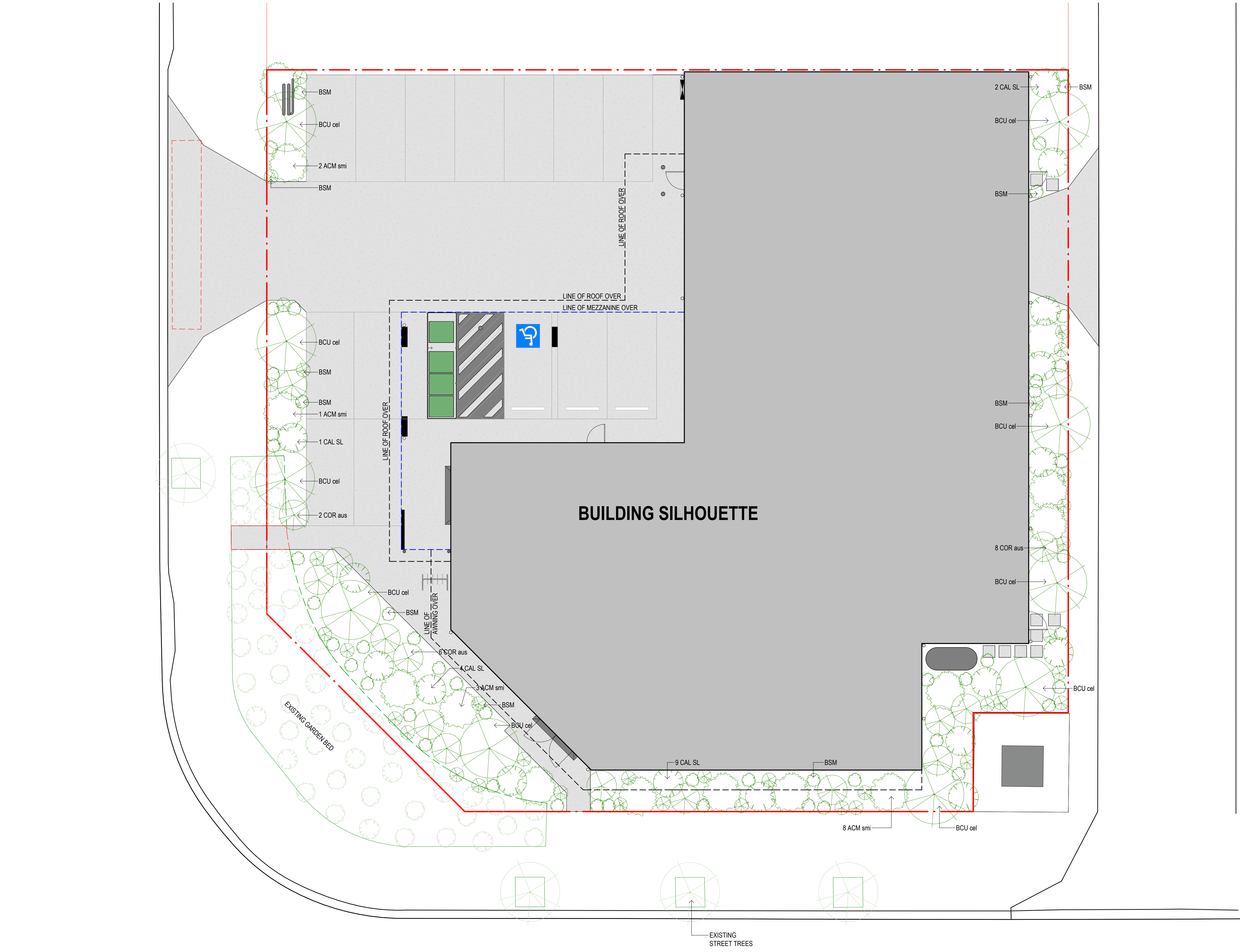
FIRST CHOICE COMMERCIAL

TITLE

ROOF PLAN

1 0 1 2 3
Scale 1:100 (m)

DATE	DRAWN
FEB 2026	CO
SCALE	CHECKED
A1: 1:100 A3: 1:200	
DRAWING NO.	REVISION
2747 - CD103	



PLANT SCHEDULE			
TREES			
CODE	BOTANICAL NAME	MIN. POT. SIZE	MIN. HT. & SPREAD
ACM smi	ACMENA smithii	100L	1500 x 600mm
BCU cel	BUCKINGHAMIA celsissima	200L	1500 x 600mm
SHRUBS			
CODE	BOTANICAL NAME	MIN. POT. SIZE	MIN. HT. & SPREAD
CAL SL	CALLISTEMON viminalis	200mm	450 x 250mm
COR aus	CORDYLINE australis	300mm	600 x 600mm
GROUND COVERS			
CODE	BOTANICAL NAME	MIN. POT. SIZE	MIN. HT. & SPREAD
BSM	BRACHYSCOME multifida Break O Day	140mm	140mm
STREET TREES			
CODE	BOTANICAL NAME	MIN. POT. SIZE	MIN. HT. & SPREAD
BAC cit	BACKHOUSIA citriodora	100L	1500 x 600mm
NOTE: ALL PLANT TYPES AND LOCATIONS TO BE CONFIRMED BY BUILDER AND CLIENT ON SITE			
STREET TREES TO BE RELOCATED WHERE POSSIBLE			

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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2026/CAS/4586

Date: 01 June 2026

01 LANDSCAPING PLAN

LOT 1115 STRONG STREET 1 : 100

PRELIMINARY

17.03.2026

ISSUE	DESCRIPTION	DRAWN	DATE

SITE INFORMATION

LOT: 1115 ON PLAN: SP330057

LOCALITY: BARINGA

AREA: 1445m2

BUILDING INFORMATION

BUILDING CLASSIFICATION: 7 / 8

CONSTRUCTION TYPE: C

GENERAL NOTES

CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS

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SUNSHINE COAST
BRISBANE

BUILDING DESIGN
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PROJECT
INDUSTRIAL DEVELOPMENT

LOCATION
LOT 1115 CNR STRONG ST & ABELES ST, BARINGA

CLIENT
FIRST CHOICE COMMERCIAL

TITLE
LANDSCAPING PLAN

DATE	DRAWN
FEB 2026	CO
SCALE	CHECKED
A1: 1:100 A3: 1:200	
DRAWING NO.	REVISION
2747 - CD104	

NOTE:
CEILING HEIGHTS AND OVERALL INTERNAL
SHED HEIGHT CLEARANCE TO BE CONFIRMED
BUILDING PAD HEIGHT TO BE DETERMINED BY
CIVIL ENGINEER

ALL INFORMATION SHOWN IS
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COORDINATION. INDICATIVE SIZE
AND LOCATIONS SHOWN FOR
COLUMNS & DOWNPIPES.

ELEVATION NOTES

ALL ELEVATION AND SECTION DRAWINGS TO
BE READ IN CONJUNCTION WITH DOOR, GATE,
WINDOW, AND CURTAIN WALL SCHEDULES

REFER TO EXTERIOR AND INTERIOR FINISHES
SCHEDULES FOR FURTHER INFORMATION ON
MATERIAL SELECTIONS AND MATERIAL
FINISHES

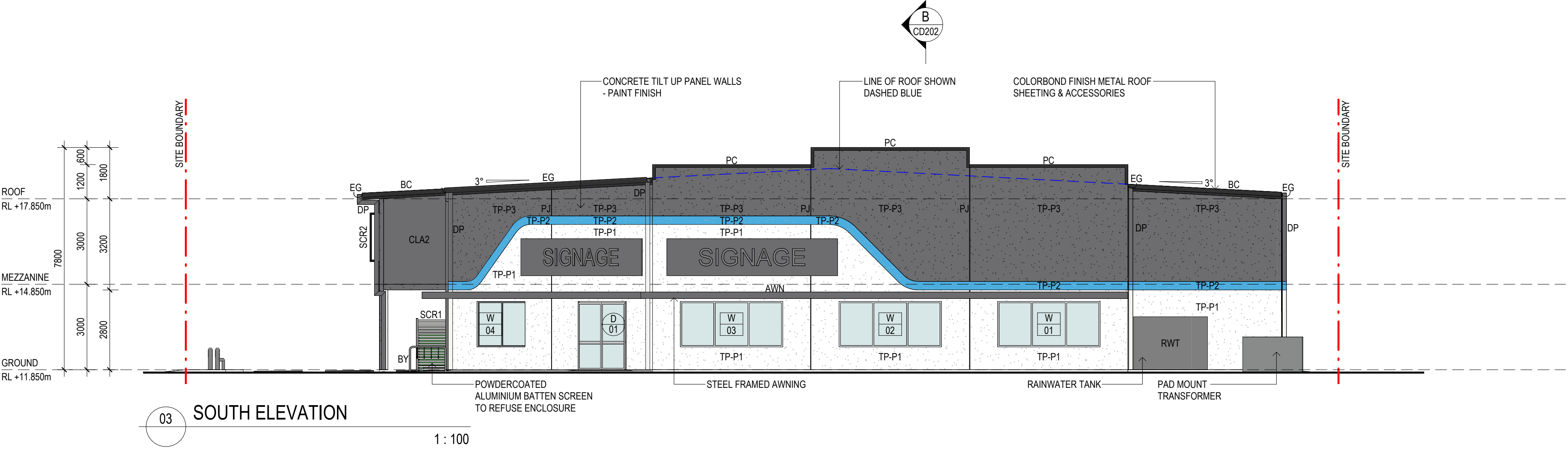
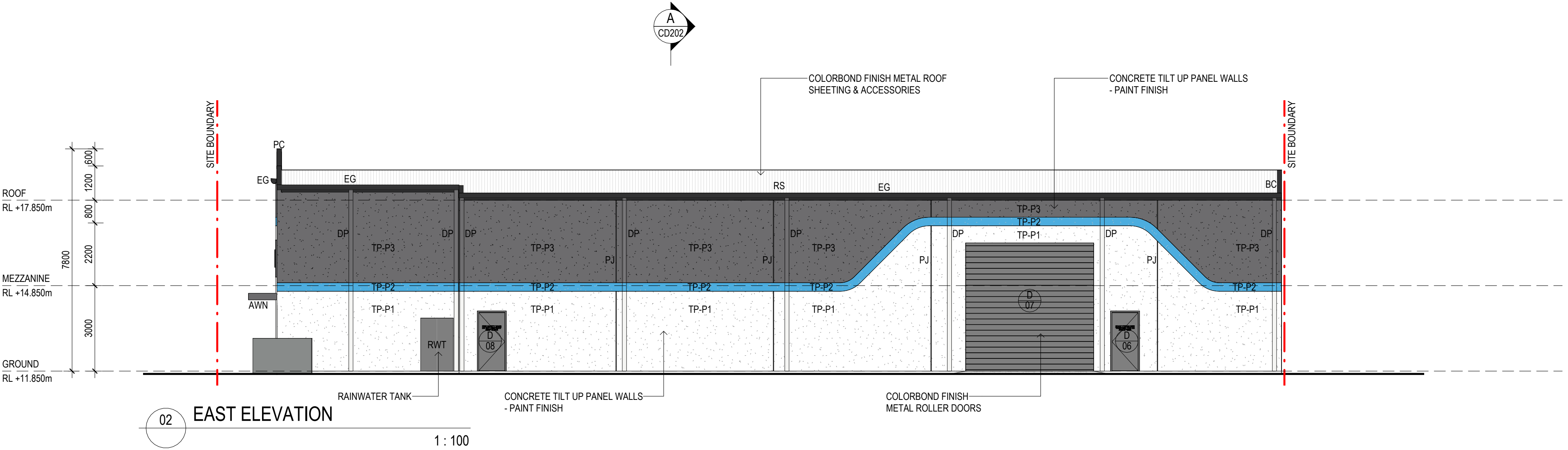
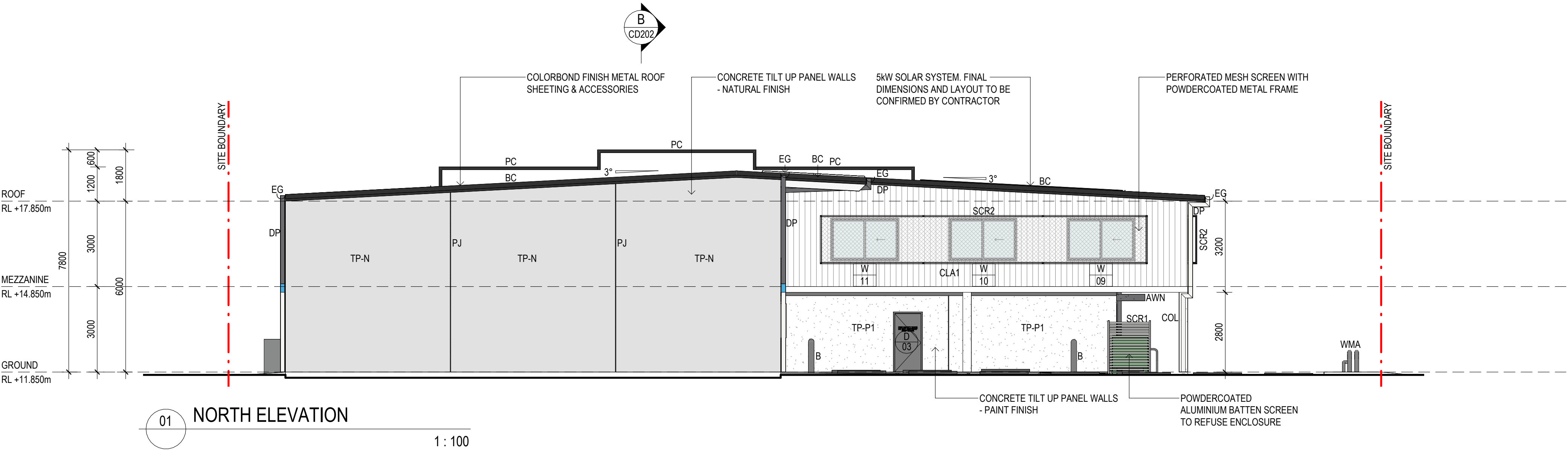
ALL CORPORATE SIGNAGE TO BE SUPPLIED
AND INSTALLED BY OTHERS

ENERGY EFFICIENCY

- THERMAL INSULATION
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 - TO COMPLY WITH THE NCC.
- GLAZING
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LEGEND

AWN	AWNING
B	BOLLARD
BC	BARGE CAPPING
BY	BICYCLE RACK
CLA1	CLADDING TYPE 1
CLA2	CLADDING TYPE 2
COL	COLUMN
DP	DOWNPIPE
EG	EAVES GUTTER
PC	PARAPET COPING
PJ	PANEL JOINT
RS	ROOF SHEETING
RWT	RAINWATER TANK
SCR1	SCREEN TYPE 1
SCR2	SCREEN TYPE 2
TP-N	TILT-UP PANEL - NATURAL FINISH
TP-P1	TILT-UP PANEL - PAINT FINISH 1
TP-P2	TILT-UP PANEL - PAINT FINISH 2
TP-P3	TILT-UP PANEL - PAINT FINISH 3
WMA	WATER SUB-METER ASSEMBLY



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026/CAS/4586
Date: 01 June 2026

Queensland
Government

PRELIMINARY
17.03.2026

SITE INFORMATION

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LOCALITY: BARINGA
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**BRAD READ DESIGN
GROUP PTY LTD**

PROJECT

INDUSTRIAL DEVELOPMENT

LOCATION

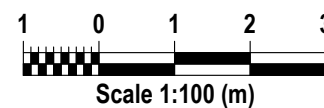
LOT 1115 CNR STRONG ST & ABELES ST, BARINGA

CLIENT

FIRST CHOICE COMMERCIAL

TITLE

ELEVATIONS



DATE	DRAWN
FEB 2026	CO
SCALE	CHECKED
A1: 1:100 A3: 1:200	
DRAWING NO.	REVISION
2747 - CD201	

NOTE:
CEILING HEIGHTS AND OVERALL INTERNAL
SHED HEIGHT CLEARANCE TO BE CONFIRMED
BUILDING PAD HEIGHT TO BE DETERMINED BY
CIVIL ENGINEER

ALL INFORMATION SHOWN IS
PRELIMINARY ONLY & PENDING
FURTHER CONSULTANT
COORDINATION. INDICATIVE SIZE
AND LOCATIONS SHOWN FOR
COLUMNS & DOWNPIPES.

ELEVATION NOTES

ALL ELEVATION AND SECTION DRAWINGS TO
BE READ IN CONJUNCTION WITH DOOR, GATE,
WINDOW, AND CURTAIN WALL SCHEDULES

REFER TO EXTERIOR AND INTERIOR FINISHES
SCHEDULES FOR FURTHER INFORMATION ON
MATERIAL SELECTIONS AND MATERIAL
FINISHES

ALL CORPORATE SIGNAGE TO BE SUPPLIED
AND INSTALLED BY OTHERS

ENERGY EFFICIENCY

THERMAL INSULATION

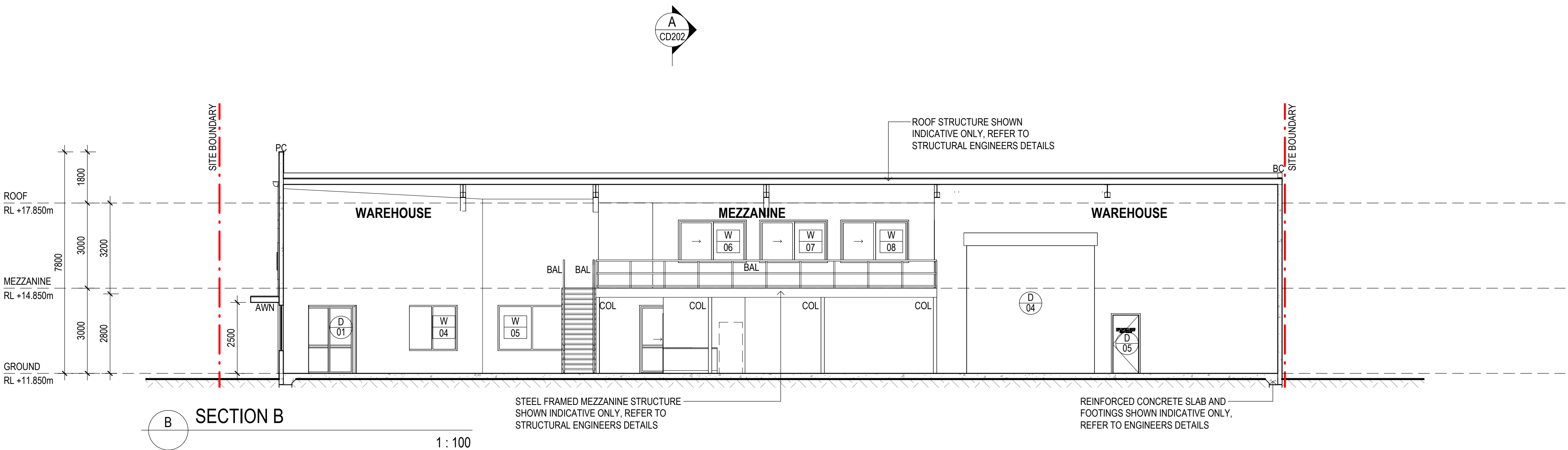
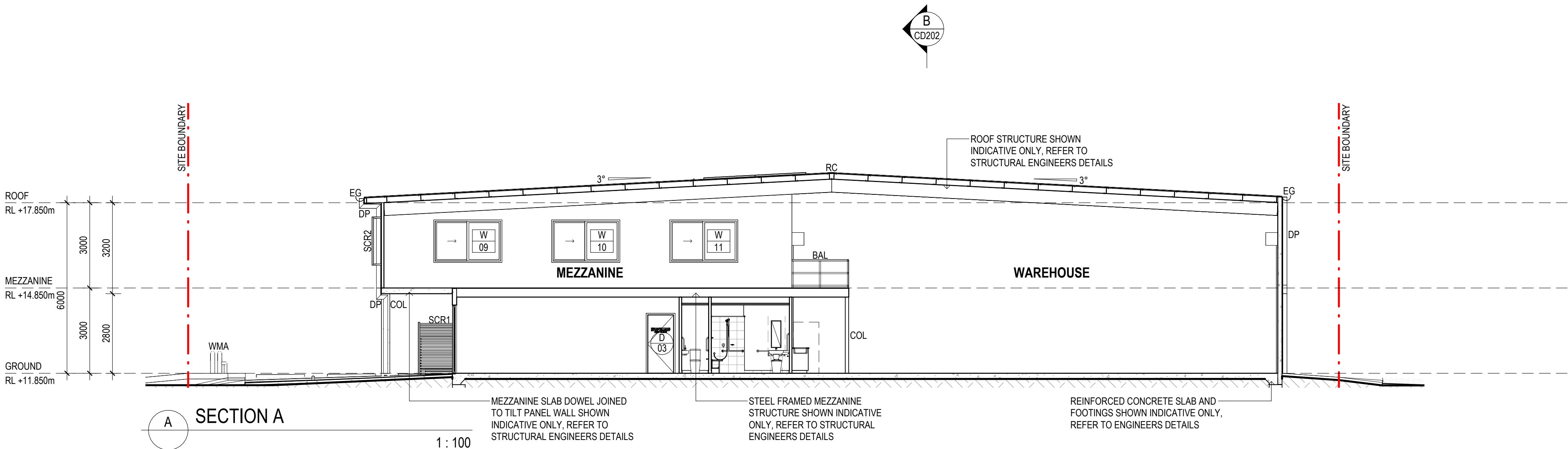
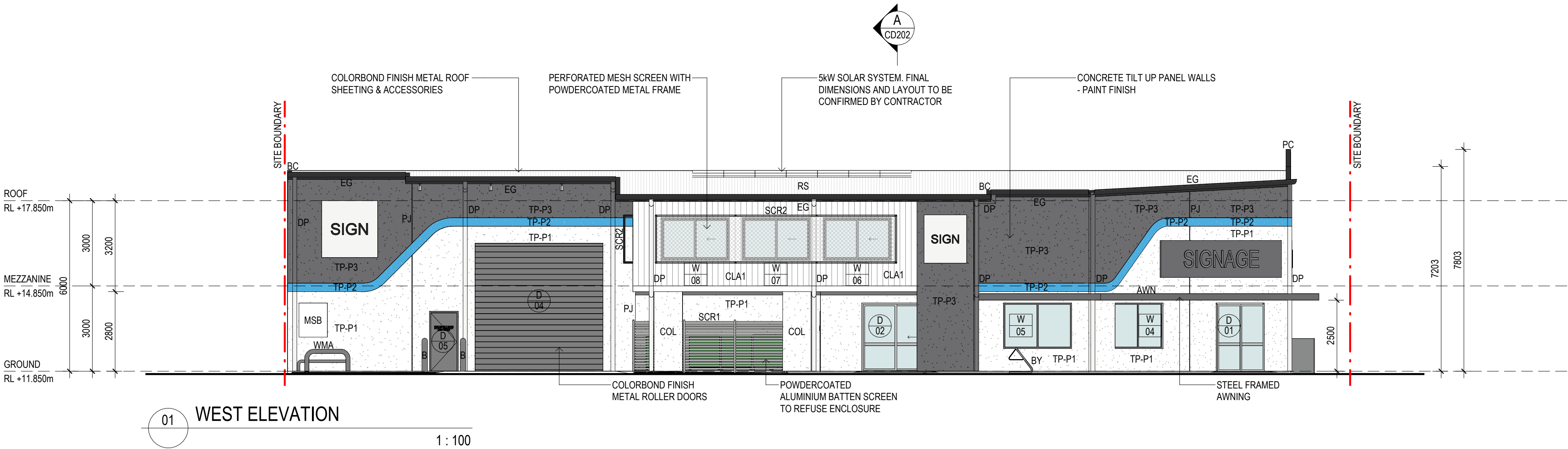
- ALL THERMAL INSULATION TO
CONDITIONED SPACES TO COMPLY WITH
BERS REPORT PREPARED FOR THE
PROJECT.
- TO COMPLY WITH THE NCC.

GLAZING

- ALL GLAZING TO COMPLY WITH MINIMUM
REQUIREMENTS OUTLINED IN BERS
REPORT PREPARED FOR THE PROJECT.
- TO COMPLY WITH THE NCC.

LEGEND

AWN	AWNING
B	BOLLARD
BAL	BALUSTRADE
BC	BARGE CAPPING
BY	BICYCLE RACK
CLA1	CLADDING TYPE 1
COL	COLUMN
DP	DOWNPIPE
EG	EAVES GUTTER
MSB	MAIN SWITCHBOARD
PC	PARAPET COPING
PJ	PANEL JOINT
RC	RIDGE CAPPING
RS	ROOF SHEETING
SCR1	SCREEN TYPE 1
SCR2	SCREEN TYPE 2
TP-P1	TILT-UP PANEL - PAINT FINISH 1
TP-P2	TILT-UP PANEL - PAINT FINISH 2
TP-P3	TILT-UP PANEL - PAINT FINISH 3
WMA	WATER SUB-METER ASSEMBLY



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026/CAS/4586

Date: 01 June 2026



1 0 1 2 3
Scale 1:100 (m)

ISSUE	DESCRIPTION	DRAWN	DATE	SITE INFORMATION LOT: 1115 ON PLAN: SP330057 LOCALITY: BARINGA AREA: 1445m2 BUILDING INFORMATION BUILDING CLASSIFICATION: 7 / 8 CONSTRUCTION TYPE: C		GENERAL NOTES CONTRACTOR TO CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS DO NOT SCALE OFF DRAWINGS. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE READINGS REFER TO CONSULTING ENGINEERS' DRAWINGS FOR ALL CIVIL, STRUCTURAL, MECHANICAL, HYDRAULIC, & ELECTRICAL DETAILS		Sunshine Coast Kon-Tiki Business Centre Tower 2, Level 4 - Tenancy T2.411 55 Plaza Parade Maroochydore QLD 4558 T: +61 7 5443 3726 Brisbane Office 3, 36 Bryants Road Loganholme QLD 4129 T: +61 7 3806 1855 E: admin@brdg.com.au www.brdg.com.au ABN: 60 121 465 891 QBCC: 1180387 Interior ■ Residential ■ Commercial ■ Planning ■ Hospitality ■ Institutional BRDG GROUP SUNSHINE COAST BRISBANE BUILDING DESIGN INTERIOR DESIGN DESIGN MANAGEMENT GRAPHIC DESIGN © This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act 1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast, transmitted, or altered in any way without the prior written permission of: BRAD READ DESIGN GROUP PTY LTD		PROJECT INDUSTRIAL DEVELOPMENT LOCATION LOT 1115 CNR STRONG ST & ABELES ST, BARINGA CLIENT FIRST CHOICE COMMERCIAL TITLE ELEVATIONS & SECTIONS		DATE FEB 2026 SCALE A1: 1:100 A3: 1:200 DRAWING NO. 2747 - CD202		DRAWN CO CHECKED REVISION	
PRELIMINARY 17.03.2026															

PRELIMINARY
17.03.2026