

	AIR QUALITY MANAGEMENT	NOISE MANAGEMENT	VIBRATION CONTROL	ON-SITE MACHINERY SERVICING AND MAINTENANCE	STORAGE AND HANDLING OF DANGEROUS GOODS ON-SITE	WASTE MANAGEMENT	VISUAL IMPACT MANAGEMENT	SITE SECURITY AND PROTECTION OF EMPLOYEES AND THE PUBLIC
ISSUE	- INCREASED WINDBORNE SEDIMENT LOADS DURING THE CONSTRUCTION PHASE.	- PUBLIC NOISE NUISANCE FROM CONSTRUCTION VEHICLES AND EQUIPMENT. - WORKER HEALTH AND SAFETY.	- VIBRATION DAMAGE TO NEIGHBOURING STRUCTURES. - NUISANCE.	- POTENTIAL FOR SPILLAGE OR LEAKAGE OF CHEMICAL AND PETROLEUM PRODUCTS AND REGULATED WASTES TO WATERS.	- POTENTIAL FOR SPILLAGE OR LEAKAGE OF CHEMICAL AND PETROLEUM PRODUCTS AND REGULATED WASTES TO WATERS.	- APPROPRIATE DISPOSAL OF ALL CONSTRUCTION SITE WASTE.	- LOSS OF VISUAL AMENITY DUE TO CONSTRUCTION, MACHINERY AND EQUIPMENT.	- UNAUTHORISED ACCESS TO THE SITE LEADING TO VANDALISM, THEFT OR PERSONAL INJURY.
OBJECTIVE	- TO REDUCE CONSTRUCTION IMPACTS ON AIR QUALITY AND TO HELP MINIMISE INCONVENIENCE TO NEIGHBOURING PROPERTIES.	- TO UNDERTAKE ALL REASONABLE AND PRACTICABLE MEASURES TO PREVENT OR MINIMISE NOISE NUISANCE TO NEIGHBOURING PROPERTIES.	- TO ENSURE GROUND VIBRATIONS DO NOT CAUSE DAMAGE TO ADJACENT BUILDINGS OR CAUSE ANNOYANCE TO NEARBY RESIDENTS.	- TO MINIMISE THE EFFECT OF ON-SITE MACHINERY MAINTENANCE. - TO UNDERTAKE ALL REASONABLE AND PRACTICAL MEASURES TO MINIMISE CONTAMINATION OF LAND AND WATERS.	- TO MINIMISE THE RISK OF HEALTH HAZARDS CAUSED BY THE STORAGE AND TRANSPORT OF DANGEROUS GOODS. - TO UNDERTAKE ALL REASONABLE AND PRACTICAL MEASURES TO MINIMISE CONTAMINATION OF LAND AND WATERS.	- TO TAKE ALL REASONABLE AND PRACTICABLE STEPS TO REDUCE AND RECYCLE WASTE DURING THE CONSTRUCTION PHASE AND TO DISPOSE OF IT IN AN APPROPRIATE MANNER.	- TO UNDERTAKE CONSTRUCTION USING ALL REASONABLE AND PRACTICABLE MEASURES TO MINIMISE IMPACT ON VISUAL AMENITY.	- TO LIMIT ACCESS TO THE CONSTRUCTION SITE FOR AUTHORISED PERSONAL DURING WORKS HOURS ONLY.
PERFORMANCE	- STANDARD CONSTRUCTION HOURS SHALL BE LIMITED TO 7.00AM TO 6.00PM MONDAYS TO SATURDAYS UNLESS OTHERWISE AUTHORISED BY COUNCIL. - NO WORKS TO BE CARRIED OUT ON A SUNDAY OR PUBLIC HOLIDAYS. - DUST PLUMES CREATED FROM THE CONSTRUCTION SITE AND/OR HAULAGE OF MATERIALS ARE TO BE ELIMINATED - NO COMPLAINTS FROM NEIGHBOURS	- STANDARD CONSTRUCTION HOURS SHALL BE LIMITED TO 7.00AM TO 6.00PM MONDAYS TO SATURDAYS. - NO UNREASONABLE NOISE RELEASES - IN ABSENCE OF QUANTITATIVE MONITORING DURING THE CONSTRUCTION PHASE, NOISE LEVELS ARE TO BE CONTROLLED TO ACCORD WITH ACCEPTED INDUSTRY AND REGULATORY REQUIREMENTS.	- STANDARD CONSTRUCTION HOURS SHALL BE LIMITED TO 7.00AM TO 6.00PM MONDAYS TO SATURDAYS. - VIBRATION IS TO COMPLY WITH BS 6472/ PR SECTION 5.7 OF MRS 11:51 OR EQUIVALENT. - NO EXCESSIVE COMPLAINTS FROM NEIGHBOURING RESIDENCES - NO UNREASONABLE VIBRATIONS	- NO RELEASE OF CONTAMINANTS TO LAND OR WATER. - AVOID ANY ADVERSE EFFECTS ON THE CONSTRUCTION SITE DUE TO THE MAINTENANCE AND SERVICING OF MACHINERY.	- ALL DANGEROUS GOODS TO BE STORED, HANDLED AND BUNDED, ACCORDING TO AUSTRALIAN STANDARDS, INCLUDING AS2508, AS1678, AS1940, AND AS2931. - NO RELEASE OF CONTAMINANTS TO LAND AND WATER	- ABSENCE OF WASTE AND LITTER ON THE CONSTRUCTION SITE, ACCESS ROAD AND BUFFERS. - NO COMPLAINTS.	- MINIMAL ADVERSE VISUAL IMPACT - NO EXCESSIVE COMPLAINTS.	- NO UNAUTHORISED ACCESS TO THE CONSTRUCTION SITE.
CONTROL MEASURES	- PRIOR TO COMMENCEMENT OF CONSTRUCTION, NEIGHBOURING RESIDENTS AND EMERGENCY SERVICES SHALL BE NOTIFIED IN WRITING (BY LETTER DROP) OF THE CONSTRUCTION PERIOD, DESIGNATED WORKING HOURS AND CONTACTS REGARDING COMPLAINTS OF EXCESSIVE AIR QUALITY DETERIORATION - VEGETATIVE GROUND COVERS ARE TO BE MAINTAINED WHERE POSSIBLE - ACTIVITIES ARE TO ONLY BE CONDUCTED DURING SUITABLE WEATHER CONDITIONS. - A WATER TRUCK OR SPRAY APPARATUS IS TO BE PROVIDED ON SITE WHEN REQUIRED - EXPOSED AREAS SUCH AS CLEARED AREAS AND STOCKPILES, ARE TO BE WATERED AND KEPT DAMP IN ORDER TO MINIMISE EROSION OR THE POTENTIAL FOR DUST CREATION - VEHICLE SPEED IS TO BE LIMITED ON SITE TO MINIMISE DUST GENERATION - TRUCKS ENTERING OR EXITING THE SITE SHALL HAVE THEIR LOADS COVERED - ALL CONSTRUCTION VEHICLES EXITING SITE SHALL PASS THROUGH A WHEEL WASH DOWN AND/OR DRIVE OVER A SHAKE DOWN GRID WHICH WILL BE LOCATED AT THE SITE ENTRY/EXIT - HAULAGE ROUTES SHALL AVOID RESIDENTIAL AREAS AND USE SEALED ROADS WHERE POSSIBLE - MACHINERY SHALL BE FITTED DUST FILTERS - ALL EQUIPMENT AND VEHICLES ARE TO MEET RELEVANT EMISSION STANDARDS. - MAINTENANCE OF WIND BREAKS AND BARRIERS WHERE POSSIBLE - STOCKPILES HEIGHTS ARE TO BE KEPT TO MANAGEABLE HEIGHTS FOR DUST AND EROSION CONTROL PURPOSES - PROTECTION OF LONG TERM SOIL STOCK PILES WITH REVEGETATION, WATERING/MOISTURE OR HYDRO MULCHING WHERE PRACTICABLE - REVEGETATE AS SOON AS POSSIBLE FOLLOWING CONSTRUCTION	- PRIOR TO COMMENCEMENT OF CONSTRUCTION, NEIGHBOURING RESIDENTS AND EMERGENCY SERVICES SHALL BE NOTIFIED IN WRITING (BY LETTER DROP) OF THE CONSTRUCTION PERIOD, DESIGNATED WORKING HOURS AND CONTACTS REGARDING COMPLAINTS OF EXCESSIVE NOISE. - ADJACENT RESIDENCES ARE TO BE ADVISED OF ANY WORKS TO BE CONDUCTED OUT OF THE STANDARD CONSTRUCTION HOURS - ALL CONSTRUCTION STAFF ARE TO HAVE ADEQUATE NOISE PROTECTION AS PER WORK PLACE HEALTH AND SAFETY. - ALL PLANT AND MACHINERY USED DURING CONSTRUCTION MUST BE FITTED WITH EXHAUST SILENCES OR NOISE SUPPRESSION EQUIPMENT, MUST BE IN GOOD OPERATING CONDITION AND MEET EMISSION STANDARDS. - HAULAGE ROUTES SHALL AVOID RESIDENTIAL AREAS AND USE DEDICATED ROUTES ROADS WHERE POSSIBLE	- PRIOR TO COMMENCEMENT OF CONSTRUCTION, NEIGHBOURING RESIDENTS AND EMERGENCY SERVICES SHALL BE NOTIFIED IN WRITING (BY LETTER DROP) OF THE CONSTRUCTION PERIOD, DESIGNATED WORKING HOURS AND CONTACTS REGARDING COMPLAINTS OF EXCESSIVE VIBRATION. - USE CONSTRUCTION TECHNIQUES THAT MINIMISE THE NEED FOR BLASTING, ROCK BREAKING AND PILE DRIVING. - UNDERTAKE GEOTECHNICAL INVESTIGATION AS NECESSARY TO PREDICT VIBRATION EFFECTS OF CONSTRUCTION TECHNIQUES. - UNDERTAKE ACTIVITIES LIKELY TO CAUSE VIBRATION DURING NORMAL CONSTRUCTION HOURS.	- A BUNDED SERVICE AREA IS REQUIRED FOR MAINTENANCE AND SERVICING -SIGNIFICANT VEHICLE MAINTENANCE SHALL BE CONDUCTED OFF-SITE AT APPROPRIATE FACILITIES. - LIGHT MAINTENANCE MAY BE UNDERTAKEN ON SITE, IN THE BUNDED SERVICE AREA. - THE CONTRACTOR IS TO PROVIDE SUITABLE ACCESS SURFACING FOR ALL WEATHER PURPOSES. - SAFE HANDLING TECHNIQUES AND REQUIRED REFUELING. - WASTE OILS ARE TO BE COLLECTED AND TRANSPORTED TO RECYCLERS OR DESIGNATED DISPOSAL SITES. - SERVICING OF PLANT AND EQUIPMENT SHOULD BE UNDERTAKEN OUTSIDE OF NORMAL CONSTRUCTION HOURS.	- DANGEROUS GOODS SHALL BE STORED SEPARATELY IN BUNDED AREAS NOT ASSESSABLE TO UNQUALIFIED PERSONS WITHOUT APPROPRIATE TRAINING IN ITS HANDLING AND FIRST AID PROCEDURES. - CHEMICAL DATA, HANDLING AND SAFETY SHEETS FOR ALL DANGEROUS GOODS WILL BE KEPT IN THE SITE OFFICE. - ONLY NECESSARY QUANTITIES OF CHEMICALS, FUELS AND OILS SHOULD BE KEPT ON THE CONSTRUCTION SITE AT ANY TIME. - EQUIPMENT IS TO BE AVAILABLE IN FUEL STORAGE AREAS AND IN VEHICLES TO CONTAIN AND CLEAN UP ANY SPILLS THAT MAY OCCUR. - RELEASE ANY CLEAN STORMWATER ACCUMULATED IN TEMPORARY BUNDED AREAS.	- DESIGNATE A WASTE COLLECTION AREA ON-SITE THAT DOES NOT RECEIVE A SUBSTANTIAL AMOUNT OF RUNOFF FROM UPLAND AREAS AND DOES NOT DRAIN DIRECTLY TO WATER BODY. - ENSURE REGULAR COLLECTION OF ON-SITE WASTE. - DISPOSAL OF WASTE COLLECTION BINS ARE TO BE CLEARLY MARKED "CONVENTIONAL WASTE", "RECYCLABLE" AND "REGULATED WASTE". ENSURE THAT ALL CONTAINERS ARE FITTED WITH LIDS' - REGULATED WASTES SHALL BE SEALED IN A APPROPRIATE LICENSED TO RECEIVE SUCH WASTE. - SCHEDULE WASTE COLLECTION IS REQUIRED TO PREVENT THE CONTAINERS FROM OVERFILLING.	- RUBBISH AND WASTE TO BE COLLECTED FROM SITE - SURPLUS CONSTRUCTION MATERIAL TO BE PROMPTLY REMOVED FROM CONSTRUCTION SITE. - VEGETATION DISTURBANCE TO BE MINIMISED	- ALL ACCESS TO THE SITE IS TO BE VIA THE NOMINATED POINT ON PLAN - BARRICADES AND SAFETY FENCING SHALL BE ERECTED AROUND THE SITE AND ADJACENT TO PUBLIC ACCESS WAYS. THE SITE ACCESS IS TO BE GATED. -GENERALLY, CONSTRUCTION ACTIVATES ARE TO BE FENCED/HOARDED FROM ADJACENT PROPERTIES. - THE CONSTRUCTION SITE COMPOUND IS TO BE LOCKED AT ALL TIMES OUTSIDE OF WORK HOURS. - THE SITE SHALL BE APPROPRIATELY MAINTAINED TO PROVIDE A SAFE WORK ENVIRONMENT FOR ALL PERSONAL, VISITORS AND THE GENERAL PUBLIC. - APPROPRIATE WARNING SIGNS SHALL BE ERECTED FOR THE WORK FORCE AND THE GENERAL PUBLIC TO HIGHLIGHT HAZARDOUS ACTIVITIES WITHIN AND AROUND THE SITE INCLUDING: EXCAVATION, DEMOLITION, THE USE OF EXPLOSIVES, POWER TOOLS EXPOSURE TO HIGH NOISE EMISSIONS. -STRICT HOUSEKEEPING SHALL APPLY TO ALL ENTRIES USED FOR SITE ACCESS OR EGRESS, INCLUDING ENTRY TO SITE SHEDS AND EMPLOYEES FACILITIES.
RESPONSIBILITY	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE - THE PRINCIPAL IS RESPONSIBLE FOR PUBLIC NOTIFICATION VIA A LETTER DROP	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE - THE PRINCIPAL IS RESPONSIBLE FOR PUBLIC NOTIFICATION VIA THE LETTER DROP	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE.	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE.	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE.	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE.	- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGNATED SITE COMPOUND SECURITY FENCING - THE PRINCIPAL IS RESPONSIBLE FOR FENCING/ HOARDING TO THE ADJACENT PROPERTIES
MONITORING	- THE CONTRACTOR SHALL CONDUCT DAILY VISUAL INSPECTIONS OF THE SITE FOR DUST PLUMES. - A COMPLAINT REGISTER IS TO BE MAINTAINED	- A COMPLAINTS REGISTER TO BE MAINTAINED. - ALL GENUINE NOISE COMPLAINTS SHALL BE INVESTIGATED AND ASSESSED TO DETERMINE IF THE NOISE IS UNREASONABLE. SUCH INVESTIGATIONS MAY REQUIRE NOISE MONITORING TO DETERMINE IF A PROBLEM OF BREACH EXISTS.	- THE CONTRACTOR IS RESPONSIBLE FOR FREQUENT INSPECTIONS OF THE SITE DURING IMPACT WORKS	- THE CONTRACTOR IS RESPONSIBLE FOR DAILY VISUAL INSPECTIONS OF THE SITE.	- THE CONTRACTOR IS RESPONSIBLE FOR DAILY VISUAL INSPECTIONS OF THE SITE. - REGULAR INSPECTIONS WILL BE UNDERTAKEN OF ALL TEMPORARY CHEMICAL AND PETROLEUM PRODUCT STORAGE AREAS FOR LEAKAGES	- DAILY VISUAL INSPECTIONS OF THE SITE ARE TO BE CONDUCTED.	- REGULAR INSPECTIONS FOR UNREASONABLE VISUAL IMPACTS. - A COMPLAINT REGISTER IS TO BE MAINTAINED	- DAILY VISUAL INSPECTIONS OF THE SITE WILL BE UNDERTAKEN FOR ADEQUACY OF SITE SECURITY
CORRECTIVE ACTIONS	- CORRECTIVE ACTIONS WILL INCLUDE A REVIEW OF EXISTING CONTROL MEASURES FOR INADEQUACIES. - SHOULD COMPLAINTS ARISE, THE CONTRACTOR SHALL ENSURE MEASURES ARE TAKEN TO MODIFY THE OFFENDING EQUIPMENT OR MODIFY CONSTRUCTION PRACTICES TO REDUCE DUST LEVELS WITHIN RELEVANT GUIDELINES	- UNREASONABLE NOISE CAUSED BY MACHINERY IS TO BE REMEDIED BY APPROPRIATE REPAIRS AND A MAINTENANCE SCHEDULE REVIEW. - THE RELEVANT ACTIVITY MAY REQUIRE MODIFICATION OR RELOCATION. - SPECIFIC MACHINERY MAY REQUIRE AN ALTERATION TO ITS HOURS OF OPERATION. - CORRECTIVE ACTIONS WILL INCLUDE A REVIEW OF EXISTING CONTROL MEASURES FOR INADEQUACIES. - IN THE EVENT THAT A NON-CONFORMANCE HAS OCCURRED AS A RESULT OF POOR WORK PRACTICES, PERSONNEL ON SITE WILL BE MADE AWARE OF THE PROBLEM AND INFORMED OF ACCEPTABLE WORK PRACTICES.	- SHOULD COMPLAINTS ARISE, MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO MODIFY THE OFFENDING EQUIPMENT OR MODIFY CONSTRUCTION PRACTICES TO ENSURE VIBRATIONS ARE WITHIN RELEVANT GUIDELINES.	- THE CONTRACTOR SHALL ENSURE ON-SITE MACHINERY IS STORED WITHIN THE SECURE DESIGNATED COMPOUND AFTER WORKING HOURS. - THE CONTRACTOR SHALL ENSURE ANY UNAUTHORISED MAINTENANCE IS CEASED IMMEDIATELY AND MOVED OFF- SITE. - THE CONTRACTOR SHALL ENSURE ANY AREA DAMAGED BY HYDROCARBONS OR HAZARDOUS CHEMICALS IS FENCED, EXCAVATED AND REMOVED FROM SITE TO A DESIGNATED DUMPING AREA AND THE AREA RE-ESTABLISHED	- IF DAMAGED GOODS ARE SPILT, THE CONTRACTOR SHALL ENSURE THAT THE AREA IS ISOLATED AND MINIMISED. - PETROLEUM OR CHEMICAL SPILLAGES ARE TO BE IMMEDIATELY, CLEANED UP WITH ADSORBENT MATERIAL. - ABSORBENT MATERIALS USED FOR CLEAN UP OR WASTE DANGEROUS GOODS ARE TO BE PLACED AND SEALED IN AN APPROPRIATE CONTAINER MARKED "REGULATED WASTE" AND CONSIGNED TO A WASTE CONTRACTOR LICENSED TO RECEIVE SUCH WASTE FOR DISPOSAL AT AN APPROVED FACILITY. - THE DAMAGED AREA IS TO BE RE-ESTABLISHED	- PROMPT DELEGATION OF CLEAN UP WORKS. - INCREASED VIGILANCE	- VISUALLY OFFENSIVE COMPONENTS OF CONSTRUCTION SHOULD BE IDENTIFIED AND IF POSSIBLE MODIFIED IN CONSULTATION WITH COMPLAINT.	- INSTALLATION OF INCREASED SECURITY MEASURES REQUIRED.
REPORTING	- WEEKLY REPORTING BY THE PRINCIPLE CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN	- WEEKLY REPORTING BY THE PRINCIPLE CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN	- WEEKLY REPORTING BY THE PRINCIPLE CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN	- WEEKLY REPORTING BY THE PRINCIPLE CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN	- WEEKLY REPORTING BY THE PRINCIPLE CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN	- WEEKLY REPORTING BY THE PRINCIPLE CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN	- WEEKLY REPORTING BY THE PRINCIPLE CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN	- WEEKLY REPORTING BY THE PRINCIPLE CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2026/CAS/4586

Date: 01 June 2026



Status: **FOR APPROVAL**
NOT FOR CONSTRUCTION

Issue	Amendment	Date	Dt	NOTES	 Sunshine Coast Office 1/2, 13 Norval Court, Maroochydore Q 4558 PO Box 102, Mosslabata Q 4567 P: 07 5477 6437 E: admin.sc@empireengineering.com.au	 Bundaberg Office 9 Princess Street, Bundaberg Q 4670 PO Box 2052, Bundaberg Q 4670 P: 07 4154 4894 E: admin.cb@empireengineering.com.au	Client: FIRST CHOICE COMMERCIAL Project: PROPOSED INDUSTRIAL DEVELOPMENT LOT 1115 CNR STRONG ST & ABELS ST, BARINGA	Designed: SS Approved:  SEAN DWYER / RPEQ: 17012	Drawn: SMD Title: CONSTRUCTION MANAGEMENT PLAN	Date: MARCH 2026 Job Ref No: SC-10671	Scale: AS NOTED Drawing No: C005	Issue: A
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EROSION AND SEDIMENT CONTROL PROGRAM

1. THIS PROGRAM AND ASSOCIATED PLANS SHALL BE READ IN CONJUNCTION WITH THE SITE MANAGEMENT SPECIFICATION INCORPORATED IN THE CONTRACT DOCUMENTS. THE PROVISIONS OF THE SPECIFICATION ARE TO BE STRICTLY ADHERED TO.
2. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR IS TO PROVIDE A DETAILED PROGRAM TO THE SUPERINTENDENT SHOWING THE TIMING FOR ALL WORKS ASSOCIATED WITH THE PROJECT, NOMINATING, IN PARTICULAR, THE PROGRAM FOR INSTALLATION OF SOIL AND EROSION CONTROL SYSTEMS.
3. EARTHWORKS SHALL BE CARRIED OUT IN SUCH A MANNER THAT THE SITE IS MAINTAINED IN A WELL DRAINED CONDITION, AREAS OF LOOSE SOIL ARE MINIMISED AND CONCENTRATIONS OF STORM WATER ARE MINIMISED.
4. THE BASIC OBJECTIVES OF THE EROSION AND SEDIMENT CONTROL ARE:

- IDENTIFY CRITICAL AREAS AND PROVIDE SPECIAL ATTENTION TO THOSE AREAS.

- PLAN SITE LAYOUT SO THAT ACCESS TO ALL REQUIRED DRAINAGE EROSION AND SEDIMENT CONTROL MEASURES IS MAINTAINED.

- LIMIT EXPOSURE TIME BY PROGRAMMING TO MINIMISE THE AREA OF LAND EXPOSED TO POTENTIALLY ADVERSE WEATHER CONDITIONS AT ANY ONE TIME.

- PROVIDE CONTROL MEASURES INCLUDING TEMPORARY AND PERMANENT DRAINAGE, EROSION AND SEDIMENT CONTROLS.
5. THE EROSION AND SEDIMENT CONTROL SHALL COMPLY WITH LOCAL AUTHORITY EROSION AND SEDIMENT CONTROL STANDARDS, THE SOIL EROSION AND SEDIMENT CONTROL - ENGINEERING GUIDELINES FOR QUEENSLAND (CURRENT EDITIONS), AND ALL OTHER LOCAL AUTHORITY EROSION AND SEDIMENT CONTROL GUIDELINES.
6. ALL ESC MEASURES SHALL BE INSPECTED:

- AT LEAST DAILY (WHEN WORK IS OCCURRING ON SITE);

- WITHIN 24 HOURS OF EXPECTED RAIN; AND

- WITHIN 18 HOURS OF RAINFALL EVENT (ie. AN EVENT OF SUFFICIENT INTENSITY AND DURATION TO MOBILISE SEDIMENT ON SITE). MAINTENANCE OF ESC MEASURES SHALL OCCUR IN ACCORDANCE WITH THE FOLLOWING TABLE:

ESC MEASURES	MAINTENANCE TRIGGER	TIME FRAME FOR COMPLETION OF MAINTENANCE
SEDIMENT BASINS	WHEN SETTLED SEDIMENT EXCEEDS THE VOLUME OF THE SEDIMENT STORAGE ZONE (SEE COUNCIL'S SEDIMENT BASIN DESIGN GUIDELINES)	WITHIN 48 HOURS OF THE INSPECTION
OTHER ESC MEASURES	THE CAPACITY OF ESC MEASURES FALLS BELOW 75%	BY THE END OF THE DAY

7. WATER QUALITY SAMPLES MUST BE TAKEN AND ANALYSED PRIOR TO THE RELEASE OF ANY WATER FROM THE SITE. WATER QUALITY MUST SATISFY THE FOLLOWING CRITERIA: TSS<50 mg/L pH BETWEEN 6.5 AND 8.5. IF WATER QUALITY FAILS THE CRITERIA THEN USE OF A GYPSUM FLOCULANT IS TO BE APPLIED AS DIRECTED BY THE SUPERINTENDENT.
8. ALL WATER QUALITY DATA INCLUDING DATES OF RAINFALL, TESTING AND WATER RELEASE MUST BE MAINTAINED IN AN ONSITE REGISTER. THIS REGISTER IS TO BE MAINTAINED FOR THE DURATION OF THE APPROVED WORKS AND BE AVAILABLE ON SITE FOR INSPECTIONS BY COUNCIL OFFICERS ON REQUEST.
9. CONSTRUCTION ACCESS SHALL BE AT ONLY ONE NOMINATED POINT AS DETAILED ON THE PLANS. A TRUCK WASH HARD STAND AS DETAILED ON THE PLAN COMPRISING FREE DRAINING GRAVEL SHALL BE LOCATED ADJACENT TO THE POINT OF ACCESS WHERE VEHICLES CAN BE WASHED DOWN PRIOR TO EXIT TO THE STREET SYSTEM IF REQUIRED. THE WASH DOWN AREA SHALL BE KEPT FREE OF MUD.
10. FOR DETAILS OF SHAKE DOWN AREA REFER TO IPWEAQ STANDARD DRAWING D-0040.
11. SUPPLEMENTARY EROSION AND SEDIMENT CONTROL DEVICES MAY BE REQUIRED AT THE DISCRETION OF THE SUPERINTENDENT AND/OR COUNCIL.
12. SEDIMENT CONTROL DEVICES SHALL BE PROVIDED WHERE SHOWN ON THE DRAWINGS. SEDIMENT TRAPS SHALL REMAIN IN PLACE UNTIL AT LEAST 70% SOIL COVERAGE UPSTREAM AND DOWNSTREAM OF THE DEVICE IS ACHIEVED AND/OR AS DIRECTED BY COUNCIL.
13. EXCAVATED MATERIAL WILL BE PLACED DIRECTLY INTO FILL AREAS IN ACCORDANCE WITH THE APPROVED SPECIFICATION.
14. ANY IMPORTED FILL MATERIAL SHALL COMPLY WITH THE REQUIREMENTS OF THE SPECIFICATION.
15. ALL TEMPORAY EROSION AND SEDIMENT CONTROL (ESC) MEASURES TO BE MAINTAINED AND FULLY OPERATIONAL DURING THE MAINTENANCE PERIOD AND ARE TO REMOVED AFTER THE SATISFACTORY COMPLETION OF AN OFF-MAINTENACE INSPECTION BY COUNCIL AND PRIOR TO FORMAL ACCEPTANCE "OFF MAINTENANCE" BY COUNCIL.

EROSION AND SEDIMENT CONTROL NOTES

TOPSOIL:

1. SEDIMENT FENCES TO BE PLACED AS SHOWN. FOR DETAILS OF SEDIMENT FENCE REFER IPWEAQ STANDARD DRAWING D-0040.
2. STRIP AND STOCKPILE AVAILABLE TOPSOIL (ASSUMED AVERAGE DEPTH 100mm) FROM ALL DISTURBED AREAS PRIOR TO BULK EARTHWORKS.
3. GRADE EVENLY BETWEEN ALLOTMENT FINISHED SURFACE LEVELS AND ENSURE LOTS ARE FREE DRAINING.
4. MINIMUM SLOPE ACROSS ALLOTMENTS TO BE 1%.
5. ALL FOOTPATHS, BATTERS AND EARTHWORKS AFFECTED ALLOTMENTS ARE TO BE TOPSOILED TO A MINIMUM DEPTH OF 100mm (LIGHTLY COMPACTED) AND TURFED WHERE SPECIFIED.

SEDIMENT FENCES:

1. SEDIMENT FENCES TO BE REPAIRED AS REQUIRED AND EXCESSIVE SEDIMENT DEPOSITS SHOULD BE REMOVED.
2. IN THE EVENT OF WET WEATHER, INSTALL KERB INLET FILTERS WITH GRAVEL RANGING FROM 50mm TO 75mm IN SIZE. REFER IPWEAQ STANDARD DRAWING D-0041. WHEREVER PRACTICABLE SEDIMENT RUNOFF SHOULD BE COLLECTED AND RETAINED WHOLLY WITHIN THE WORKSITE OR PRIOR TO ENTRY ON A ROAD SURFACE (WHETHER INSIDE OR OUTSIDE THE SITE). IF THE GRAVEL FILTER BECOMES CLOGGED WITH SEDIMENT DURING ITS USE, THE GRAVEL MUST BE PULLED AWAY FROM THE MESH AND CLEANED OR REPLACED.
3. DAILY CHECKS OF SILT FENCES IS TO BE MADE ALONG WITH A CHECK AFTER ANY SIGNIFICANT STORM EVENT TO ENSURE INTEGRITY AND PERFORMANCE.

TURFING:

1. PROVIDE TURFING TO ENTIRE WIDTH OF ALL SWALES, FOOTPATHS AND 1 IN 4 CUT AND FILL BATTERS.
2. FOOTPATH BATTERS ARE TO BE STABILISED WITH TOPSOIL (AND TURFED) AS SOON AS PRATICAL AFTER BATTERS HAVE BEEN COMPLETED. REMAINING EXPOSED AREAS ON LOTS ARE TO BE SEEDED AND MULCHED (eg. HYDROMULCHED).

'A' DURING CONSTRUCTION:

1. TOPSOIL STOCKPILE TO HAVE A SEDIMENT FENCE DOWN SLOPE AND A DIVERSION DRAIN UP SLOPE.
2. SEDIMENT FENCES TO BE PLACED AS SHOWN.
3. INSPECT BANKS DAILY AND REPAIR ANY SLUMPS, WHEEL TRACK DAMAGE OR LOSS OF FREEBOARD.
4. REMOVE SEDIMENT TO AVOID PONDING FROM CATCH DRAINS.
5. REMOVE EXCESSIVE SEDIMENT FROM UPSTREAM OF CHECK DAM.
6. ROAD RESERVE TO BE USED AS HAUL ROAD.
7. A CATCH DRAIN/CATCH BANK IS TO BE PROVIDED ON THE TOP SIDE OF ALL CUTS AND DISCHARGE EITHER TO UNDISTURBED GRASS LANDS OR TO THE CROSS ROAD DRAINAGE.
8. SUPPLEMENTARY EROSION AND SEDIMENT CONTROL DEVICES MAY BE REQUIRED AT THE DISCRETION OF THE ENGINEER.
9. GRASS SEEDING IS TO ACHIEVE 70% COVER WITHIN 30 DAYS OF COMPLETION OF EARTHWORKS.

'B' FOLLOWING CONSTRUCTION:

1. SEDIMENTATION AND EROSION CONTROLS TO BE MAINTAINED UNTIL SITE IS 80% STABILISED WITH ESTABLISHED GRASS/TURF THEN CONTROLS CAN BE REMOVED.

HOLD POINT

1. WORK TO ROADS, DRAINAGE, SEWER, WATER OR EARTHWORKS MUST NOT PROCEED UNTIL ADEQUATE SEDIMENT CONTROL IS IN PLACE TO THE SATISFACTION OF THE SUPERINTENDENT.

DISCHARGE QUALITY NOTES

1. CONTRACTOR TO MEET THE FOLLOWING WATER QUALITY CRITERIA PRIOR TO PUMP DISCHARGE FROM SITE:

• SUSPENDED SOLIDS

• TOTAL IRON

• TOTAL ALUMINIUM

• pH

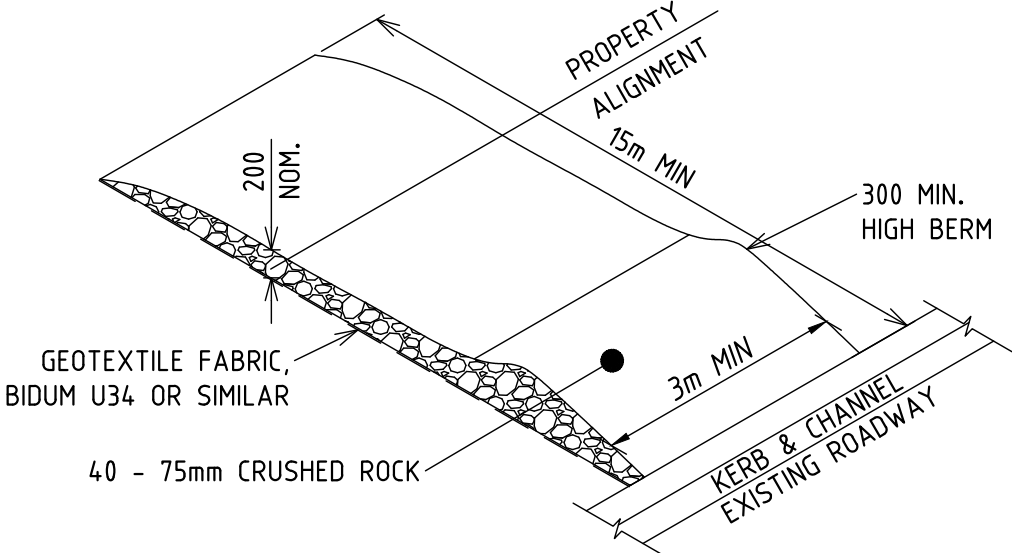
50mg/L (75 NTU TURBIDITY)
0.3mg/L
0.2mg/L
6.5-8.5 GENERALLY (MATCH pH OF INSITU GROUNDWATER)
NO VISIBLE PLUME
2. FLOCCULATION AND EMPTYING OF SEDIMENT BASIN TO OCCUR WITHIN 48 HOURS AFTER RAINFALL EVENT
3. FLOCCULATION DOSAGE AS SPECIFIED BY INDEPENDENT GEOTECHNICAL ENGINEER'S SPECIFICATION. ALLOW DOSAGE RATE OF 4-8L "TURBICLEAR" PER 100m3^ DIRTY WATER
4. CONTRACTOR MAY OPT TO DISCHARGE TO CERTIFIED TANKER TRUCK DISPOSAL CONTRACTORS IN LIEU OF THE ABOVE TREATMENT REQUIREMENTS

ORDER OF CONSTRUCTION

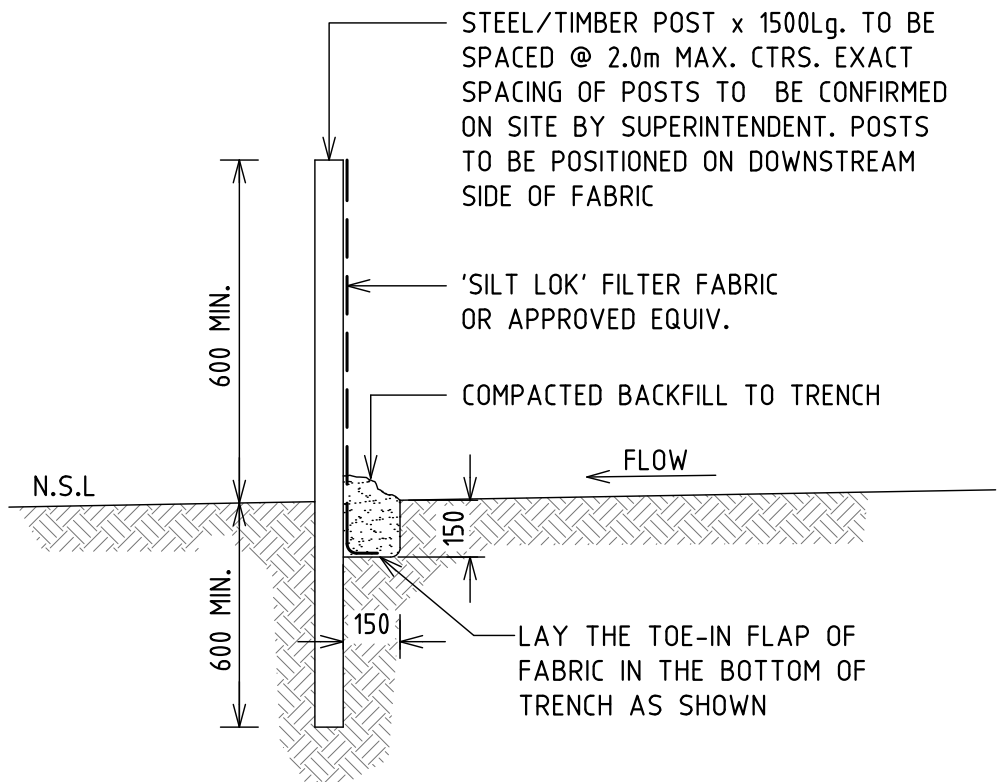
1. ESTABLISH STABILISED SITE ACCESS/SHAKER GRID
2. ERECT SITE BARRIER/NO-GO FENCING
3. CLEAN WATER DIVERSION DRAINS
4. ERECT SEDIMENT FENCES
5. PROTECTION OF INSTALLED STORMWATER SYSTEM

WARNING

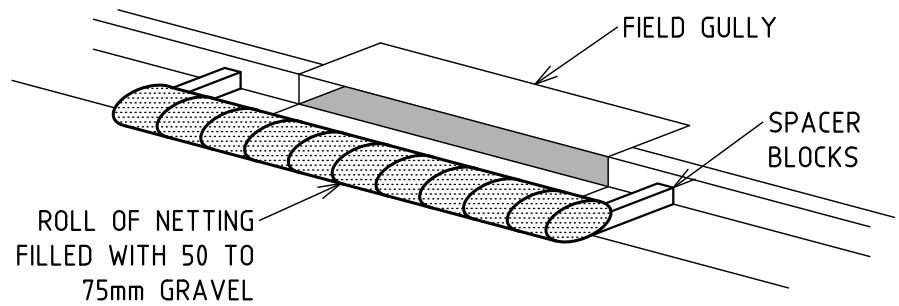
THE LOCATION OF EXISTING TELSTRA, ELECTRICITY, SEWERAGE & WATER ARE NOT SHOWN ON THE DRAWINGS. PRIOR TO AND DURING CONSTRUCTION OBTAIN THE PRECISE LOCATION OF ALL SERVICES (UNDERGROUND & OVERHEAD) FROM THE RELEVANT AUTHORITY RESPONSIBLE FOR EACH SERVICE



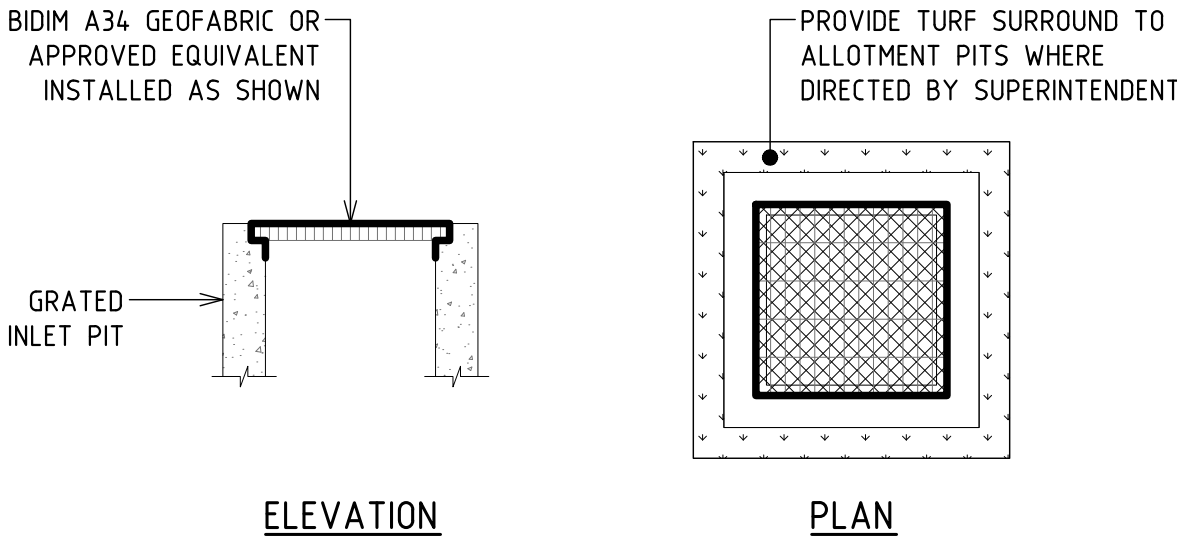
TEMPORARY CONSTRUCTION ENTRY/EXT SEDIMENT TRAP
NTS



TYPICAL SILT FENCE DETAIL
NTS



GULLY INLET PROTECTION
NTS



FIELD INLET PROTECTION
NTS

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2026/CAS/4586
Date: 01 June 2026



Status: FOR APPROVAL
NOT FOR CONSTRUCTION

Issue	Amendment	Date	Dt
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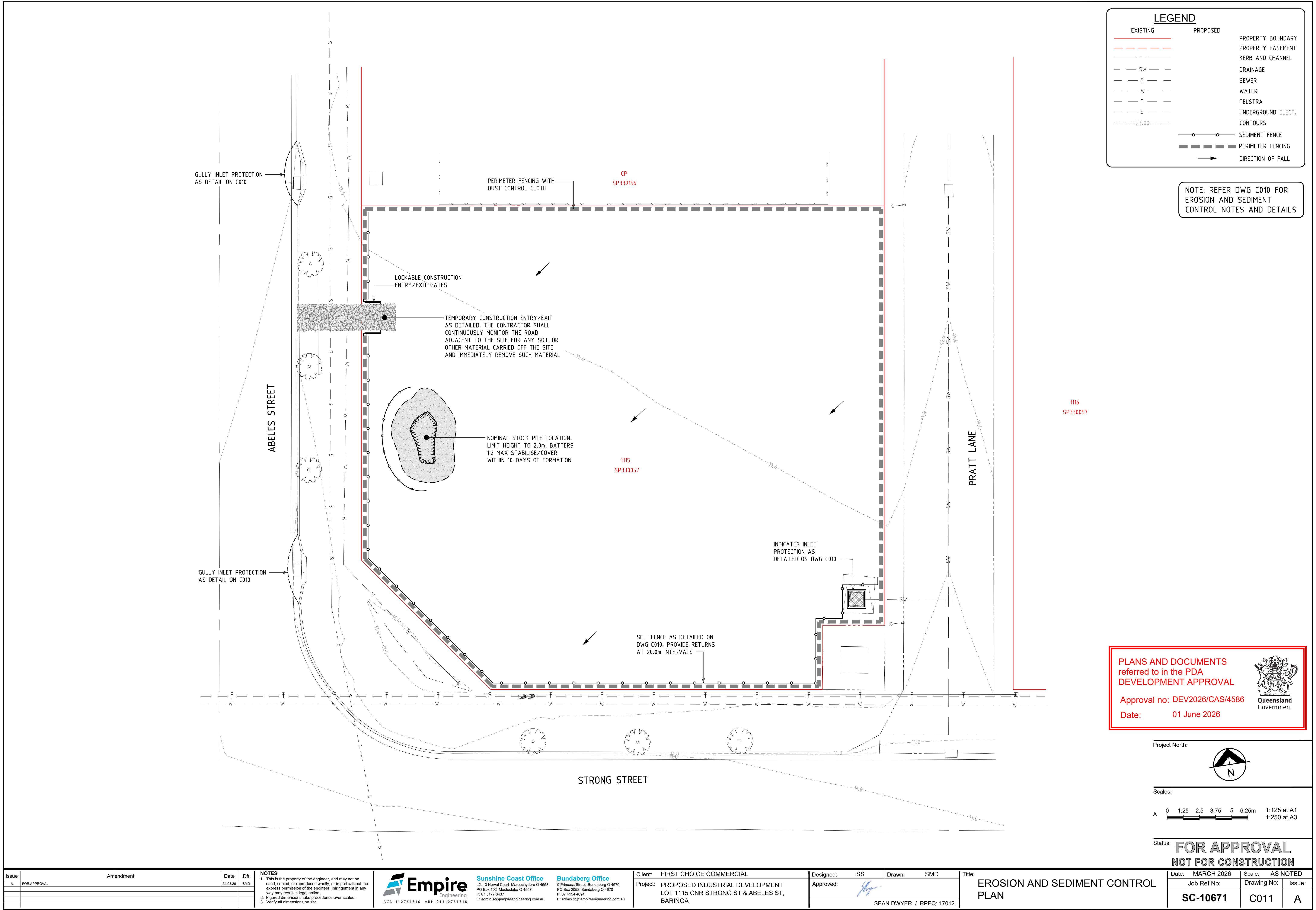
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Client: FIRST CHOICE COMMERCIAL
Project: PROPOSED INDUSTRIAL DEVELOPMENT LOT 1115 CNR STRONG ST & ABELES ST, BARINGA

Designed: SS
Drawn: SMD
Approved: *SEAN DWYER*
SEAN DWYER / RPEQ: 17012

Title: EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

Date: MARCH 2026
Job Ref No: SC-10671
Scale: AS NOTED
Drawing No: C010
Issue: A



LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY BOUNDARY
---	---	PROPERTY EASEMENT
---	---	KERB AND CHANNEL
---	---	DRAINAGE
---	---	SEWER
---	---	WATER
---	---	TELSTRA
---	---	UNDERGROUND ELECT.
---	---	CONTOURS
---	---	SEDIMENT FENCE
---	---	PERIMETER FENCING
---	---	DIRECTION OF FALL

NOTE: REFER DWG C010 FOR EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026/CAS/4586
Date: 01 June 2026

Queensland Government

Project North:

Scales:

0 1.25 2.5 3.75 5 6.25m 1:125 at A1
1:250 at A3

Status: **FOR APPROVAL**
NOT FOR CONSTRUCTION

Date:	Scale:	AS NOTED
MARCH 2026	AS NOTED	
Job Ref No:	Drawing No:	Issue:
SC-10671	C011	A

Issue	Amendment	Date	Dt
A	FOR APPROVAL	31.03.26	SMD

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ACN 112761510 ABN 21112761510

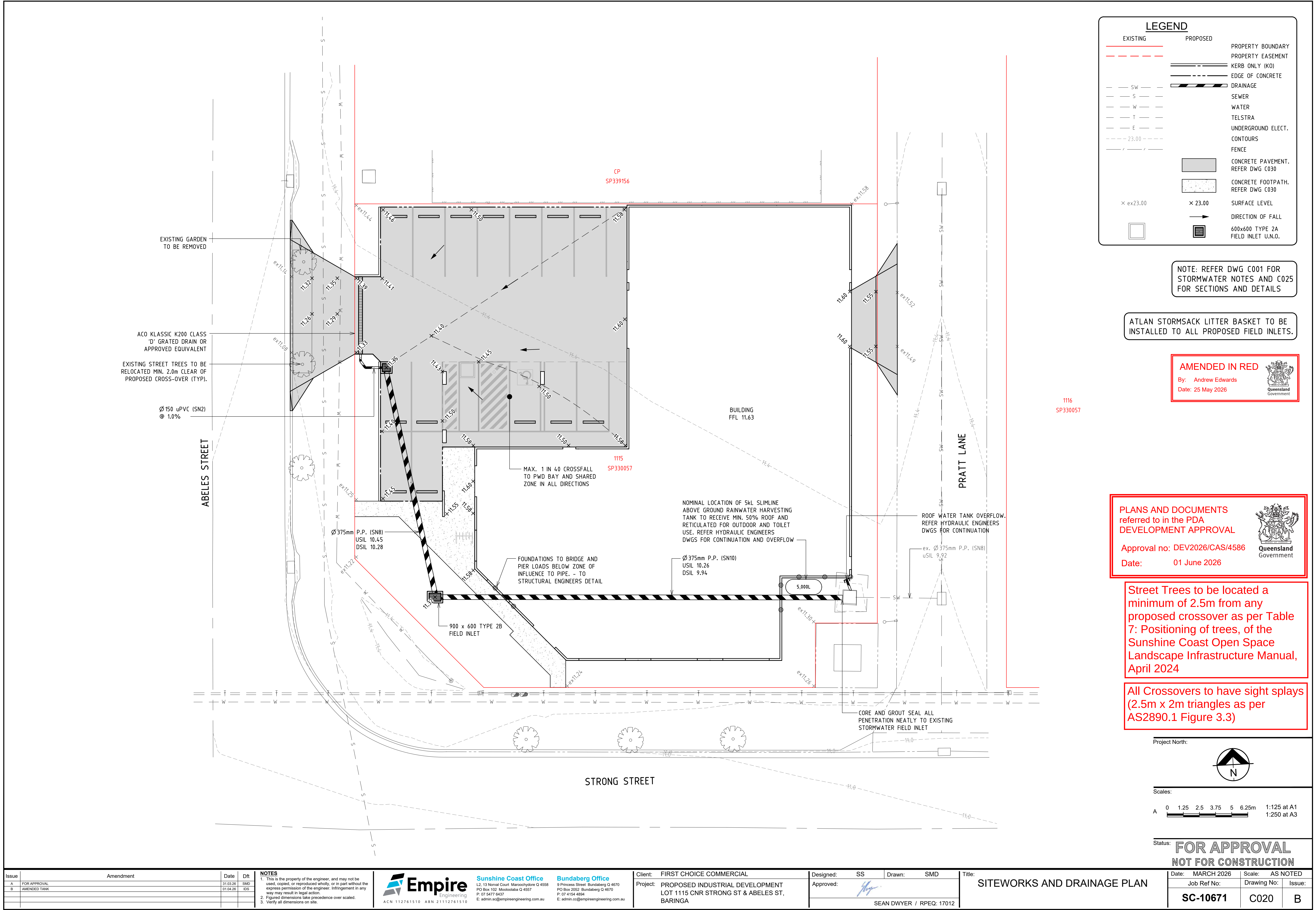
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Project: PROPOSED INDUSTRIAL DEVELOPMENT
LOT 1115 CNR STRONG ST & ABELES ST,
BARINGA

Designed: SS
Drawn: SMD
Approved: *[Signature]*
SEAN DWYER / RPEQ: 17012

Title: EROSION AND SEDIMENT CONTROL
PLAN



LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY BOUNDARY
---	---	PROPERTY EASEMENT
---	---	KERB ONLY (K0)
---	---	EDGE OF CONCRETE
---	---	DRAINAGE
---	---	SEWER
---	---	WATER
---	---	TELSTRA
---	---	UNDERGROUND ELECT.
---	---	CONTOURS
---	---	FENCE
---	---	CONCRETE PAVEMENT. REFER DWG C030
---	---	CONCRETE FOOTPATH. REFER DWG C030
---	---	SURFACE LEVEL
---	---	DIRECTION OF FALL
---	---	600x600 TYPE 2A FIELD INLET U.N.O.

NOTE: REFER DWG C001 FOR
STORMWATER NOTES AND C025
FOR SECTIONS AND DETAILS

ATLAN STORMSACK LITTER BASKET TO BE
INSTALLED TO ALL PROPOSED FIELD INLETS.

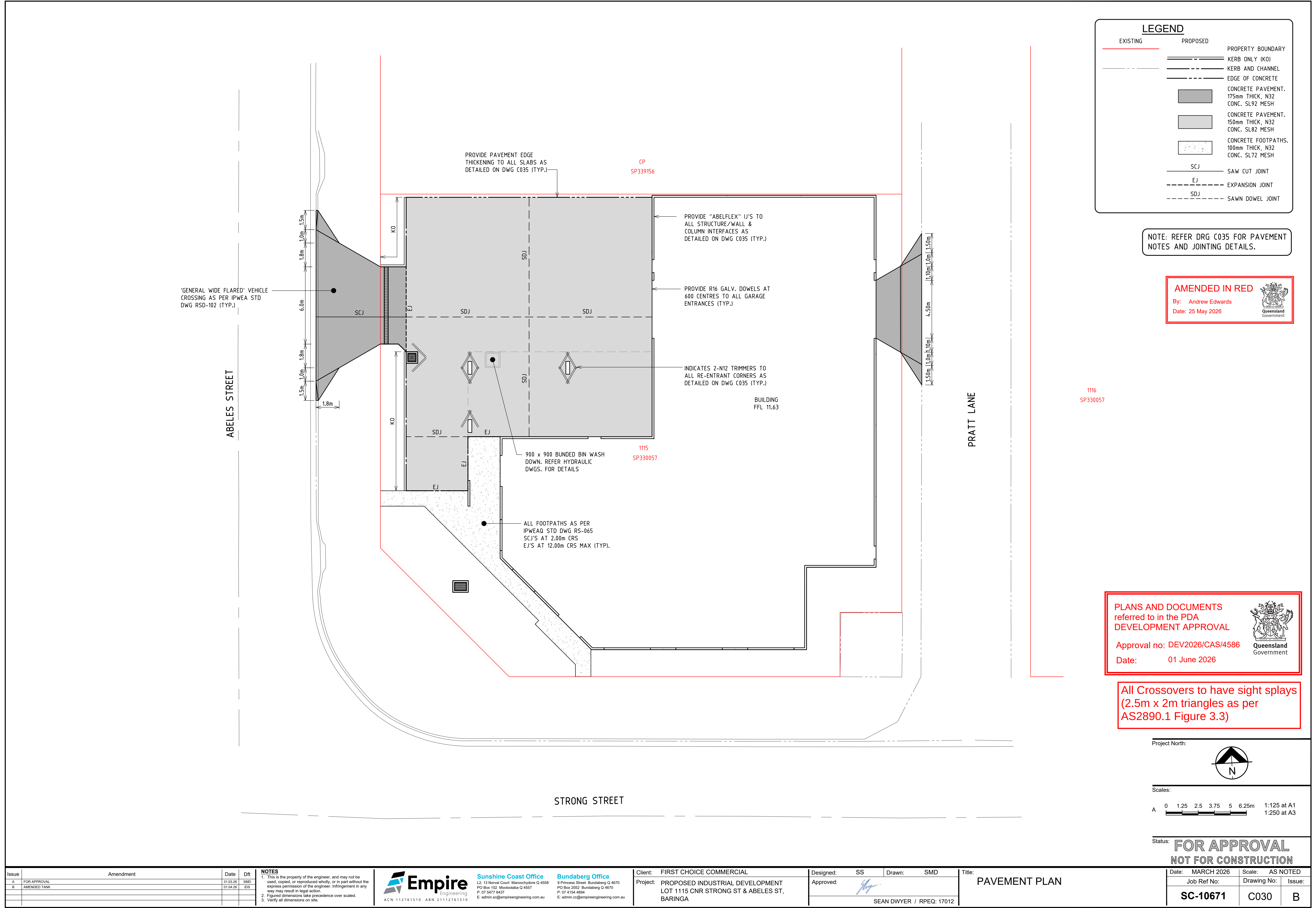
AMENDED IN RED
By: Andrew Edwards
Date: 25 May 2026

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2026/CAS/4586
Date: 01 June 2026

Street Trees to be located a
minimum of 2.5m from any
proposed crossover as per Table
7: Positioning of trees, of the
Sunshine Coast Open Space
Landscape Infrastructure Manual,
April 2024

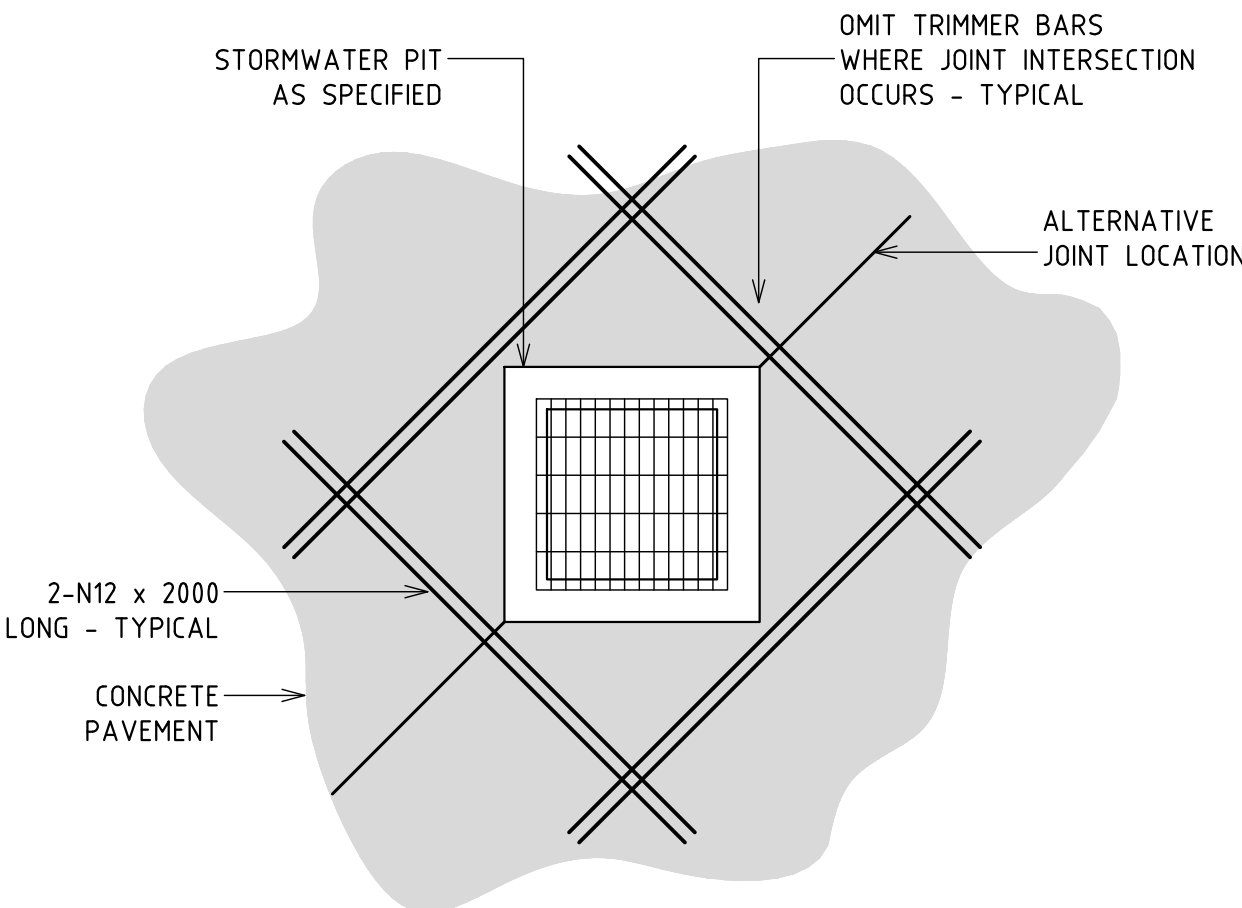
All Crossovers to have sight splays
(2.5m x 2m triangles as per
AS2890.1 Figure 3.3)

Issue		Amendment		Date	Dft	Empire Engineering ACN 112761510 ABN 21112761510 Sunshine Coast Office L2, 13 Norval Court Maroochydore Q 4558 PO Box 2052 Maroochydore Q 4557 P: 07 5477 6437 E: admin.sc@empireengineering.com.au Bundaberg Office 9 Princess Street Bundaberg Q 4670 PO Box 2052 Bundaberg Q 4670 P: 07 4154 4894 E: admin.cb@empireengineering.com.au <tr><td>A</td><td>FOR APPROVAL</td><td>31.03.26</td><td>SMD</td><td></td><td></td></tr> <tr><td>B</td><td>AMENDED TANK</td><td>01.04.26</td><td>IDS</td><td></td><td></td></tr> <tr><td></td><td></td><td></td><td></td><td></td><td></td></tr> <tr><td></td><td></td><td></td><td></td><td></td><td></td></tr> <tr><td colspan="6"> Empire Engineering ACN 112761510 ABN 21112761510 Sunshine Coast Office L2, 13 Norval Court Maroochydore Q 4558 PO Box 2052 Maroochydore Q 4557 P: 07 5477 6437 E: admin.sc@empireengineering.com.au Bundaberg Office 9 Princess Street Bundaberg Q 4670 PO Box 2052 Bundaberg Q 4670 P: 07 4154 4894 E: admin.cb@empireengineering.com.au <tr><td colspan="6">Client: FIRST CHOICE COMMERCIAL</td><td>Designed: SS</td><td>Drawn: SMD</td><td>Title:</td><td colspan="3">SITEWORKS AND DRAINAGE PLAN</td><td>Date: MARCH 2026</td><td>Scale: AS NOTED</td></tr><tr><td colspan="6">Project: PROPOSED INDUSTRIAL DEVELOPMENT LOT 1115 CNR STRONG ST & ABELES ST, BARINGA</td><td>Approved: </td><td colspan="3"></td><td>Job Ref No:</td><td>Drawing No:</td><td>Issue:</td></tr><tr><td colspan="6"></td><td colspan="3">SEAN DWYER / RPEQ: 17012</td><td colspan="3">SC-10671</td><td>C020</td><td>B</td></tr></td></tr>	A	FOR APPROVAL	31.03.26	SMD			B	AMENDED TANK	01.04.26	IDS															Empire Engineering ACN 112761510 ABN 21112761510 Sunshine Coast Office L2, 13 Norval Court Maroochydore Q 4558 PO Box 2052 Maroochydore Q 4557 P: 07 5477 6437 E: admin.sc@empireengineering.com.au Bundaberg Office 9 Princess Street Bundaberg Q 4670 PO Box 2052 Bundaberg Q 4670 P: 07 4154 4894 E: admin.cb@empireengineering.com.au <tr><td colspan="6">Client: FIRST CHOICE COMMERCIAL</td><td>Designed: SS</td><td>Drawn: SMD</td><td>Title:</td><td colspan="3">SITEWORKS AND DRAINAGE PLAN</td><td>Date: MARCH 2026</td><td>Scale: AS NOTED</td></tr> <tr><td colspan="6">Project: PROPOSED INDUSTRIAL DEVELOPMENT LOT 1115 CNR STRONG ST & ABELES ST, BARINGA</td><td>Approved: </td><td colspan="3"></td><td>Job Ref No:</td><td>Drawing No:</td><td>Issue:</td></tr> <tr><td colspan="6"></td><td colspan="3">SEAN DWYER / RPEQ: 17012</td><td colspan="3">SC-10671</td><td>C020</td><td>B</td></tr>						Client: FIRST CHOICE COMMERCIAL						Designed: SS	Drawn: SMD	Title:	SITEWORKS AND DRAINAGE PLAN			Date: MARCH 2026	Scale: AS NOTED	Project: PROPOSED INDUSTRIAL DEVELOPMENT LOT 1115 CNR STRONG ST & ABELES ST, BARINGA						Approved: 				Job Ref No:	Drawing No:	Issue:							SEAN DWYER / RPEQ: 17012			SC-10671			C020	B
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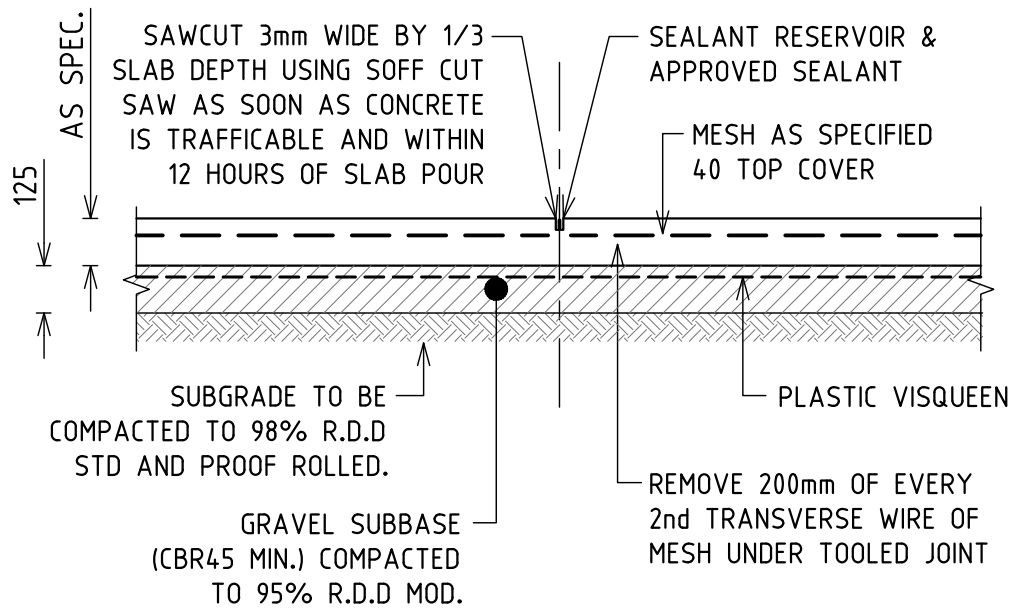


DRIVEWAY NOTES

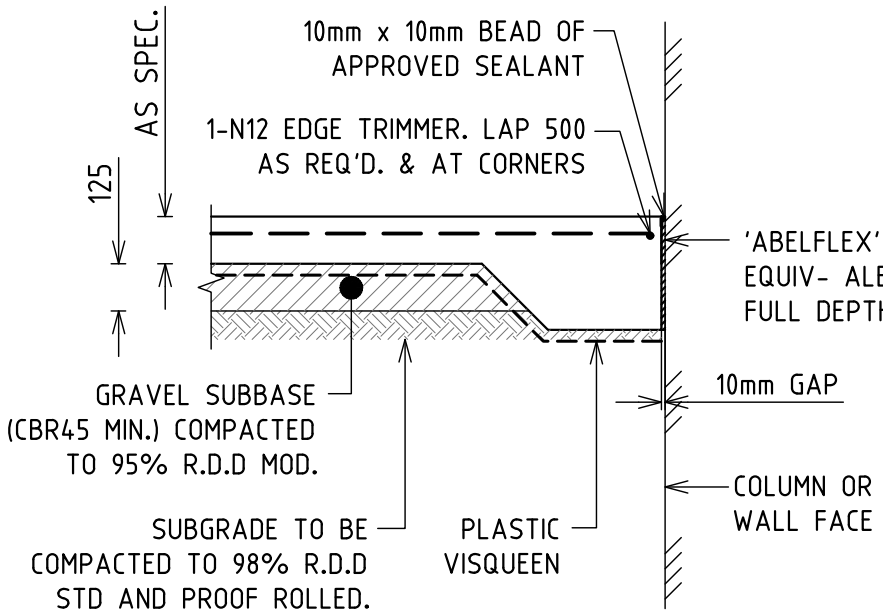
1. PERMITS RELATING TO ROAD AND FOOTPATH CLOSURES MUST BE OBTAINED FROM COUNCIL. CONTRACTOR IS TO ALLOW FOR TRAFFIC CONTROL AND PRODUCE AN ENDORSED TRAFFIC MANAGEMENT PLAN PRIOR TO COUNCIL PRE-START MEETING
2. CONCRETE TO BE 32MPa IN ACCORDANCE WITH AS-1379 & AS-3600 UNO.
3. CONCRETE SURFACE TOLERANCE TO BE +5mm
-0mm
OVER 3 METRE SECTIONS.
4. COMPACTION OF SUBGRADE TO 98% STANDARD TO AS1289.5.1.1. WHERE SUBGRADE IS LESS THAN CBR 5 EXCAVATE UNSUITABLE AND PROVIDE IMPORTED MATERIAL TO SATISFACTION OF THE SUPERINTENDENT
5. ALL CONCRETE TO BE BROOM FINISHED. FINISHES OTHER THAN BROOM CONCRETE ARE TO BE SPECIFICALLY APPROVED BY ENGINEER, WITH REGARDS TO LONG TERM SKID RESISTANCE AND DURABILITY
6. PATTERN LINES TO BE SQUARE TO SIDES AND FINISHED WITH AN APPROVED GROOVING TOOL
7. EXPANSION JOINTS TO BE 10 THICK, FULL DEPTH CLOSED CELL CROSS LINKED POLYETHYLENE FOAM (85-150 KG/M³) OR 10mm THICK COMPRESSED GRANULATED CORKBOARD. INSTALLATION TO MANUFACTURERS INSTRUCTIONS.
8. 3-L12 TRENCH MESH x 2000 LONG TO BE PLACED AT ALL RE-ENTRANT CORNERS
9. REINFORCEMENT FABRIC TO AS-1304, 40 TOP AND EDGE COVER, LAP FABRIC 250.
10. GRADE NOT TO EXCEED 1 IN 40 WHERE DISABILITY ACCESS IS REQUIRED.
11. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ARCH. & HYDRAULIC CONSULTANTS DWGS FOR ALL LEVELS, FALLS, GRADES, DRAINAGE, ETC.
12. REFER TO COUNCIL'S STANDARD DRAWINGS FOR DRIVEWAY CROSS-OVER TYPES, DIMENSIONS AND FLARES. A COPY OF THESE DRAWINGS CAN BE OBTAINED FROM COUNCIL'S WEBSITE, OR CONTACT EMPIRE ENGINEERING.



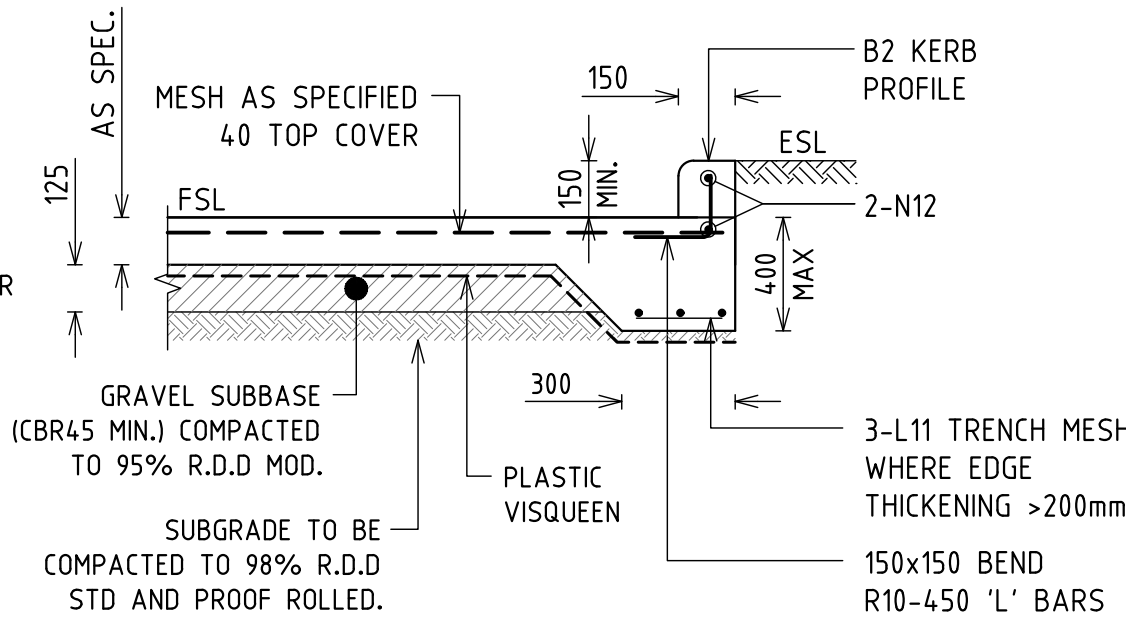
STORMWATER PIT PAVEMENT
REINFORCEMENT DETAIL
SCALE NTS



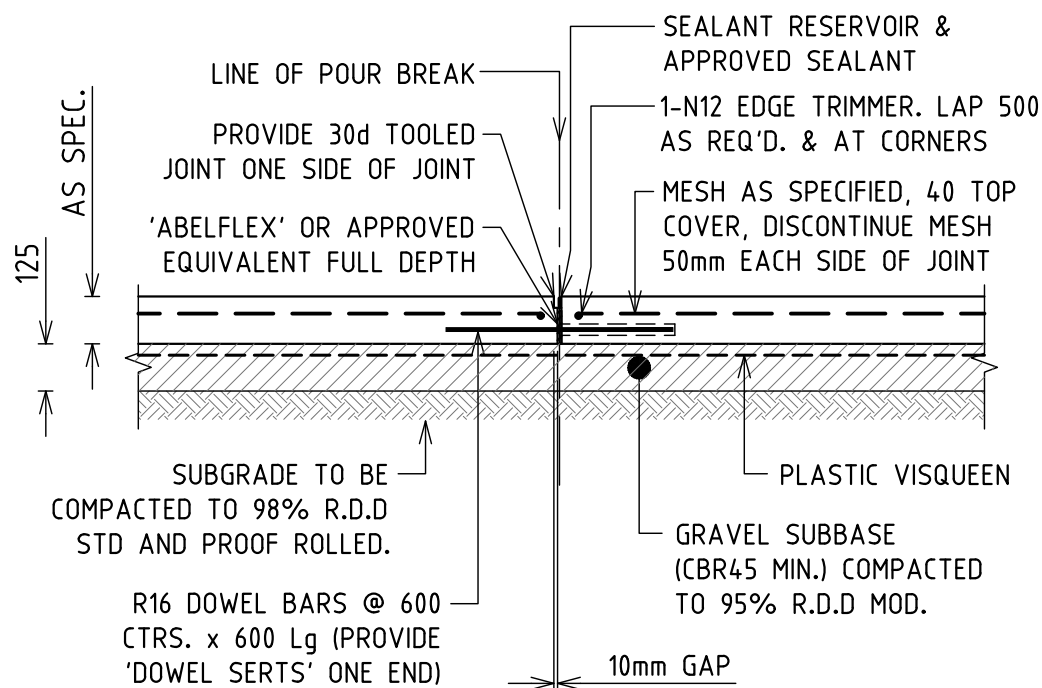
SAW CUT JOINT DETAIL (SCJ)
SCALE 1:20



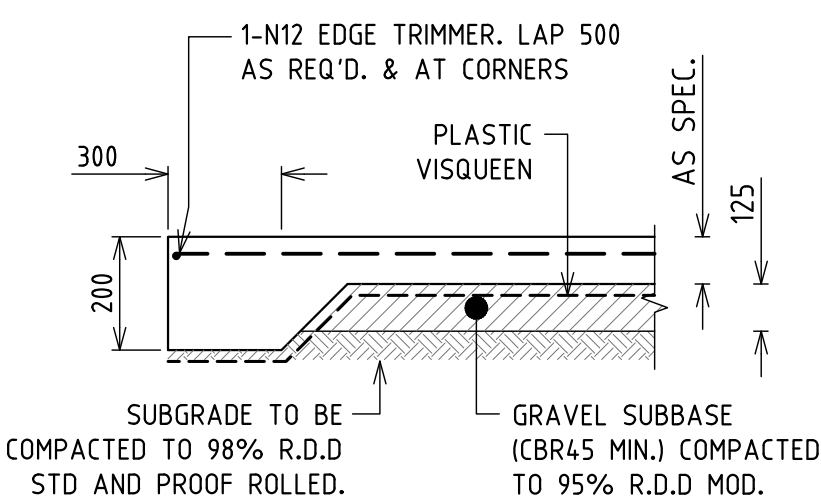
ISOLATION JOINT DETAIL (IJ)
SCALE 1:20



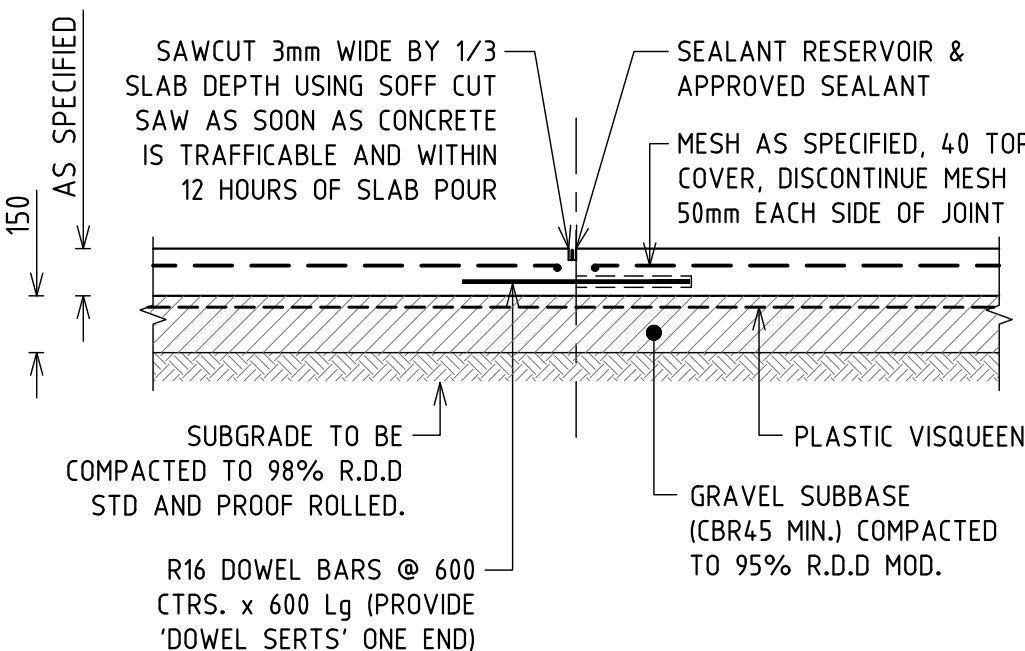
CONCRETE KERB ONLY DETAIL (KO)
SCALE 1:20



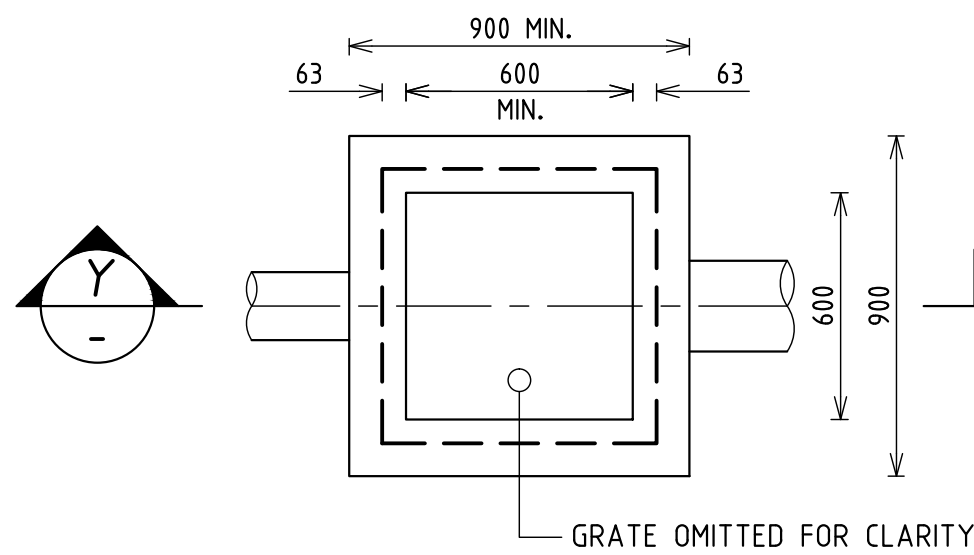
EXPANSION JOINT DETAIL (EJ)
SCALE 1:20



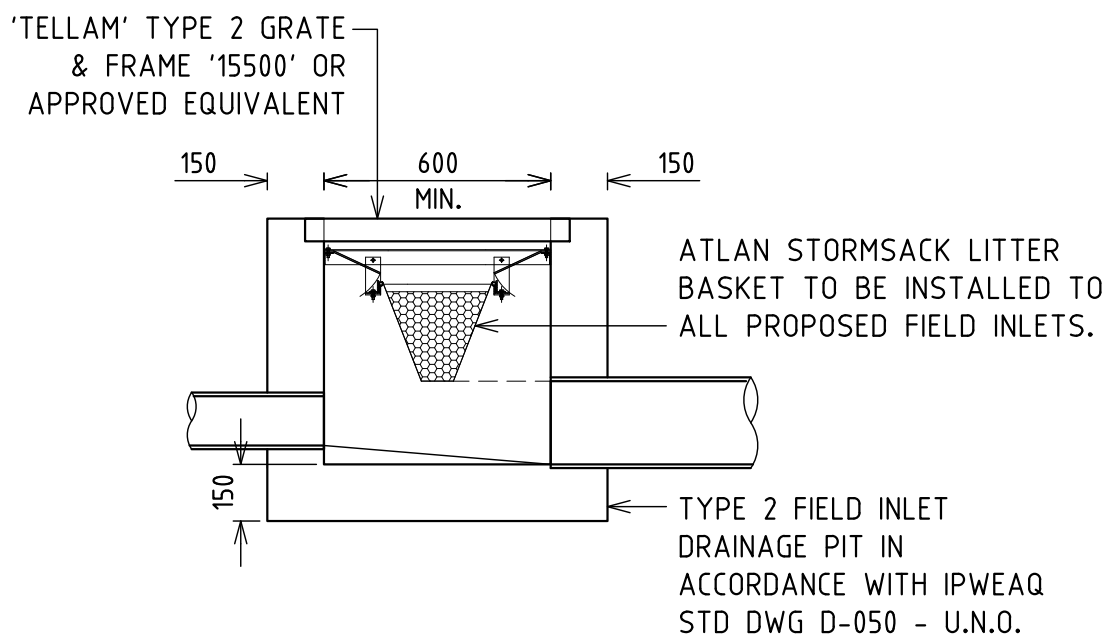
EDGE THICKENING DETAIL (ET)
SCALE 1:20



SAWN DOWELLED JOINT DETAIL (SDJ)
SCALE 1:20



PLAN



SECTION
NOT TO SCALE

TYPICAL GRATED INLET PIT DETAILS
1:20 AT A1

GENERAL PIT NOTES

1. PRE-CAST GRATED INLET PITS FROM REPUTABLE SUPPLIERS AND AS APPROVED BY THE SUPERINTENDENT MAY BE USED.
2. CONCRETE TO BE N32 GRADE MIN.
3. GRATES TO BE HOT DIPPED GALVANIZED.
4. ALL PENETRATIONS IN PIT WALLS TO BE SEALED WITH GROUT AND FINISHED FLUSH
5. ALL PITS WITHIN TRAFFICABLE AREAS ARE TO BE FITTED WITH ECO-SOL RSF 100 (OR APPROVED EQUIVALENT)

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026/CAS/4586
Date: 01 June 2026



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LOT 1115 CNR STRONG ST & ABELS ST,
BARINGA

Designed: SS
Drawn: SMD
Approved: *[Signature]*
SEAN DWYER / RPEQ: 17012

Title: PAVEMENT NOTES & DETAILS

Date: MARCH 2026
Scale: AS NOTED
Job Ref No: SC-10671
Drawing No: C035
Issue: A

ABELES STREET

PRATT LANE

SIGNAGE AND LINEMARKING NOTES

- ALL SIGNAGE AND LINEMARKING TO BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD CURRENT EDITION).
- ALL CARPARK LINEMARKING TO BE IN ACCORDANCE WITH THE DIMENSIONAL REQUIREMENTS OF AS/NZ 2890.1 2004.
- ALL LINEMARKING ON AC PAVEMENTS SHALL BE WHITE, TYPE 1 ROAD MARKING PAINT 80-100mm WIDE, REFER MRS 11.45 SPECIFICATIONS (U.N.O.)
- ALL LINEMARKING ON CONCRETE PAVEMENTS SHALL BE GOLDEN YELLOW, COLOUR NO. Y14 PER AS 2700 AND 80-100mm WIDE (U.N.O.)
- EXISTING LINEMARKING TO BE REMOVED BY EITHER MACHINE GRINDING OR SAND BLASTING METHODS
- DISABILITY CARPARK LINEMARKING TO AS2890.6 (YELLOW CHEVRON AND OUTLINE, YELLOW BOLLARD, BLUE SYMBOL)
- WHEEL STOP SETOUT TO AS2890.1
- ALL SIGNS TO BE REFLECTORISED CLASS 1 TO AS1743 UNLESS NOTED OTHERWISE
- SIGNS ARE TO BE INSTALLED WITH THE FOLLOWING CLEARANCES TO EDGE OF SIGN:
 - NO KERB = 600mm BEHIND GUIDE POSTS
 - BARRIER KERB = 300mm FROM FACE OF KERB
 - MOUNTABLE KERB = 500mm FROM FACE OF KERB

LEGEND

EXISTING	PROPOSED	
		PROPERTY BOUNDARY
		KERB ONLY (KO)
		KERB AND CHANNEL
		EDGE OF CONCRETE

1116
SP330057

1115
SP330057

BUILDING
FFL 11.63

WHEEL STOPS IN ACCORDANCE
WITH AUST STD 'AS/NZS
2890.1:2004' TABLE 2.1

CP
SP339156

5# BIKE RACKS

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026/CAS/4586
Date: 01 June 2026



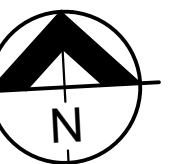
AMENDED IN RED

By: Andrew Edwards
Date: 25 May 2026



All Crossovers to have sight splays
(2.5m x 2m triangles as per
AS2890.1 Figure 3.3)

Project North:



Scales:

A 0 1.25 2.5 3.75 5 6.25m 1:125 at A1
1:250 at A3

Status:

FOR APPROVAL
NOT FOR CONSTRUCTION

Date: MARCH 2026	Scale: AS NOTED	
Job Ref No:	Drawing No:	Issue:
SC-10671	C040	A

STRONG STREET

Issue	Amendment	Date	Dt
A	FOR APPROVAL	31.03.26	SMD

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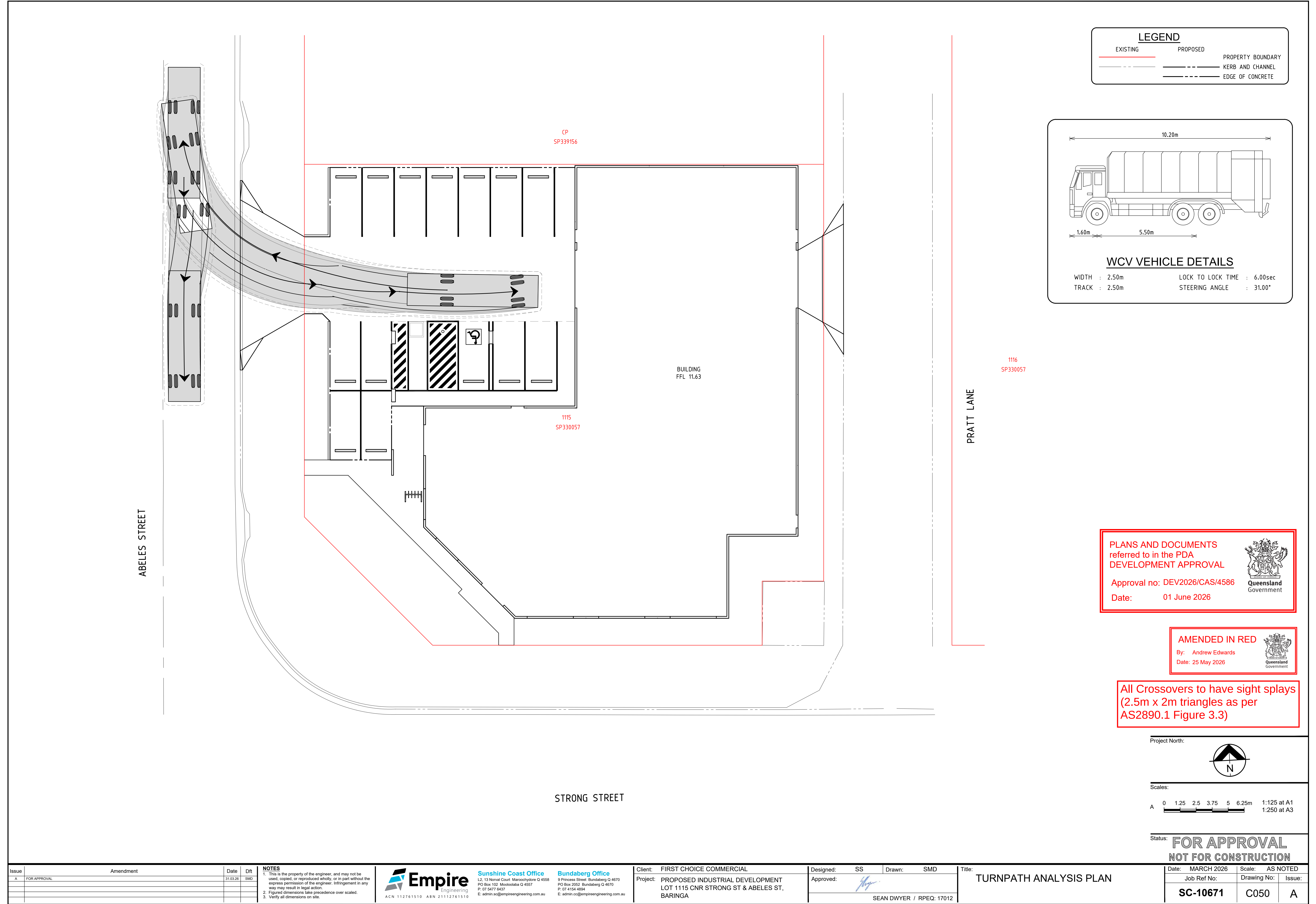
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Project: PROPOSED INDUSTRIAL DEVELOPMENT
LOT 1115 CNR STRONG ST & ABELES ST,
BARINGA

Designed: SS
Drawn: SMD
Approved:
SEAN DWYER / RPEQ: 17012

Title: SIGNS AND LINEMARKING PLAN



LEGEND

EXISTING

PROPOSED

PROPERTY BOUNDARY

KERB AND CHANNEL

EDGE OF CONCRETE

WCV VEHICLE DETAILS

WIDTH : 2.50m

LOCK TO LOCK TIME : 6.00sec

TRACK : 2.50m

STEERING ANGLE : 31.00°

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026/CAS/4586

Date: 01 June 2026

AMENDED IN RED

By: Andrew Edwards

Date: 25 May 2026

All Crossovers to have sight splays
(2.5m x 2m triangles as per
AS2890.1 Figure 3.3)

Project North:

Scales:

A 0 1.25 2.5 3.75 5 6.25m

1:125 at A1
1:250 at A3

Status: **FOR APPROVAL**
NOT FOR CONSTRUCTION

Date: MARCH 2026

Scale: AS NOTED

Job Ref No: SC-10671

Drawing No: C050

Issue: A

Issue	Amendment	Date	Dt
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LOT 1115 CNR STRONG ST & ABELES ST,
BARINGA

Designed: SS

Drawn: SMD

Approved:

SEAN DWYER / RPEQ: 17012

Title: TURNPATH ANALYSIS PLAN