



Townsville

Townsville City Council Certification Report

Development description: Earthworks, roadworks, stormwater, sewer & water reticulation, erosion and sediment control

Development address/property legal description: 286 Lakeside Drive, Oonoonba

Name of consultant: LCJ Engineers Pty Ltd

Name of developer: Yumba-Meta Housing Association LTD

Drawings: ROSE012-C01B to C29B

I certify that this Design has been carried out in accordance with industry best practice and in accordance with the Townsville City Plan, SC6.4 Development manual planning scheme policy and relevant codes and specific instructions received, with the exception of departures cited in the attached Design Report.

I certify that this Design will not significantly impact on the environmental factors of the area as interpreted under the *Sustainable Planning Act 2009* and the *Environmental Protection Act 1994*.

I certify that this Design is in strict compliance with the development approval conditions and where a variance to this was found, written confirmation has been received from council approving the variance prior to the lodgement of Design Drawings (this includes designs for staged construction).

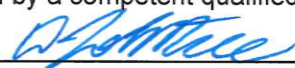
I certify that all elements of the Design have been designed by a competent qualified practicing professional*.

Contact phone:

07 4721 5800

Contact postal address:

PO Box 1498, Aitkenvale Qld 4814



***Design professional:**

Daniel Eric Johnstone

Registration number:

Date:

15/4/26

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LCJ Engineers' Design Report

LCJ Job No:	ROSE012
Development description:	Engineering works
Development address / property legal description:	286 Lakeside Drive, Oonoonba
Name of consultant:	LCJ Engineers Pty Ltd
Name of developer:	Yumba-Meta Housing Association LTD
Drawings:	ROSE012-C01 to C29

This report sets out the exceptions and departures to be read in conjunction with the Townsville City Council (TCC) Certification Report.

Our assessment indicates that from an erosion perspective the site is **High-risk**.

The exceptions and departures from the various references set out in the TCC Certification Report are as follows:

Development Approval Conditions

LCJ Engineers' commission was for the design and documentation to address the following items: Earthworks, roadworks, stormwater, sewer & water reticulation, erosion and sediment control.

Design certification of other items is the responsibility of others.

Construction elements of the Development Approval are not covered by this certification.

Our certification that this design will not significantly impact on the environmental factors of the area as interpreted under the *Sustainable Planning Act 2009* and the *Environmental Protection Act 1994* is reliant on the *Townsville City Council City Plan*, the *Local Planning Act*, complying with the nominated State Planning Acts.

Specific exceptions to the requirements of SC6.4 Development manual planning scheme policy are listed below in Table 1.

Table 1 – Specific exceptions to the requirements of SC6.4 Development manual planning scheme policy

Clause	Exception
SC6.4.2.5 (1)	Remove: All designs must be prepared and certified by an appropriately qualified professional with relevant experience. Replace with: All designs will be prepared by suitably qualified staff, as determined by LCJ Engineers and certified by an appropriately qualified professional with relevant experience.
SC6.4.2.5 (2)	Remove: Copies of records are to be made available to Council on request and without charge. Replace with: Copies of records are to be made available to Council in response to any Requests for Information during the approval process, however once the approval is granted any further requests for records will be assessed on a case-by-case basis and attract a retrieval fee.
SC6.4.2.6 (3)	Remove: The consultant on behalf of the Developer must present all design drawings and specification for the development works to Council for audit purposed. Replace with: The Developer must present all design drawings and specification for the development works to Council for audit purposed.

Table 1 – Specific exceptions to the requirements of SC6.4 (contd)

Clause	Exception
SC6.4.2 Details on Drawings Guidelines	cl.(1)(e) Drawings have coloured linework to better portray information. cl.(1)(g)(ix) survey datum is not shown on each drawing. cl(1)(j)(iii) grades are shown in ratio or percentage cl(4)(f) pathway cross sections are not detailed.

Yours faithfully



DE JOHNSTONE
MANAGER
BE (Hons), MIE Aust, CP Eng