

AMENDED IN RED

By: Andrew Edwards

Date: 12 May 2026



COMPLIANCE ENDORSEMENT referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2026/FLA/4665

Condition no: 46 (A)

Date: XX May 2026



Lot 1014, ON TBA

Street Number # (61)
Street Name Bohle Street
Suburb South Maclean QLD,
4280
Local Authority Logan C.C.
Site Area 607m²
Site Coverage 54.3%

SERVICES

Power Underground
Phone Underground
Water To Be Located
Sewerage To Be Located
Stormwater To Be Located
Road Bitumen/Concrete
Kerb Mountable/Standard
Footpath TBA

FRAME DETAIL NOTE

Frame Layout Including Beam Sizes & Form 15 Design Certificate is to be Provided to Prior to Frame Inspection. Frame Inspections can not be Carried Out Without these Details.

TRUSS DETAIL NOTE

Truss Manufacture Details to be Provided Prior to Frame Inspection. Frame Inspections can not be Carried Out Without these Details.

RETAINING WALL NOTE

Retaining Wall will be Constructed at the Builder Discretion.

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH THE FOLLOWING

The National Construction Code (NCC); The Building Code of Australia (BCA); The Queensland Development Code (QDC); Building regulations & local government plans & policies, current issues of Australian Standards, current manufacturers specifications & installation details for specified materials used

BUILDING PRODUCTS & MATERIAL NOTE

Building Products/Materials are to be as per approved plans. Substitutions of Building Products/Materials is not permitted without prior approval of certifier.

Non-Confirming Building Products are not permitted & will be notified to the QBCC. The builder is responsible for ensuring all products used in the construction are compliant and fit for purpose

SITE NOTES

- Should there be any variance in soil conditions to the soil report, consult the engineer.
- Ground to fall away at a minimum 1:20 for 1000mm, immediately at the dwelling, and directed to a yard gully to prevent ponding and discharged via 90mm separate PVC line & to the legal point of discharge to the satisfaction of the relevant authority.
- All surface vegetation to be removed from the building pad.
- Should any tree stumps, rock floaters or similar interfere with the footings, they should be removed and footings to be founded on undisturbed foundation material.
- Rainfall intensity of 250mm / hr with ARI in 20 years (Brisbane) as per Part 7.4. of the N.C.C., the roof area per downpipe is calculated using the Steeline Qld. Quad eaves gutter with an effective cross-sectional area of 8100sq.mm. achieving a max. actual roof area per downpipe of 40m². Which gives a max. plan area of 49.8m @ 5°, 49.2 @ 10°, 48.3m @ 15°, 47.0m @ 20°, 45.3m @ 25° & using 100 X 75mm downpipes.
- As per Part 3.3 of the Current N.C.C. in accordance with AS / NZ 3500.3.2, UPVC stormwater pipelines having a smooth (Non-profiled) internal bore with a fall of 1:100min. & a nominal diameter of 100mm achieves a hydraulic capacity of 8L/s, giving a max. actual roof area of 114.7m² or a max. plan area of 110.2m @ 5°, 105.2m @ 10°, 101.0m @ 15°, 97.2m @ 20°, 93.2m @ 25° per stormwater pipe.

ROOF WATER DISCHARGE NOTE

7.2 Water Discharge, Where Eaves Gutter is Provided, Roof Sheets Must Overhang the Fascia, or End Battens by Not Less Than 50mm

STORMWATER DISCHARGE NOTE

Stormwater to be Piped to a Legal Point of Discharge to Council Requirements. Surface Water Drainage to Comply with the Current NCC and AS3500. Not to Cause Nuisance to Adjoining Properties

TERMITE PROTECTION NOTE

Termite Protection Required for all New Work in Ground Contact and Disturbed Soil Areas

SITEWORKS:

Cut: TBA
Fill: TBA

Pad R.L.: TBA
Slab R.L.: TBA

BUILDING PLATFORM HEIGHT SHOWN IS APPROX. ONLY & MAY VARY ON SITE DUE TO SITE CONDITIONS

ENVIRONMENTAL NOTE

Best practice & procedures for erosion & sediment control as outlined by Logan C.C. regulations to be adhered too.

GP

EXACT YARD GULLIES LOCATIONS TBC ON-SITE

SEWER & STORMWATER DETAILS:

SEWER CONNECTION POINT

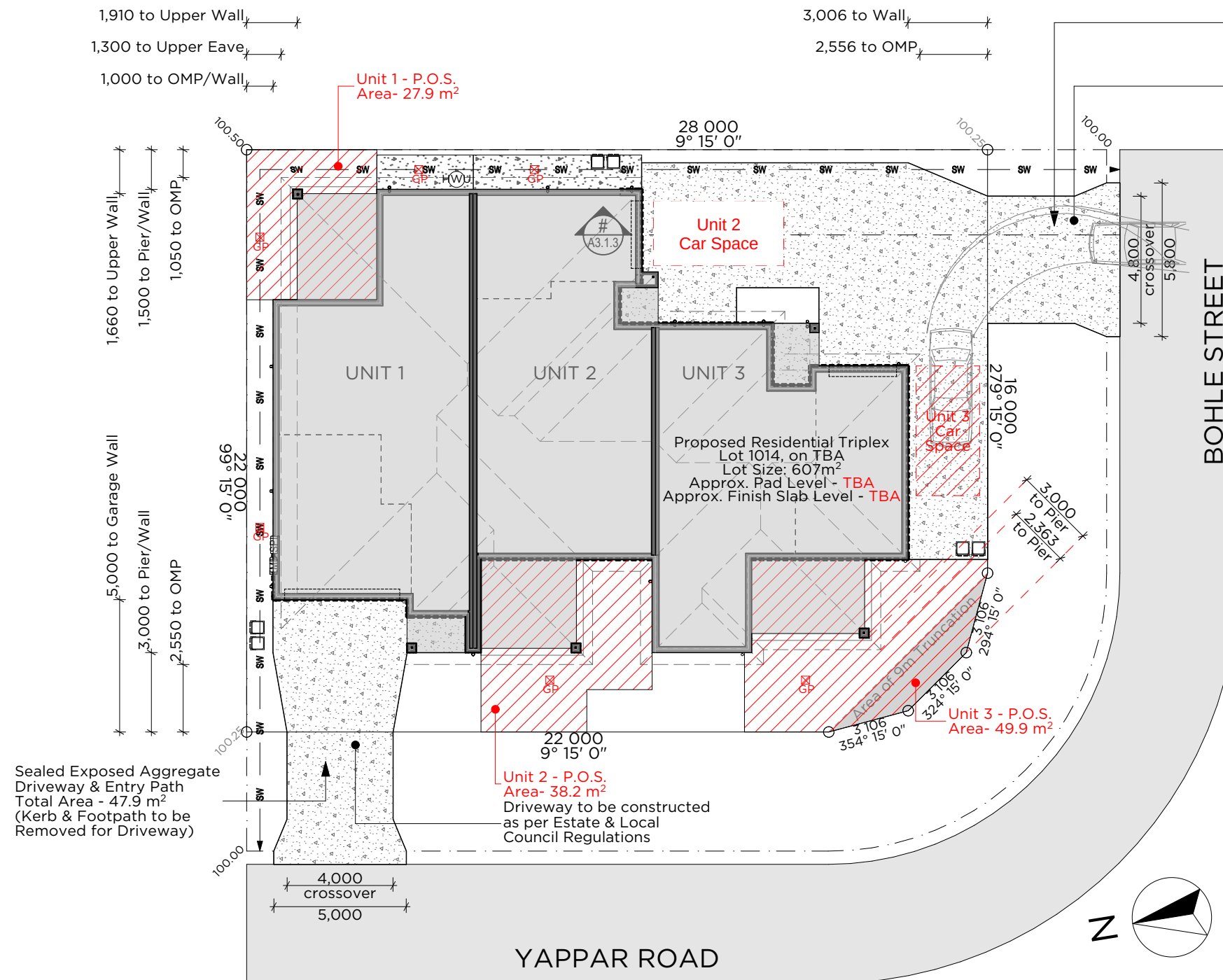
HCSL: TBA
HCIL: TBA
Depth: TBA

STORMWATER CONNECTION POINT AT INTERALLOTMENT DRAINAGE

HCSL: TBA
HCIL: TBA
Depth: TBA

Building Site Coverage - 331.1 m²

Sealed Exposed Aggregate Driveway & Entry Path Total Area - 134.8 m² (Kerb & Footpath to be Removed for Driveway) Driveway to be constructed as per Estate & Local Council Regulations



Plan
Site Plan - Proposed
SCALE: 1:200

project details :
MAINE
220
Harvard

project number :
1014BOHL

client :
INSPIRE STYLE & LIVING

project address :
Lot 1014, # (61) Bohle Street
South Maclean QLD, 4280

real property description :
TBA

local authority :
Logan C.C.

covenant details :
Flourish - St-10A

wind class :
TBA

acoustic :
TBA

flood level :
TBA

soil class :
TBA

BAL :
TBA

rainfall :
TBA

page :
A3.1.3

date :
02/04/2026

time :
3:31 PM

drawing name :
Site Plan

project status :
Lodgement Plans

scale :
1:200@A3

drawn :
TDA

check by :
TDA

I/We approve this current drawing set to be correct as per the signed contract & specification.

INITIAL

INITIAL

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COMPLIANCE ENDORSEMENT
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026/FLA/4665

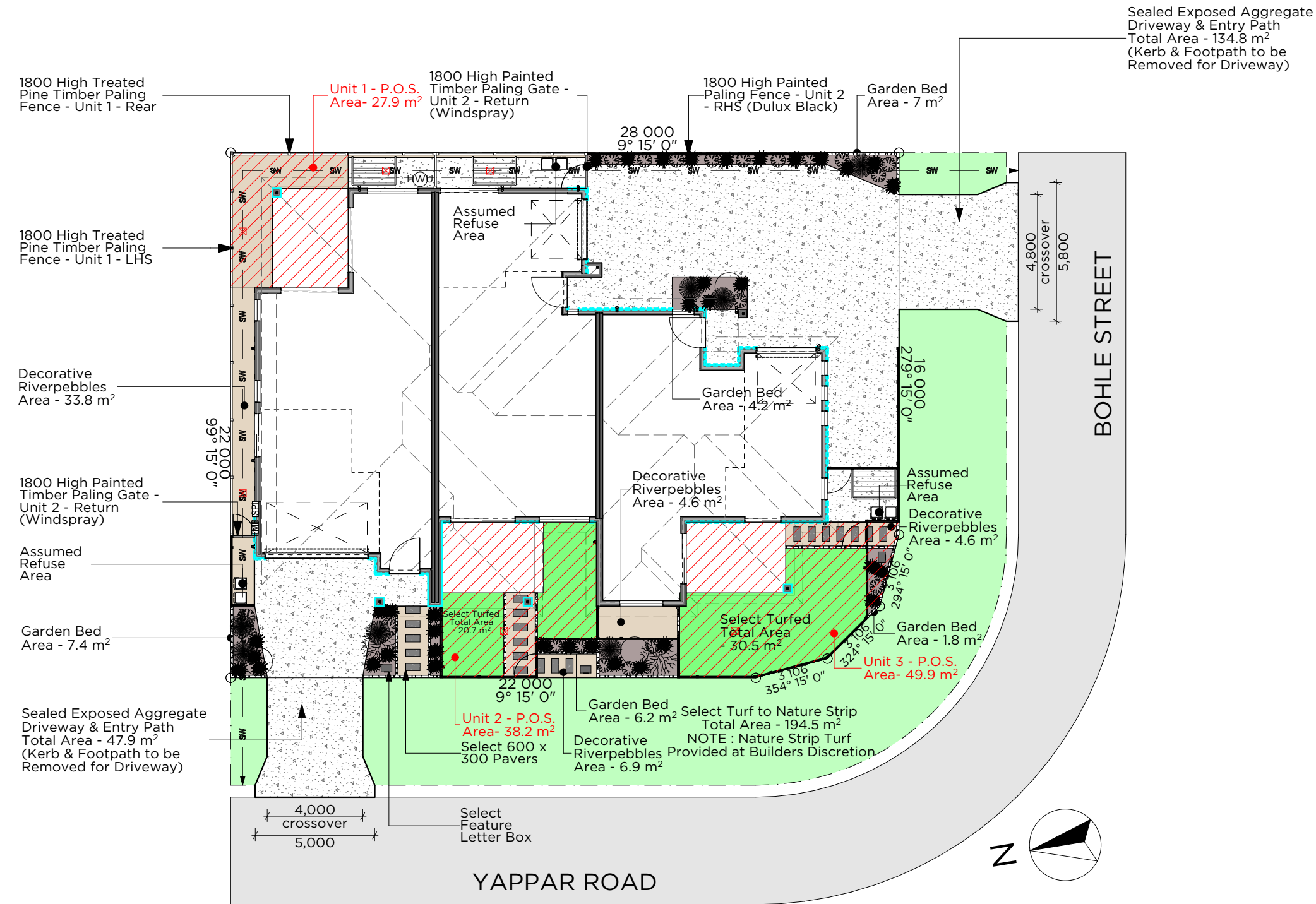
Condition no: 46 (A)

Date: XX May 2026



Queensland
Government

EXTERNAL SLAB NOTE: All External Concrete Slabs to Finish 75mm Below DPC (Damp Proof Course)	FENCING NOTE Fencing by others will not be removed or reinstated and is not the responsibility of the builder or builders warranty.
RETAINING WALL NOTE: Retaining Wall will be Constructed at the Builder Discretion	PLANT SELECTION NOTE Plant Selection at the Builders Discretion, May be Subject to Change due to Seasonal Availability



FENCING & RETAINING WALL SCHEDULE	
FENCE TYPE	LENGTH
1500 High Feature Painted Timber Fence - Unit 2 - Path Return (Dulux Black)	700
1500 High Feature Painted Timber Fence - Unit 3 - Garden Return (Dulux Black)	700 mm
1500 High Feature Painted Timber Fencing - Unit 2 - Front (Dulux Black)	1,700 mm
1500 High Feature Painted Timber Fencing - Unit 2 - Front Garden (Dulux Black)	4,099
1500 High Feature Painted Timber Fencing - Unit 3 - Corner (Dulux Black)	2,679
1500 High Feature Painted Timber Fencing - Unit 3 - Corner (Dulux Black)	2,679 mm
1500 High Feature Painted Timber Fencing - Unit 3 - Corner (Dulux Black)	2,404
1500 High Feature Painted Timber Fencing - Unit 3 - Corner (Dulux Black)	3,106
1500 High Feature Painted Timber Fencing - Unit 3 - Corner (Dulux Black)	3,286
1500 High Feature Painted Timber Fencing - Unit 3 - Front (Dulux Black)	8,796 mm
1500 High Feature Painted Timber Fencing - Unit 3 - Garden (Dulux Black)	3,480
1500 High Feature Painted Timber Fencing - Unit 3 - Garden (Dulux Black)	3,480 mm
1500 High Feature Painted Timber Fencing - Unit 3 - Garden (Dulux Black)	3,016
1500 High Feature Painted Timber Gate - Unit 2 - Path Return (Dulux Black)	3,016 mm
1500 High Feature Painted Timber Gate - Unit 3 - Garden (Dulux Black)	900
1800 High Feature Painted Timber Fencing - Unit 3 - Front Courtyard (Dulux Black)	1,000
1800 High Feature Painted Timber Fencing Screen - Unit 1 - Front (Dulux Black)	1,000 mm
1800 High Feature Painted Timber Paling Fence - Unit 1 - Entry Return (Dulux Black)	7,310
1800 High Feature Painted Timber Paling Fence - Unit 3 - Courtyard Return (Dulux Black)	7,310 mm
1800 High Ferature Paling Fence - Unit 2/3 - Return (Dulux Black)	1,000
1800 High Painted Paling Fence - Unit 2 - RHS (Dulux Black)	1,000 mm
1800 High Painted Paling Fence - Unit 2 Return (Windspray)	3,000
1800 High Painted Timber Paling Fence - Unit 1 - LHS (Dulux Black)	3,000 mm
1800 High Painted Timber Paling Fence - Unit 3 - Courtyard Return (Dulux Black)	1,400
1800 High Ferature Paling Fence - Unit 2/3 - Return (Dulux Black)	1,400 mm
1800 High Painted Paling Fence - Unit 2 - RHS (Dulux Black)	1,400 mm
1800 High Painted Paling Fence - Unit 2 Return (Windspray)	10,170
1800 High Painted Timber Paling Fence - Unit 1 - LHS (Dulux Black)	500
1800 High Painted Timber Paling Fence - Unit 3 - Courtyard Return (Dulux Black)	500 mm
1800 High Painted Timber Paling Gate - Unit 2 - Return (Windspray)	2,955
1800 High Painted Timber Paling Gate - Unit 3 - Courtyard Return (Dulux Black)	2,955 mm
1800 High Painted Timber Paling Gate - Unit 2 - Return (Windspray)	2,006
1800 High Painted Timber Paling Gate - Unit 2 - Return (Windspray)	2,006 mm
1800 High Painted Timber Paling Gate - Unit 2 - Return (Windspray)	1,000
1800 High Painted Timber Paling Gate - Unit 3 - Parking Bay (Dulux Black)	1,000 mm
1800 High Terated Pine Paling Fence - Unit 2 - RHS	900
1800 High Treated Pine Paling Fence - Unit 1 - LHS	1,000 mm
1800 High Treated Pine Paling Fence - Unit 1 - Rear	6,315
1800 High Treated Pine Paling Fence - Unit 1 & 2 - Return	6,315 mm
	16,088
	16,088 mm
	8,565
	8,565 mm
	1,500
	1,500 mm
	91,479 mm

LANDSCAPING SCHEDULE			
BOTANICAL NAME/COMMON NAME	SIZE	QTY.	PLAN
Liriope Muscari/Liriope Evergreen Giant	Cover - 140mm	36	●
Acmena Smithii/Allyn Magic	Shrub - 200	20	●
Gardenia Augusta/Gardenia Florida	Shrub - 200mm	7	●
Cordyline Australis/Cordyline Red Sensation	Shrub - 300mm	3	○
Buckinghamia Celsissima/Ivory Curl Tree	Tree - 45lt	2	●
		68	

Plan
Landscaping Plan
SCALE: 1:200

All External Concrete Slabs to Finish
75mm Below Damp Proof Course
(DPC)

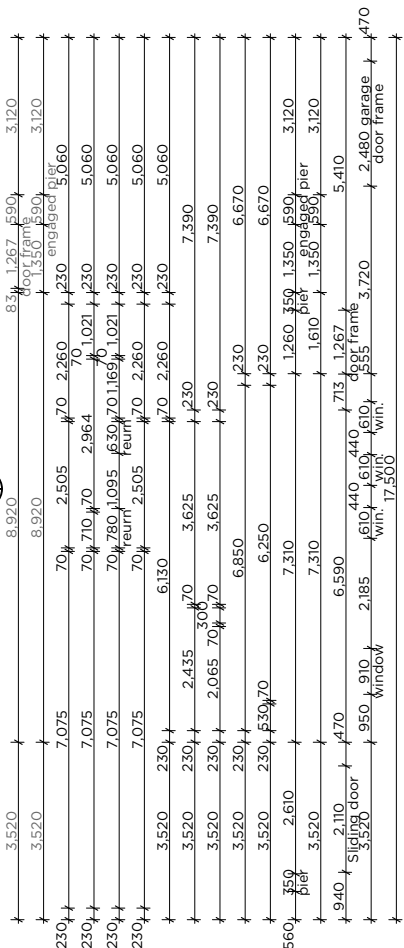
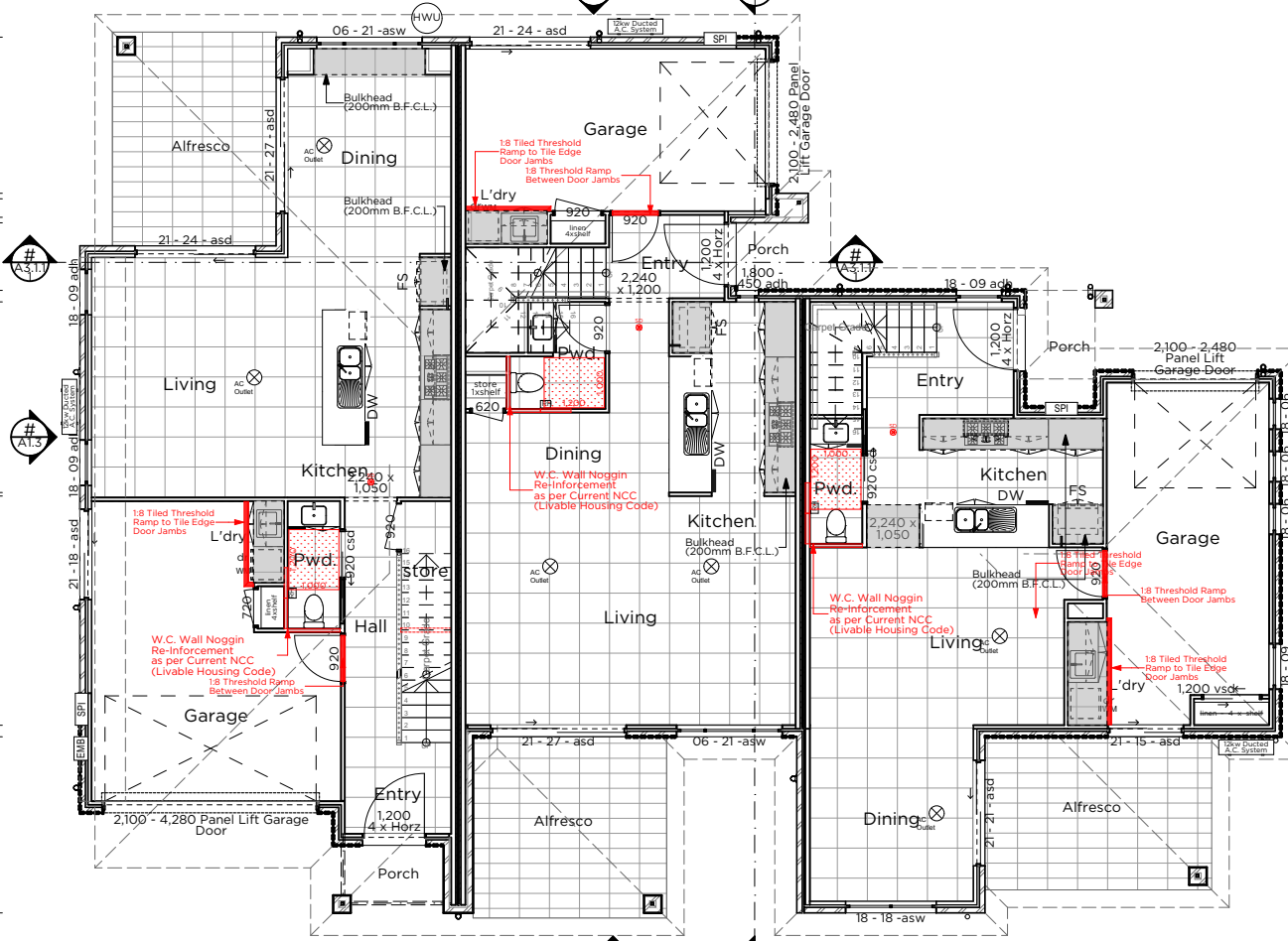
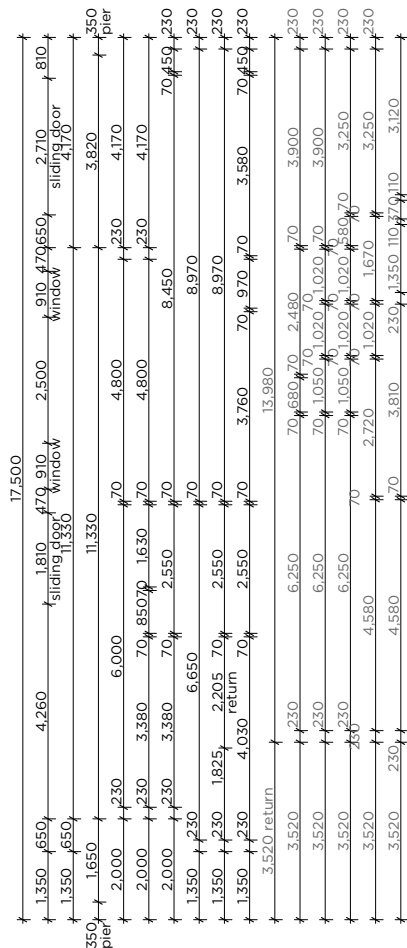
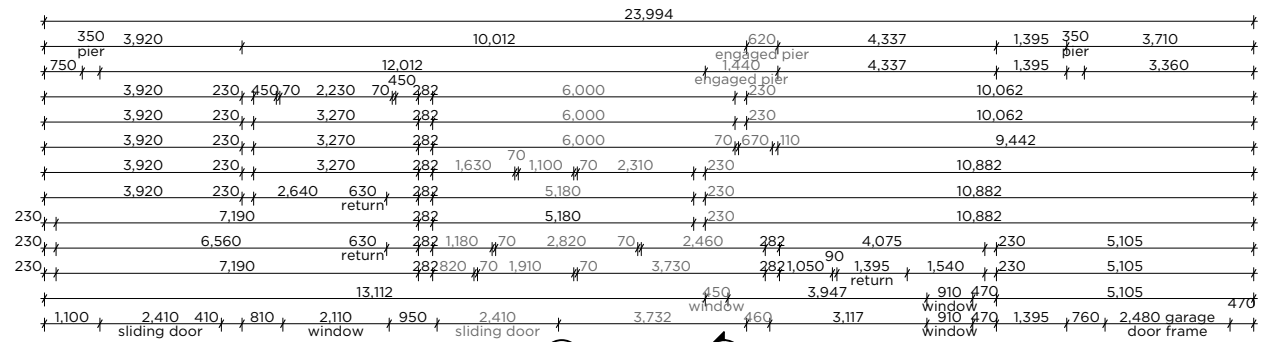
1. All building works to be completed in accordance with the Current N.C.C.
2. Beams and supports to engineers' detail, and/or frame and truss manufacturers' specification as required.
3. The tie down details to be as per the table on the bracing plan. Roof trusses to be as per the engineered design provided by the truss manufacturer, and fixed in accordance with their details.
4. Roof members, trusses, floor joists and pre-fab frames designed and installed to manufacturers specifications.
5. 450mm eave unless notified otherwise.

An Exhaust System Installed to a Kitchen, Bathroom, Sanitary Compartment or Laundry Must:

- Must be Discharges Via a Duct System to Outdoor Air; or to a Ventilated Roof Space Complying with 10.8 of the Current N.C.C.

All External Doors and Internal Door Between
a Class 1 & Unconditioned Class 10 Shall Have:

1. Seal Installed to the Bottom of the Door
2. Foam or Rubber Edges to the Other Side or Edges



6. Glazing to comply with AS1288 and AS2047.
7. Smoke alarms to comply with AS3786.
8. Concrete construction as per Engineers Design, and to comply with AS2870 -2011 and AS3600.
9. Brickwork to comply with AS2870 and AS3700, Articulation joints to be installed as per the engineers drawings. R3 brick ties to be used and R4 brick ties must be used where the residence is within 1km of the ocean.
10. 10mm plasterboard direct fix to walls and ceilings, 10mm W.R. plasterboard fixed to wet area walls.
11. Structural Steel as per engineers design.
12. Tiling to comply with AS3958.
13. Roofing to be installed in accordance with AS2049-2050, and AS1562.1
14. Waterproofing to comply with AS3740 and AS4654.
15. Termitte Management System to be installed in accordance with AS3600.1-2000.

Approval no: DEV2026/FLA/4665
Condition no: 46 (A)
Date: XX May 2026



project address :
Lot 1014, #(61) Bohle Street
South Maclean QLD, 4280

covenant details :
Flourish - St-10A



flood level
TBA

rainfall :
TBA

page :
A3.1.5
date :
02/04/2026
time :
3:31 PM

drawn : check by :
TDA TDA

INITIAL _ _ _ _ _
INITIAL

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1	Living - Lower	73.34
1	Living - Upper	93.46
2	Garage	29.53
3	Alfresco	12.07
4	Porch	2.98
4	Stair Void	11.83
		223.21 m

1	Living - Lower	69.27
1	Living - Upper	95.18
2	Garage	24.27
3	Alfresco	12.12
4	Porch	2.31
4	Stair Void	5.18
4	Void	1.79
		210.12 m

1	Living - Lower	61.94
1	Living - Upper	90.45
2	Garage	27.29
3	Alfresco	11.96
4	Porch	3.82
4	Stair Void	7.32
		202.78 m

Plan
Floor Plan - Lower
SCALE: 1:150

INSPIRE
- STYLE & LIVING -

EXTERNAL CONCRETE NOTE:

All External Concrete Slabs to Finish 75mm Below Damp Proof Course (DPC)

GENERAL NOTES:

1. All building works to be completed in accordance with the Current N.C.C.
2. Beams and supports to engineers' detail, and/or frame and truss manufacturers' specification as required.
3. The tie down details to be as per the table on the bracing plan. Roof trusses to be as per the engineered design provided by the truss manufacturer, and fixed in accordance with their details.
4. Roof members, trusses, floor joists and pre-fab frames designed and installed to manufacturers specifications.
5. 450mm eave unless notified otherwise.

VENTILATION SYSTEM NOTE:

An Exhaust System Installed to a Kitchen, Bathroom, Sanitary Compartment or Laundry Must:

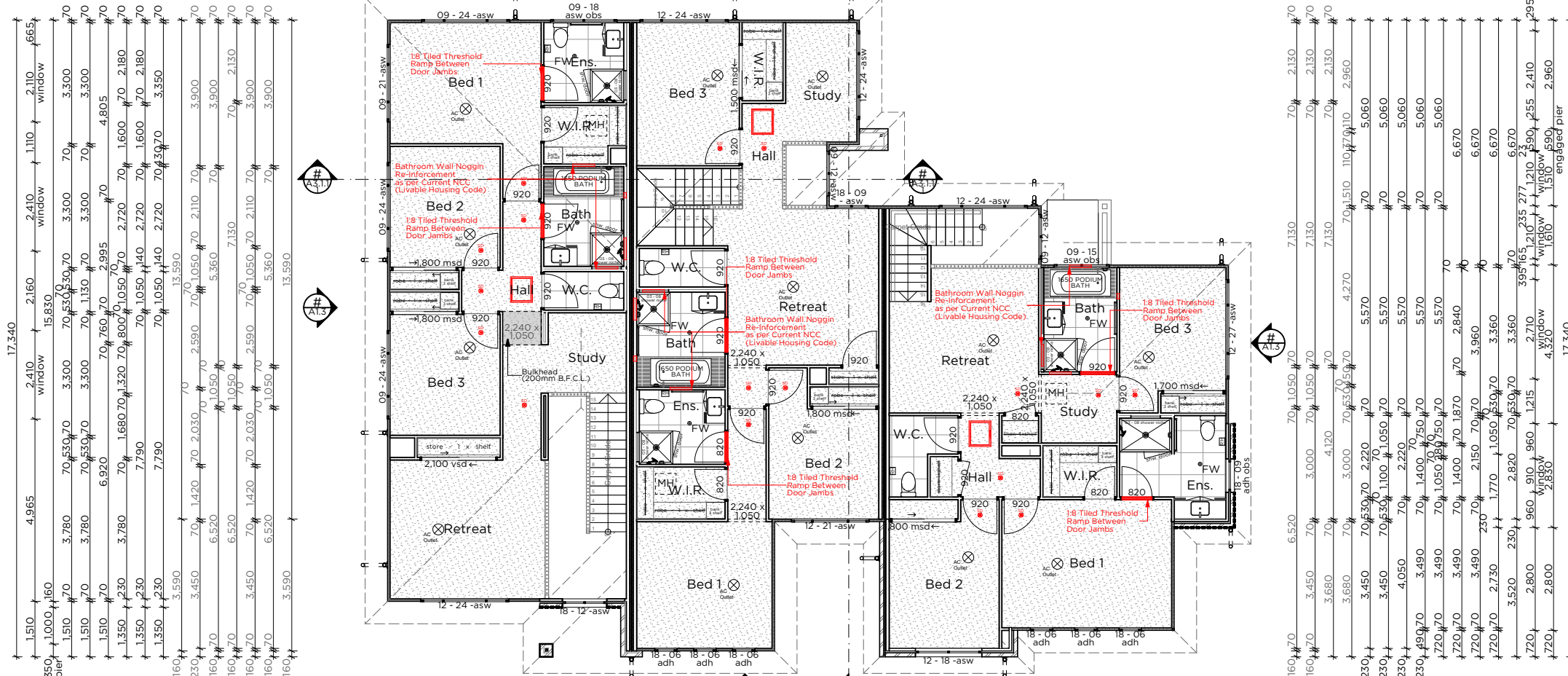
1. Achieve 25L/s for Bathrooms or Sanitary Compartments
2. Isolated Sanitary Space to have a Min. 10min Run Time Ventilation Device in Series with the Light Switch & a 20mm Gap to Base of Door
3. Achieve 40L/s for a Kitchen or Laundry

Must be Discharges Via a Duct System to Outdoor Air, or to a Ventilated Roof Space Complying with 10.8 of the Current N.C.C.

ENERGY EFFICIENCY NOTE:

All External Doors and Internal Door Between a Class 1 & Unconditioned Class 10 Shall Have:

1. Seal Istalled to the Bottom of the Door
2. Foam or Rubber Edges to the Other Side or Edges



GENERAL NOTE CONT.:

6. Glazing to comply with AS1288 and AS2047.
7. Smoke alarms to comply with AS3786.
8. Concrete construction as per Engineers Design, and to comply with AS2870 -2011 and AS3600.
9. Brickwork to comply with AS2870 and AS3700, Articulation joints to be installed as per the engineers drawings. R3 brick ties to be used and R4 brick ties must be used where the residence is within 1km of the ocean.
10. 10mm plasterboard direct fix to walls and ceilings, 10mm W.R. plasterboard fixed to wet area walls.
11. Structural Steel as per engineers design.
12. Tiling to comply with AS3958.
13. Roofing to be installed in accordance with AS2049-2050, and AS1562.1
14. Waterproofing to comply with AS3740 and AS4654.
15. Termite Management System to be installed in accordance with AS3600.1-2000.

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Condition no: 46 (A)

Date: XX May 2026



Plan
Floor Plan - Upper
SCALE: 1:150

project details :
MAINE
220
Harvard

client :
INSPIRE STYLE & LIVING

project address :
Lot 1014, # (61) Bohle Street
South Maclean QLD, 4280

real property description :
TBA

local authority :
Logan C.C.

covenant details :
Flourish - St-10A



wind class :
TBA

acoustic :
TBA

flood level :
TBA

soil class :
TBA

BAL :
TBA

rainfall :
TBA

page :
A3.1.6
date :
02/04/2026

time :
3:31 PM

drawing name :
Floor Plan Upper
project status :
Lodgement Plans

scale :
1:150@A3

drawn :
TDA

check by :
TDA

I/We approve this current drawing set to be correct as per the signed contract & specification.

INITIAL _ _ _ _

INITIAL _ _ _ _

Dimension Notice: Dimensions shall not be obtained by scaling. All dimensions are in millimeters unless noted otherwise. Setout dimensions shall be verified on site prior to any work being carried out. Problems shall be directed to the builder for clarification.

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TOTAL AREAS - Unit 1

1	Living - Lower	73.34
1	Living - Upper	93.46
2	Garage	29.53
3	Alfresco	12.07
4	Porch	2.98
4	Stair Void	11.83
		223.21 m

TOTAL AREAS - Unit 2

1	Living - Lower	69.27
1	Living - Upper	95.18
2	Garage	24.27
3	Alfresco	12.12
4	Porch	2.31
4	Stair Void	5.18
4	Void	1.79
		210.12 m

TOTAL AREAS - Unit 3

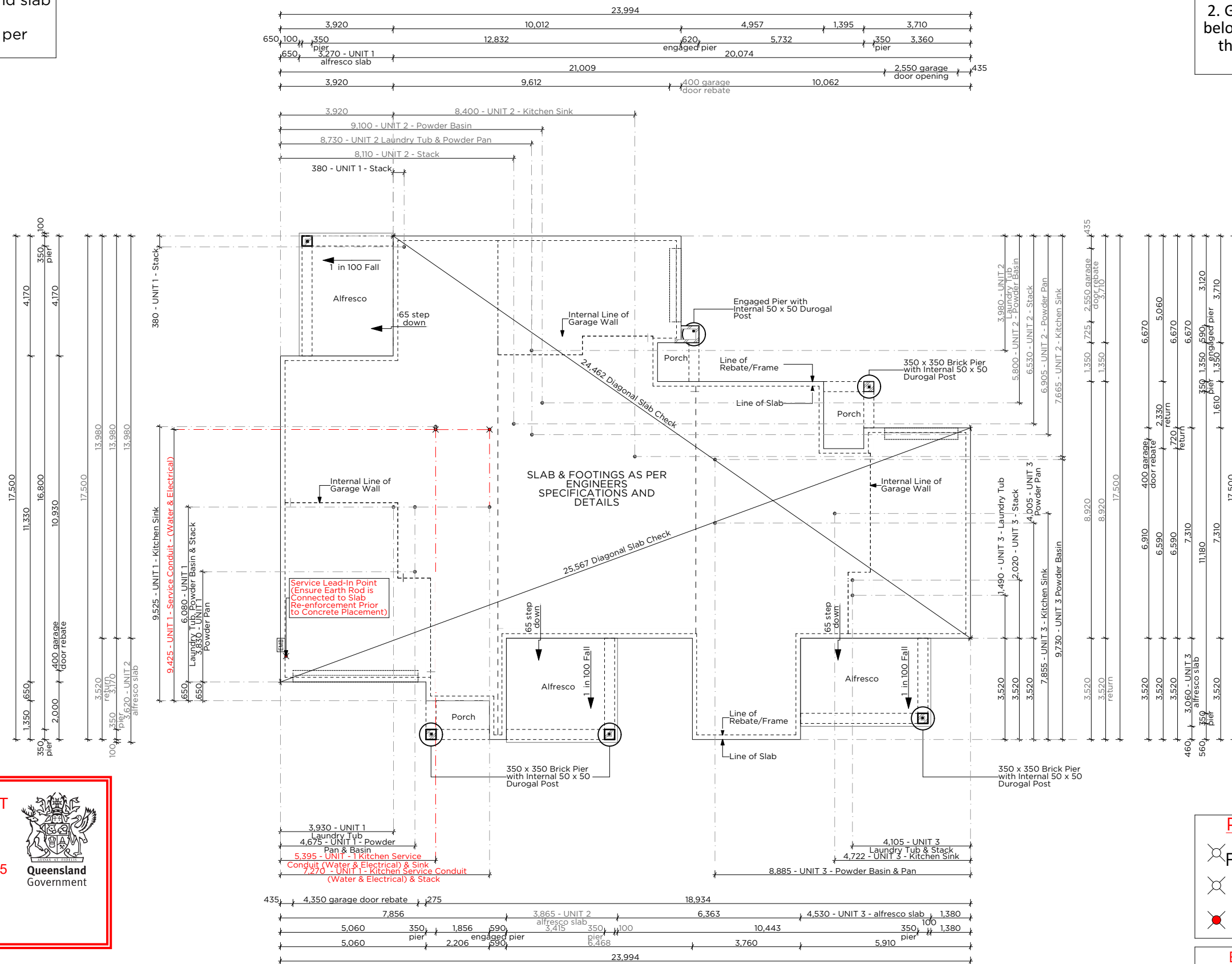
1	Living - Lower	61.94
1	Living - Upper	90.45
2	Garage	27.29
3	Alfresco	11.96
4	Porch	3.82
4	Stair Void	7.32
		202.78 m

INSPIRE
- STYLE & LIVING -

1. To be read in conjunction with the floor plan and elevations. To be read similarly with the engineers drawing, refer to the engineers footing and slab details.

2. Provide Termite barrier as per AS3660.1-2009.

1. All External Concrete Slabs to Finish 75mm Below DPC (Damp Proof Course)
2. Garage to have minimum 50mm step below house slab or 50mm step down to the driveway with req fall away from building.



Queensland
Government



Plan
Slab Setout LFL
SCALE: 1:150

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 FW Denotes Floor Waste Penetration Point
 Denotes Waste Water Penetration Point
 Denotes Service Penetration Point

Finished slab heights above external finished surfaces:

1. 50mm above paved or concrete areas that fall away from the building
2. 150mm in all other cases

INSPIRE
-STYLE & LIVING-

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Date: XX May 2026



Plan Floor System Setout UFL SCALE: 1:150

project details :
MAINE
220
Harvard

project number :
1014BOHL

client :
INSPIRE STYLE & LIVING

project address :
Lot 1014, # (61) Bohle Street
South Maclean QLD, 4280

real property description :
TBA

local authority :
Logan C.C.

covenant details :
Flourish - St-10A



wind class :
TBA
acoustic :
TBA
flood level :
TBA

soil class :
TBA
rainfall :
TBA

page :
A3.1.8
date :
02/04/2026
time :
3:32 PM

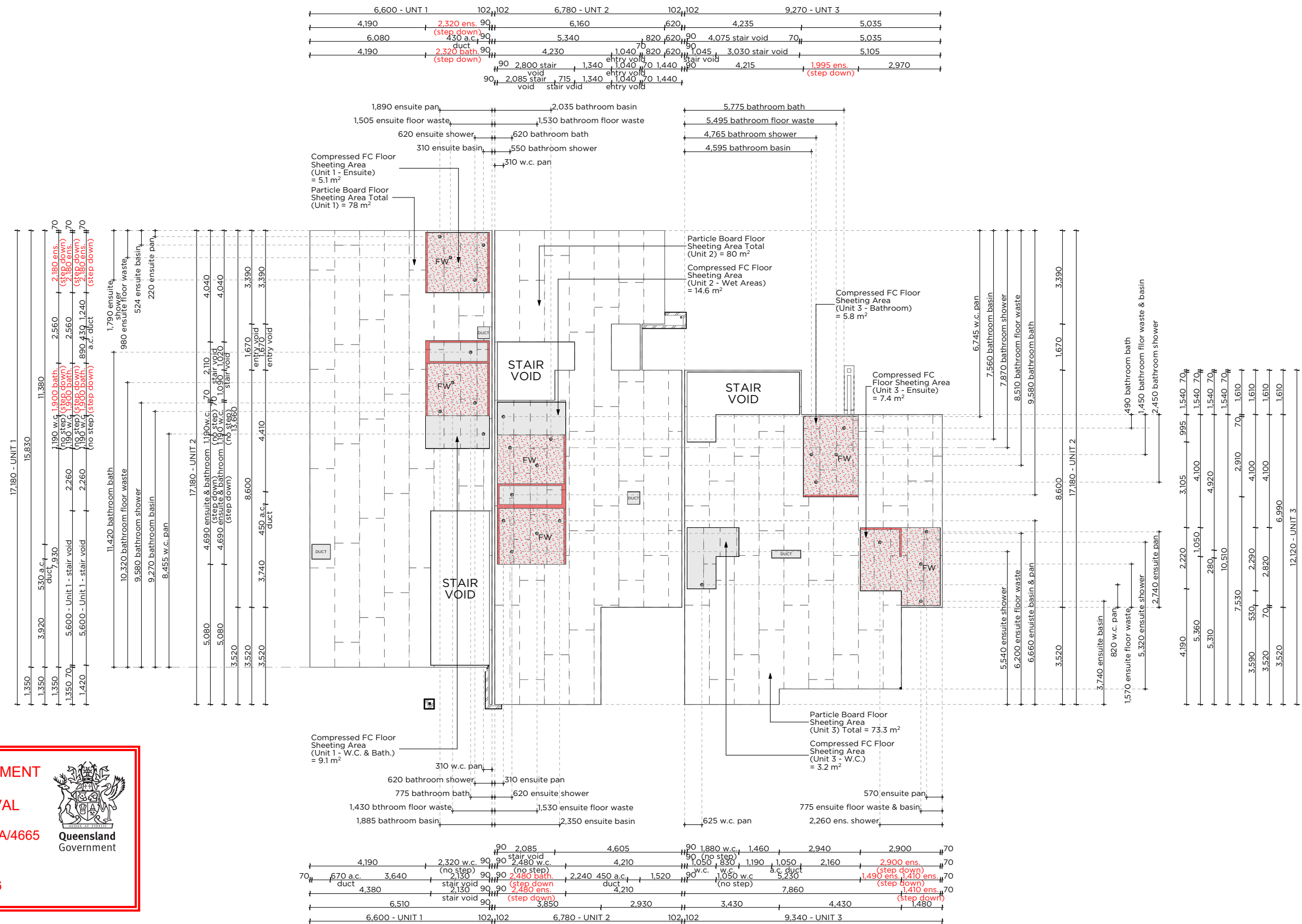
drawing name :
Floor System Setout
project status :
Lodgement Plans

scale :
1:150@A3
drawn :
TDA
check by :
TDA

I/We approve this current
drawing set to be correct
as per the signed contract
& specification.

INITIAL
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ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH THE FOLLOWING

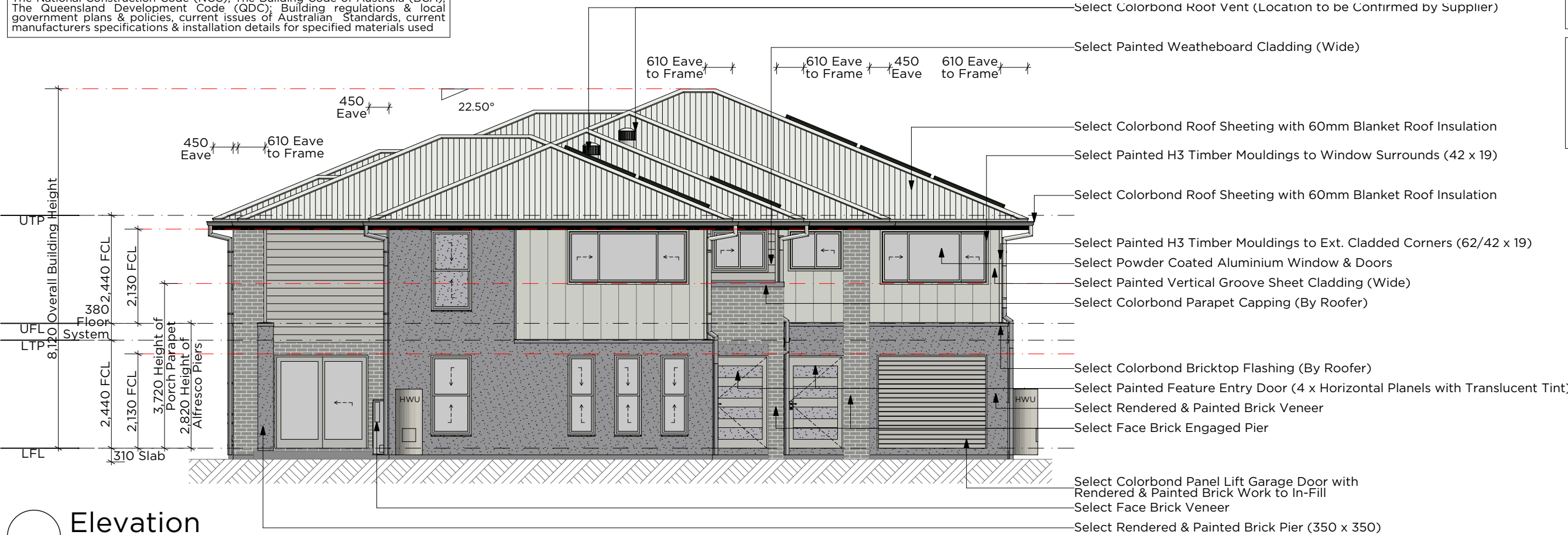
The National Construction Code (NCC); The Building Code of Australia (BCA); The Queensland Development Code (QDC); Building regulations & local government plans & policies, current issues of Australian Standards, current manufacturers specifications & installation details for specified materials used

WALL INSULATION NOTE:

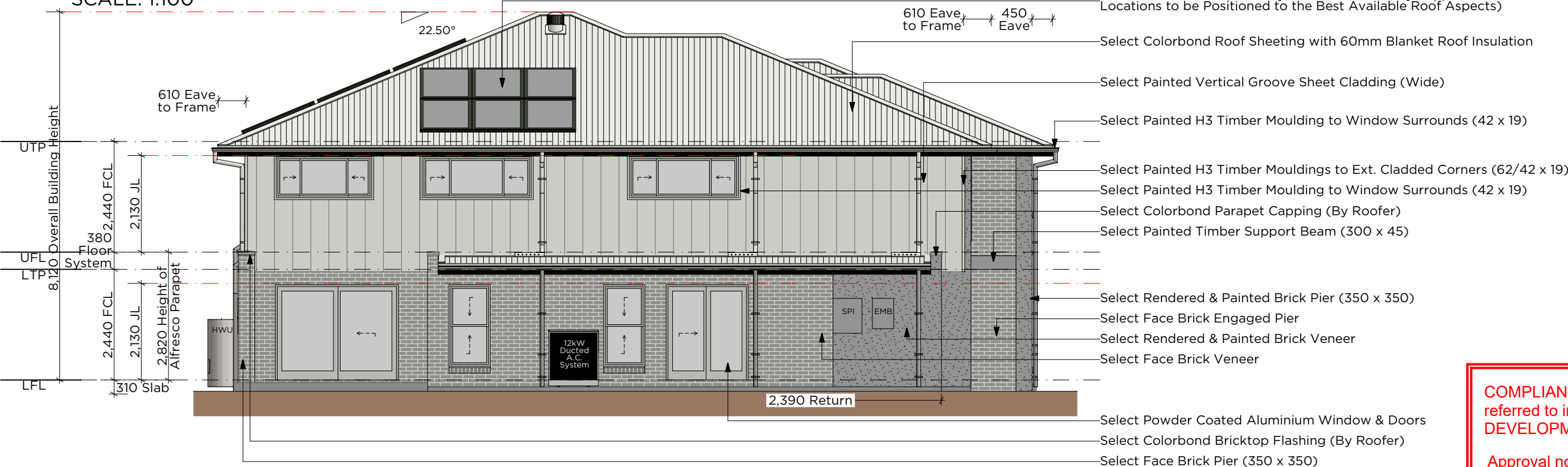
All Lightweight Cladded External Walls to have a Minimum of R2.0 (75mm) Thermal Insulation Wall Batts Installed. Refer to Energy Efficiency Report for Materials Confirmation.

EXTERNAL CLEARANCE NOTE

Finished clearance from bottom of wall cladding to be constructed as follows: 50mm above paved or concrete areas that fall away from the building 150mm in all other cases 50mm below bearer or lowest horizontal part of suspended floor



Elevation South SCALE: 1:100



Elevation North SCALE: 1:100

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project details : MAINE 220 Harvard
client : INSPIRE STYLE & LIVING
project address : Lot 1014, # (61) Bohle Street South Maclean QLD, 4280
project number : 1014BOHL

real property description : TBA
local authority : Logan C.C.
covenant details : Flourish - St-10A



wind class : TBA
acoustic : TBA
flood level : TBA
soil class : TBA
BAL : TBA
rainfall : TBA

page : A3.1.9
date : 02/04/2026
time : 3:32 PM

drawing name : Elevations 1 of 2
project status : Lodgement Plans
scale : 1:100@A3
drawn : TDA
check by : TDA

I/We approve this current drawing set to be correct as per the signed contract & specification.
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EXTERNAL CLEARANCE NOTE

Finished clearance from bottom of wall cladding to be constructed as follows:
50mm above paved or concrete areas that fall away from the building
150mm in all other cases
50mm below bearer or lowest horizontal part of suspended floor

WALL INSULATION NOTE:

All Lightweight Cladded External Walls to have a Minimum of R2.0 (75mm) Thermal Insulation Wall Batts Installed.
Refer to Energy Efficiency Report for Materials Confirmation.

COMPLIANCE ENDORSEMENT
referred to in the PDA
DEVELOPMENT APPROVAL



Approval no: DEV2026/FLA/4665
Condition no: 46 (A)
Date: XX May 2026



- Select Painted Weatherboard Cladding (Wide)
- Select Colorbond Roof Vent (Location to be Confirmed by Supplier)
- Select Solar Panels (Quantity to be Confirmed by Supplier. Locations to be Positioned to the Best Available Roof Aspects)
- Select Colorbond Roof Sheetting with 60mm Blanket Roof Insulation
- Select Colorbond Fascia & Gutter
- Select Painted Vertical Groove Sheet Cladding (Wide)
- Select Painted H3 Timber to Window Surrounds (42 x 19)
- Select Painted H3 Timber Mouldings to Ext. Cladded Corners (62/42 x 19)
- Select Colorbond Parapet Capping (By Roofer)
- Select Colorbond Bricktop Flashing (By Roofer)
- Select Powder Coated Aluminium Window & Doors
- Select Face Brick Pier (350 x 350)
- Select Rendered & Painted Brick Veneer

Elevation East
SCALE: 1:100



- Select Face Brick Engaged Pier
- Select Face Brick Pier (350 x 350)
- Select Colorbond Panel Lift Door with Rendered & Painted Brick Work to In-Fill
- Select Solar Panels (Quantity to be Confirmed by Supplier. Locations to be Positioned to the Best Available Roof Aspects)
- Select Colorbond Roof Vent (Location to be Confirmed by Supplier)
- Select Colorbond Roof Sheetting with 60mm Blanket Roof Insulation
- Select Colorbond Fascia & Gutter
- Select Painted H3 Timber Mouldings to Window Surrounds (42 x 19)
- Select Painted Weatherboard Cladding (Wide)
- Select Painted H3 Timber Mouldings to Ext. Corners (62/42 x 19)
- Select Painted Vertical Groove Sheet Cladding (Narrow)
- Select Colorbond Bricktop Flashing (By Roofer)
- Select Powder Coated Aluminium Window & Doors
- Select Rendered & Painted Brick Pier (350 x 350)
- Select Rendered & Painted Brick Veneer
- Select Face Brick Veneer
- Select Face Brick Engaged Pier
- Select Painted Feature Entry Door (4 x Horizontal Panels with Translucent Tint)
- Select Painted Feature Support Beam (300 x 45)
- Select Colorbond Panel Lift Garage Door with Rendered & Painted 7.5mm FC Sheetting to In-Fill

Elevation West
SCALE: 1:100

INSPIRE
- STYLE & LIVING -

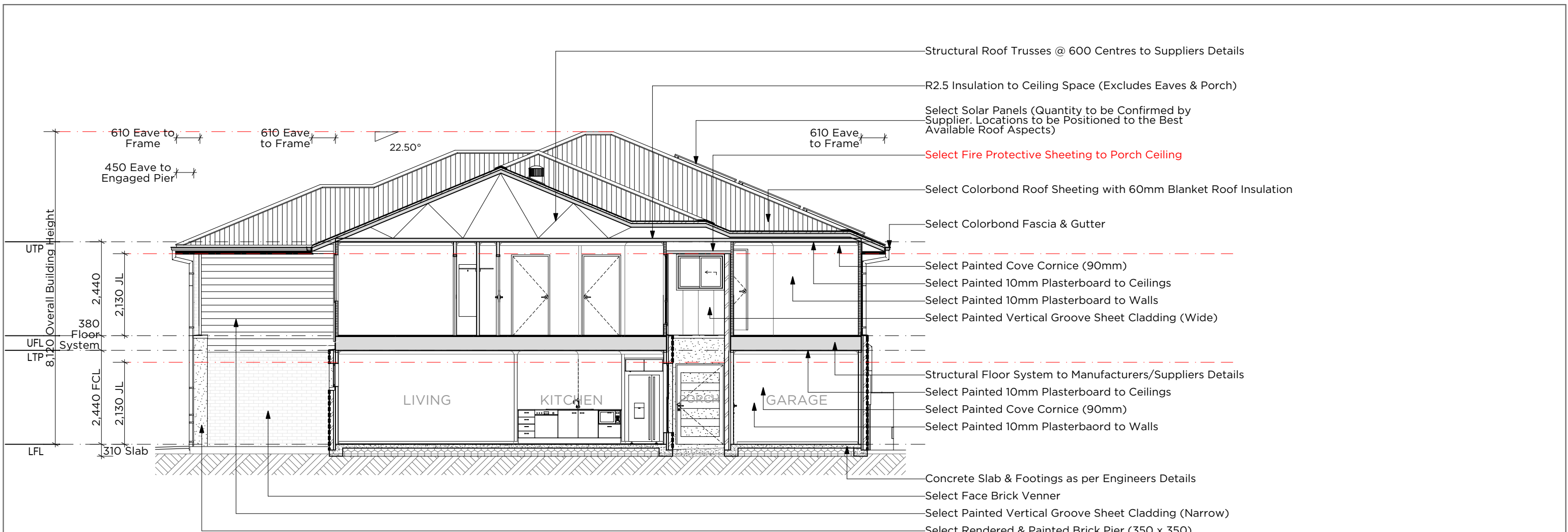
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MAINE
220
Harvard
project number :
1014BOHL
client :
INSPIRE STYLE & LIVING
project address :
Lot 1014, #(61) Bohle Street
South Maclean QLD, 4280
real property description :
TBA
local authority :
Logan C.C.
covenant details :
Flourish - St-10A

wind class :
TBA
acoustic :
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flood level :
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soil class :
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rainfall :
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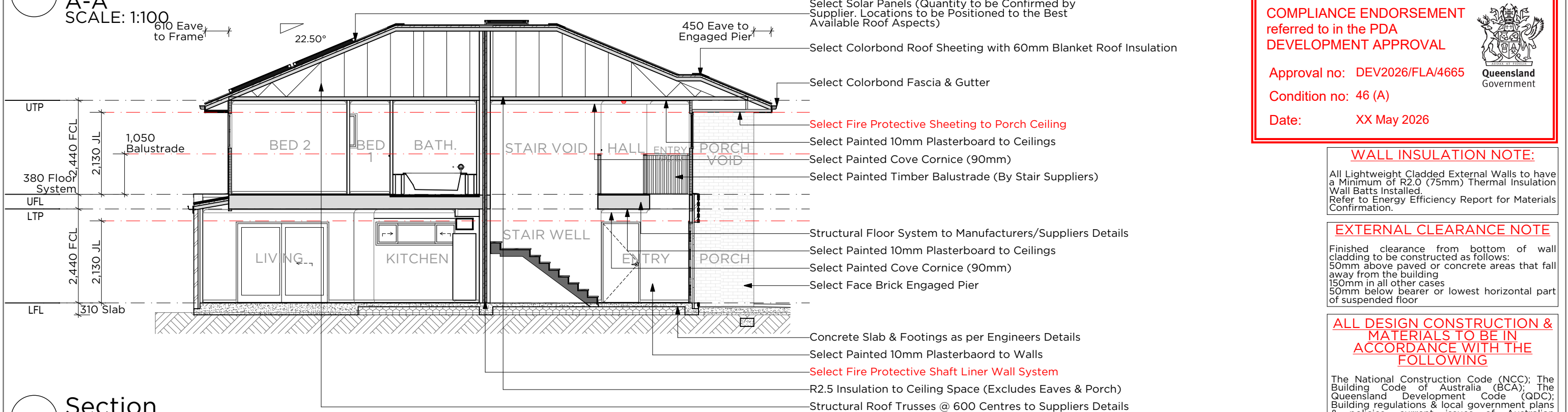
drawing name :
Elevations 2 of 2
project status :
Lodgement Plans
scale :
1:100@A3
drawn :
TDA
check by :
TDA

I/We approve this current drawing set to be correct as per the signed contract & specification.
INITIAL
INITIAL

Dimension Notice: Dimensions shall not be obtained by scaling. All dimensions are in millimeters unless noted otherwise. Setout dimensions shall be verified on site prior to any work being carried out. Problems shall be directed to the builder for clarification.
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Section
A-A
SCALE: 1:100



Section
1-1
SCALE: 1:100

COMPLIANCE ENDORSEMENT
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Approval no: DEV2026/FLA/4665
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WALL INSULATION NOTE:
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Refer to Energy Efficiency Report for Materials Confirmation.

EXTERNAL CLEARANCE NOTE
Finished clearance from bottom of wall cladding to be constructed as follows:
50mm above paved or concrete areas that fall away from the building
150mm in all other cases
50mm below bearer or lowest horizontal part of suspended floor

ALL DESIGN CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH THE FOLLOWING
The National Construction Code (NCC); The Building Code of Australia (BCA); The Queensland Development Code (QDC); Building regulations & local government plans & policies, current issues of Australian Standards, current manufacturers specifications & installation details for specified materials used



project details :
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project status :
Lodgement Plans
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drawn :
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check by :
TDA

I/We approve this current drawing set to be correct as per the signed contract & specification.
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INITIAL _ _ _ _

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