

Our ref: DEV-2026-FLA-4665

18 May 2026

Elevate Development Solutions Pty Ltd
PO BOX 752
Beenleigh, QLD, 4207
reagan@elevateds.com.au

Dear Applicant

PDA Decision Notice

Notice given under section 89(1) of the Economic Development Act 2012

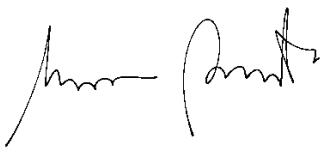
Priority Development Area (PDA):	Greater Flagstone
PDA Development Type:	Development Permit for Material Change of Use for Multiple Dwelling (3 Units)
Property Location:	61 Bohle St, South Maclean
Property Description:	Lot 1014 on SP353632

On 15 May 2026, Economic Development Queensland (EDQ) decided to approve **all** of the above PDA Development Application subject to PDA Development Conditions in accordance with the attached PDA Decision Notice.

The Decision Notice and approved plans and documents can also be viewed on EDQ's website at [Current applications and approvals](#).

If you require any further information, please contact Andrew Edwards, Urban Planner on 3035 0120 or by email at andrew.edwards@edq.qld.gov.au.

Yours sincerely



Marco Bonotto
**Group Director, Specialist Services
Development Services
Economic Development Queensland**

PDA Decision Notice

Site information		
Name of Priority Development Area (PDA)	Greater Flagstone PDA	
Site address	61 Bohle Street, South Maclean	
Lot on plan description	Lot number	Plan description
	Lots 1014	SP353632
PDA Development Approval details		
DEV Reference No.	DEV-2026-FLA-4665	
PDA Development Approval Type	☒ Material change of use ☐ PDA Preliminary Approval ☒ PDA Development Permit ☐ Reconfiguring a lot ☐ PDA Preliminary Approval ☐ PDA Development Permit ☐ Operational work ☐ PDA Preliminary Approval ☐ PDA Development Permit	
Approval details	Multiple Dwellings (3 Units)	
Decision	EDQ has decided to grant all of the PDA Development Approval applied for, subject to PDA Development Conditions forming part of this Decision Notice.	
Decision date	15/05/2026	
Currency Period	6 years from the Decision date	

Approved plans and documents

The plans and documents approved and referred to in the PDA Development Conditions for the PDA Development Approval are detailed below.

Plan/Document Name		Reference No.	Prepared By	Date
1.	Site Plan	Page: A3.1.3	Inspire Style & Living	02 April 2026 (Amended in Red 12 May 2026)
2.	Landscaping Plan	Page: A3.1.4	Inspire Style & Living	02 April 2026
3.	Floor Plan Lower	Page: A3.1.5	Inspire Style & Living	02 April 2026
4.	Floor Plan Upper	Page: A3.1.6	Inspire Style & Living	02 April 2026
5.	Slab Plan	Page: A3.1.7	Inspire Style & Living	02 April 2026
6.	Floor System Setout	Page: A3.1.8	Inspire Style & Living	02 April 2026
7.	Elevations 1 of 2	Page: A3.1.9	Inspire Style & Living	02 April 2026
8.	Elevations 2 of 2	Page: A3.1.10	Inspire Style & Living	02 April 2026
9.	Sections	Page: A3.1.11	Inspire Style & Living	02 April 2026

Submitting documentation to EDQ

Where a condition of this approval requires documentation to be submitted to EDQ, use the following submission pathways:

- a) For conditions requiring Compliance Assessment via the [EDQ Customer Portal](#) or via developmentservices@edq.qld.gov.au.
- b) For conditions requiring the submission of material related to the [Certification Procedures Manual \(CPM\)](#) process via the CPM [Digital Submission system](#).

PDA Development Conditions		
No.	Condition	Timing
1.	Carry out the Approved Development Carry out the approved development generally in accordance with the approved plans and documents and any other documentation endorsed via Compliance Assessment as required by these conditions.	Prior to commencement of use or BFP endorsement, whichever occurs first
2.	Maintain the Approved Development Maintain the approved development generally in accordance with the approved plans and documents and any other documentation endorsed via Compliance Assessment as required by these conditions.	At all times following commencement of use
3.	Vehicle Access Construct vehicle crossovers in a location generally in accordance with the approved plans and designed generally in accordance with Council's adopted standards (Standard Drawings RS-049).	Prior to commencement of use or BFP endorsement, whichever occurs first
4.	Water Connection Connect the approved development to the existing water reticulation network generally in accordance with Council's current adopted standards.	Prior to commencement of use or BFP endorsement, whichever occurs first
5.	Sewer Connection Connect the approved development to the existing sewer reticulation network generally in accordance with Council's current adopted standards.	Prior to commencement of use or BFP endorsement, whichever occurs first
6.	Stormwater Connection Connect the approved development to a lawful point of discharge: a) with 'no-worsening' to upstream or downstream properties for storm events up to 1% Annual Exceedance Probability; and b) generally in accordance with Council's current adopted standards.	Prior to commencement of use or BFP endorsement, whichever occurs first
7.	Electricity a) Submit to EDQ a Certificate of Electricity Supply from ENERGEX for the provision of electricity supply to the approved development.	a) Prior to commencement of use or BFP endorsement,

PDA Development Conditions		
No.	Condition	Timing
	b) Connect the approved development in accordance with the Certificate of Electricity Supply submitted under part a) of this condition.	whichever occurs first b) Prior to commencement of use or BFP endorsement, whichever occurs first
8.	Telecommunications a) Submit to EDQ documentation from an authorised telecommunication service provider confirming that an agreement has been entered into for the provision of underground telecommunication services to the approved development. b) Connect the approved development in accordance with the documentation submitted under part a) of this condition.	a) Prior to commencement of use or BFP endorsement, whichever occurs first b) Prior to commencement of use or BFP endorsement, whichever occurs first
Infrastructure Conditions		
9.	Infrastructure Charges Pay to the MEDQ infrastructure charges in accordance with the Greater Flagstone PDA Development Charges and Offset Plan, indexed to the date of payment. Where the application is a MCU, certified construction plans detailing the GFA must also be provided to the MEDQ prior to commencement of use for calculation of final charges.	Prior to commencement of use

STANDARD ADVICE

Please note that to lawfully undertake development, it may be necessary to obtain approvals other than this PDA Development Approval. For advice on other approvals that may be necessary in relation to your proposal, it is recommended that you seek professional advice.

**** End of Package ****