

ROL 4: PRECINCT 101 & 102



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

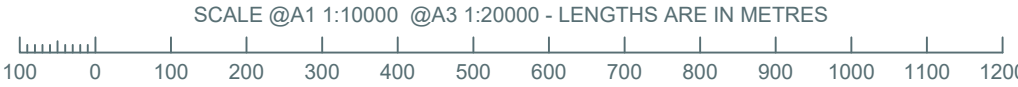
Approval no: DEV2026/FLA/4548

Date: 29 April 2026

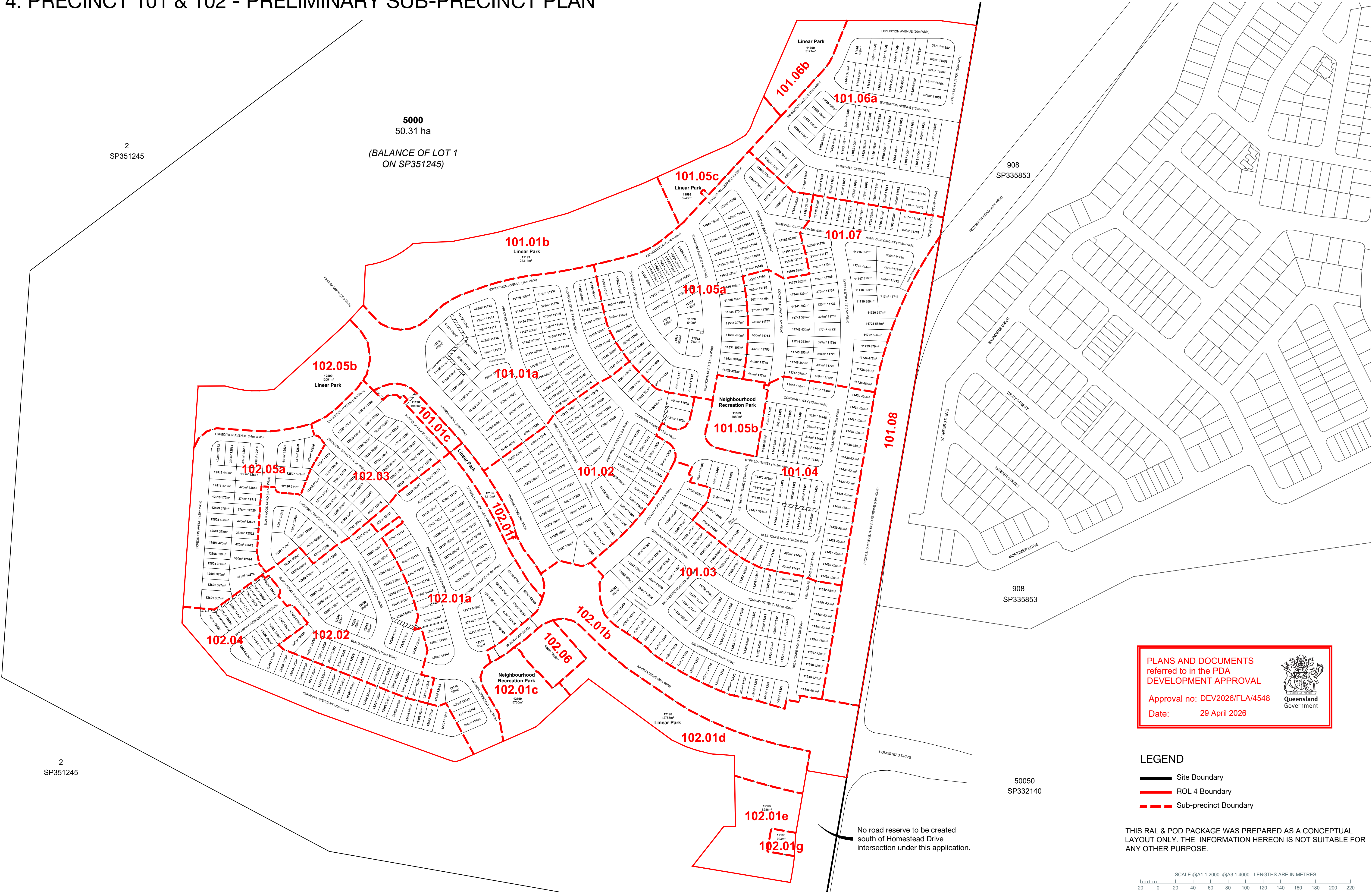
LEGEND

- Site Boundary
- ROL 4 Boundary

THIS RAL & POD PACKAGE WAS PREPARED AS A CONCEPTUAL LAYOUT ONLY. THE INFORMATION HEREON IS NOT SUITABLE FOR ANY OTHER PURPOSE.



ROL 4: PRECINCT 101 & 102 - PRELIMINARY SUB-PRECINCT PLAN



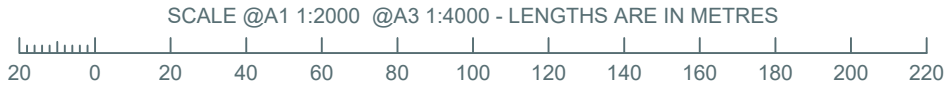
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- LEGEND
- Site Boundary
 - ROL 4 Boundary
 - Sub-precinct Boundary

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DISCLAIMER
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SOURCE
PROJECTION: GDA2020 MGA56
SUBJECT BOUNDARIES: PROVIDED BY SAUNDERS HAVILL, DRAWING REFERENCE "11731 LC REV FS94_08.01.2026" DATED 08/01/2026
BUSHFIRE MANAGEMENT PLAN: PROVIDED BY COVEY, DOCUMENT REFERENCE "243951_RHF_GDA2020_Rev_G.dwg" DATED 15/12/2025
ROAD TRAFFIC NOISE ASSESSMENT: PROVIDED BY ATP CONSULTING ENGINEERS, DOCUMENT REFERENCE "ATP240148-R-RTNA-01-P101&P102" DATED APRIL 2025



SITE ADDRESS
HOMESTEAD DRIVE, MONARCH GLEN

RP DESCRIPTION
Lot 1-3 on SP351245

DRAWN
MF

DATE
10/02/2026

DRAWING NO.
11731 P 27 Rev P - PRO 02



ROL 4: RECONFIGURATION OF A LOT PLAN

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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2
SP351245

THIS RAL & POD PACKAGE WAS PREPARED AS A CONCEPTUAL LAYOUT ONLY. THE INFORMATION HEREON IS NOT SUITABLE FOR ANY OTHER PURPOSE.

Net residential density means the total number of dwellings divided by the combined area of residential lots, Neighbourhood Recreation Parks, internal local roads and half the width of local roads bordering the site.

Average net residential density means net residential density calculated for a whole neighbourhood.



CLIENT



SITE ADDRESS

HOMESTEAD DRIVE, MONARCH GLEN

RP DESCRIPTION

Lot 1-3 on SP351245

DRAWN

MF

DRAWING NO.

11731 P 27 Rev P - ROL 01

DATE

10/02/2026



LEGEND

- Site Boundary
- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Services Easement
- Conservation Area
- Indicative Bin Pad location
- Indicative PMT / RMU Site

DEVELOPMENT STATISTICS

RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
25m Deep Lots					
Villa	V25	11.2m	1	0.2%	0.059 ha
Courtyard	C25	14m	2	0.4%	0.089 ha
Premium Courtyard	PC25	16m	1	0.2%	0.038 ha
Sub Total			4	0.7%	0.186 ha

RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Terrace - Front Loaded	T28	7.5m	7	1.2%	0.191 ha
Villa	V28	11.2m	4	0.7%	0.126 ha
Premium Villa	PV28	12.5m	16	2.8%	0.597 ha
Courtyard	C28	14m	31	5.4%	1.346 ha
Premium Courtyard	PC28	16m	16	2.8%	0.822 ha
Traditional	TD28	18m	4	0.7%	0.263 ha
Premium Traditional	PT28	20m	1	0.2%	0.066 ha
Sub Total			79	13.9%	3.411 ha

RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	48	8.4%	1.650 ha
Premium Villa	PV30	12.5m	134	23.5%	5.349 ha
Courtyard	C30	14m	118	20.7%	5.268 ha
Premium Courtyard	PC30	16m	52	9.1%	2.677 ha
Traditional	TD30	18m	6	1.1%	0.399 ha
Premium Traditional	PT30	20m	5	0.9%	0.336 ha
Sub Total			363	63.7%	15.679 ha

RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Villa	V32	11.2m	9	1.6%	0.332 ha
Premium Villa	PV32	12.5m	56	9.8%	2.432 ha
Courtyard	C32	14m	42	7.4%	2.086 ha
Premium Courtyard	PC32	16m	13	2.3%	0.787 ha
Traditional	TD32	18m	1	0.2%	0.059 ha
Premium Traditional	PT32	20m	1	0.2%	0.076 ha
Sub Total			122	21.4%	5.772 ha

Multiple Residential	MR (2 dwellings)	2	0.4%	0.124 ha
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Total Allotments	570	100%	25.172 ha
Total Dwellings	572		

Land Budget	Area (Ha)	%
Area of Subject Site / Stage	50.487 ha	—
Net Residential Allotments	25.172 ha	49.9%
Linear Park / Pedestrian Linkage	6.847 ha	13.6%
Neighbourhood Recreation Park	1.073 ha	2.1%
Local Road Areas	11.067 ha	21.9%
Major Road Areas	5.096 ha	10.1%
Special Use Lot 12601	0.324 ha	0.6%
Balance Lot 12196	0.079 ha	0.2%
Balance Lot 12197	0.829 ha	1.6%
Total Area	50.487 ha	100%

Average Lot Size (m²)	441.6 m²
Net Density (dw/ha)	15.3 dw/ha

SCALE @A1 1:2000 @A3 1:4000 - LENGTHS ARE IN METRES

20 0 20 40 60 80 100 120 140 160 180 200 220

No road reserve to be created south of Homestead Drive intersection under this application.

ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.01

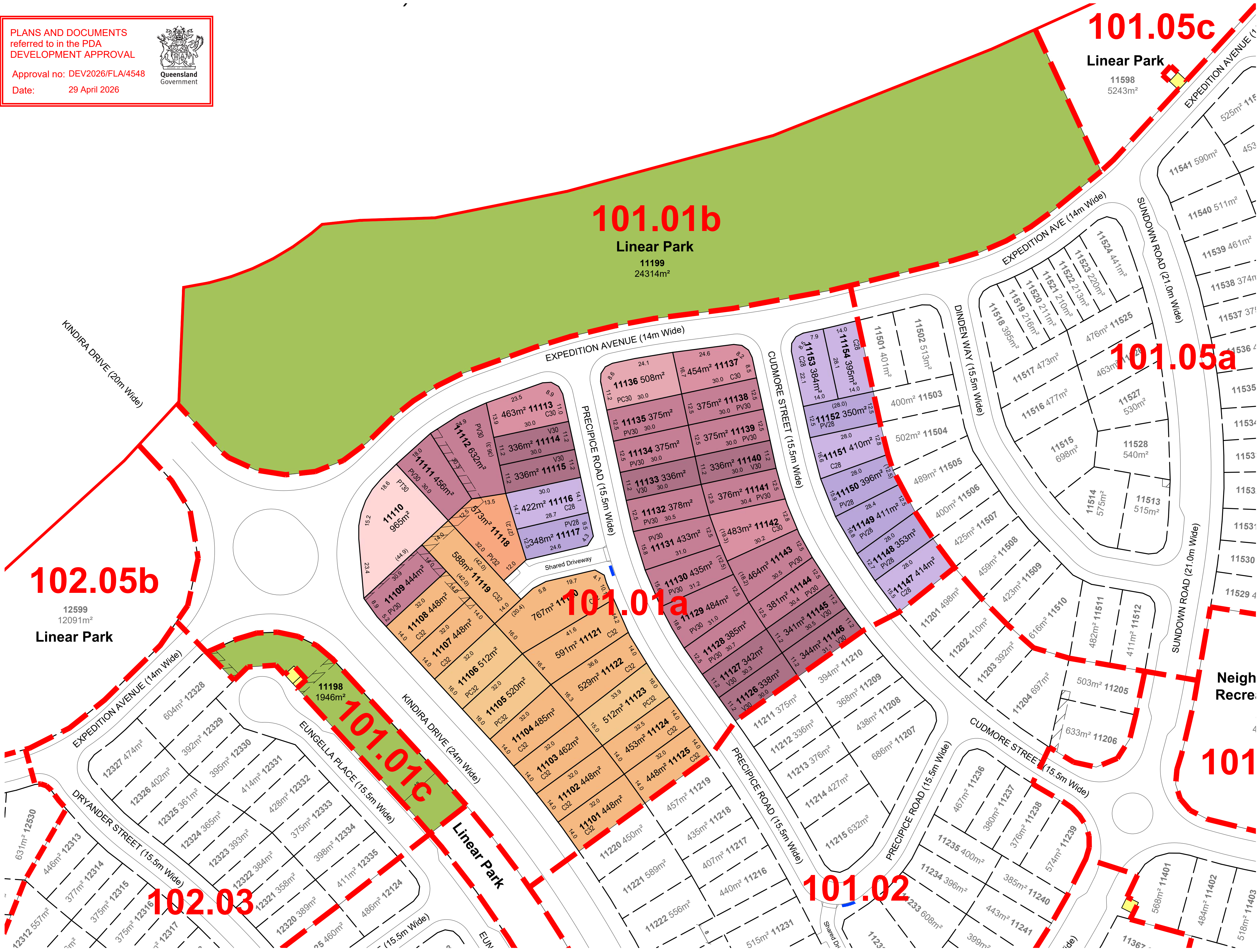
PLANS AND DOCUMENTS
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Date: 29 April 2026

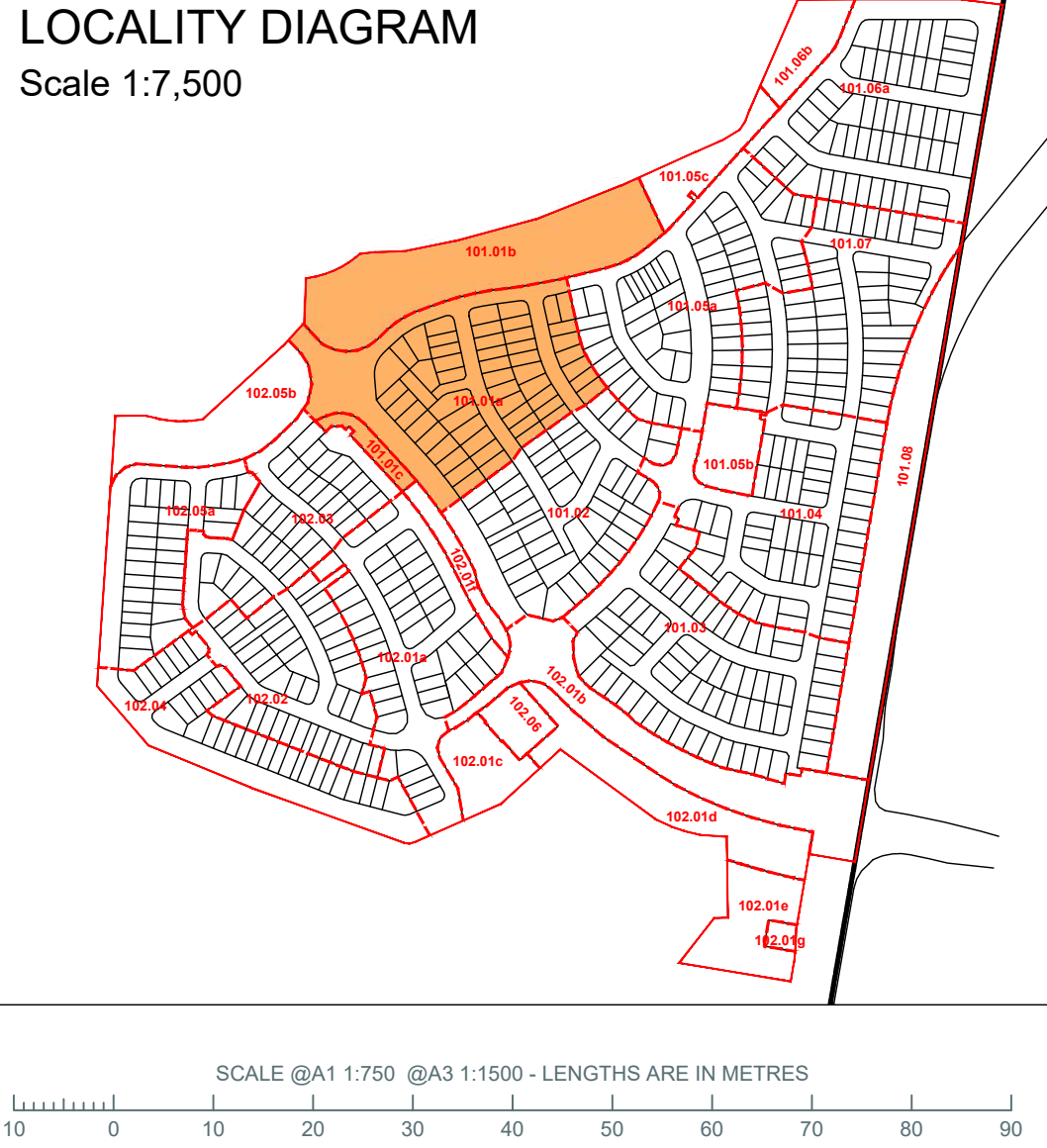


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- LEGEND
- ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Services Easement
 - Indicative Bin Pad location
 - Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Premium Villa	PV28	12.5m	5	9.3%	0.186 ha
Courtyard	C28	14m	5	9.3%	0.202 ha
Sub Total			10	18.5%	0.388 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	8	14.8%	0.271 ha
Premium Villa	PV30	12.5m	15	27.8%	0.637 ha
Courtyard	C30	14m	3	5.6%	0.140 ha
Premium Courtyard	PC30	16m	1	1.9%	0.051 ha
Premium Traditional	PT30	20m	1	1.9%	0.096 ha
Sub Total			28	51.9%	1.195 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Premium Villa	PV32	12.5m	1	1.9%	0.057 ha
Courtyard	C32	14m	12	22.2%	0.612 ha
Premium Courtyard	PC32	16m	3	5.6%	0.154 ha
Sub Total			16	29.6%	0.823 ha
Total Allotments			54	100%	2.406 ha
Land Budget			Area (Ha)	%	
Area of Subject Site / Stage			6.610 ha	—	
Net Residential Allotments			2.406 ha	36.4%	
Linear Park / Pedestrian Linkage			2.626 ha	39.7%	
Local Road Areas			0.760 ha	11.5%	
Major Road Areas			0.818 ha	12.4%	
Total Area			6.610 ha	100%	



ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.02

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LEGEND

ROL 4 Boundary

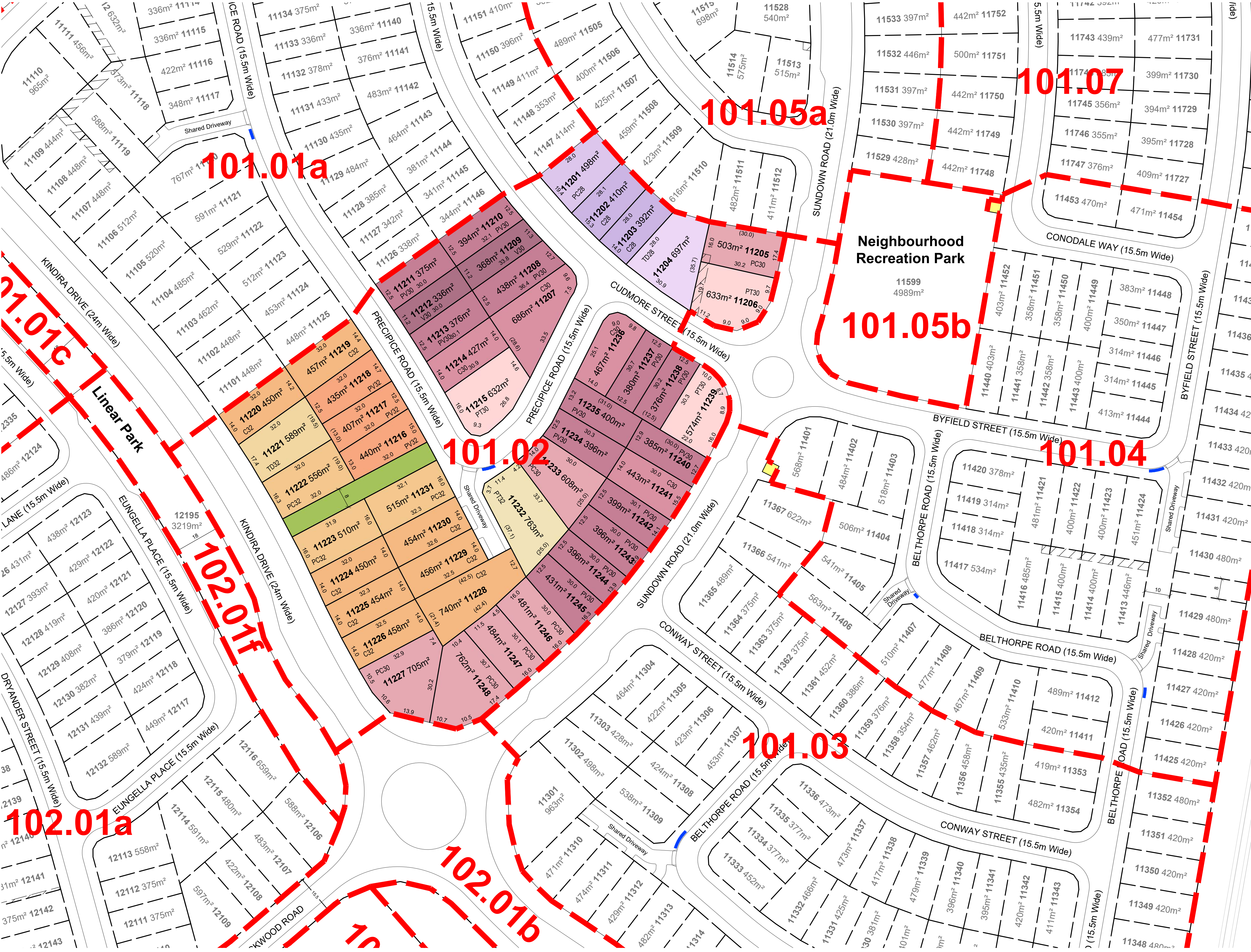
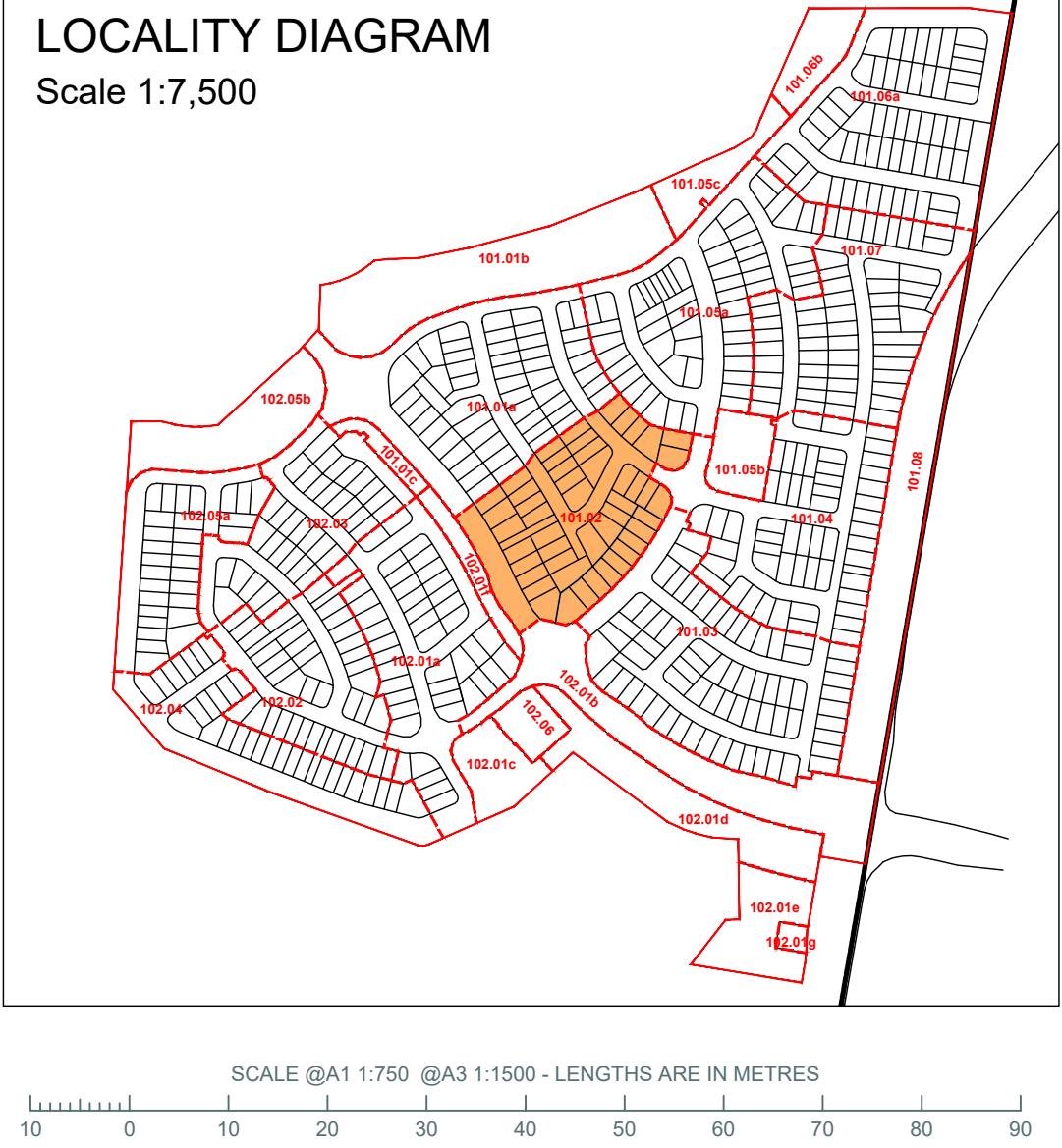
Sub-precinct Boundary

Proposed Services Easement

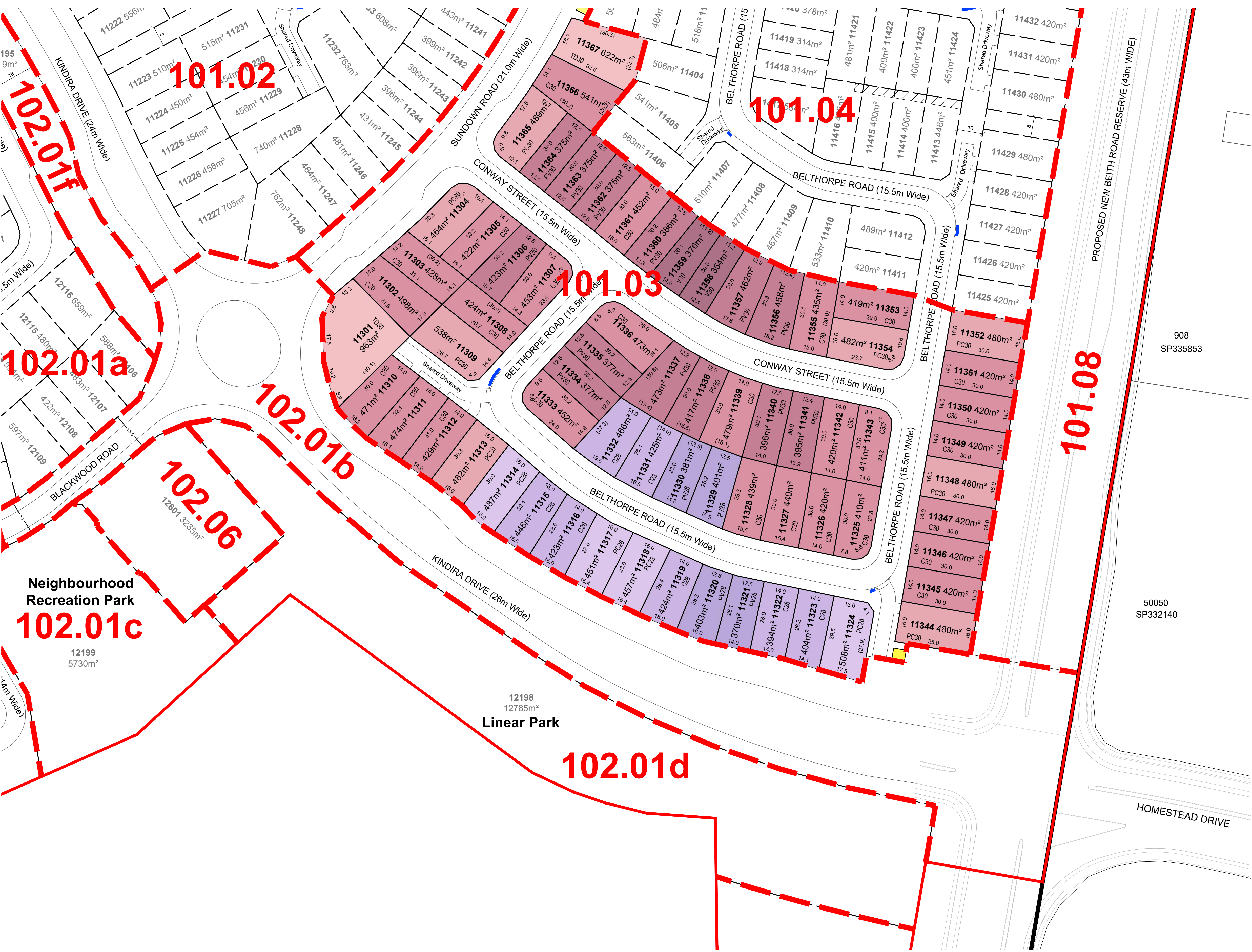
Indicative Bin Pad location

Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Courtyard	C28	14m	2	4.2%	0.080 ha
Premium Courtyard	PC28	16m	1	2.1%	0.050 ha
Traditional	TD28	18m	1	2.1%	0.070 ha
Sub Total			4	8.3%	0.200 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	2	4.2%	0.070 ha
Premium Villa	PV30	12.5m	13	27.1%	0.515 ha
Courtyard	C30	14m	4	8.3%	0.203 ha
Premium Courtyard	PC30	16m	6	12.5%	0.355 ha
Premium Traditional	PT30	20m	3	6.3%	0.184 ha
Sub Total			28	58.3%	1.327 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Premium Villa	PV32	12.5m	3	6.3%	0.128 ha
Courtyard	C32	14m	8	16.7%	0.392 ha
Premium Courtyard	PC32	16m	3	6.3%	0.158 ha
Traditional	TD32	18m	1	2.1%	0.059 ha
Premium Traditional	PT32	20m	1	2.1%	0.076 ha
Sub Total			16	33.3%	0.813 ha
Total Allotments			48	100%	2.340 ha
Land Budget			Area (Ha)	%	
Area of Subject Site / Stage			3.148 ha	—	
Net Residential Allotments			2.340 ha	74.3%	
Local Road Areas			0.422 ha	13.4%	
Major Road Areas			0.335 ha	10.6%	
Total Area			3.148 ha	100%	



ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.03



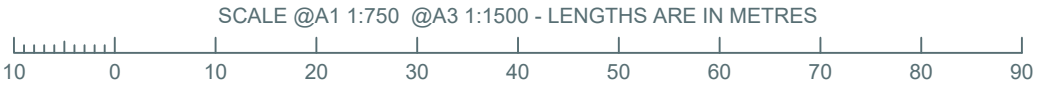
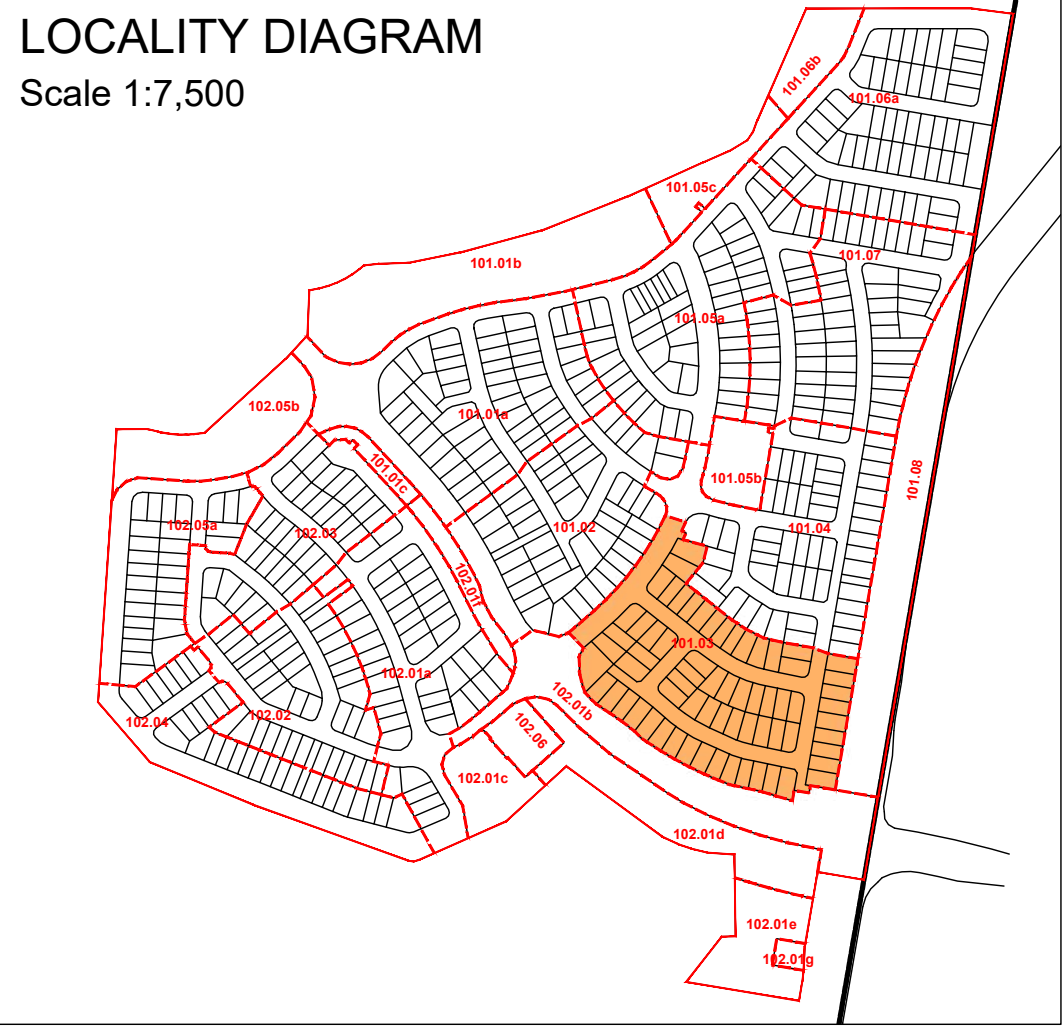
- LEGEND
- Site Boundary
 - ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Services Easement
 - Indicative Bin Pad location
 - Indicative PMT / RMU Site

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

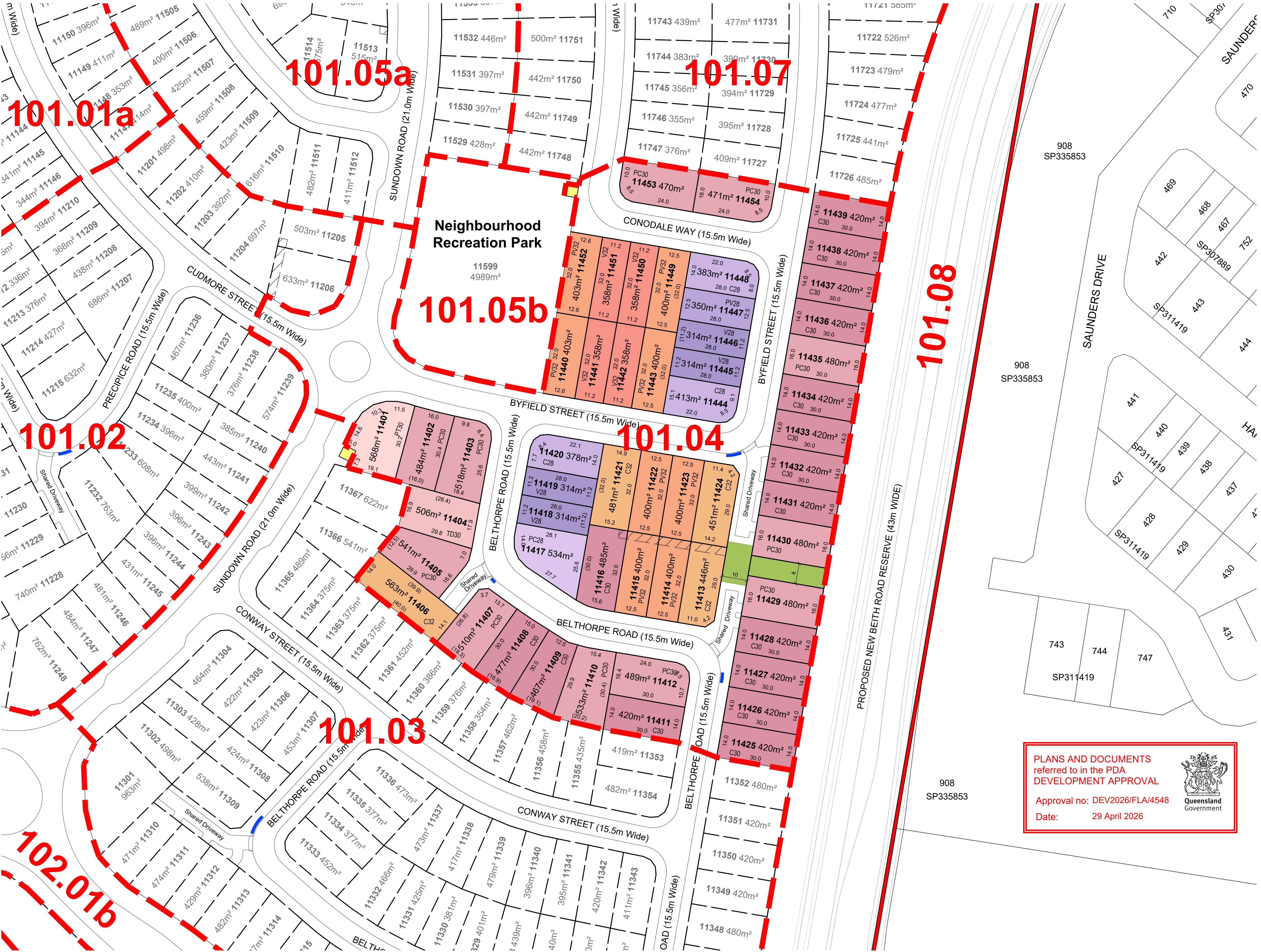
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DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Premium Villa	PV28	12.5m	4	6.0%	0.155 ha
Courtyard	C28	14m	7	10.4%	0.298 ha
Premium Courtyard	PC28	16m	4	6.0%	0.190 ha
Sub Total			15	22.4%	0.643 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	2	3.0%	0.073 ha
Premium Villa	PV30	12.5m	13	19.4%	0.529 ha
Courtyard	C30	14m	27	40.3%	1.191 ha
Premium Courtyard	PC30	16m	8	11.9%	0.390 ha
Traditional	TD30	18m	2	3.0%	0.159 ha
Sub Total			52	77.6%	2.342 ha
Total Allotments			67	100%	2.985 ha
Land Budget			Area (Ha)	%	
Area of Subject Site / Stage			4.230 ha	—	
Net Residential Allotments			2.985 ha	0.706 ha	
Local Road Areas			1.245 ha	29.4%	
Total Area			4.230 ha	100%	



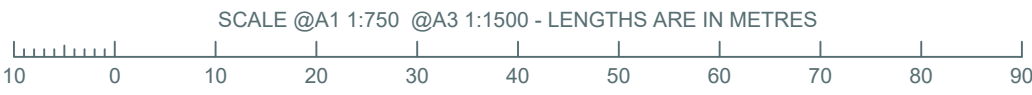
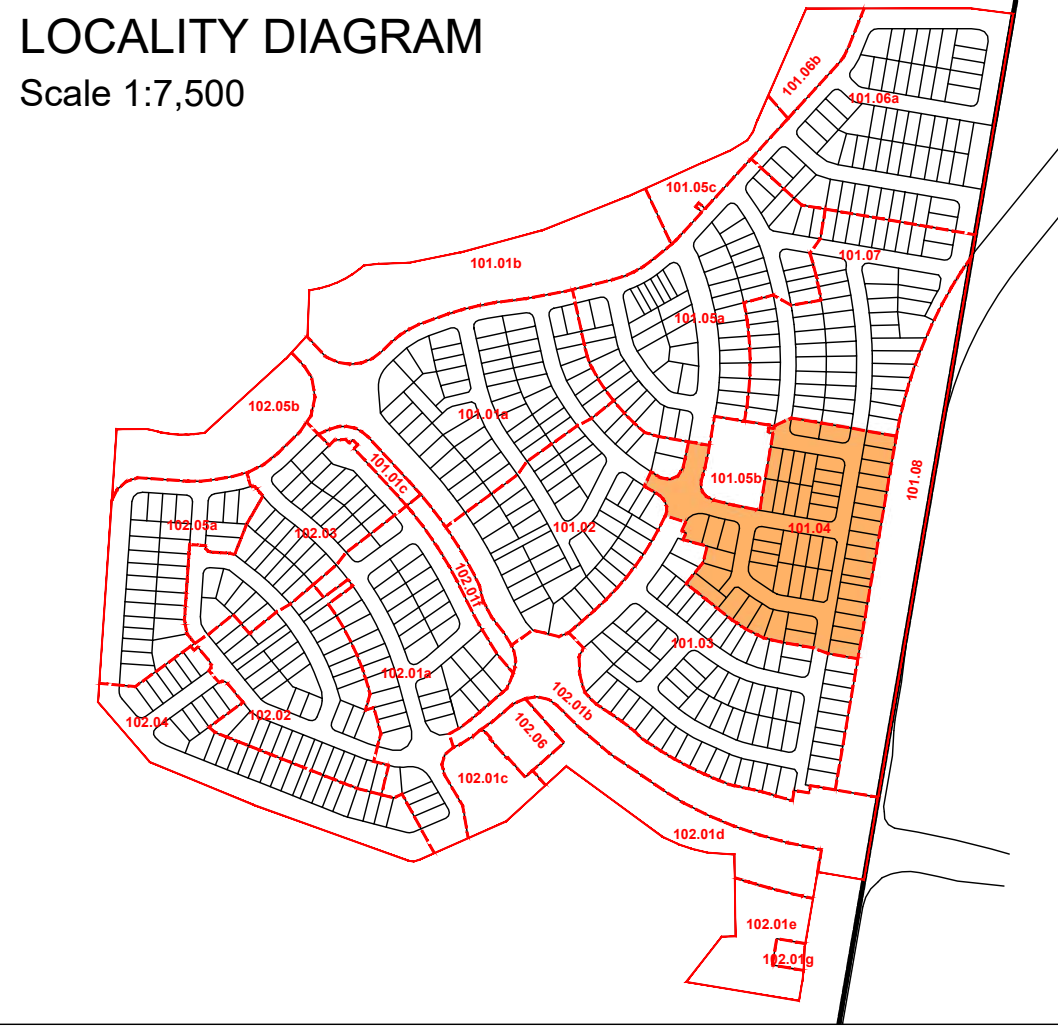
ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.04



LEGEND

- Site Boundary
- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Services Easement
- Indicative Bin Pad location
- Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Villa	V28	11.2m	4	7.4%	0.126 ha
Premium Villa	PV28	12.5m	1	1.9%	0.035 ha
Courtyard	C28	14m	3	5.6%	0.117 ha
Premium Courtyard	PC28	16m	1	1.9%	0.054 ha
Sub Total			9	16.7%	0.332 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Courtyard	C30	14m	16	29.6%	0.689 ha
Premium Courtyard	PC30	16m	11	20.4%	0.545 ha
Traditional	TD30	18m	1	1.9%	0.051 ha
Premium Traditional	PT30	20m	1	1.9%	0.056 ha
Sub Total			29	53.7%	1.341 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Villa	V32	11.2m	4	7.4%	0.143 ha
Premium Villa	PV32	12.5m	8	14.8%	0.321 ha
Courtyard	C32	14m	4	7.4%	0.194 ha
Sub Total			16	29.6%	0.658 ha
Total Allotments			54	100%	2.331 ha
Land Budget					
Area of Subject Site / Stage		Area (Ha)	%		
Net Residential Allotments		2.331 ha	66.5%		
Linear Park / Pedestrian Linkage		0.040 ha	1.1%		
Local Road Areas		1.134 ha	32.4%		
Total Area		3.505 ha	100%		



CLIENT



SITE ADDRESS

HOMESTEAD DRIVE, MONARCH GLEN

RP DESCRIPTION

Lot 1-3 on SP351245

DRAWN

MF

DATE

10/02/2026

DRAWING NO.

11731 P 27 Rev P - STG 101.04



ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.05

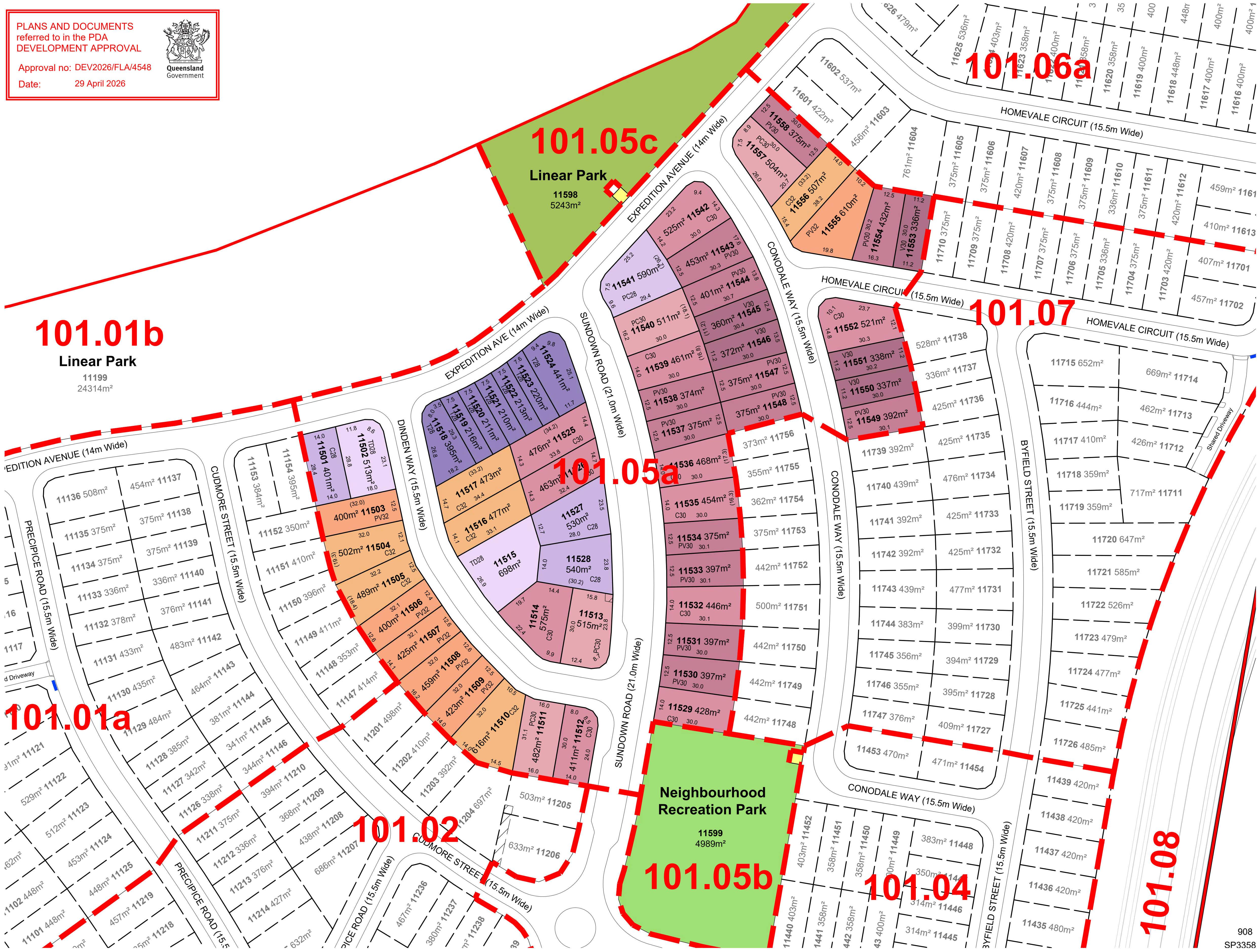
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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LEGEND

Site Boundary

ROL 4 Boundary

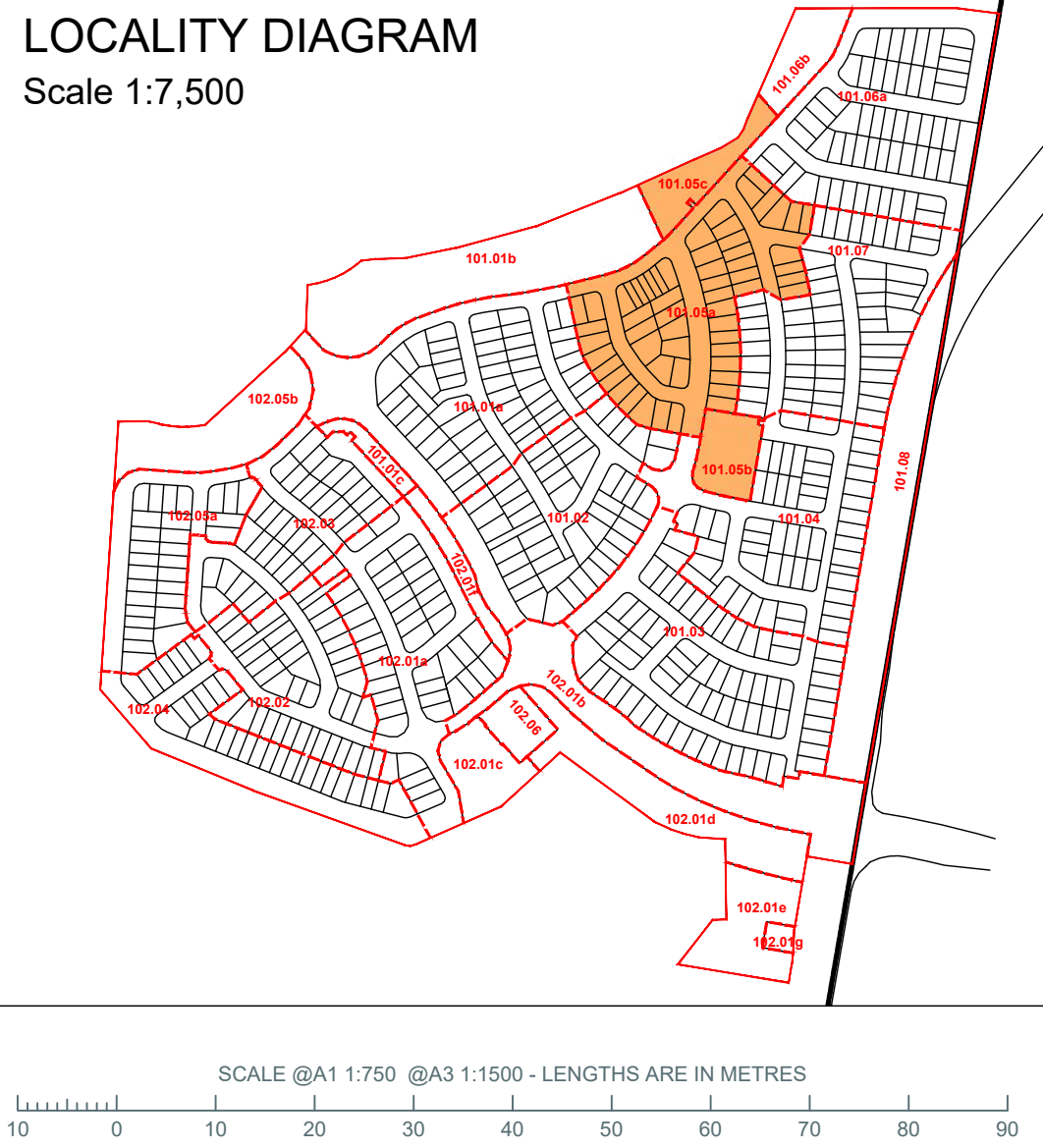
Sub-precinct Boundary

Proposed Services Easement

Indicative Bin Pad location

Indicative PMT / RMU Site

DEVELOPMENT STATISTICS				
RESIDENTIAL ALLOTMENTS	Typical Width	No. Lots	%	Net Area
28m Deep Lots				
Terrace - Front Loaded	T28	7.5m	7	12.1% 0.191 ha
Courtyard	C28	14m	3	5.2% 0.147 ha
Premium Courtyard	PC28	16m	1	1.7% 0.059 ha
Traditional	TD28	18m	2	3.4% 0.121 ha
Sub Total		13	22.4%	0.518 ha
RESIDENTIAL ALLOTMENTS	Typical Width	No. Lots	%	Net Area
30m Deep Lots				
Villa	V30	11.2m	5	8.6% 0.174 ha
Premium Villa	PV30	12.5m	13	22.4% 0.511 ha
Courtyard	C30	14m	11	19.0% 0.523 ha
Premium Courtyard	PC30	16m	4	6.9% 0.201 ha
Sub Total		33	56.9%	1.409 ha
RESIDENTIAL ALLOTMENTS	Typical Width	No. Lots	%	Net Area
32m Deep Lots				
Premium Villa	PV32	12.5m	6	10.3% 0.272 ha
Courtyard	C32	14m	6	10.3% 0.307 ha
Sub Total		12	20.7%	0.579 ha
Total Allotments		58	100%	2.506 ha
Land Budget				
Area of Subject Site / Stage		4.754 ha	—	
Net Residential Allotments		2.506 ha	52.7%	
Linear Park / Pedestrian Linkage		0.526 ha	11.1%	
Neighbourhood Recreation Park		0.500 ha	10.5%	
Local Road Areas		1.222 ha	25.7%	
Total Area		4.754 ha	100%	



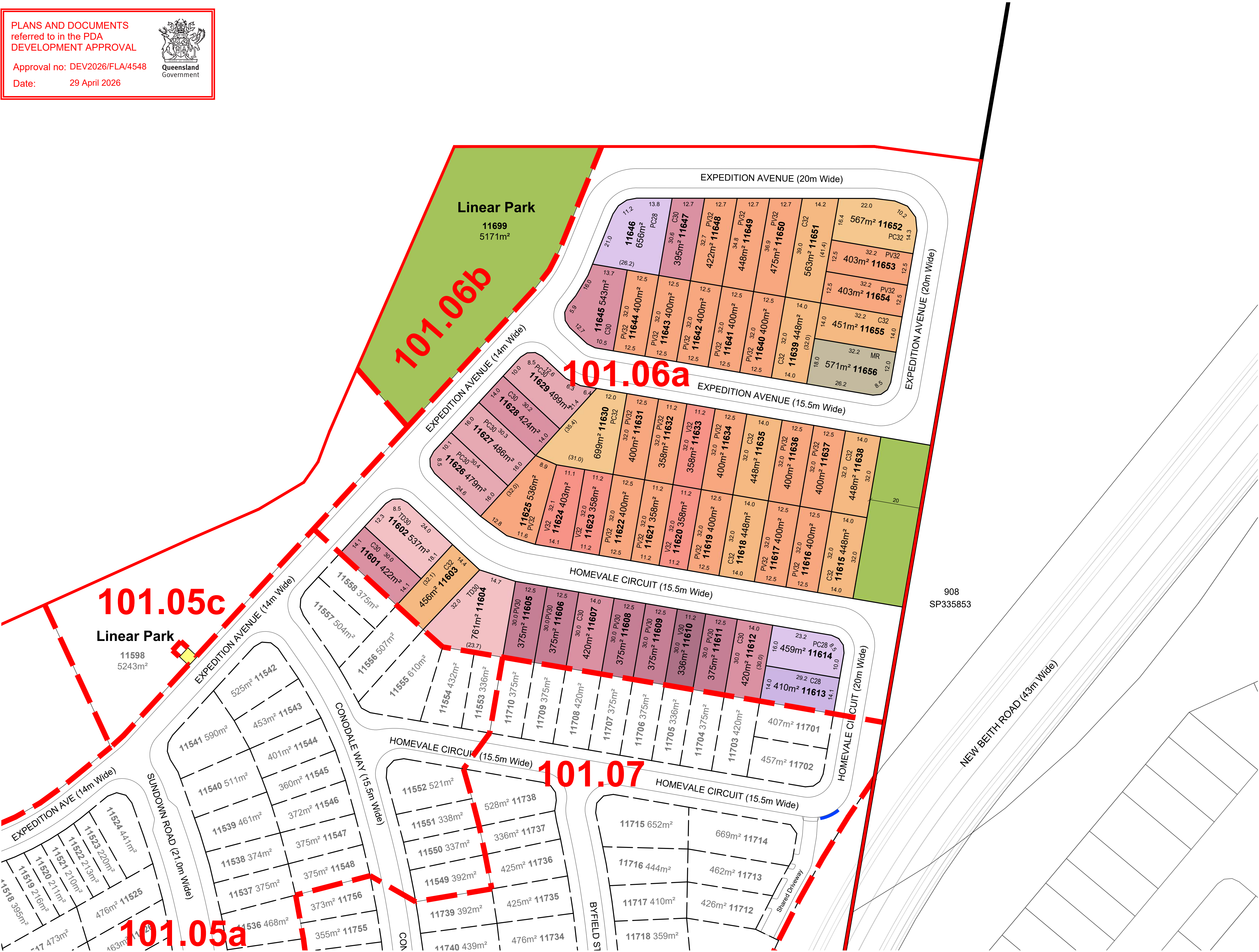
ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.06

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LEGEND

Site Boundary

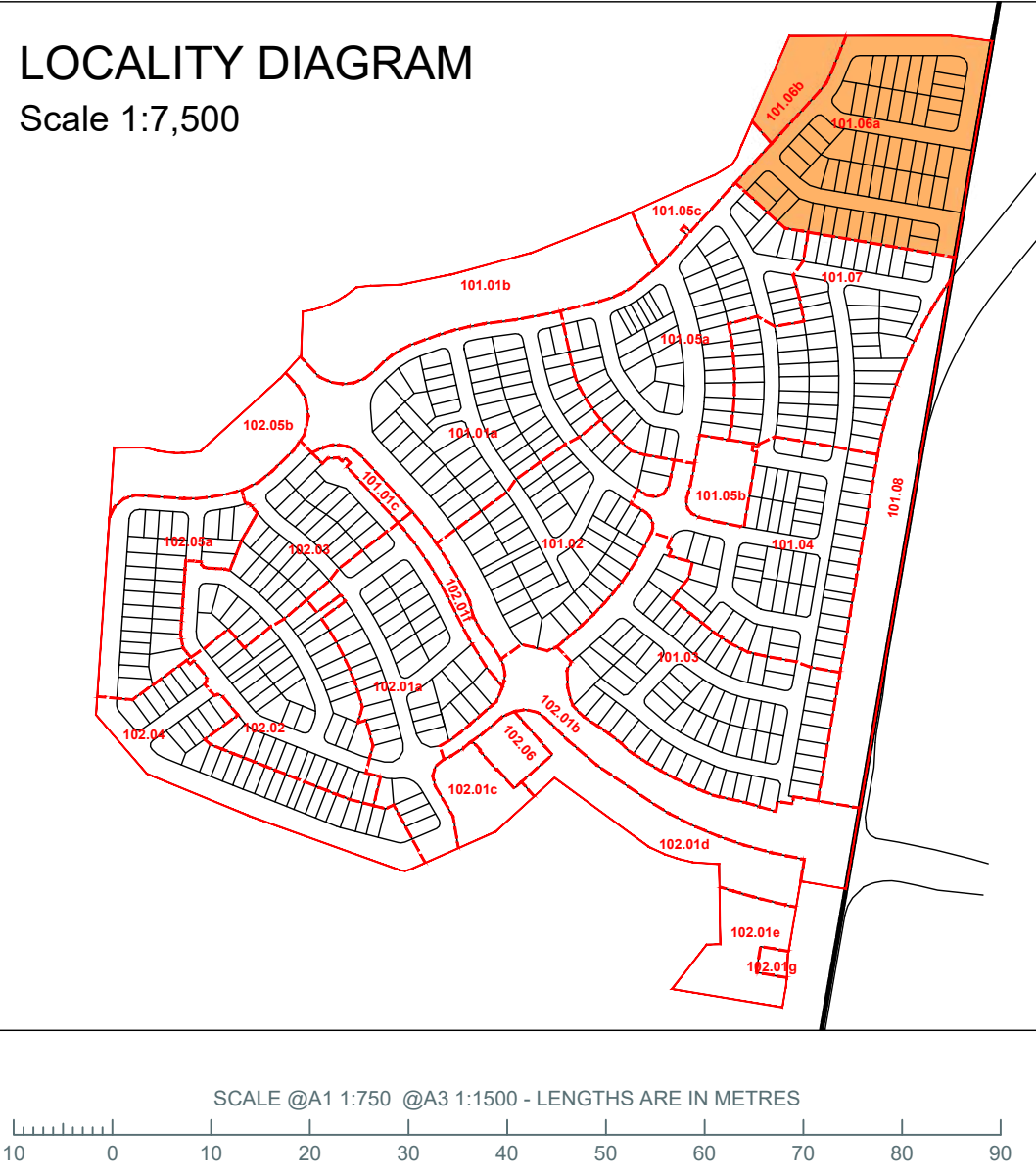
ROL 4 Boundary

Sub-precinct Boundary

Indicative Bin Pad location

Indicative PMT / RMU Site

DEVELOPMENT STATISTICS						
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area	
28m Deep Lots						
Courtyard	C28	14m	1	1.8%	0.041 ha	
Premium Courtyard	PC28	16m	2	3.6%	0.111 ha	
Sub Total			3	5.4%	0.152 ha	
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area	
30m Deep Lots						
Villa	V30	11.2m	1	1.8%	0.034 ha	
Premium Villa	PV30	12.5m	5	8.9%	0.188 ha	
Courtyard	C30	14m	6	10.7%	0.262 ha	
Premium Courtyard	PC30	16m	3	5.4%	0.146 ha	
Traditional	TD30	18m	2	3.6%	0.130 ha	
Sub Total			17	30.4%	0.760 ha	
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area	
32m Deep Lots						
Villa	V32	11.2m	4	7.1%	0.148 ha	
Premium Villa	PV32	12.5m	21	37.5%	0.861 ha	
Courtyard	C32	14.0m	8	14.3%	0.370 ha	
Premium Courtyard	PC32	16.0m	2	3.6%	0.127 ha	
Sub Total			35	62.5%	1.506 ha	
Multiple Residential			MR (2 dwellings)	1	1.8%	0.057 ha
Total Allotments			56	100%	2.475 ha	
Total Dwellings			57			
Land Budget			Area (Ha)	%		
Area of Subject Site / Stage			4.456 ha	—		
Net Residential Allotments			2.475 ha	55.5%		
Linear Park / Pedestrian Linkage			0.646 ha	14.5%		
Local Road Areas			1.335 ha	30.0%		
Total Area			4.456 ha	100%		



ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.07

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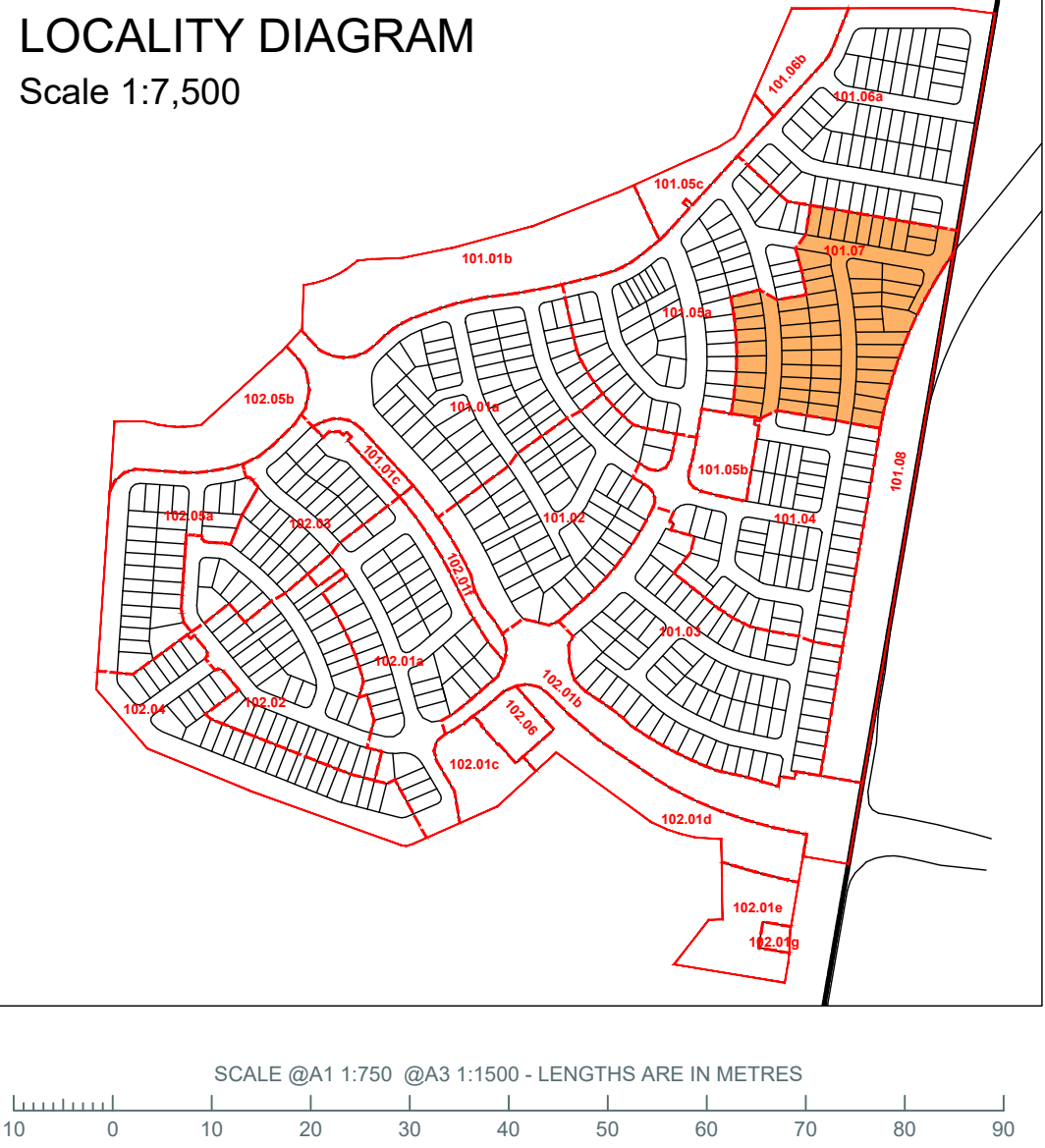
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- LEGEND
- Site Boundary
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 - Indicative Bin Pad location
 - Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Premium Villa	PV28	12.5m	2	3.6%	0.072 ha
Courtyard	C28	14m	3	5.4%	0.124 ha
Premium Courtyard	PC28	16m	1	1.8%	0.046 ha
Traditional	TD28	18m	1	1.8%	0.072 ha
Sub Total			7	12.5%	0.314 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	7	12.5%	0.247 ha
Premium Villa	PV30	12.5m	17	30.4%	0.663 ha
Courtyard	C30	14m	14	25.0%	0.623 ha
Premium Courtyard	PC30	16m	3	5.4%	0.146 ha
Sub Total			41	73.2%	1.679 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Premium Villa	PV32	12.5m	6	10.7%	0.317 ha
Premium Courtyard	PC32	16m	1	1.8%	0.065 ha
Sub Total			7	12.5%	0.382 ha
Multiple Residential					
Multiple Residential	MR (2 dwellings)		1	1.8%	0.067 ha
Total Allotments			56	100%	2.442 ha
Total Dwellings			57		
Land Budget					
Area of Subject Site / Stage			3.235 ha	—	
Net Residential Allotments			2.442 ha	75.5%	
Local Road Areas			0.793 ha	24.5%	
Total Area			3.235 ha	100%	



ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 102.01

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2026/FLA/4548
Date: 29 April 2026

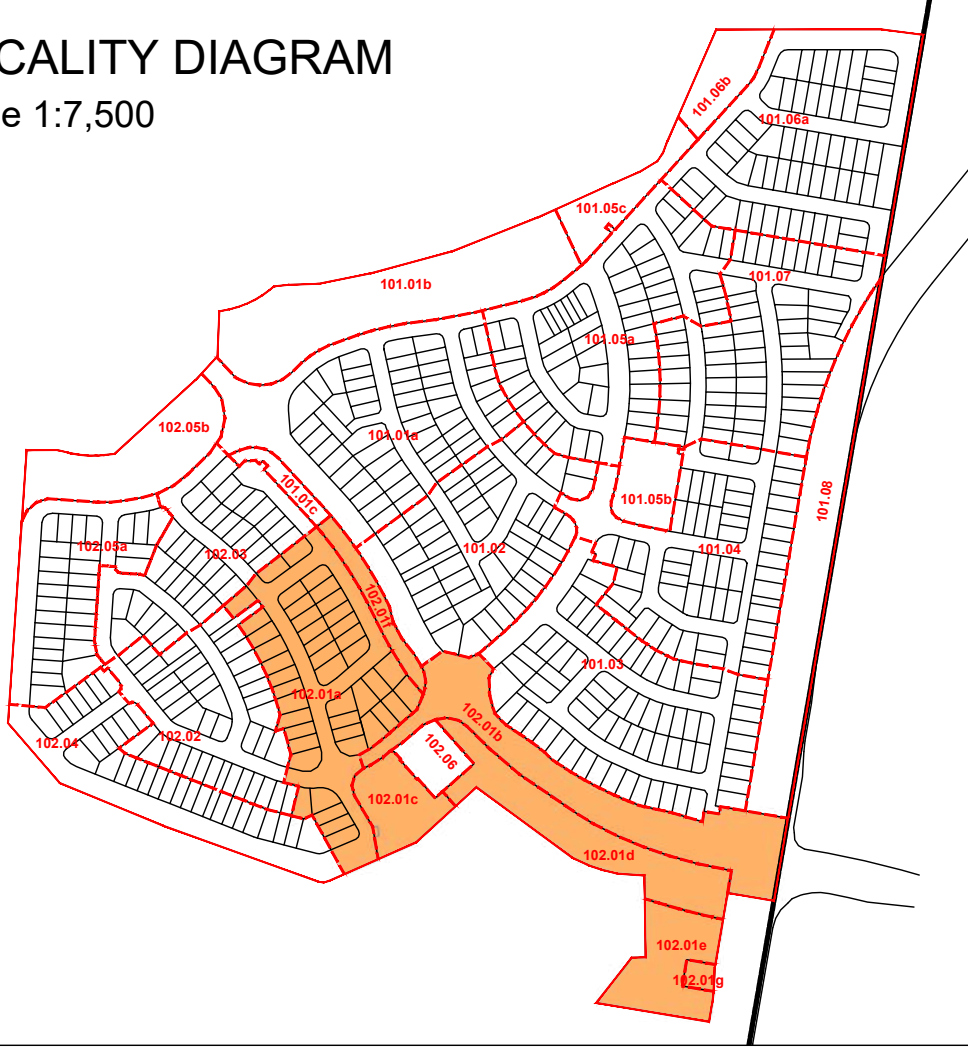


LEGEND

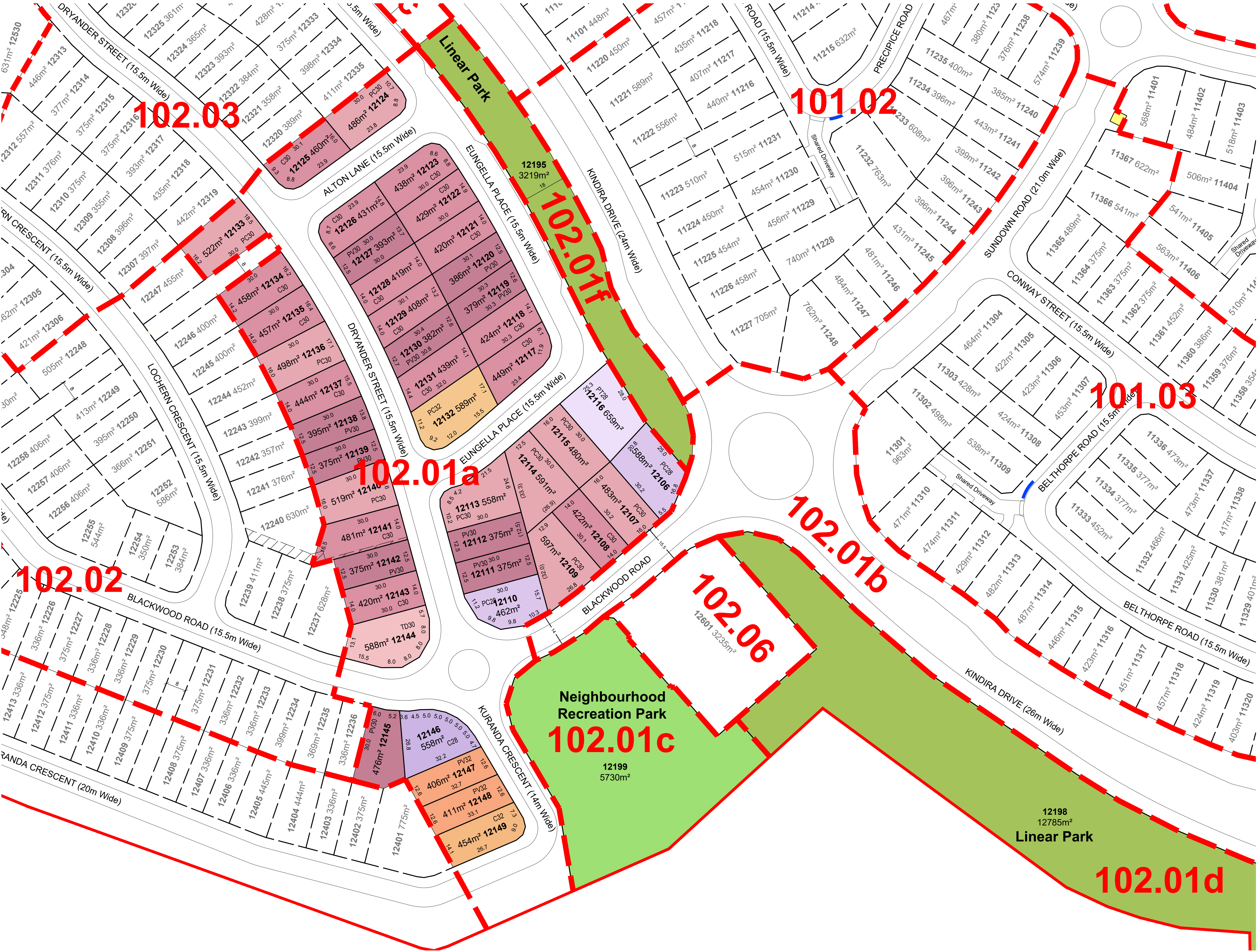
- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Services Easement
- Indicative Bin Pad location
- Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Courtyard	C28	14m	1	2.3%	0.056 ha
Premium Courtyard	PC28	16m	2	4.5%	0.105 ha
Premium Traditional	PT28	20m	1	2.3%	0.066 ha
Sub Total			4	9.1%	0.227 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Premium Villa	PV30	12.5m	10	22.7%	0.391 ha
Courtyard	C30	14m	16	36.4%	0.700 ha
Premium Courtyard	PC30	16m	9	20.5%	0.474 ha
Traditional	TD30	18m	1	2.3%	0.059 ha
Sub Total			36	81.8%	1.624 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Premium Villa	PV32	12.5m	2	4.5%	0.082 ha
Courtyard	C32	14m	1	2.3%	0.045 ha
Premium Courtyard	PC32	16m	1	2.3%	0.059 ha
Sub Total			4	9.1%	0.186 ha
Total Allotments			44	100%	2.037 ha
Land Budget			Area (Ha)	%	
Area of Subject Site / Stage			8.226 ha	—	
Net Residential Allotments			2.037 ha	24.8%	
Linear Park / Pedestrian Linkage			1.600 ha	19.5%	
Neighbourhood Recreation Park			0.573 ha	7.0%	
Local Road Areas			1.245 ha	15.1%	
Major Road Areas			1.863 ha	22.6%	
Balance Lot 12196			0.079 ha	1.0%	
Balance Lot 12197			0.829 ha	10.1%	
Total Area			8.226 ha	100%	

LOCALITY DIAGRAM
Scale 1:7,500



SCALE @A1 1:7500 @A3 1:1500 - LENGTHS ARE IN METRES



ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 102.01

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026/FLA/4548

Date: 29 April 2026

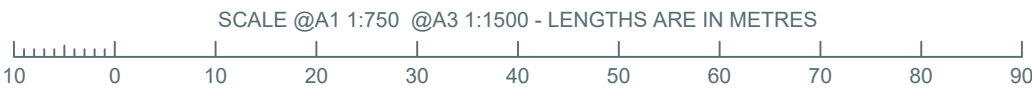
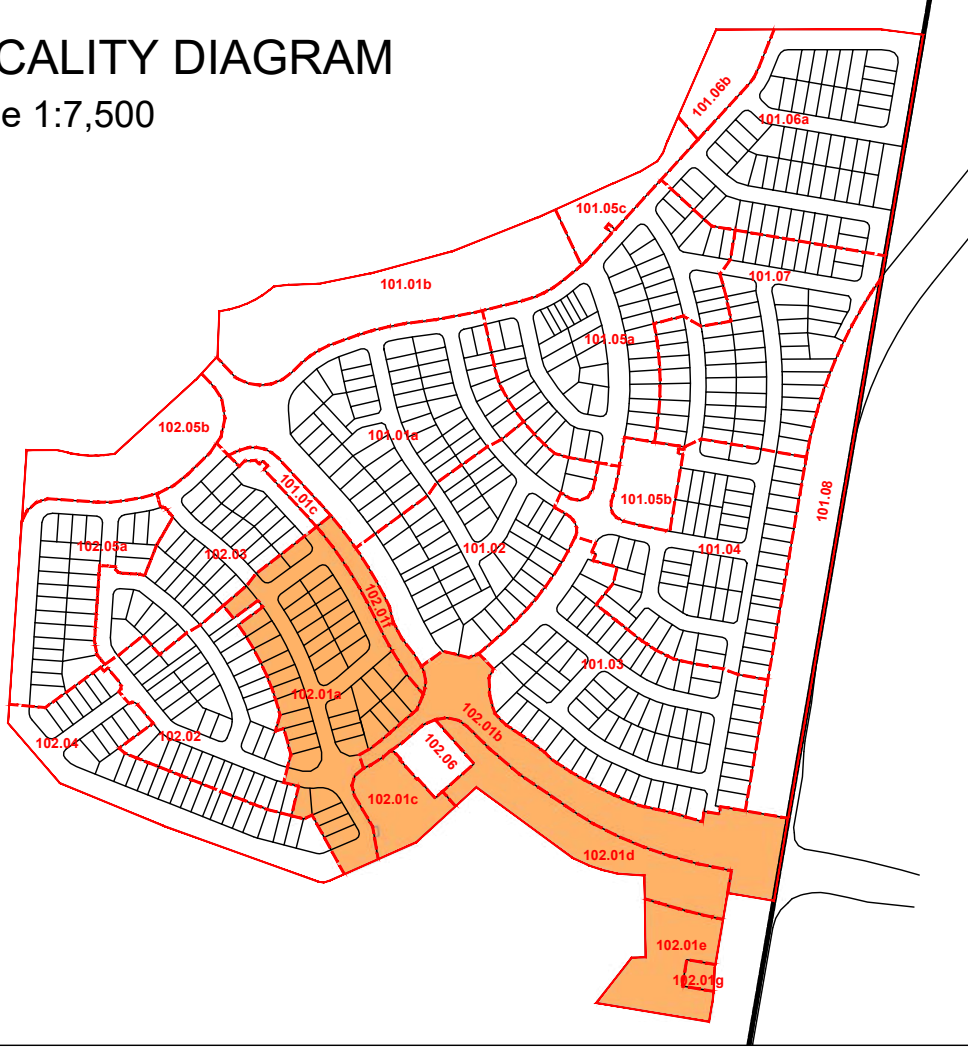


LEGEND

- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Services Easement
- Indicative Bin Pad location
- Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Courtyard	C28	14m	1	2.3%	0.056 ha
Premium Courtyard	PC28	16m	2	4.5%	0.105 ha
Premium Traditional	PT28	20m	1	2.3%	0.066 ha
Sub Total			4	9.1%	0.227 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Premium Villa	PV30	12.5m	10	22.7%	0.391 ha
Courtyard	C30	14m	16	36.4%	0.700 ha
Premium Courtyard	PC30	16m	9	20.5%	0.474 ha
Traditional	TD30	18m	1	2.3%	0.059 ha
Sub Total			36	81.8%	1.624 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Premium Villa	PV32	12.5m	2	4.5%	0.082 ha
Courtyard	C32	14m	1	2.3%	0.045 ha
Premium Courtyard	PC32	16m	1	2.3%	0.059 ha
Sub Total			4	9.1%	0.186 ha
Total Allotments			44	100%	2.037 ha
Land Budget			Area (Ha)	%	
Area of Subject Site / Stage			8.226 ha	—	
Net Residential Allotments			2.037 ha	24.8%	
Linear Park / Pedestrian Linkage			1.600 ha	19.5%	
Neighbourhood Recreation Park			0.573 ha	7.0%	
Local Road Areas			1.245 ha	15.1%	
Major Road Areas			1.863 ha	22.6%	
Balance Lot 12196			0.079 ha	1.0%	
Balance Lot 12197			0.829 ha	10.1%	
Total Area			8.226 ha	100%	

LOCALITY DIAGRAM
Scale 1:7,500



CLIENT



SITE ADDRESS
HOMESTEAD DRIVE, MONARCH GLEN

RP DESCRIPTION
Lot 1-3 on SP351245

DRAWN

MF

DATE

10/02/2026

DRAWING NO.

11731 P 27 Rev P - STG 102.01-2



ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 102.02

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026/FLA/4548
Date: 29 April 2026


Queensland
Government

LEGEND

ROL 4 Boundary

Sub-precinct Boundary

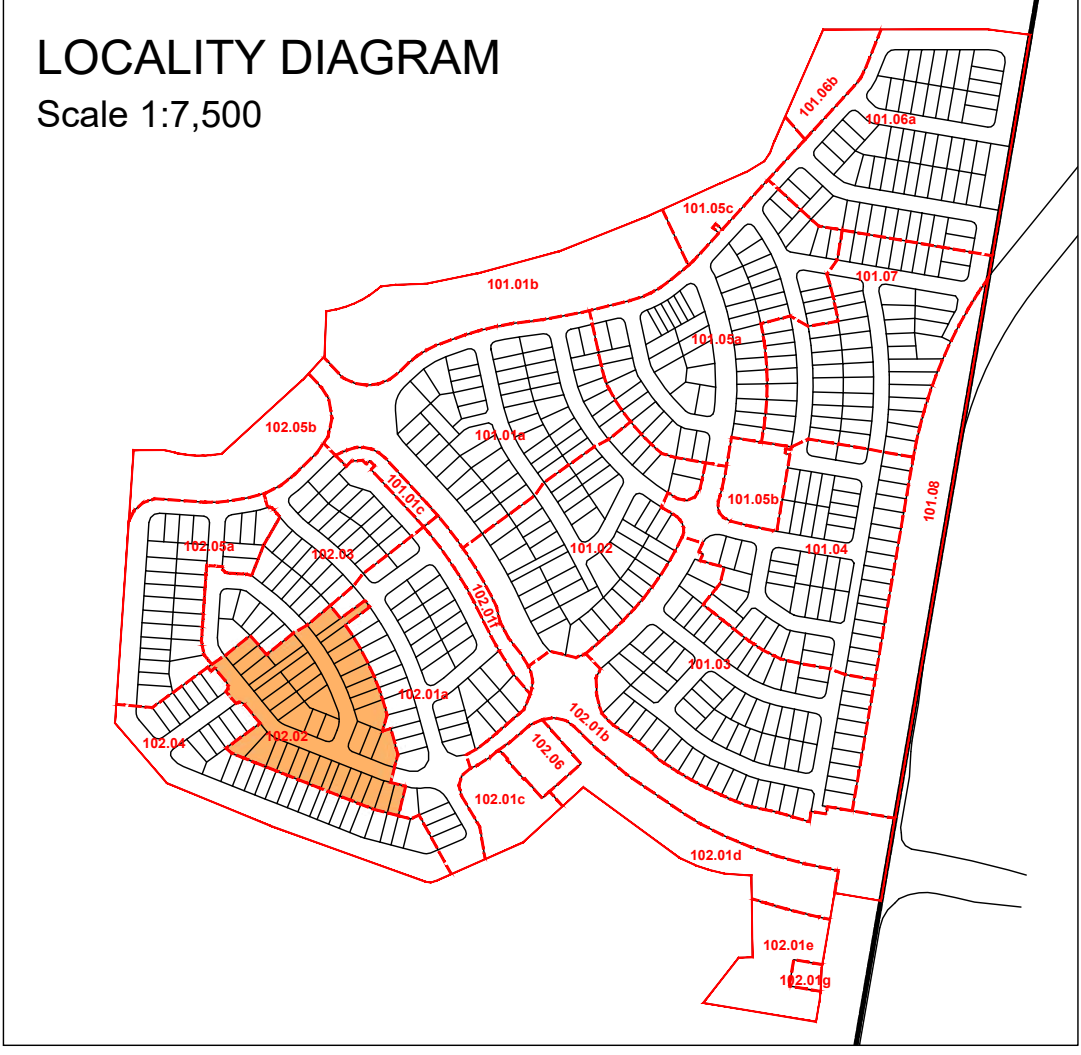
Proposed Services Easement

Neighbourhood Recreation Park

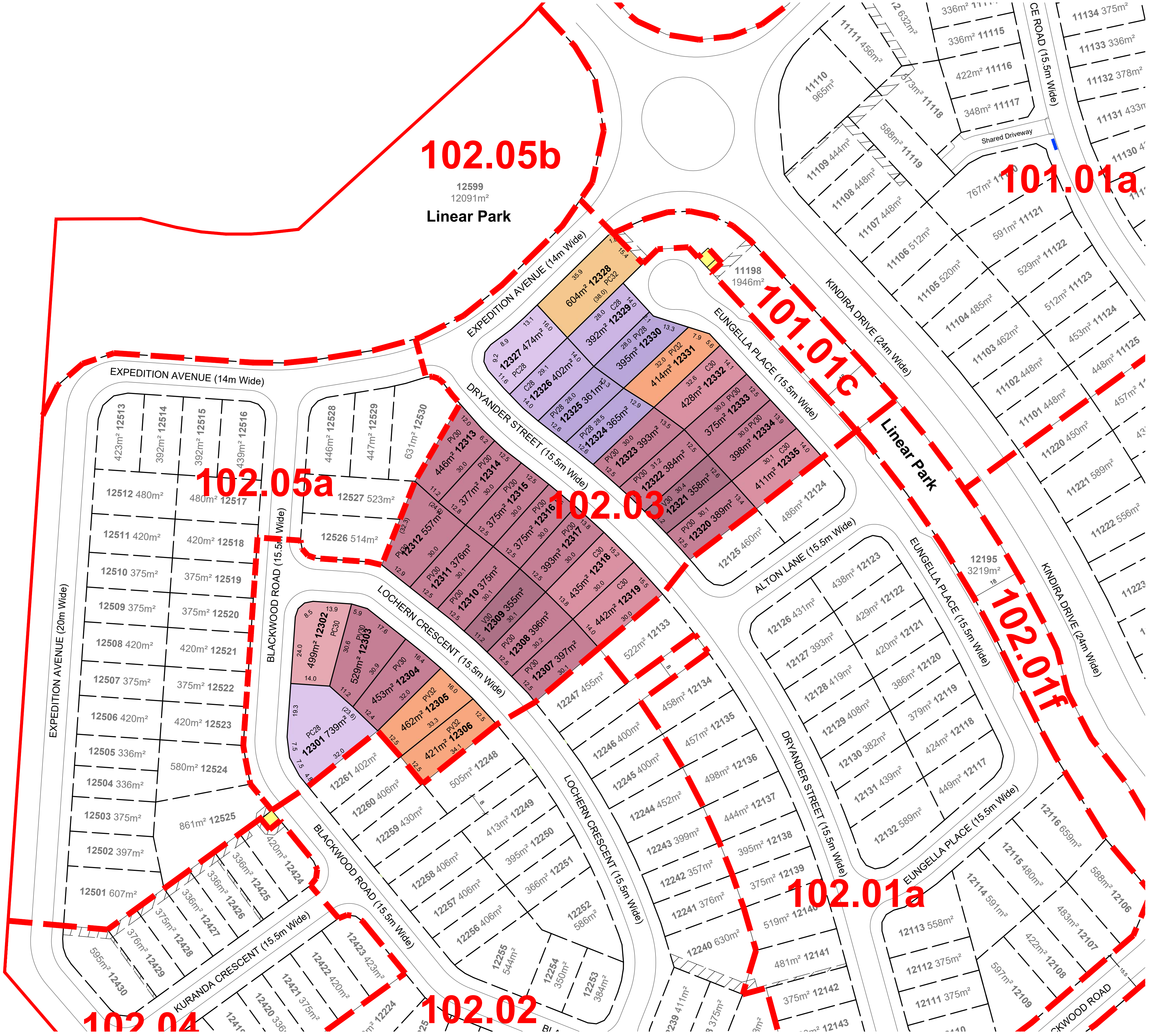
Indicative Bin Pad location

Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
25m Deep Lots					
Villa	V25	11.2m	1	2.6%	0.059 ha
Courtyard	C25	14m	2	5.3%	0.089 ha
Premium Courtyard	PC25	16m	1	2.6%	0.038 ha
Sub Total			4	10.5%	0.186 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Premium Villa	PV28	12.5m	1	2.6%	0.037 ha
Courtyard	C28	14m	1	2.6%	0.063 ha
Sub Total			2	5.3%	0.100 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	8	21.1%	0.274 ha
Premium Villa	PV30	12.5m	12	31.6%	0.482 ha
Courtyard	C30	14m	4	10.5%	0.195 ha
Sub Total			24	63.2%	0.951 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Villa	V32	11.2m	1	2.6%	0.041 ha
Premium Villa	PV32	12.5m	6	15.8%	0.264 ha
Courtyard	C32	14m	1	2.6%	0.051 ha
Sub Total			8	21.1%	0.356 ha
Total Allotments			38	100%	1.593 ha
Land Budget		Area (Ha)		%	
Area of Subject Site / Stage		2.271 ha		—	
Net Residential Allotments		1.593 ha		70.1%	
Linear Park / Pedestrian Linkage		0.125 ha		5.5%	
Local Road Areas		0.553 ha		24.4%	
Total Area		2.271 ha		100%	



ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 102.03

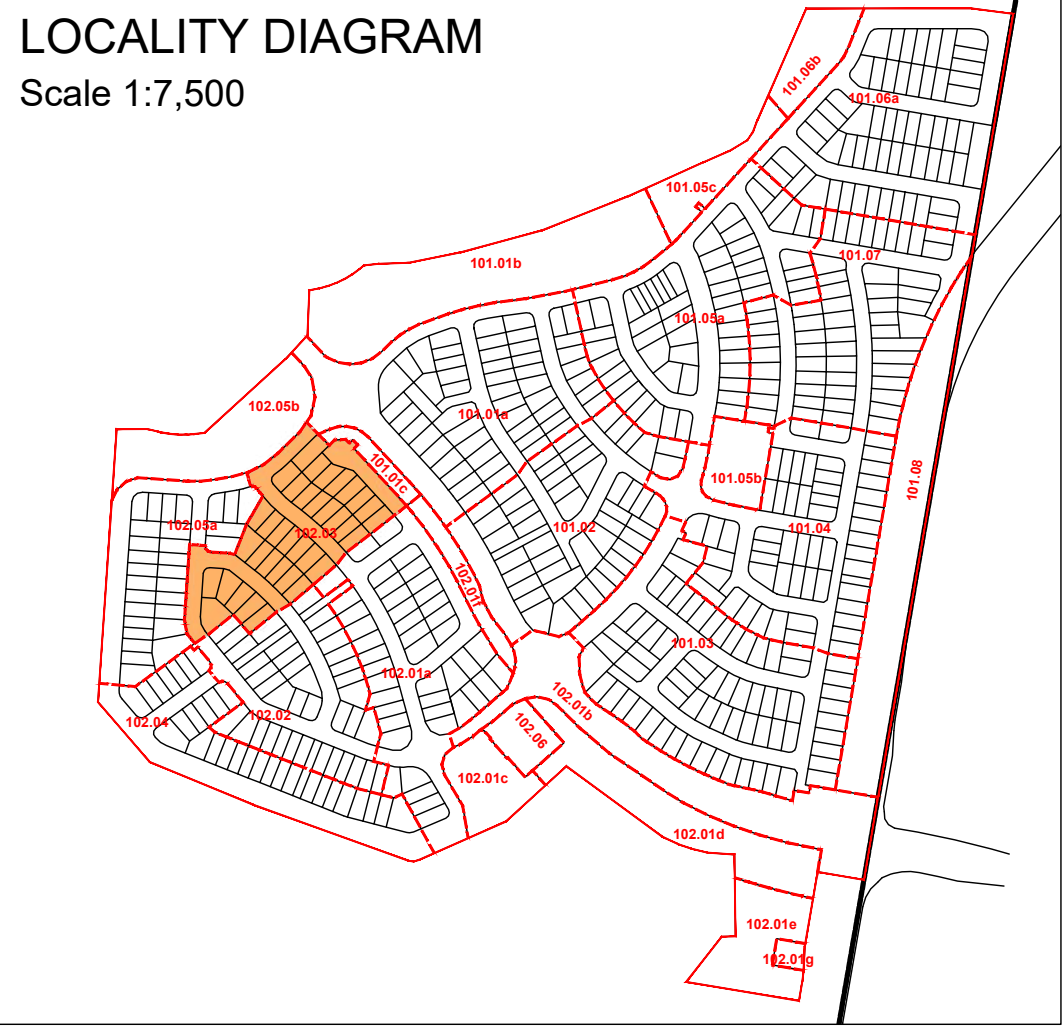


- LEGEND**
- ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Services Easement
 - Indicative Bin Pad location
 - Indicative PMT / RMU Site

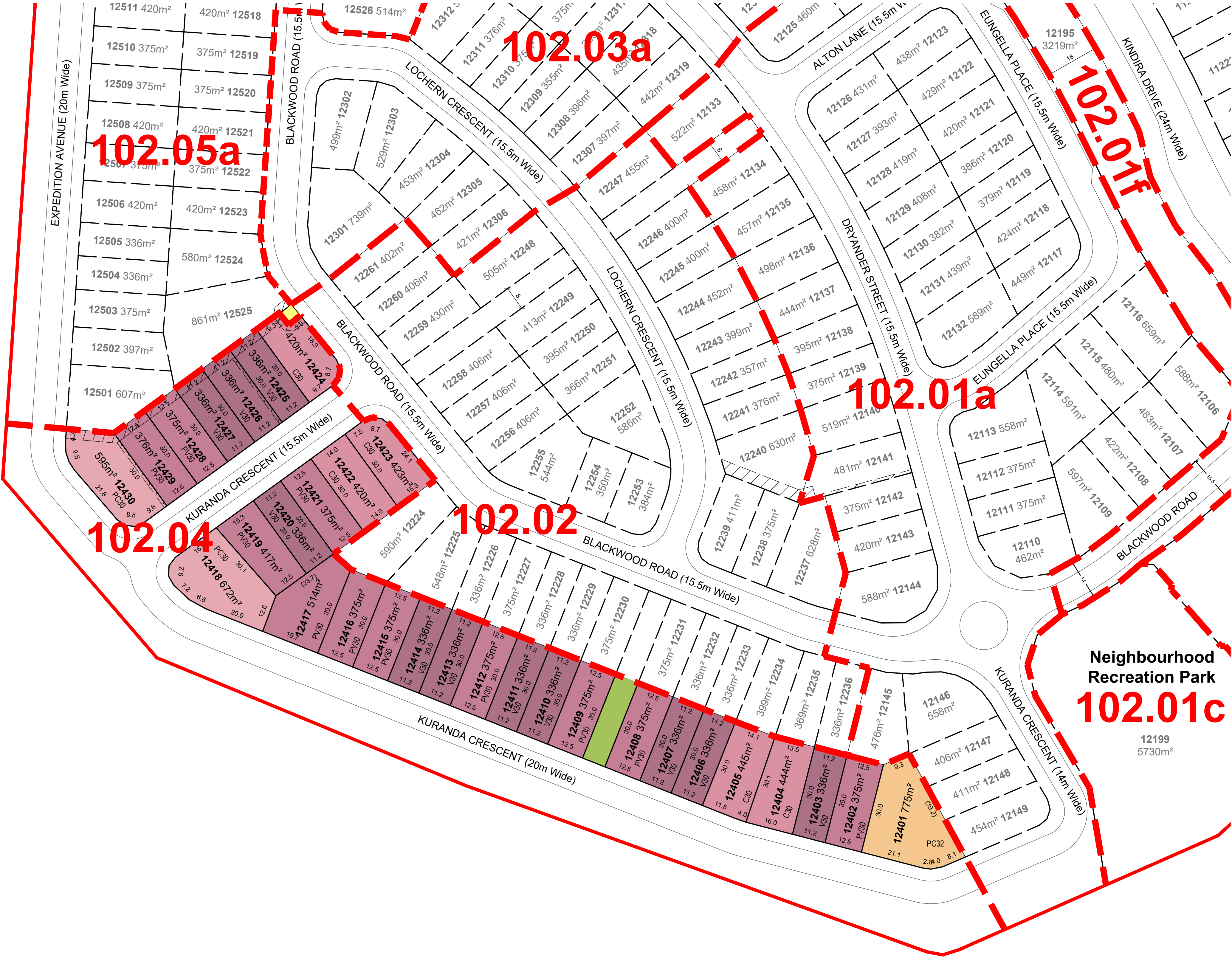
PLANS AND DOCUMENTS referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026/FLA/4548
Date: 29 April 2026

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Premium Villa	PV28	12.5m	3	8.6%	0.112 ha
Courtyard	C28	14m	2	5.7%	0.079 ha
Premium Courtyard	PC28	16m	2	5.7%	0.121 ha
Sub Total			7	20.0%	0.312 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	2	5.7%	0.071 ha
Premium Villa	PV30	12.5m	17	48.6%	0.700 ha
Courtyard	C30	14m	4	11.4%	0.172 ha
Premium Courtyard	PC30	16m	1	2.9%	0.050 ha
Sub Total			24	68.6%	0.993 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Premium Villa	PV32	12.5m	3	8.6%	0.130 ha
Premium Courtyard	PC32	16m	1	2.9%	0.060 ha
Sub Total			4	11.4%	0.190 ha
Total Allotments			35	100%	1.495 ha
Land Budget					
Area of Subject Site / Stage			2.262 ha	—	
Net Residential Allotments			1.495 ha	66.1%	
Local Road Areas			0.767 ha	33.9%	
Total Area			2.262 ha	100%	



ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 102.04



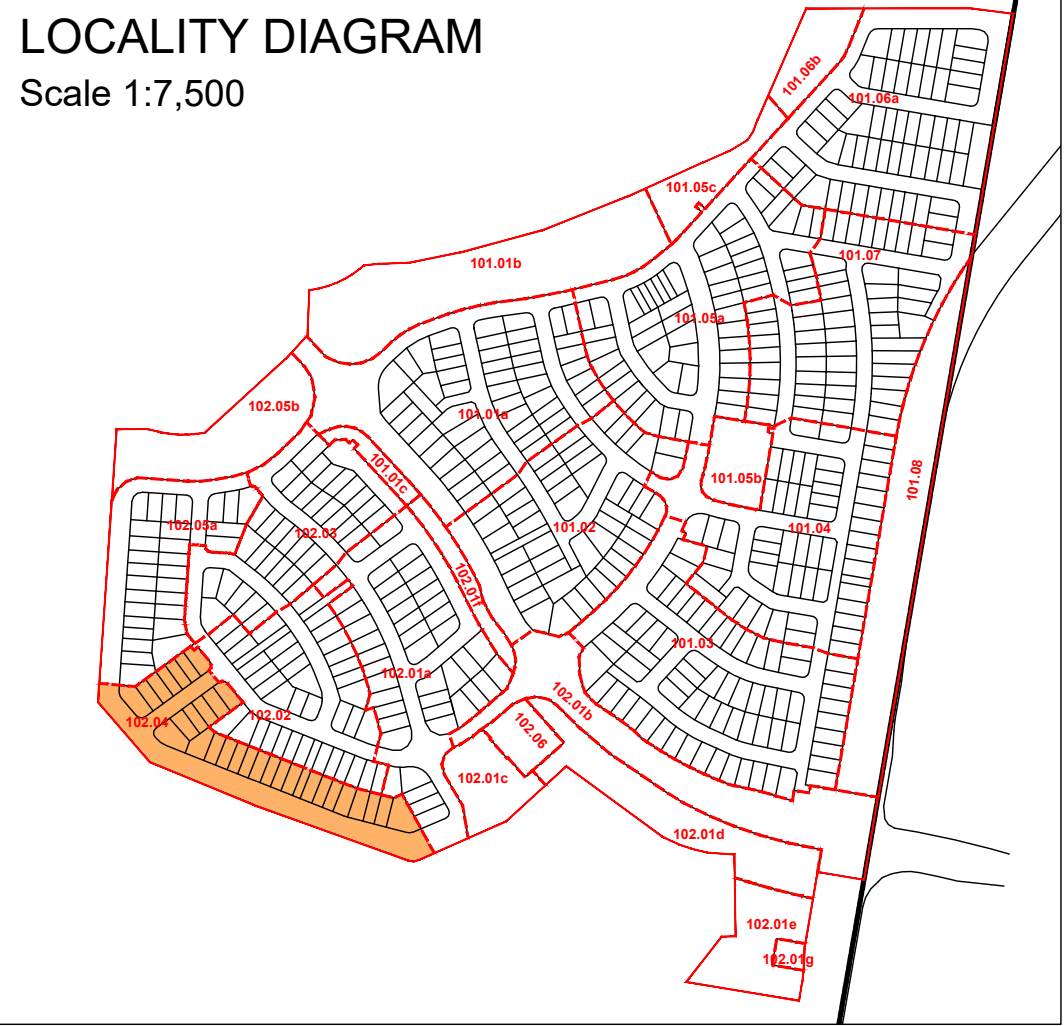
LEGEND

- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Services Easement
- Neighbourhood Recreation Park
- Indicative Bin Pad location
- Indicative PMT / RMU Site

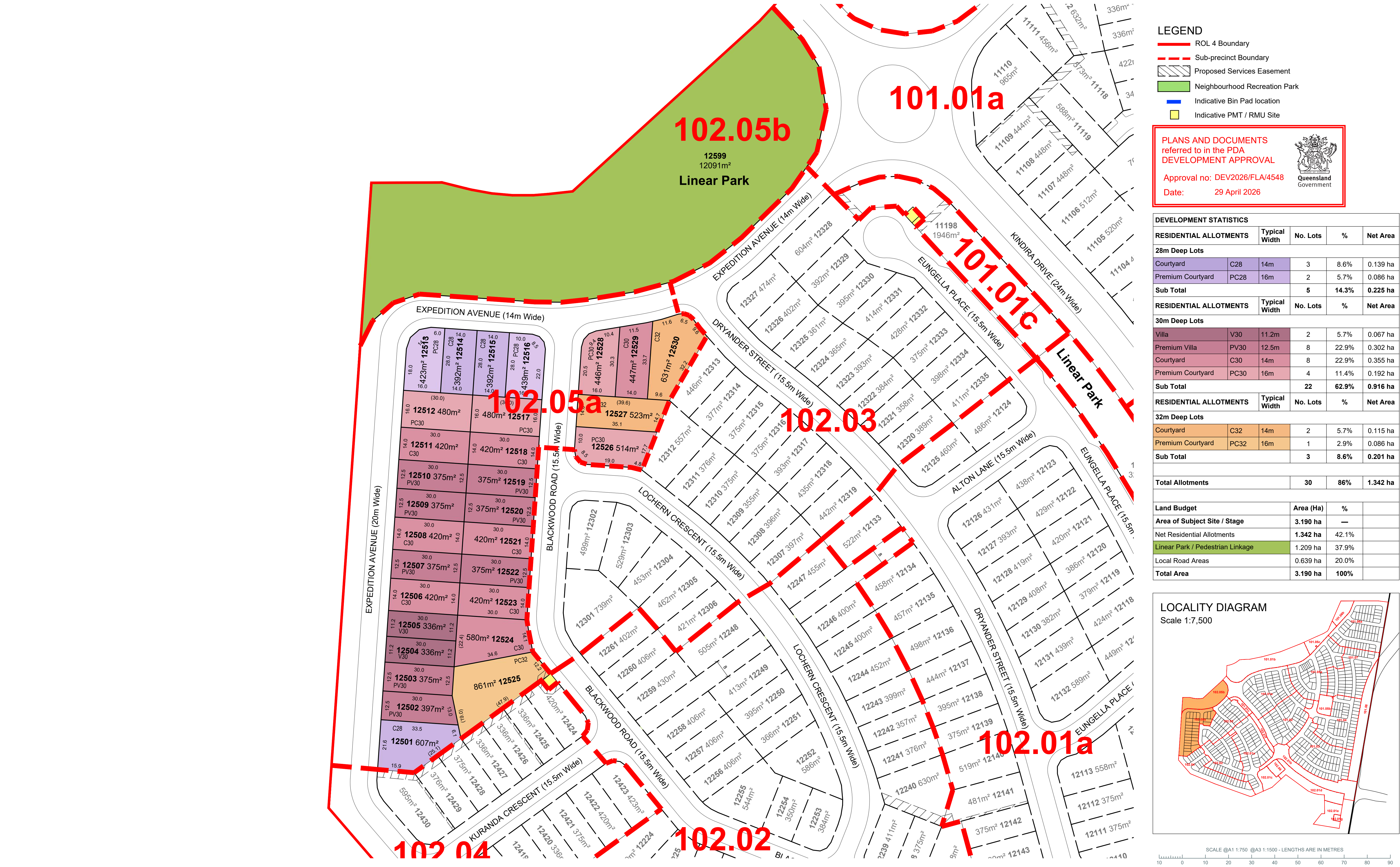
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026/FLA/4548
Date: 29 April 2026

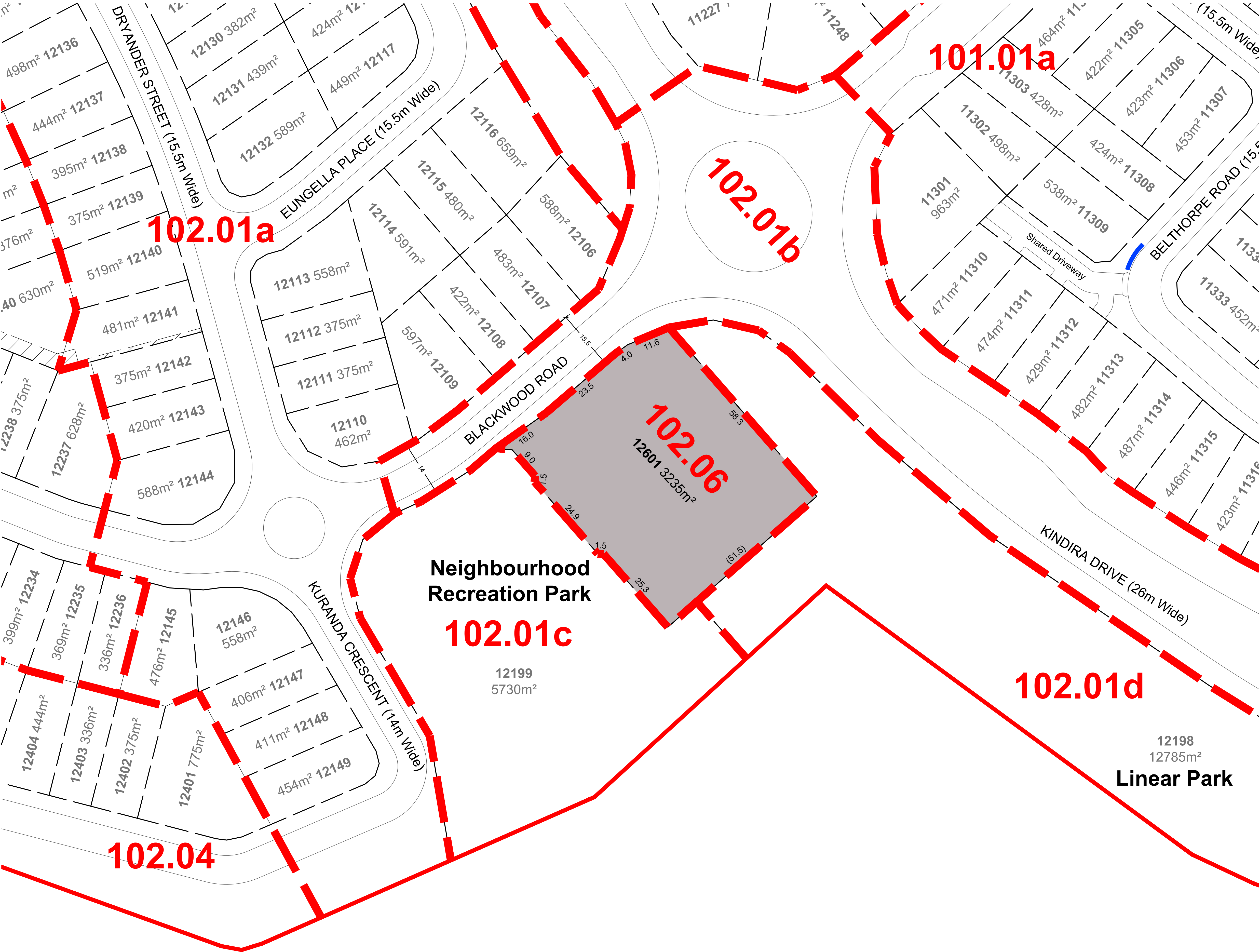
DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	11	31.4%	0.369 ha
Premium Villa	PV30	12.5m	11	31.4%	0.431 ha
Courtyard	C30	14m	5	14.3%	0.215 ha
Premium Courtyard	PC30	16m	2	5.7%	0.127 ha
Sub Total			29	82.9%	1.142 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Premium Courtyard	PC32	16m	1	2.9%	0.078 ha
Sub Total			1	2.9%	0.078 ha
Total Allotments			30	86%	1.220 ha
Land Budget			Area (Ha)	%	
Area of Subject Site / Stage			2.196 ha	—	
Net Residential Allotments			1.220 ha	55.6%	
Linear Park / Pedestrian Linkage			0.024 ha	1.1%	
Local Road Areas			0.952 ha	43.4%	
Total Area			2.196 ha	100%	



ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 102.05



ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 102.06



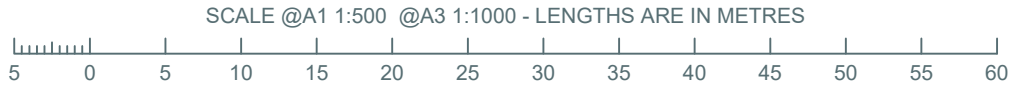
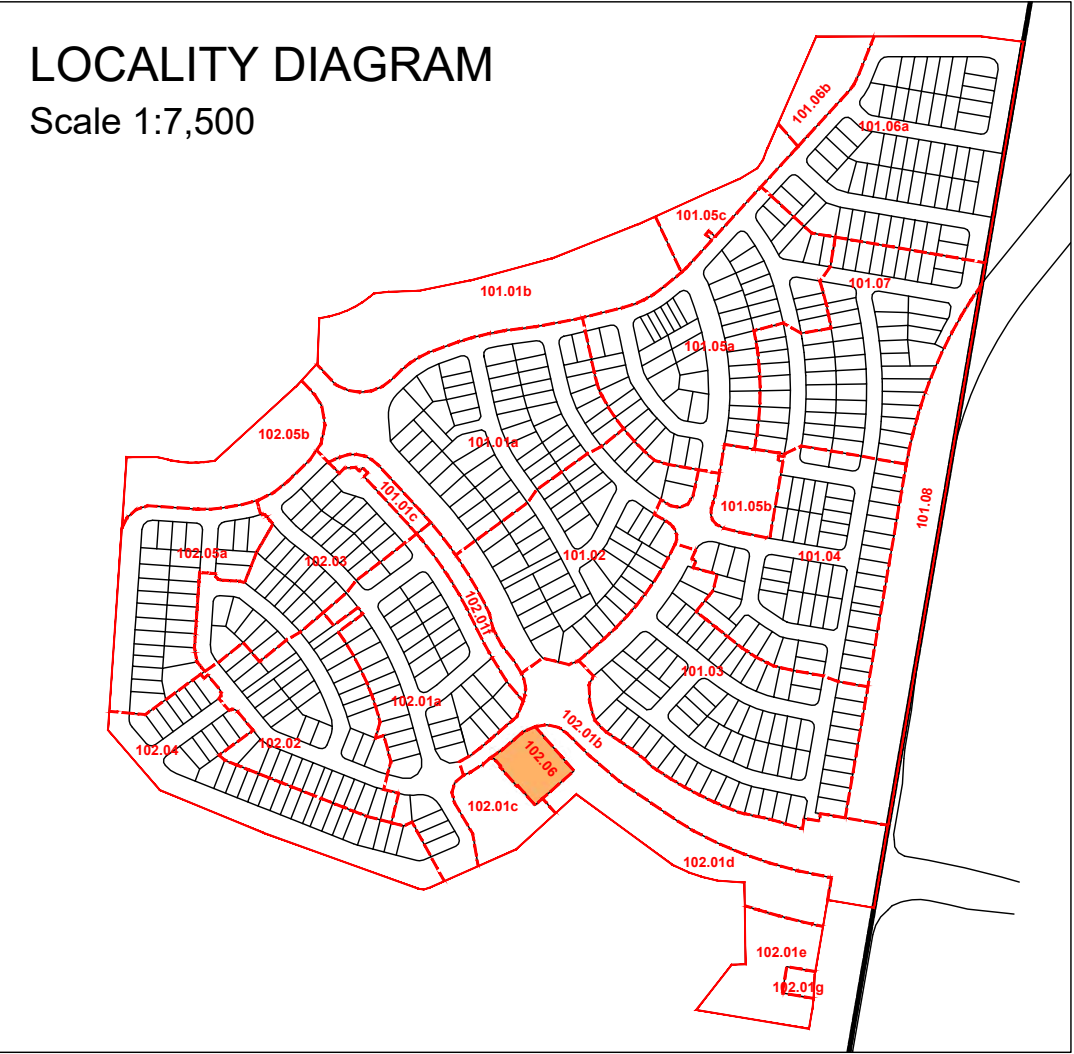
LEGEND

- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Services Easement
- Indicative Bin Pad location
- Indicative PMT / RMU Site

PLANS AND DOCUMENTS referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026/FLA/4548
Date: 29 April 2026

DEVELOPMENT STATISTICS			
Land Budget	Area (Ha)	%	
Area of Subject Site / Stage	0.324 ha	—	
Special Use Lot 12601	0.324 ha	100.0%	
Total Area	0.324 ha	100%	



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DISCLAIMER

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SOURCE

PROJECTION: GDA2020 MGA56

SUBJECT BOUNDARIES: PROVIDED BY SAUNDERS HAVILL, DRAWING REFERENCE "11731 LC RevP FS94_08.01.2026" DATED 08/01/2026

BUSHFIRE MANAGEMENT PLAN: PROVIDED BY COVEY, DOCUMENT REFERENCE "243951_RHF_GDA2020_Rev_G.dwg" DATED 15/12/2025

ROAD TRAFFIC NOISE ASSESSMENT: PROVIDED BY ATP CONSULTING ENGINEERS, DOCUMENT REFERENCE "ATP240148-R-RTNA-01-P101&P102" DATED APRIL 2025

CLIENT

SITE ADDRESS

HOMESTEAD DRIVE, MONARCH GLEN

RP DESCRIPTION

Lot 1-3 on SP351245

DRAWN

MF

DRAWING NO.

11731 P 27 Rev P - STG 102.06

DATE

10/02/2026

ROL 4: PLAN OF DEVELOPMENT - DESIGN CRITERIA

NOTES

THE FOLLOWING CRITERIA APPLY TO A HOUSE (DETACHED), MULTIPLE RESIDENTIAL, DISPLAY HOME PROPOSALS.

Planning Context

- In accordance with the provisions of the Greater Flagstone Urban Development Area Development Scheme (Development Scheme), building work and operational work are exempt development where in accordance with, or associated with, this Plan of Development (PoD).
- All relevant provisions of this PoD must be satisfied prior to the issuance of a Building Approval.
- The provisions of the Development Scheme will apply where development does not comply with all provisions of the Plan of Development.
- The Development Scheme definitions prevail over all other planning instruments to the extent of any inconsistency.

General

- All development is to be undertaken in accordance with Development Approval, and Queensland Development Code (QDC), except as varied below.
- Nominated building location envelopes may be constrained by future easements and/or services.
- Buildings shall be constructed in accordance with the approved Bushfire Report.
- Where allotments are so marked on Plan of Development - Envelope Plans, residential buildings must be designed and constructed to comply with the approved Noise Impact Assessment.

Setbacks

- Setbacks are as the relevant approved Plan of Development Table, unless specified otherwise on this plan.
- The permitted location of built to boundary walls are indicated on the Plan of Development.
- Where built to boundary walls are not adopted, side setbacks shall be in accordance with the requirements of the Non-Built to Boundary Setbacks nominated in Plan Of Development Table.
- Setback, for a building or structure, means the shortest distance, measured horizontally, between the outermost projection of the building or structure to the vertical projection of the boundary of the lot where the building or structure is.
- The dwelling and associated projections (gutters etc.) must be located wholly within the subject lot, unless encroachment rights are secured by way of easement (or other suitable mechanism).
- Other than built to boundary walls, the outside face of the fascia, or the roof structure where there is no fascia, or attached sunhoods or the like (not including retractable blinds, fixed screens, rainwater fittings, or ornamental attachments) is permitted to extend 600mm within the prescribed setback, however cannot encroach closer than 450mm from the boundary.
- The length of the built to boundary walls shall be no more than:
 - 75% of the boundary length for a house on a lot width of 7.5m - 9.5m
 - 50% of the boundary length for a house on a lot width of greater than 9.5m, or 15m, which ever is greater.
- Walls over 8m in length facing either the primary or secondary street without windows or articulation are not permitted.
- A lot can have only one primary frontage. Primary frontages are nominated as per driveway frontages, unless specified otherwise on the Plan of Development - Envelope Plans;
- The primary street frontage elevation is to be articulated to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade
 - Balconies, porches or verandahs
 - Shadow lines created on the building through minor changes in the façade (100mm minimum).
- Entrance porticoes may be located closer to the property boundary than stated in POD Table, provided that the portico:
 - is located no less than 1.4m from the front property boundary,
 - Does not exceed maximum height of 4.5m,
 - Does not exceed a depth of 2.5m; and
 - The portico remains open and not enclosed.

Corner Lot Setback

- A corner lot is a lot that adjoins the intersection of two streets (collector, access street or access place). This excludes those lots that abut a shared access driveway, pedestrian link /connection / threshold, landscape buffer &/or open space.
- Corner lots are interpreted as having a Primary and Secondary frontage and two side boundaries for the purposes of determining building setbacks (ie. No rear boundary setback applies).
- For corner lots (excluding a corner intersecting with a laneway), no building or structure over 2m high is built within a 6m x 6m truncation at the corner of two road frontages (refer Plan of Development Table).

Building Height

- The maximum building height is 9.0m.
- Buildings must have no more than 2 storeys.
- Maximum height of any structure to the built to boundary wall is 3.5m from finish ground level.

Site Cover

- Site cover means the portion of the site, expressed as a percentage, that will be covered by a building or structure, measured to its outermost projection, after the development is carried out, other than a building or structure, or part of a building or structure, that is--
 - in a landscaped or open space area, including, for example, a gazebo or shade structure; or
 - a basement that is completely below ground level and used for car parking; or
 - the eaves of a building; or
 - a sun shade.

Private Open Space and Amenity

- Each house / dwelling unit has a clearly defined outdoor living space which:
 - Has an area of at least:
 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - Is accessible from a living area; and
 - Has a ground slope of not more than 1 in 10;

Parking and Driveways

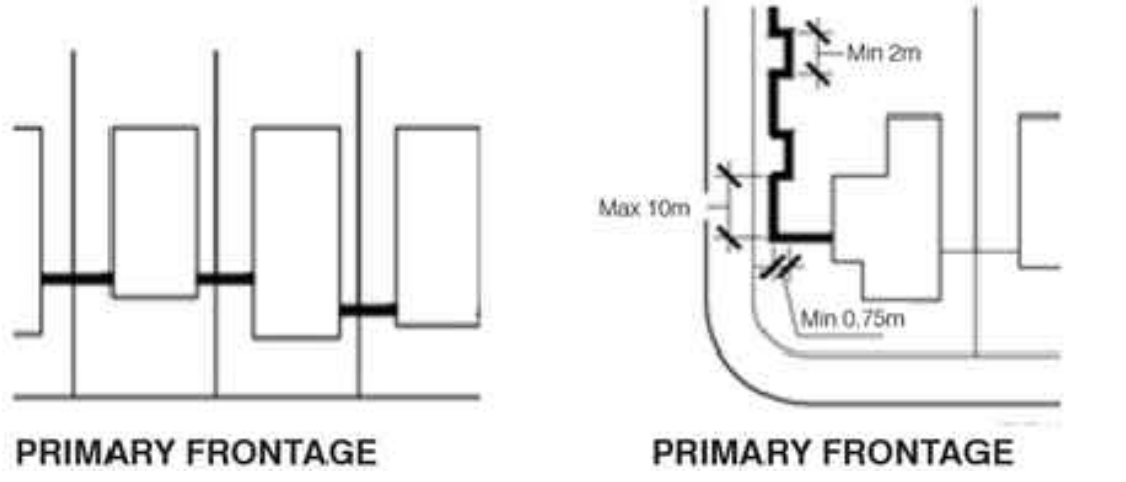
- A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
- Garages:
 - Where single storey on lots less than 10m, single or tandem garages must be used. Where double storey on a lot less than 10m, double garages can be used provided the garage is setback a min 1.0m from the first floor balcony / façade and the main entrance address the street.
 - For a dwelling on a lot with a primary frontage less than 10.0m the garage door width must not exceed 3.0m for single storey.
 - A single storey dwelling on a lot with a primary frontage equal to or greater than 10m and less than 12.5m must adhere to the following criteria:
 - The front facing building wall, which comprises the garage door, to not exceed an external width of 5.7m
 - The garage door:
 - Width does not exceed 4.8m; and
 - Has a minimum 450mm eave above it; and
 - Garages are to be setback 0.5m behind the main face of the dwelling.
 - Setback a minimum of 240mm behind the pillar of the garage door; and
 - Has a sectional, tilt (if accommodating architectural cladding or elements) or roller door.
 - The front façade of the dwelling is to be forward of the alignment of the garage wall, and include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. ; or
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door. The verandah, portico or porch is to include front piers with distinct materials and/or colours of sufficient mass to compliment the overall facade design.
 - A double storey dwelling on a lot with a primary frontage equal to or greater than 10m and less than 12.5m must adhere to the following criteria:
 - The front facing building wall, which comprises the garage door, to not exceed an external width of 5.7m
 - The garage door:
 - Width does not exceed 4.8m; and
 - Garages are to be setback 1.0m behind the main face of the dwelling at the ground floor.
 - Setback a minimum of 240mm behind the pillar of the garage door; and

- Has a sectional, tilt (if accommodating architectural cladding or elements) or roller door.
 - The front entrance door is to be visible and identifiable from the street.
- A dwelling on a lot with a primary frontage of 12.5m or greater must adhere to the following criteria:
 - Must have a garage door not exceeding 40% of the lot frontage
 - Double garages are to be setback 1.0m behind the main face of the dwelling at the ground floor.
- The maximum width of a driveway at the lot boundary shall be:
 - 4.8m for a dwelling with a double garage with a lot frontage of 12.5m or greater;
 - 3.5m for a dwelling with a double garage with a lot frontage equal to or greater than 10m and less than 12.5m; or
 - 3.0m for a dwelling with single or tandem garage on any lot frontage.
 - Garages are to be located as nominated on the Plan of Development - Envelope Plans, or in an alternate location subject to confirmation that there is no conflict with proposed/existing services.
 - A maximum of one driveway per dwelling is permitted.
 - The driveway finish must not be plain concrete.
 - Driveways are to be:
 - a minimum distance of 6m from an intersection of one street with another street; and
 - designed and constructed in accordance with approval / permit requirements of Logan City Council.

Retaining Walls

- Other than walls erected by the developer, retaining walls:
 - must be tiered 1m vertical and 1m horizontal where forward of the building line to any street, park or lane and visible from the public realm; and
 - cannot exceed 1.5m in height without stepping elements incorporated.
 - cannot be constructed out of timber or timber elements
 - if visible from the street, concrete sleeper must not be grey concrete colour finish.
 - retaining wall must contribute to a coherent and visually pleasing experience with architecture design of home.
- Where on a lot with a rear retaining wall exceeding 2.0m above ground level (or where identified on the Plan of Development - Envelope Plans), the Rear Setback is as per Plan of Development Table.
- All retaining walls over 1.0m in height must be certified by an RPEQ.

Fencing



- Primary frontage requirements:
 - The maximum fence height is 1.8m;
 - Fences are not permitted along road frontages forward of the building; and
 - Side boundary fences are to be recessed at least 1m behind the wall addressing the primary road frontage (as per diagram).
- For rear loaded terrace lots the primary frontage requirement are as follows
 - A maximum fence height of 1.5m;
 - Fences are permitted along the Primary Frontage and the side boundaries forward of the facade facing the Primary Frontage: and
 - Fences must be a least 50% transparent.
 - Fences on the primary frontage must not be constructed using timber
 - Street numbers and letterboxes must be intergrated into the fencing construction

- Within laneways, 1.8m high fences are permitted to screen private open space, car parking and servicing area. Any fencing area above 1.5m in height to be at least 50% transparent.
- Secondary frontage requirements:
 - Fences to Secondary Frontages (Side) of Corner Lots may extend beyond the face of the secondary facade only on the basis the fencing visible from the public area is:
 - A maximum fence height of 1.8m;
 - Solid up to a height of 1.5m with any fencing above 1.5m in height being at least 50% transparent or the fence can be at least 25% transparent overall where the transparency is consistent across the full area of the fence (ie. transparent sections cannot be located solely at ground level); and
 - Does not extend for lengths greater than 10m without a landscaped recess 2m in length and 0.75m deep (as per diagram).
- Pedestrian link requirements:
 - Fences to pedestrian links:
 - A maximum fence height of 1.8m; and
 - Solid up to a height of 1.5m with any fencing above 1.5m in height being at least 50% transparent or the fence can be at least 25% transparent overall where the transparency is consistent across the full area of the fence (i.e. transparent sections cannot be located solely at ground level).

Letterboxes

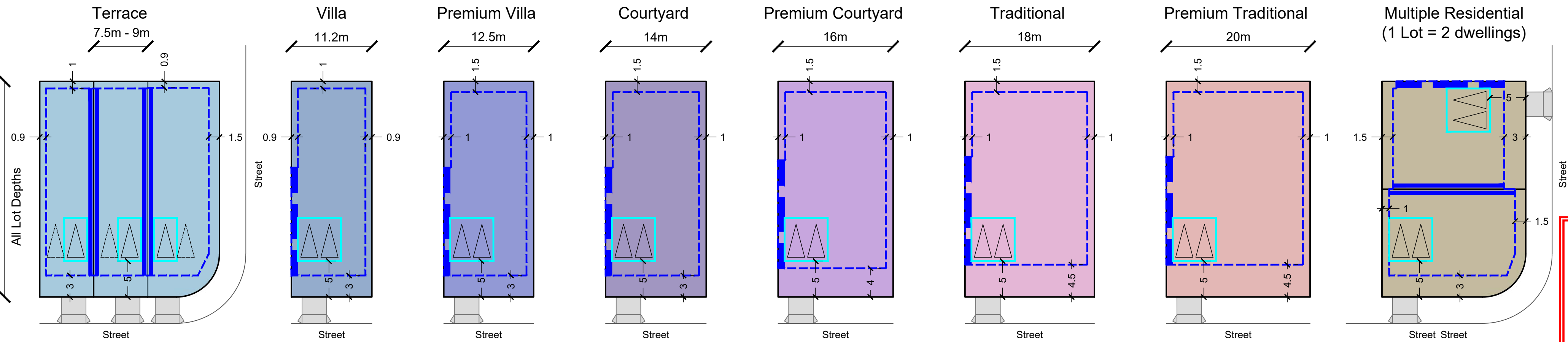
- Letterboxes for the dwelling shall be located on the primary street frontage. Letterboxes are not permitted in laneways.

Structures and Services

- Screened drying areas are to be located behind the main face of the dwellings.
- Rubbish bin areas are to be located behind the main face of the dwellings or stored so as to not be visible from the public realm.

PLAN OF DEVELOPMENT TABLE										
ALLOTMENT TYPE		Terrace	Villa	Premium Villa	Courtyard	Premium Courtyard	Traditional	Premium Traditional	Multiple Residential (2 dwellings)	
		7.5 - 9.5m	11.2m	12.5m	14m	16m	18m	20m		
FRONT SETBACKS										
Primary Frontage	To Wall (Ground Floor)	3.0m	3.0m	3.0m	3.0m	4.0m	4.5m	4.5m	3.0m	
	To Wall (First Floor)	3.0m	3.0m	3.0m	3.0m	4.0m	4.5m	4.5m	3.0m	
	To Garage Door	5.0m	5.0m	5.0m	5.0m	5.0m	5.0m	5.0m	5.0m	
Secondary Frontage	To Wall (Ground Floor)	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	
	To Wall (First Floor)	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	
	To Garage Door	N/A	5.0m	5.0m	5.0m	5.0m	5.0m	5.0m	5.0m	
SIDE / REAR SETBACKS										
From any part of the side or rear boundary of a lot where: - on the low side of a retaining wall; and - the total wall height at that part of the side or rear boundary is greater than 2.0m total height.		To Wall (Ground Floor)	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	
		To Wall (First Floor)	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m
Note: Where a retaining wall is less than or equal to 2.0m on any part of the side or rear boundary of a lot, standard setback provisions apply for that part of the side or rear boundary of a lot.										
For all other side / rear boundaries	Rear Setback	To Wall (Ground Floor)	1.0m	1.0m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
		To Wall (First Floor)	1.0m	1.0m	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m
	Side Setback – Built to Boundary	To Wall (Ground Floor)	0 - 0.3m	0 – 0.3m	0 – 0.3m	0 – 0.3m	0 – 0.3m	0 – 0.3m	0 – 0.3m	0 – 0.3m
		To Wall (First Floor)	0 - 0.3m	0.9m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
	Side Setback – Non-Built to Boundary	To Wall (Ground Floor)	0.9m	0.9m	1.0m	1.0m	1.0m	1.0m	1.2m	1.0m
		To Wall (First Floor)	0.9m	0.9m	1.0m	1.0m	1.5m	1.5m	2.0m	1.0m
Site Cover (Maximum)		75%	65%	65%	60%	60%	60%	60%	70%	
Note: Additional Setbacks may be required to ensure the building envelope does not encroach past the Bushfire Reach of BAL29										

TYPICAL LOT DIAGRAM



LEGEND

- Optional Built to Boundary Wall location
- Mandatory Built to Boundary Wall location
- Indicative Building Envelope
- Indicative Garage Location
- Indicative Driveway Location

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2026/FLA/4548

Date: 29 April 2026



ROL 4: PLAN OF DEVELOPMENT - DESIGN CRITERIA

NOTES

THE FOLLOWING CRITERIA APPLY TO A SALES OFFICE, COMMUNITY FACILITY, AND FOOD PREMISES PROPOSALS.

Planning Context

- In accordance with the provisions of the Greater Flagstone Urban Development Area Development Scheme (Development Scheme), building work and operational work are exempt development where in accordance with, or associated with, this Plan of Development (PoD).
- All relevant provisions of this PoD must be satisfied prior to the issuance of a Building Approval.
- The provisions of the Development Scheme will apply where development does not comply with all provisions of the Plan of Development.
- The Development Scheme definitions prevail over all other planning instruments to the extent of any inconsistency.

General

- All development is to be undertaken in accordance with Development Approval, and Queensland Development Code (QDC), except as varied below.
- Nominated building location envelopes may be constrained by future easements and/or services.
- Buildings shall be constructed in accordance with the approved Bushfire Report.
- Where allotments are so marked on Plan of Development - Envelope Plans, residential buildings must be designed and constructed to comply with the approved Noise Impact Assessment.

Setbacks

- Setbacks are as the relevant approved Plan of Development Table, unless specified otherwise on this plan.
- Setback, for a building or structure, means the shortest distance, measured horizontally, between the outermost projection of the building or structure to the vertical projection of the boundary of the lot where the building or structure is.

Building Heights

- The maximum building height is 9.0m.
- Buildings must have no more than 2 storeys.

Parking and Driveways

- The lot has physical access to a sealed or constructed road

Structures and Services

- Connected to a reticulated water supply network and a reticulated electricity network or is capable of providing on site effluent treatment and disposal in accordance with the Queensland Plumbing and Wastewater Code.
- Rubbish bin areas are to be located behind the main face of the are not visible from the public realm.
- Development ensures that air conditioning, refrigeration and other mechanical plant, vents, exhausts and refuse and recycling storage areas are:
 - located so that they are not visually obtrusive when viewed from the street;
 - screened from an adjacent sensitive use.

Retaining Walls

- Other than walls erected by the developer, retaining walls:
 - must be tiered 1m vertical and 1m horizontal where forward of the building line to any street, park or lane and visible from the public realm; and
 - cannot exceed 1.5m in height without stepping elements incorporated.
 - cannot be constructed out of timber or timber elements
 - if visible from the street, concrete sleeper must not be grey concrete colour finish.
 - retaining wall must contribute to a coherent and visually pleasing experience with architecture design of home.
- Where on a lot with a rear retaining wall exceeding 2.0m above ground level (or where identified on the Plan of Development - Envelope Plans), the Rear Setback is as per the Plan of Development Table.
- All retaining walls over 1.0m in height must be certified by an RPEQ.

Design

- The length of blank façade without variation in material, substantial articulation or large openings is no more than 15m.
- Development entrances are:
 - highly accessible to pedestrians through the provision of a defined pedestrian access from the existing active transport network;
 - clearly visible from the primary street frontage;
 - not obscured by fencing, walls, advertising or dense landscaping;
 - separate from vehicle entry points.
- The primary street frontage elevation is to be articulated to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade
 - Balconies, porches or verandahs
 - Shadow lines created on the building through minor changes in the façade (100mm minimum).

- A window:
 - does not directly face the window of a habitable room of another building within 2 metres at the ground storey or 9 metres above the ground storey; or
 - has:
 - fixed obscure glazing in any part of the window below 1.5 metres above floor level; or
 - fixed external screens which:
 - achieve a minimum 50% transparency;
 - have openings with a maximum dimension of 50mm.
- Development:
 - is orientated to overlook the public realm with windows or balconies located on upper levels, designed to provide passive surveillance opportunities;
 - where bordering public open space, provides an interface with it.
- Landscaping
 - A minimum of 10% of the site is planted with deep planting with a minimum dimension of 4m.
 - A landscape strip with a minimum width of 1.5m is planted along the full extent of a boundary adjoining land intended for a sensitive land use.

Sales Office Specific Design Criteria

- Parking and driveway:
 - Car parking rates: 3 spaces per 100m² gross floor area
- GFA:
 - Maximum of 500m²

Community Facility Specific Design Criteria

- Parking and driveway:
 - Car parking rates: 3 spaces per 100m² gross floor area
 - Onsite maneuvering for an SRV.
- GFA:
 - Maximum of 200m²

Food Premises Design Criteria

- Parking and driveway:
 - Car parking rates: 3 spaces per 100m² gross floor area
 - Onsite maneuvering for an SRV.
- GFA:
 - Maximum of 200m²

AMENDED IN RED

By: Andrew Edwards
Date: 14 April 2026



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2026/FLA/4548
Date: 29 April 2026



PLAN OF DEVELOPMENT TABLE			
ALLOTMENT TYPE			Special Use
FRONT SETBACKS			
Primary Frontage		To Wall (Ground Floor)	4.5m
		To Wall (First Floor)	4.5m
		To Garage Door	5.0m
Secondary Frontage		To Wall (Ground Floor)	1.5m
		To Wall (First Floor)	1.5m
		To Garage Door	5.0m
SIDE / REAR SETBACKS			
For all other side / rear boundaries	Rear Setback	To Wall (Ground Floor)	1.5m
		To Wall (First Floor)	2.0m
	Side Setback – Non-Built to Boundary	To Wall (Ground Floor)	1.2m
		To Wall (First Floor)	2.0m
Site Cover (Maximum)			60%

SPECIAL USE LOT 12601 DIAGRAM

Lot access to be located within this indicative area

SCALE @A1 1:400 @A3 1:800 - LENGTHS ARE IN METRES

LEGEND

- ROL 4 Boundary
- Sub-precinct Boundary
- Special Use Lot
- Linear Park / Pedestrian Linkage
- Neighbourhood Recreation Park
- Primary Frontage
- Indicative Building Envelope
- Lots impacted by Bushfire Radiant Heat Flux 29kW/m2
- Extent of bushfire Radiant Heat Flux 29kW/m2

LOCALITY DIAGRAM

Scale 1:7,500

DISCLAIMER

THIS PLAN WAS PREPARED AS A CONCEPTUAL LAYOUT ONLY. IT IS NOT SUITABLE FOR ANY OTHER PURPOSE. PROPERTY DIMENSIONS, AREAS, LOT NUMBERS, AND OTHER FEATURES ARE BASED ON EXISTING INFORMATION AND MAY NOT HAVE BEEN VERIFIED BY SURVEY. THESE DETAILS MAY CHANGE SUBJECT TO DEVELOPMENT APPROVAL OR FURTHER DESIGN. PAVEMENT AND CENTRELINES SHOWN ARE INDICATIVE ONLY AND ARE SUBJECT TO ENGINEERING DESIGN. THE DESIGNS DOCUMENTED HEREIN REMAIN THE PROPERTY OF SAUNDERS HAVILL GROUP AND MUST NOT BE REPRODUCED OR USED IN WHOLE OR PART WITHOUT WRITTEN PERMISSION. SAUNDERS HAVILL GROUP ACCEPTS NO RESPONSIBILITY FOR ANY USE OR RELIANCE BY THIRD PARTIES. REPRODUCTION WITHOUT THIS NOTE IN FULL RENDERS THE INFORMATION INVALID.

SOURCE

PROJECTION: GDA2020 MGA56
SUBJECT BOUNDARIES: PROVIDED BY SAUNDERS HAVILL, DRAWING REFERENCE "11731 LC RevP FS94_08.01.2026" DATED 08/01/2026
BUSHFIRE MANAGEMENT PLAN: PROVIDED BY COVEY, DOCUMENT REFERENCE "243951_RHF_GDA2020_Rev_G.dwg" DATED 15/12/2025
ROAD TRAFFIC NOISE ASSESSMENT: PROVIDED BY ATP CONSULTING ENGINEERS, DOCUMENT REFERENCE "ATP240148-R-RTNA-01-P101&P102" DATED APRIL 2025



CLIENT



SITE ADDRESS

HOMESTEAD DRIVE, MONARCH GLEN

RP DESCRIPTION

Lot 1-3 on SP351245

DRAWN

MF

DRAWING NO.

11731 P 27 Rev P - POD 02

DATE

10/02/2026



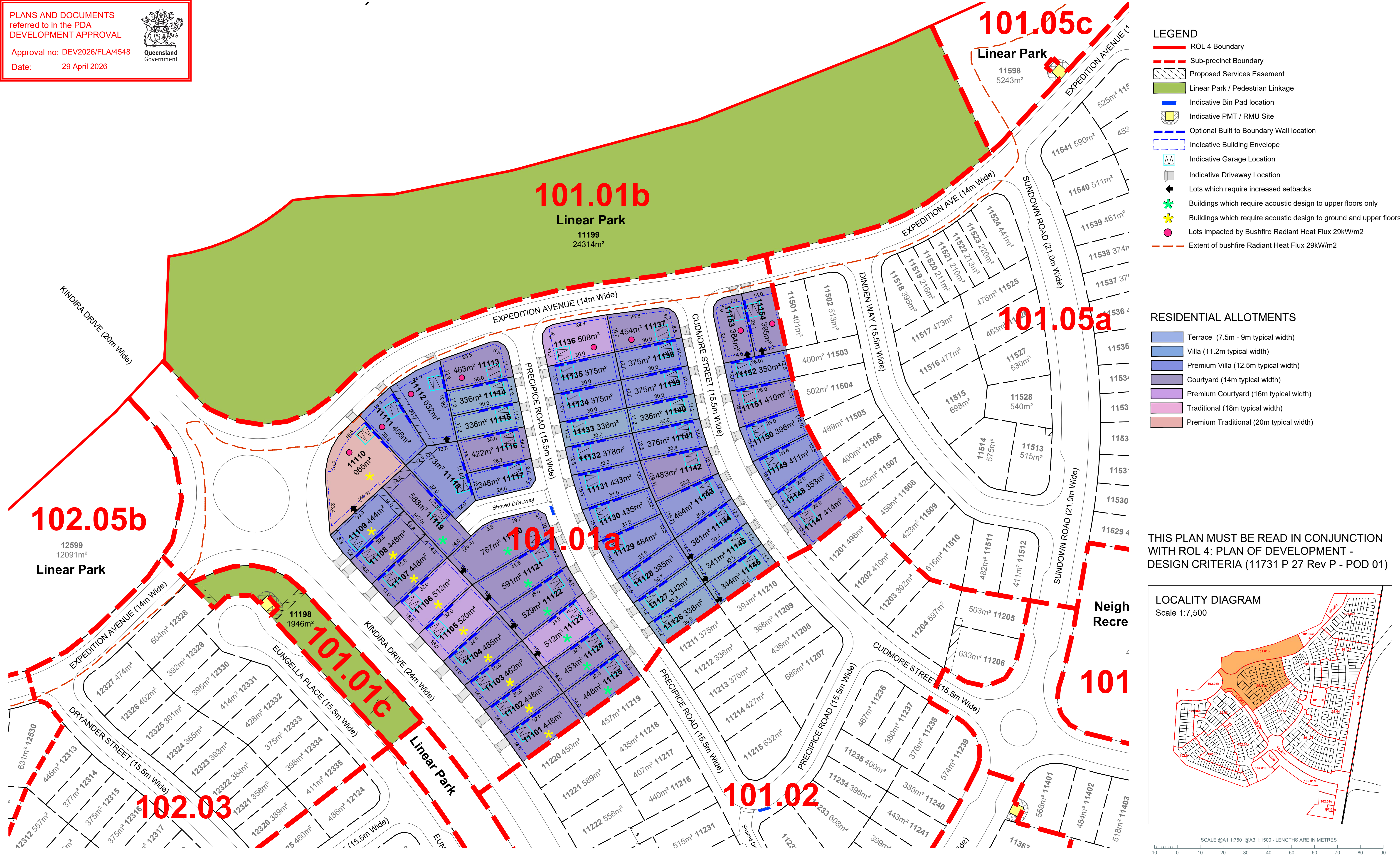
ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 101.01

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

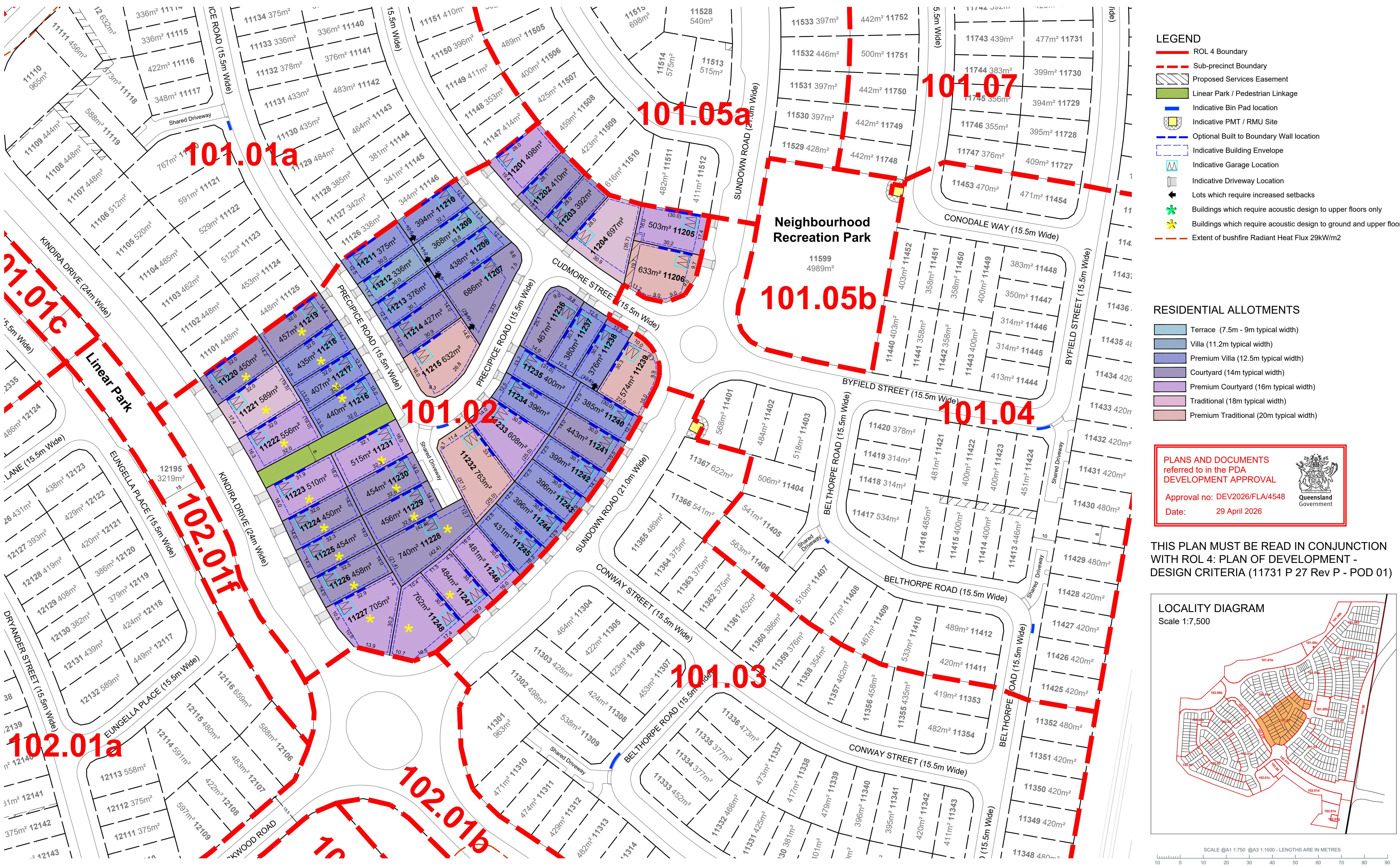
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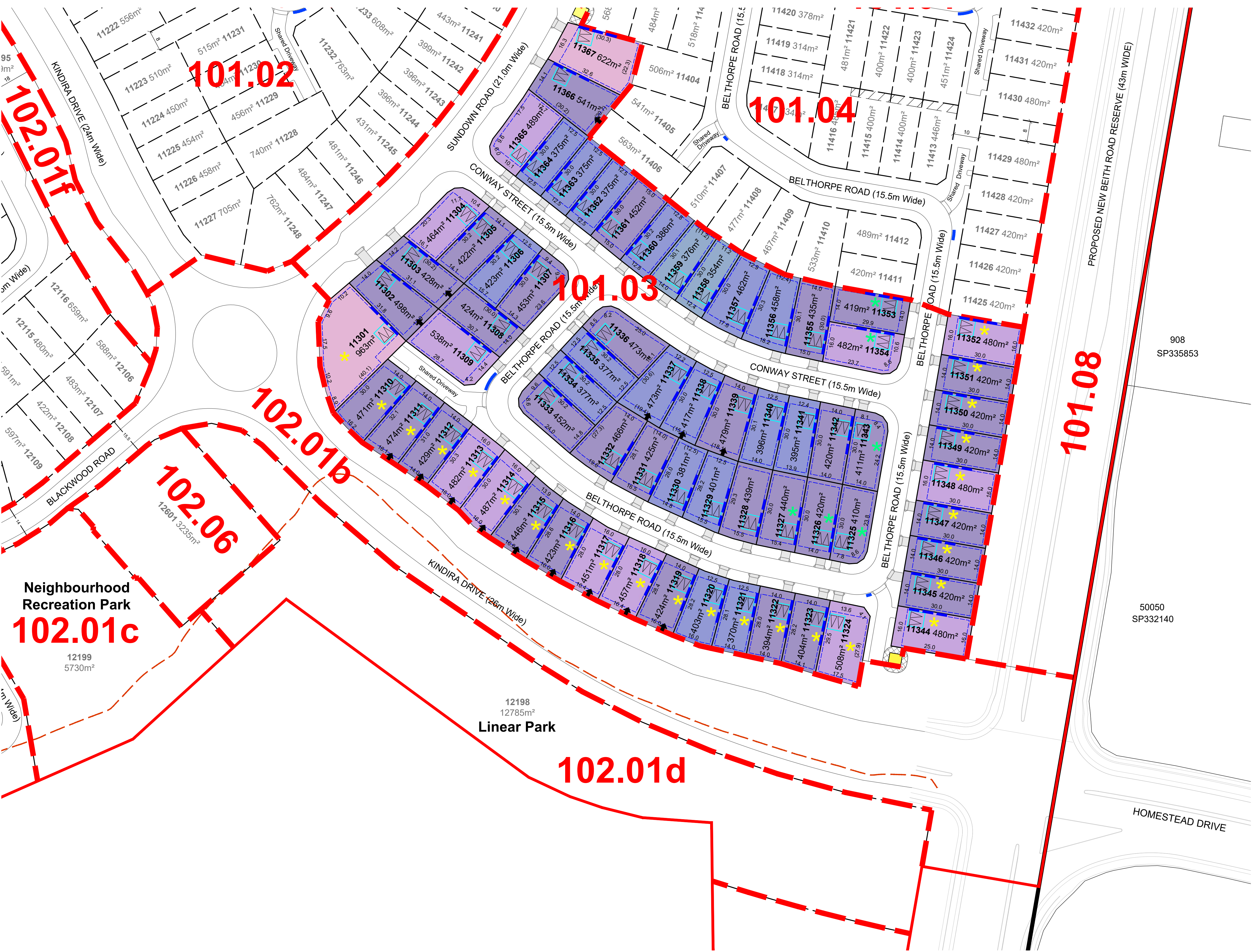
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ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 101.02



ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 101.03



LEGEND

Site Boundary

ROL 4 Boundary

Sub-precinct Boundary

Proposed Services Easement

Proposed Access Easement

Indicative Bin Pad location

Indicative PMT / RMU Site

Optional Built to Boundary Wall location

Indicative Building Envelope

Indicative Garage Location

Indicative Driveway Location

Lots which require increased setbacks

Buildings which require acoustic design to upper floors only

Buildings which require acoustic design to ground and upper floors

Extent of bushfire Radiant Heat Flux 29kW/m2

RESIDENTIAL ALLOTMENTS

Terrace (7.5m - 9m typical width)

Villa (11.2m typical width)

Premium Villa (12.5m typical width)

Courtyard (14m typical width)

Premium Courtyard (16m typical width)

Traditional (18m typical width)

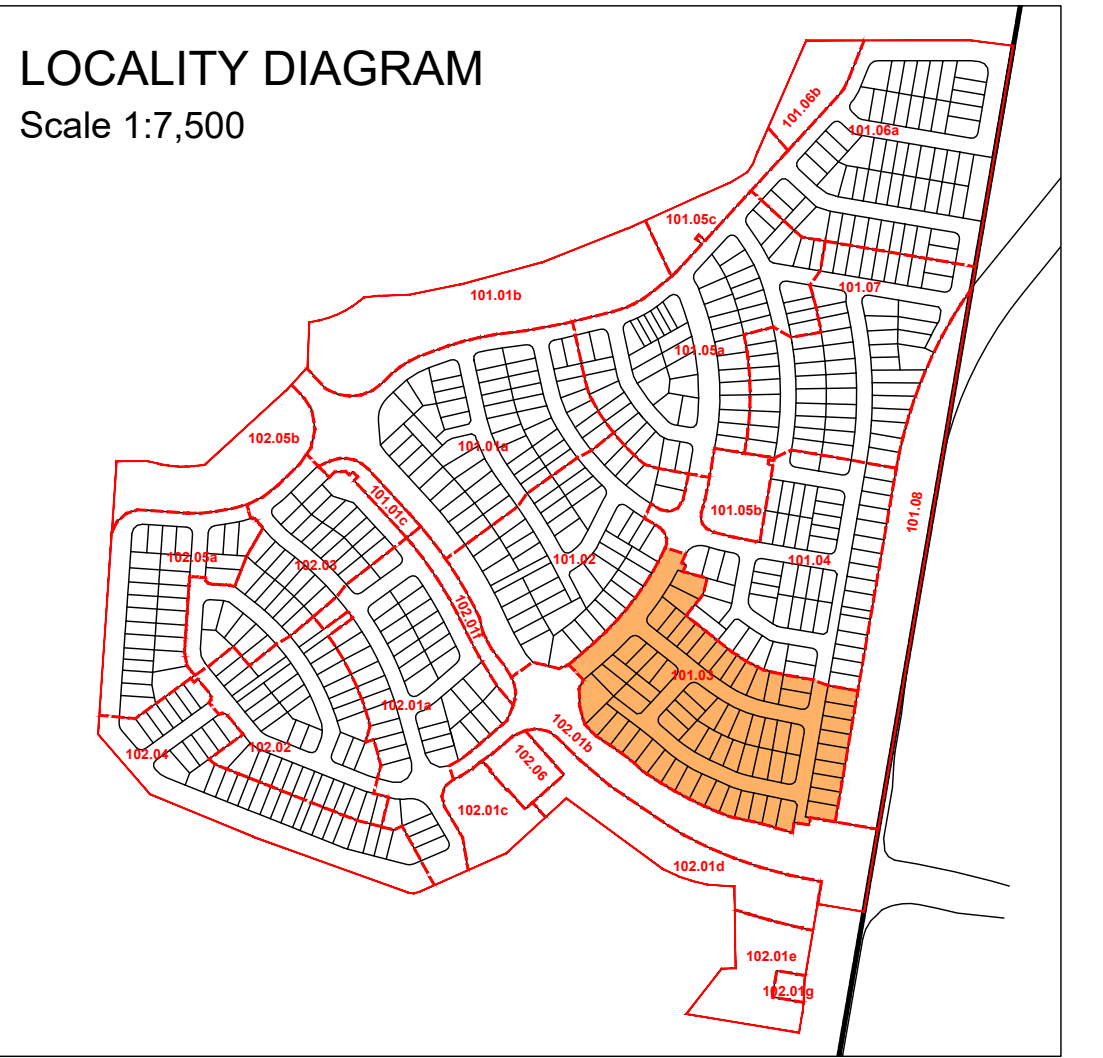
Premium Traditional (20m typical width)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 101.04



LEGEND

- Site Boundary
- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Services Easement
- Linear Park / Pedestrian Linkage
- Indicative Bin Pad location
- Indicative PMT / RMU Site
- Optional Built to Boundary Wall location
- Indicative Building Envelope
- Indicative Garage Location
- Indicative Driveway Location
- Lots which require increased setbacks
- Buildings which require acoustic design to upper floors only
- Buildings which require acoustic design to ground and upper floors
- Extent of bushfire Radiant Heat Flux 29kW/m2

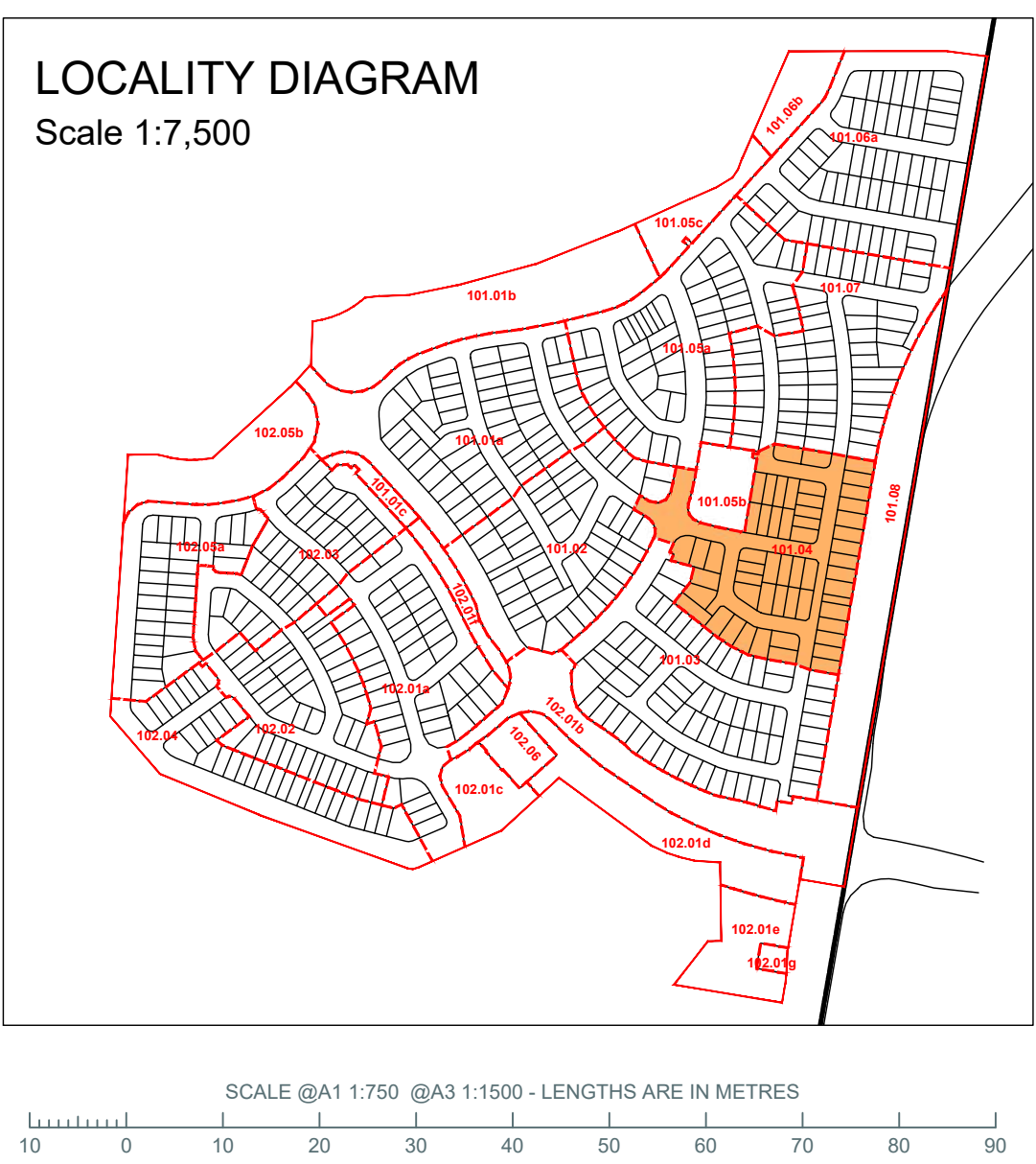
RESIDENTIAL ALLOTMENTS

- Terrace (7.5m - 9m typical width)
- Villa (11.2m typical width)
- Premium Villa (12.5m typical width)
- Courtyard (14m typical width)
- Premium Courtyard (16m typical width)
- Traditional (18m typical width)
- Premium Traditional (20m typical width)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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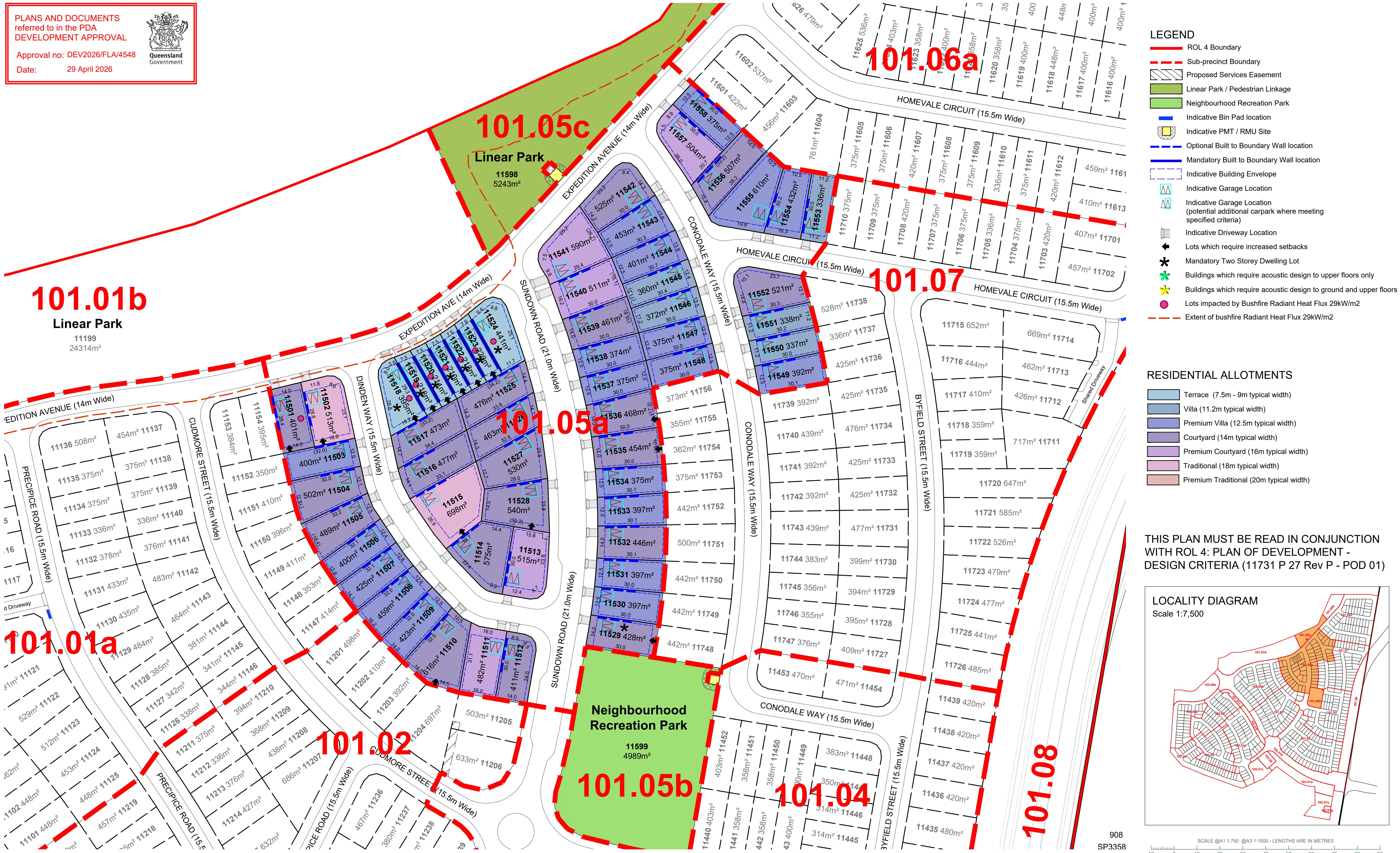
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LEGEND

ROL 4 Boundary

Sub-precinct Boundary

Proposed Services Easement

Linear Park / Pedestrian Linkage

Neighbourhood Recreation Park

Indicative Bin Pad location

Indicative PMT / RMU Site

Optional Built to Boundary Wall location

Mandatory Built to Boundary Wall location

Indicative Building Envelope

Indicative Garage Location

Indicative Garage Location (potential additional carpark where meeting specified criteria)

Indicative Driveway Location

Lots which require increased setbacks

Mandatory Two Storey Dwelling Lot

Buildings which require acoustic design to upper floors only

Buildings which require acoustic design to ground and upper floors

Lots impacted by Bushfire Radiant Heat Flux 29kW/m2

Extent of bushfire Radiant Heat Flux 29kW/m2

RESIDENTIAL ALLOTMENTS

Terrace (7.5m - 9m typical width)

Villa (11.2m typical width)

Premium Villa (12.5m typical width)

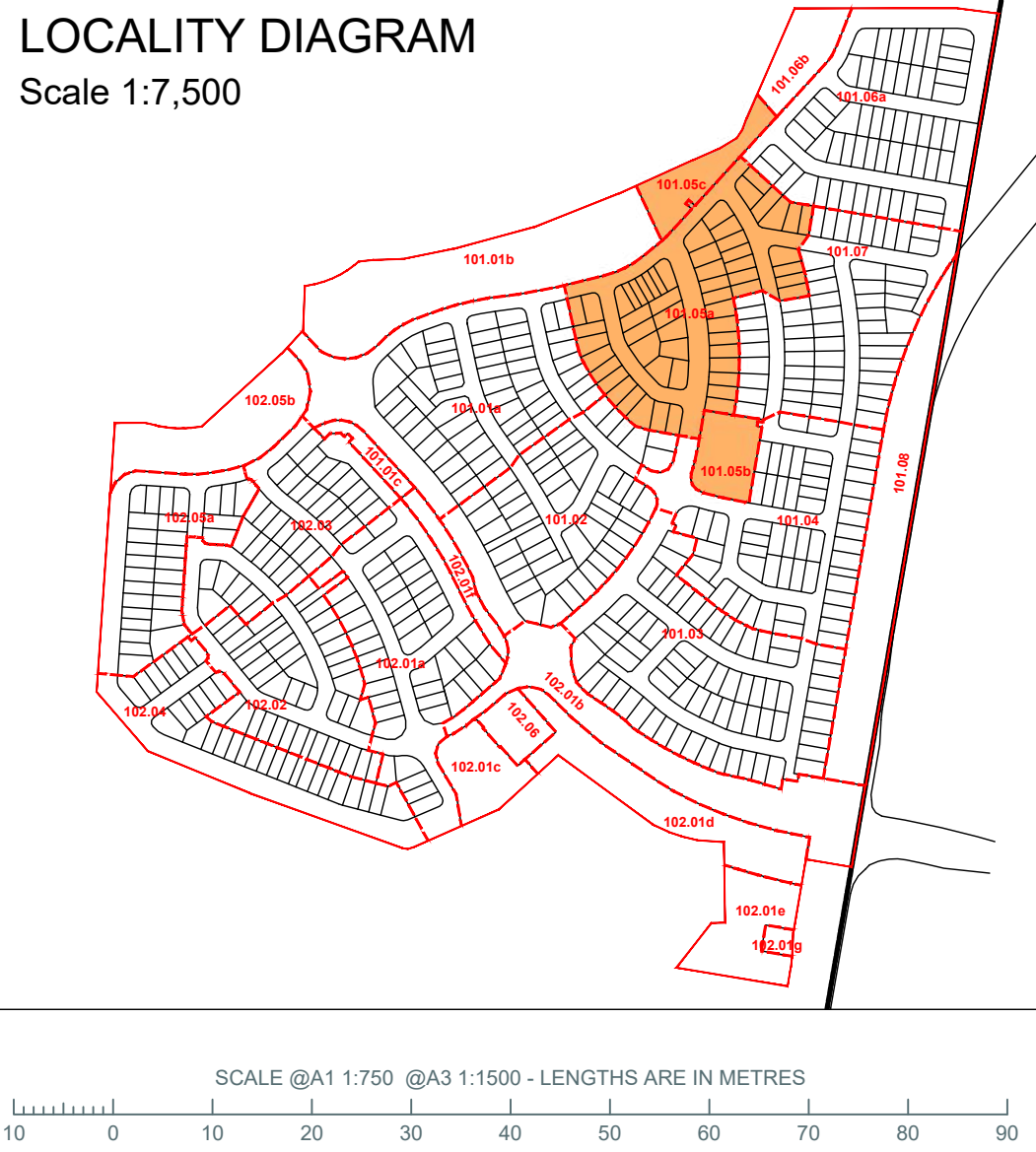
Courtyard (14m typical width)

Premium Courtyard (16m typical width)

Traditional (18m typical width)

Premium Traditional (20m typical width)

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ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 101.06

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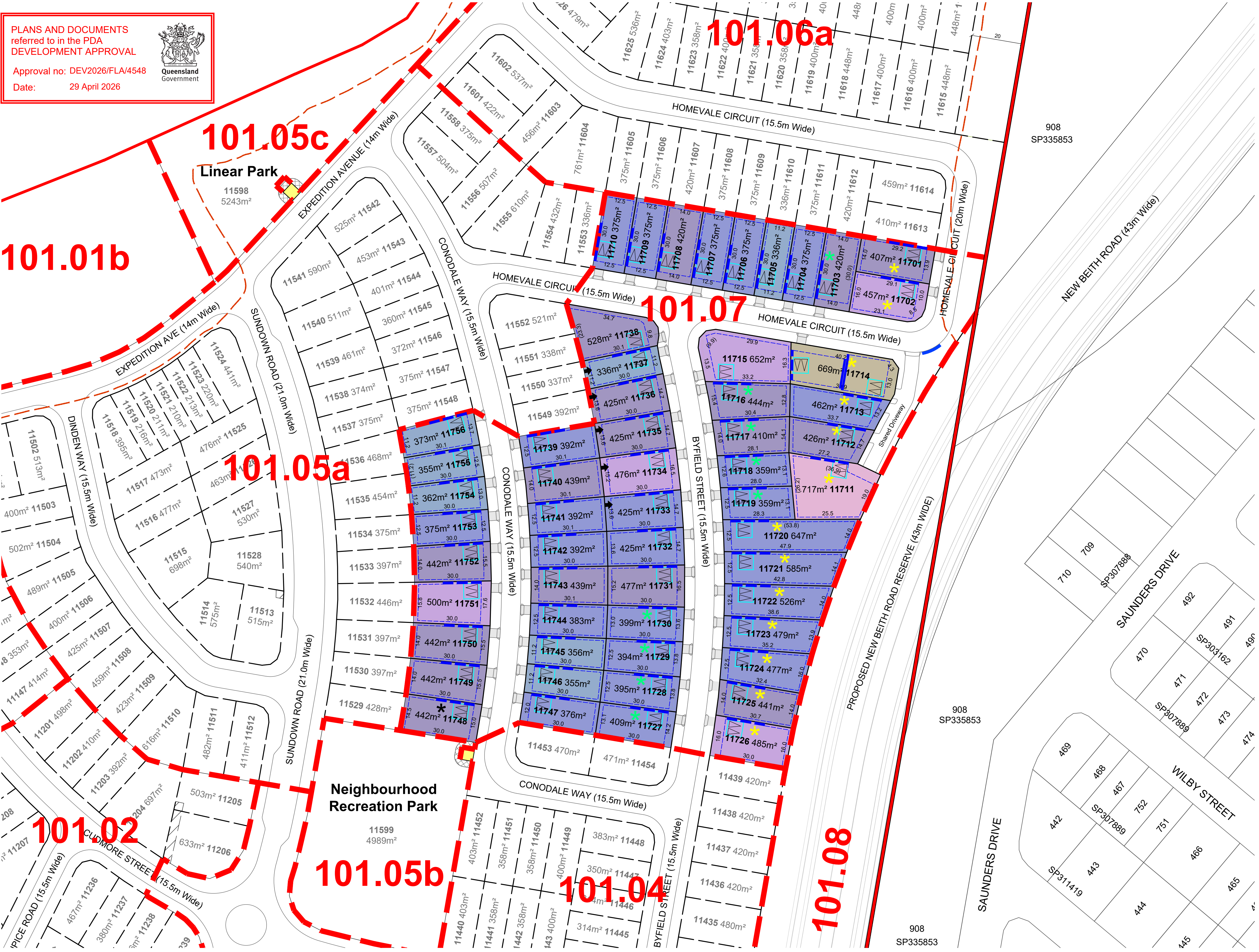
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LEGEND

Site Boundary

ROL 4 Boundary

Sub-precinct Boundary

Proposed Services Easement

Indicative Bin Pad location

Indicative PMT / RMU Site

Optional Built to Boundary Wall location

Mandatory Built to Boundary Wall location

Indicative Building Envelope

Indicative Garage Location

Indicative Driveway Location

Lots which require increased setbacks

Mandatory Two Storey Dwelling Lot

Buildings which require acoustic design to upper floors only

Buildings which require acoustic design to ground and upper floors

Extent of bushfire Radiant Heat Flux 29kW/m2

RESIDENTIAL ALLOTMENTS

Terrace (7.5m - 9m typical width)

Villa (11.2m typical width)

Premium Villa (12.5m typical width)

Courtyard (14m typical width)

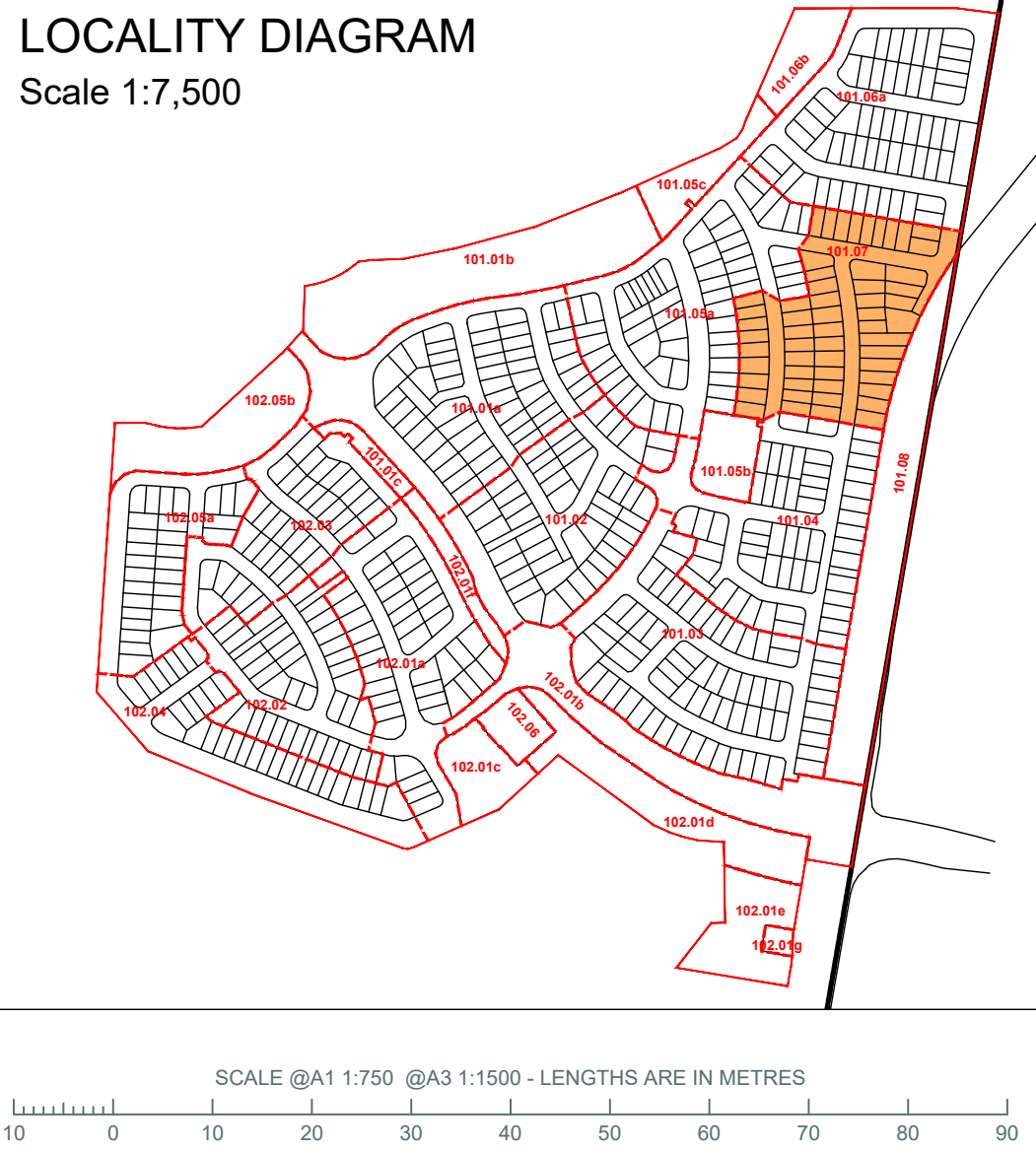
Premium Courtyard (16m typical width)

Traditional (18m typical width)

Premium Traditional (20m typical width)

Multiple Residential

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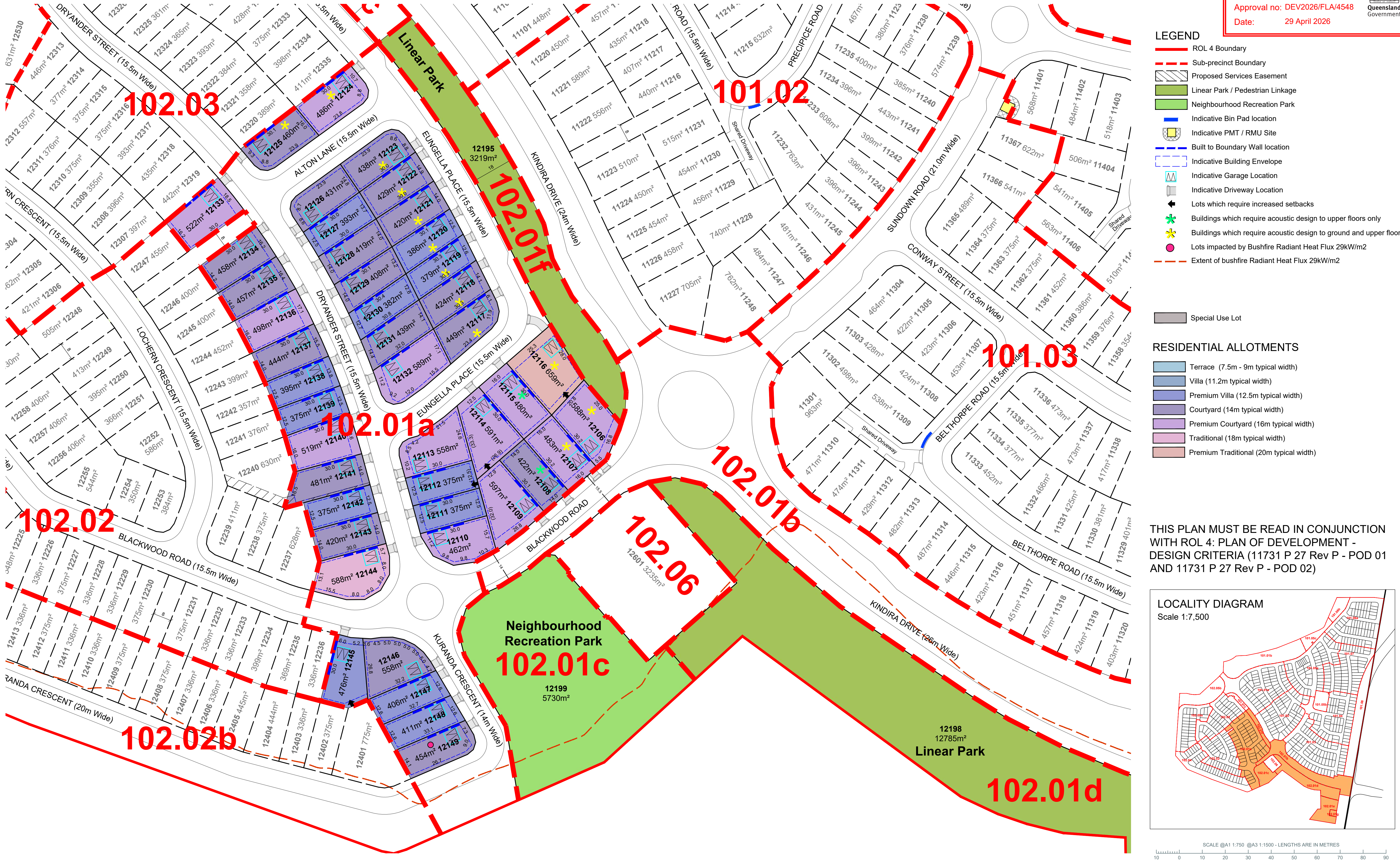
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PLANS AND DOCUMENTS
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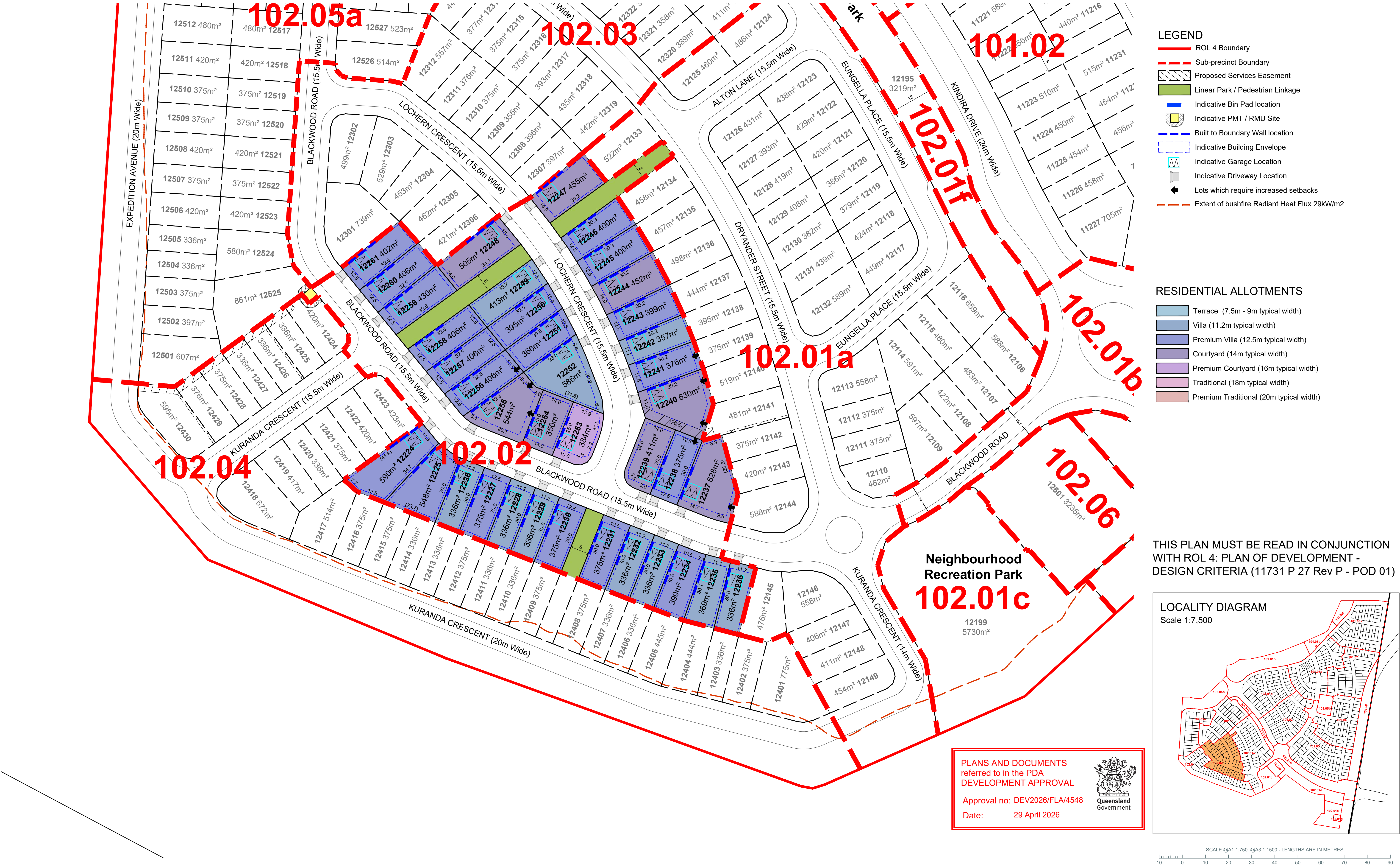
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ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 102.02



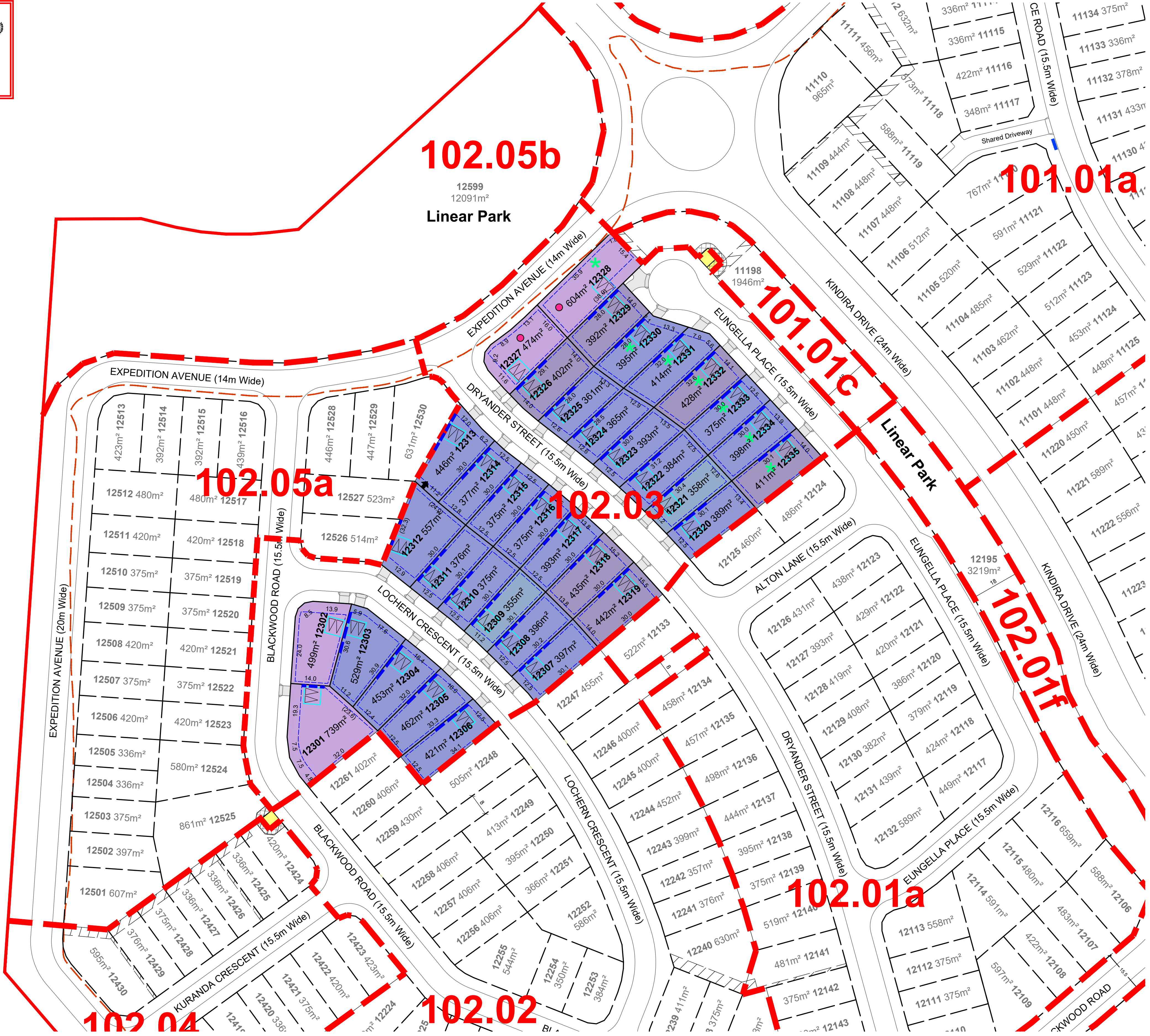
ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 102.03

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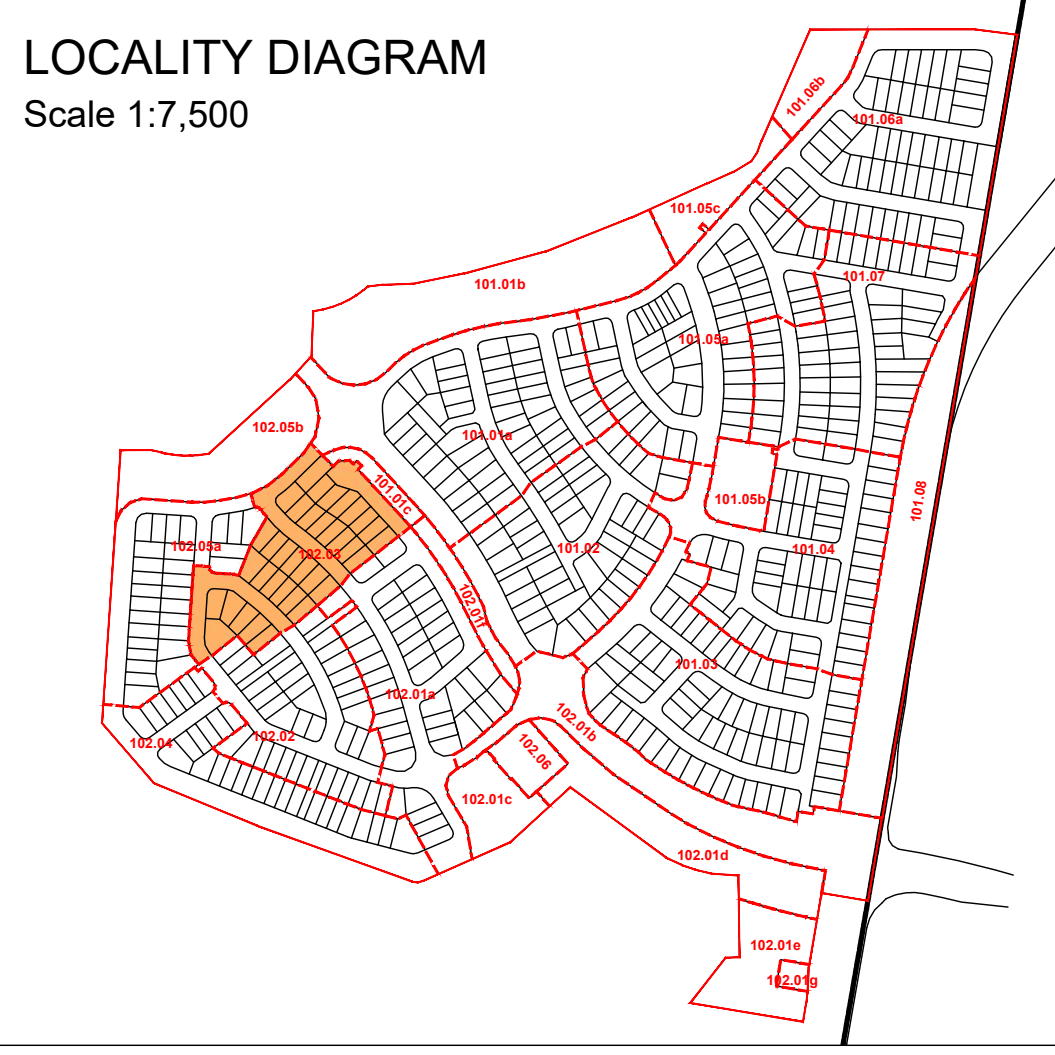
LEGEND

- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Services Easement
- Linear Park / Pedestrian Linkage
- Indicative Bin Pad location
- Indicative PMT / RMU Site
- Built to Boundary Wall location
- Indicative Building Envelope
- Indicative Garage Location
- Indicative Driveway Location
- Lots which require increased setbacks
- Buildings which require acoustic design to upper floors only
- Buildings which require acoustic design to ground and upper floors
- Lots impacted by Bushfire Radiant Heat Flux 29kW/m2
- Extent of bushfire Radiant Heat Flux 29kW/m2

RESIDENTIAL ALLOTMENTS

Terrace (7.5m - 9m typical width)
Villa (11.2m typical width)
Premium Villa (12.5m typical width)
Courtyard (14m typical width)
Premium Courtyard (16m typical width)
Traditional (18m typical width)
Premium Traditional (20m typical width)

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DESIGN CRITERIA (11731 P 27 Rev P - POD 01)



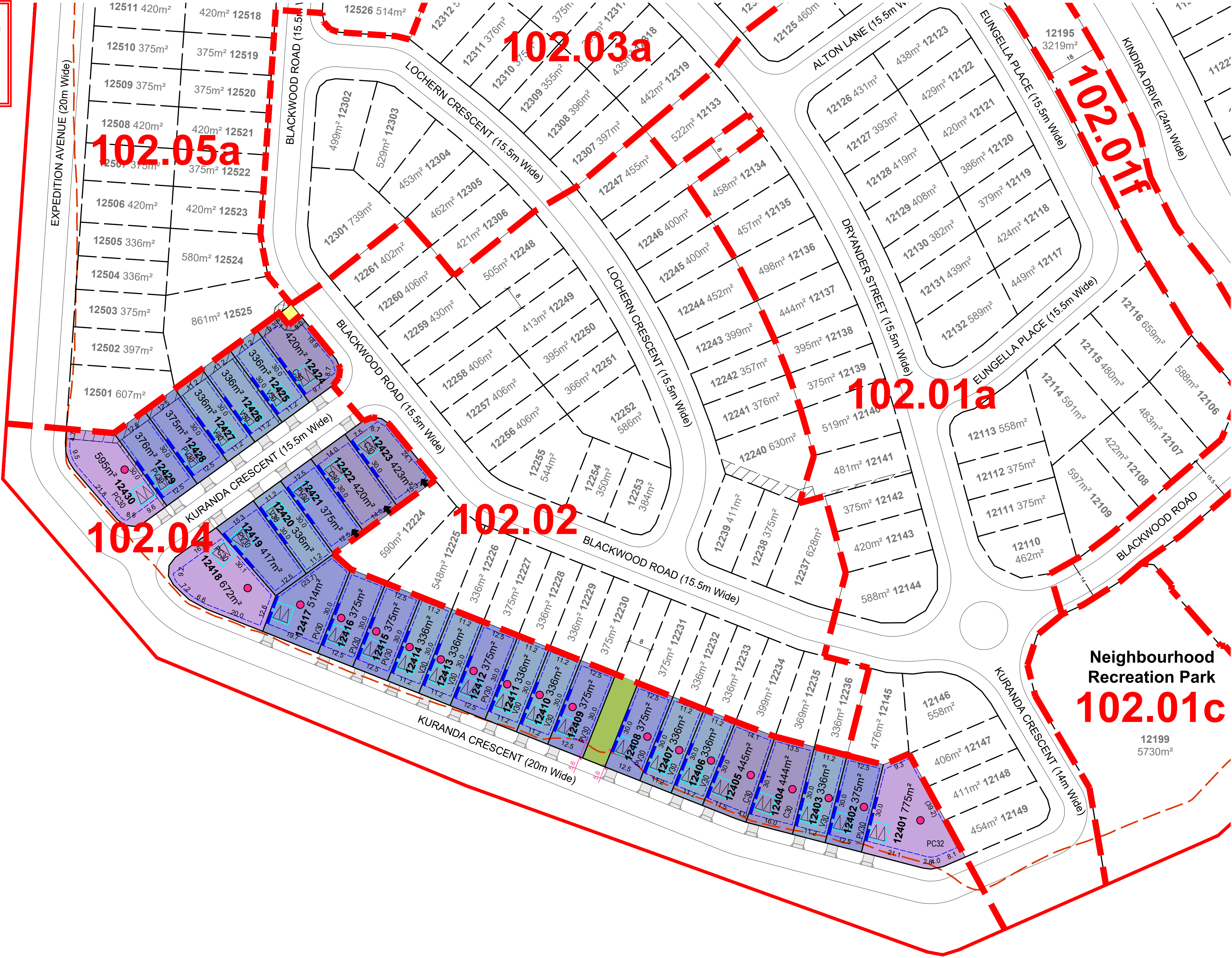
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PLANS AND DOCUMENTS
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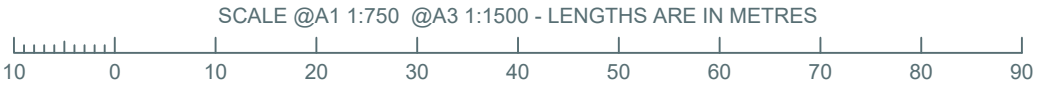
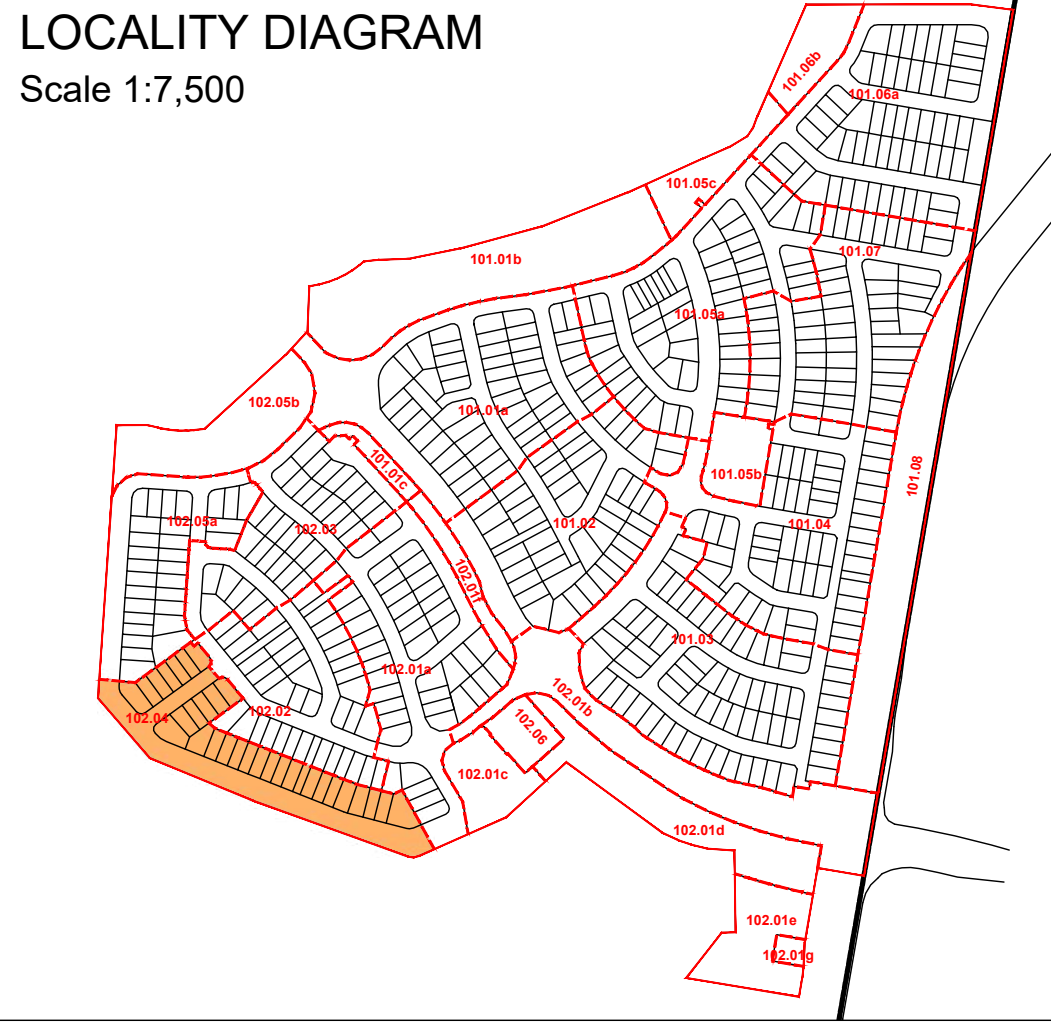
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- LEGEND
- ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Services Easement
 - Linear Park / Pedestrian Linkage
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- RESIDENTIAL ALLOTMENTS
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 - Premium Villa (12.5m typical width)
 - Courtyard (14m typical width)
 - Premium Courtyard (16m typical width)
 - Traditional (18m typical width)
 - Premium Traditional (20m typical width)

THIS PLAN MUST BE READ IN CONJUNCTION
WITH ROL 4: PLAN OF DEVELOPMENT -
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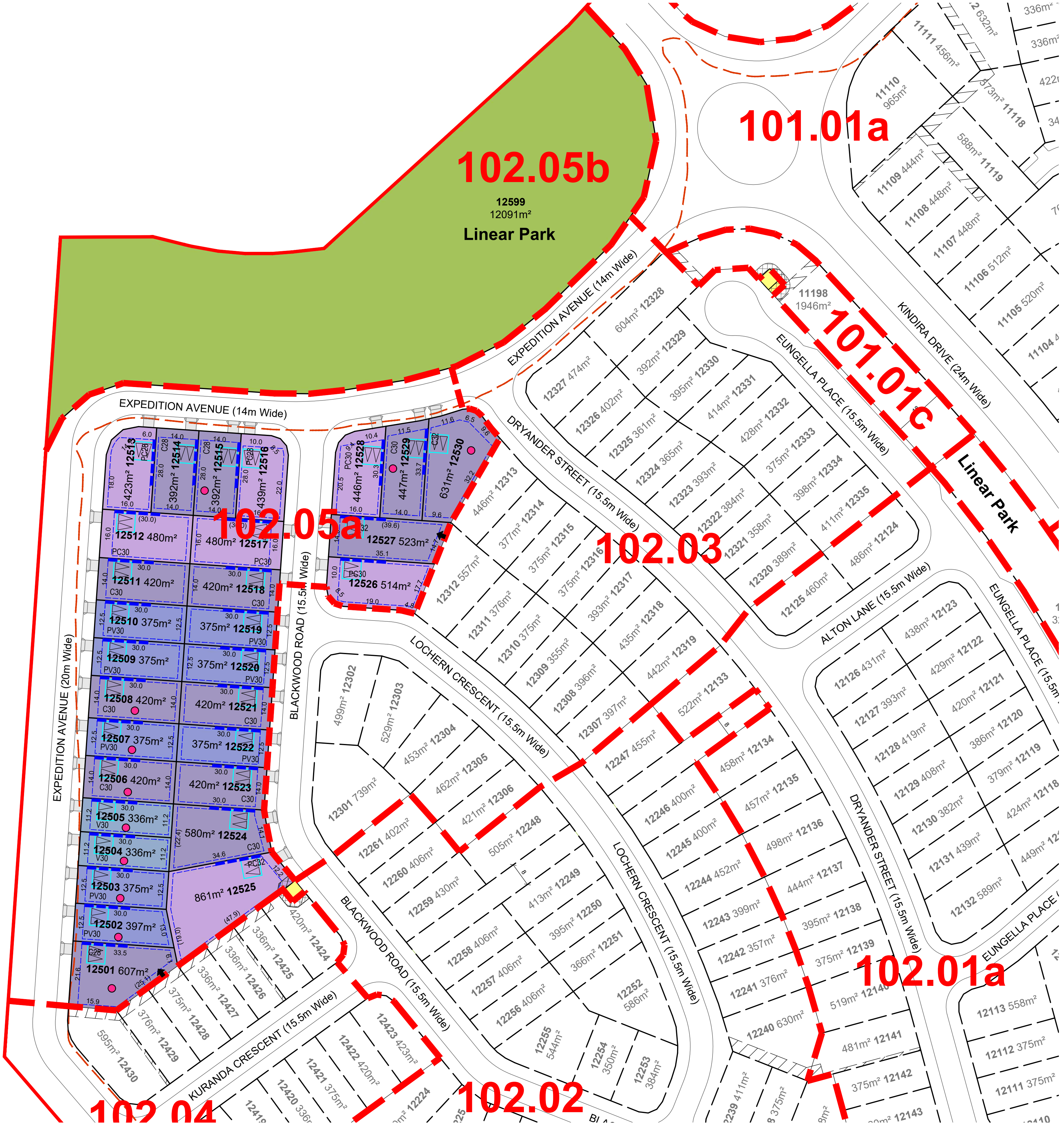
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PLANS AND DOCUMENTS
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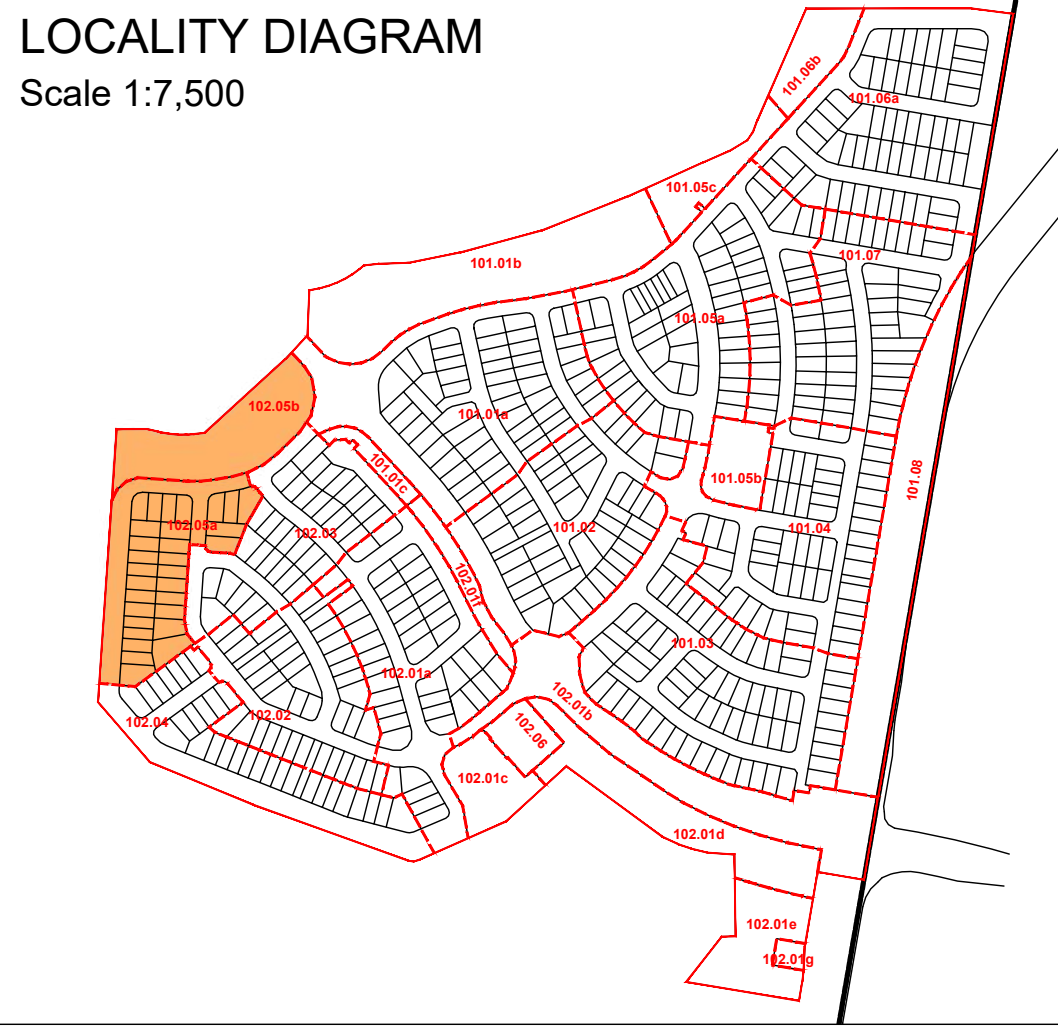
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- LEGEND
- ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Services Easement
 - Linear Park / Pedestrian Linkage
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 - Premium Courtyard (16m typical width)
 - Traditional (18m typical width)
 - Premium Traditional (20m typical width)

THIS PLAN MUST BE READ IN CONJUNCTION
WITH ROL 4: PLAN OF DEVELOPMENT -
DESIGN CRITERIA (11731 P 27 Rev P - POD 01)



ROL 4: PRECINCT 101 & 102 - ADVERTISING DEVICE PLAN

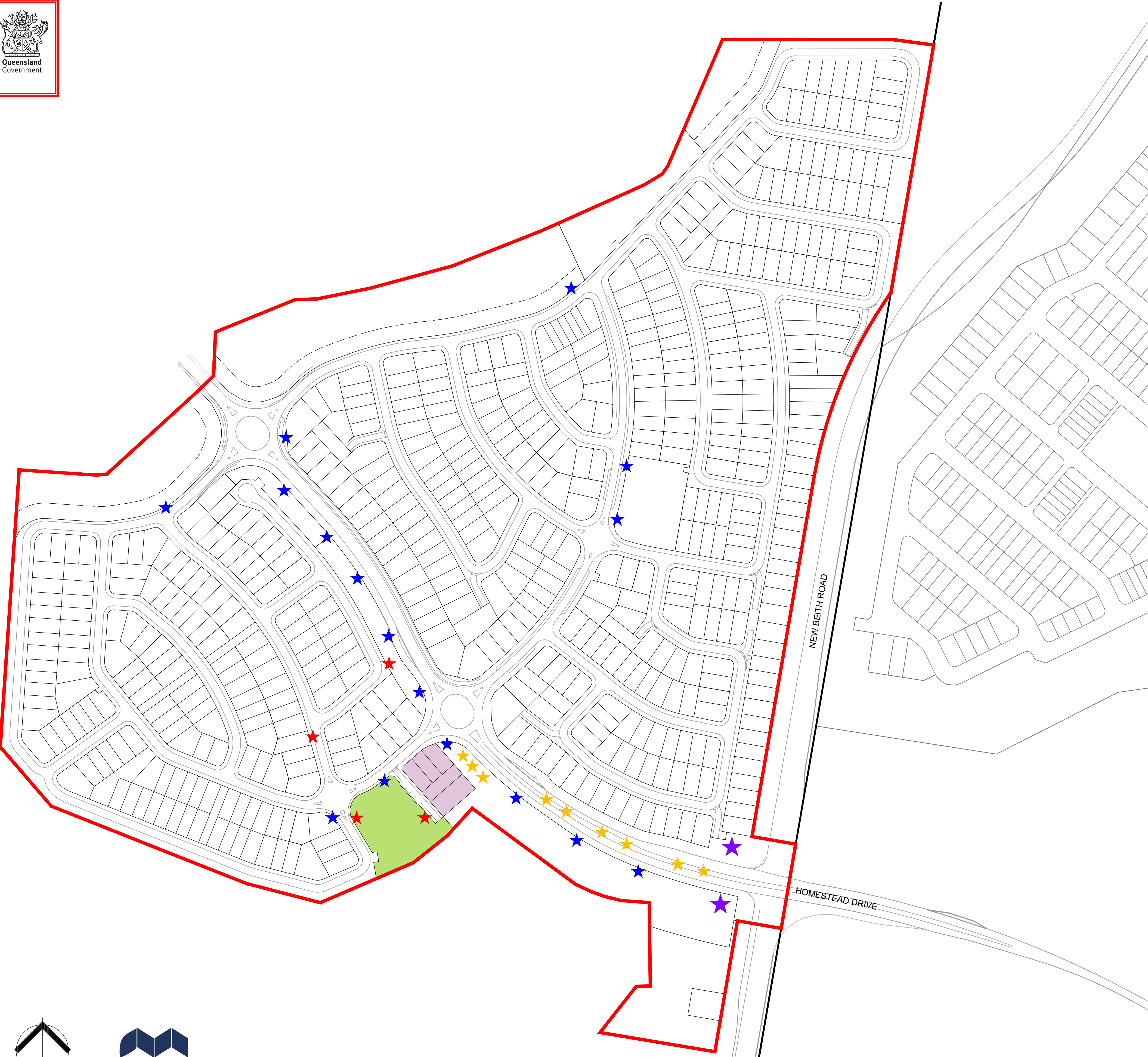
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026/FLA/4548

Date: 29 April 2026



Queensland
Government



NOT TO BE USED FOR ENGINEERING DESIGN
OR CONSTRUCTION

NOTES

This plan was prepared as a conceptual layout only. The information on this plan is not suitable for any other purpose.

Property dimensions, areas, numbers of lots and contours and other physical features shown have been compiled from existing information and may not have been verified by field survey. These may need verification if the development application is approved and development proceeds, and may change when a full survey is undertaken or in order to comply with development approval conditions.

No reliance should be placed on the information on this plan for detailed subdivision design or for any financial dealings involving the land.

Pavements and centrelines shown are indicative only and are subject to Engineering Design.

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Net residential density means the total number of dwellings divided by the combined area of residential lots, Neighbourhood Recreation Parks, internal local roads and half the width of local roads bordering the site.

Average net residential density means net residential density calculated for a whole neighbourhood.

PROJECTION - GDA2020 MGA56
SUBJECT BOUNDARIES SP351245 PROVIDED BY VERIS
DRAWING REFERENCE "402971 ROL4 LOT CALC REVISION C"
DATED 13/03/2025

LEGEND

- Site Boundary
- ROL 4 Boundary

- "Hero" Park
- Mirvac Sales Office
- 1500mm x 650mm Double Sided Blade Sign
- 2400mm x 600mm Double Sided Banner Flag Sign
- 3000mm x 1300mm Double Sided Blade Sign
- Entry Statement

RP DESCRIPTION: Lots 1-3 on SP351245

