

LOGAN CITY COUNCIL

197-201 TEVIOT ROAD, GREENBANK

LOT 16 ON SP343224

PLAN OF DEVELOPMENT

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2025/1652

Date: 17/04/2026



SITE LOCATION

NTS

DRAWING INDEX		
DRAWING No.	DRAWING TITLE	REVISION
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0 5 10 15 20 25m
SCALE 1:500 AT ORIGINAL SIZE

PRELIMINARY

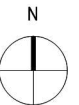
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HATIA DALBY PTY LTD
197 - 201 TEVIOT ROAD, GREENBANK QLD 4124
RESIDENTIAL SUBDIVISION DESIGN
COVER SHEET

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scale NTS for A1 job no. 2510-005
date MAR 2026 rev no. B

approved E. NICHOLAOU* SK001

DEVELOPMENT GUIDANCE

THE BELOW SUMMARISES DEVELOPMENT CONTROLS AS OUTLINED IN THE QUEENSLAND GOVERNMENT PRIORITY DEVELOPMENT AREA (PDA) GUIDELINES. PLEASE REFER TO PLAN OF DEVELOPMENT TABLE FOR SPECIFIC INFORMATION REGARDING LOT MIXES, SETBACKS AND OTHER BUILDING PARAMETERS.

STREET ADDRESS

- 1. STREET ADDRESS TO BE IN ACCORDANCE WITH PERFORMANCE CRITERIA OUTLINED IN THE PDA GUIDELINE 7 - LOW RISE BUILDINGS.
- 2. THE LETTERBOX MUST BE CLEARLY VISIBLE AND IDENTIFIABLE FROM THE STREET.
- 3. ON CORNER LOTS WITH A SECOND STREET FRONTAGE, TWO OR MORE OF THE FOLLOWING DESIGN ELEMENTS SHOULD BE APPLIED TO THE BUILDING FACADE:
 - 3.1. VERANDAHS
 - 3.2. PORCHES
 - 3.3. AWNINGS AND SHADE STRUCTURES
 - 3.4. VARIATION TO ROOF AND BUILDING LINES
 - 3.5. INCLUSION OF WINDOW OPENINGS
 - 3.6. USE OF VARYING BUILDING MATERIALS.

BUILDING ARTICULATION

- 1. BUILDING ARTICULATION TO BE IN ACCORDANCE WITH PERFORMANCE CRITERIA OUTLINED IN THE EDQ PDA GUIDELINE 07 - LOW RISE BUILDINGS.
- 2. THE ARTICULATION OF BUILT FORM WILL PROVIDE VISUAL INTEREST AND REDUCE THE PERCEIVED BULK OF THE HOUSING STRUCTURES
- 3. WIDE BUILDINGS - ALL BUILDINGS WITH A WIDTH OF MORE THAN 10m THAT ARE VISIBLE FROM A STREET SHOULD BE ARTICULATED TO REDUCE THE MASS OF THE BUILDING BY ONE OR MORE OF THE FOLLOWING:
 - 3.1. WINDOWS RECESSED INTO THE FACADE
 - 3.2. INCLUSION OF BALCONIES, PORCHES OR VERANDAHS
 - 3.3. INCLUSION OF WINDOW HOODS
 - 3.4. CAST SHADOW LINES ON THE BUILDING THROUGH MINOR CHANGES (100mm MINIMUM) IN THE BUILDING FACADE
- 4. INCORPORATE TWO OR MORE OF THE FOLLOWING BUILT FORM ELEMENTS TO ENSURE BUILDING DIVERSITY TO ALL DWELLINGS, INCLUDING 2 STOREY BUILDINGS:
 - 4.1. VERANDAHS
 - 4.2. ROOF OVERHANGS
 - 4.3. WINDOW HOODS / SCREENS
 - 4.4. AWNINGS AND SHADE STRUCTURES
- 5. TO REDUCE THE APPEARANCE OF LONG RUNS OF SIMILAR BUILDINGS FRONTING A STREET, THERE SHOULD BE NO MORE THAN EIGHT BUILDINGS ON LOTS WITH A FRONTAGE OF LESS THAN 15m IN A ROW UNLESS PROPOSED HOUSE PLANS INCLUDE BUILDING ARTICULATION DESIGN DETAILS AS SUGGESTED ABOVE.
- 6. EXTERNAL DRAINAGE OR OTHER PIPES ARE TO BE INTEGRATED WITH BUILDING DESIGN

GARAGES

- 1. THE BUILT FORM OF ALL GARAGES IS TO COMPLEMENT THE ADJACENT DWELLING IN RELATION TO BUILDING ARTICULATION & SCALE, FORM, MATERIALITY, COLOR, AND DETAILING. GARAGE DOORS ARE TO BE ARTICULATED.

VENTILATION

- 1. TO FACILITATE CROSS VENTILATION, ENSURE THE BUILDING DESIGN INCLUDES AT LEAST TWO OPENINGS TO ALL HABITABLE ROOMS, INCLUDING INTERNAL AND LOUVER WINDOWS.

PRIVATE OPEN SPACE

- 1. PRIVATE OPEN SPACE TO BE IN ACCORDANCE WITH THE POD TABLE, REFER TO THE PERFORMANCE CRITERIA OUTLINED IN THE EDQ PDA GUIDELINE 07 - LOW RISE BUILDINGS.

ACOUSTIC REQUIREMENTS

- 1. ACOUSTIC REQUIREMENTS TO BE IN ACCORDANCE WITH PERFORMANCE CRITERIA OUTLINED IN THE ACOUSTIC REPORT (TRAFFIC NOISE ASSESSMENT BY RENZO TONIN & ASSOCIATES, DATED JAN 2026).
- 2. THE TRAFFIC NOISE ASSESSMENT OUTLINES FUTURE DWELLINGS WOULD BE DEEMED NOISE AFFECTED AND WOULD REQUIRE MECHANICAL VENTILATION OF AIR CONDITIONING TO ACHIEVE COMPLIANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC).
- 3. GLAZING, EXTERNAL WALLS, ROOF, FLOORS AND ENTRY DOORS OF THE PROPOSED DWELLINGS WILL ACHIEVE MINIMUM Rw RATING BASED ON THE RELEVANT NOISE CATEGORIES (REFER TO ACOUSTIC REPORT BY RENZO TONIN AND TABLE 2 IN THE POD).
- 4. THE FUTURE NOISE MODELING IS BASED ON PRELIMINARY CIVIL DESIGN CONTOURS. NOTE IF THE FINISHED PAD LEVELS OF LOTS CHANGE SUBSTANTIALLY (GREATER THAN 200mm INCREASE), A REVISED NOISE ASSESSMENT IS REQUIRED.

FENCING

- 1. FENCING TO BE IN ACCORDANCE WITH PERFORMANCE CRITERIA OUTLINED IN THE PDA GUIDELINE 7 - LOW RISE BUILDINGS AND OUTLINED IN THE TRAFFIC NOISE ASSESSMENT (REFER TO ACOUSTIC REQUIREMENTS).
- 2. FENCING, SCREENING OR LEVEL CHANGES TO PROVIDE PRIVACY BUT STILL ALLOW FOR OVERLOOKING OF THE STREET TO PROMOTE CASUAL SURVEILLANCE.
- 3. FRONT FENCES AND WALLS ALONG PRIMARY STREET FRONTAGES TO BE ONE OF THE FOLLOWING:
 - 3.1. THE SOLID PORTION OF THE FRONT FENCE TO BE NO MORE THAN 1.2m IN HEIGHT
 - 3.2. IF FENCE HAS 50% TRANSPARENCY (I.E. CONTAINS OPENINGS THAT MAKE IT MORE THAN 50% TRANSPARENT), THE MAXIMUM FENCE HEIGHT CAN BE 1.8m HIGH
- 4. FENCING TO SIDE BOUNDARIES MAY BE SCREEN FENCING OF 1.8m HIGH (MAXIMUM) AND EXTENT UP TO THE FRONT BUILDING LINE (MAIN FACADE).
- 5. FENCING TO SECONDARY STREET FRONTAGE (LEANNE COURT) TO HAVE 50% TRANSPARENCY TO ALLOW PASSIVE SURVEILLANCE FROM THE REAR OF THE PROPERTIES. DEVELOPER TO CONSTRUCT FENCING ALONG LEANNE COURT.

SERVICE AREAS

- 1. ALL REFUSE / RUBBISH BIN AREAS AND DRYING / CLOTHES LINES ARE TO BE SCREEN BEHIND THE MAIN FACE OF THE DWELLING

TABLE 1 - PLAN OF DEVELOPMENT TABLE						
PARAMETER	COURTYARD LOTS		VILLA LOTS		TERRACE LOTS	
	12m + LOT WIDTH		9m - 11m LOT WIDTH		7.5 - 8.5m LOT WIDTH	
	375m² - 480m²					
PARAMETER	GROUND FLOOR	FIRST FLOOR	GROUND FLOOR	FIRST FLOOR	GROUND FLOOR	FIRST FLOOR
FRONT (ROAD) SETBACK	2.4m					
GARAGE SETBACK (MINIMUM)	5.4m					
REAR SETBACK	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m
SECONDARY FRONTAGE	1.5m					
SIDE SETBACK						
BUILT TO BOUNDARY*	0m	0m	0m	0m	0m	0m
NON BUILT TO BOUNDARY	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m
SITE COVER						
SITE COVER (MAXIMUM)**	60%		60%		75%	
BUILDING HEIGHT	2 STOREY (8m)					
ON SITE PARKING REQUIREMENTS						
GARAGE TYPE	SINGLE, TANDEM OR DOUBLE GARAGES ACCEPTABLE		SINGLE, TANDEM OR DOUBLE GARAGES ACCEPTABLE FOR LOTS GREATER THAN 10m WIDE		SINGLE GARAGES (UP TO 3.5m IN WIDTH) OR TANDEM GARAGES ARE ACCEPTABLE	
GARAGE WIDTH (MAXIMUM)	NO MORE THAN 40% OF THE LOT FRONTAGE (WHERE THE FRONTAGE IS LESS THAN 12.5m)					
DRIVEWAY WIDTH (MAXIMUM)	DOUBLE GARAGES 4.8m AT THE LOT BOUNDARY		3.0m AT THE LOT BOUNDARY		3.0m AT THE LOT BOUNDARY	
PRIVATE OPEN SPACE (POS)						
	ONE ROOM OR ONE BEDROOM HOUSE / DWELLING UNIT		TWO BEDROOM HOUSE / DWELLING UNIT		3 OR MORE BEDROOM HOUSE / DWELLING UNIT	
AREA AND DIMENSIONS (GROUND OR UPPER LEVELS)	MINIMUM 5m² WITH A MINIMUM DIMENSION OF 1.2m		MINIMUM 9m² WITH A MINIMUM DIMENSION OF 2.4m		MINIMUM 12m² WITH A MINIMUM DIMENSION OF 2.4m	
OTHER DESIGN ELEMENTS	MAXIMUM GRADE OF 1:10, ACCESSIBLE FROM A LIVING ROOM, WITH ADEQUATE SPACE TO ACCOMMODATE A TABLE, CHAIR, PLANTING, BBQ AND SHADE					

* REFER TO PLAN OF DEVELOPMENT FOR LOCATIONS. MAXIMUM BUILT TO BOUNDARY WALL LENGTH IS 15m (OR 50% OF THE LOT DEPTH) AND A MAXIMUM HEIGHT OF 3.5m

** SITE COVER IS THE PROPORTION OF THE SITE COVERED BY BUILDINGS AND STRUCTURES, INCLUDING ROOF OVERHANGS WITH IMPERVIOUS MATERIALS (AS DEFINED IN THE GREATER FLAGSTONE PROPOSED DEVELOPMENT SCHEME)

TABLE 2 - MINIMUM Rw RATING FOR EACH RELEVANT NOISE CATEGORY (EXCERPT FROM TRAFFIC NOISE ASSESSMENT BY RENZO TONIN & ASSOCIATES, TABLE 6, DATED JAN 2026)			
NOISE CATEGORY	MINIMUM TRANSPORT NOISE REDUCTION (dBa) REQUIRED FOR HABITABLE ROOMS	COMPONENT OF BUILDING'S EXTERNAL ENVELOPE	MINIMUM Rw REQUIRED
4	40	GLAZING	43
		EXTERNAL WALLS	52
		ROOF	45
		FLOORS	51
		ENTRY DOORS	35
3	35	GLAZING	38 (TOTAL AREA OF GLAZING FOR A HABITABLE ROOM IS GREATER THAN 1.8m²) 35 (TOTAL AREA OF GLAZING FOR A HABITABLE ROOM IS LESS THAN OR EQUAL TO 1.8m²)
		EXTERNAL WALLS	47
		ROOF	41
		FLOORS	45
		ENTRY DOORS	33
2	30	GLAZING	35 (TOTAL AREA OF GLAZING FOR A HABITABLE ROOM IS GREATER THAN 1.8m²) 32 (TOTAL AREA OF GLAZING FOR A HABITABLE ROOM IS LESS THAN OR EQUAL TO 1.8m²)
		EXTERNAL WALLS	41
		ROOF	38
		FLOORS	45
		ENTRY DOORS	33
1	25	GLAZING	27 (TOTAL AREA OF GLAZING FOR A HABITABLE ROOM IS GREATER THAN 1.8m²) 24 (TOTAL AREA OF GLAZING FOR A HABITABLE ROOM IS LESS THAN OR EQUAL TO 1.8m²)
		EXTERNAL WALLS	35
		ROOF	35
		ENTRY DOORS	28

Bushfire Attack Levels (BAL)

All buildings exposed to a BAL of 12.5 or greater must adhere to the relevant BAL construction requirements of AS3959 - Construction of buildings in bushfire-prone areas in accordance with the Building Code of Australia. All lots except Lots 33-41 are affected.

AMENDED IN RED

By: Jocelyn Bowyer

Date: 30/03/2026



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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HATIA DALBY PTY LTD
197 - 201 TEVIOT ROAD, GREENBANK QLD 4124
RESIDENTIAL SUBDIVISION DESIGN
POD DESIGN PARAMETERS



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approved, E. NICHOLAOU*

SK002

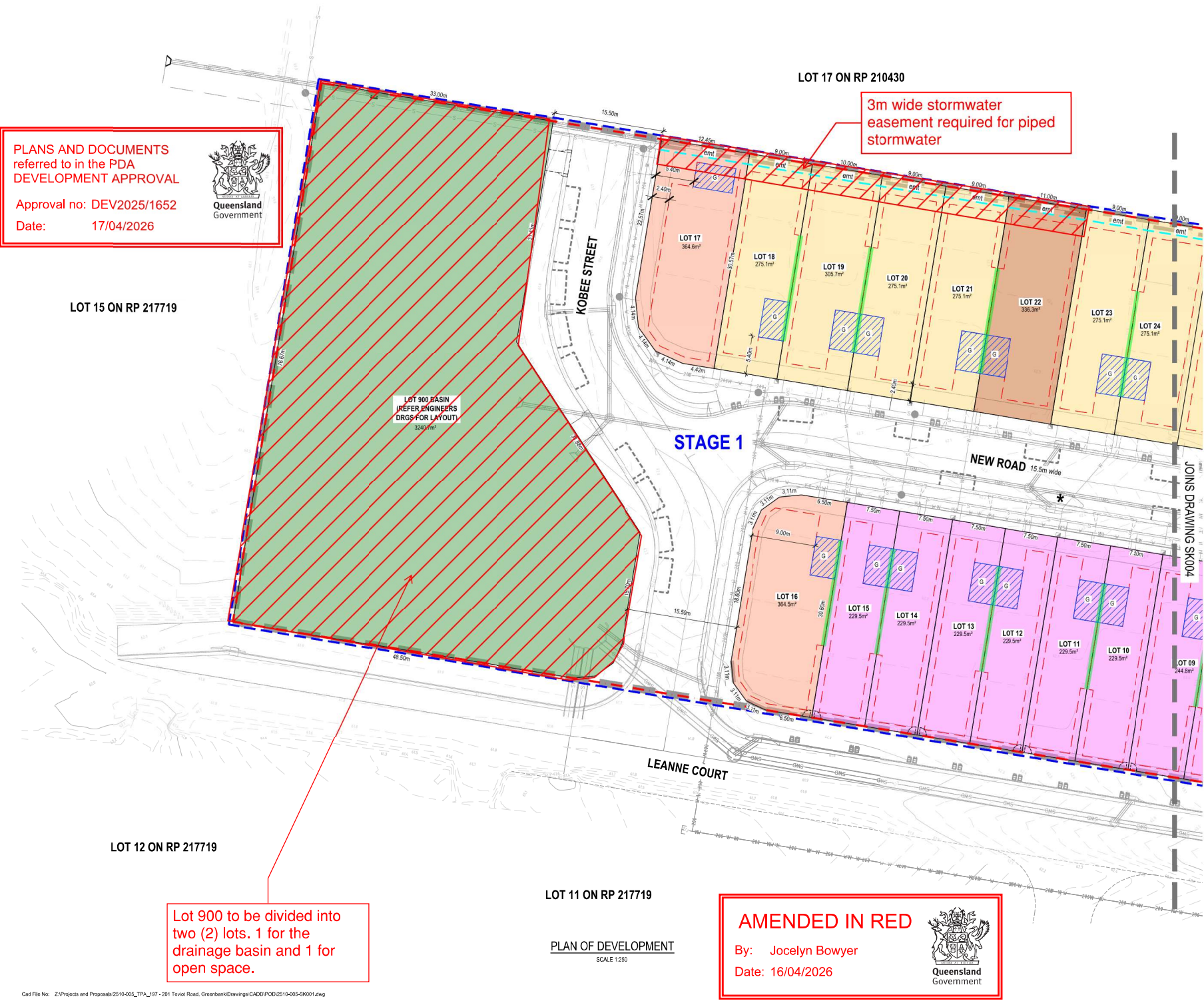
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Queensland
Government



LEGEND

LOT 16 ON SP343224 (TOTAL AREA = 19,980m²)

STAGE 1 BOUNDARY

STAGE 2 BOUNDARY

LOT 01
229.5m²

LOT 01
229.5m²

LOT 01
229.5m²

NOMINATED BUILT TO BOUNDARY WALL
(PENDING CIVIL ENGINEERING INFUT)

INDICATIVE LANDSCAPE (ISLAND, REFER
TO LANDSCAPE CONCEPT PLAN)

ACOUSTIC FENCE (IN ACCORDANCE
WITH ACOUSTIC ENGINEERS REPORT)

1.5m WIDE DRAINAGE EASEMENT

ON-STREET PARALLEL PARKING
(INDICATIVE LOCATION)

INDICATIVE LOCATION OF GARAGE

INDICATIVE LOCATION OF DRIVEWAY

NOTES

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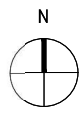
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PLAN OF DEVELOPMENT - SHEET 1

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LOT 17 ON RP 210430

Bin location for Lots 33 - 36
temporary only. Bins to be located
on lot 33 - 36 frontage when road
connection through Lot 17 on
RP210430 is complete.

LEGEND

- LOT 16 ON SP343224 (TOTAL AREA = 19,960m²)
- STAGE 1 BOUNDARY
- STAGE 2 BOUNDARY
- LOT 01 229.5m² COURTYARD LOTS - LOT NUMBER AND LOT AREA
INDICATIVE BUILDING ENVELOPE BASED ON
REQUIRED SETBACKS
- LOT 01 229.5m² VILLA LOTS - LOT NUMBER AND LOT AREA
INDICATIVE BUILDING ENVELOPE BASED ON
REQUIRED SETBACKS
- LOT 01 229.5m² TERRACE LOTS - LOT NUMBER AND LOT AREA
INDICATIVE BUILDING ENVELOPE BASED ON
REQUIRED SETBACKS
- NOMINATED BUILT TO BOUNDARY WALL
(PENDING CIVIL ENGINEERING INPUT)
- INDICATIVE LANDSCAPE (ISLAND, REFER
TO LANDSCAPE CONCEPT PLAN)
- ACOUSTIC FENCE (IN ACCORDANCE
WITH ACOUSTIC ENGINEERS REPORT)
- 1.5m WIDE DRAINAGE EASEMENT
- ON-STREET PARALLEL PARKING
(INDICATIVE LOCATION)
- INDICATIVE LOCATION OF GARAGE
- INDICATIVE LOCATION OF DRIVEWAY

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approved, E. NICHOLAOU SK004

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By: Jocelyn Bowyer

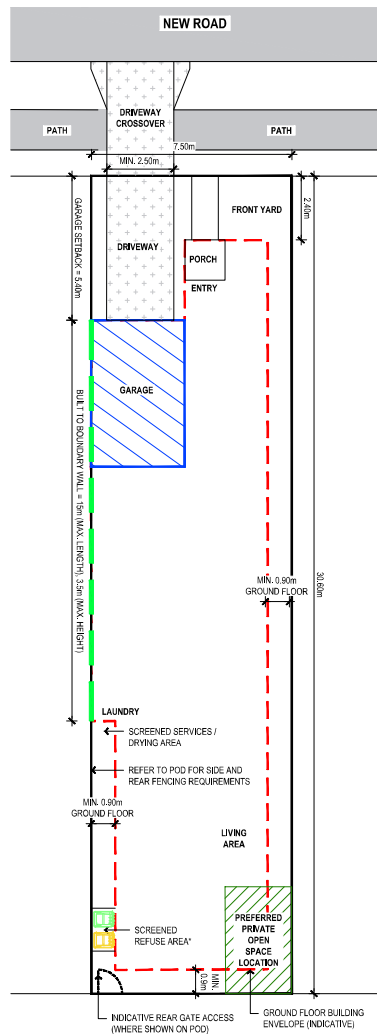
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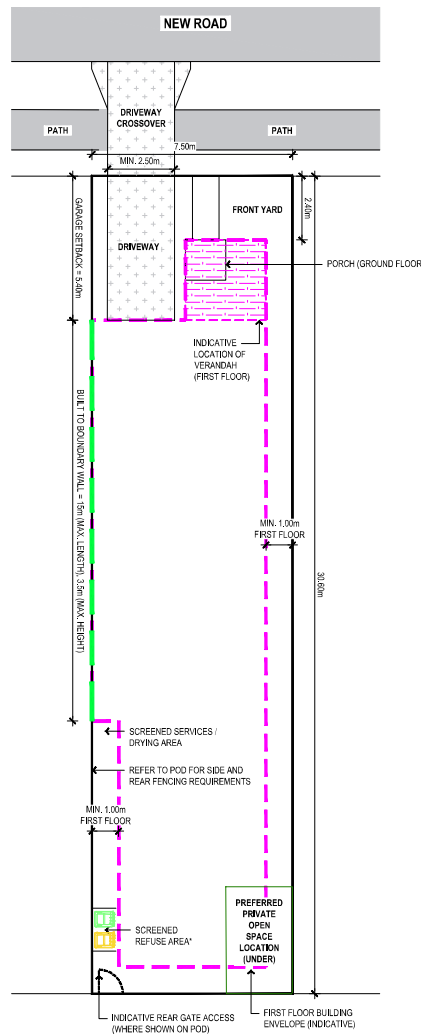
PLAN OF DEVELOPMENT
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LOT 10 ON RP 184067

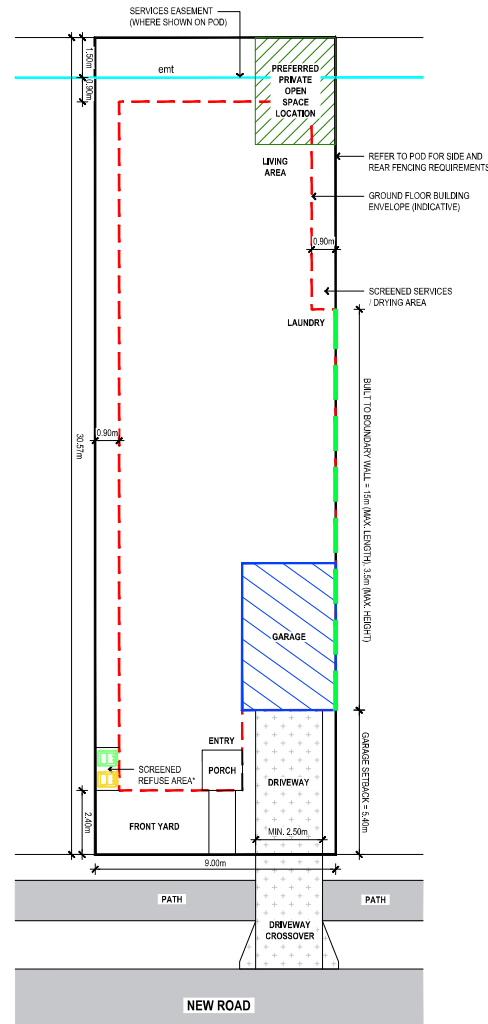
Bin pads to be
provided and marked
to allocate to Lots 37
- 40.



EXAMPLE OF TYPICAL TERRACE LOT (SINGLE DRIVEWAY)
WITH NORTH FACING FRONTAGE < THAN 250sqm
GROUND FLOOR
SCALE 1:100



EXAMPLE OF TYPICAL TERRACE LOT (SINGLE DRIVEWAY)
WITH NORTH FACING FRONTAGE < THAN 250sqm
FIRST FLOOR
SCALE 1:100



EXAMPLE OF TYPICAL VILLA LOT WITH
SOUTH FACING FRONTAGE < THAN 300sqm
GROUND FLOOR
SCALE 1:100

LEGEND	
	LOT BOUNDARY, REFER TO POD FOR LOT NUMBER AND AREA
	MAXIMUM BUILDING ENVELOPE (GROUND FLOOR)
	MAXIMUM BUILDING ENVELOPE (FIRST FLOOR)
	BUILDING SETBACK DIMENSIONS
	NOMINATED BUILT TO BOUNDARY WALL (PENDING CIVIL ENGINEERING INPUT)
	1.5m WIDE DRAINAGE EASEMENT
	INDICATIVE LOCATION OF GARAGE
	INDICATIVE LOCATION OF POS
	INDICATIVE LOCATION OF VERANDAH
	INDICATIVE LOCATION OF DRIVEWAY
	SCREENED REFUSE AREA* (FOR REFUSE COLLECTION POINTS, REFER TO TRAFFIC ENGINEERS DRAWINGS FOR DETAILS)
	REAR ACCESS GATE, REFER TO POD FOR SPECIFIC LOCATIONS

0 1 2 3 4 5m
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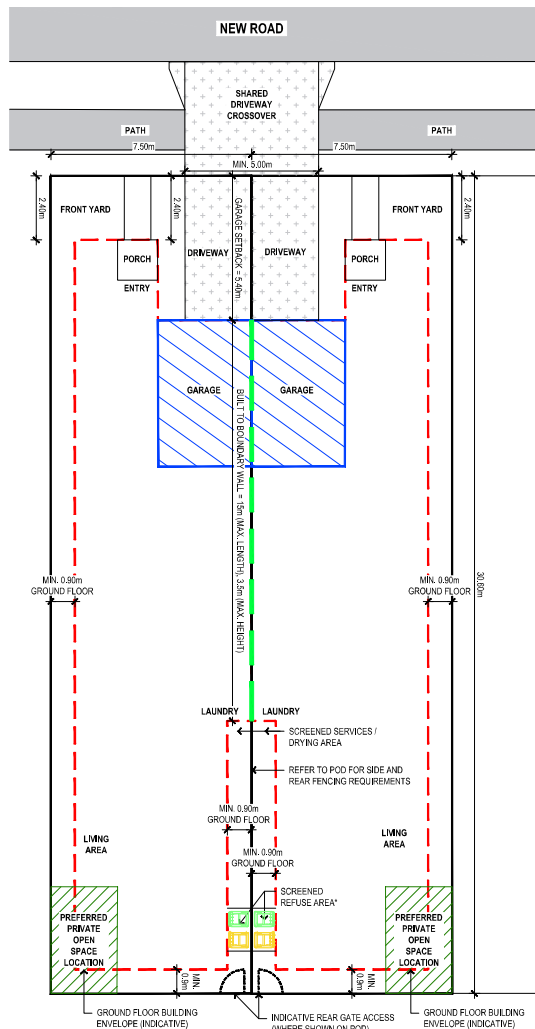
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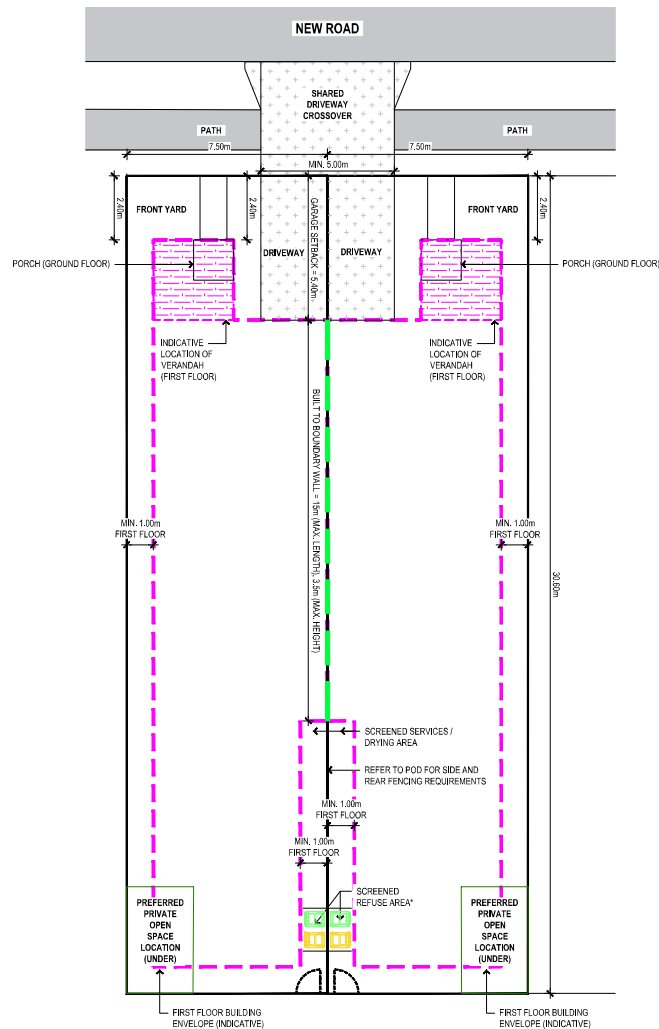


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EXAMPLE OF TYPICAL TERRACE LOT (SHARED DRIVEWAY)
WITH NORTH FACING FRONTAGE < THAN 250sqm
GROUND FLOOR

SCALE 1:100



EXAMPLE OF TYPICAL TERRACE LOT (SHARED DRIVEWAY)
WITH NORTH FACING FRONTAGE < THAN 250sqm
FIRST FLOOR

SCALE 1:100

LEGEND

- LOT BOUNDARY, REFER TO POD FOR LOT NUMBER AND AREA
- MAXIMUM BUILDING ENVELOPE (GROUND FLOOR)
- MAXIMUM BUILDING ENVELOPE (FIRST FLOOR)
- BUILDING SETBACK DIMENSIONS
- NOMINATED BUILT TO BOUNDARY WALL (PENDING CIVIL ENGINEERING INPUT)
- 1.5m WIDE DRAINAGE EASEMENT
- INDICATIVE LOCATION OF GARAGE
- INDICATIVE LOCATION OF POS
- INDICATIVE LOCATION OF VERANDAH
- INDICATIVE LOCATION OF DRIVEWAY
- SCREENED REFUSE AREA (FOR REFUSE COLLECTION POINTS, REFER TO TRAFFIC ENGINEERS DRAWINGS FOR DETAILS)
- REAR ACCESS GATE, REFER TO POD FOR SPECIFIC LOCATIONS

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2025/1652

Date: 17/04/2026



0 1 2 3 4 5m
SCALE 1:100 AT ORIGINAL SIZE

PRELIMINARY

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A	INITIAL ISSUE	JS	18.03.26

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RESIDENTIAL SUBDIVISION DESIGN
TYPICAL DWELLING TYPES - SHEET 2

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approved, E. NICHOLAOU

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