

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026FLA4387

Date: 13 April 2026



Flourish

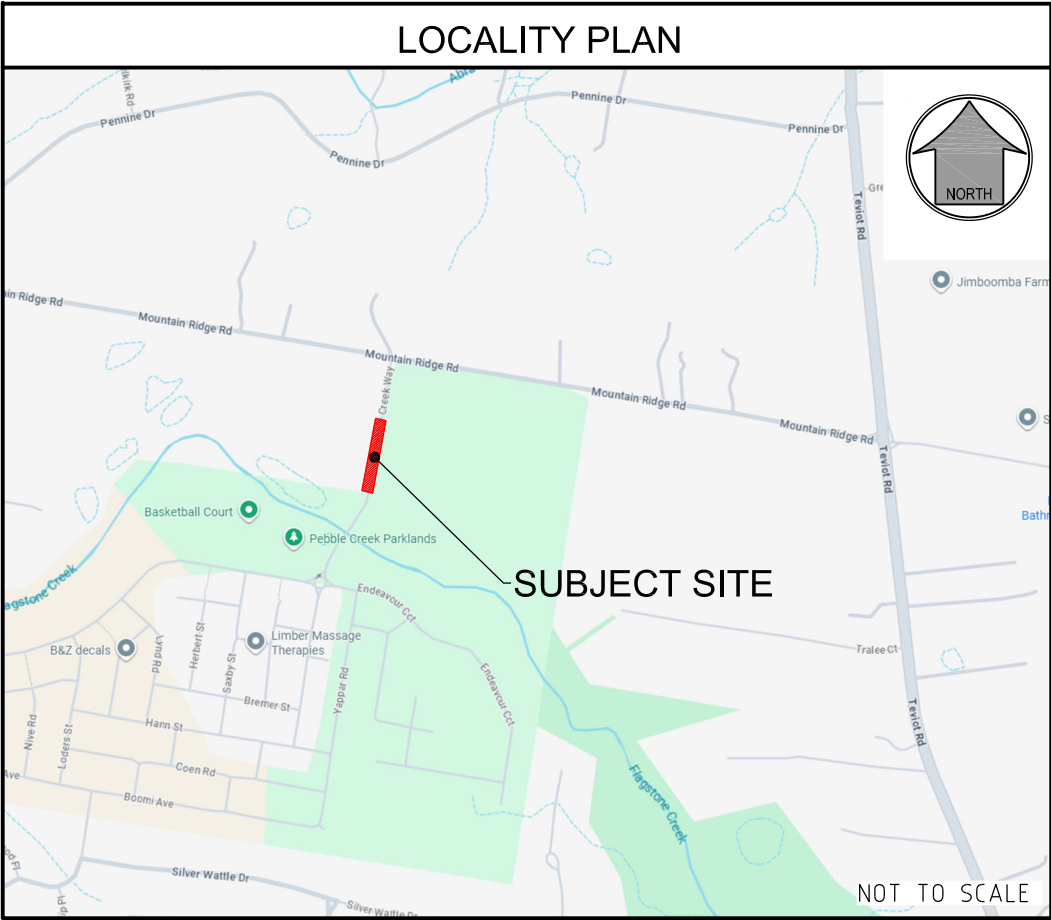
OPERATIONAL WORKS PEBBLE CREEK WAY INTERSECTION PROJECT No. 37502-INT

SCHEDULE OF DRAWINGS

NUMBER	REV. NO.	TITLE
GENERAL		
37502-INT-000	D	COVER SHEET
37502-INT-003	A	SAFETY IN DESIGN
37502-INT-004	A	RISK MATRIX & NOTES
37502-INT-005	A	ROAD HIERARCHY STAGING PLAN & GENERAL NOTES
EARTHWORKS: EXISTING FEATURES & DEMOLITION		
37502-INT-020	B	PLAN
EARTHWORKS: BULK EARTHWORKS CUT FILL		
37502-INT-040	A	PLAN & NOTES
EARTHWORKS: FINAL SURFACE & SEDIMENT AND EROSION CONTROL		
37502-INT-080	A	PLAN & NOTES
ROADS: COMBINED SERVICES		
37502-INT-090	A	PLAN & NOTES
ROADS: ROADWORKS		
37502-INT-100	A	PLAN & NOTES
37502-INT-105	A	PAVEMENT PLAN
37502-INT-110	A	MINOR CONTROL PLAN
37502-INT-120	A	DETAILS
ROADS: LONGITUDINAL SECTIONS		
37502-INT-200	A	SHEET 01
37502-INT-201	A	SHEET 02
37502-INT-202	A	SHEET 03
ROADS: CROSS SECTIONS		
37502-INT-300	A	SHEET 01
ROADS: INTERSECTION GRADING		
37502-INT-400	A	DETAILS SHEET 01
37502-INT-401	A	DETAILS SHEET 02
37502-INT-402	A	DETAILS SHEET 03
ROADS: JOINTING PLANS		
37502-INT-410	A	DETAILS
ROADS: LINEMARKING & SIGNAGE		
37502-INT-420	A	PLAN
ROADS: TURNING PATHS PLANS		
37502-INT-440	B	PLAN SHEET 01
37502-INT-441	B	PLAN SHEET 02
DRAINAGE: STORMWATER		
37502-INT-600	A	PLAN
DRAINAGE: PROFILES		
37502-INT-620	A	PROFILES
DRAINAGE: PIT DETAILS & TYPICAL DETAILS		
37502-INT-650	A	PIT DETAILS
DRAINAGE: CATCHMENT		
37502-INT-670	A	PLAN
DRAINAGE: CALCULATION TABLES		
37502-INT-680	B	MINOR & MAJOR
WATER: WATER RETICULATION		
37502-INT-700	B	PLAN
37502-INT-710	A	DETAIL



SUB-CONSULTANTS
SAUNDERS HAVILL
SLR
PETER EUSTACE &
ASSOCIATES



R. P. DESCRIPTION
Lot 3000 SP348257
176-228 MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

DRAWING NUMBER
37502-INT-000

AMEND.
D

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Queensland
Government

DESIGN ITEM	POTENTIAL HAZARD	PHASE	THOSE AT RISK	PRE-TREATMENT RISK ASSESSMENT				TREATMENT OPTIONS	- ADOPTED TREATMENT - REASON - BY WHOM	RESIDUAL RISK ASSESSMENT				ONGOING RESPONSIBILITY
				SEVERITY	LIKELIHOOD (RISK)	Risk Product	RISK RATING			SEVERITY	LIKELIHOOD (RISK)	Risk Product	RISK RATING	
Road Design	Traffic Speed	Operational	Public	Death	Possible	15	Significant	- Design compliance with Local Council requirements, Queensland Streets and appropriate sections of Austroads. - Lot layout to consider natural slow points in road layout. - Consideration of slow points within Local street network.	Town Planners and Council to ensure original layout reduces risk (i.e. minimise long straight roads). Designer to consider inclusion of slow points in consultation with Council and prepare design in accordance with applicable standards.	Permanent Disability	Rare	4	Low	Closed
Road Design	Unclear priorities at intersections or slow points	Operational	Public	Death	Unlikely	10	High	- Design compliance with Local Council requirements, Queensland Streets and appropriate sections of Austroads. - Linemarking to be provided in accordance with MUTCD and Council's approval.	Designer to incorporate linemarking in accordance with MUTCD and Council's requirements to assist in minimising confusion at intersections and slow points.	Permanent Disability	Rare	4	Low	Closed
Traffic Management	Accidents at the interface between public and work site	Construction	Contractor & Public	Permanent Disability	Unlikely	8	Moderate	- Traffic Management Plan to be prepared by suitable qualified consultant. - TMP to consider temporary lighting, signals, barriers/separation and other traffic management measures.	Contractor to prepare site specific TMP incorporating appropriate measures to minimise risk at interface of work site and public roads.	Permanent Disability	Rare	4	Low	On Going: Contractor to monitor until end of Construction Phase
Public Access	Public wandering onto work site	Construction	Contractor & Public	Death	Unlikely	10	High	- Appropriate signage to be installed at public interface - Fencing to discourage accidental access to site	Contractor to prepare site specific Construction Management Plan to minimise risk of public access to the site.	Death	Rare	5	Moderate	On Going: Contractor to monitor until end of Construction Phase
Existing Services	Working on or near existing services - Electrocution, disrupt critical services, explosion	Construction	Contractor, Public & Asset Owner	Death	Likely	20	Significant	- Design to consider existing services and include appropriate clearances or protection measures. - Dial Before You Dig to be performed prior to design commencing. - Developer provide survey of any critical existing infrastructure prior to design. - Design drawings to show known services. - Connection point to be detailed in accordance with the relevant standard.	Contractor to physically locate and confirm service location information. Dial Before You Dig logo to be added to drawings. Connection details design and annotated on drawings in accordance with Water Authority requirements.	Death	Rare	5	Moderate	On Going: Contractor to monitor until end of Construction Phase
Demolition & Site Clearing	Potential for hazardous materials within structures (ie asbestos), structure collapse, falling debris & dangerous airborne agents	Construction	Contractor & Public	Death	Possible	15	Significant	- Known site features to be nominated on design drawings. - Appropriately qualified personnel to carry out the works with appropriate management plans in place.	Contractor to physically locate and confirm location of existing structures & services. Contractor to ensure that personnel undertaking demolition works are suitably qualified and are disposing of the waste materials to an approved off site tip.	Medical Treatment	Rare	3	Low	On Going: Contractor to monitor until end of Construction Phase
Earthworks Surface	Working on steep Batters	Construction and maintenance	Contractor & Asset Owner	Medical Treatment	Possible	9	High	- Minimise the height of batters. - Minimise the number of locations. - Extend services up batters where possible to reduce future works on batter slopes.	Batters designed to minimum practical height in all locations practical. Services to be constructed up the batters to ensure future batter stability.	Medical Treatment	Rare	3	Low	On Going: Contractor to monitor until end of Construction Phase and Asset Owner to continue monitoring for future maintenance.
Deep excavation	Falling or collapse	Construction, Maintenance and demolition	Public, Client, Supervisors, Contractors	Permanent Disability	Possible	12	High	- Minimise depth of structure. - Bench deep trenches appropriately to minimise trench collapse risk. - Design in accordance with relevant standard. - Minimise the number of structures.	Structures designed in accordance with local authority requirements. Utilise RIGS sewer to reduce the number of access points. Graded pipelines as shallow as practical to reduce depth. Contractor to manage open excavations during construction in accordance with their Management Plans.	Permanent Disability	Rare	4	Low	On Going: Contractor to Monitor until end of Construction Phase
Stormwater and Sewer	Falling and Trench Collapse	Construction and Maintenance	Contractor & Asset Owner	Death	Unlikely	10	High	- Minimise depth of drainage lines. - Design in accordance with relevant standard.	Infrastructure designed in accordance with local authority requirements. Graded pipelines as shallow as practical to reduce depth.	Death	Rare	5	Moderate	On going: Contractor to Monitor until end of Pipe line construction completed.

PROJECT NAME

Flourish

PEBBLE CREEK WAY
INTERSECTION

R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT



A	02-02-26	EDQ ISSUE	RK
REV	DATE	DESCRIPTION	INT

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ASSOCIATED CONSULTANTS

DRAWING TITLE

SAFETY IN DESIGN



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DESIGNED	GW	DRAWN	RK
APPROVED		PEQ20300	DATE 02-02-26
DRAWING NUMBER			REV
37502-INT-003			A

k:\outcad client\375- cedar woods properties\02 - mountain ridge road\pebble creek way\infrastructure drawings\Current\37502-INT-004.dwg, RISK MATRIX & NOTES, 19/03/2026 2:15:42 PM, 1:2

		Consequence				
		Minor / Insignificant (1)	First Aid Treatment (2)	Medical Treatment (3)	Permanent Disability (4)	Death (5)
Likelihood	Almost Certain (5)	Moderate	High	Significant	Significant	Significant
	Likely (4)	Low	Moderate	High	Significant	Significant
	Possible (3)	Low	Moderate	High	High	Significant
	Unlikely (2)	Low	Low	Moderate	Moderate	High
	Rare (1)	Low	Low	Low	Low	Moderate

Level of Risk
Significant 15 to 25
High 9 to 14
Moderate 5 to 8
Low 1 to 4

NOTES:

1. THIS SID REGISTER IN NO WAY RELIEVES THE PRINCIPAL, CONTRACTOR, ASSET OWNER OR ANY OTHER PARTY OF THEIR OWN OBLIGATIONS UNDER THE WORKPLACE HEALTH AND SAFETY ACT AND THEIR DUTY OF CARE. THIS IS PROVIDED AS INFORMATION FOR PARTIES TO ASSIST IN MEETING THEIR OWN OBLIGATIONS AND IS BY NO MEANS A COMPLETE LIST. THIS SID REGISTER OR THE NOTES AND DETAILS INCLUDED WITHIN THE DESIGN DRAWINGS DO NOT RELIEVE THE PRINCIPAL CONTRACTOR OF ANY OBLIGATION UNDER ALL RELEVANT LEGISLATION OR GUIDELINE.
2. ALL CONTRACTORS AND ASSET OWNERS REMAIN RESPONSIBLE IN THE PREPARATION OF THEIR OWN SAFETY MANAGEMENT PLANS AND SUITABLE SAFE WORK METHOD STATEMENTS.
3. THIS SID REGISTER IDENTIFIES ATYPICAL FEATURES OF THE DESIGN. COMMON/TYPICAL FEATURES OF THIS DESIGN ARE NOT INCLUDED IN THIS SID REGISTER.

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LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

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ASSOCIATED CONSULTANTS

DRAWING TITLE

RISK MATRIX & NOTES

MORTONS
urbansolutions
Civil Engineering
Project Coordination

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37502-INT-004			A

GENERAL

1. CONTRACT SPECIFICATIONS
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE CONTRACT SPECIFICATION.
2. SETOUT
SURVEY SETOUT INFORMATION HAS BEEN ESTABLISHED ON SITE BY THE PRINCIPAL'S SURVEYOR TO ENABLE THE CONTRACTOR TO ACCURATELY SETOUT THE WORKS TO THE CO-ORDINATES SHOWN. SETOUT INFORMATION SHALL NOT BE OBTAINED BY SCALING FROM THESE DRAWINGS.
3. DATUM
LEVELS SHOWN ARE TO A.H.D.
4. TRENCH SPOIL
ALL MATERIALS ARISING FROM ROADS & SERVICES ARE TO BE COMPACTED TO FUTURE STAGES, TO LEVEL 1 IF NO SPOIL AREA IS AVAILABLE THESE MATERIALS SHALL BE TRUCKED TO A LICENSED TIP. THESE WORKS FORM PART OF THE CONTRACTED WORKS.
5. CHECK ELECTRONIC SETOUT
CONTRACTOR IS RESPONSIBLE TO ENSURE ANY ELECTRONIC DATA FILES MATCH THE DRAWINGS.
6. PRE START
a. ERECT SITE SIGNAGE, CONSTRUCT ENTRY & EXIT POINT AS INDICATED.
b. CONSTRUCT VEHICLE WASHDOWN AREA & ASSOCIATED SILT MANAGEMENT DEVICES.
c. CONSTRUCT SITE OFFICE & STORAGE COMPOUND AREA.
d. INSTALL EROSION & SEDIMENT CONTROL DEVICES AS PER THE CONTRACTOR'S EROSION & SEDIMENT CONTROL PLAN.
e. ERECT TEMPORARY TREE PROTECTION FENCING IN ACCORDANCE WITH THE APPROVED VEGETATION MANAGEMENT PLAN & AUTHORITIES APPROVAL CONDITIONS (IF REQUIRED).
7. HEALTH & SAFETY
ALL WORKS UNDERTAKEN BY THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE WORKPLACE HEALTH & SAFETY LEGISLATION.
8. STOCKPILING
STOCKPILING OF ANY SURPLUS MATERIAL IS NOT PERMITTED.

PROJECT SPECIFIC REPORTS

THE CONTRACTOR MUST FOLLOW THE RECOMMENDATIONS & PROCEDURES OUTLINED IN THE FOLLOWING REPORTS AT ALL TIMES:

a) GEOTECHNICAL INVESTIGATION REPORTS (INCLUDING ANY ACID SULPHATE OR DISPERSIVE SOIL REPORTING)

b) VEGETATION & FAUNA MANAGEMENT PLANS

c) OTHER MANAGEMENT PLANS NOMINATED IN THE CONTRACT, AUTHORITIES APPROVAL CONDITIONS OR BY THE SUPERINTENDENT.

LEGEND

- NEIGHBOURHOOD CONNECTOR
(11.2m CARRIAGEWAY)
- TRUNK CONNECTOR
MODIFIED
(7.0m CARRIAGEWAY)
- REFER 120 DRAWINGS
SERIES FOR TYPICAL
SECTIONS

EXISTING PROPERTY LINE

EXISTING KERB (INVERT)

FUTURE PROPERTY LINE

FUTURE KERB (INVERT)

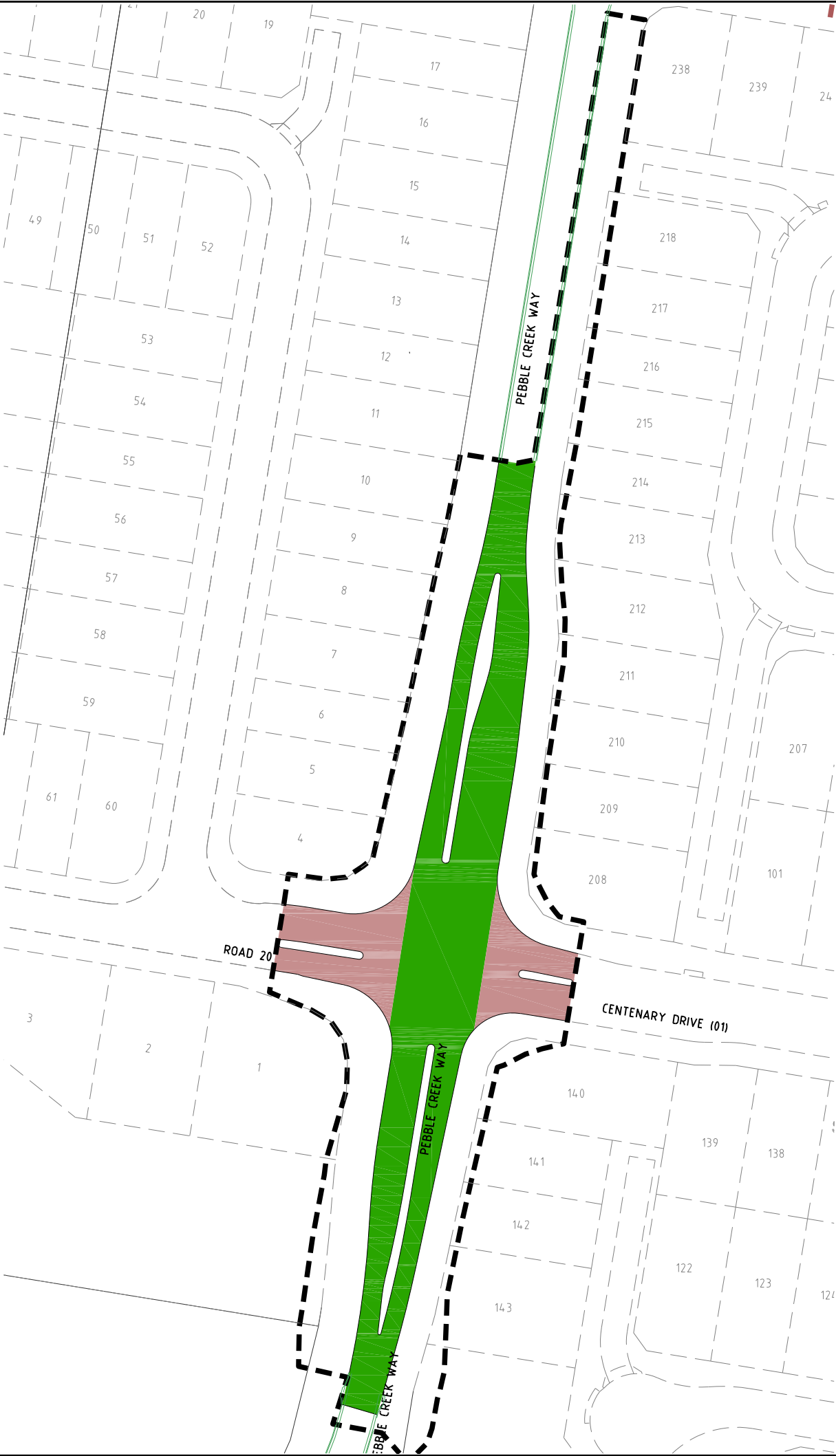
PROPOSED PROPERTY LINE

PROPOSED KERB (INVERT)

LIMIT OF WORKS BOUNDARY

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CLIENT



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

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ASSOCIATED CONSULTANTS

DRAWING TITLE

ROAD HIERARCHY,
STAGING PLAN
&
GENERAL NOTES



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GENERAL

1. EXISTING SERVICES - EXTERNAL WORKS
THE LOCATIONS OF ALL EXISTING SERVICES WITHIN THE WORK AREA SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT AUTHORITIES & TO ENSURE THAT THE EXISTING SERVICES ARE NOT DAMAGED OR DISTURBED IN ANY WAY BY THE CONTRACT WORKS.
2. EXISTING STRUCTURES
ALL EXISTING STRUCTURES & ASSOCIATED INFRASTRUCTURE TO BE REMOVED & DISPOSED OF OFF SITE.
3. EXISTING DAMS
EXISTING DAMS TO BE DEWATERED. ALL SILT & DEBRIS ARE TO BE REMOVED & LAWFULLY DISPOSED OF TO A TIP OFF SITE, OR INCORPORATED INTO THE SITE EARTHWORKS AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER. REPLACEMENT FILL IS TO BE LOCATED & COMPACTED IN ACCORDANCE WITH LOCAL COUNCIL'S SPECIFICATIONS.
4. NBN
NBN SERVICE IS TO BE RELOCATED BY NBN. THE CIVIL CONTRACTOR IS TO COORDINATE THE NBN SERVICE RELOCATION WITH THE APPOINTED CONTRACTOR.
5. GAS
THE GAS SERVICE IS TO BE RELOCATED BY APA. THE CIVIL CONTRACTOR IS TO COORDINATE THE GAS SERVICE RELOCATION WITH THE APPOINTED CONTRACTOR.

NOTE:
CONTRACTOR TO MAKE ALL NECESSARY ALLOWANCES FOR LOCATION AND PROTECTION OF EXISTING SERVICES DURING WORKS.

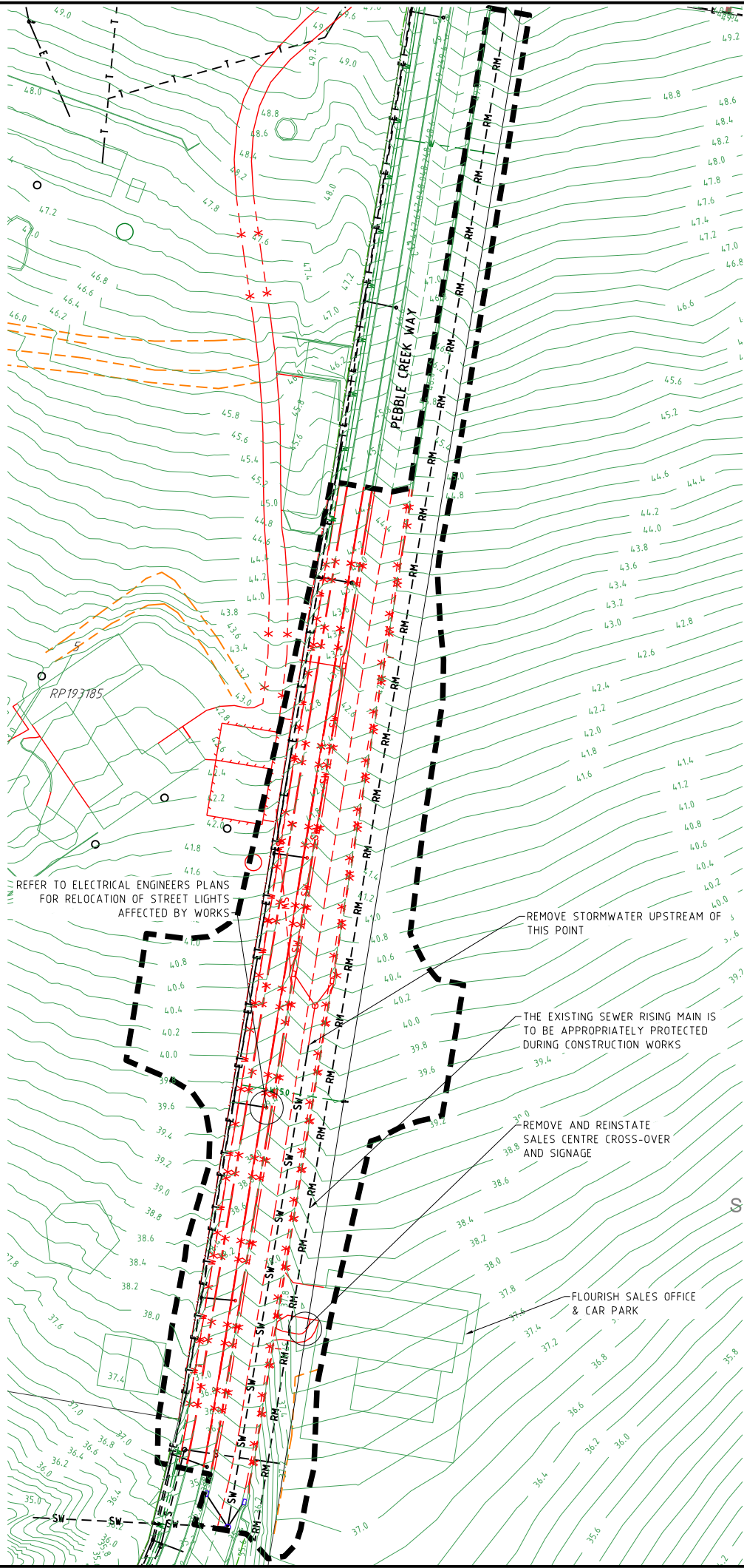
LEGEND

- EXISTING PROPERTY LINE
EXISTING FENCE
EXISTING KERB
EXISTING EDGE OF BITUMEN
CONTROL LINE / CENTER OF ROAD
EXISTING FOOTPATH
EXISTING EDGE OF VEGETATION
EXISTING RISING MAIN
EXISTING SEWER
EXISTING STORMWATER
EXISTING WATER
EXISTING GAS
EXISTING UNDERGROUND ELECTRICITY
EXISTING OVERHEAD ELECTRICITY
EXISTING TELSTRA
EXISTING COMMUNICATIONS
EXISTING CONTOURS
DEMOLISH STORMWATER
DEMOLISH KERB
DEMOLISH WATER
LIMIT OF WORKS BOUNDARY



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METHODOLOGY FOR WORKING AROUND THE EXISTING SEWER RISING MAIN

- POSITIVITY IDENTITY AND MARK THE SRM USING BOLLARDS.
- THE EXCAVATOR WILL NOT TRACK ON THE SRM WHILST CUTTING DOWN TO SUBGRADE LEVEL.
- BOLLARDS WILL BE PLACED OVER THE SRM AT 10m INCREMENTS TO AVOID PLANT CROSSING OVER THE SRM.
- STEEL ROAD PLATES WILL BE PLACED OVER THE SRM TO ALLOW PLANT TO CROSS OVER THE SRM.
- STORMWATER LINE 1/111 TO 5/110 CROSSES UNDERNEATH THE SRM. THE SRM WILL BE POSITIVELY IDENTIFIED USING A VACUUM TRUCK. THE EXCAVATOR WILL DIG AWAY FROM THE SRM.
- THE 150 WATERMAIN CROSSES THE SRM. THE SRM WILL BE POSITIVELY IDENTIFIED USING A VACUUM TRUCK. THE EXCAVATOR WILL DIG AWAY FROM THE SRM.
- ALL PLANT WILL AVOID THE SRM WHEN WORKING ON THE SUBGRADE. THE WATERCART WILL NOT ROLL ON THE SRM DURING THE SUBGRADE PROOF ROLL.
- THE BOLLARDS WILL BE MOVED INDIVIDUALLY WHEN THE ROAD BASE TYPE 2.3 IS BEING IMPORTED AND SPREAD TO ENSURE THAT TRUCK AND DOGS DON'T DRIVE OVER THE SRM.
- ONCE THE SUB-BASE IS PLACED THE BOLLARDS WILL NOT BE REQUIRED AS SUFFICIENT COVER WILL BE ACHIEVED.



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

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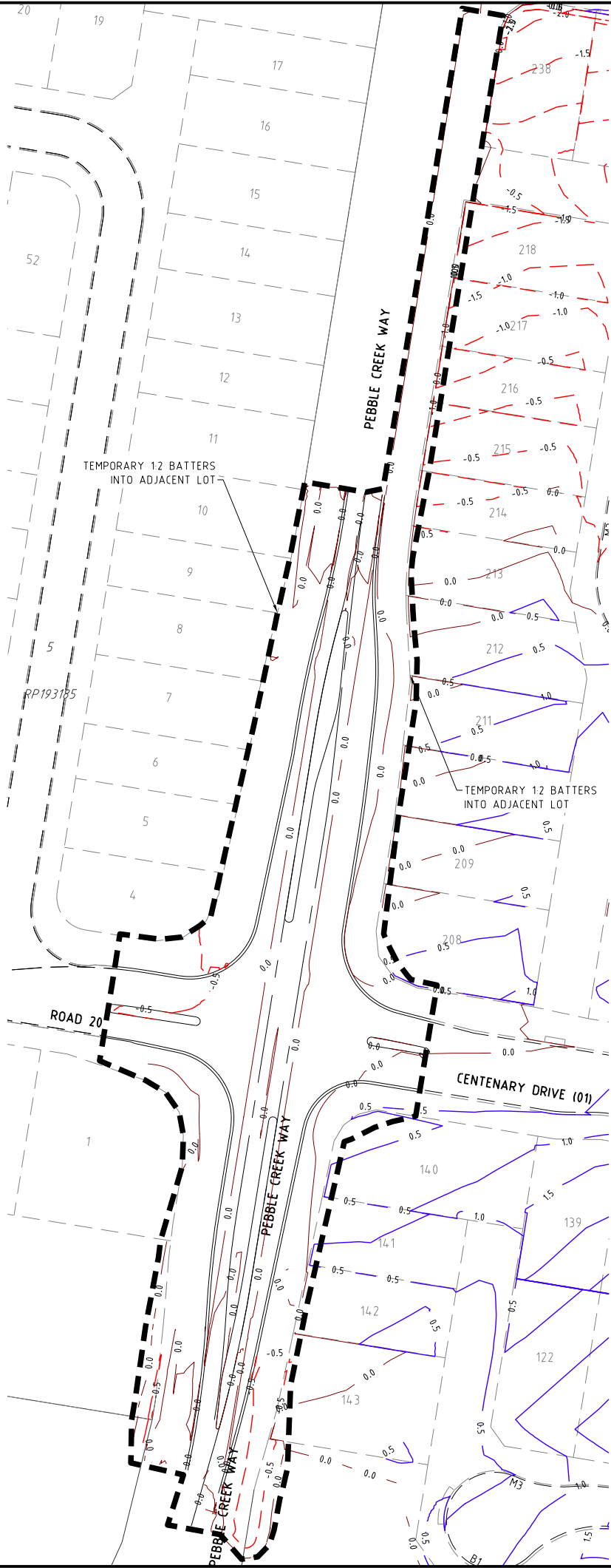
EXISTING FEATURES AND DEMOLITION PLAN

MORTONS
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DESIGNED GW	DRAWN RK
APPROVED <i>[Signature]</i>	DATE 02-02-26
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EARTHWORKS

1. TOPSOIL STRIPPING
TOPSOIL SHALL BE STRIPPED ACROSS THE ENTIRE LIMIT OF THE EARTHWORKS CUT & FILL AREAS & SHALL BE STOCKPILED IN A LOCATION APPROVED BY THE SUPERINTENDENT. THE EXISTING STRATA IS TO BE TREATED IN ACCORDANCE WITH THE SPECIFICATION PRIOR TO PLACING ANY FILL.
2. EARTHWORKS LEVELS
EARTHWORKS LEVELS SHOWN ON DRAWINGS ARE TO FINISHED SURFACE LEVELS & INCLUDE 100mm OF TOPSOIL.
3. COMPACTION STANDARD
SITE FILLING & TRENCH BACKFILL SHALL BE COMPACTED TO THE STANDARDS OUTLINED IN THE LOCAL AUTHORITY'S SPECIFICATIONS. FILL BATTER FACES ARE TO BE OVERFILLED, COMPACTED & CUT BACK TO DESIGN LEVELS. ALL CUT BATTERS ARE TO BE CUT BACK & TRIMMED TO DESIGN LEVELS.
4. PAVEMENT DEPTHS
THE DESIGN PAVEMENT DEPTHS ALLOWED IN EARTHWORKS CALCULATIONS ARE BASED ON THE DEPTHS SHOWN IN THE SCHEDULE OF PAVEMENT DEPTHS. THE PAVEMENT DEPTHS GIVEN ARE DESIGN DEPTHS ONLY & MAY BE VARIED AFTER SUB GRADE TESTS ARE TAKEN & AUTHORITY APPROVAL.
5. TESTING & CERTIFICATION
ALL COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED N.A.T.A. TESTING AUTHORITY. ALL SITE FILLING SHALL BE TESTED AT LEVEL 1 REQUIREMENTS. THE CONTRACTOR IS TO PROVIDE ALL REQUIRED EARTHWORKS CERTIFICATIONS IN ACCORDANCE WITH THE APPROVAL CONDITIONS. THE CONTRACTOR IS TO PROVIDE A CONSTRUCTED EARTHWORKS SLOPE STABILITY CERTIFICATION CONFIRMING REQUIRED F.O.S. CERTIFIED BY A RPEQ.
6. TOPSOIL REPLACEMENT
ALL FOOTPATHS, BATTERS & ALLOTMENT CUT & FILL AREAS SHALL BE TOPSOILED WITH TOPSOIL FROM ONSITE STOCKPILES, & AMELIORATE SOIL AS NECESSARY TO ENSURE GRASS STRIKE.
7. GRASSING
ALL CUT/FILL AREAS, DISTURBED AREAS & TRENCHED AREAS SHALL BE GRASSED TO THE SATISFACTION OF THE SUPERINTENDENT & LOCAL AUTHORITY.
8. ROCK
THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR EARTHWORKS RATE.
9. EARTHWORKS ZONE
THE FOLLOWING ACTIVITIES ARE PROHIBITED OUTSIDE THE EARTHWORKS ZONE - STORAGE & MIXING OF MATERIALS, VEHICLE PARKING, LIQUID DISPOSAL, MACHINERY REPAIRS/REFUELLING, PLACEMENT OF SITE OFFICES OR SHEDS, COMBUSTION OF ANY MATERIAL, STOCKPILING OF SOIL, RUBBLE OR DEBRIS, ANY FILLING OR EXCAVATION INCLUDING TRENCHES, TOPSOIL, SKIMMING AND/OR SURFACE EXCAVATION UNLESS OTHERWISE APPROVED BY THE RELEVANT AUTHORITY.
10. CONSTRUCTION - STOCKPILING
TEMPORARY SILT FENCE TO BE ERECTED 5m FROM TOE OF BATTER ON LOW SIDE OF STOCKPILING. STOCKPILE SITE TO BE CLEAR OF ADJACENT PROPERTY BOUNDARIES SO AS NOT TO CAUSE A NUISANCE TO ADJOINING PROPERTIES. NO STOCKPILES ARE TO BE LOCATED WITHIN THE TREE PROTECTION ZONE, REFER VEGETATION MANAGEMENT PLAN FOR MORE DETAILS. THE CONTRACTOR SHALL NOT CREATE STOCKPILES OF SURPLUS MATERIALS UNLESS DIRECTED BY THE SUPERINTENDENT. ALL MATERIALS ARISING FROM THE WORKS SHALL BE COMPACTED TO FUTURE FILL AREAS AS NOMINATED OR REMOVED FROM THE SITE.
11. TOPSOIL SCREENING
TOPSOIL SHALL BE SCREENED BY THE CONTRACTOR WHEN DIRECTED BY THE SUPERINTENDENT. ALL UNSUITABLE MATERIAL SCREENED FROM THE TOPSOIL WILL BE TAKEN TO AN OFFSITE TIP BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.
12. EARTHWORKS MATERIAL SIZE
ALL EARTHWORKS MATERIAL IS TO BE BROKEN DOWN TO AN ACCEPTABLE SIZE TO BE COMPACTED UNDER LEVEL 1 FILL. WHERE THE RELEVANT GUIDELINES DON'T SPECIFY AN ACCEPTABLE SIZE, EARTHWORKS MATERIAL IS TO BE BROKEN DOWN TO A SIZE NO LARGER THAN 75mm.
13. MOISTURE CONTENT
EARTHWORKS MOISTURE VARIATION TO NOT EXCEED $\pm 2\%$ OF THE OPTIMUM MOISTURE CONTENT.
14. SURFACE FINISH
THE FINISHED SURFACE LEVEL IS TO BE CAPPED WITH FINER MATERIAL & SMOOTH DRUM ROLLED & GRADED TO PROMOTE SURFACE WATER RUNOFF IN A CONTROLLED MANNER.
15. EARTHWORKS LIMITS
THE CONTRACTOR IS TO TIE IN TO THE NATURAL SURFACE AT THE LIMIT OF THE EARTHWORKS. THE TIE IN IS TO BE COMPLETED IN A MANNER TO ENSURE THERE IS NO PONDING OF SURFACE WATER.
16. IMPORTED MATERIAL
LOTS - ALL IMPORTED MATERIAL FOR PLACEMENT ON LOTS TO BE A MINIMUM CBR 10 MATERIAL & HAVE A SWELL % < 1.5 .
ROADS - ALL IMPORTED MATERIAL FOR PLACEMENT ON ROADS TO BE A MINIMUM CBR10 MATERIAL WITH A SWELL % < 1.5 , LIQUID LIMIT < 70 & PLASTICITY INDEX < 45 .
SOIL PARAMETERS TO BE REVIEWED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT ON SITE.
17. REACTIVE SOILS
a) ALL REACTIVE TOPSOIL TO BE IDENTIFIED BY THE GEOTECHNICAL ENGINEER & BE SEPARATED FROM THE NON REACTIVE TOPSOIL.
b) ALL REACTIVE TOPSOIL TO BE RESPREAD IN THE OPEN SPACE AREA. WHERE REACTIVE TOPSOIL IS REQUIRED TO BE RESPREAD ON DEVELOPABLE AREAS THE CONTRACTOR SHALL LIME TREAT THE TOPSOIL TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
c) WHEN UNDERTAKING THE EARTHWORKS CUT, ALL MATERIALS SHOULD BE SELECTIVELY SORTED SO THAT THE REACTIVE SOILS ARE SEPARATED FROM THE LOW REACTIVE RESIDUAL SOILS & XW BEDROCK.
d) ALL REACTIVE SOILS ARE TO BE PLACED IN THE LOWER SECTIONS OF FILL WITH THE LESS REACTIVE RESIDUAL SOILS & XW BEDROCK TO BE PLACE IN THE UPPER FILLS. ALTERNATIVELY, THE REACTIVE SOILS CAN BE BLENDED WITH THE LESS REACTIVE SOILS & XW ROCK TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
e) NO REACTIVE CLAY SOILS SHOULD BE PLACED WITHIN THE UPPER 0.75M APPROX. FILL PROFILE WHERE POSSIBLE.
f) WHEN PLACING FILL OVER HIGHLY REACTIVE SOILS, TREATMENT MAY BE REQUIRED IF THE FILLS ARE ONLY MINOR, 0.3m APPROX. & THE REACTIVE SOIL PROFILE IS GREATER THAN 0.7m APPROX. IN THESE AREAS SUBGRADE REPLACEMENT OF AT LEAST 0.75m OF NON REACTIVE / LOW REACTIVE MATERIAL OVERLYING THE REACTIVE SOILS SHALL BE UNDERTAKEN.
g) ALL WORKS ASSOCIATED WITH THE IDENTIFICATION, PLACEMENT & TREATMENT OF REACTIVE SOILS SHALL BE UNDERTAKEN TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
18. VERTICAL FACES
WHERE VERTICAL EARTHWORKS FACES ARE PROPOSED AS PART OF THE EARTHWORKS DESIGN & RETAINING WALLS ARE NOT PROPOSED AS PART OF THE WORKS, THE CIVIL CONTRACTOR IS TO CONSTRUCT A TEMPORARY 1 in 2 BATTER.
19. EARTHWORKS VOLUMES
a. EARTHWORKS VOLUMES CONTAINED WITHIN THE CONTRACT DOCUMENTS ARE APPROXIMATE ONLY. CONTRACTOR TO VERIFY & ALLOW FOR ANY DISCREPANCY IN THE CONTRACT VALUE.
b. VOLUMES INDICATE THE STRUCTURAL QUANTITY OF EARTHWORKS, IE BETWEEN THE EXISTING SURFACE & THE UNDERSIDE OF THE MINIMUM BOX & OF THE FSL, AS PRESCRIBED IN THE CONTRACT DOCUMENTATION.
c. NO ALLOWANCE FOR COMPACTION OR BULKING FACTOR IS INCLUDED IN THE EARTHWORKS VOLUMES. THE CONTRACTOR IS TO MAKE ALLOWANCES FOR BULKING/COMPACTION AS PART OF THEIR CONTRACT WORKS.
d. THE CONTRACTOR IS TO VERIFY EXISTING SURFACE & TOPSOIL DISTRIBUTION PRIOR TO SIGNING THE CONTRACT. THE CONTRACTORS PRICE FOR THESE WORKS IS DEEMED TO BE ACCEPTING OF THE NATURAL SURFACE & TOPSOIL DISTRIBUTION.
e. THE CONTRACTOR IS REQUIRED TO EXPORT / IMPORT AS NEEDED TO ACHIEVE THE FINAL SURFACE LEVELS. THE EXPORT/IMPORT AS REQUIRED TO COMPLETE EARTHWORKS FORMS PART OF THE CONTRACT WORKS.
f. WHERE NO SPOIL AREA IS AVAILABLE WITHIN THE PROJECT FOOTPRINT, THE CIVIL CONTRACTOR SHALL EXPORT EXCESS MATERIALS TO A LICENCED TIP OFF SITE. THESE WORKS FORM PART OF THE CONTRACT WORKS.



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

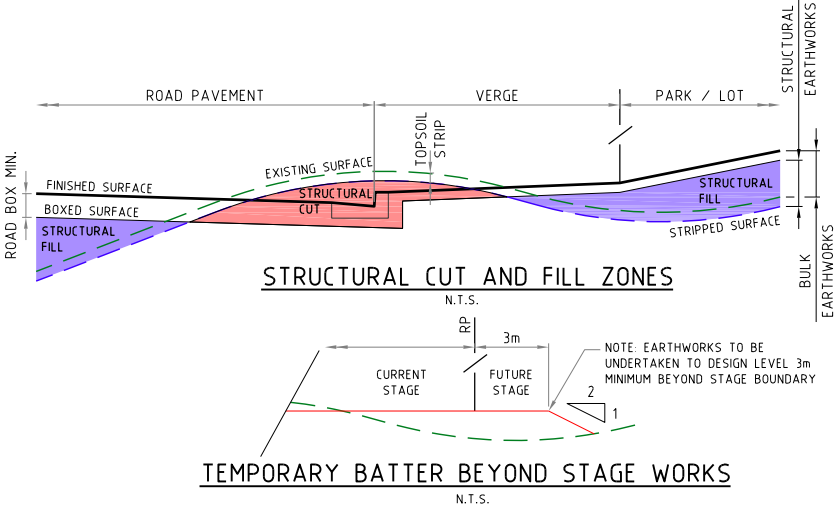
Approval no: DEV2026FLA4387
Date: 13 April 2026



- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING KERB (INVERT)
 - FUTURE KERB (INVERT)
 - FUTURE PROPERTY LINE
 - LIMIT OF EARTHWORKS BOUNDARY
 - PROPOSED PROPERTY LINE
 - PROPOSED KERB (INVERT)
 - 0.5 CUT CONTOUR
 - 0.0 INTERFACE CONTOUR
 - 0.5 FILL CONTOUR



NOTE:
CONTRACTOR TO MAKE ALL NECESSARY ALLOWANCES FOR EXISTING SERVICES DURING ALL WORKS.



PROJECT NAME
Flourish
PEBBLE CREEK WAY INTERSECTION
R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT
CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH
0 5 10 15 20 25m
Scale 1500 - A1 (1:1000 - A3)

REV	DATE	DESCRIPTION	INT
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ASSOCIATED CONSULTANTS

DRAWING TITLE
EARTHWORKS CUT TO FILL PLAN & NOTES

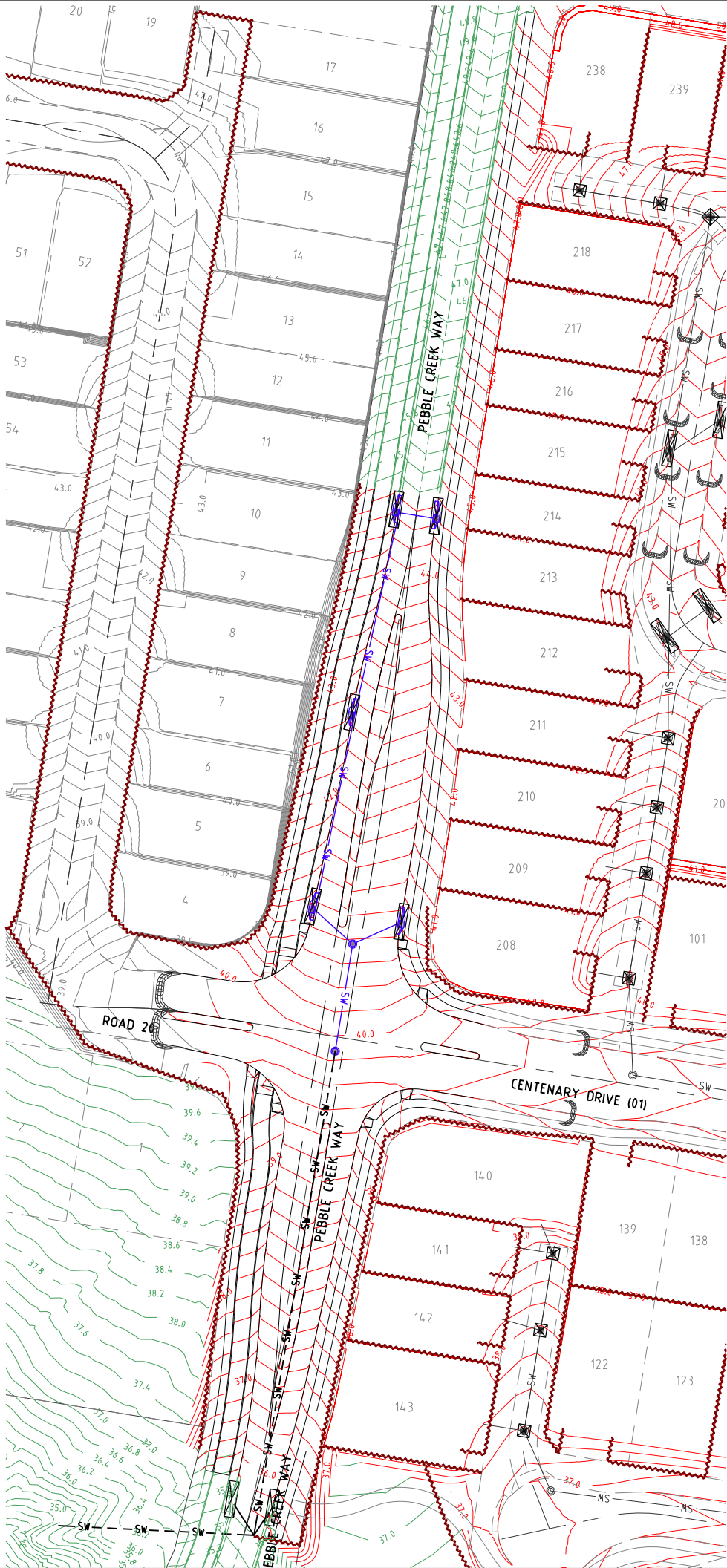
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APPROVED [Signature]	RPEQ20300 DATE 02-02-26
DRAWING NUMBER 37502-INT-040	REV A

SEDIMENT AND EROSION

1. THE EROSION & SEDIMENT CONTROL DEVICES SHOWN ON THESE DRAWINGS ARE INDICATIVE & PROVIDED FOR SUBMISSION TO LOCAL AUTHORITY ONLY. NOTWITHSTANDING THE EROSION & CONTROL DEVICES SHOW ON THESE DRAWINGS, THE CONTRACTOR MUST PREPARE & FOLLOW A SITE SPECIFIC EROSION & SEDIMENT CONTROL PLAN TO MEET ALL LOCAL & STATE GOVERNMENT LEGISLATION INCLUDING BUT NOT LIMITED TO:
- a. ENVIRONMENTAL PROTECTION ACT WITH SPECIFIC REFERENCE TO PARTS 5440G & 5319
 - b. STATE PLANNING POLICY
- PRESCRIBED WATER CONTAMINANTS (AS DEFINED IN THE ENVIRONMENTAL PROTECTION ACT 1994) MUST NOT BE RELEASED FROM THE SITE OR TO WATERS WITHIN THE SITE, OR BE LIKELY TO BE RELEASED SHOULD RAINFALL OCCUR, UNLESS ALL REASONABLE & PRACTICABLE MEASURES ARE TAKEN TO PREVENT OR MINIMISE THE RELEASE & CONCENTRATION OF CONTAMINATION. THE ESC PLAN MUST BE DESIGNED, IMPLEMENTED & MAINTAINED IN ACCORDANCE WITH "BEST PRACTICE EROSION & SEDIMENT CONTROL" PUBLISHED BY THE INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIAN CHAPTER) (IECA, 2008).
2. TO COMPLY WITH THE REQUIREMENTS OF THE EP ACT & BEST PRACTICE DESIGN, THE SEDIMENT BASINS ON THE SITE MUST BE DESIGNED & IMPLEMENTED TO ACHIEVE THE FOLLOWING:
- SEDIMENT BASINS ARE TO BE DESIGNED, IMPLEMENTED & MAINTAINED TO A STANDARD WHICH WOULD ACHIEVE AT LEAST 80% OF THE AVERAGE ANNUAL RUNOFF VOLUME OF THE CONTRIBUTING CATCHMENT TREATED (I.E. 80% HYDROLOGIC EFFECTIVENESS) TO 50MG/L TSS OR LESS & PH IN THE RANGE 6.5-8.5
- THIS WILL REQUIRE THE INSTALLATION & OPERATION OF A HIGH-EFFICIENCY SEDIMENT BASIN(S) DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS CONTAINED IN THE "BEST PRACTICE EROSION & SEDIMENT CONTROL - APPENDIX B SEDIMENT BASIN DESIGN & OPERATION" PUBLISHED BY THE INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIAN CHAPTER) (IECA, 2016, DRAFT)
3. THE EROSION & SEDIMENT CONTROL PLAN MUST BE PREPARED & CERTIFIED BY A CERTIFIED PROFESSIONAL IN EROSION & SEDIMENT CONTROL & FOLLOW THE REQUIREMENTS OUTLINED IN IECA'S BEST PRACTICE EROSION & SEDIMENT CONTROL DOCUMENT & THE QUEENSLAND URBAN DRAINAGE MANUAL.
4. PRIOR TO THE COMMENCEMENT OF WORKS ONSITE THE CONTRACTOR MUST MAKE THEMSELVES AWARE OF ALL PREVIOUS GEOTECHNICAL REPORTS & DETERMINE THE DISPERSIVE CHARACTERISTICS OF THE SOIL (INCLUDING PERFORMING ANY SOIL TESTS IF REQUIRED). THE RESULTS OF THIS REVIEW & ANY TESTS MUST BE INCLUDED IN THE CONTRACTOR'S EROSION & SEDIMENT CONTROL PLAN. A COPY OF ALL TEST RESULTS MUST BE PROVIDED TO THE SUPERINTENDENT.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO CONTROL EROSION & DOWNSTREAM SEDIMENTATION DURING ALL STAGES OF CONSTRUCTION (INCLUDING THE MAINTENANCE PERIOD). NOTWITHSTANDING THE CONTROL MEASURES OR FINISHED EARTHWORKS DESIGN SHOWN ON THESE DRAWINGS, THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING ADDITIONAL OR ALTERNATIVE EROSION & SEDIMENT CONTROL MEASURES TO MINIMISE SEDIMENT ACROSS OR LEAVING THE SITE.
6. AT ALL TIMES THE CONTRACTOR SHALL MONITOR THE PREVAILING WEATHER CONDITIONS (INCLUDING WEEKENDS & PUBLIC HOLIDAYS) & AT ALL TIMES REMAINS RESPONSIBLE TO:
- a) CLEAN & REPAIR CONTROL DEVICES WHENEVER THE ACCUMULATED SEDIMENT REDUCES THEIR CAPACITY BY 50%.
 - b) MAINTAIN POSITIVE GRADES OF ALL PERIMETER BANKS & SWALES TO AN OUTLET.
 - c) PROTECT ANY DOWNSTREAM CONSTRUCTION.
 - d) CONTROLLING DUST.
 - e) MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH DETAILS OUTLINED IN THEIR EROSION & SEDIMENT CONTROL PLAN & AS DIRECTED BY THE SUPERINTENDENT.
7. THE CONTRACTOR'S PLAN SHALL ALLOW FOR SUITABLE ACCESS TO ALLOW MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES. NO ADDITIONAL VEGETATION CLEARING IS PERMITTED FOR GAINING ACCESS UNLESS APPROVED BY THE SUPERINTENDENT.
8. THE CONTRACTOR MAY REQUEST APPROVAL FROM THE SUPERINTENDENT TO REUSE THE STOCKPILED MULCH FOR STABILISING BATTERS ONLY IN LOCATIONS WHERE THE APPROVED LANDSCAPE OPW DESIGN REQUIRES MULCH ULTIMATELY.
9. CONSTRUCTION STOCKPILING:
- a) TOPSOIL SHALL BE STRIPPED & STOCKPILED IN LOCATIONS NOMINATED ON THE CONSTRUCTION DRAWINGS OR IN LOCATIONS AGREED WITH THE SUPERINTENDENT.
 - b) ADDITIONAL VEGETATION CLEARING IS NOT PERMITTED TO FACILITATE THE STOCKPILING OF MATERIALS UNLESS SHOWN ON THE APPROVED VEGETATION MANAGEMENT PLAN.
 - c) ANY STOCKPILE SITE MUST BE CLEAR OF ADJACENT PROPERTY BOUNDARIES SO AS NOT TO CAUSE A NUISANCE TO ADJOINING PROPERTIES.
 - d) NO STOCKPILES ARE TO BE LOCATED WITHIN THE TREE PROTECTION ZONE OF VEGETATION.
 - e) A TEMPORARY SILT FENCE IS TO BE ERECTED APPROXIMATELY 5m FROM TOE OF BATTER ON LOW SIDE OF STOCKPILING.
10. NOTWITHSTANDING THE DETAILS SHOWN IN THE CONTRACTOR'S EROSION & SEDIMENT CONTROL PLAN, DURING CONSTRUCTION THE CONTRACTOR MUST:
- a) SIZE ALL TEMPORARY SEDIMENT BASINS APPROPRIATELY TO TREAT THE UPSTREAM CATCHMENT. NOTE THAT THE PERMANENT BIO BASINS SHOWN ON THESE DRAWINGS ARE SIZED FOR THE ULTIMATE CATCHMENT NOT FOR THE CONSTRUCTION PHASE.
 - b) PLACE A ROCK BUND AROUND ALL HEADWALLS DURING CONSTRUCTION.
 - c) PROVIDE KERB INLET PROTECTION TO ALL GULLIES.
 - d) PLACE A MINIMUM 1.0m WIDE TURF STRIP BEHIND ALL KERBS & IN A HERRINGBONE LAYOUT WITHIN THE ROAD VERGE.
 - e) MAINTENANCE (INCLUDING FLOCCULATION IF REQUIRED & PUMP OUT) OF ALL CONSTRUCTION SEDIMENT BASINS (WHETHER EXISTING OR NEW).
 - f) CLEAN OUT OF ALL GROSS POLLUTANT TRAPS, SEDIMENT FOREBAYS & ALL OTHER PERMANENT SEDIMENT CONTROL DEVICES AT BOTH ON & OFF MAINTENANCE.
11. CONTRACTOR TO CONFIRM THE EXTENTS OF REQUIRED GRASSING TREATMENTS WITH THE SUPERINTENDENT AT LEAST 7 DAYS PRIOR TO FINAL TRIMMING.
12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT GRASSING STRIKE RATES ARE ACHIEVED AT THE ON & OFF MAINTENANCE INSPECTIONS IN ACCORDANCE WITH COUNCIL REQUIREMENTS. THIS INCLUDES THE SUPPLY & INSTALLATION OF ANY REQUIRED CHEMICAL/FERTILISER AMELIORATION TO ACHIEVE THE SPECIFIED GRASS STRIKE RATES.
13. GEOFABRIC LINING OF CHANNELS & CHECK DAMS MAY BE REQUIRED SUBJECT TO THE SITE CONDITIONS. BATTERS WITHIN PUBLIC OPEN SPACE TO BE VEGETATED IN ACCORDANCE WITH APPROVED OPEN SPACE MANAGEMENT PLAN & LANDSCAPING OPW. CONTRACT DOCUMENTATION WILL SPECIFY WHETHER THIS IS THE CIVIL CONTRACTOR OR THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO SUPPLY & INSTALL. THE CIVIL CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUITABLE ACCESS FOR THE LANDSCAPE CONTRACTOR TO PERFORM THEIR WORKS.
14. MAINTENANCE PERIOD (PRE TO POST CONSTRUCTION)
- a) ALL PROTECTION MEASURES ARE TO BE INSPECTED & MAINTAINED REGULARLY
 - b) REPAIRS ARE TO BE EFFECTED IMMEDIATELY.
 - c) SILT AFTER RAIN IS TO BE CLEANED FROM STREETS & ALLOTMENTS IMMEDIATELY & CORRECTIVE ACTION TAKEN TO AVOID A RE-OCCURRENCE.
 - d) AT OFF-MAINTENANCE & ONLY WHEN DIRECTED BY COUNCIL, REMOVE & DISPOSE OFFSITE ALL TEMPORARY EROSION & SEDIMENT CONTROL DEVICES.
15. EROSION & SEDIMENT CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR AND THE CONTRACTOR HOLDS ALL LIABILITY.

NOTE:
SEDIMENT AND EROSION CONTROL MEASURES SHOWN RELATE TO THE FINISHED SURFACE ONLY AND ARE CONCEPTUAL ONLY. THE CONTRACTOR IS TO PREPARE A SITE SPECIFIC CONSTRUCTION AND MAINTENANCE PHASE SEDIMENT AND EROSION CONTROL PLAN.



LEGEND

- EXISTING PROPERTY LINE
- EXISTING KERB (INVERT)
- EXISTING STORMWATER
- EXISTING CONTOURS
- FUTURE PROPERTY LINE
- FUTURE KERB (INVERT)
- FUTURE STORMWATER
- FUTURE CONTOURS
- PROPOSED PROPERTY LINE
- PROPOSED KERB (INVERT)
- PROPOSED STORMWATER
- DESIGN CONTOURS
- MANHOLE
- KERB INLET (ON GRADE) PIT
- KERB INLET (SAG) PIT
- HEADWALL
- SEDIMENT FENCE
- SCOUR PROTECTION
- TEMPORARY SEDIMENT BASIN
- STORMWATER INLET FILTER
- ROCK CHECK DAM
- VEHICLE SHAKEDOWN (AT ALL SITE ENTRANCES MIN.)
- TEMPORARY SWALE
- SAND BAGS

PROVIDE SEDIMENT AND EROSION CONTROL MEASURES IN ACCORDANCE WITH THE INTERNATIONAL EROSION CONTROL ASSOCIATION BPESC DOCUMENT.



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2026FLA4387
Date: 13 April 2026



PROJECT NAME
Flourish
PEBBLE CREEK WAY INTERSECTION
R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT
CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH
0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

REV	DATE	DESCRIPTION	INT
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ASSOCIATED CONSULTANTS

DRAWING TITLE
FINAL SURFACE AND SEDIMENT AND EROSION PLAN & NOTES

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DESIGNED GW	DRAWN RK
APPROVED <i>[Signature]</i>	PEQ20300 DATE 02-02-26
DRAWING NUMBER 37502-INT-080	REV A

CONSTRUCTION SERVICES

1. CONSTRUCTION OF
SEWER/ROOFWATER/STORMWATER/SERVICES
EXCAVATED MATERIAL TO BE PLACED ON HIGH SIDE
OF TRENCH & TO PROTECT PIPE WORK & DIRECT
SURFACE MATERIAL AWAY FROM EXCAVATIONS.
TOPSOIL & GRASS SEED AREAS IN ALLOTMENTS
IMMEDIATELY AFTER COMPLETING THE SEWER &
ROOFWATER DRAINAGE CONSTRUCTION.
DEPRESS GROUND AROUND TEMPORARY FIELD
INLETS TO CREATE SILT POND.
2. TRIP HAZARD
MANHOLES OR STRUCTURES INSTALLED IN THE
ROAD, FOOTPATH OR VERGE MUST MATCH NEATLY
WITH NO TRIP HAZARD.
3. EXISTING SERVICES - EXTERNAL WORKS
THE LOCATIONS OF ALL EXISTING SERVICES WITHIN
THE WORK AREA SHALL BE CONFIRMED BY THE
CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING.
IT IS THE CONTRACTOR'S RESPONSIBILITY TO
CONTACT THE RELEVANT AUTHORITIES & TO
ENSURE THAT THE EXISTING SERVICES ARE NOT
DAMAGED OR DISTURBED IN ANY WAY BY THE
CONTRACT WORKS.

LEGEND

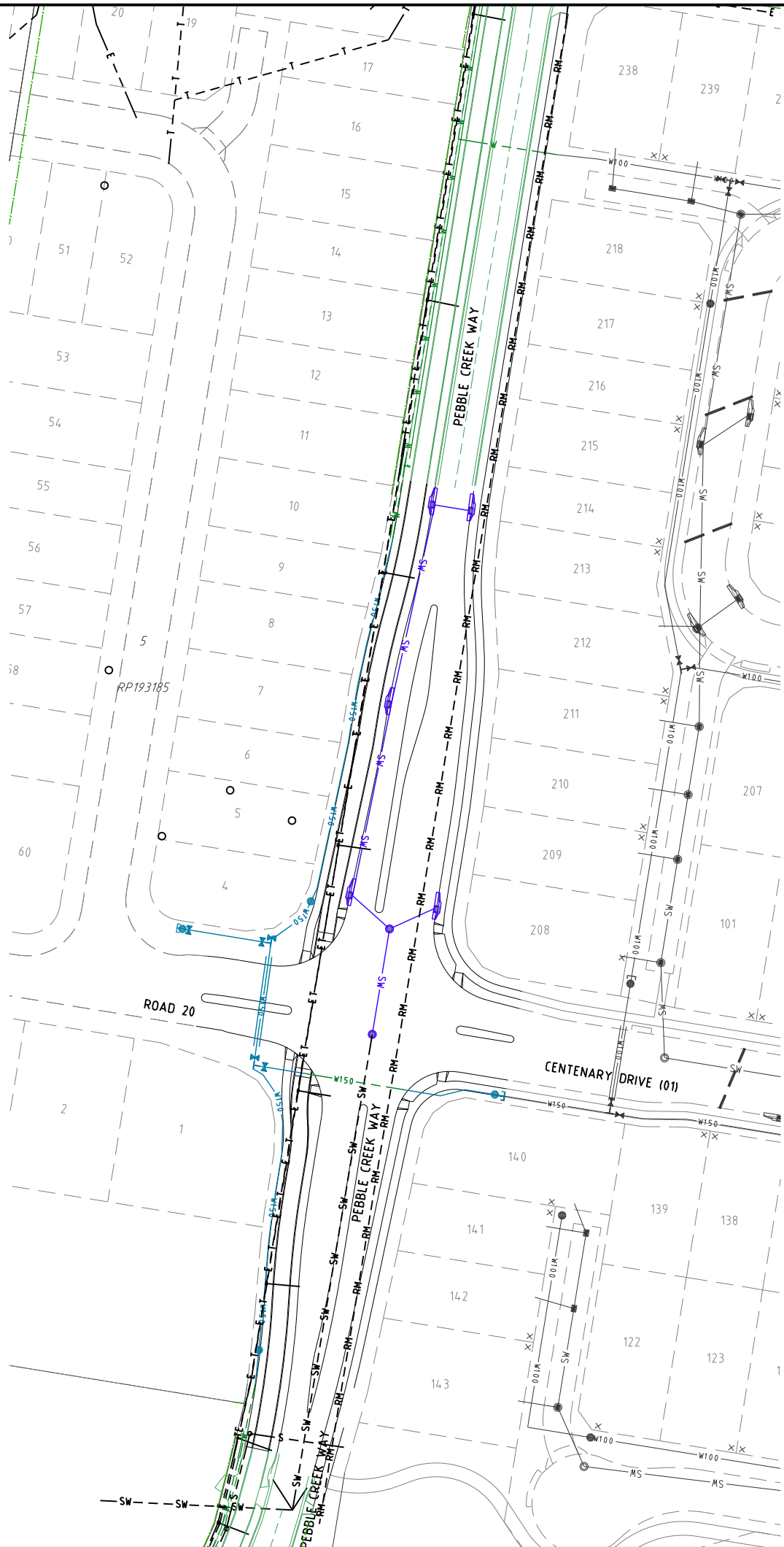
---	EXISTING PROPERTY LINE
---	EXISTING KERB (INVERT)
---	EXISTING FOOTPATH
RM	EXISTING RISING MAIN
S	EXISTING SEWER
E	EXISTING ELECTRICITY
SW	EXISTING STORMWATER
RW	EXISTING ROOFWATER
SS	EXISTING SUBSOIL
W100	EXISTING WATER
W150	EXISTING WATER
W200	EXISTING WATER
W225	EXISTING WATER
W250	EXISTING WATER
W300	EXISTING WATER
---	EXISTING WATER CONDUIT
---	PROPOSED PROPERTY LINE
---	PROPOSED KERB (INVERT)
---	PROPOSED FOOTPATH
RM	PROPOSED RISING MAIN
S	PROPOSED SEWER
SW	PROPOSED STORMWATER
RW	PROPOSED ROOFWATER
SS	PROPOSED SUBSOIL
W100	PROPOSED WATER
W150	PROPOSED WATER
W200	PROPOSED WATER
W225	PROPOSED WATER
W250	PROPOSED WATER
W300	PROPOSED WATER
---	PROPOSED WATER CONDUIT
---	FUTURE PROPERTY LINE
---	FUTURE KERB (INVERT)
---	FUTURE FOOTPATH
RM	FUTURE RISING MAIN
S	FUTURE SEWER
SW	FUTURE STORMWATER
RW	FUTURE ROOFWATER
SS	FUTURE SUBSOIL
W100	FUTURE WATER
W150	FUTURE WATER
W200	FUTURE WATER
W225	FUTURE WATER
W250	FUTURE WATER
W300	FUTURE WATER
---	FUTURE WATER CONDUIT



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026FLA4387

Date: 13 April 2026



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Flourish
PEBBLE CREEK WAY
INTERSECTION
R. P. DESCRIPTION
Lot 30 SP309195
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LOCALITY OF SOUTH MACLEAN
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APPROVED		PEQ20300	DATE 02-02-26
DRAWING NUMBER			REV
37502-INT-090			A

ROADWORKS

1. PAVEMENT DEPTHS
- a. THE DESIGN PAVEMENT DEPTHS ALLOWED IN EARTHWORKS CALCULATIONS ARE BASED ON THE AUTHORITY'S MINIMUM PAVEMENT BOX.
- b. THE PAVEMENT DEPTHS GIVEN ARE NOMINAL DESIGN DEPTHS ONLY & MAY BE VARIED AFTER SUB-GRADE TESTS ARE TAKEN. THE CONTRACTOR IS TO PROVIDE THE SUPERINTENDENT A SUBGRADE C.B.R. REPORT PREPARED BY A SUITABLY QUALIFIED GEOTECHNICAL ENGINEER. IN PROJECTS EXPECTING LIME STABILISED SUBGRADE, THE CONTRACTOR MUST PROVIDE LIME DEMAND TEST RESULTS WITH THE CBR REPORT.
- c. THE SUPERINTENDENT WILL COORDINATE THE AUTHORITIES APPROVAL OF THE PAVEMENT DESIGN.
- d. REFER TO DWG. 120 FOR TYPICAL ROAD SECTIONS.
2. TESTING
- ALL COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED N.A.T.A. TESTING AUTHORITY. ALL SITE FILLING SHALL BE TESTED AT LEVEL 1 REQUIREMENTS.
3. SUBSOIL DRAINS
- SUBSOIL DRAINS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL AUTHORITY'S SPECIFICATIONS. SUBSOIL DRAINS SHALL BE PLACED UNDER ALL KERB STRUCTURES & ARE TO BE CONSTRUCTED TO A DEPTH GREATER THAN THAT OF THE INVERT OF THE DEEPEST SERVICE CROSSING.
4. MITRE DRAINS
- MITRE DRAINS ARE TO BE CONSTRUCTED ALONG THE CUT/FILL INTERFACE & SAG/LOW POINTS OF ALL ROADS. CONTRACTOR TO REQUEST DIRECTION FROM SUPERINTENDENT WHETHER TO INSTALL MITRE DRAIN AT ROCK ENCOUNTERED IN SUBGRADE. ALL MITRE DRAINS MUST BE FREE DRAINING & TIE INTO THE ADJACENT SUBSOIL DRAINS.
5. ROCK
- THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR RATES.
6. TURF
- 1.0m TURF STRIP TO BE INSTALLED BEHIND THE BACK OF ALL KERBS. A PERPENDICULAR TURF STRIP AT MAXIMUM 10m INCREMENTS MUST BE INSTALLED TO FULL VERGE WIDTH FOR SEDIMENT & EROSION CONTROL PURPOSES.
7. KERBS
- ALL KERBS TO BE CONSTRUCTED IN ACCORDANCE WITH AUTHORITY STANDARDS. FOR ALL KERB TYPES REFER TO DWG 120.
8. PAVEMENT TIE-IN
- PAVEMENT TIE-IN TO BE IN ACCORDANCE WITH DWG. 120
9. PRAM RAMP
- PRAM RAMP ARE TO BE CONSTRUCTED IN ACCORDANCE WITH IPWEA STD DWG PCD-201.
10. TRAFFIC ISLAND CONCRETE INFILL
- INFILL TO BE HYMIX EXPOSED AGGREGATE. AGGREGATE MOONLIGHT IN PLAIN GREY CONCRETE.
11. TRAFFIC CONTROL
- THE CONTRACTOR IS TO PREPARE TGS, OBTAIN LOCAL AUTHORITY APPROVAL OF THE TGS AND IMPLEMENT TRAFFIC CONTROL WORK FOR ALL WORKS ASSOCIATED WITH THIS PROJECT.

LEGEND

- EXISTING KERB (INVERT)
- EXISTING KERB (LIP & BACK)
- EXISTING FOOTPATH
- EXISTING PROPERTY LINE
- FUTURE KERB
- FUTURE FOOTPATH
- FUTURE PROPERTY LINE
- CONTROL LINE / CENTER OF ROAD
- PROPOSED KERB (INVERT)
- PROPOSED KERB (LIP & BACK)
- PROPOSED FOOTPATH
- PROPOSED PROPERTY LINE



PROPOSED CONCRETE

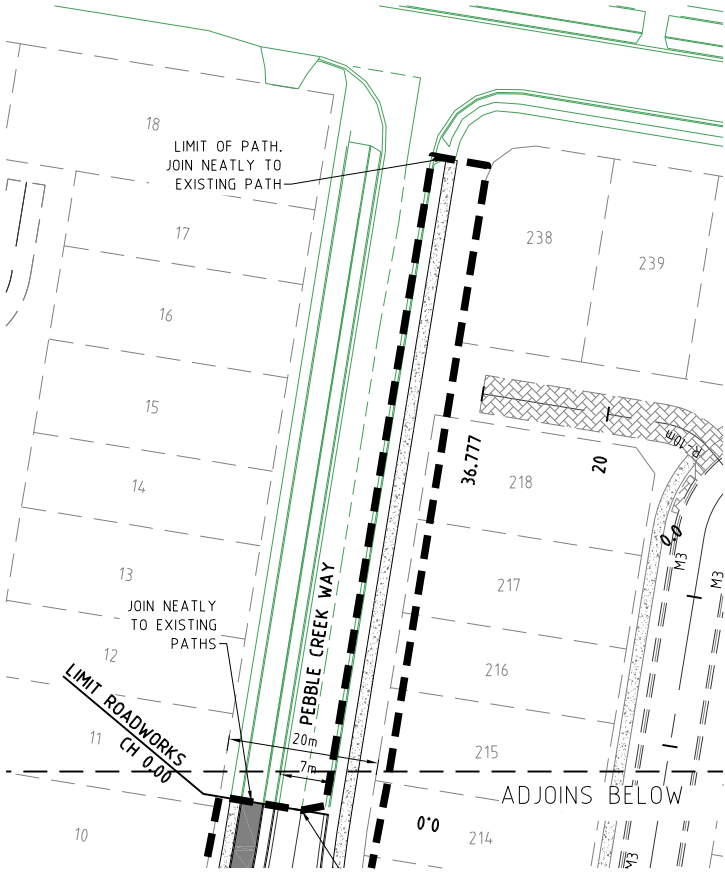
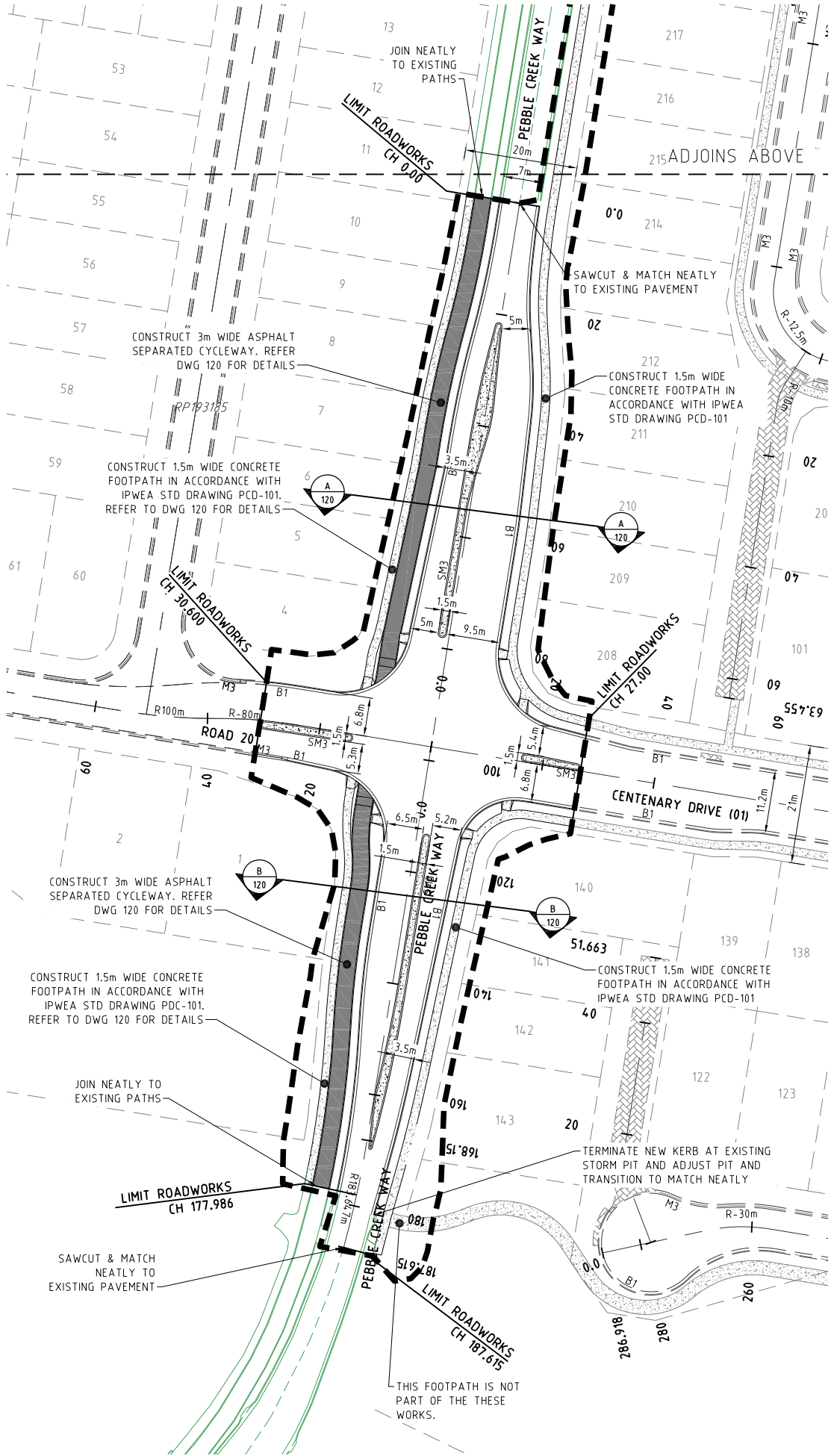


PROPOSED ASPHALT CYCLEWAY

41.065 CENTRELINE CHAINAGE

B1 BARRIER KERB & CHANNEL
SM3 SEMI-MOUNTABLE KERB

REFER TO DRG. 120 FOR KERB TYPES



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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ROADWORKS PLAN



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DESIGNED GW	DRAWN RK
APPROVED <i>[Signature]</i>	REF: 20300
DRAWING NUMBER 37502-INT-100	REV A

k:\outcad client\375- cedar woods properties\02- mountain ridge road\pebble creek way\inf\engineering drawings\Current\37502-INT-105.dwg, PLAN SHEET 01, 19/03/2026 2:16:25 PM, 12



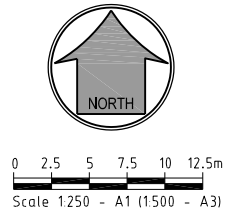
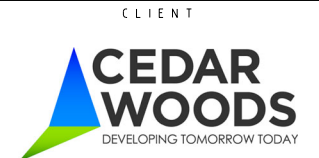
- LEGEND**
- NEW PAVEMENT CONSTRUCTION. REFER TO DWG 120 FOR ANTICIPATED PAVEMENT DESIGN
 - PAVEMENT REPROFILE. RESHEET ASPHALT TO SUIT DESIGN LEVELS.
 - PROPOSED CONCRETE

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026FLA4387
Date: 13 April 2026



PROJECT NAME
Flourish
PEBBLE CREEK WAY
INTERSECTION
R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



REV	DATE	DESCRIPTION	INT
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ASSOCIATED CONSULTANTS

DRAWING TITLE

PAVEMENT
PLAN

MORTONS
urbansolutions
Civil Engineering
Project Coordination

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DESIGNED GW	DRAWN RK
APPROVED <i>[Signature]</i>	DATE 02-02-26
DRAWING NUMBER 37502-INT-105	REV A

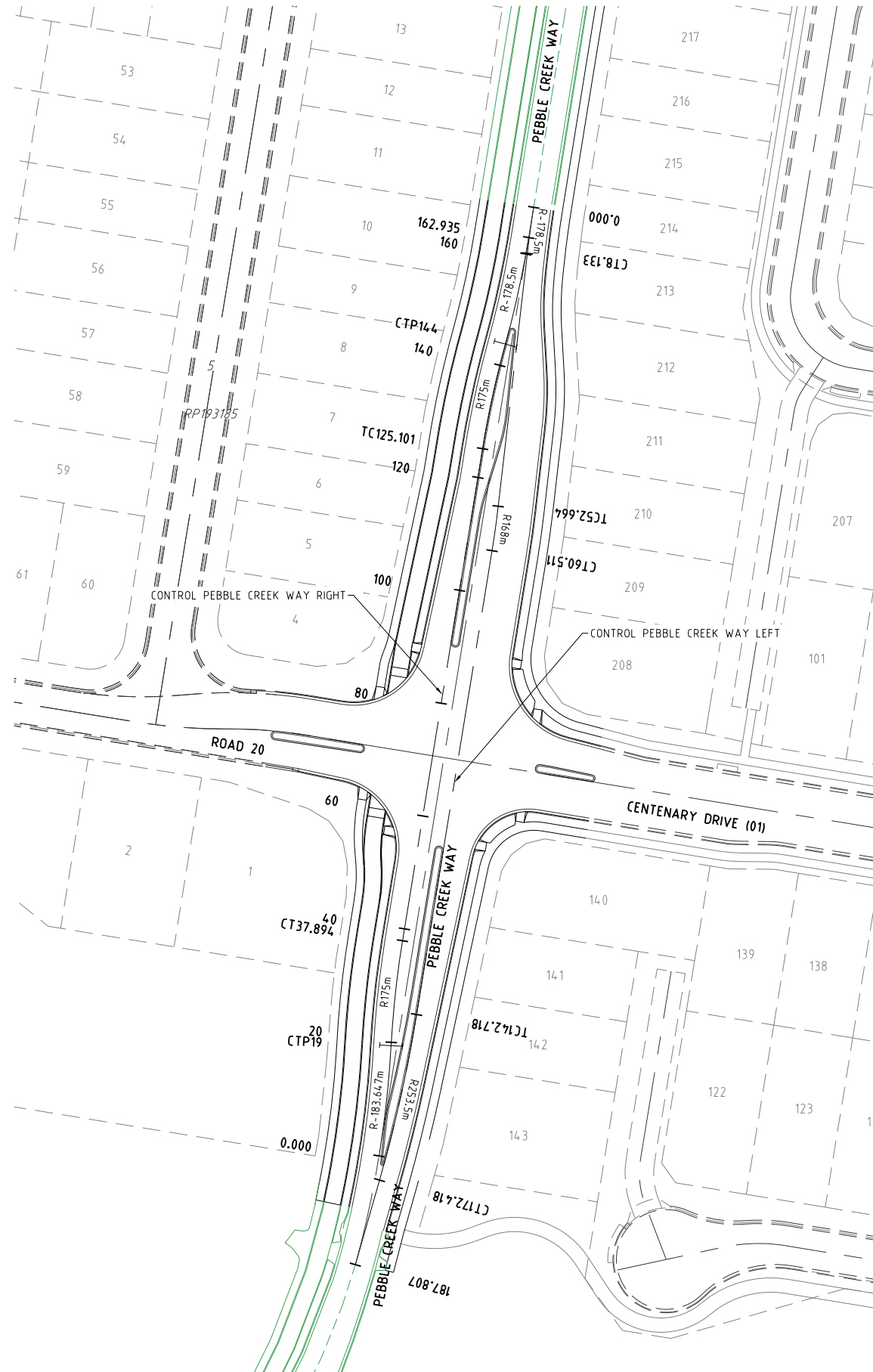
LEGEND

- EXISTING KERB (INVERT)
- EXISTING KERB (LIP & BACK)
- EXISTING FOOTPATH
- EXISTING PROPERTY LINE
- FUTURE KERB
- FUTURE FOOTPATH
- FUTURE PROPERTY LINE
- CONTROL LINE / CENTER OF ROAD
- PROPOSED KERB (INVERT)
- PROPOSED KERB (LIP & BACK)
- PROPOSED FOOTPATH
- PROPOSED PROPERTY LINE

41.065 MINOR CONTROL LINE CHAINAGE

- B1 BARRIER KERB & CHANNEL
- SM3 SEMI-MOUNTABLE KERB

REFER TO DRG. 120 FOR KERB TYPES



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026FLA4387

Date: 13 April 2026



PROJECT NAME
Flourish

PEBBLE CREEK WAY
INTERSECTION

R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

REV	DATE	DESCRIPTION	INT
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ROADWORKS
MINOR CONTROL LINE



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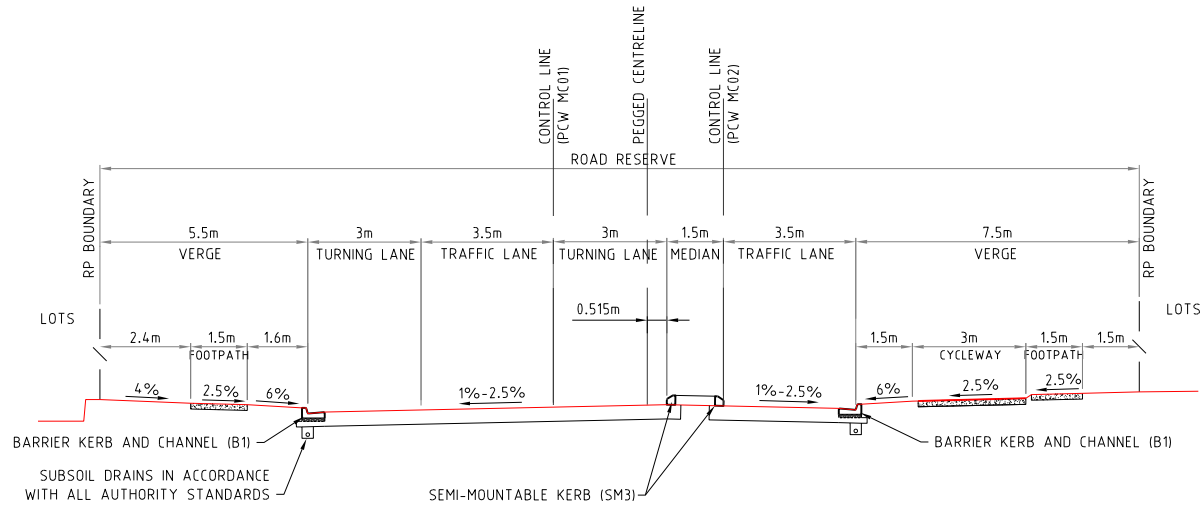
SCHEDULE OF PAVEMENT DEPTHS							
ROAD NAME	SURFACING	BASE	SUB-BASE	LOWER SUB-BASE (IF REQUIRED)	CLASSIFICATION	DESA OR VPD	DESIGN GUIDE
PEBBLE CREEK WAY	50mm DG14 Primer	300mm TYPE 2.1 (CBR 80)	275mm TYPE 2.3 (CBR 45)	100mm TYPE 2.5 (CBR 15)	TRUNK COLLECTOR	6.4x10 ⁶	L.C.C SCHEDULE 6 TABLE 3.4.8.2.1
ROAD 01 ROAD 20	50mm DG14 Primer	300mm TYPE 2.1 (CBR 80)	100mm TYPE 2.3 (CBR 45)	100mm TYPE 2.5 (CBR 15)	NEIGHBOURHOOD CONNECTOR	6.4x10 ⁶	L.C.C SCHEDULE 6 TABLE 3.4.8.2.1

NOTE: THE PAVEMENT DEPTHS ARE GIVEN AS A GUIDE ONLY AND FINAL PAVEMENT DESIGN WILL BE DETERMINED AFTER CBR TESTING IS UNDERTAKEN, AND COUNCIL HAVE APPROVED THE DESIGN. PLEASE NOTE CBR10 IS MAXIMUM INSITU CBR VALUE.

SCHEDULE OF KERB TYPES		
KERB TYPE	IMAGE	REFERENCE
B1		IPWEA DWG. RSD-200 NOTE: SUBSOIL DRAINS TO BE PLACED UNDER ALL KERBS.
SM3		
M6 (H)		
ER1		
M3		

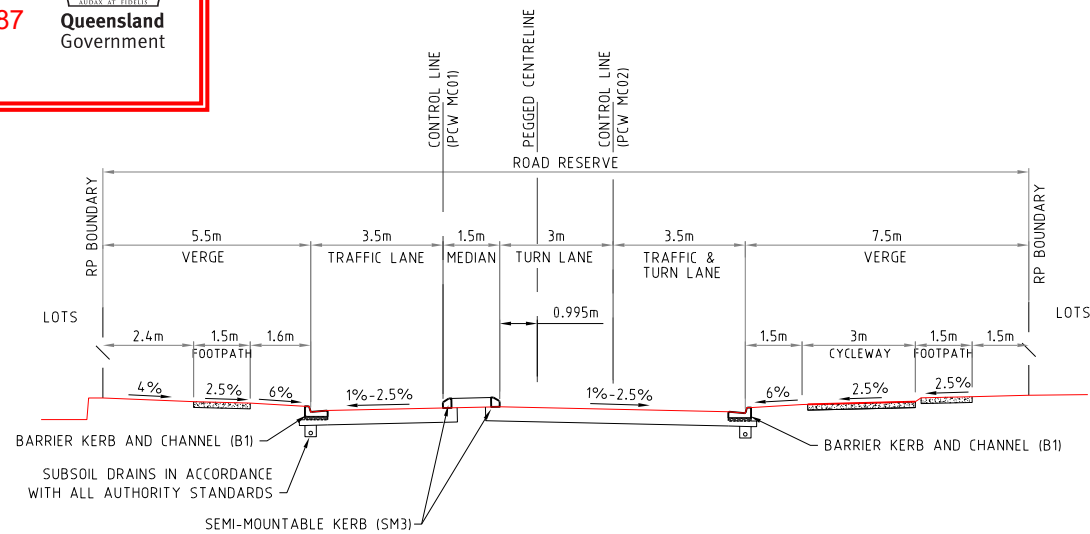
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2026FLA4387
Date: 13 April 2026



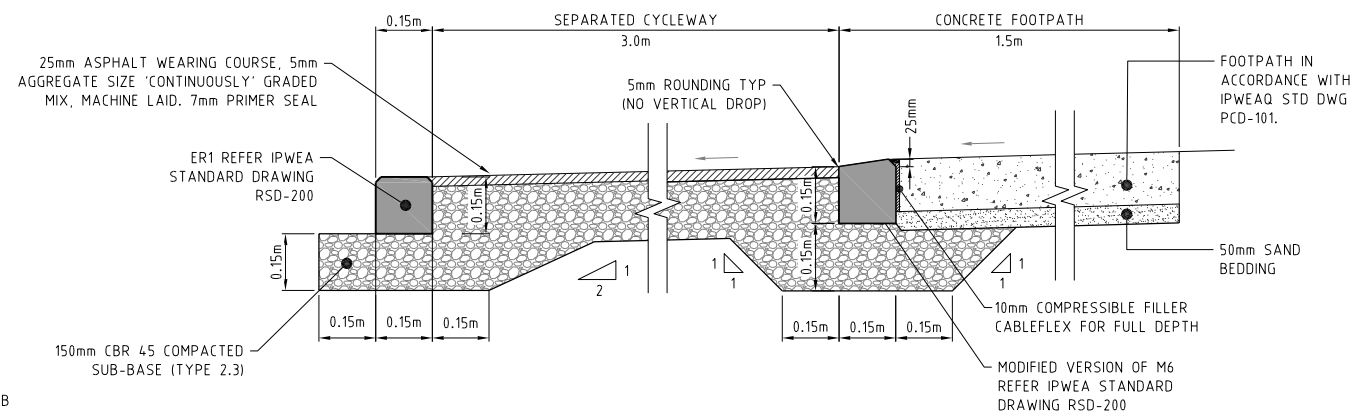
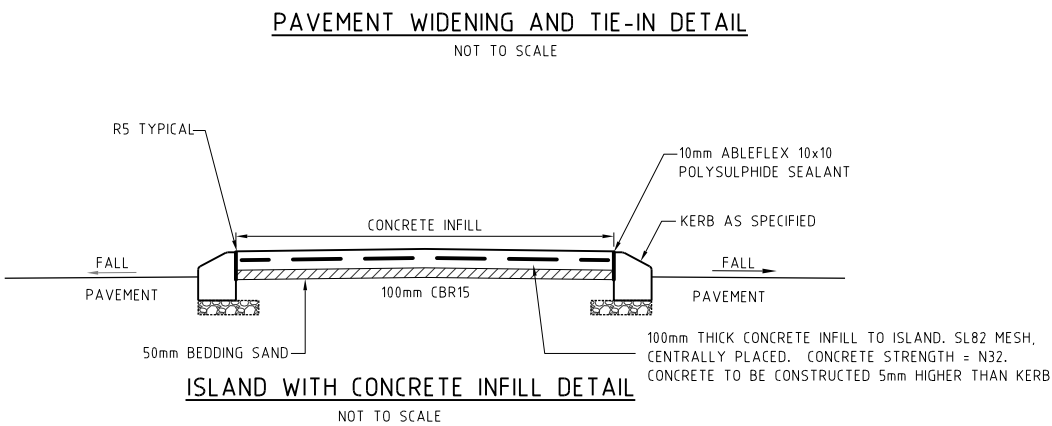
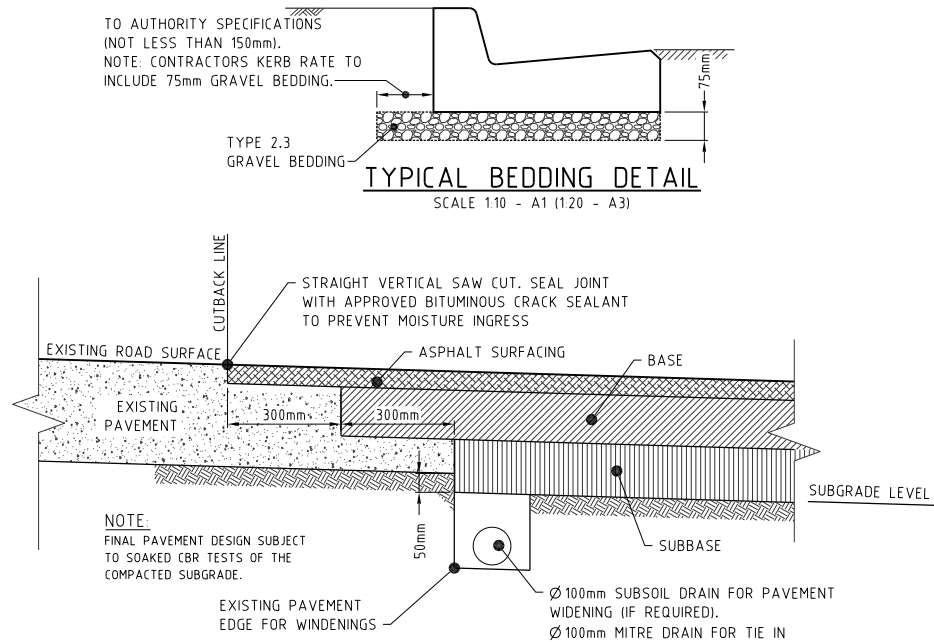
TYPICAL SECTION A-A
PEBBLE CREEK WAY (NORTH OF INTERSECTION)

SCALE 150 - A1 (1:100 - A3)



TYPICAL SECTION B-B
PEBBLE CREEK WAY (SOUTH OF INTERSECTION)

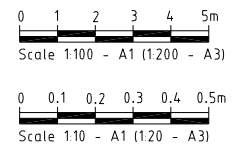
SCALE 150 - A1 (1:100 - A3)



FOOTPATH AND SEPARATED CYCLEWAY DETAIL

SCALE NOT TO SCALE

PROJECT NAME
Flourish
PEBBLE CREEK WAY
INTERSECTION
R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



REV	DATE	DESCRIPTION	INT
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ASSOCIATED CONSULTANTS

DRAWING TITLE

ROADWORKS
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37502-INT-120			A

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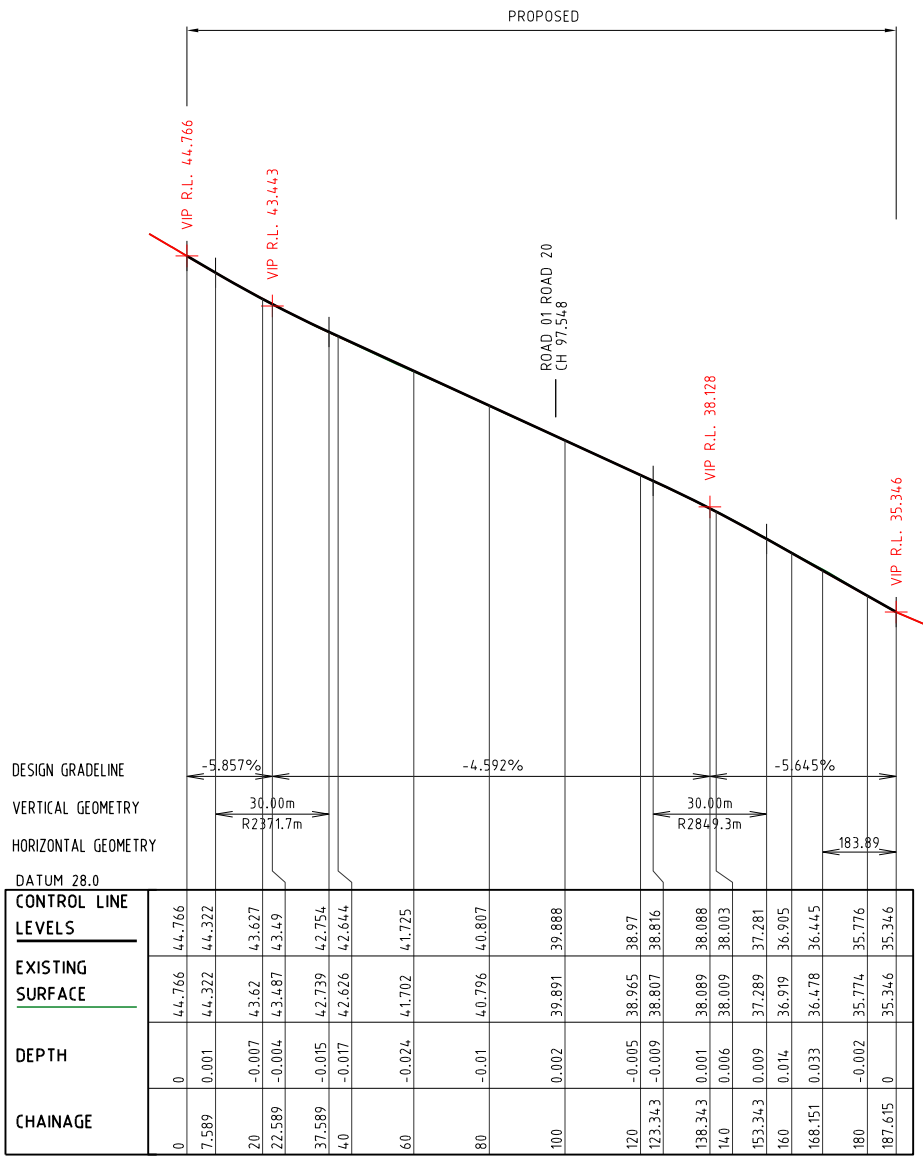
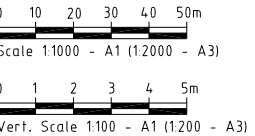
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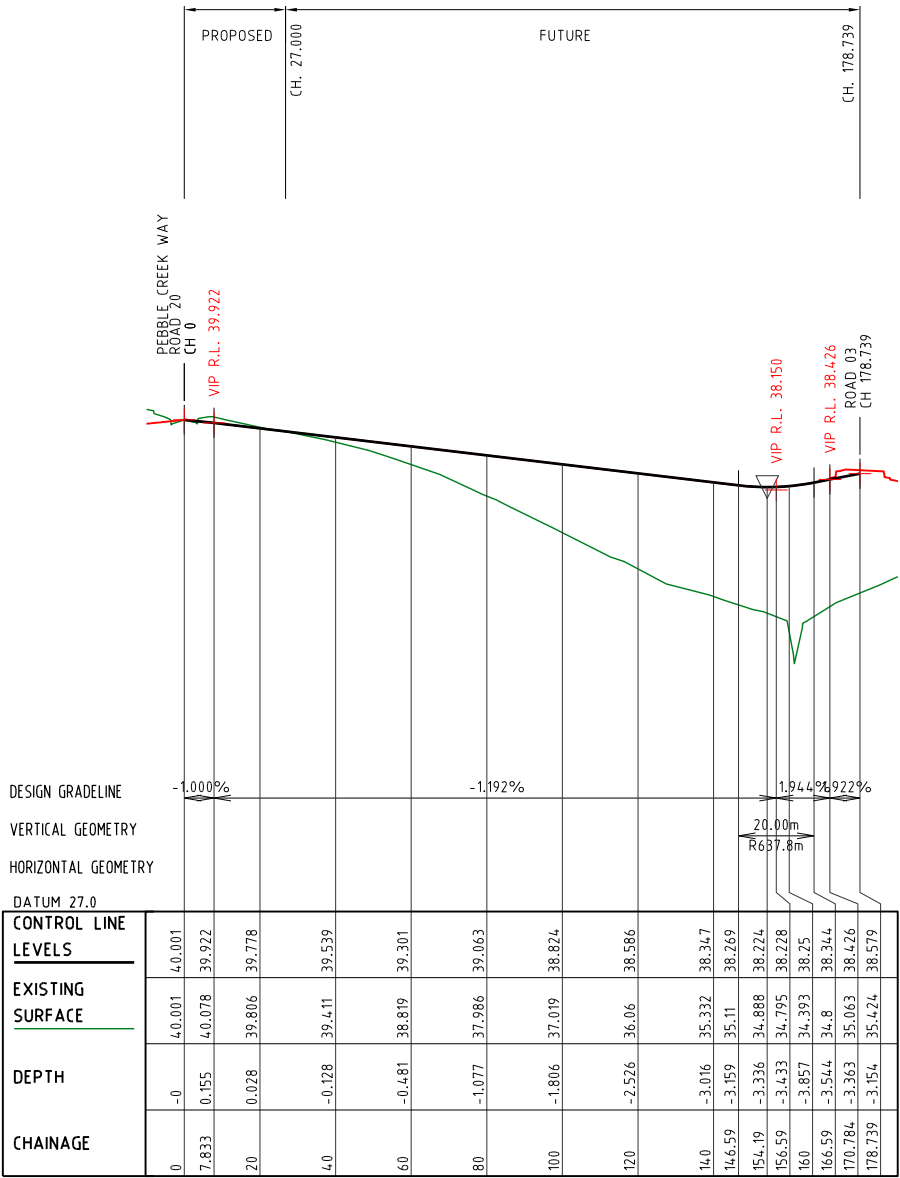


PROJECT NAME
Flourish
PEBBLE CREEK WAY
INTERSECTION
R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



LONGITUDINAL SECTION PEBBLE CREEK WAY

VERT SCALE 1:100
HOR SCALE 1:1000



LONGITUDINAL SECTION ROAD 01

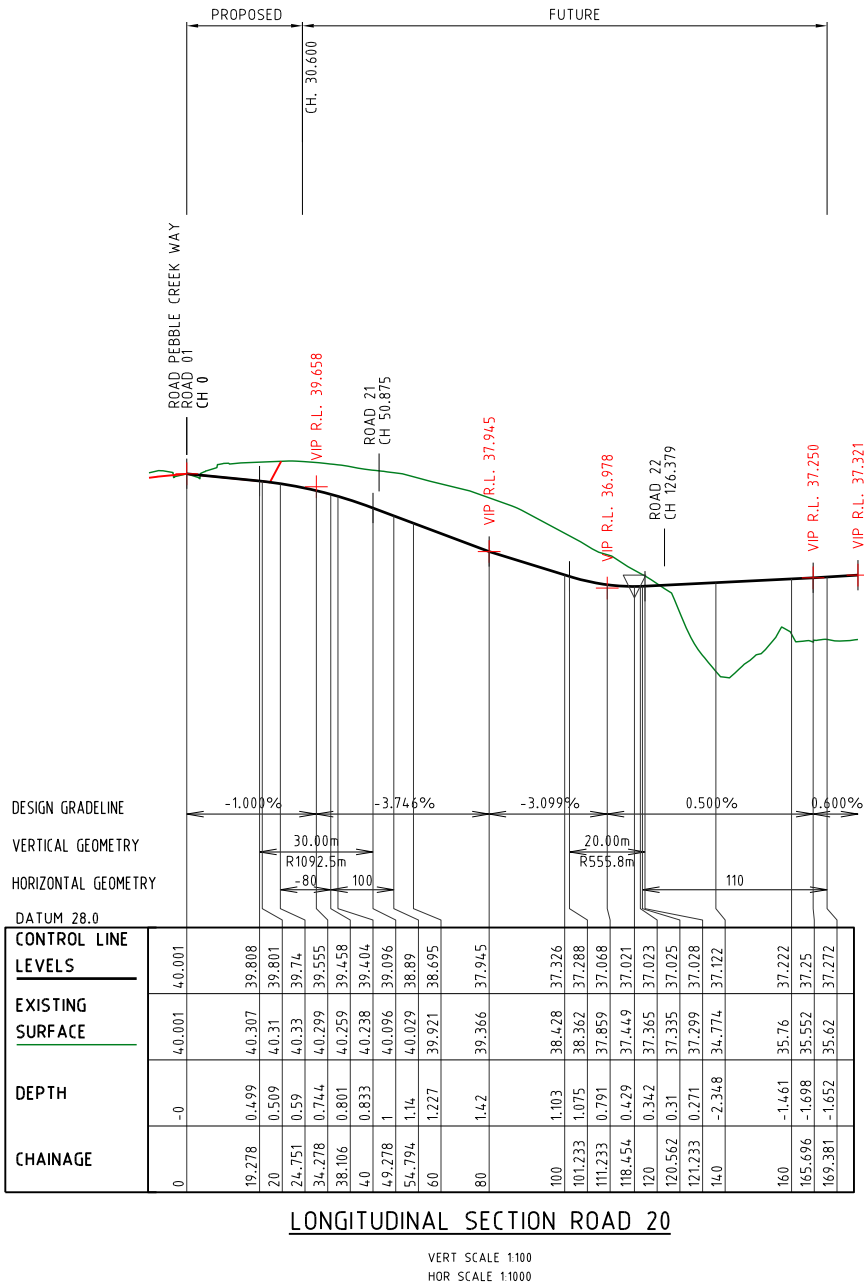
VERT SCALE 1:100
HOR SCALE 1:1000

DRAWING TITLE
LONGITUDINAL SECTIONS
PEBBLE CREEK WAY
& CENTENARY DR (01)

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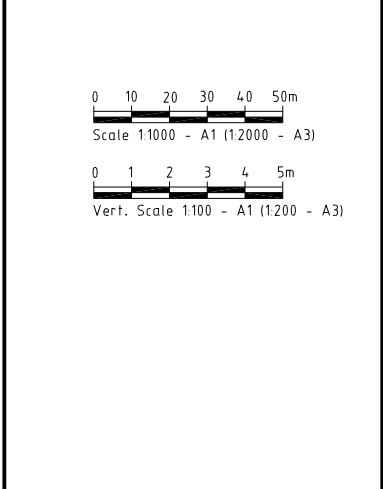
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PROJECT NAME
Flourish
PEBBLE CREEK WAY
INTERSECTION
R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



REV	DATE	DESCRIPTION	INT
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DRAWING TITLE

LONGITUDINAL SECTIONS
ROAD 20

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37502-INT-201			A

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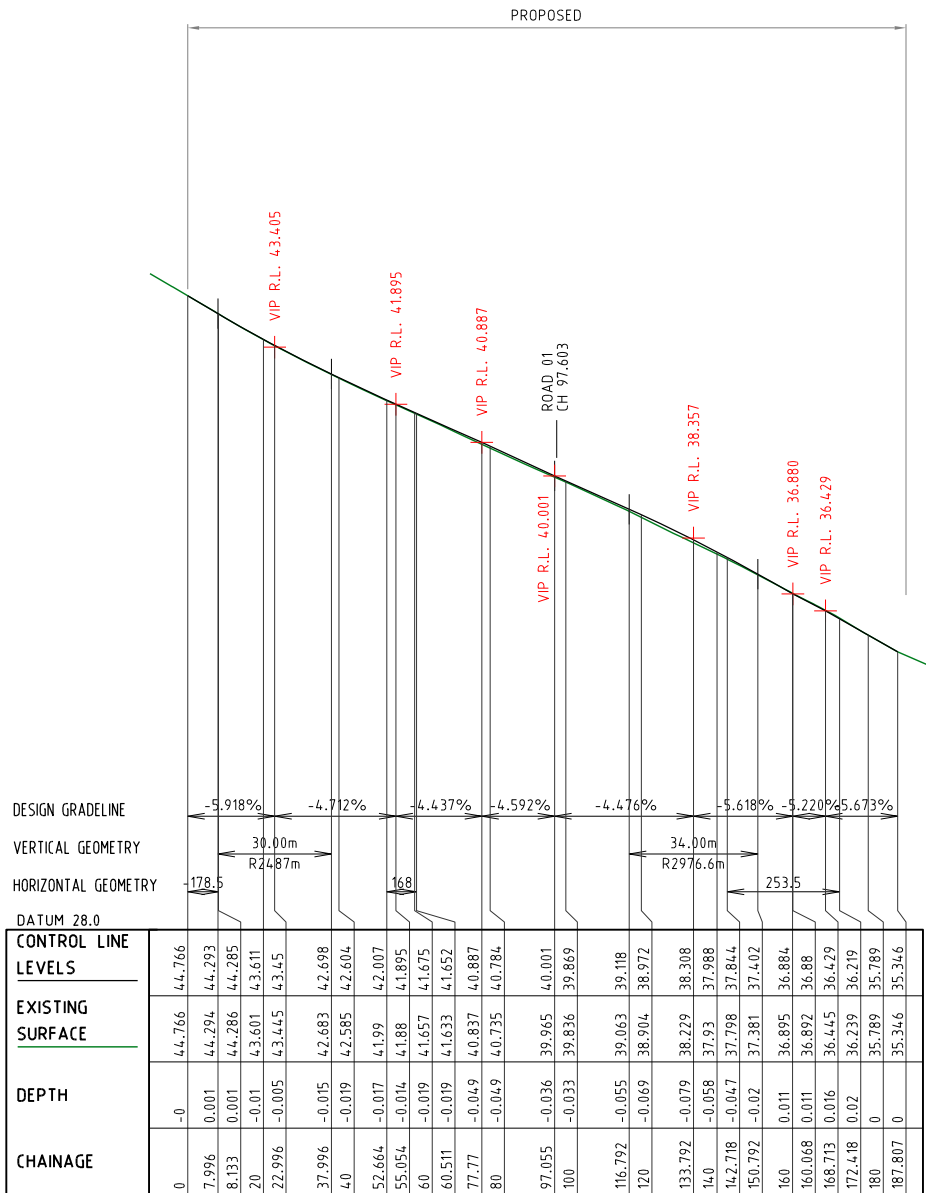
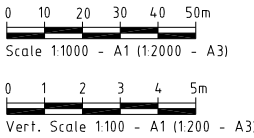
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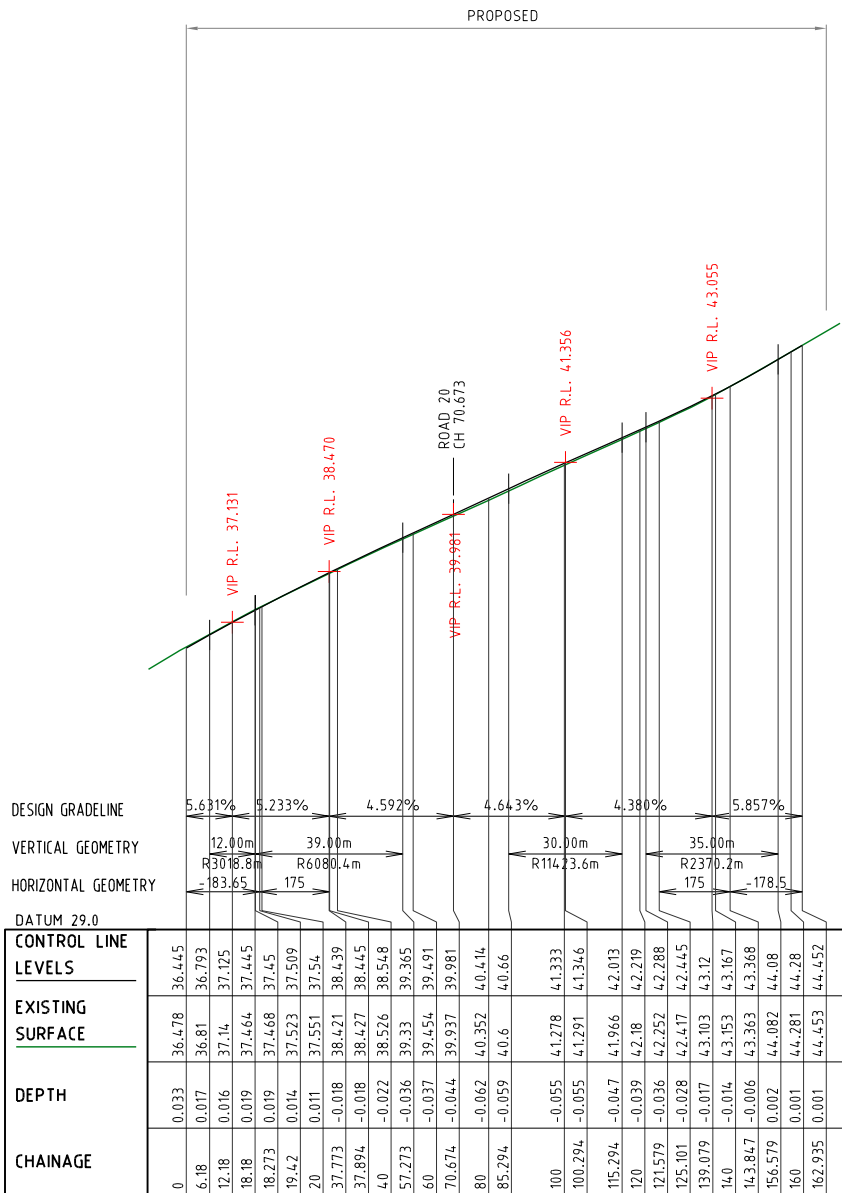


PROJECT NAME
Flourish
PEBBLE CREEK WAY
INTERSECTION
R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



LONGITUDINAL SECTION CONTROL LINE PCW MC01

VERT SCALE 1:100
HOR SCALE 1:1000



LONGITUDINAL SECTION CONTROL LINE PCW MC02

VERT SCALE 1:100
HOR SCALE 1:1000

REV	DATE	DESCRIPTION	INT
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DRAWING TITLE

LONGITUDINAL SECTIONS
CONTROL PCW MC01
CONTROL PCW MC02



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APPROVED	<i>[Signature]</i>	RPEQ20300	DATE 02-02-26

DRAWING NUMBER
37502-INT-202

REV
A

LEGEND

	EXISTING KERB (INVERT)
	EXISTING KERB (LIP & BACK)
	EXISTING FOOTPATH
	EXISTING PROPERTY LINE
	EXISTING CONTOURS
	FUTURE KERB
	FUTURE FOOTPATH
	FUTURE PROPERTY LINE
	FUTURE CONTOURS
	CONTROL LINE / CENTER OF ROAD
	PROPOSED KERB (INVERT)
	PROPOSED KERB (LIP & BACK)
	PROPOSED FOOTPATH
	PROPOSED PROPERTY LINE
	DESIGN CONTOURS
	PROPOSED CONCRETE

24.0 - 41.065 INTERSECTION CHAINAGE & LEVEL

B1	BARRIER KERB & CHANNEL
SM3	SEMI-MOUNTABLE KERB

REFER TO DRG. 120 FOR KERB TYPES

NOTES

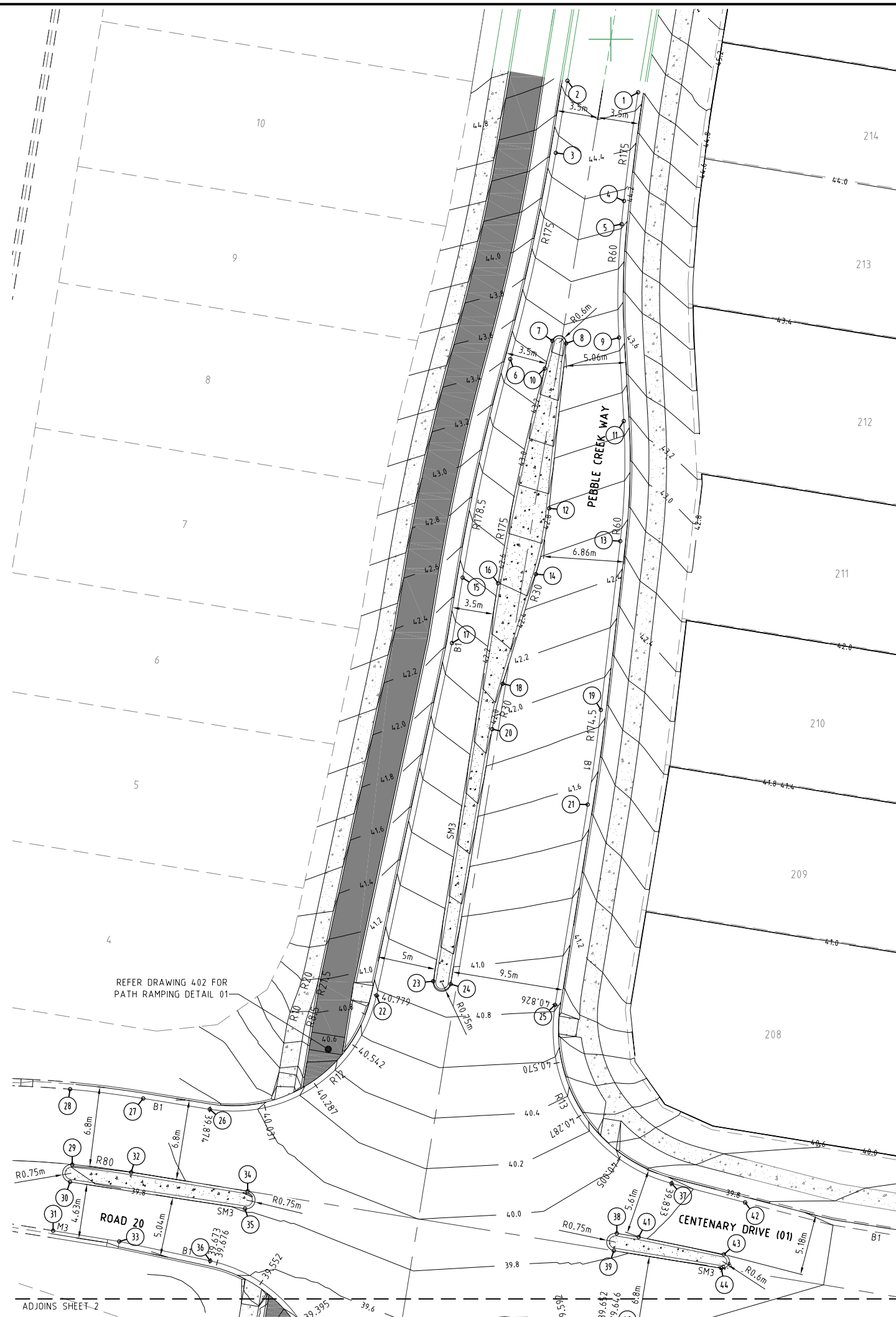
1. SETOUT POINT DENOTES LIP OF KERB WHERE LIP OF KERB, OR FACE OF KERB WHERE NO LIP.
FOR KERB TYPES REFER TO SCHEDULE OF KERB TYPES ON DWG. 120
2. ALL LEVELS ALONG KERB RETURNS ARE SPACED EQUALLY (TYPICALLY QUARTER POINTS).



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026FLA4387

Date: 13 April 2026



PROJECT NAME

Flourish

PEBBLE CREEK WAY
INTERSECTION

R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT



0 2 4 6 8 10m
Scale 1:200 - A1 (1:400 - A3)

REV	DATE	DESCRIPTION	INT
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INTERSECTION
GRADING DETAILS
SHEET 01



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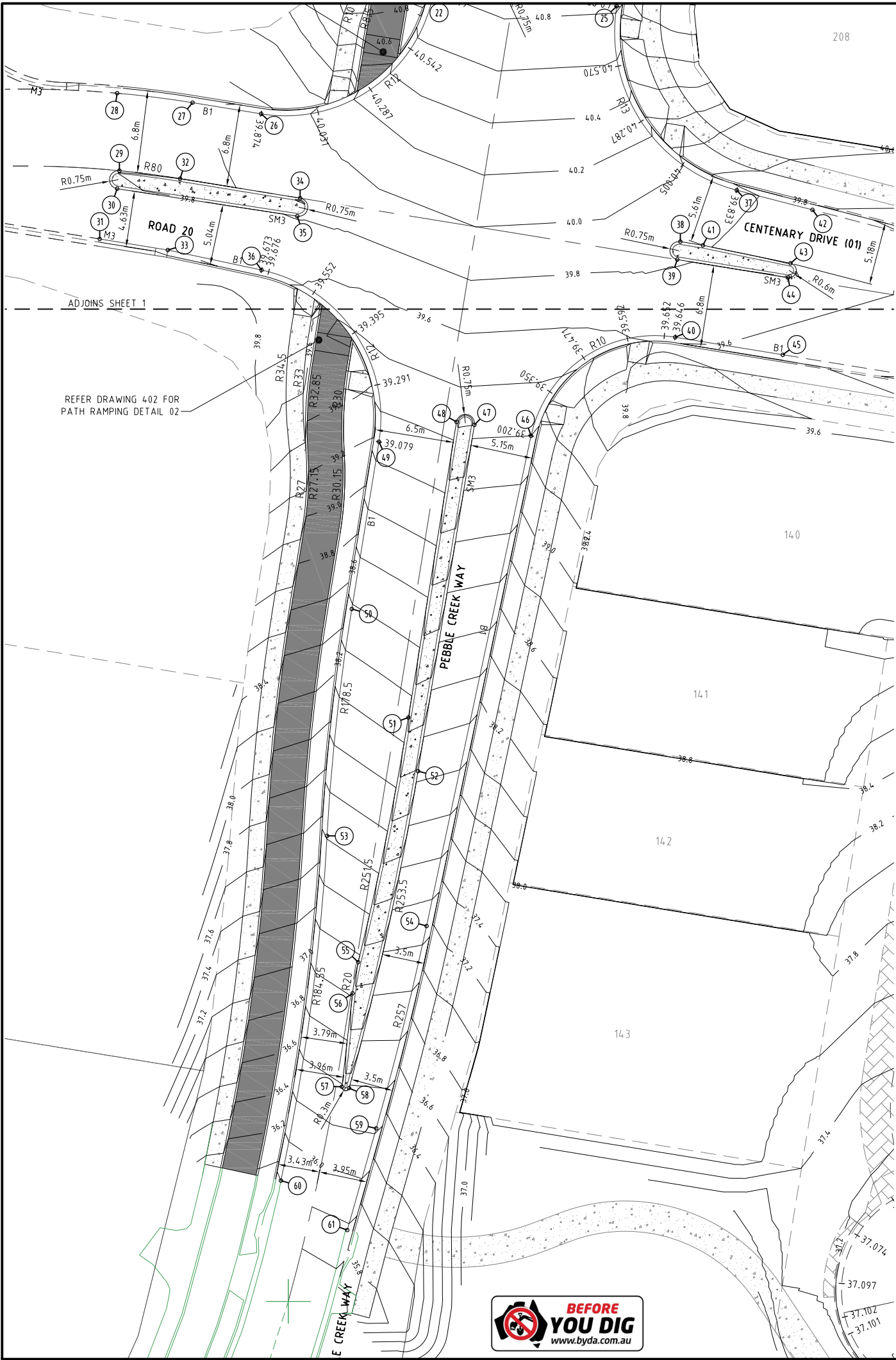
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PT NO	EASTING	NORTHING	LEVEL
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2	7117.802	6145.140	44.664
3	7116.814	6139.014	44.317
4	7122.616	6134.924	44.139
5	7122.413	6132.959	44.022
6	7112.947	6121.482	43.309
7	7116.520	6123.034	43.501
8	7117.697	6122.821	43.509
9	7122.192	6123.306	43.463
10	7115.888	6120.674	43.368
11	7122.597	6116.213	43.067
12	7116.245	6108.793	42.791
13	7122.302	6106.006	42.548
14	7115.119	6103.194	42.534
15	7108.893	6102.901	42.373
16	7111.904	6102.411	42.450
17	7107.987	6097.337	42.115
18	7112.301	6093.879	42.123
19	7120.650	6091.657	41.869
20	7111.405	6090.011	41.947
21	7119.531	6083.605	41.523
22	7101.574	6067.373	40.779
23	7106.396	6068.579	40.916
24	7107.876	6068.338	40.931
25	7116.758	6066.571	40.826
26	7087.399	6057.691	39.874
27	7081.733	6058.614	39.775
28	7075.512	6059.396	39.644
29	7075.699	6053.001	39.652
30	7075.512	6051.513	39.614
31	7074.073	6047.368	39.485
32	7080.712	6052.346	39.740
33	7079.694	6046.452	39.589
34	7090.623	6050.732	39.854
35	7090.388	6049.242	39.807
36	7087.434	6044.803	39.673
37	7126.658	6051.390	39.833
38	7122.004	6047.141	39.838
39	7121.752	6045.663	39.815
40	7121.581	6039.257	39.646
41	7123.867	6046.838	39.812
42	7132.905	6049.771	39.724
43	7131.110	6045.354	39.712
44	7130.893	6044.174	39.705
45	7130.464	6037.810	39.539
46	7109.682	6031.123	39.200
47	7105.005	6032.027	39.254
48	7103.524	6032.268	39.269
49	7097.127	6030.626	39.079
50	7094.881	6016.827	38.380
51	7099.553	6007.873	38.109
52	7100.351	6003.439	37.849
53	7092.842	5998.098	37.414
54	7101.051	5990.657	37.083
55	7095.408	5987.676	36.965
56	7094.946	5985.108	36.816
57	7094.072	5977.392	36.387
58	7094.659	5977.279	36.385
59	7096.899	5973.956	36.224
60	7089.030	5969.647	35.801
61	7094.511	5965.564	35.772

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026FLA4387

Date: 13 April 2026



PROJECT NAME

Flourish

PEBBLE CREEK WAY
INTERSECTION

R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH

0 2 4 6 8 10m
Scale 1:200 - A1 (1:400 - A3)

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INTERSECTION
GRADING DETAILS
SHEET 02

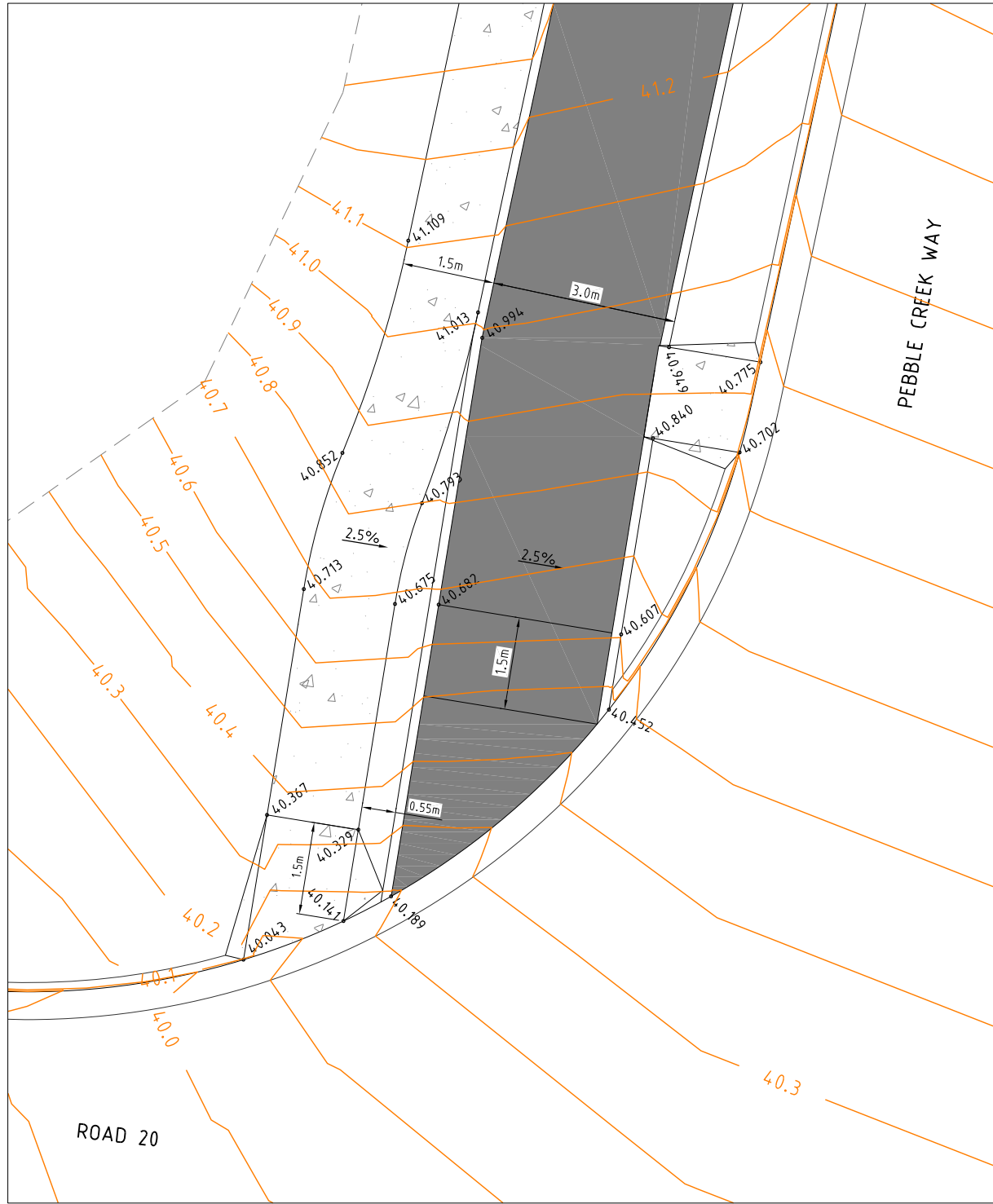
MORTONS
urbansolutions
Civil Engineering
Project Coordination

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PATH RAMPING DETAIL 01



PATH RAMPING DETAIL 02

PLANS AND DOCUMENTS
referred to in the PDA
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PROJECT NAME
Flourish
PEBBLE CREEK WAY
INTERSECTION
R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



0 0.5 1.0 1.5 2.0 2.5m
Scale 1:50 - A1 (1:100 - A3)

REV	DATE	DESCRIPTION	INT
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DRAWING TITLE

INTERSECTION
GRADING DETAILS
SHEET 03



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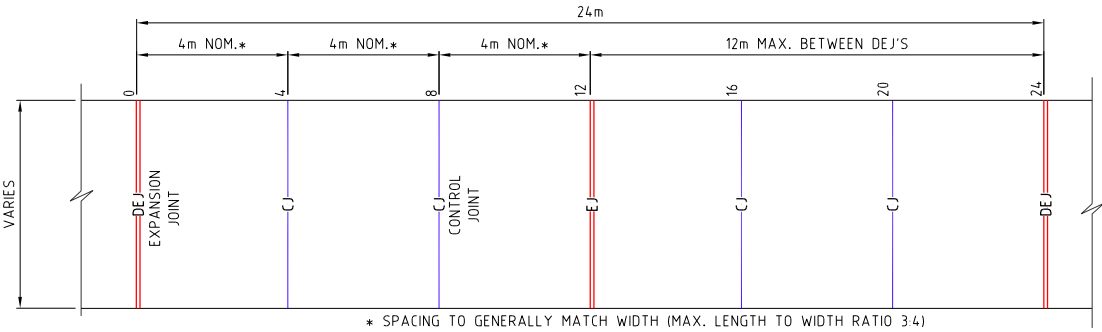
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APPROVED		PEQ20300	DATE 02-02-26

DRAWING NUMBER
37502-INT-402

REV
A

CONCRETE PAVEMENT DRIVEWAY:

1. CONCRETE MIX
THE CONCRETE SHALL HAVE A MINIMUM 28 DAY CHARACTERISTIC COMPRESSIVE STRENGTH AS SPECIFIED IN THE SCHEDULE OF CONCRETE PAVEMENTS TABLE. MAXIMUM WATER/CEMENT RATIO OF 0.45 & A MINIMUM CEMENT CONTENT OF 300kg/m³.
2. SUBGRADE PREPARATION
THE SUBGRADE TO THE CONCRETE PAVEMENT AREAS SHALL BE PREPARED THE SAME AS CONVENTIONAL ROADS. REFER TO SCHEDULE OF CONCRETE PAVEMENTS TABLE.
3. TRAFFIC
TRAFFIC SHALL NOT BE ALLOWED ON THE FINISHED CONCRETE PAVEMENT FOR AT LEAST 14 DAYS AFTER COMPLETION OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING MEASURES TO PREVENT UNAUTHORISED ACCESS.
4. JOINTS
ALL JOINTS SHALL BE LOCATED GENERALLY PERPENDICULAR TO THE CENTRELINE. ALL CONTROL JOINTS TO BE COMPLETED AS SOON AS CONCRETE HAS CURED SUFFICIENTLY SO AS NOT TO DAMAGE THE SLAB SURFACE.
ALL JOINTS ARE TO BE INSTALLED AS DETAILED ON IPWEAQ STD DWG RS-065.
5. GENERAL
THE GRAVEL PAVEMENT SHALL BE NEATLY PROFILED & TRIMMED TO ENSURE CONSTANT CONCRETE DEPTHS & PROFILES. ACTUAL CONSTRUCTION REQUIREMENTS MAY VARY FROM THE DETAILS SHOWN & THEREFORE ALL CONSTRUCTION DETAILS SHOULD BE VERIFIED BY THE SUPERINTENDENT PRIOR TO CONSTRUCTION COMMENCING. PROVIDE ABLEFLEX BETWEEN KERB & DRIVEWAY.
6. COMPLIANCE STANDARDS
SLIP RESISTANCE OF SURFACE MATERIALS IN ACCORDANCE WITH AUSTRALIAN STANDARDS.
AS/NZS 4586 2013 SLIP RESISTANCE OF NEW PEDESTRIAN SURFACE MATERIALS.
AS/NZS 4663 2013 SLIP RESISTANCE MEASUREMENT OF EXISTING PEDESTRIAN SURFACES
HB A A 197: 1999 "AN INTRODUCTORY GUIDE TO THE SLIP RESISTANCE OF PEDESTRIAN SURFACE MATERIALS"



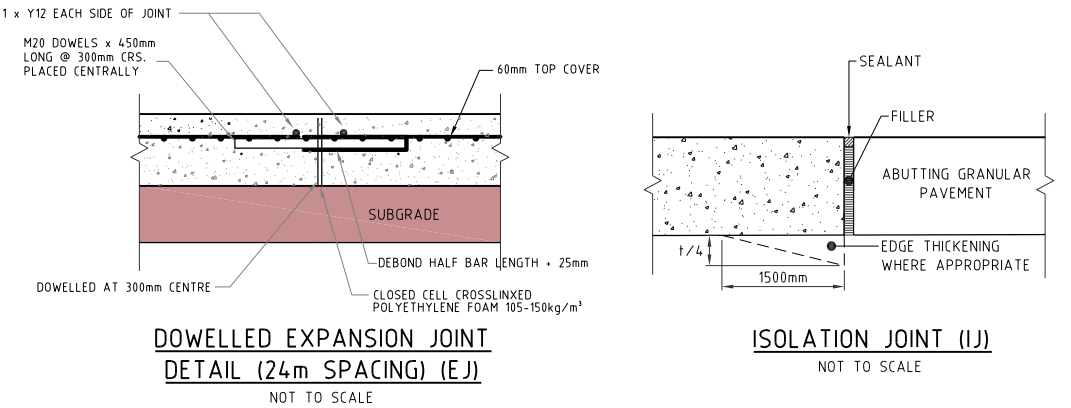
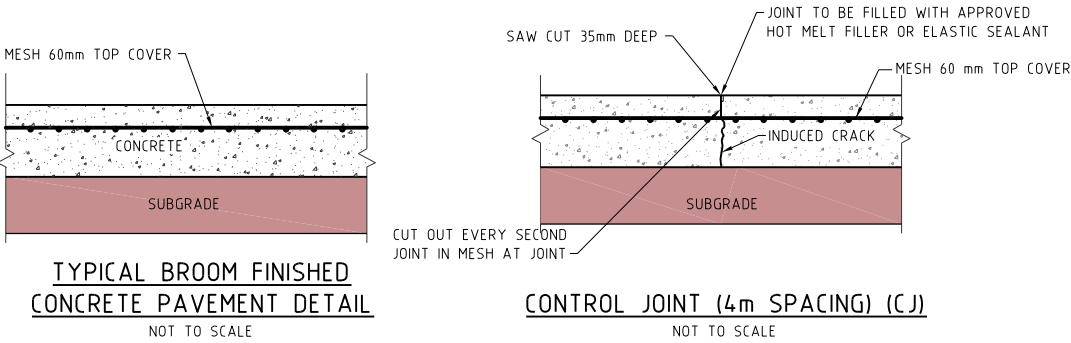
TYPICAL CONCRETE PAVEMENT DETAIL FOR DRIVEWAYS AND ROADS
SCALE 1:50 - A1 (1:100 - A3)

SCHEDULE OF CONCRETE PAVEMENTS					
FUNCTION	SURFACING	SUBGRADE PREPARATION	THICKNESS 'T'	STRENGTH	REINFORCING
FOOTPATHS	HEAVY BROOM FINISH	50mm SAND BLINDING LAYER	100mm	32 mPa	SL 72 MESH
CONCRETE ISLAND INFILLS	CONCRETE TO BE HYMIX EXPOSED AGGREGATE. AGGREGATE MOONLIGHT IN PLAN GREY CONCRETE.	50mm SAND BLINDING LAYER OR 100mm (CBR 15)	100mm	32 mPa	SL 82 MESH

NOTE: FOOTPATH JOINTING TO BE IN ACCORDANCE WITH IPWEAQ DWG RS-065
SUPERINTENDENT TO CONFIRM SUBGRADE PREPARATION



- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING KERB
 - FUTURE KERB
 - FUTURE PROPERTY LINE
 - PROPERTY LINE
 - FACE OF KERB, FOOTPATHS
 - LIP AND BACK OF KERB
 - CONTROL LINE / CENTER OF ROAD
 - EJ EXPANSION JOINT
 - DEJ DOWELED EXPANSION JOINT
 - IJ ISOLATION JOINT
 - SJ SAW JOINT
 - CJ CONTROL JOINT
 - KJ KEY JOINT
 - 2xN12 BARS AROUND PENETRATIONS TYP.

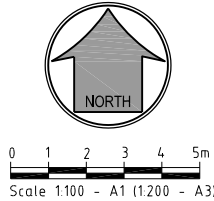


PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026FLA4387
Date: 13 April 2026



PROJECT NAME
Flourish
PEBBLE CREEK WAY
INTERSECTION
R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



REV	DATE	DESCRIPTION	INT
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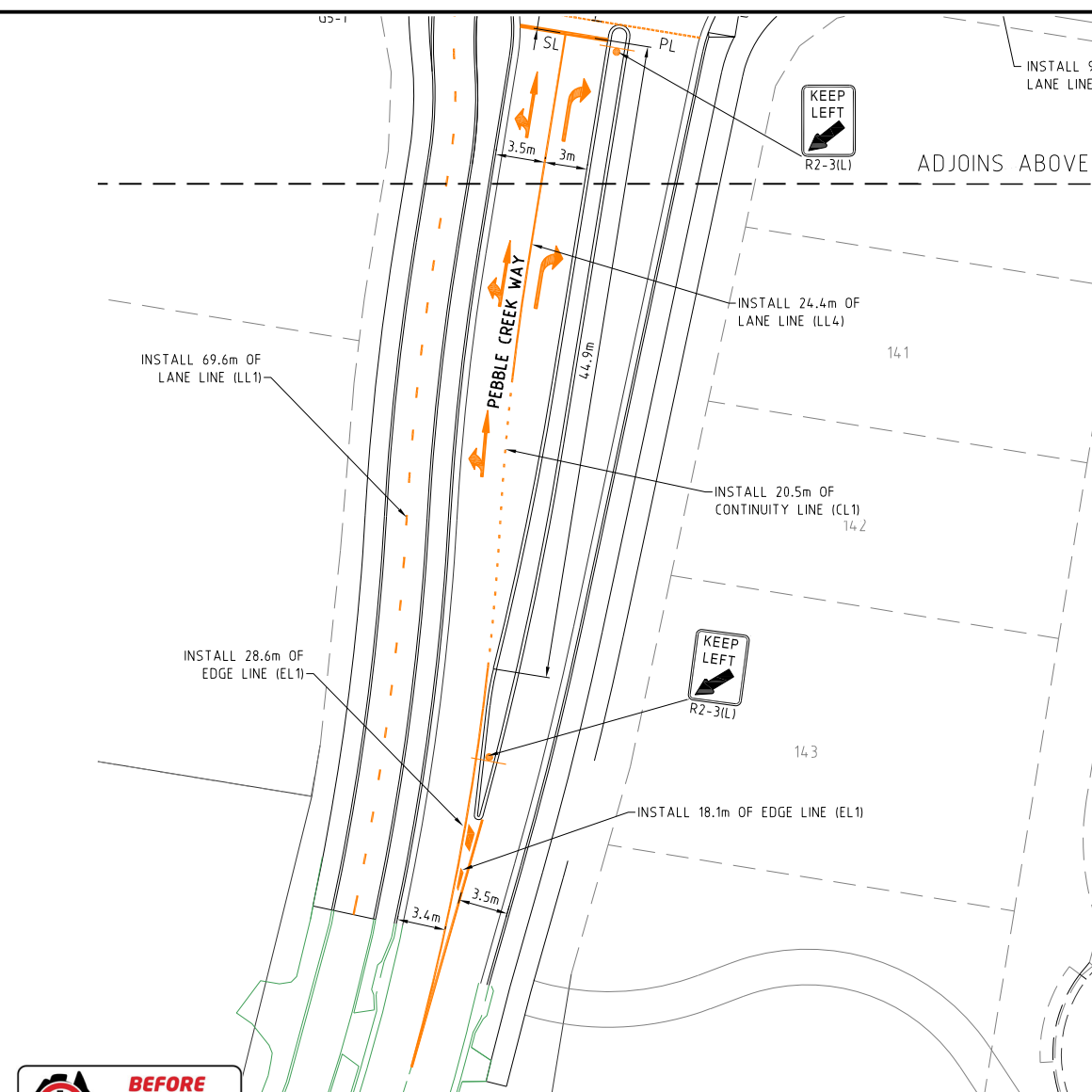
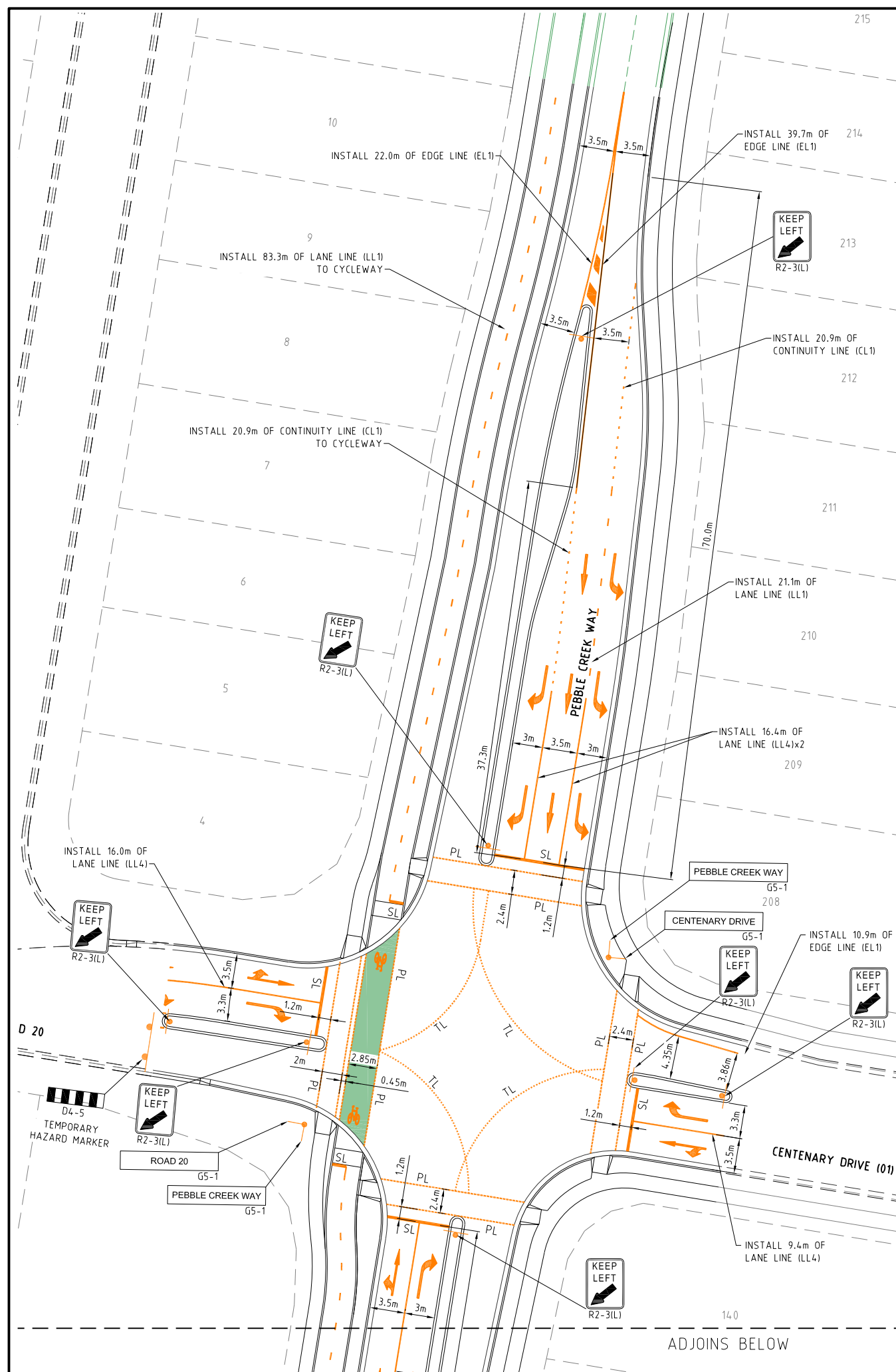
ASSOCIATED CONSULTANTS

DRAWING TITLE

CONCRETE
JOINTING PLAN
AND DETAILS

MORTONS
urbansolutions
Civil Engineering
Project Coordination
MUS Pty Ltd T/As: Mortons-Urban Solutions
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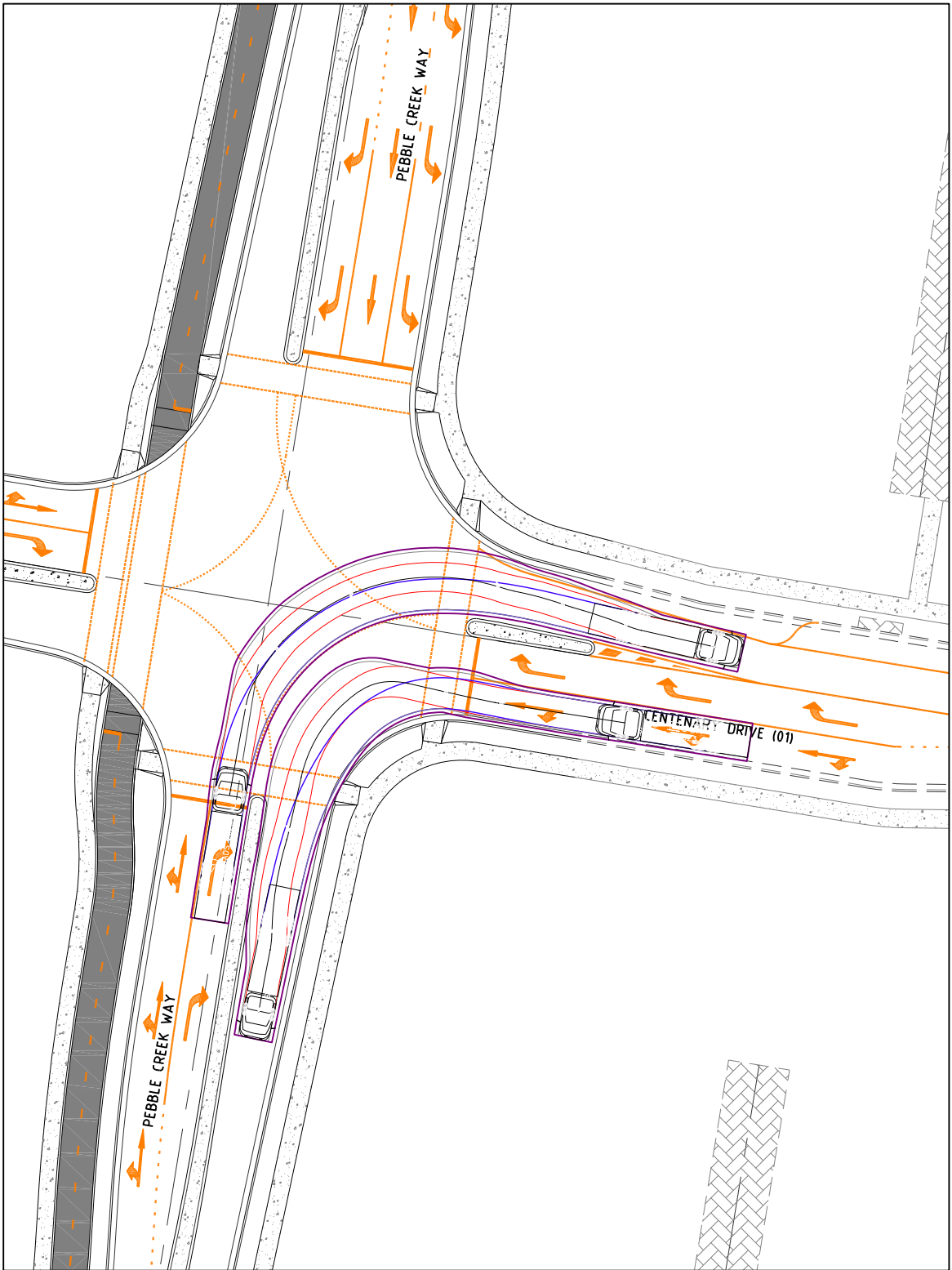
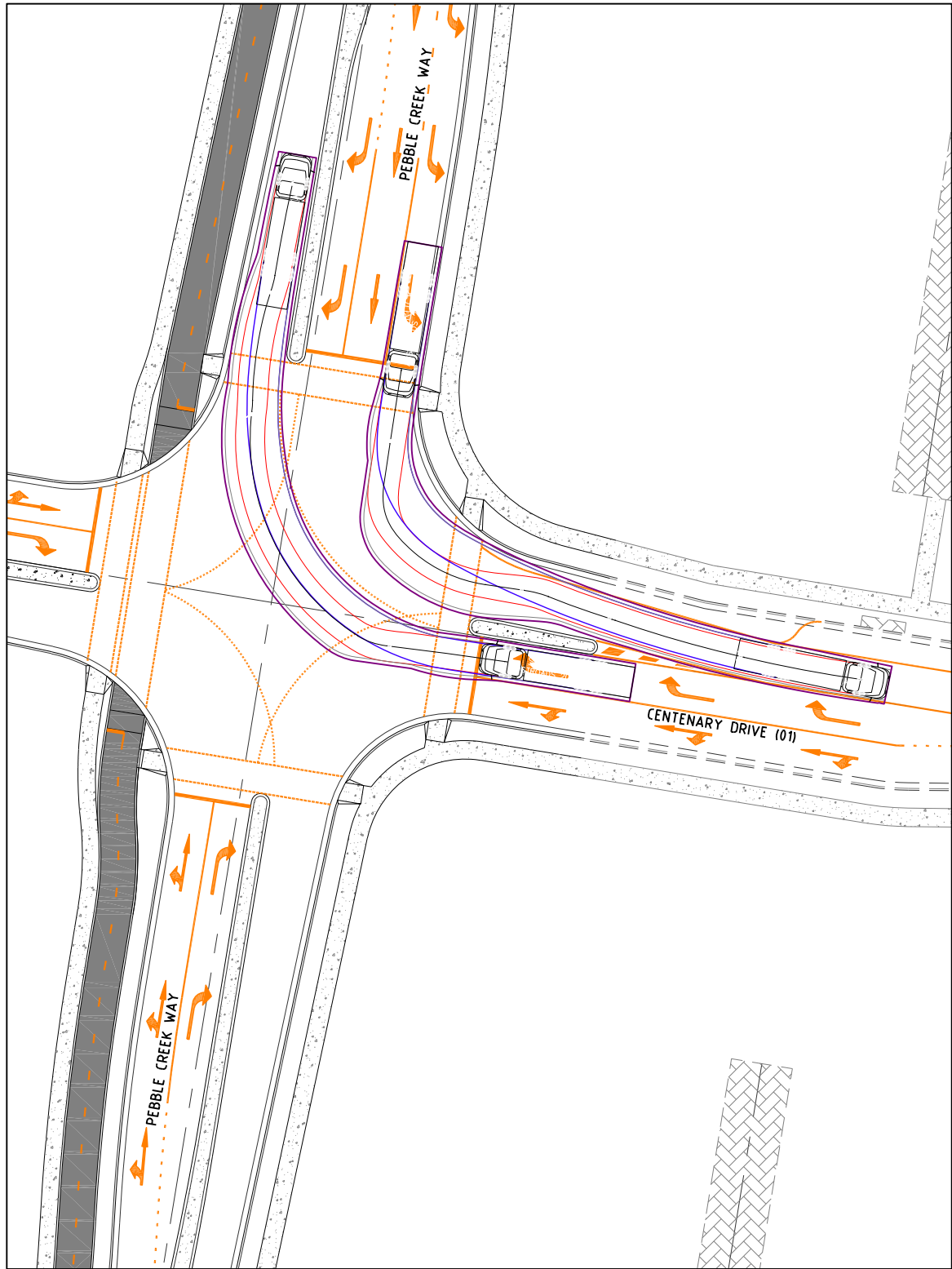
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APPROVED	<i>[Signature]</i>	RPEQ20300	DATE 02-02-26
DRAWING NUMBER			REV
37502-INT-410			A



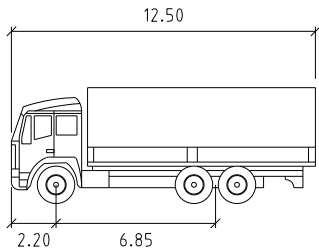
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V

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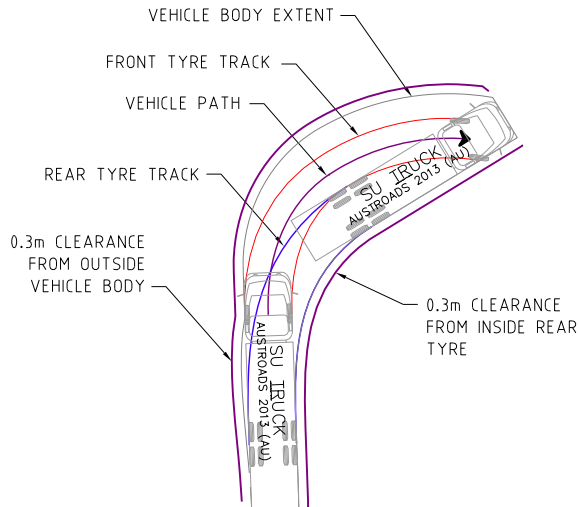


LEGEND



SU TRUCK

	metres
Width	: 12.50
Track	: 6.85
Lock to Lock Time	: 6.0
Steering Angle	: 36.6

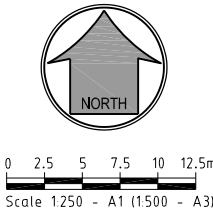


PLANS AND DOCUMENTS
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Approval no: DEV2026FLA4387
Date: 13 April 2026



PROJECT NAME
Flourish
PEBBLE CREEK WAY
INTERSECTION
R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



B	19-03-26	SWEPT PATH & LEGEND UPDATED	RK
A	09-03-26	COUNCIL ISSUE	RK
REV	DATE	DESCRIPTION	INT

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ASSOCIATED CONSULTANTS

DRAWING TITLE

SWEPT PATH
PLAN 1
SHEET 01



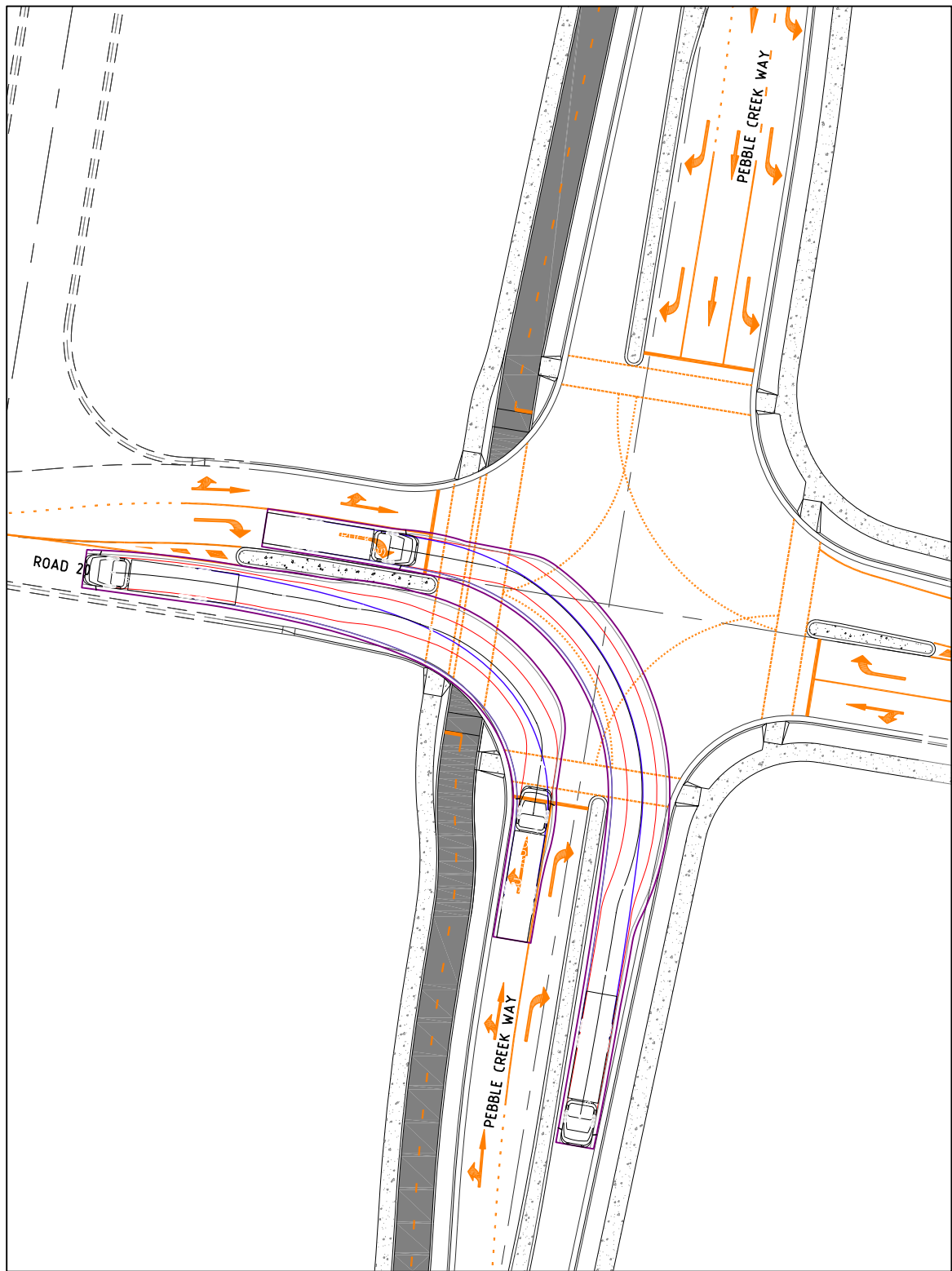
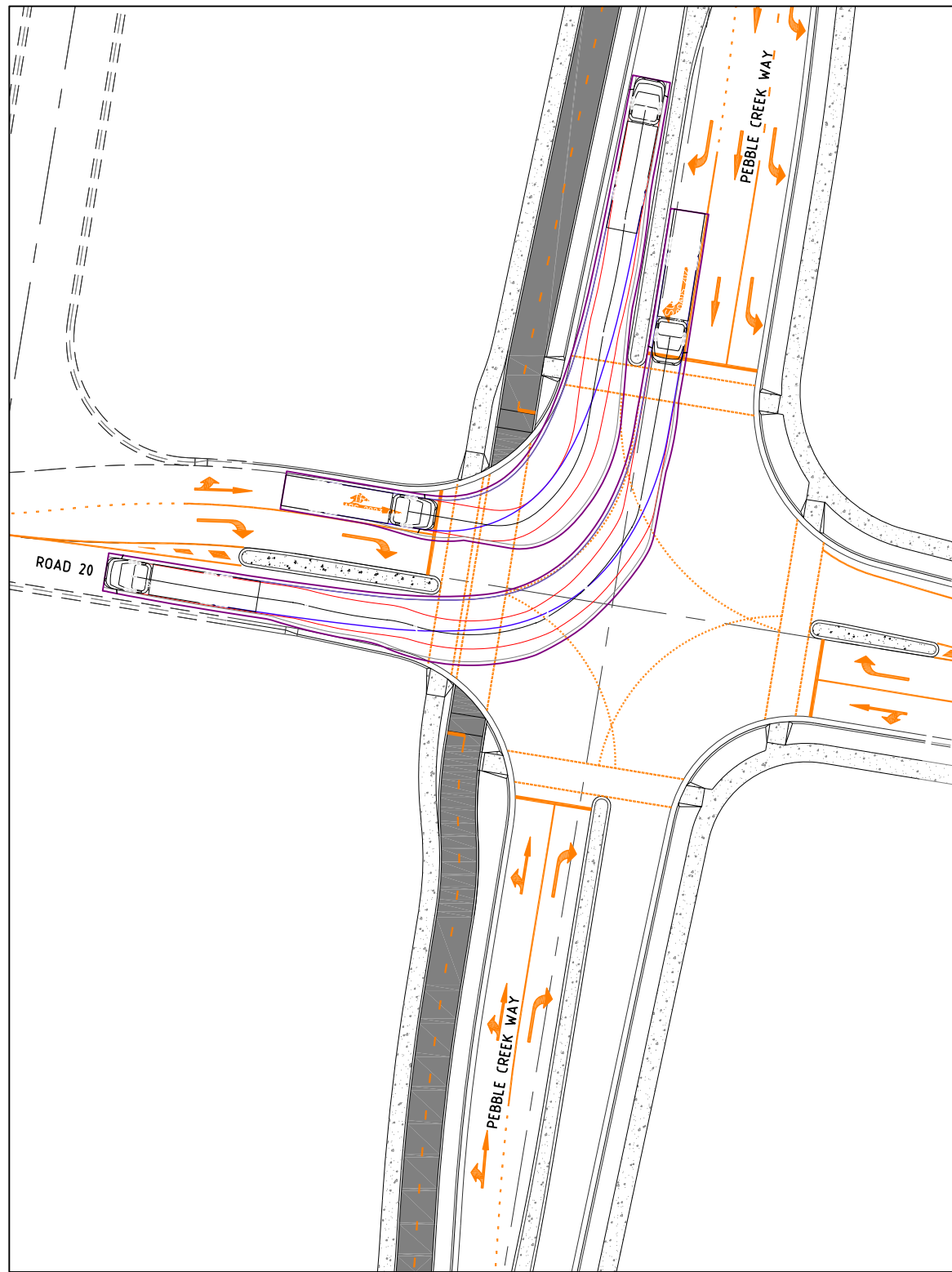
MUS Pty Ltd T/As:
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mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel: 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

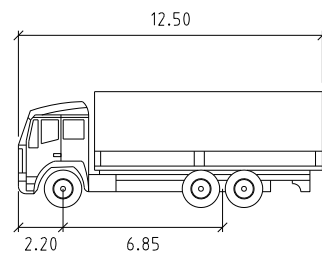
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Suite 9, 19 Short St
Southport QLD 4215

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APPROVED		RPEQ20300	DATE 02-02-26
DRAWING NUMBER	37502-INT-440		
REV	B		

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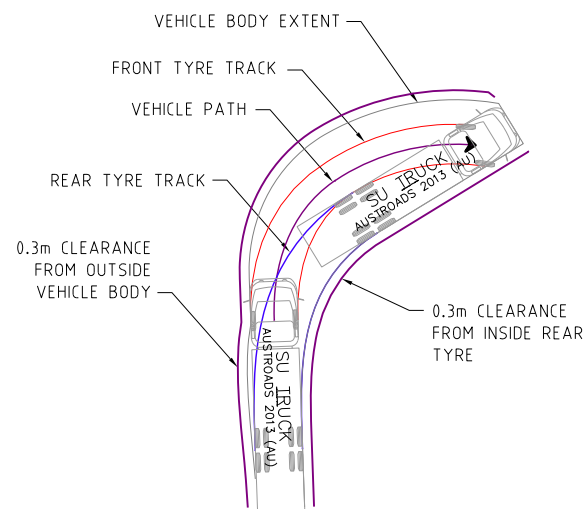


LEGEND



SU TRUCK

	metres
Width	2.50
Track	2.50
Lock to Lock Time	6.0
Steering Angle	36.6



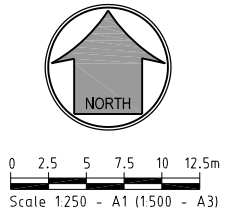
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Approval no: DEV2026FLA4387

Date: 13 April 2026



PROJECT NAME
Flourish
PEBBLE CREEK WAY
INTERSECTION
R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



REV	DATE	DESCRIPTION	INT
B	19-03-26	SWEPT PATH & LEGEND UPDATED	RK
A	09-03-26	COUNCIL ISSUE	RK

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ASSOCIATED CONSULTANTS

DRAWING TITLE

SWEPT PATH
PLAN 2
SHEET 02

MORTONS
urbansolutions
Civil Engineering
Project Coordination

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Southport QLD 4215

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Southport QLD 4215

DESIGNED GW	DRAWN RK
APPROVED <i>[Signature]</i>	DATE 02-02-26

DRAWING NUMBER	REV
37502-INT-441	B

STORMWATER

1. ALL FIELD GULLIES SHALL CONTAIN A 150mm DIA STUB 600mm BELOW GRADE LEVEL FOR FUTURE ROOFWATER DRAINAGE.
2. MANHOLES TO BE IN ACCORDANCE WITH IPWEAQ STANDARD DRAWING No DSD-101 TO DSD-102 OR STRUCTURAL DRAWINGS (STRUCTURAL DRAWINGS TAKE PRECEDENCE).
3. OUTLET HEADWALLS TO BE IN ACCORDANCE WITH LOCAL COUNCIL STANDARD DRAWINGS.
4. ALL HEADWALLS WITH A FALL GREATER THAN 900mm HIGH REQUIRE INSTALLATION OF PEDESTRIAN SAFETY FENCES.
5. PIPE JOINT TYPES TO BE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.
6. ALL ALLOTMENTS TO BE GRADED SUCH THAT FUTURE ROOFWATER DRAINAGE DISCHARGES TO KERB OR TO PIPED DRAINAGE SYSTEM.
7. ALL PIPE 300mm DIA & GREATER SHALL BE CONSTRUCTED USING SRC OR FRC PIPES. CONTRACTOR MAY ELECT TO USE PVC PIPES WITHIN ALLOTMENTS FOR PIPES SMALLER THAN 300mm DIA.
8. FOR SETOUT DETAILS REFER TO 620 AND 650 SERIES DRAWINGS (PROFILES & PIT DETAILS).
9. GULLY PITS TO BE IN ACCORDANCE WITH IPWEAQ STANDARD DRAWING No DSD-403, DSD-405 AND DSD-406.
10. LOTS WHICH CAN DRAIN OVERLAND FLOW TO THE STREET SWALE / DRAINAGE WITHOUT FLOWING THROUGH ADJOINING PROPERTIES NEED TO PROVIDE FOR Q100 OVERLAND FLOW TO THE ROAD.
11. LOT EARTHWORKS DURING BUILDING CONSTRUCTION MUST NOT CHANGE FLOW PATH DIRECTION UNLESS IT IS REPLACED WITH ANOTHER FLOW PATH DRAINING TO THE ROAD SWALE / DRAINAGE.
12. THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR STORMWATER RATE.
13. PIPE CLASS - PIPE CLASSES/TRENCH BEDDING SHOWN ON THE DRAWINGS ARE SUBJECT TO THE CONTRACTORS PREFERRED INSTALLATION METHOD. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE APPROPRIATE PIPE CLASSES & BEDDING, & CONSIDERING CONSTRUCTION LOADING.
14. ALL STORMWATER PITS ARE TO BE BENCHED TO ALLOW FREE DRAINING FLOW.
15. ALL PIPES TO BE LAID IN ACCORDANCE WITH LOCAL AUTHORITY STANDARDS.

LEGEND

- EXISTING KERB (INVERT)
- EXISTING KERB (LIP & BACK)
- EXISTING PROPERTY LINE
- EXISTING SUBSOIL
- EXISTING CONTOURS
- FUTURE KERB
- FUTURE PROPERTY LINE
- FUTURE RETAINING WALL
- FUTURE SUBSOIL
- EXISTING CONTOURS
- CONTROL LINE / CENTER OF ROAD
- PROPOSED KERB (INVERT)
- PROPOSED KERB (LIP & BACK)
- PROPOSED PROPERTY LINE
- DESIGN CONTOURS
- PROPOSED SUBSOIL
- MANHOLE
- FIELD INLET
- KERB INLET (ON GRADE) PIT
- KERB INLET (SAG) PIT
- HEADWALL
- SCOUR PROTECTION
- STORMWATER ID

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026FLA4387

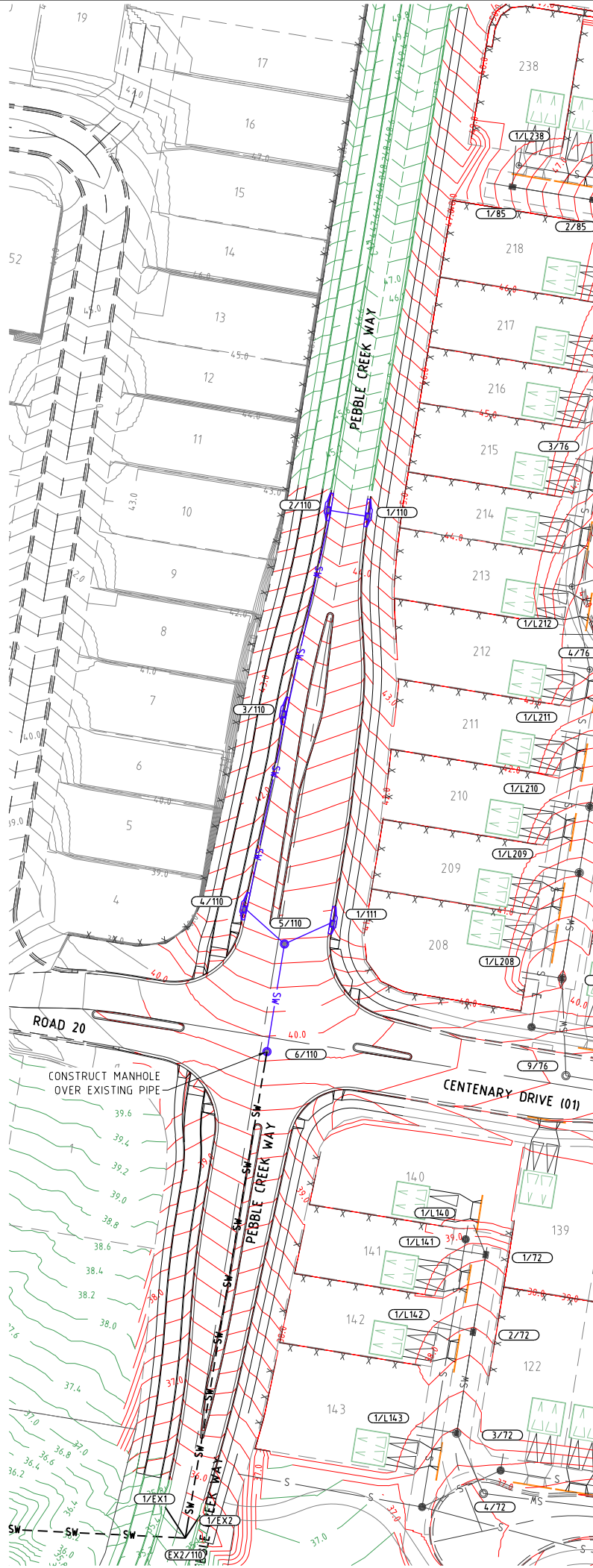
Date: 13 April 2026



REFERENCE POINT LOCATION FOR
DRAINAGE STRUCTURES

STRUCTURE TYPE	HORIZONTAL CONTROL (Reference Point Location)	VERTICAL CONTROL (Reference Level)
MANHOLE / GRATED PIT	CENTRE OF MANHOLE / PIT	FINISHED SURFACE LEVEL
GULLY PIT	LIP AT CENTRE OF PIT	FINISHED SURFACE LEVEL (LIP OF CHANNEL)
HEADWALL	INTERSECTION OF HEADWALL FACE & PIPE CENTRELINE	INVERT LEVEL

REFER TO DWG SERIES 620 FOR ALL DRAINAGE STRUCTURE SETOUT CO-ORDINATES



PROJECT NAME
Flourish
PEBBLE CREEK WAY
INTERSECTION
R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT
CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH
0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

REV	DATE	DESCRIPTION	INT
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ASSOCIATED CONSULTANTS

DRAWING TITLE
STORMWATER DRAINAGE PLAN

MORTONS
urbansolutions
Civil Engineering
Project Coordination
MUS Pty Ltd T/As:
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Southport QLD 4215

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APPROVED	DATE 02-02-26
DRAWING NUMBER	REV
37502-INT-600	A

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STRUCTURE NAME

STRUCTURE DESCRIPTION

NOTES

1. WHERE STRUCTURE DEPTHS ARE 0m TO 3m REFER TO IPWEA STANDARD DRAWINGS FOR STRUCTURE DETAILS.
WHERE STRUCTURE DEPTHS ARE 3m TO 5m REFER TO TMR STANDARD DRAWINGS FOR STRUCTURE DETAILS.
WHERE STRUCTURE DEPTHS EXCEED 5m STRUCTURES ARE NON-STANDARD AND STRUCTURAL DESIGN IS REQUIRED.
2. STRUCTURAL DESIGN IS NOT PROVIDED AS PART OF THE TENDER DOCUMENTS, THE CONTRACTOR SHALL INCLUDE IN THEIR PRICE THE STRUCTURAL DESIGN AND CERTIFICATION OF THESE STRUCTURES.

PIPE GRADE (%)

PIPE DIAMETER (mm)

VELOCITY (m/s)

PIPE FLOW (m3/s)

PIPE CLASS

DATUM R.L.

DEPTH TO INVERT

HYDRAULIC GRADE LINE

PIPE INVERT LEVELS

DESIGN SURFACE LEVELS

EXISTING SURFACE LEVELS

CHAINAGE

DRAINAGE LINE

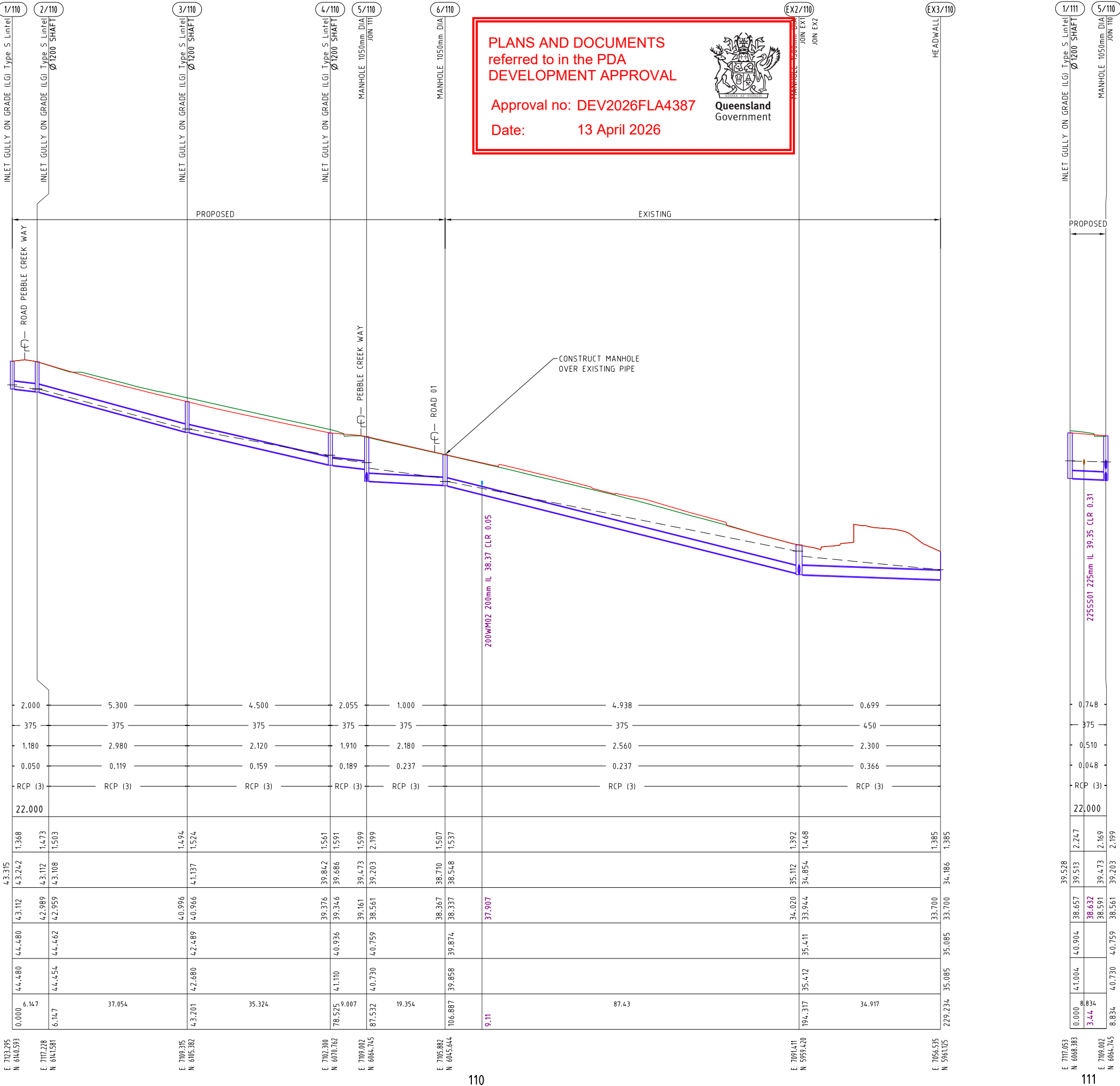
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2026FLA4387

Date: 13 April 2026



Queensland Government



PROJECT NAME

Flourish

PEBBLE CREEK WAY INTERSECTION

R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

0 5 10 15 20 25m

Horiz. Scale 1:500 - A1 (1:1000 - A3)

0 1 2 3 4 5m

Vert. Scale 1:100 - A1 (1:200 - A3)

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ASSOCIATED CONSULTANTS

DRAWING TITLE

STORMWATER PROFILE SHEET 01

MORTONS urban solutions
Civil Engineering Project Coordination

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Tel: 07 5571 1099

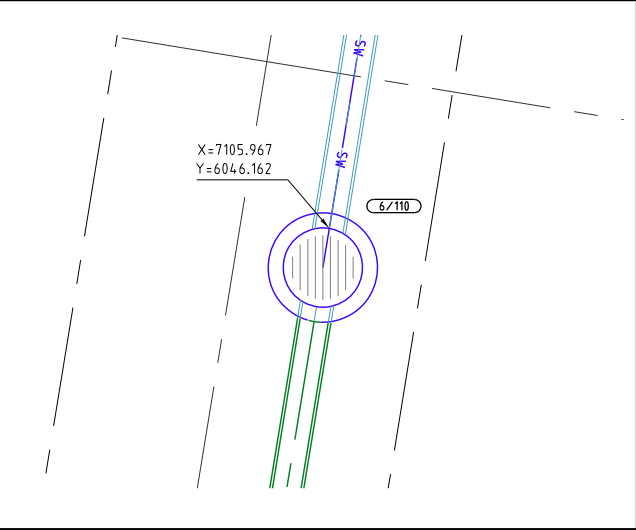
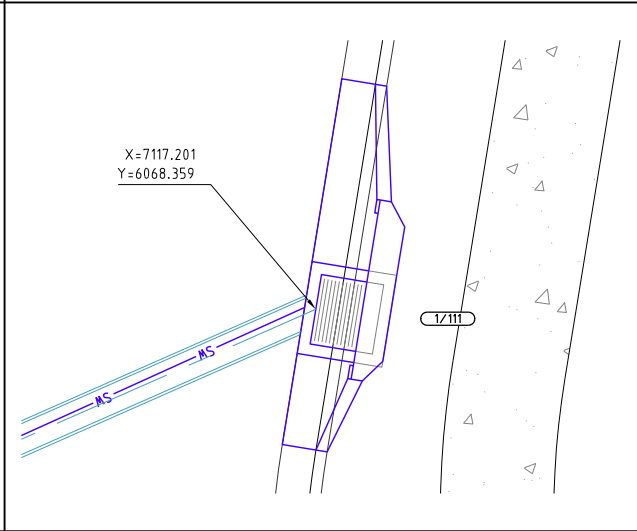
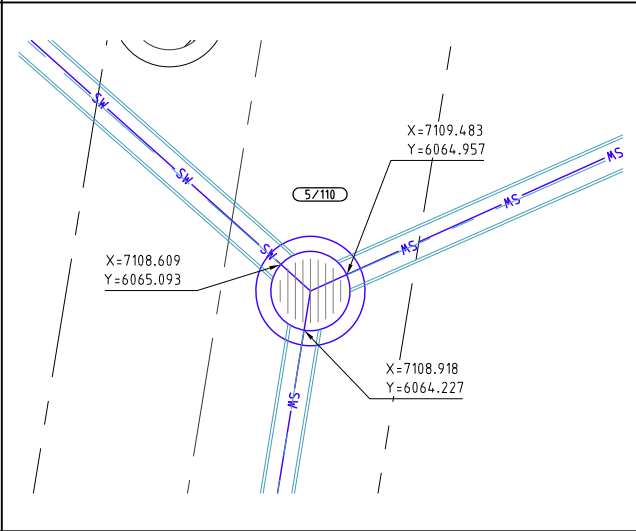
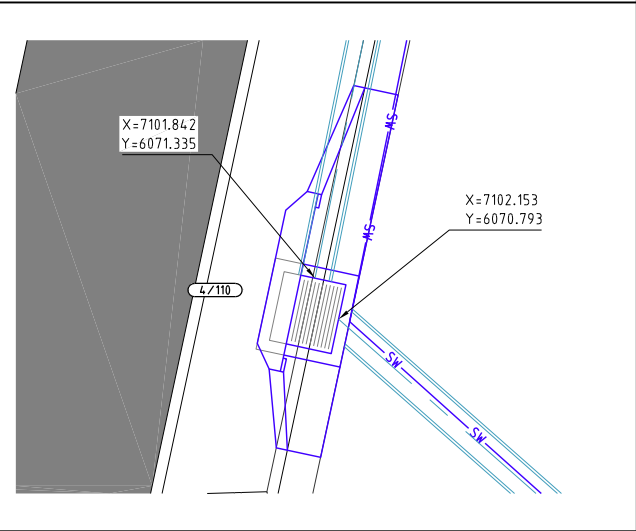
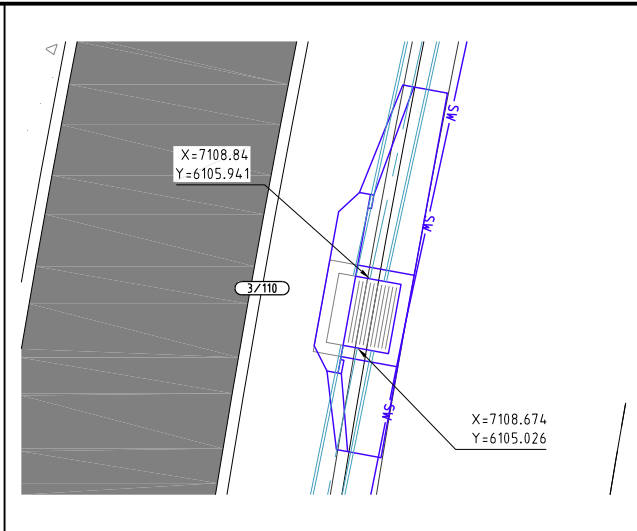
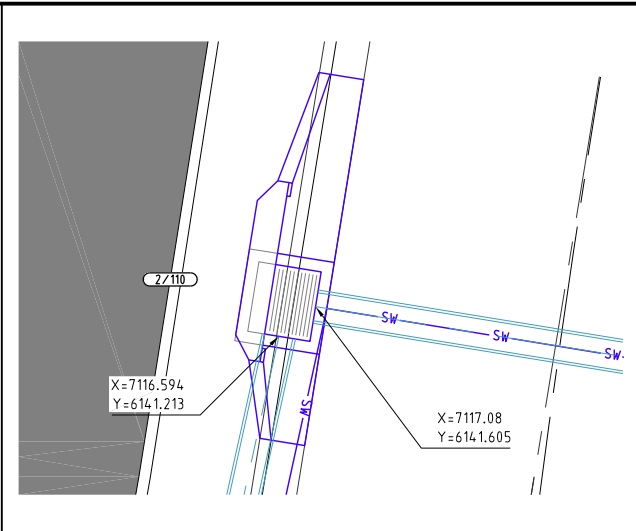
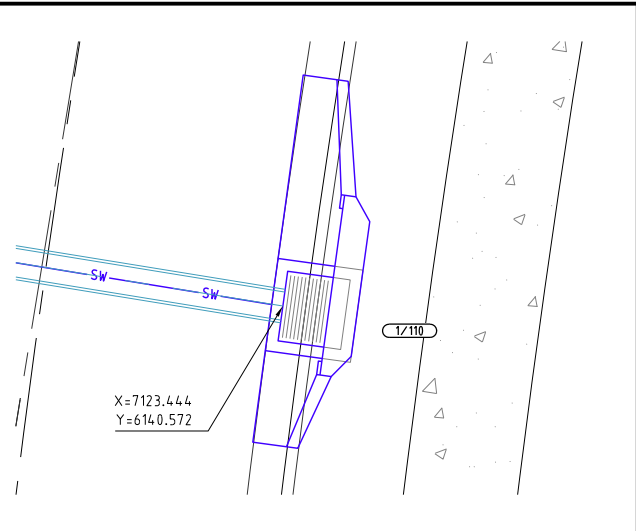
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Southport QLD 4215
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Southport QLD 4215

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DRAWING NUMBER			REV
37502-INT-620			A

LEGEND

- EXISTING KERB (INVERT)
EXISTING KERB (LIP & BACK)
EXISTING FOOTPATH
EXISTING PROPERTY LINE
EXISTING STORMWATER
EXISTING ROOFWATER
EXISTING STORMWATER PIPES
EXISTING ROOFWATER PIPES
FUTURE KERB (INVERT)
FUTURE KERB (LIP & BACK)
FUTURE FOOTPATH
FUTURE PROPERTY LINE
FUTURE STORMWATER
FUTURE ROOFWATER
FUTURE STORMWATER PIPES
FUTURE ROOFWATER PIPES
CONTROL LINE / CENTER OF ROAD
PROPOSED KERB (INVERT)
PROPOSED KERB (LIP & BACK)
PROPOSED FOOTPATH
PROPOSED PROPERTY LINE
PROPOSED STORMWATER
PROPOSED ROOFWATER
PROPOSED STORMWATER PIPES
PROPOSED ROOFWATER PIPES
MANHOLE
FIELD INLET
KERB INLET (ON GRADE) PIT
KERB INLET (SAG) PIT
HEADWALL
SCOUR PROTECTION
DRAINAGE PIT & LINE NO.
CONCRETE

NOTE
THE STORMWATER PIT IMAGE ARE DIAGRAMATIC ONLY & THE
CONTRACTOR MUST ENSURE THEY MATCH NEATLY INTO THE WORKS



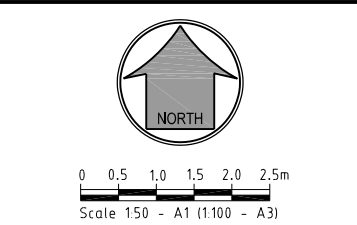
PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL

Approval no: DEV2026FLA4387
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PROJECT NAME
Flourish
PEBBLE CREEK WAY
INTERSECTION
R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT
CEDAR WOODS
DEVELOPING TOMORROW TODAY



REV	DATE	DESCRIPTION	INT
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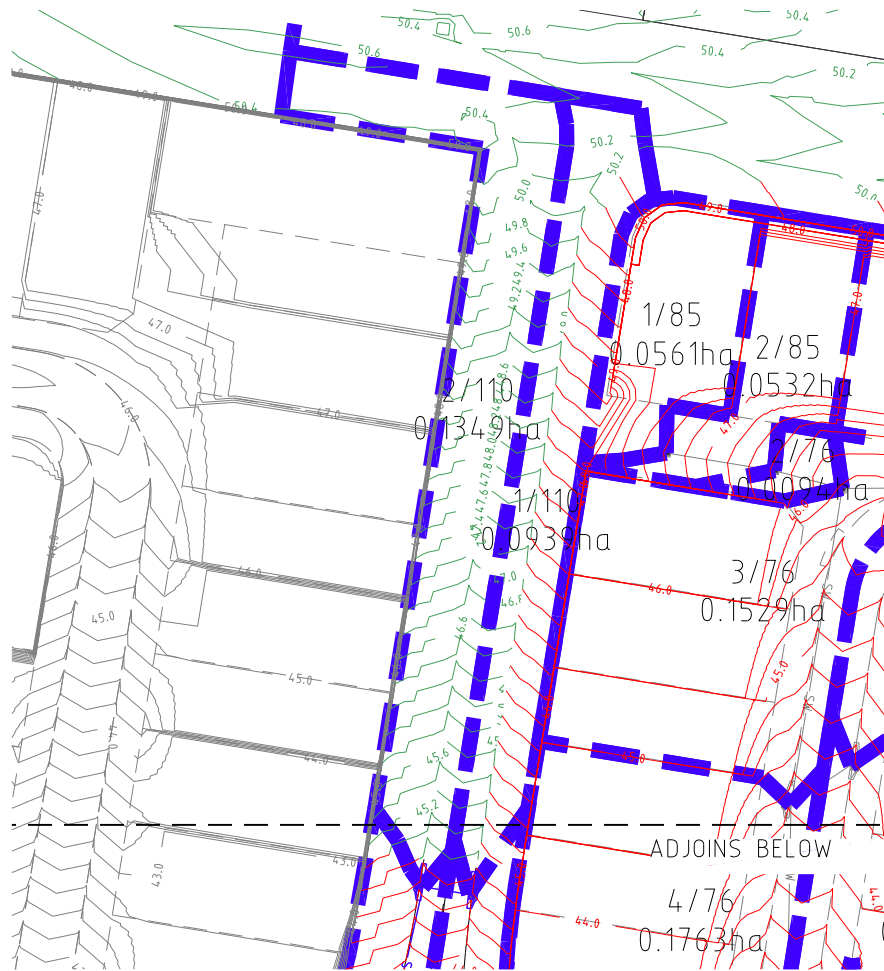
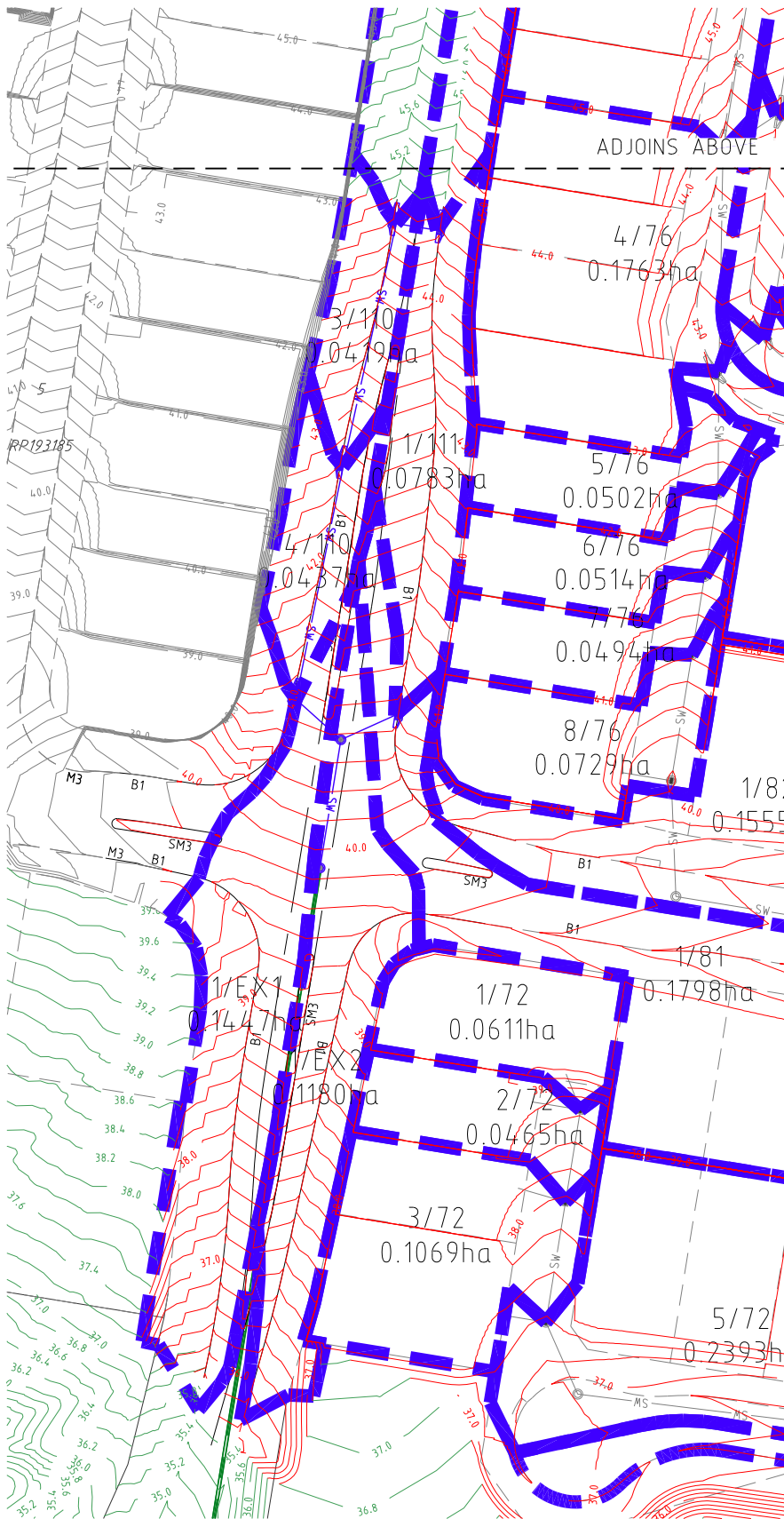
ASSOCIATED CONSULTANTS

DRAWING TITLE
**STORMWATER
PIT DETAILS**

MORTONS
urbansolutions
Civil Engineering
Project Coordination
MUS Pty Ltd T/As:
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Gold Coast Office:
Suite 9, 19 Short St
Southport QLD 4215

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APPROVED	<i>[Signature]</i>	RPE020300	DATE 02-02-26
DRAWING NUMBER 37502-INT-650			REV A

- LEGEND**
- SW — EXISTING STORMWATER
 - RW — EXISTING ROOFWATER
 - SS — EXISTING SUBSOIL
 - EXISTING KERB (INVERT)
 - 1.0— EXISTING CONTOURS
 - EXISTING PROPERTY LINE
 - SW — FUTURE STORMWATER
 - RW — FUTURE ROOFWATER
 - SS — FUTURE SUBSOIL
 - FUTURE KERB (INVERT)
 - FUTURE PROPERTY LINE
 - 1.0— FUTURE CONTOURS
 - PROPOSED KERB (INVERT)
 - PROPOSED PROPERTY LINE
 - 1.0— DESIGN CONTOURS
 - CATCHMENT BOUNDARY
 - OVERLAND FLOW
 - SW — PROPOSED STORMWATER
 - RW — PROPOSED ROOFWATER
 - SS — PROPOSED SUBSOIL
 - MANHOLE
 - KERB INLET (ON GRADE) PIT
 - KERB INLET (SAG) PIT
 - HEADWALL
 - SCOUR PROTECTION
 - 01/015
0.2552ha CATCHMENT NUMBER & AREA

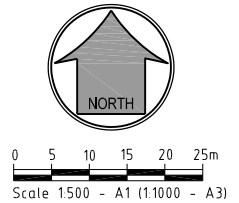
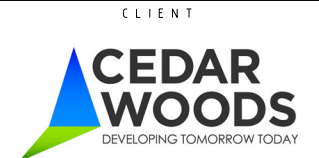


PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026FLA4387
Date: 13 April 2026



PROJECT NAME
Flourish
PEBBLE CREEK WAY
INTERSECTION
R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



REV	DATE	DESCRIPTION	INT
A	02-02-26	EDQ ISSUE	RK

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ASSOCIATED CONSULTANTS

DRAWING TITLE

STORMWATER
CATCHMENT PLAN

MORTONS
urbansolutions
Civil Engineering
Project Coordination

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APPROVED <i>[Signature]</i>	DATE 02-02-26
DRAWING NUMBER	REV
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\\casocad-client\375- cedar woods properties\02 - mountain ridge road\pettle creek way int\engineering drawings\Current\37502-INT-680.dwg, MINOR & MAJOR, 19/03/2026 2:18:04 PM, 1:2

CALCULATION TABLES-MINOR 2YR ARI

0.1 ARI (Q10) Minor FLOW - 12D DYNAMIC DRAINAGE RESULTS

* REFER TO IFD TABLE FOR MAXIMUM INTENSITY DURING STORM

NOTE: NEGATIVE FLOW VALUES INDICATE REVERSE FLOWS										CATCHMENT 1		CATCHMENT 2		CATCHMENT 3	RAINFALL VOLUME*		RAINFALL Coef.	CATCHMENT FLOW		APPROACH FLOW				FLOW AT PIT				PIT		HGL				PIPE		HEADLOSSES				VELOCITY
NODE		AREA		% IMP	Tc IMP	Tc PER	% IMP		% IMP	CRITICAL	DEPTH	CURRENT		A1	GRADE	FLOW			CAPTURED	BYPASS			NODE	GRADE	GRATE	PIT	PIPE		GRADE	PIPE	COEFFICIENT	HEADLOSS		MS						
FROM:	TO:	NODE TYPE		HA	MIN	MIN				STORM	MM	10 YR	Storm	L/S	%	L/S	WIDTH	DxV	L/S	L/S	DxV		%	RL	RL	U/S RL	D/S RL	%	L/S	Ku	Kw	Ku	Kw							
1/110	2/110	INLET GULLY ON GRADE (LG) Type S Lintel		0.094	57	5	8		40		10	15	32.5	0.791	0.791	36	6.36	36	0.00	0.00	36	0	0.00	1/111	5.987	44.480	43.26	43.22	43.09	2.13	36	9.7	0.0	0.0	0.0	1.17				
2/110	3/110	INLET GULLY ON GRADE (LG) Type S Lintel		0.135	85	5	8		40		10	15	32.5	0.887	0.887	57	5.6	57	0.32	0.02	55	4	0.02	3/110	5.614	44.462	43.09	43.09	41.12	5.32	89	3.5	0.0	0.0	0.0	2.82				
3/110	4/110	INLET GULLY ON GRADE (LG) Type S Lintel		0.042	85	5	8		40		10	15	32.5	0.887	0.887	18	4.6	22	0.00	0.00	22	0	0.00	4/110	4.614	42.489	41.11	41.11	39.62	4.21	111	1.1	0.0	0.0	0.0	2.09				
4/110	5/110	INLET GULLY ON GRADE (LG) Type S Lintel		0.044	85	5	8		40		10	15	32.5	0.887	0.887	19	4.3	19	0.00	0.00	19	0	0.00	0 4/110	4.272	40.936	39.62	39.56	39.38	2.29	129	1.9	0.0	0.1	0.0	1.8				
5/110	6/110	MANHOLE 1050mm DIA			80				40		10				4.3	0			0					4.272	40.887	39.08	38.97	38.65	1.43	160	2.0	0.0	0.1	0.0	1.56					
6/110	EX2/110	MANHOLE 1350mm DIA			80				40		10				4.6	0			0					4.592	39.874	38.51	38.51	34.68	4.38	160	0.2	0.0	0.0	0.0	1.87					
EX2/110	EX3/110	MANHOLE 1500mm DIA			80				40		10				5.2	0			0					5.157	35.411	34.68	34.58	34.19	1.12	260	1.5	0.0	0.1	0.0	1.63					
EX3/110		HEADWALL			80				40		10				1.0	0			0					1.000	35.085	34.19														
1/111	5/110	INLET GULLY ON GRADE (LG) Type S Lintel		0.078	73	5	8		40		10	15	32.5	0.846	0.846	32	4.3	32	0.00	0.00	32	0	0.00	1/BYP4	4.272	40.904	39.12	39.12	39.08	0.50	32	7.3	0.0	0.0	0.0	0.53				
5/110	6/110	MANHOLE 1050mm DIA			80				40		10				4.3	0			0					4.272	40.887	39.08														
1/EX1	EX2/110	INLET GULLY ON GRADE (LG) Type S Lintel		0.145	85	5	8		40		10	15	32.5	0.887	0.887	61	5.6	61	1.03	0.01	56	5	0.01	0 1/EX1	5.645	35.490	34.78	34.75	34.68	1.05	56	9.7	0.0	0.1	0.0	0.51				
EX2/110	EX3/110	MANHOLE 1500mm DIA			80				40		10				5.2	0			0					5.157	35.411	34.68														
1/EX2	EX2/110	INLET GULLY ON GRADE (LG) Type S Lintel		0.118	75	5	8		40		10	15	32.5	0.853	0.853	48	5.2	48	0.81	0.01	45	3	0.01	0 1/EX2	5.174	35.649	34.76	34.68	34.68	0.06	44	9.7	0.0	0.1	0.0	0.67				
EX2/110	EX3/110	MANHOLE 1500mm DIA			80				40		10				5.2	0			0					5.157	35.411	34.68														

CALCULATION TABLES-MAJOR 100YR ARI

0.01 ARI (Q100) Major FLOW - 12D DYNAMIC DRAINAGE RESULTS

* REFER TO IFD TABLE FOR MAXIMUM INTENSITY DURING STORM

NOTE: NEGATIVE FLOW VALUES INDICATE REVERSE FLOWS			CATCHMENT 1				CATCHMENT 2		CATCHMENT 3		RAINFALL VOLUME*		RAINFALL Coef.		CATCHMENT FLOW		APPROACH FLOW				FLOW AT PIT				PIT		HGL				PIPE		HEADLOSSES				VELOCITY
NODE		AREA		% IMP	Tc IMP	Tc PER	% IMP	% IMP	CRITICAL	DEPTH	CURRENT		A1	GRADE	FLOW			CAPTURED	BYPASS			NODE	GRADE	GRATE	PIT	PIPE		GRADE	PIPE	COEFFICIENT	HEADLOSS		MS				
FROM:	TO:	NODE TYPE		HA	MIN	MIN			STORM	MM	10 YR	Storm	L/S	%	L/S	WIDTH	DxV	L/S	L/S	DxV		%	RL	RL	U/S RL	D/S RL	%	L/S	Ku	Kw	Ku	Kw					
1/110	2/110	INLET GULLY ON GRADE (LG) Type S Lintel		0.094	57	5	8	40	10	10	38.3	0.791	0.880	58	6.0	58	0.43	0.04	49	8	0.03	1/111	5.987	44.480	43.32	43.24	43.11	2.11	50	9.7	0.0	0.1	0.0	1.18			
2/110	3/110	INLET GULLY ON GRADE (LG) Type S Lintel		0.135	85	5	8	40	10	10	38.3	0.887	0.924	88	5.6	88	0.91	0.05	70	18	0.05	3/110	5.614	44.462	43.11	43.11	41.14	5.32	119	3.3	0.0	0.0	0.0	2.98			
3/110	4/110	INLET GULLY ON GRADE (LG) Type S Lintel		0.042	85	5	8	40	10	10	38.3	0.887	0.924	27	4.6	45	0.32	0.02	41	3	0.02	4/110	4.614	42.489	41.14	41.14	39.84	3.67	159	1.1	0.0	0.0	0.0	2.14			
4/110	5/110	INLET GULLY ON GRADE (LG) Type S Lintel		0.044	85	5	8	40	10	10	38.3	0.887	0.924	29	4.3	32	0.00	0.00	32	0	0.00	0 4/110	4.272	40.936	39.84	39.69	39.47	2.71	189	1.7	0.0	0.2	0.0	1.91			
5/110	6/110	MANHOLE 1050mm DIA			80			40	10					4.3	0			0					4.272	40.887	39.47	39.20	38.71	2.23	237	1.6	0.0	0.3	0.0	2.18			
6/110	EX2/110	MANHOLE 1350mm DIA			80			40	10					4.6	0			0					4.592	39.874	38.55	38.55	35.11	3.93	237	0.2	0.0	0.0	0.0	2.56			
EX2/110	EX3/110	MANHOLE 1500mm DIA			80			40	10					5.2	0			0					5.157	35.411	35.11	34.85	34.19	1.91	366	1.3	0.0	0.3	0.0	2.3			
EX3/110		HEADWALL			80			40	10					1.0	0			0					1.000	35.085	34.19												
1/111	5/110	INLET GULLY ON GRADE (LG) Type S Lintel		0.078	73	5	8	40	10	10	38.3	0.846	0.905	50	4.3	57	0.47	0.03	49	7	0.00	1/BYP4	4.272	40.904	39.53	39.51	39.47	0.52	48	6.1	0.0	0.0	0.0	0.55			
5/110	6/110	MANHOLE 1050mm DIA			80			40	10					4.3	0			0					4.272	40.887	39.47												
1/EX1	EX2/110	INLET GULLY ON GRADE (LG) Type S Lintel		0.145	85	5	8	40	10	10	38.3	0.887	0.924	94	5.6	94	1.78	0.03	74	20	0.03	0 1/EX1	5.645	35.490	35.20	35.17	35.11	0.83	72	9.7	0.0	0.1	0.0	0.66			
EX2/110	EX3/110	MANHOLE 1500mm DIA			80			40	10					5.2	0			0					5.157	35.411	35.11												
1/EX2	EX2/110	INLET GULLY ON GRADE (LG) Type S Lintel		0.118	75	5	8	40	10	10	38.3	0.853	0.909	75	5.2	75	1.61	0.02	59	16	0.02	0 1/EX2	5.174	35.649	35.18	35.12	35.11	0.10	58	9.7	0.0	0.1	0.0	0.69			
EX2/110	EX3/110	MANHOLE 1500mm DIA			80			40	10					5.2	0			0					5.157	35.411	35.11												

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026FLA4387

Date: 13 April 2026



Queensland
Government

FLOW CAPACITY m3/s 7.5m RD (KERB AND CHANNEL)

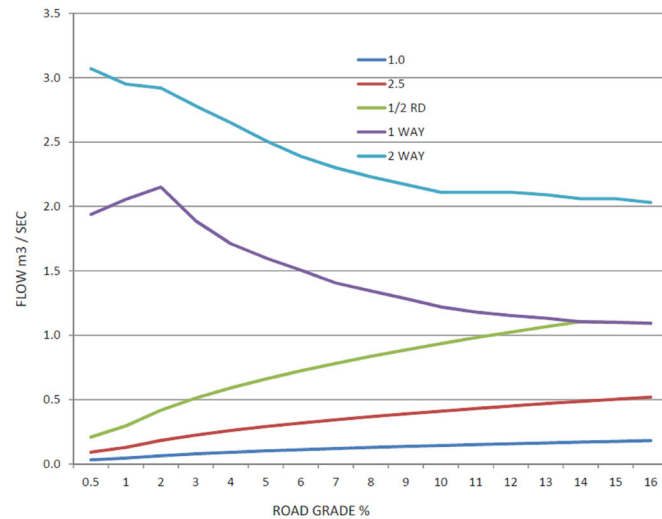
	KR	LANE	1/2 RD	1 WAY	2 WAY
MAX. WIDTH	1.0	2.5	3.75	11.175	14.8
MAX. AREA m2	0.021	0.101	0.219	1.421	2.104
Rd Grade %					
0.5	0.032	0.092	0.209	1.938	3.070
1	0.046	0.130	0.296	2.054	2.950
2	0.064	0.184	0.418	2.150	2.920
3	0.079	0.225	0.512	1.886	2.780
4	0.091	0.260	0.591	1.711	2.650
5	0.102	0.291	0.661	1.600	2.510
6	0.112	0.318	0.724	1.505	2.390
7	0.120	0.344	0.782	1.407	2.300
8	0.129	0.368	0.836	1.345	2.230
9	0.137	0.390	0.887	1.285	2.170
10	0.144	0.411	0.935	1.220	2.110
11	0.151	0.431	0.981	1.180	2.110
12	0.158	0.450	1.024	1.154	2.110
13	0.164	0.469	1.066	1.133	2.090
14	0.170	0.486	1.106	1.105	2.060
15	0.176	0.503	1.101	1.101	2.060
16	0.182	0.520	1.093	1.093	2.030

NOTES:

FLOW CONSTRAINED TO 0.4 DxV

FLOW CONSTRAINED TO 250mm DEEP MAX.

CAPACITY COMPOUND CROSS SECTION (ARR 1987, 4.38) (n varies)



INTENSITY - FREQUENCY - DURATION (IFD) TABLE								
DURATION	ARI INTENSITY (YEAR)							
MINUTES	TREAT	1	2	5	10	20	50	100
5	59.5	119.0	151.0	186.0	206.0	234.0	270.0	298.0
6	55.5	111.0	141.0	174.0	193.0	219.0	253.0	279.0
10	45.5	91.0	116.0	143.0	159.0	181.0	209.0	231.0
20	33.4	66.8	85.1	106.0	117.0	134.0	155.0	171.0
30	27.3	54.5	69.4	86.4	96.2	110.0	127.0	141.0
60	18.4	36.7	46.8	58.6	65.5	74.8	87.1	96.5
120	11.7	23.4	30.0	37.8	42.4	48.6	56.9	63.2
180	8.9	17.7	22.7	28.8	32.4	37.3	43.7	48.6
360	5.5	10.9	14.0	18.0	20.3	23.5	27.7	30.9
720	3.4	6.9	8.9	11.4	13.0	15.0	17.8	20.0
1440	2.2	4.5	5.8	7.5	8.6	9.9	11.8	13.2
2880	1.5	2.9	3.8	4.9	5.6	6.5	7.7	8.7
4320	1.1	2.2	2.8	3.7	4.2	4.9	5.8	6.6

SEQ CODE WATER NOTES

SEQ CODE NOTES COPIED DIRECTLY FROM DRAWING SEQ-WAT-1101-3 (REV A).

VEGETATION PROTECTION

- A. TREES LOCATED ALONG THE FOOTPATH SHALL BE, TRANSPLANTED PRIOR TO CONSTRUCTION, OR REPLACED IF DESTROYED.
- B. WHEN WORKING WITHIN 4m OF TREES, RUBBER OR HARDWOOD GIRDLES SHALL BE CONSTRUCTED WITH 1.8m BATTENS CLOSELY SPACED & ARRANGED VERTICALLY FROM GROUND LEVEL. GIRDLES SHALL BE STRAPPED TO TREES PRIOR TO CONSTRUCTION & REMAIN UNTIL COMPLETION.
- C. TREE ROOTS SHALL BE TUNNELLED UNDER, RATHER THAN SEVERED. IF ROOTS ARE SEVERED THE DAMAGED AREA SHALL BE TREATED WITH A SUITABLE FUNGICIDE. CONTACT RELEVANT COUNCIL ARBORIST FOR FURTHER ADVICE.
- D. ANY TREE LOPPING REQUIRED SHOULD BE UNDERTAKEN BY AN APPROVED ARBORIST.

SOIL

- A. TOPSOIL & SUBSOIL SHALL BE STOCKPILED SEPARATELY.
- B. CARE SHALL BE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE STORMWATER SYSTEM. THIS MAY INVOLVE PLACING APPROPRIATE SEDIMENT CONTROLS AROUND STOCKPILES.
- C. IF ACID SULPHATE SOILS EXIST IN THE WORKS AREA, THE CONTRACTOR MUST PREPARE A RISK ASSESSMENT BASED ON THE QUEENSLAND ACID SULPHATE SOIL TECHNICAL MANUAL & MANAGE THE ACID SULPHATE SOILS AS PER THE MANUAL.

CREEK CROSSINGS

- A. SILTATION CONTROL MEASURES SHALL BE PLACED DOWNSTREAM OF ANY EXCAVATION WORK.
- B. APPROPRIATE SEDIMENT CONTROLS SHALL BE USED TO PREVENT SEDIMENT FROM ENTERING THE CREEK.
- C. NO SOIL SHALL BE STOCKPILED WITHIN 5m OF THE CREEK.

REHABILITATION

- A. PREDISTURBANCE SOIL PROFILES & COMPACTION LEVELS SHALL BE REINSTATED.
- B. PREDISTURBANCE VEGETATION PATTERNS SHALL BE RESTORED.

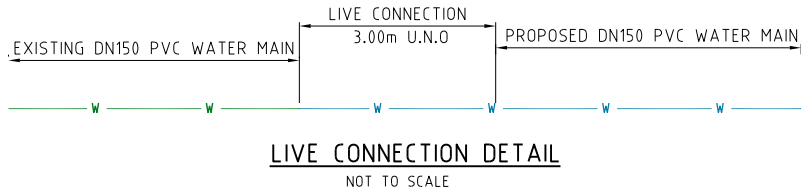
GENERAL NOTES

1. ALL WORK & MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT SOUTH EAST QUEENSLAND WATER SUPPLY CODE SPECIFICATIONS & STANDARDS.
2. UNLESS SPECIFIED OTHERWISE ALL MATERIALS & WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
3. ADOPT LIP OF KERB OR SHOULDER OF ROAD AS PERMANENT LEVEL.
4. COVER ON MAINS FROM PERMANENT LEVEL TO BE AS SHOWN IN SEQ-WAT-1200-2.
5. CONDUITS TO BE INSTALLED IN ACCORDANCE WITH THE STANDARD DRAWINGS.
6. A WATER METER SUPPLIED AT THE DEVELOPER'S COST, IS TO BE INSTALLED AT THE SERVICE POINT OF EACH LOT IN ACCORDANCE WITH THE STANDARD DRAWING FOR THE SEQ-SP.
7. ALL MATERIALS USED IN THE WORKS SHALL COMPLY WITH THE SEQ-SP'S ACCEPTED PRODUCTS & MATERIALS LIST OR BE APPROPRIATELY SHOWN, LISTED & DEFINED IN THE ENGINEERING SUBMISSION SO THAT THE ALTERNATIVE PRODUCT OR MATERIAL CAN BE ASSESSED & IF APPROPRIATE, APPROVED BY THE SEQ-SP.
8. ALL CONCRETE FOOTPATHS TO BE CLEAR OF WATER MAINS.
9. TEST/CHLORINATION POINTS TO BE INSTALLED IN ACCORDANCE WITH STANDARD DRAWING NO.SEQ-WAT-1410-1.
10. THE CONSTRUCTION OF THE WATER RETICULATION WORK SHOWN ON THIS DRAWING MUST BE SUPERVISED BY AN ENGINEER WHO HAS RPEQ REGISTRATION. WORKS NOT COMPLYING WITH THIS REQUIREMENT WILL NOT BE PERMITTED TO CONNECT TO THE RETICULATION SYSTEM.

ALL ENVIRONMENT PROTECTION MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION WORK, INCLUDING CLEARING, COMMENCING.

PROJECT SPECIFIC WATER NOTES

- a. ALL PROPERTY CONNECTION ROAD CROSSINGS TO BE SLEEVED WITH DN100 uPVC CONDUIT.
- b. ALL MATERIALS ARE TO BE SUPPLIED & CONSTRUCTED IN ACCORDANCE WITH SEQ CODE.
- c. WATER METERS ARE TO BE SUPPLIED & INSTALLED AT ALL WATER SERVICE / CONNECTION POINTS IN ACCORDANCE WITH SEQ-WAT-1110-1 AND SEQ-WAT-1110-2.
- d. THRUST BLOCKS TO BE LOCATED & INSTALLED BY CONTRACTOR IN ACCORDANCE WITH SEQ CODE.
- e. TRENCH STOPS & BULKHEADS TO BE IN ACCORDANCE WITH WATER AUTHORITY REQUIREMENTS.
- f. THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR WATER RATES UNLESS SCHEDULED OTHERWISE WITHIN THE CONTRACT.
- g. FOOTPATHS SHOWN FOR INFORMATION PURPOSES ONLY.
- h. ALL WATER CONSTRUCTION WORK UNDERTAKEN BY THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE WORKPLACE HEALTH & SAFETY LEGISLATION.
- i. MINIMUM WATERMAIN COVER TO BE IN ACCORDANCE WITH SECTION 7.4.2 TABLE 7.2 OF THE SEQ AMENDMENT TO WATER SUPPLY CODE OF AUSTRALIA.
- j. CONTRACTOR TO PAY ALL FEES & CHARGES ASSOCIATED WITH CONNECTIONS.
- k. END OF LINE ARRANGEMENTS (EG. CUL-DE-SAC HEADS) TO BE CONSTRUCTED IN ACCORDANCE WITH SEQ-WAT-1104-1.
- l. TEMPORARY CONSTRUCTION HYDRANTS TO BE PROVIDED IN ACCORDANCE WITH SEQ-WAT-1303-1 AT ALL CONNECTIONS.
- m. ALL LIVE CONNECTIONS ARE TO BE ORGANISED BY THE CIVIL CONTRACTOR & UNDERTAKEN BY COUNCIL AT THE DEVELOPERS EXPENSE.
- n. THE CIVIL CONTRACTOR IS TO SUPPLY A TEMPORARY WATER SUPPLY FOR THE SALES OFFICE UNTIL THE STAGE 1 WATER MAIN IS COMMISSIONED.

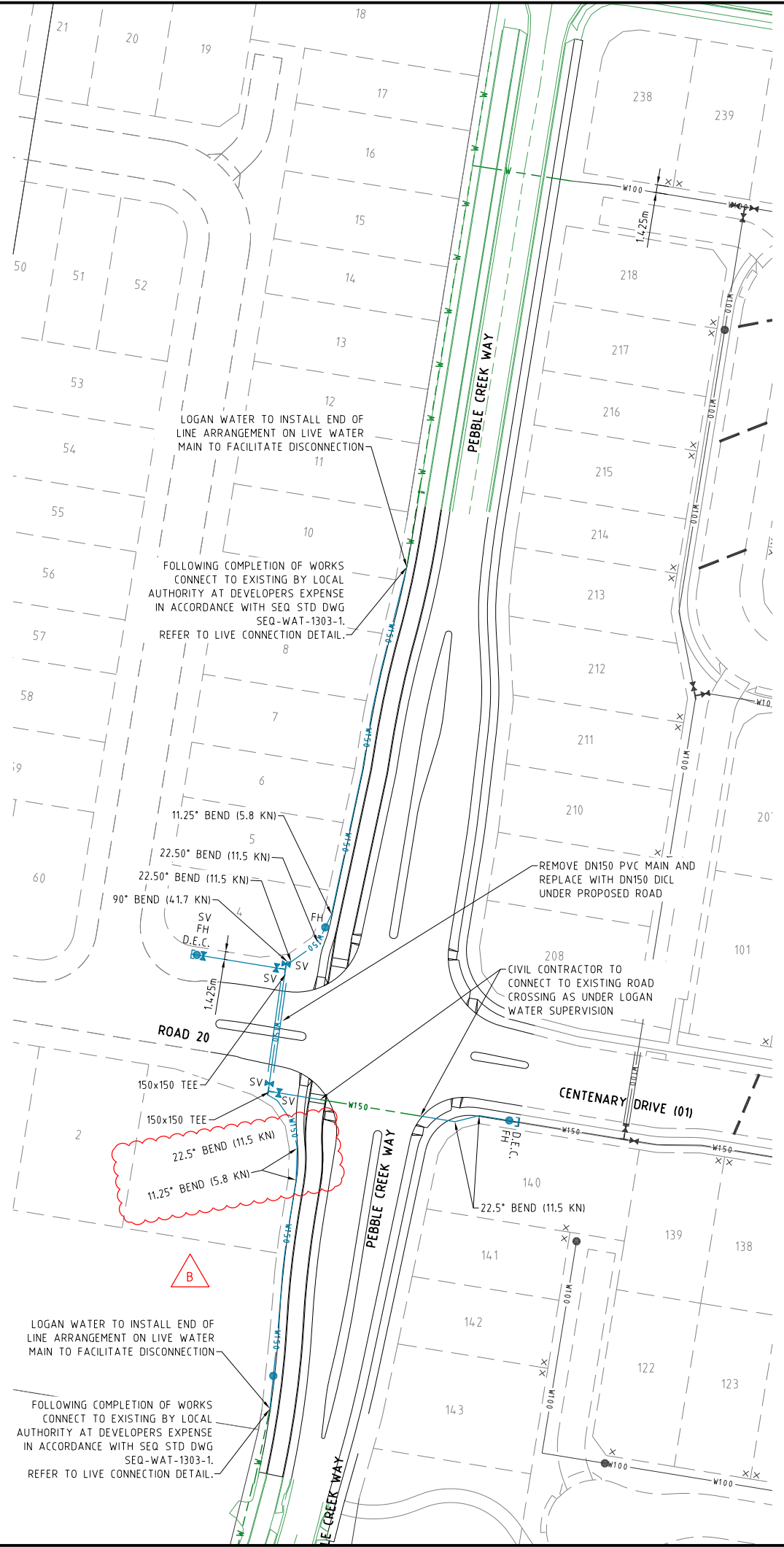


LEGEND

- W---W---W--- EXISTING WATER MAIN
- W100 EXISTING 100Ø WATER MAIN
- W150 EXISTING 150Ø WATER MAIN
- W200 EXISTING 200Ø WATER MAIN
- W225 EXISTING 225Ø WATER MAIN
- W250 EXISTING 250Ø WATER MAIN
- W300 EXISTING 300Ø WATER MAIN
- EXISTING FOOTPATH
- EXISTING KERB (INVERT)
- EXISTING PROPERTY LINE
- W100 FUTURE 100Ø WATER MAIN
- W150 FUTURE 150Ø WATER MAIN
- W200 FUTURE 200Ø WATER MAIN
- W225 FUTURE 225Ø WATER MAIN
- W250 FUTURE 250Ø WATER MAIN
- W300 FUTURE 300Ø WATER MAIN
- FUTURE KERB (INVERT)
- FUTURE PROPERTY LINE
- FUTURE FOOTPATH
- PROPOSED KERB (INVERT)
- PROPOSED PROPERTY LINE
- PROPOSED FOOTPATH
- W100 PROPOSED 100Ø WATER MAIN
- W150 PROPOSED 150Ø WATER MAIN
- W200 PROPOSED 200Ø WATER MAIN
- W225 PROPOSED 225Ø WATER MAIN
- W250 PROPOSED 250Ø WATER MAIN
- W300 PROPOSED 300Ø WATER MAIN
- HYDRANT
- └ TEE
- > REDUCER
- ▢ SLUICE VALVE
- └ ENDCAP
- ✱ SCOUR VALVE
- AIR VALVE
- ✕ METER LOCATION
- TRENCH STOP
- SERVICE CONDUIT
- DICL ROAD CROSSING

WATER PIPE SPECIFICATIONS

WATER MAIN LOCATION	PIPE MATERIAL SPECIFICATION
FOOTPATH VERGE	PVC-M SERIES 2 PN16
ROAD CROSSING	DICL PN35



PROJECT NAME

Flourish

PEBBLE CREEK WAY
INTERSECTION

R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

DEVELOPING TOMORROW TODAY

0 5 10 15 20 25m

Scale 1:500 - A1 (1:1000 - A3)

B	18-02-26	WATER BENDS DESCRIPTION ADDED	GC
A	02-02-26	EDQ ISSUE	RK
REV	DATE	DESCRIPTION	INT

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ASSOCIATED CONSULTANTS

DRAWING TITLE

WATER RETICULATION PLAN

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Project Coordination

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APPROVED		RPEQ20300	DATE 02-02-26
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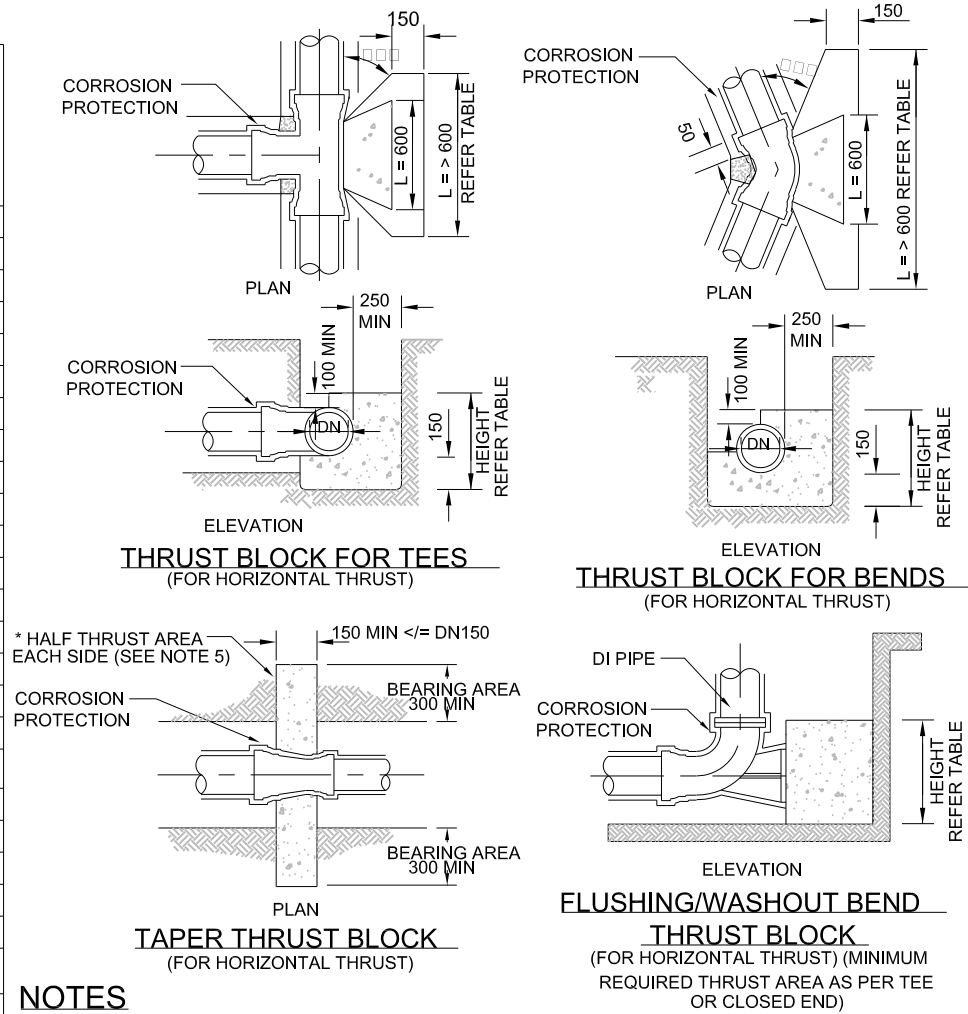
\\c:\local\client\375- cedar woods properties\02 - mountain ridge road\pebble creek way info\engineering drawings\Current\37502-INT-710.dwg, DETAIL, 19/03/2026 2:18:11 PM, 12

THRUST BLOCK LENGTH

PIPE DN.	FITTING	MAX. THRUST IN KN	THRUST BLOCK HEIGHT	STIFF CLAY 50 KPa.	VERY STIFF CLAY SANDY LOAM 100KPa.	SAND & GRAVEL HARDCLAY 150KPa.	SAND & GRAVEL CEMENTED WITH CLAY 200KPa.	ROCK 240KPa
100	90° BEND	19.8	400	1000	●	●	●	●
	60° BEND	14.0		700	●	●	●	●
	45° BEND	10.7		●	●	●	●	●
	22.5° BEND	5.5		●	●	●	●	●
	11.25° BEND	2.7		●	●	●	●	●
	TEE OR CLOSED END	14.0		700	●	●	●	●
150	90° BEND	41.7	450	1860	930	●	●	●
	60° BEND	29.5		1320	660	●	●	●
	45° BEND	22.6		1000	●	●	●	●
	22.5° BEND	11.5		●	●	●	●	●
	11.25° BEND	5.8		●	●	●	●	●
	TEE OR CLOSED END	29.5		1300	660	●	●	●
200	90° BEND	71.7	550	*	1300	870	650	●
	60° BEND	50.7		1850	920	●	●	●
	45° BEND	38.8		1410	700	●	●	●
	22.5° BEND	19.8		720	●	●	●	●
	11.25° BEND	9.9		●	●	●	●	●
	TEE OR CLOSED END	50.7		1850	920	●	●	●
225	90° BEND	89.4	600	*	1500	1000	750	●
	60° BEND	63.2		2110	1060	700	●	●
	45° BEND	48.4		1620	810	●	●	●
	22.5° BEND	24.6		830	●	●	●	●
	11.25° BEND	12.4		●	●	●	●	●
	TEE OR CLOSED END	63.2		210	1060	700	●	●
250	90° BEND	109.0	650	*	1700	1120	840	700
	60° BEND	77.1		2400	1200	800	●	●
	45° BEND	59.0		1820	910	●	●	●
	22.5° BEND	30.1		930	●	●	●	●
	11.25° BEND	15.1		●	●	●	●	●
	TEE OR CLOSED END	77.1		2400	1200	800	●	●
300	90° BEND	158.6	700	*	2270	1510	1140	950
	60° BEND	112.2		*	1600	1070	800	670
	45° BEND	85.9		2453	1230	820	●	●
	22.5° BEND	43.8		1250	630	●	●	●
	11.25° BEND	22.0		630	●	●	●	●
	TEE OR CLOSED END	112.2		*	1600	1070	800	750

THRUST BLOCK LENGTH

PIPE DN.	FITTING	MAX. THRUST IN KN	THRUST BLOCK HEIGHT	STIFF CLAY 50 KPa.	VERY STIFF CLAY SANDY LOAM 100KPa.	SAND & GRAVEL HARDCLAY 150KPa.	SAND & GRAVEL CEMENTED WITH CLAY 200KPa.	ROCK 240KPa
375	90° BEND	241.9	800	*	*	2220	1510	1260
	60° BEND	171.0		*	2140	1430	1070	890
	45° BEND	130.9		*	1640	1090	820	680
	22.5° BEND	66.7		1670	840	●	●	●
	11.25° BEND	33.5		840	●	●	●	●
	TEE OR CLOSED END	171.0		*	2140	1430	1070	890
450	90° BEND	342.6	900	*	*	2540	1900	1590
	60° BEND	242.3		*	2690	1800	1350	1120
	45° BEND	185.4		*	2060	1375	1030	860
	22.5° BEND	94.5		2100	1050	700	●	●
	11.25° BEND	47.5		1060	●	●	●	●
	TEE OR CLOSED END	242.3		*	2690	1800	1350	1120
500	90° BEND	418	1000	*	*	2790	2090	1740
	60° BEND	295.6		*	*	1970	1480	1230
	45° BEND	226.2		*	2260	1510	1130	940
	22.5° BEND	115.3		2310	1150	770	●	●
	11.25° BEND	58.0		1160	●	●	●	●
	TEE OR CLOSED END	295.5		*	*	1970	1480	1230
600	90° BEND	593	1100	*	*	*	2700	2250
	60° BEND	419		*	*	2540	1910	1590
	45° BEND	320		*	2920	1950	1460	1220
	22.5° BEND	164		2980	1490	990	750	620
	11.25° BEND	82.2		1500	750	●	●	●
	TEE OR CLOSED END	419		*	*	2540	1910	1590
750	90° BEND	909	1300	*	*	*	*	2920
	60° BEND	643		*	*	*	2480	2060
	45° BEND	492		*	*	2530	1890	1580
	22.5° BEND	251		*	1930	1290	970	810
	11.25° BEND	126.1		1940	970	650	●	●
	TEE OR CLOSED END	643		*	*	*	2480	2060
900 (Ø960 MSCL)	90° BEND	1,228	1500	*	*	*	*	3420
	60° BEND	868		*	*	*	2900	2420
	45° BEND	664		*	*	2960	2220	1850
	22.5° BEND	339		*	2260	1510	1130	940
	11.25° BEND	170		2270	1140	760	●	●
	TEE OR CLOSED END	868		*	*	*	3300	2650



NOTES

- ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.
- CAST THE THRUST AREA OF ALL THRUST BLOCKS AGAINST A CLEAN FACE OF UNDISTURBED NATURAL SOIL. SOIL CLASSIFICATIONS USED ON THIS DRAWING ARE EXPLAINED IN SEQ-WAT-12110-1. DO NOT USE STANDARD THRUST BLOCKS AS SPECIFIED IN THIS DRAWING IN SOILS WITH < 50kPa BEARING CAPACITY EG;
– VERY SOFT, SOFT OR FIRM CLAY.
– LOOSE CLEAN SAND.
– UNCOMPACTED FILL OR REFUSE.
A GEOTECHNICAL ASSESSMENT AND INDIVIDUAL DESIGN IS REQUIRED FOR THESE SOILS.
- THRUST BLOCKS NOT TO INTERFERE WITH OTHER SERVICES OR BE LOCATED OUTSIDE THE WATER MAIN ALLOCATION WITHOUT WATER AGENCY APPROVAL.
- ALL CONCRETE GRADE N20. TABLE OF DIMENSIONS BASED ON REQUIRED TEST PRESSURE OF 1200kPa AND ACTUAL DI/CL PIPE DIAMETERS.
- THE MINIMUM THRUST AREA FOR TAPER THRUST BLOCKS TO BE EQUAL TO THE DIFFERENCE BETWEEN THE THRUST AREAS FOR TEES OR CLOSED ENDS OF EQUIVALENT DIAMETER TO THOSE EACH SIDE OF TAPER. THE DETAIL SHOWN IS FOR < OR = DN150 MAINS. FOR LARGER MAINS, THE TAPER THRUST BLOCK SHALL BE REINFORCED AND OF A SIZE AS SHOWN IN SEQ-WAT-1206-1.
- FOR DOWNWARD VERTICAL THRUST, THE ALLOWABLE BEARING PRESSURE FOR VARIOUS SOILS MAY BE TAKEN AS TWICE THAT FOR HORIZONTAL THRUST SHOWN.
- WHEN POURING CONCRETE AGAINST FITTINGS PLACE A MEMBRANE OF POLYETHYLENE, PVC OR FELT BETWEEN THE FITTING AND CONCRETE TO PREVENT DAMAGE TO THE FITTING. PIPE JOINTS TO BE CLEAR OF CONCRETE.
- CONCRETE THRUST BLOCK ANCHORS FOR VALVES TO BE AS DETAILED ON SEQ-WAT-1206-1.

THRUST BLOCK DIMENSIONS - 1200kPa

- INDICATES BLOCK LENGTH OF 600
- * = SPECIAL DESIGN

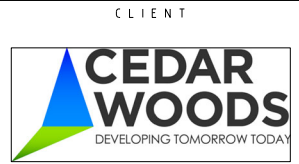
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2026FLA4387

Date: 13 April 2026



PROJECT NAME
Flourish
PEBBLE CREEK WAY
INTERSECTION
R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



REV	DATE	DESCRIPTION	INT
A	02-02-26	EDQ ISSUE	RK

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