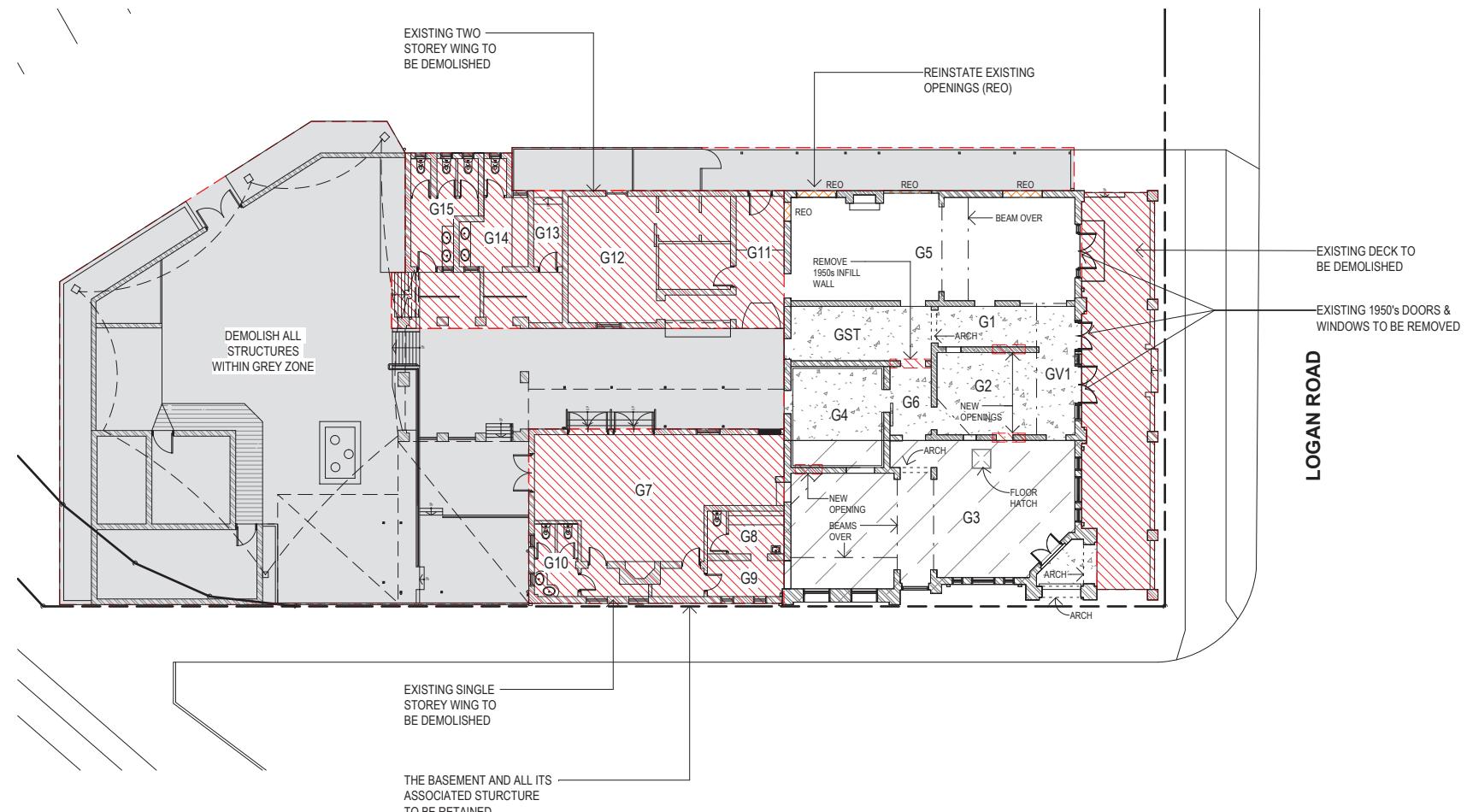


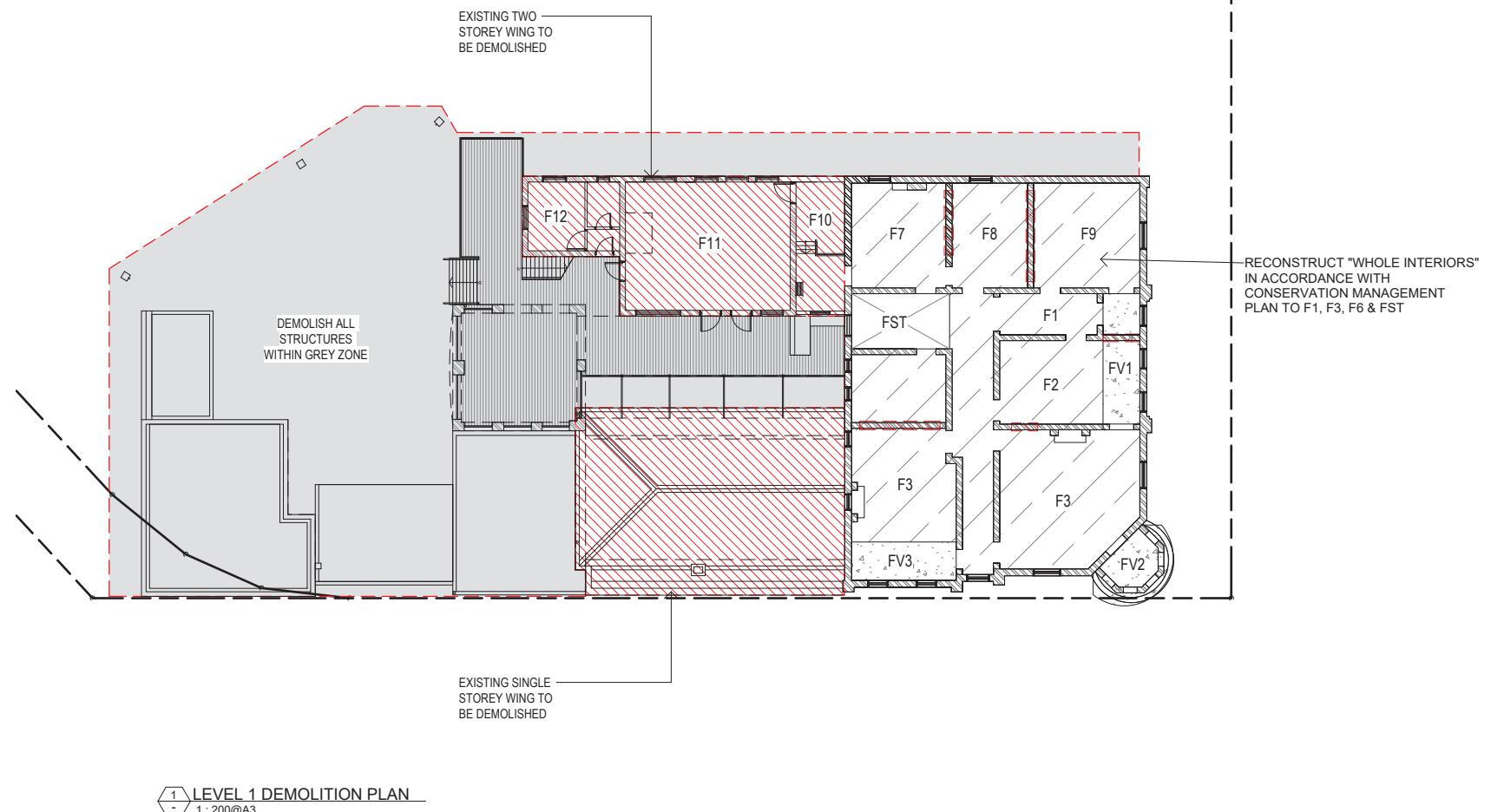
# BROADWAY HOTEL HERITAGE WORKS

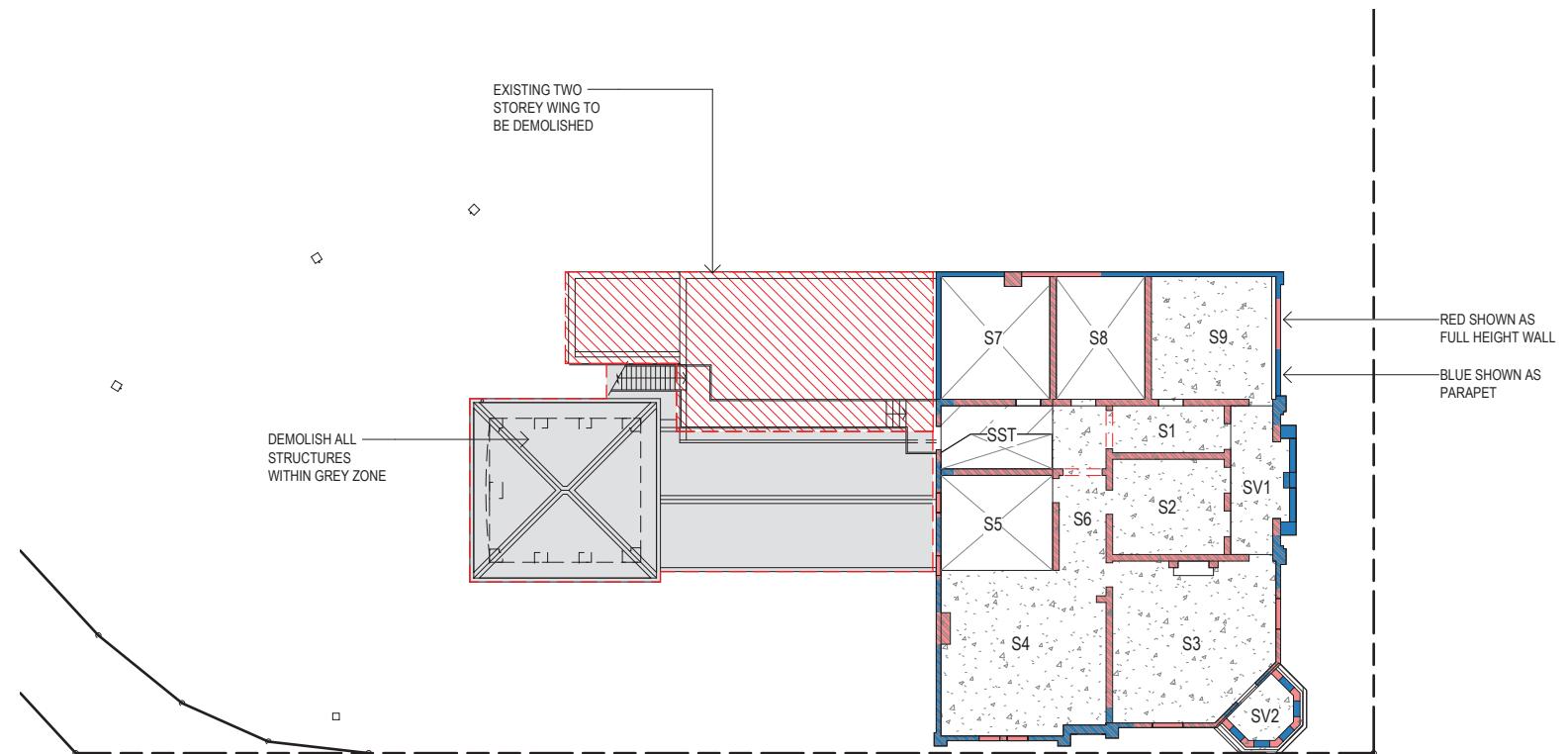




1 GROUND FLOOR DEMOLITION PLAN  
1:200@A3

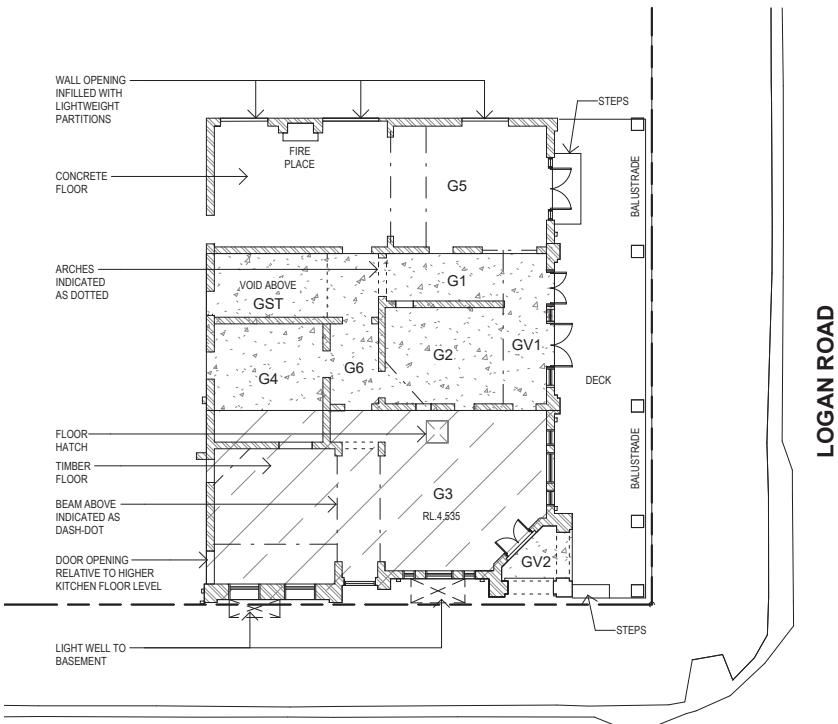
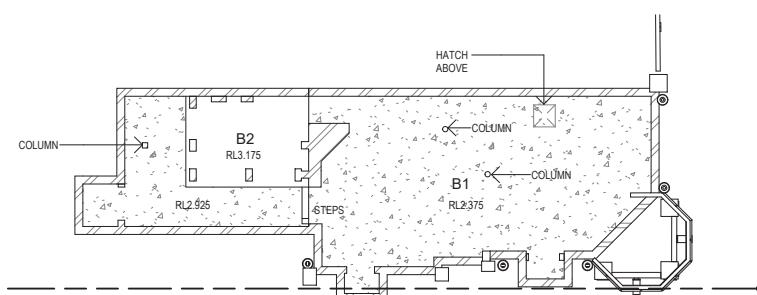


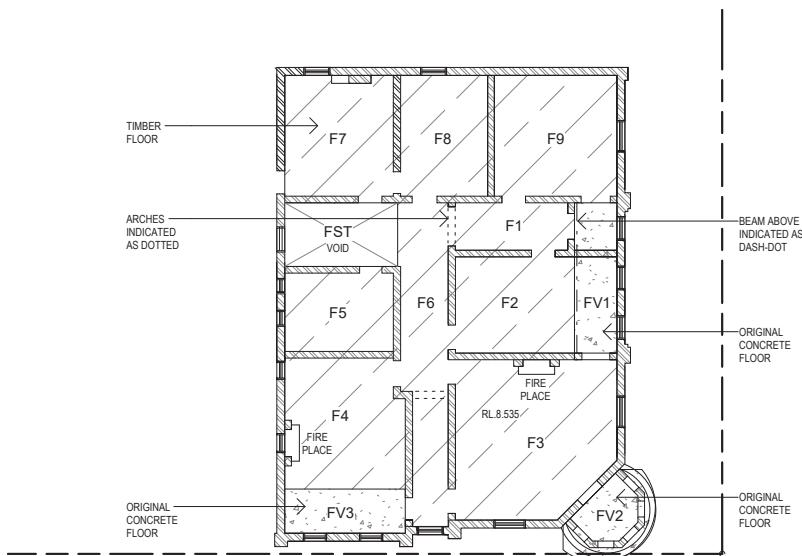




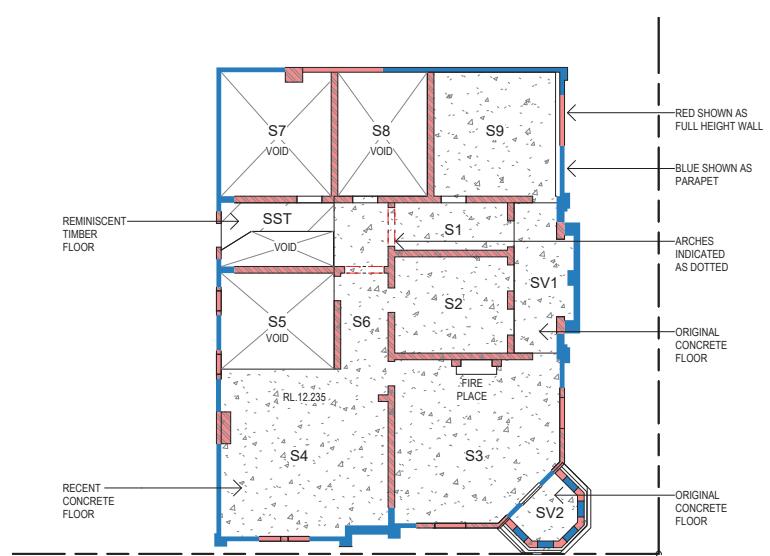
1 LEVEL 2 DEMOLITION PLAN  
1 : 200@A3





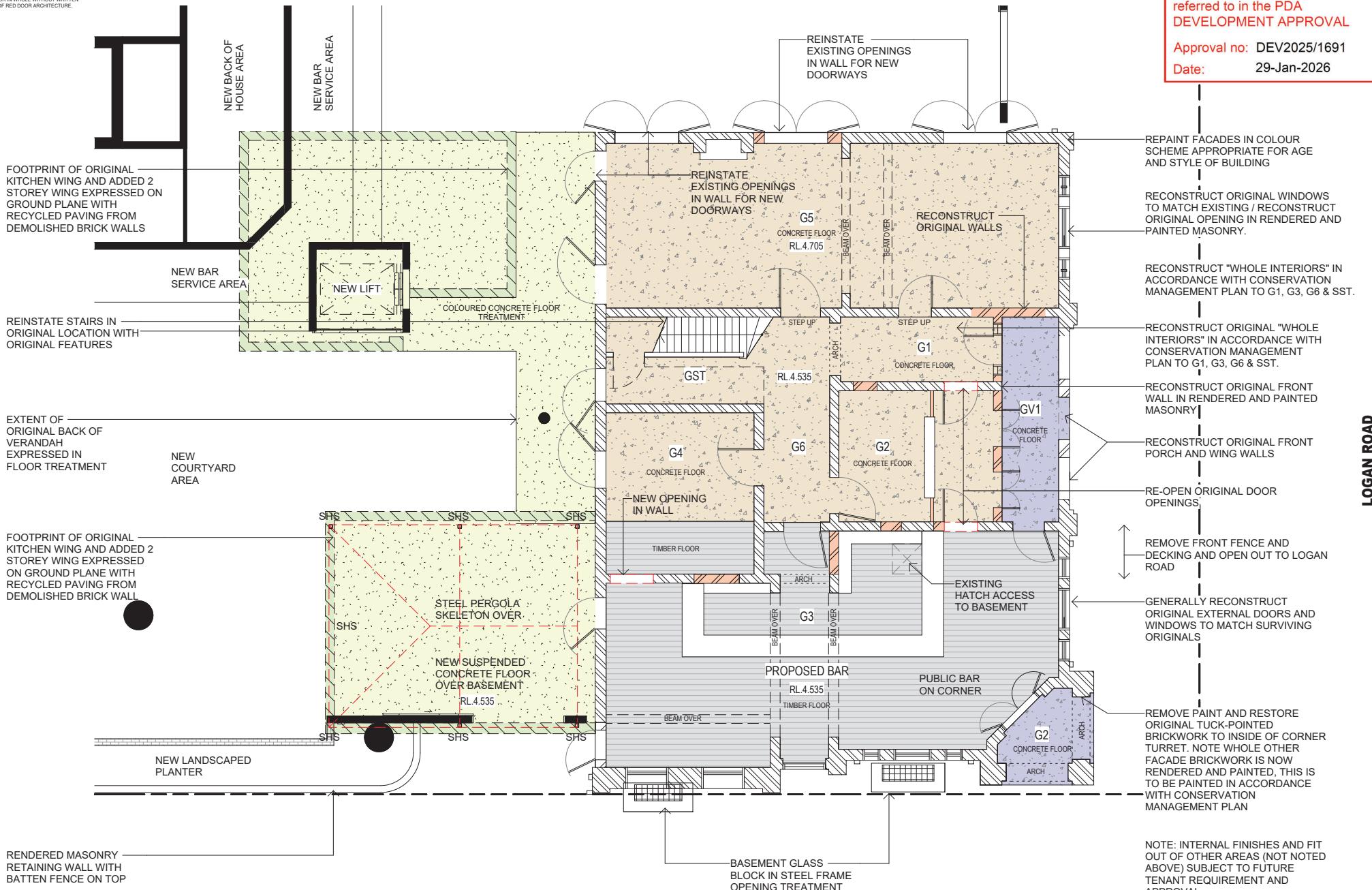


 **HOTEL EXISTING - LEVEL 1 FLOOR PLAN**  
1 : 200 @ A3



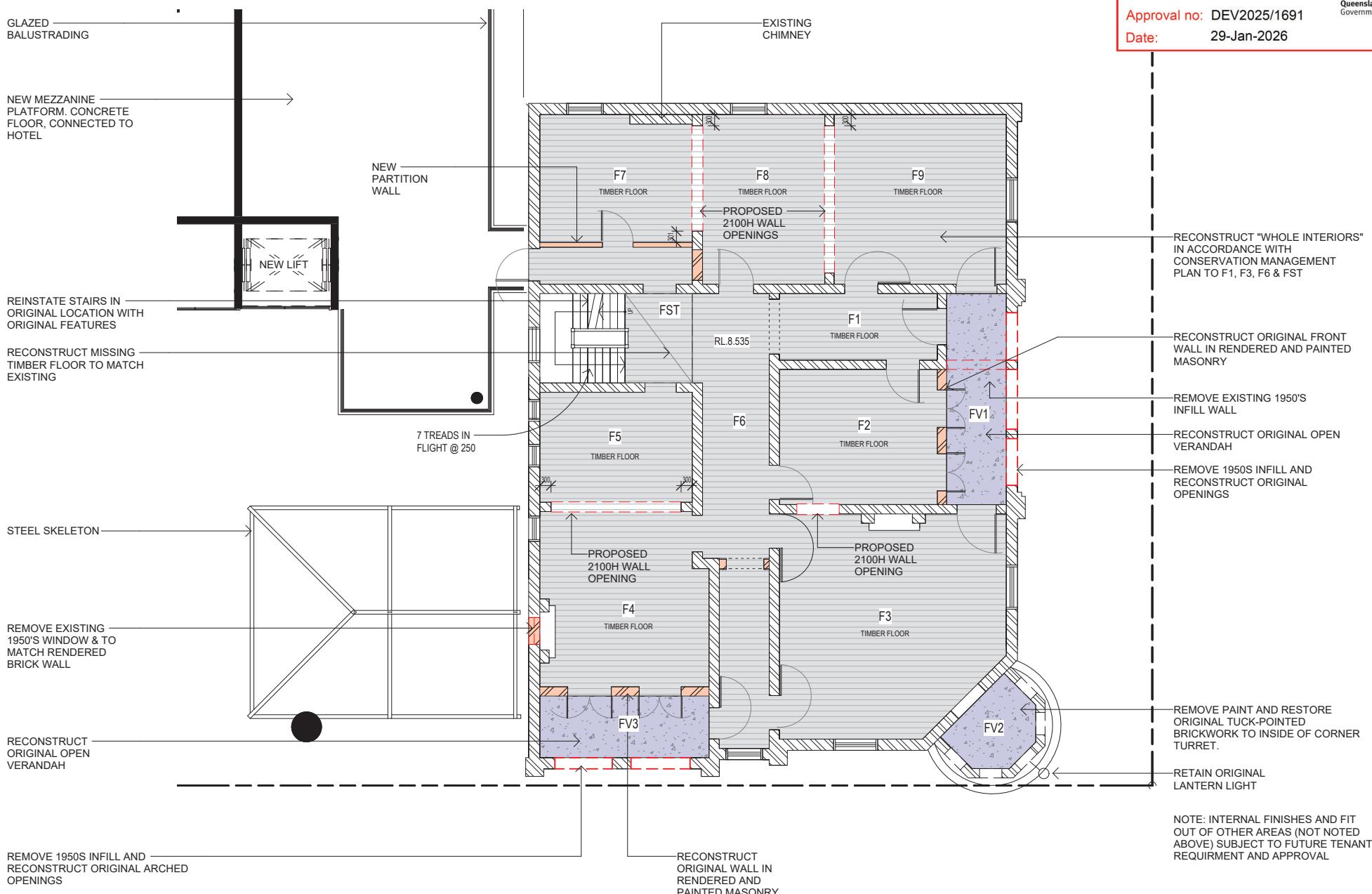
 **HOTEL EXISTING - LEVEL 2 FLOOR PLAN**  
1 : 200 @ A3

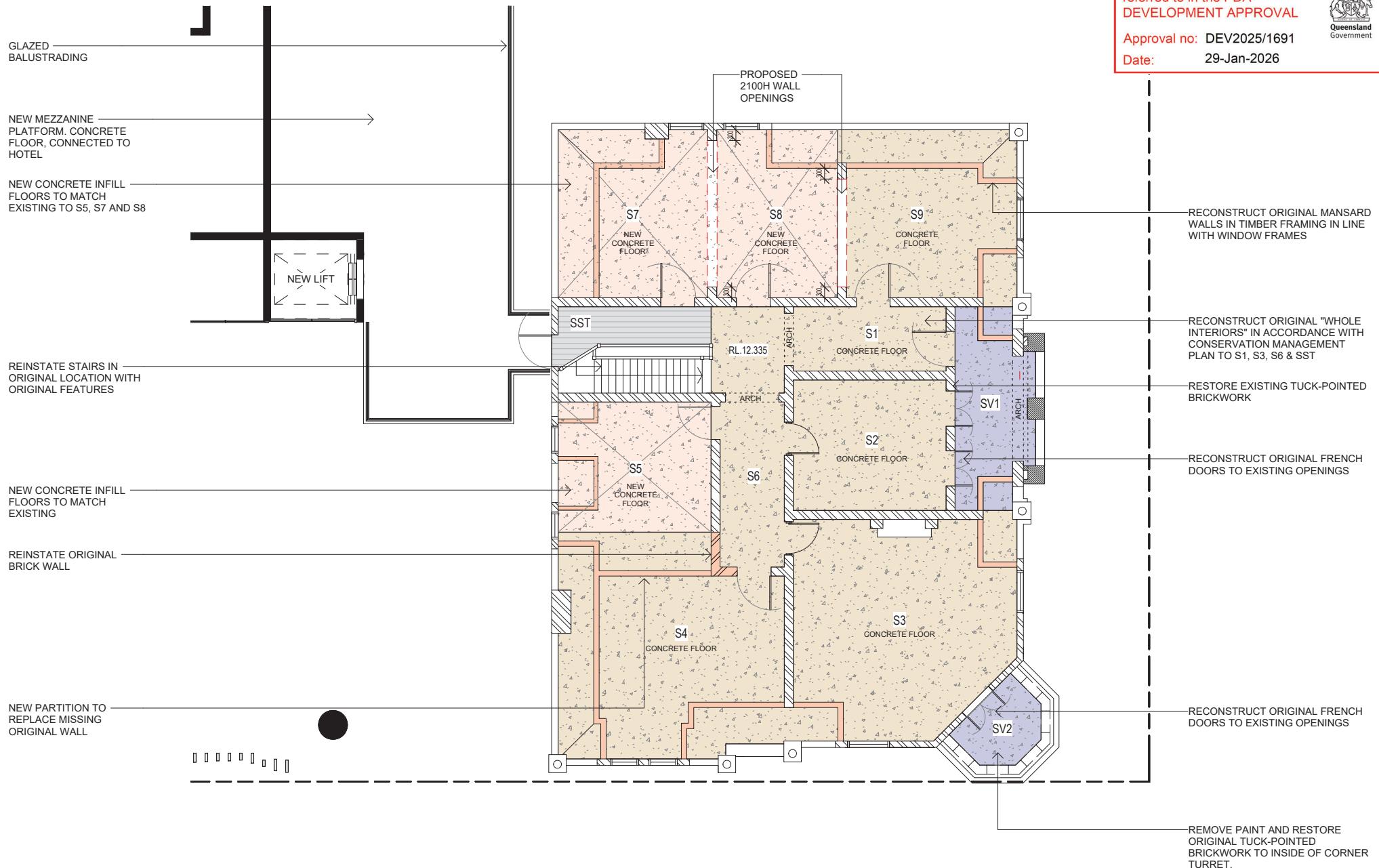


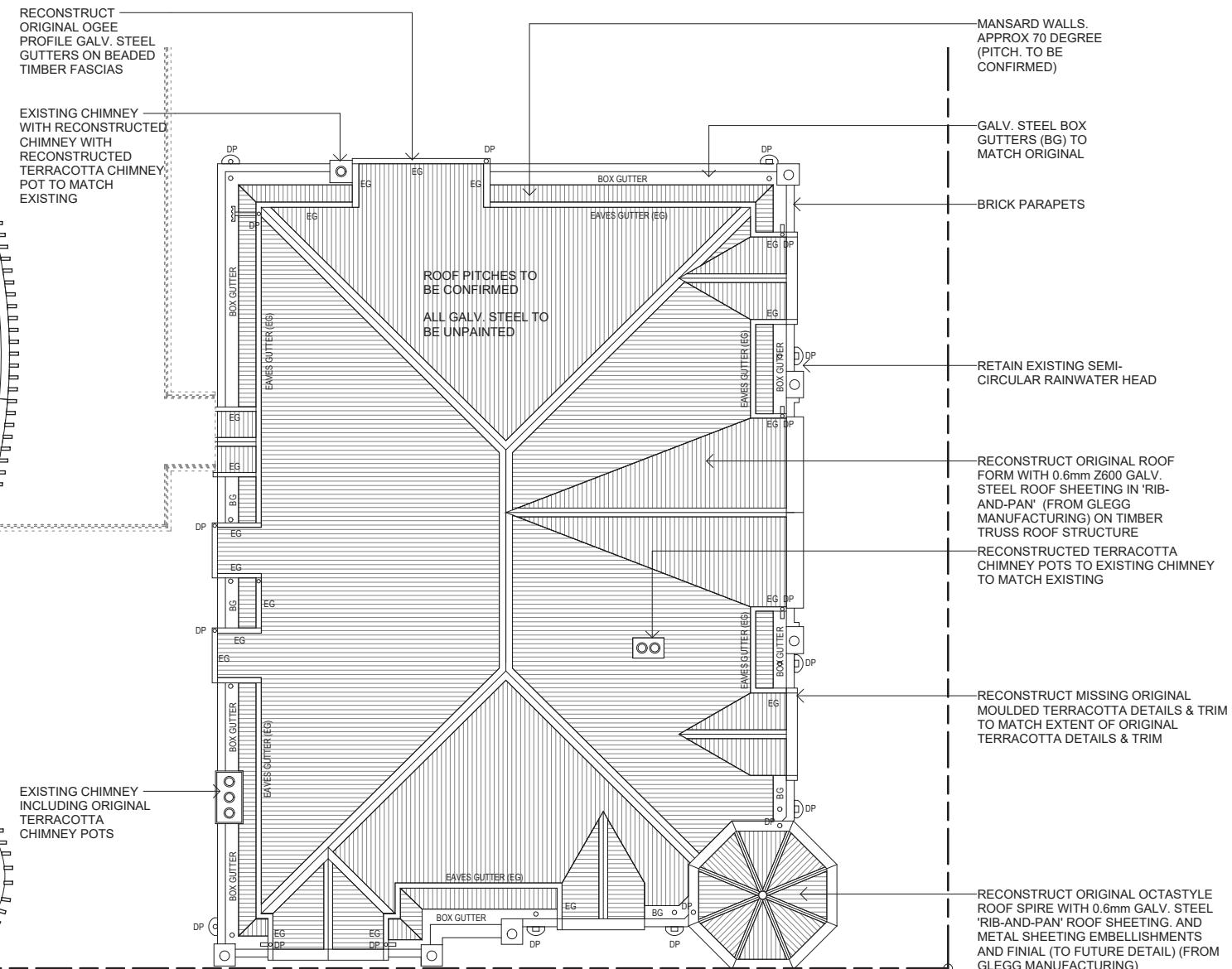
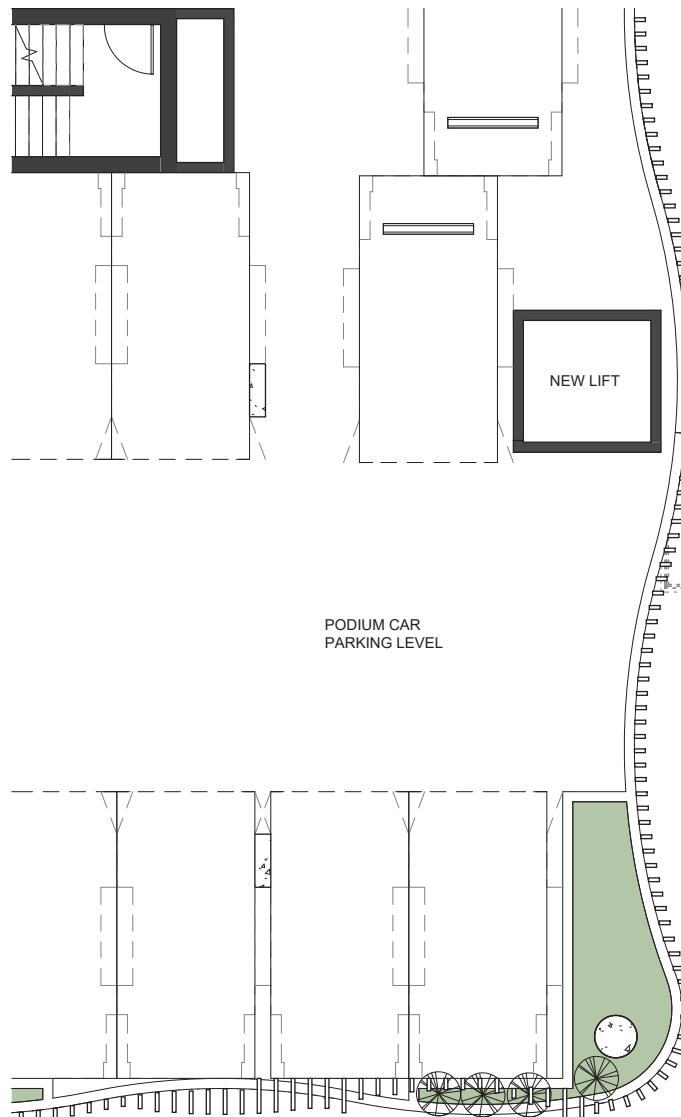


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1 ROOF PLAN - HOTEL PROPOSED  
1 : 100@A3

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HOTEL NOTES

- ORIGINAL WIDE OPENINGS RECONSTRUCTED BY REMOVING 1950'S INFILL
- ORIGINAL FRONT PORCH & WING WALLS RECONSTRUCTED
- ORIGINAL OPENINGS & WINDOWS RECONSTRUCTED
- RETAIN ORIGINAL LANTERN LIGHT
- RECONSTRUCT ORIGINAL EXTERNAL DOORS & WINDOWS TO MATCH SURVIVING ORIGINALS
- RECONSTRUCT ORIGINAL OCTASTYLE ROOF SPIRE WITH 0.6mm GALV. STEEL "RIB-AND-PAN" ROOF SHEETING WITH METAL SHEETING EMBELLISHMENTS & FINIAL (TO FUTURE DETAIL) (FROM CLEGG MANUFACTURING)
- RECONSTRUCT TERRACOTTA CHIMNEY POTS TO EXISTING CHIMNEY TO MATCH EXISTING ROOF SHEETING 0.6mm Z600 GALV. STEEL "RIB-AND-PAN" (FROM CLEGG MANUFACTURING)
- RESTORE BALUSTRADE TO MATCH ORIGINAL STEEL PERGOLA SKELETON TO REPRESENT EXISTING WING OF HOTEL
- RE-INSTATE EXISTING OPENINGS FOR NEW DOORWAYS
- NEW CONCRETE STAIR TO HOTEL ENTRY LEVEL INFILL HIGHER OPENING TO MATCH EXISTING ADJACENT WALLS

NEW BUILDING NOTES

COLOUR

AR1 -	ARBOUR STRUCTURE - AL. POWDERCOATED	ANODIC BRONZE
AR2 -	ARBOUR STRUCTURE - AL. POWDERCOATED	WHITE
BAL1 -	FRAMELESS GLASS BALUSTRADE	CLEAR
BAL2 -	AFS TYPE - CONC UPSTAND - PAINTED	WHITE
COL1 -	CIRCULAR CONC COLUMN - PAINTED	WHITE
COL2 -	RETANGULAR CONC COLUMN - PAINTED	WHITE
CR1 -	CONC ROOF - PAINTED	WHITE
DR1 -	METAL DOME ROOF - COLORBOND	SHALE GREY
GS1 -	TINTED GLAZING - AL. FRAMED WINDOW SYSTEM	ANODIC BRONZE
GS2 -	CURTAIN WALL GLAZING SYSTEM	MONUMENT
GS3 -	SHOPFRONT WINDOW SYSTEM	MONUMENT
SC1 -	VERTICAL AL. BATTEN SCREENING	ANODIC BRONZE
SC2 -	VERTICAL AL. BATTEN SCREENING	WHITE
WA1 -	RENDER - PAINTED FINISH	WHITE
WA2 -	RENDER - PAINTED FINISH	MONUMENT
WA3 -	AL. TIMBER LOOK CLADDING	JARRAH
WA4 -	PRE-CAST CONC PANELS - HORIZONTAL LINES	FLOODED GUM
WA5 -	BRICK FINISH	WHITE

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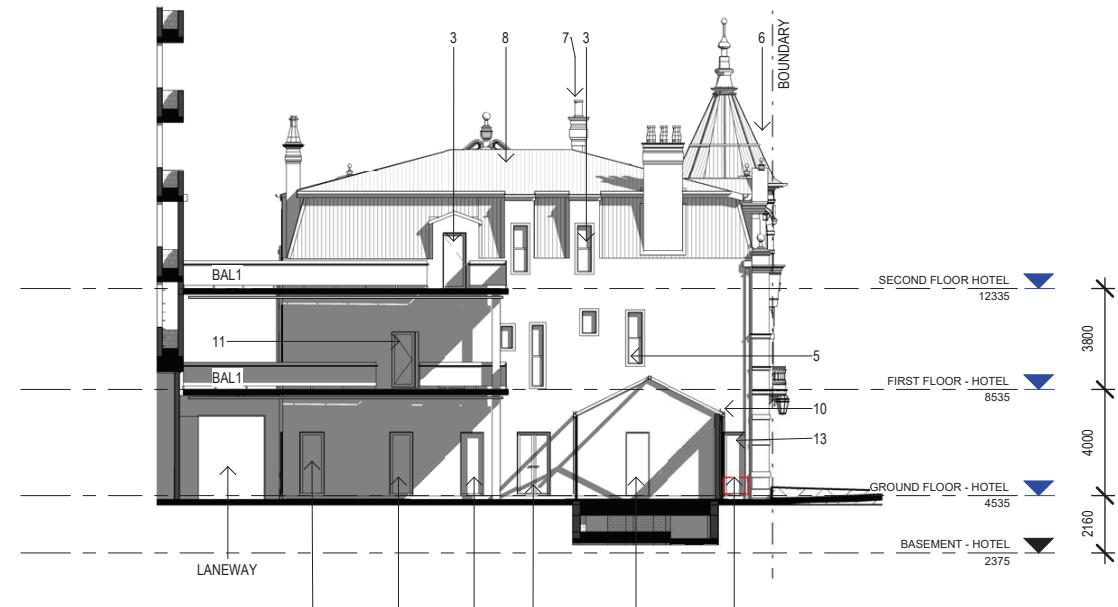
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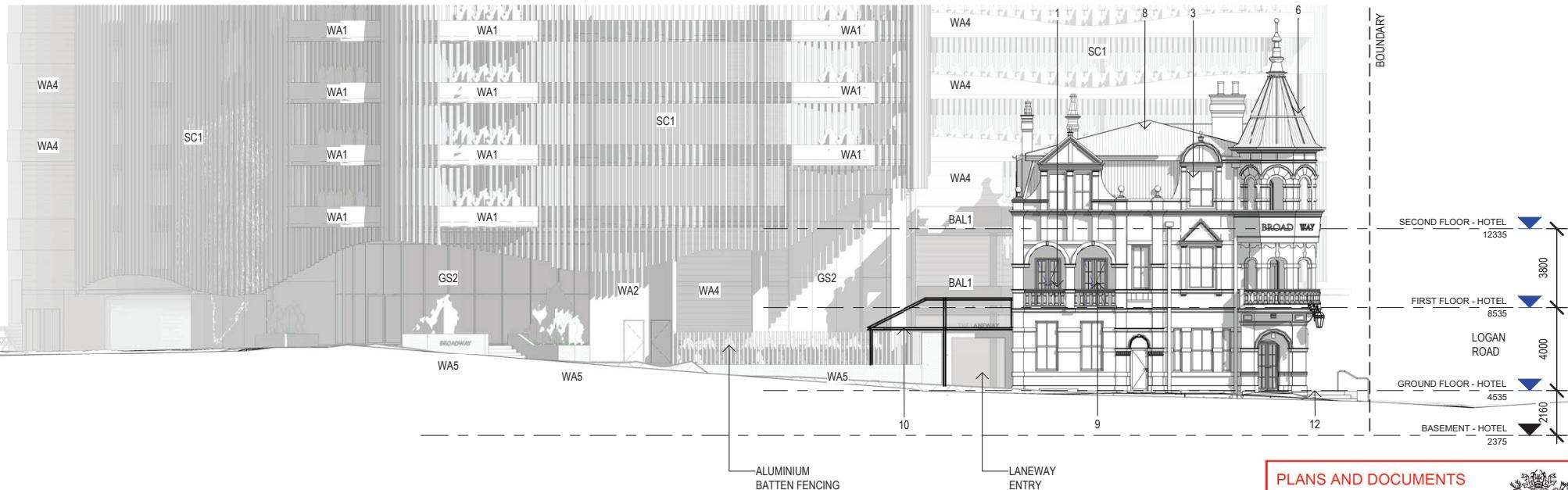
AR1 -	ARBOUR STRUCTURE - AL. POWDERCOATED	ANODIC BRONZE
AR2 -	ARBOUR STRUCTURE - AL. POWDERCOATED	WHITE
BAL1 -	FRAMELESS GLASS BALUSTRADE	CLEAR
BAL2 -	AFS TYPE - CONC UPSTAND - PAINTED	WHITE
COL1 -	CIRCULAR CONC COLUMN - PAINTED	WHITE
COL2 -	RETANGULAR CONC COLUMN - PAINTED	WHITE
CR1 -	CONC ROOF - PAINTED	WHITE
DR1 -	METAL DOME ROOF - COLORBOND	SHALE GREY
GS1 -	TINTED GLAZING - AL FRAMED WINDOW SYSTEM	ANODIC BRONZE
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SC1 -	VERTICAL AL. BATTEN SCREENING	ANODIC BRONZE
SC2 -	VERTICAL AL. BATTEN SCREENING	WHITE
WA1 -	RENDER - PAINTED FINISH	WHITE
WA2 -	RENDER - PAINTED FINISH	MONUMENT
WA3 -	AL. TIMBER LOOK CLADDING	JARRAH
WA4 -	PRE-CAST CONC PANELS - HORIZONTAL LINES	FLOODED GUM
WA5 -	BRICK FINISH	WHITE

COLOUR



3 SOUTH EAST ELEVATION - LANeway  
1 : 200 @ A3

BOUNDARY CORNER



4 SOUTH-EAST ELEVATION - BALA CLAVA ST  
1 : 200 @ A3

**REDDOOR**  
ARCHITECTURE

PLANS AND DOCUMENTS  
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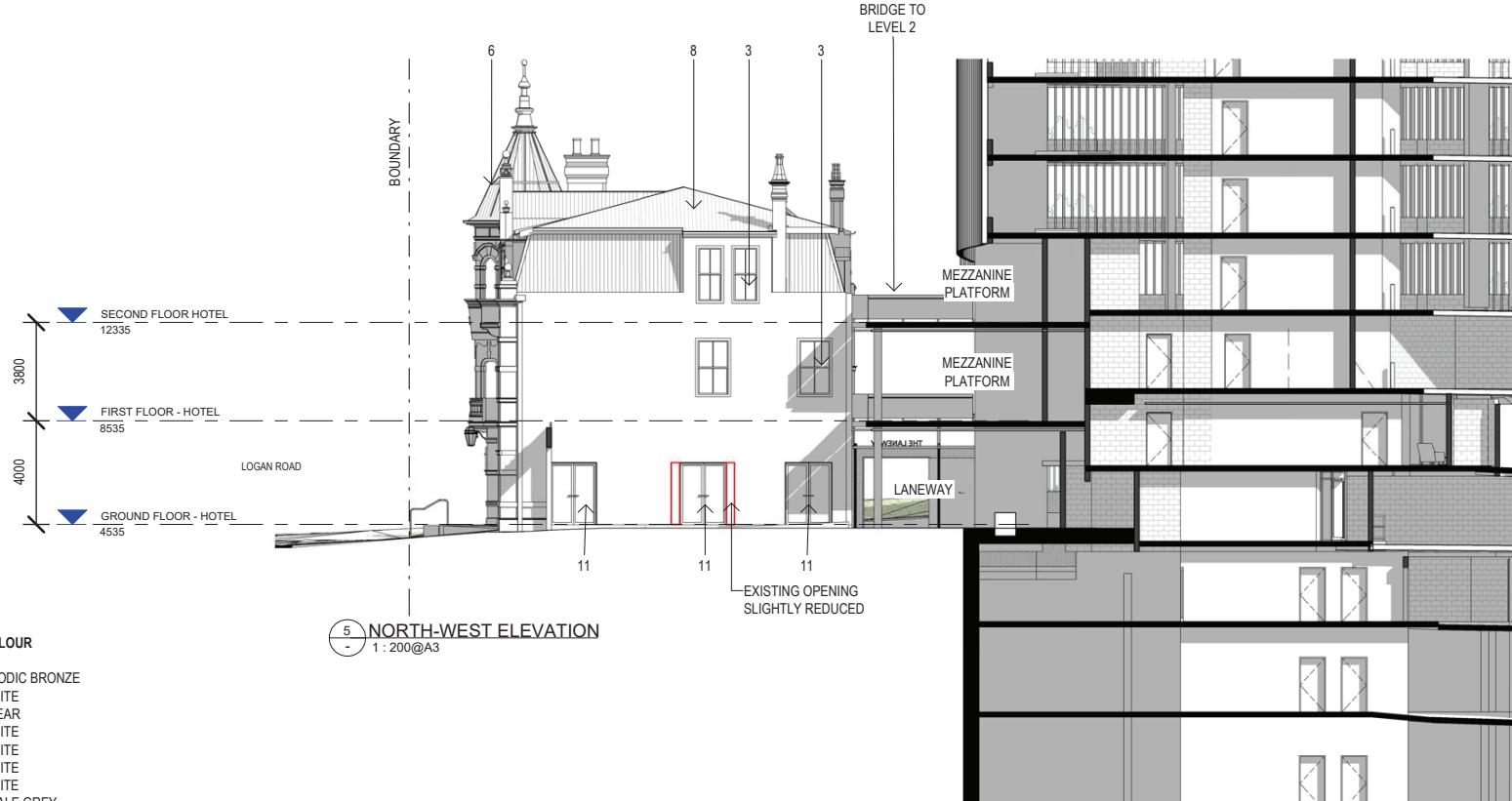


### HOTEL NOTES

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AR2 - ARBOUR STRUCTURE - AL. POWDERCOATED  
BAL1 - FRAMELESS GLASS BALUSTRADE  
BAL2 - AFS TYPE - CONC UPSTAND - PAINTED  
COL1 - CIRCULAR CONC COLUMN - PAINTED  
COL2 - RETANGULAR CONC COLUMN - PAINTED  
CR1 - CONC ROOF - PAINTED  
DR1 - METAL DOME ROOF - COLORBOND  
GS1 - TINTED GLAZING - AL. FRAMED WINDOW SYSTEM  
GS2 - CURTAIN WALL GLAZING SYSTEM  
GS3 - SHOPFRONT WINDOW SYSTEM  
SC1 - VERTICAL AL. BATTEN SCREENING  
SC2 - VERTICAL AL. BATTEN SCREENING  
WA1 - RENDER - PAINTED FINISH  
WA2 - RENDER - PAINTED FINISH  
WA3 - AL. TIMBER LOOK CLADDING  
WA4 - PRE-CAST CONC PANELS - HORIZONTAL LINES  
WA5 - BRICK FINISH

### COLOUR

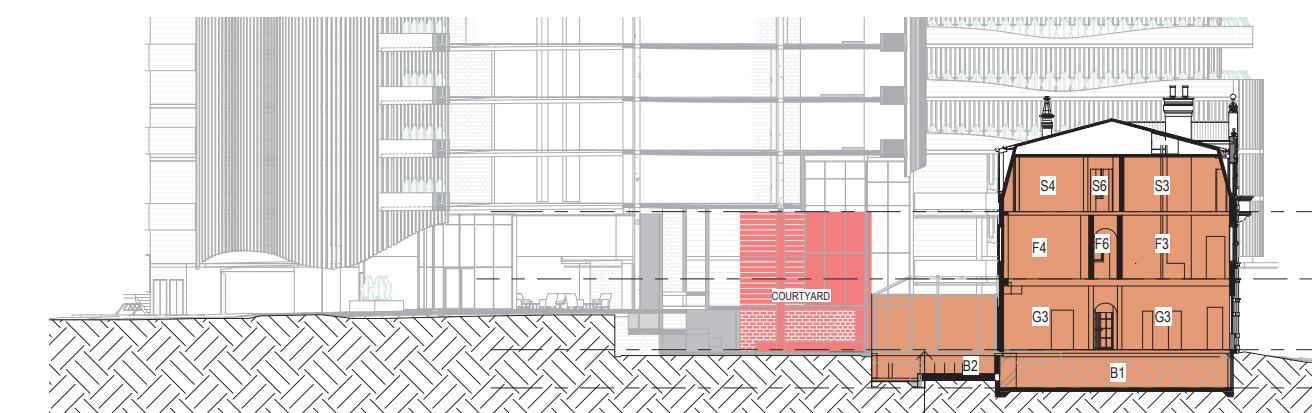
ANODIC BRONZE  
WHITE  
CLEAR  
WHITE  
WHITE  
WHITE  
WHITE  
SHALE GREY  
ANODIC BRONZE  
MONUMENT  
MONUMENT  
ANODIC BRONZE  
WHITE  
WHITE  
MONUMENT  
JARRAH  
FLOODED GUM  
WHITE

## AREA TYPE LEGEND

LANEWAY + EXISTING HOTEL
PROPOSED HOSPITALITY SPACE
PROPOSED BACK OF HOUSE SPACE

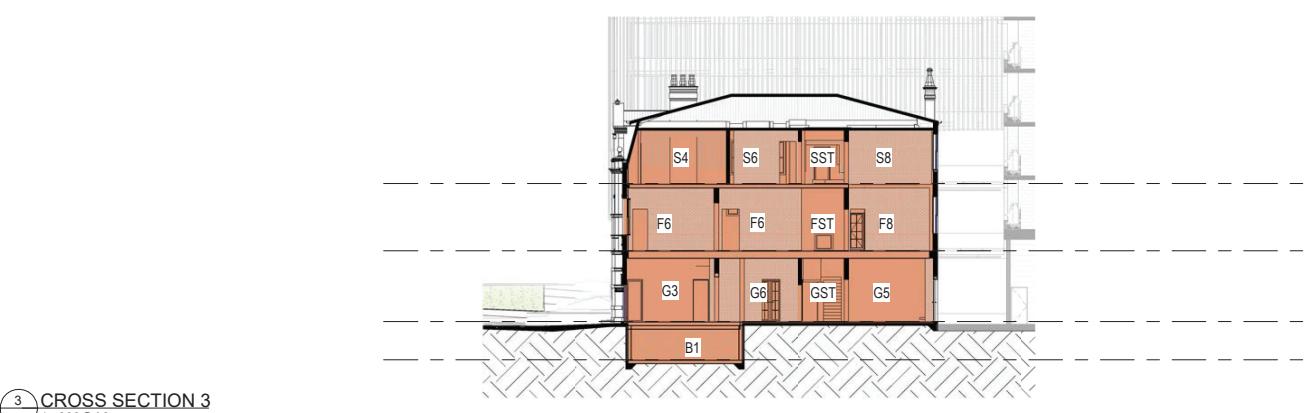


SECOND FLOOR HOTEL 12335  
FIRST FLOOR - HOTEL 8535  
GROUND FLOOR - HOTEL 4535  
4000  
3800  
4000



SECOND FLOOR HOTEL 12335  
FIRST FLOOR - HOTEL 8535  
GROUND FLOOR - HOTEL 4535  
BASEMENT - HOTEL 2375  
4000  
3800  
4000  
2160

NEW CONC. SLAB



SECOND FLOOR HOTEL 12335  
FIRST FLOOR - HOTEL 8535  
GROUND FLOOR - HOTEL 4535  
BASEMENT - HOTEL 2375  
4000  
3800  
4000  
2160

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# BROADWAY HOTEL RESIDENTIAL PROPOSAL

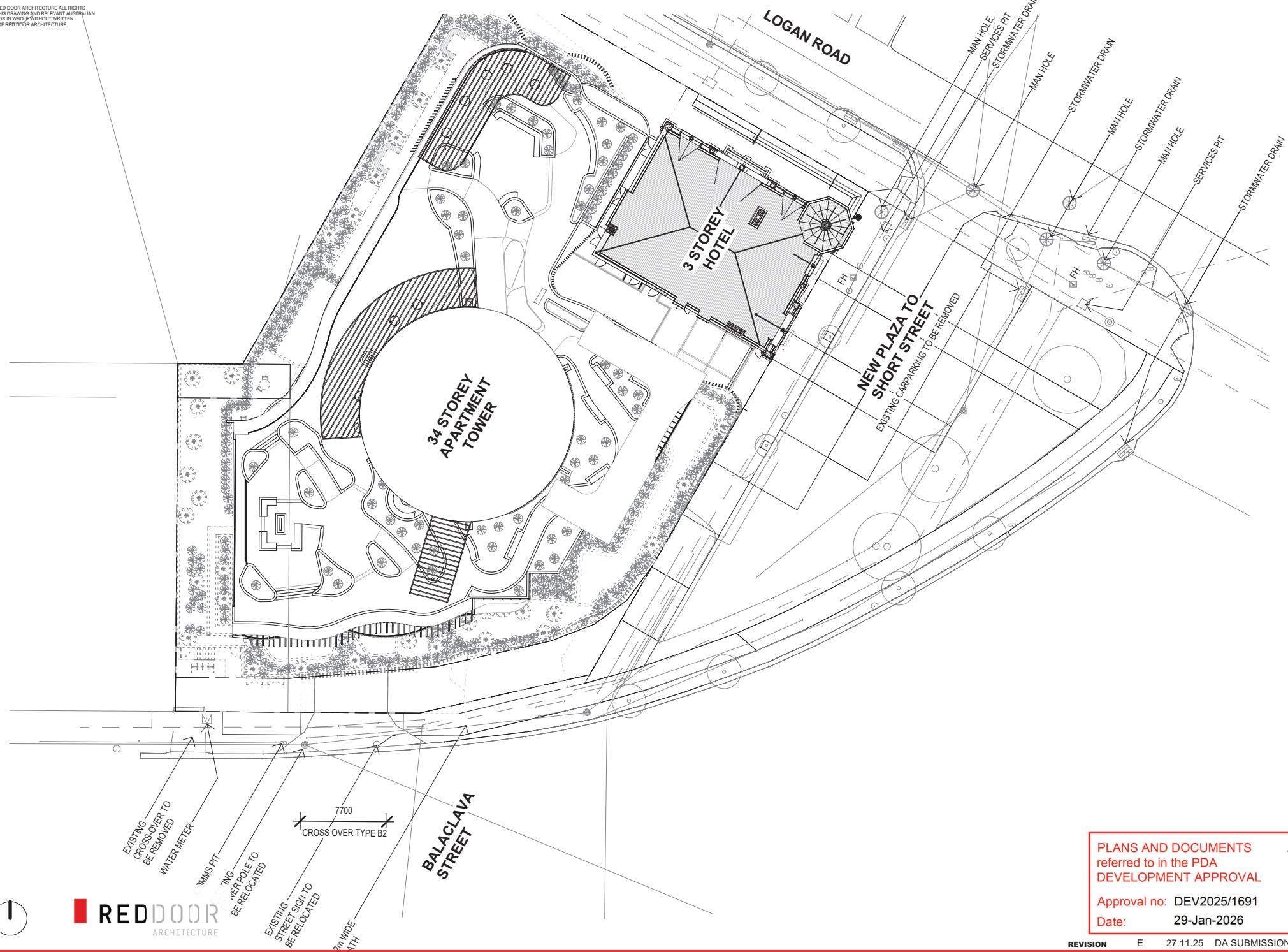
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Approval no: DEV2025/1691  
Date: 29-Jan-2026

AMENDED IN RED

By: Essen Joseph  
Date: 29-Jan-2026





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DEVELOPMENT APPROVAL



Approval no: DEV2025/1691  
Date: 29-Jan-2026



**REDDOOR**  
ARCHITECTURE

## DEVELOPMENT SUMMARY

REAL PROPERTY DESCRIPTION	
93 & 97 LOGAN ROAD, WOOLLOONGABBA, QLD. 4102	
LOT 50 ON RP217072	
LOT 1 ON RP149357	
LOT 76 ON RP11846	
TOTAL SITE AREA:	2,511m <sup>2</sup>
TOTAL LANDSCAPED AREA:	826m <sup>2</sup> (32.9%)
TOTAL DEEP PLANTING:	0m <sup>2</sup> (0%)
TOTAL GFA	27,111m <sup>2</sup> (1080.5%)
TOTAL COMMUNAL OPEN SPACE (OUTDOOR):	5986m <sup>2</sup> (63.6%)
TOTAL COMMUNAL OPEN SPACE (INDOOR):	471m <sup>2</sup> (18.7%)
SITE COVER	2,189m <sup>2</sup> (87.0%)

## PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL



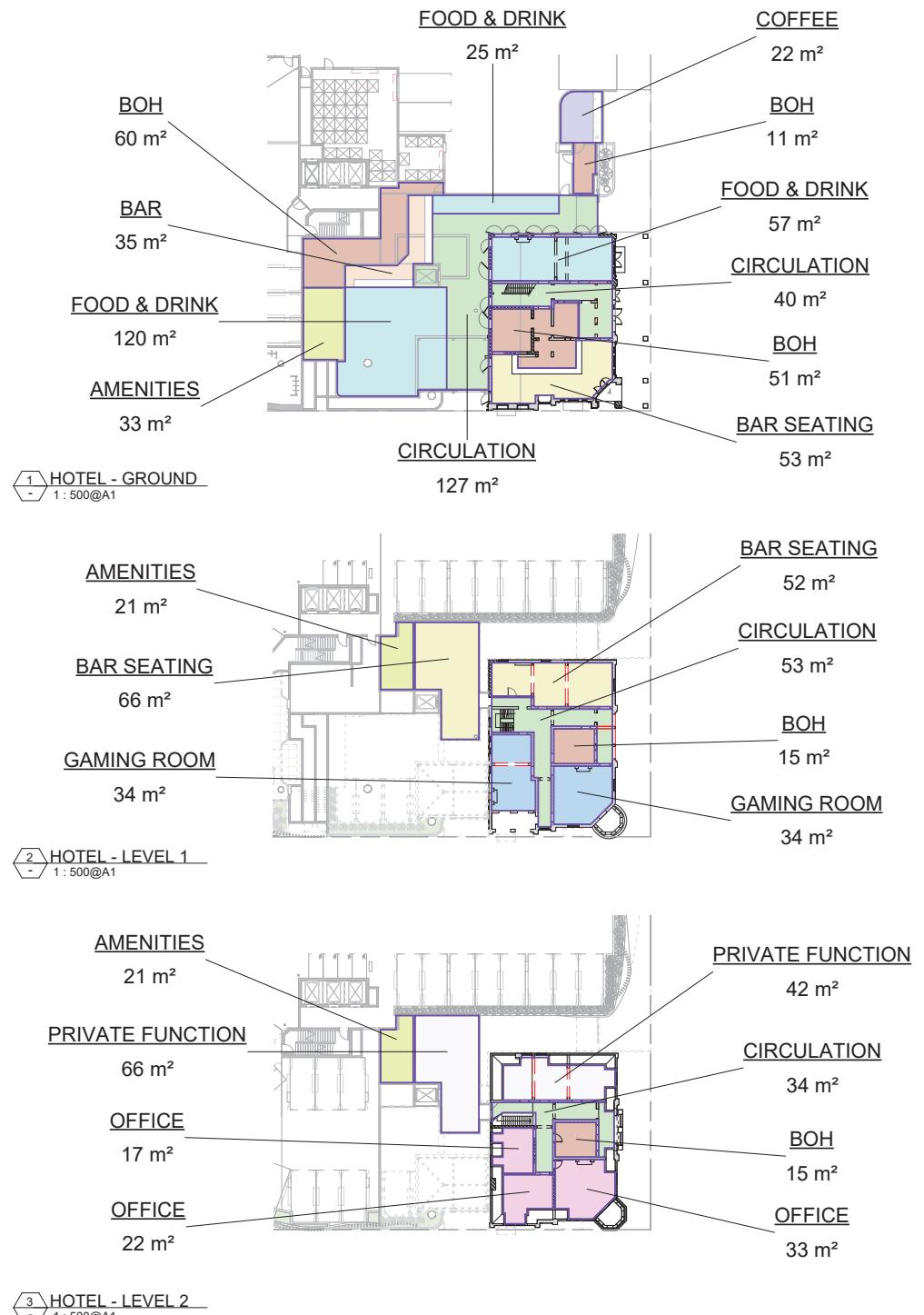
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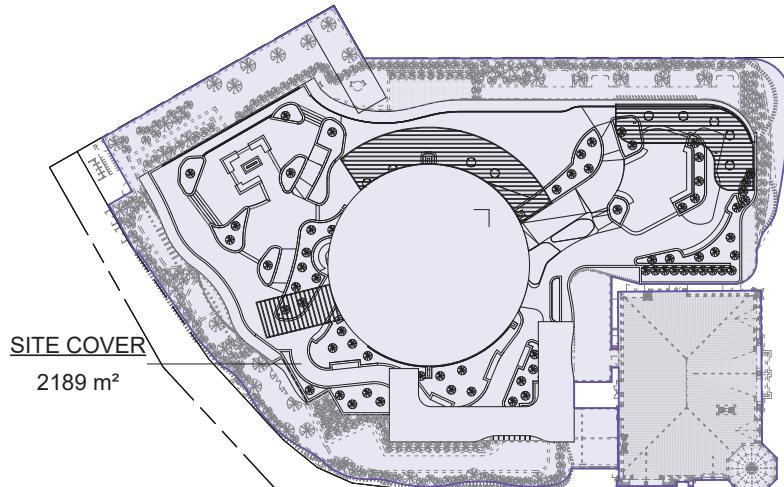
\*A TOTAL OF 10 CAR PARKS HAVE BEEN  
ALLOCATED FOR COMMERCIAL USE IN  
ASSOCIATION WITH THE BROADWAY HOTEL

HOTEL - AREAS BY ACTIVITY (m <sup>2</sup> )		
LEVEL	ACTIVITY	AREA (m <sup>2</sup> )
GROUND - OUTDOOR	BAR / KITCHEN / BACK OF HOUSE / STORAGE	106
	FOOD & DRINK (PATRONS AREA)	167
	CIRCULATION	127
	AMENITIES	33
GROUND - INDOOR	HOTEL BAR (PATRONS AREA)	53
	HOTEL BAR / BACK OF HOUSE / STORAGE	51
	HOTEL FOOD & DRINK	57
	CIRCULATION	40
LEVEL 1 - OUTDOOR	HOTEL BAR SEATING - MEZZANINE	66
	AMENITIES	21
LEVEL 1 - INDOOR	HOTEL - BAR / SEATING	52
	BACK OF HOUSE	15
	GAMING ROOM	68
	CIRCULATION	53
LEVEL 2 - OUTDOOR	PRIVATE FUNCTIONS - MEZZANINE	66
	AMENITIES	21
LEVEL 2 - INDOOR	PRIVATE FUNCTIONS - ROOM	42
	BACK OF HOUSE	15
	HOTEL OFFICES	72
	CIRCULATION	34

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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 SITE COVER  
1 : 500@A1

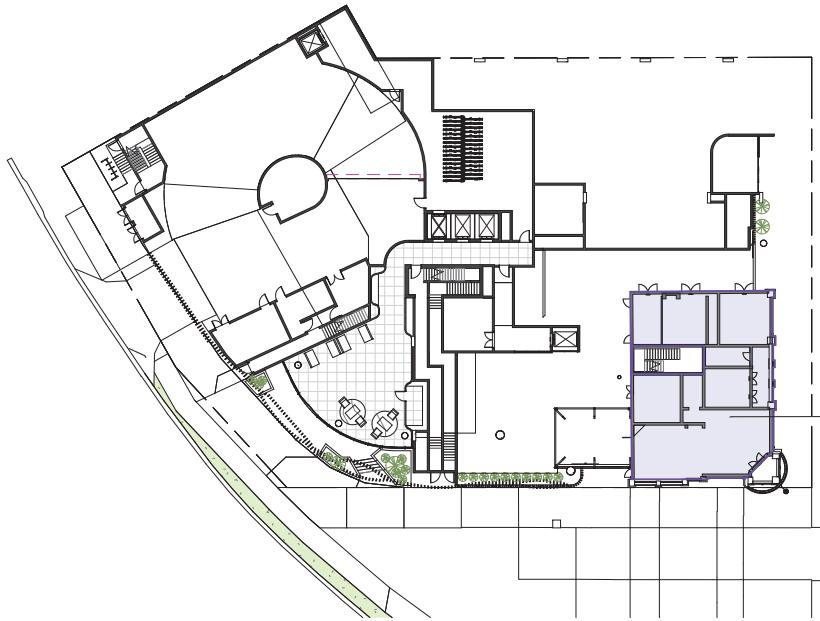


**REDDOOR**  
ARCHITECTURE

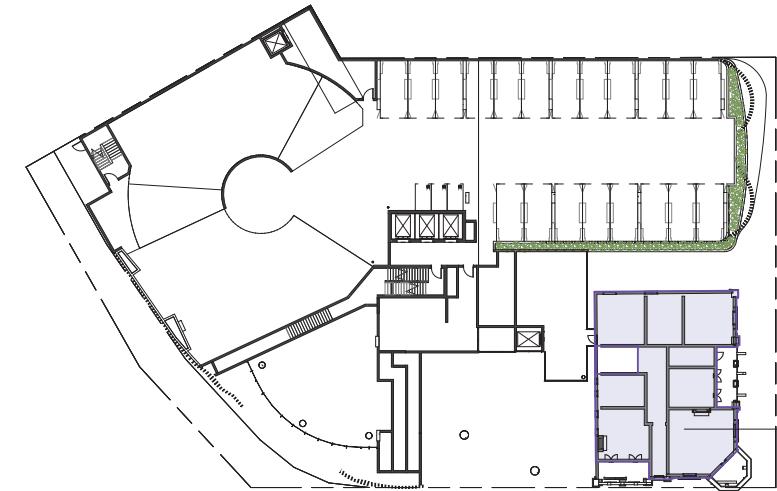
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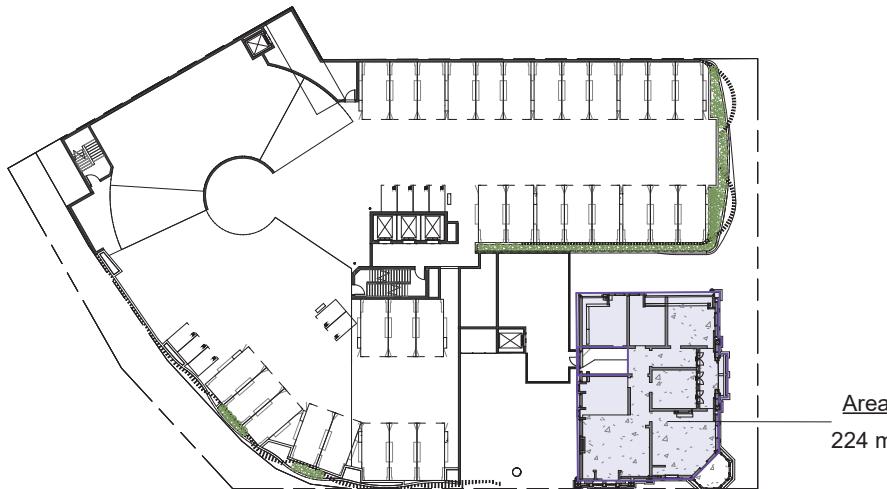
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1 LEVEL 1 (GF) - GFA  
1 : 500@A3



2 LEVEL 2 - GFA  
1 : 500@A3



3 LEVEL 3 - GFA  
1 : 500@A3



4 LEVEL 7 PODIUM - GFA  
1 : 500@A3

TOTAL AREA: 589m<sup>2</sup>

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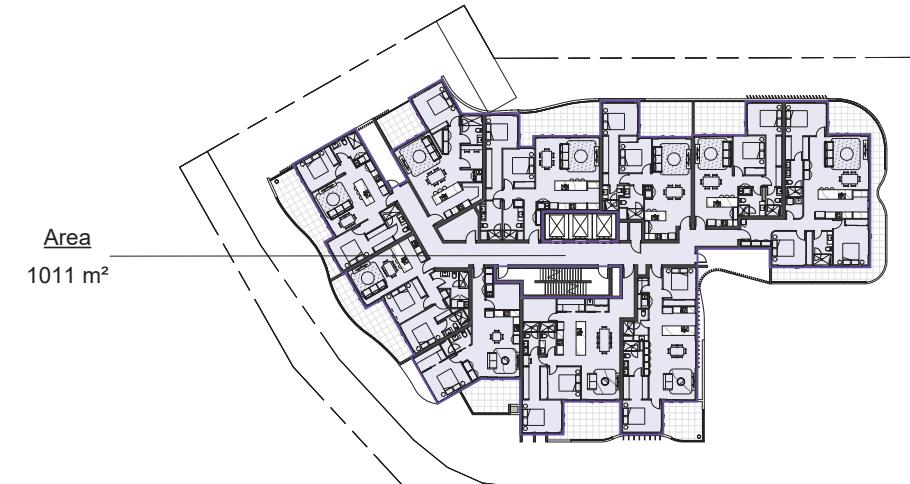
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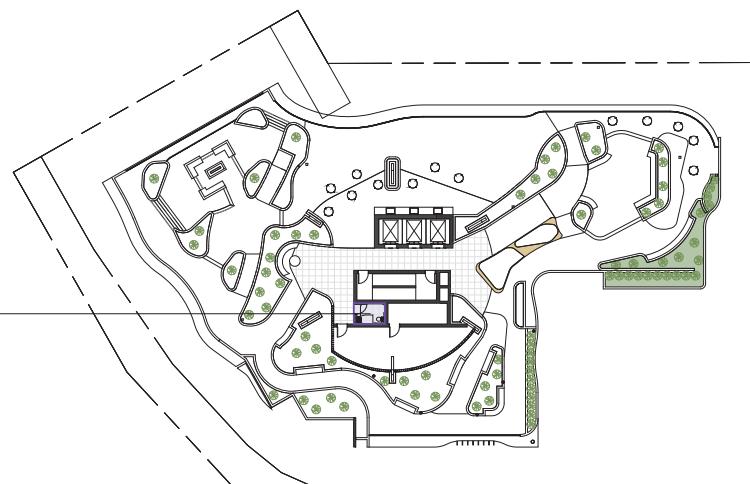
**REDDOOR**  
ARCHITECTURE



5 LEVEL 8 - GFA  
1 : 500@A3



6 TYPICAL FLOOR (LEVELS 9-33)  
1 : 500@A3



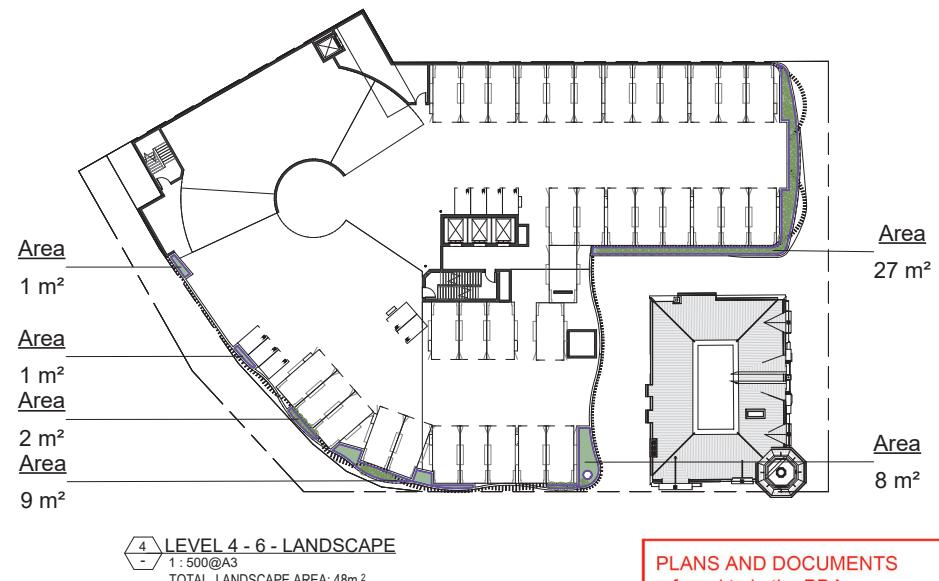
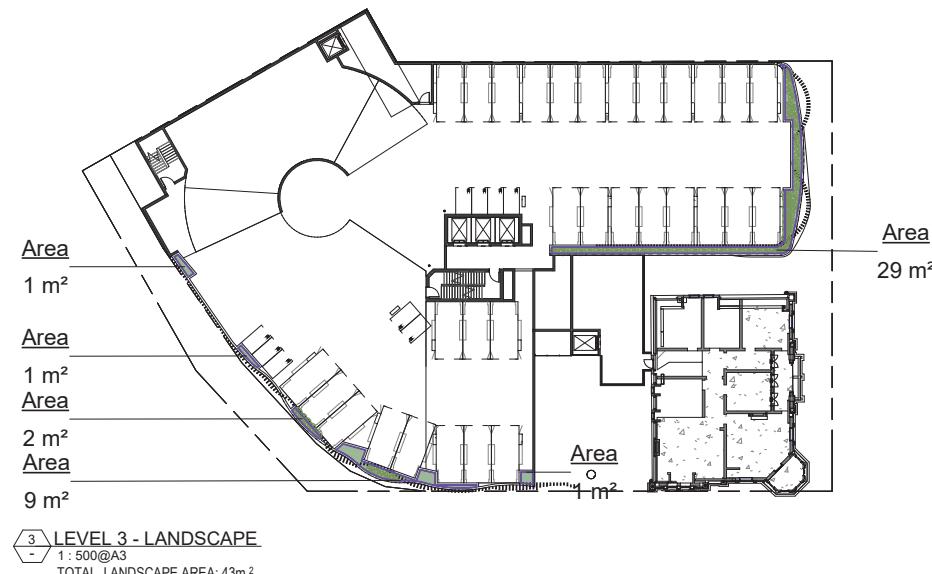
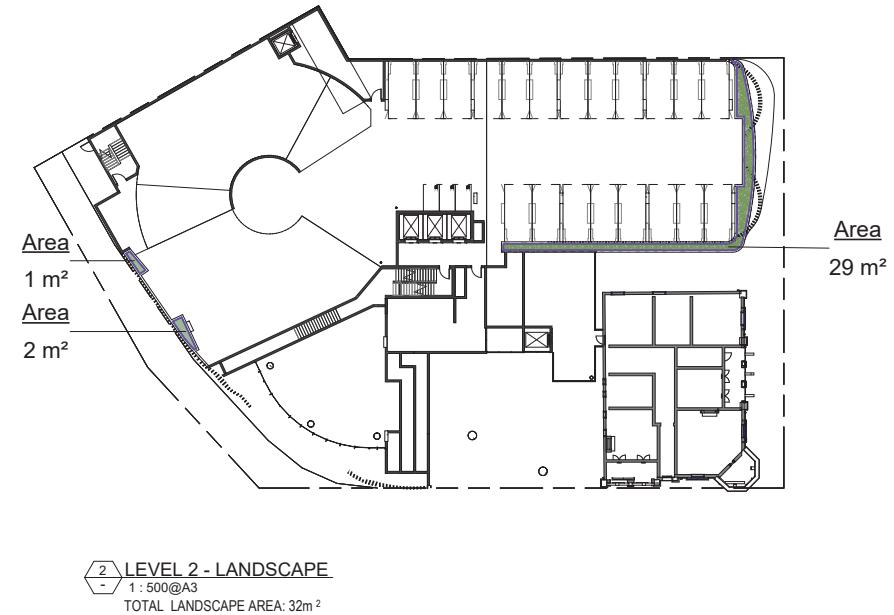
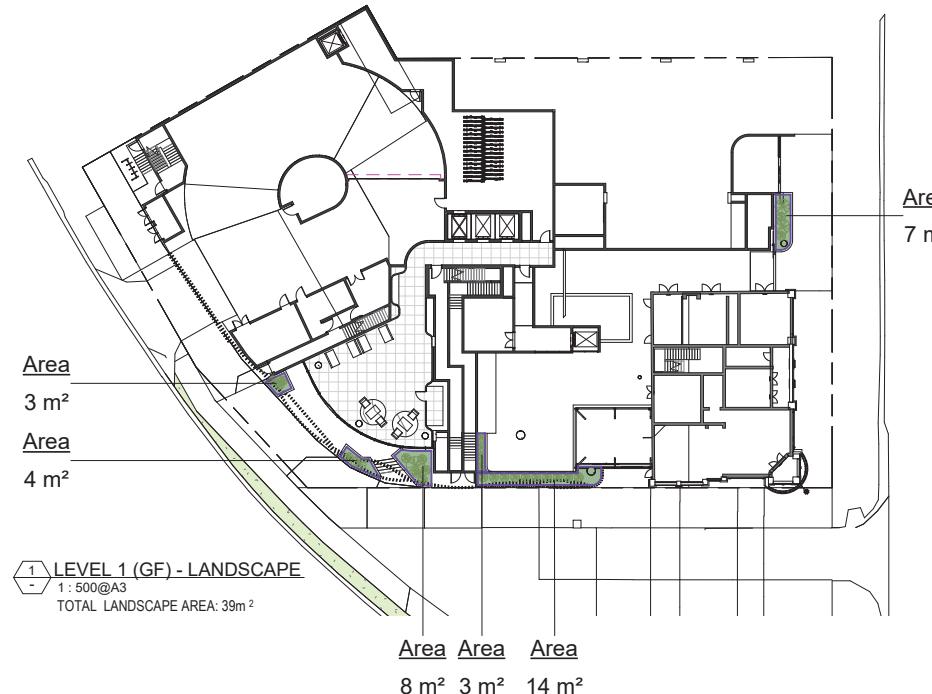
7 ROOF TERRACE - GFA  
1 : 500@A3



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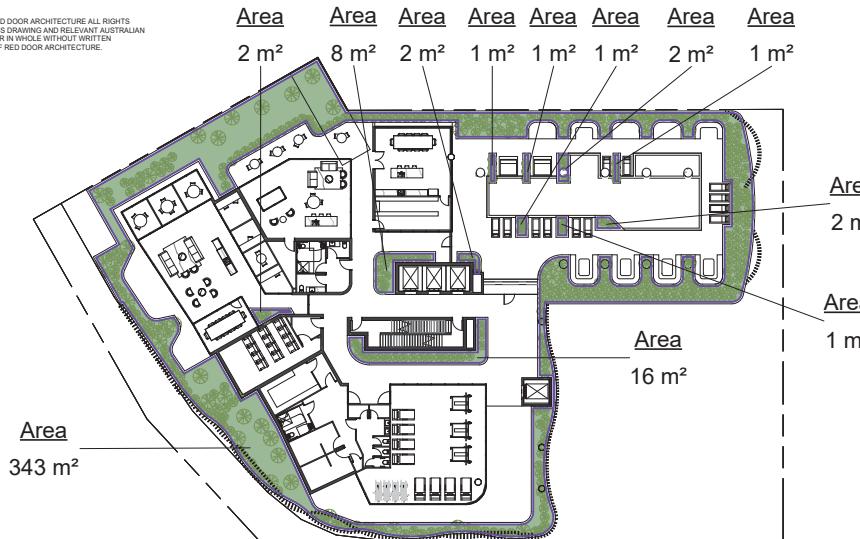
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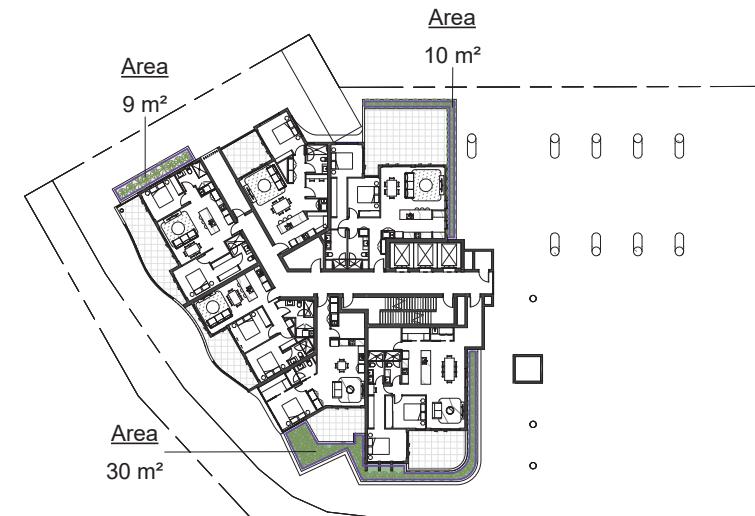
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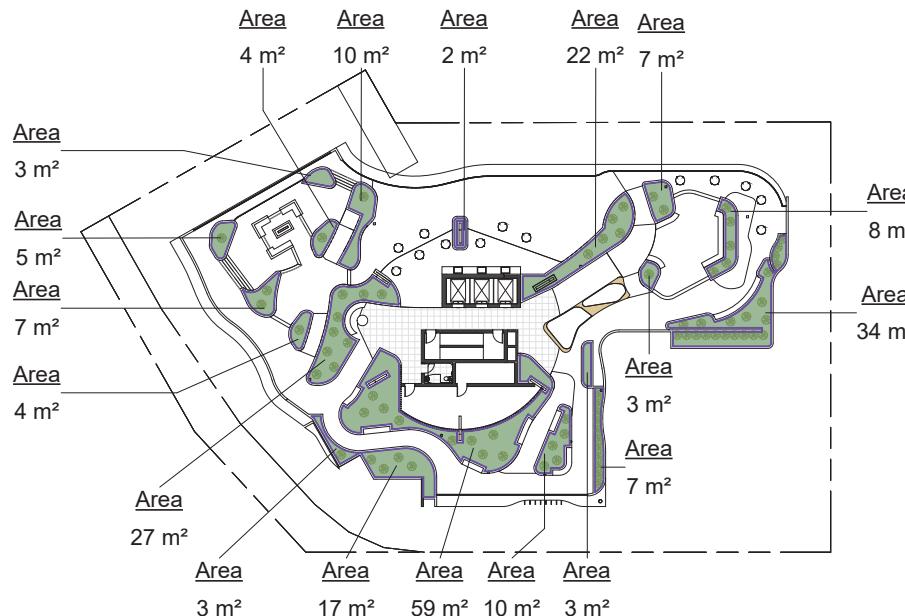
**REDDOOR**  
ARCHITECTURE



5 LEVEL 7 PODIUM - LANDSCAPE  
1 : 500@A3  
TOTAL LANDSCAPE AREA: 380m<sup>2</sup>



6 LEVEL 8 - LANDSCAPE  
1 : 500@A3  
TOTAL LANDSCAPE AREA: 39m<sup>2</sup>



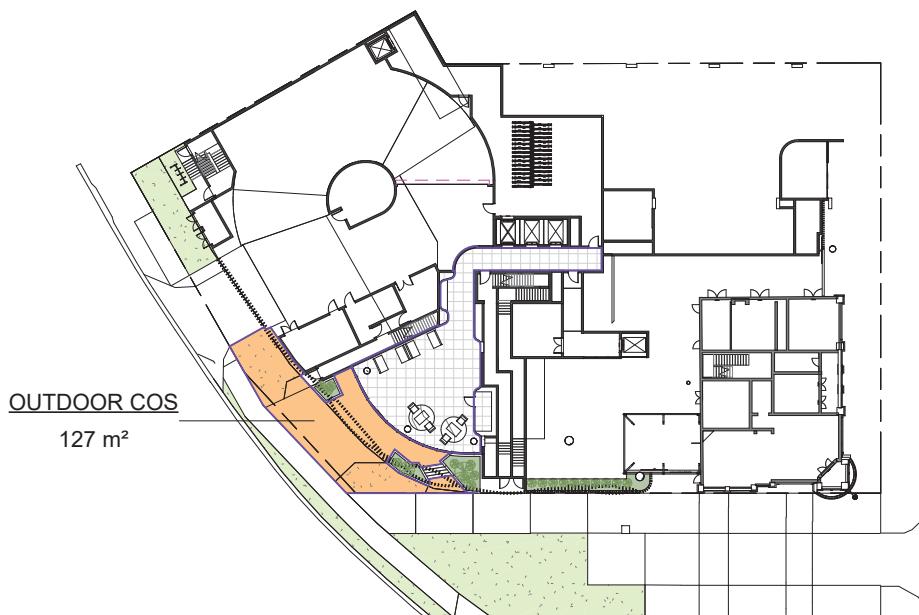
1 ROOF TERRACE - LANDSCAPE  
1 : 500@A3  
TOTAL LANDSCAPE AREA: 236m<sup>2</sup>



**REDDOOR**  
ARCHITECTURE

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1 LEVEL 1 (GF) - COS  
1 : 500@A3  
TOTAL OUTDOOR COS: 127m<sup>2</sup>

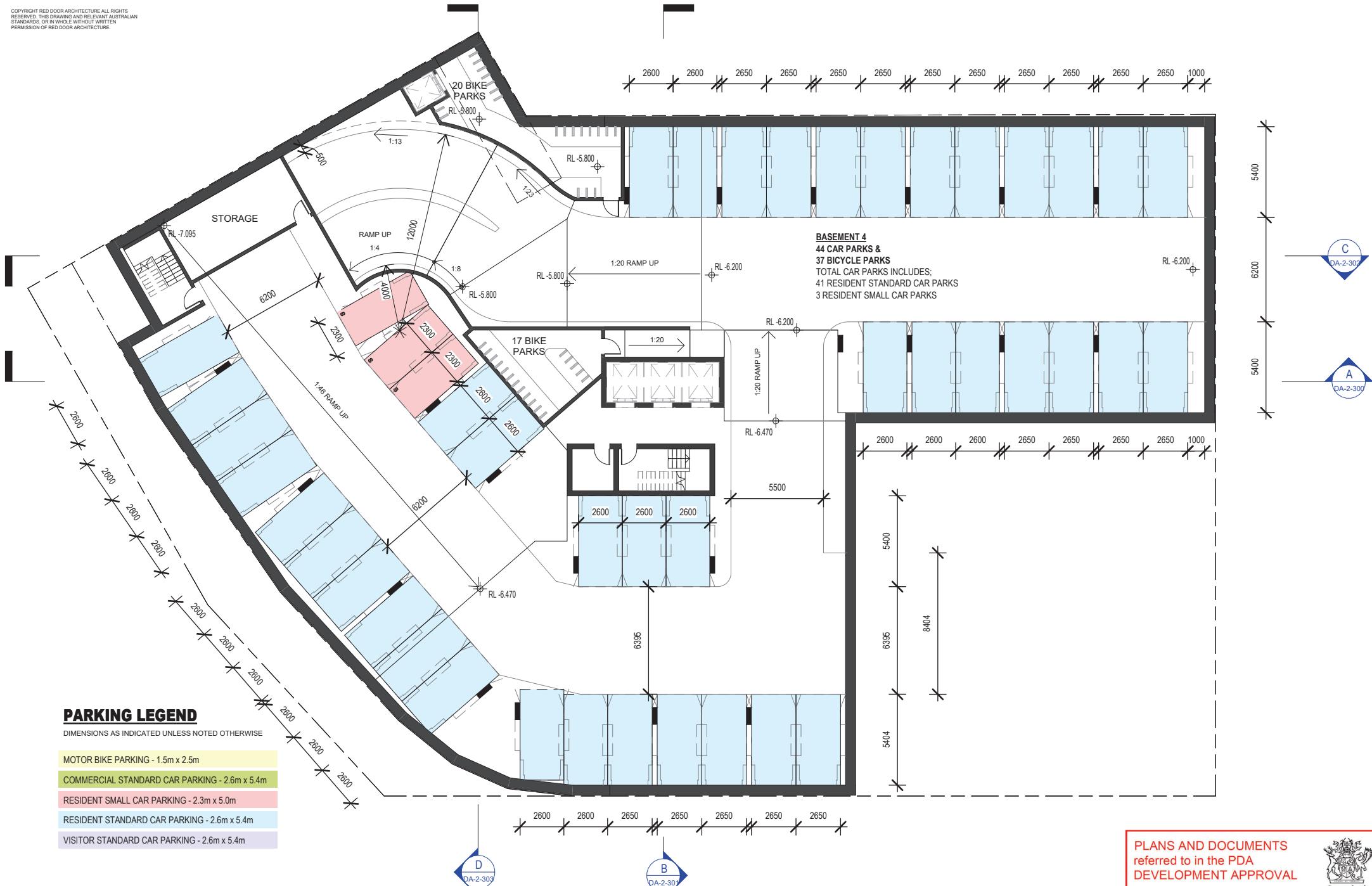


3 ROOF TERRACE - COS  
1 : 500@A3  
TOTAL COS: 809m<sup>2</sup>



2 LEVEL 7 - COS  
1 : 500@A3  
TOTAL OUTDOOR COS: 661m<sup>2</sup>  
TOTAL INDOOR COS: 471m<sup>2</sup>





 RED DOOR  
ARCHITECTURE

WWW.RDARCH.COM.AU

210078

SCALE 1:200

03.09.25

93 LOGAN ROAD, WOOLLOONGABBA, QLD. 4102

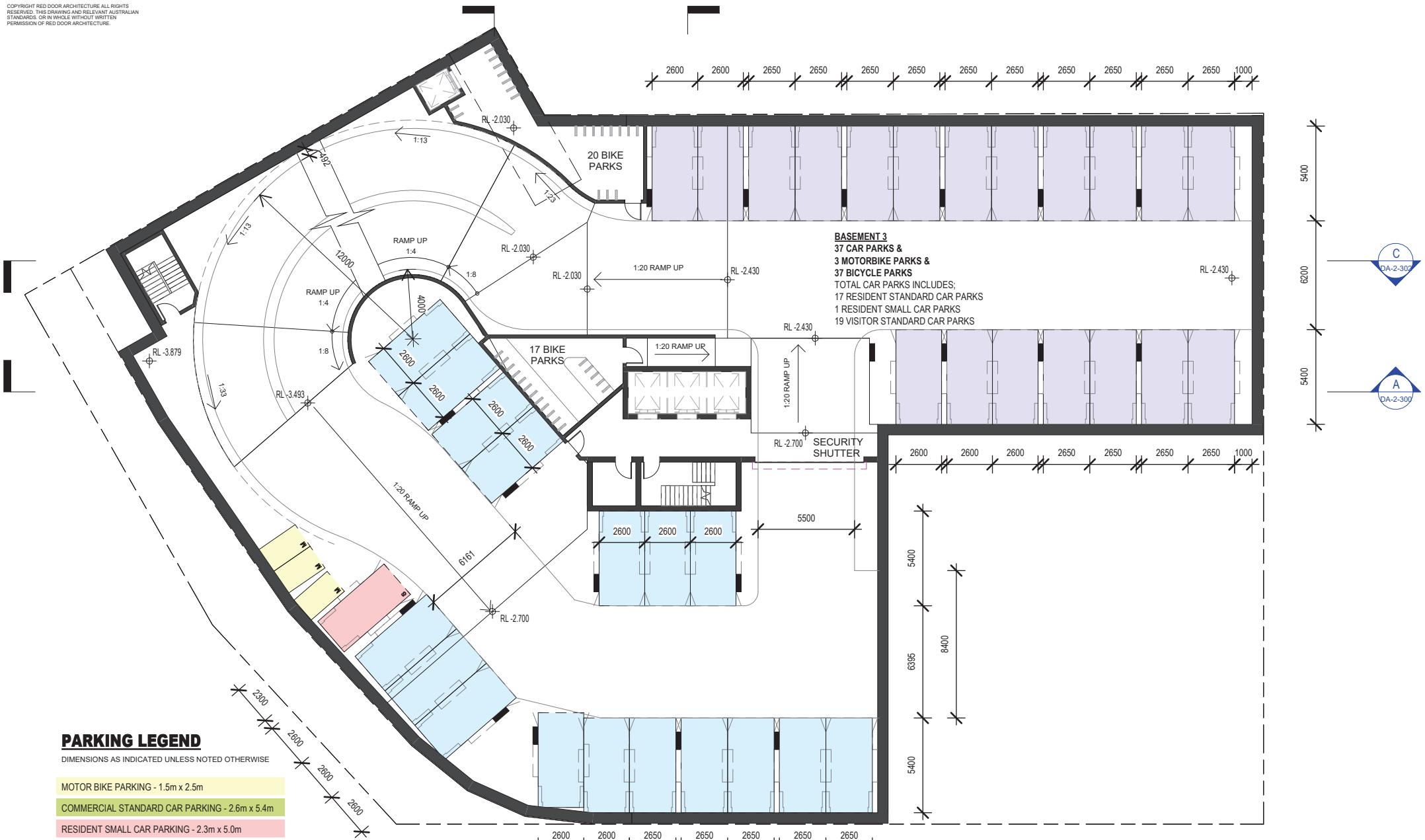
## MIXED USE DEVELOPMENT

DA-2-096 BASEMENT 4

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REVISION E 03 09 25 DA SUBMISSION





## **PARKING LEGEND**

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DIMENSIONS AS INDICATED UNLESS NOTED OTHERWISE

MOTOR BIKE PARKING - 1.5m x 2.5m
COMMERCIAL STANDARD CAR PARKING - 2.6m x 5.4m
RESIDENT SMALL CAR PARKING - 2.3m x 5.0m
RESIDENT STANDARD CAR PARKING - 2.6m x 5.4m
VISITOR STANDARD CAR PARKING - 2.6m x 5.4m



 REDDOOR  
ARCHITECTURE

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210078

SCALE 1:20

04.12.25

93 LOGAN ROAD, WOOLLOONGABBA, QLD. 4102

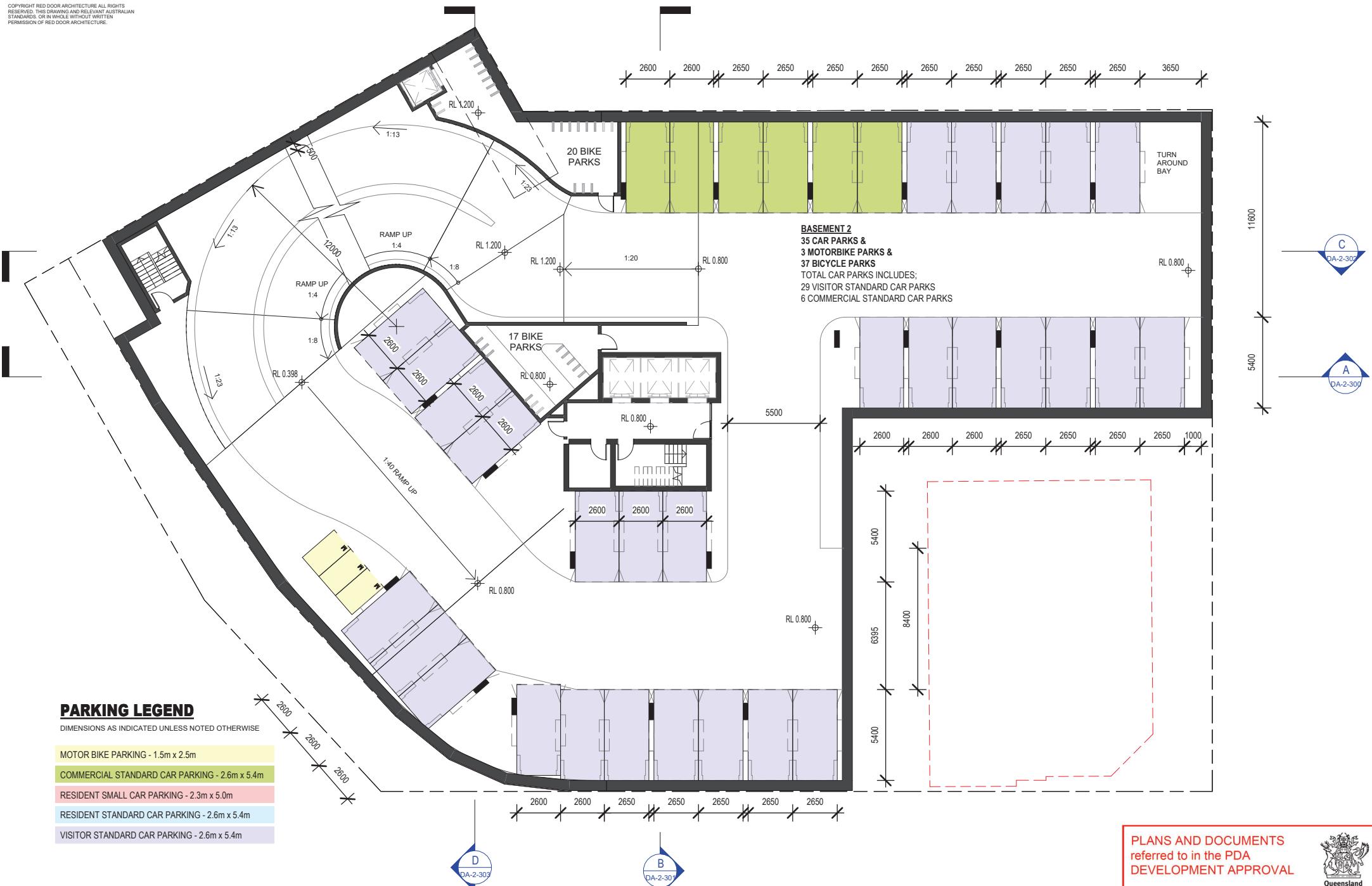
## MIXED USE DEVELOPMENT

DA-2-097 BASEMENT 3

REVISION H 04.12.25 DA SUBMISSION



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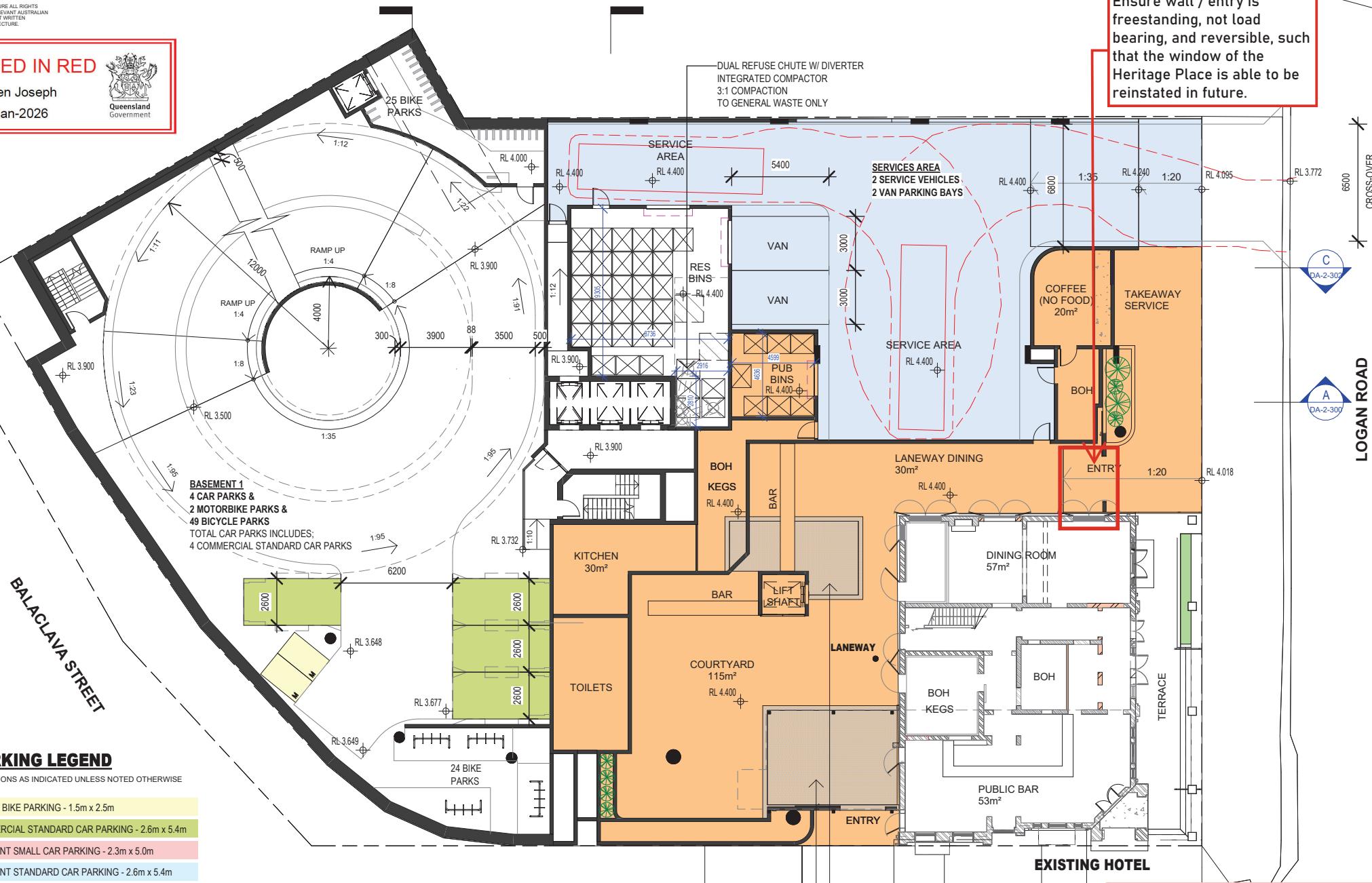


**AMENDED IN RED**



By: Essen Joseph  
Date: 29-Jan-2026

Ensure wall / entry is freestanding, not load bearing, and reversible, such that the window of the Heritage Place is able to be reinstated in future.



## **PARKING LEGEND**

---

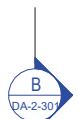
DIMENSIONS AS INDICATED UNLESS NOTED OTHERWISE

- MOTOR BIKE PARKING - 1.5m x 2.5m
- COMMERCIAL STANDARD CAR PARKING - 2.6m x 5.4m
- RESIDENT SMALL CAR PARKING - 2.3m x 5.0m
- RESIDENT STANDARD CAR PARKING - 2.6m x 5.4m
- VISITOR STANDARD CAR PARKING - 2.6m x 5.4m

## —SURFACE PREVIOUS BUILDING FOOTPRINT - RE-USE BRICKS FROM PREVIOUS STRUCTURE

## PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2025/1691  
Date: 29-Jan-2026



AMENDED IN RED

By: Essen Joseph



Date: 29-Jan-2026

Dedicate land as road reserve, as per Inset Diagram 1 and condition 36

EGRESS FROM PODIUM

6 BIKE PARKS

EGRESS FROM BASEMENT

BOOSTER

ALL VISITORS DOWN TO B1 & B2

LEFT TURN IN AND LEFT TURN OUT ONLY

BALACLAVA STREET

RL 6.250

RL 6.368

RL 6.400

RL 6.552

RL 6.637

RL 6.700

RL 5.900

RL 5.870

RL 5.700

RL 5.870

RL 5.870

RL 4.400

RL 4.240

RL 4.095

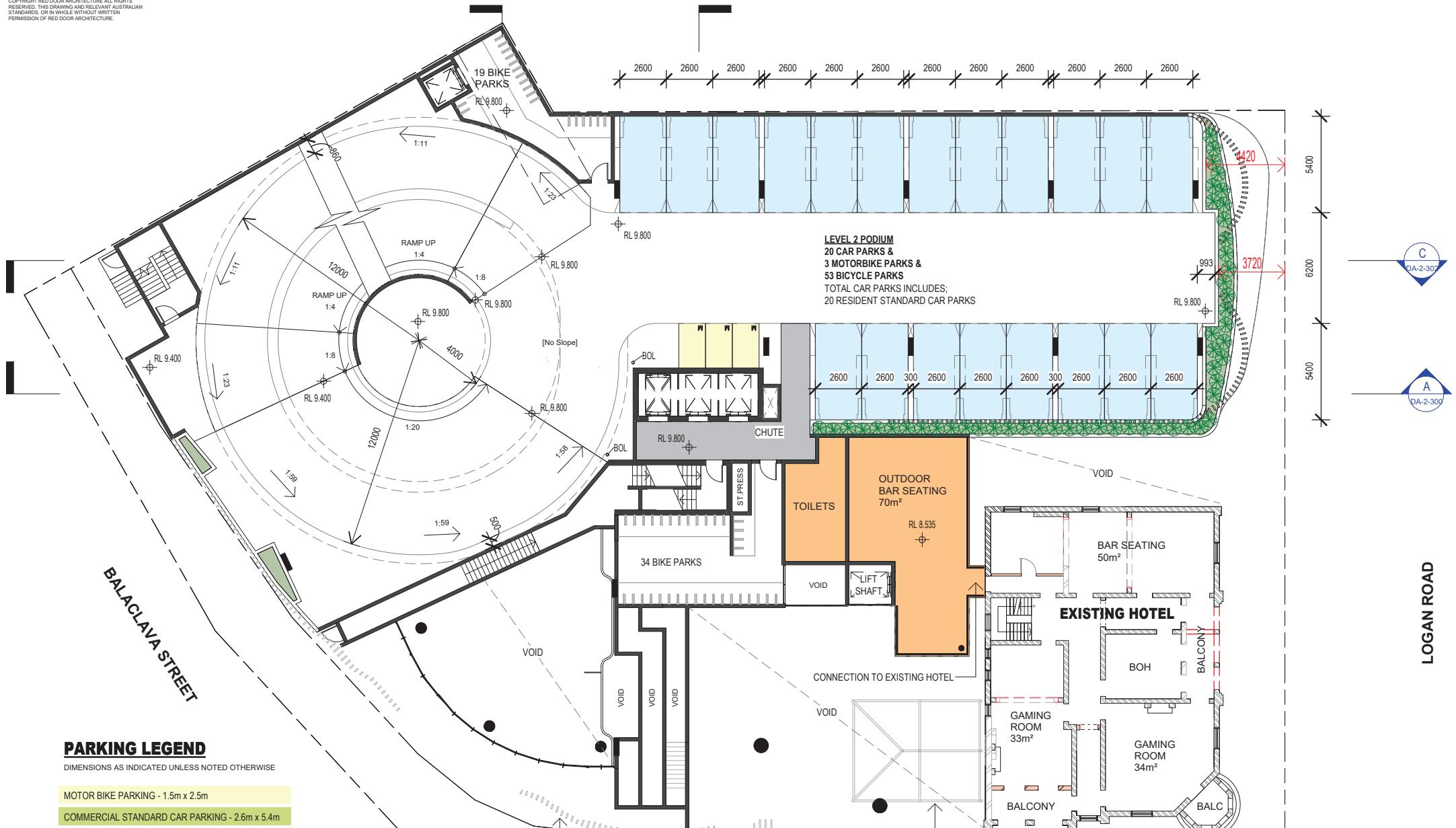
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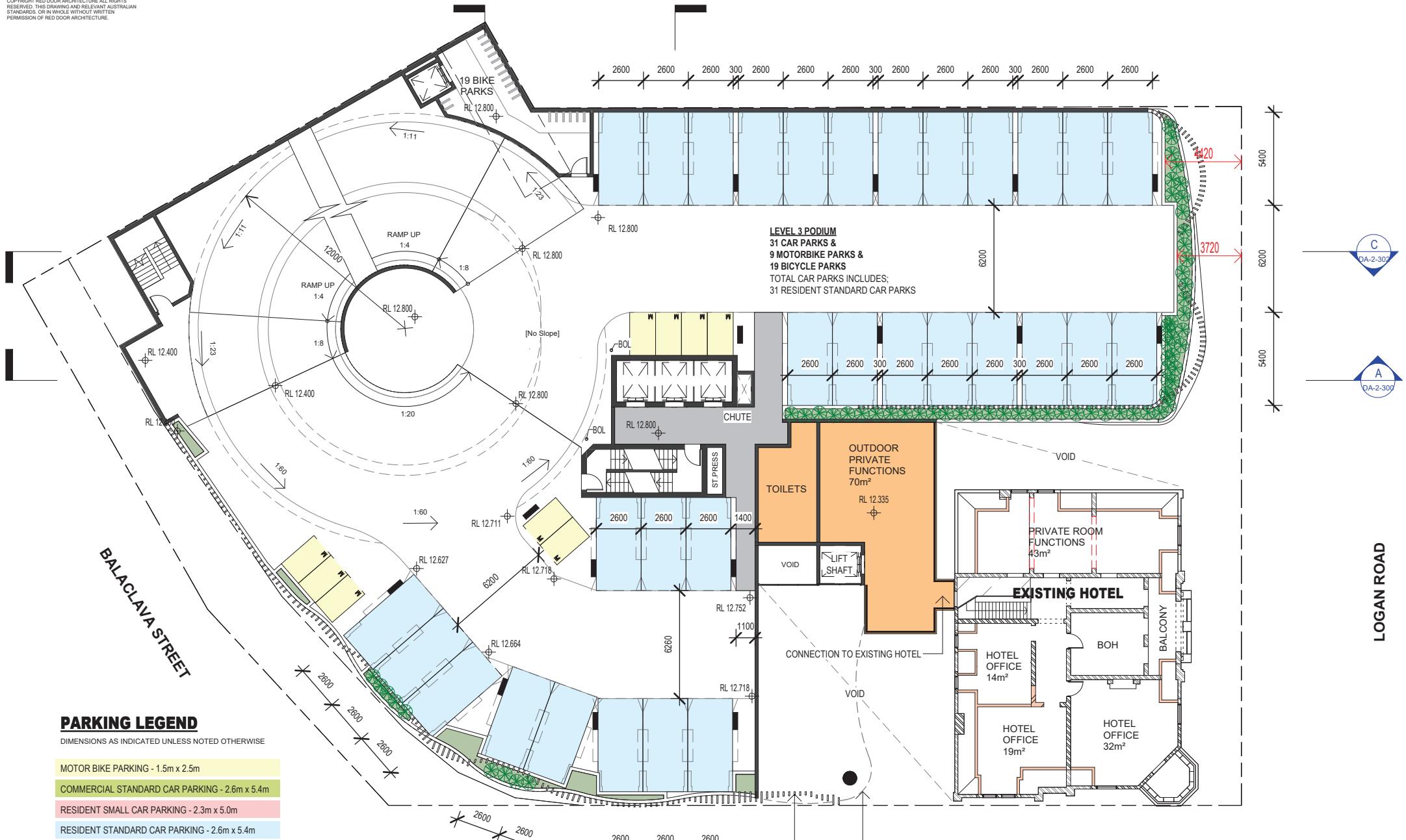
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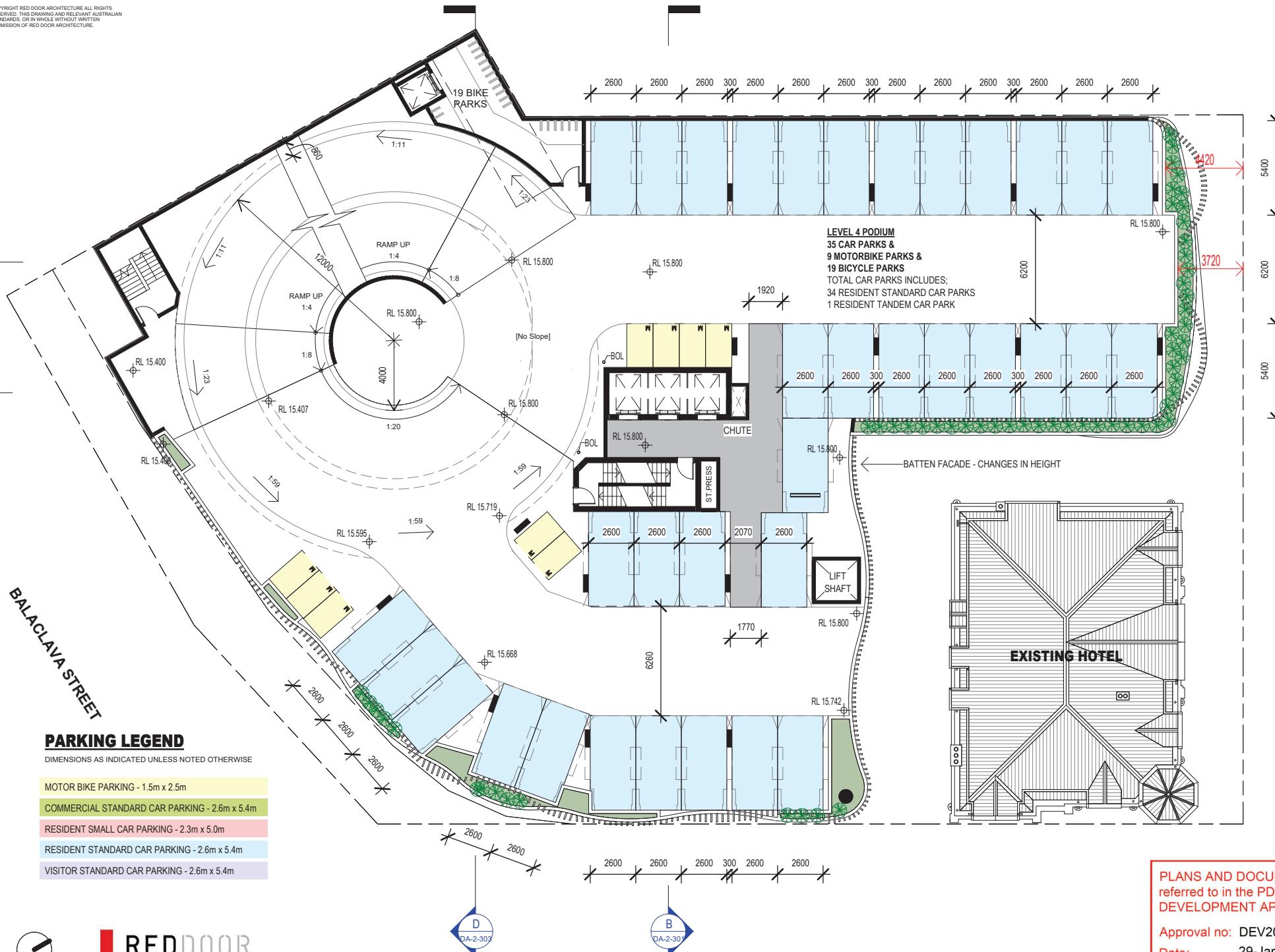
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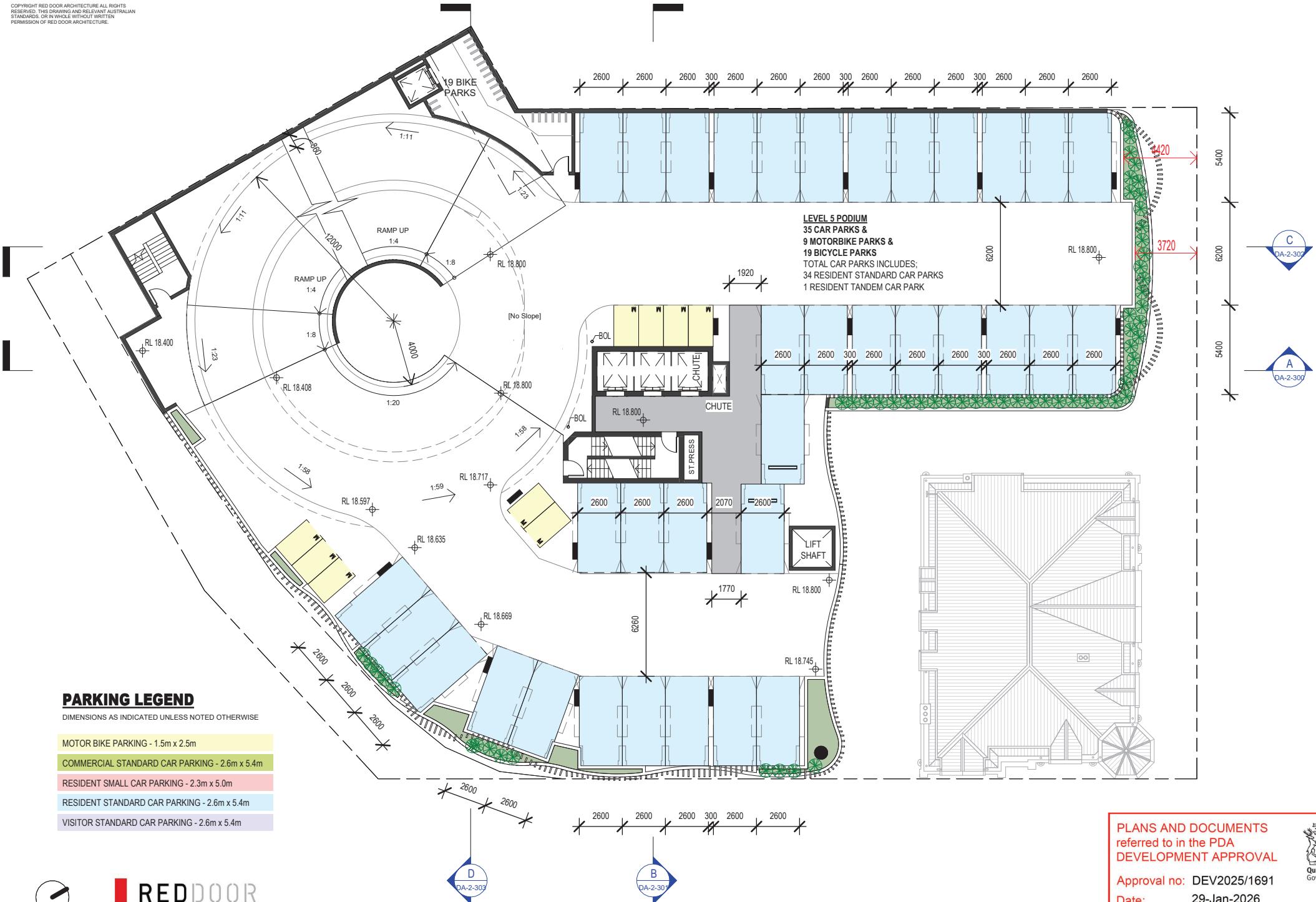
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&lt;p









 REDDOOR  
ARCHITECTURE

WWW.RDARCH.COM.AU

210078

SCALE 1:20

03.09.25

93 LOGAN ROAD, WOOLLOONGABBA, QLD. 4102

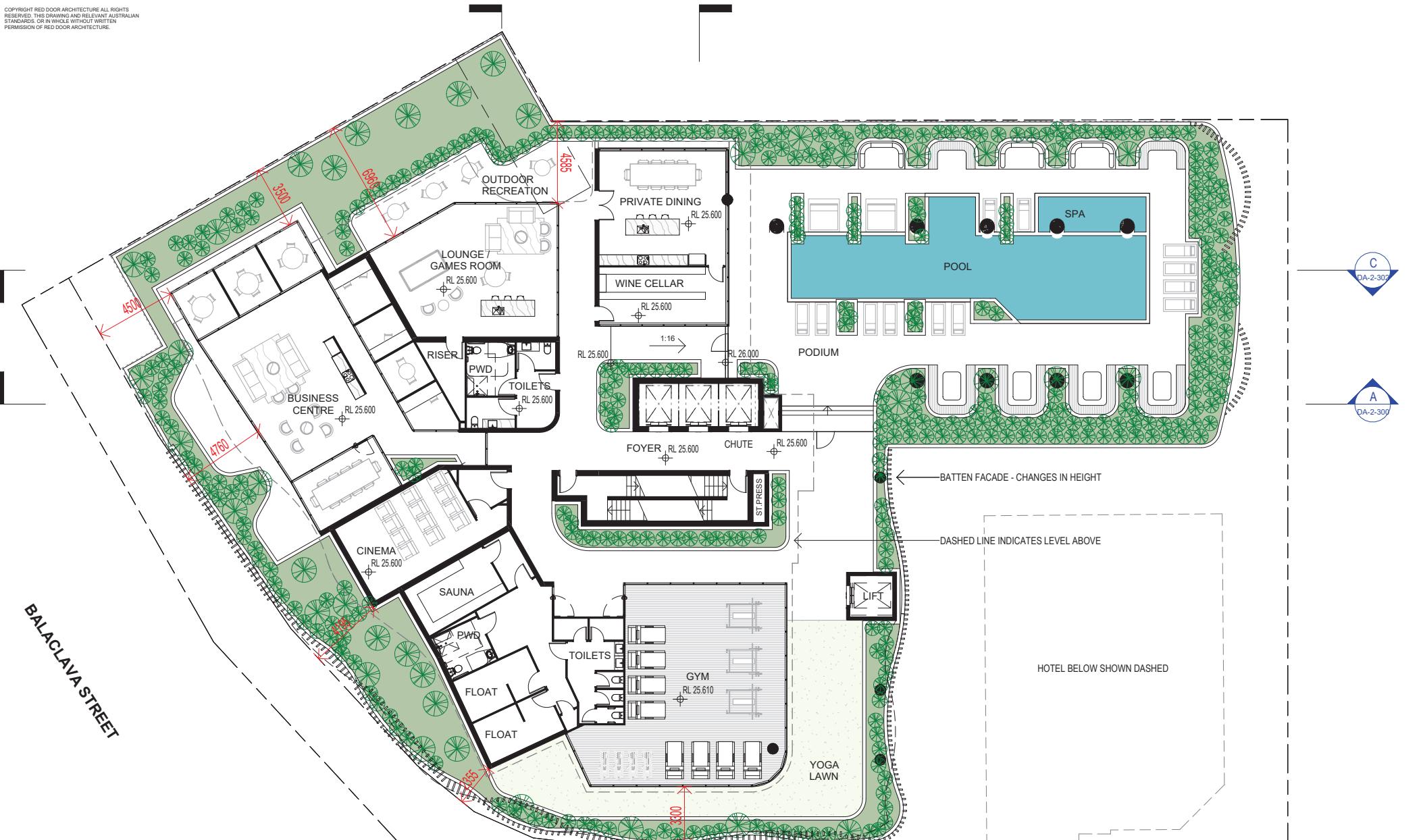
## MIXED USE DEVELOPMENT

DA-2-114 LEVEL 5 - PODIUM PARKING

REVISION E 03.09.25 DA SUBMISSION







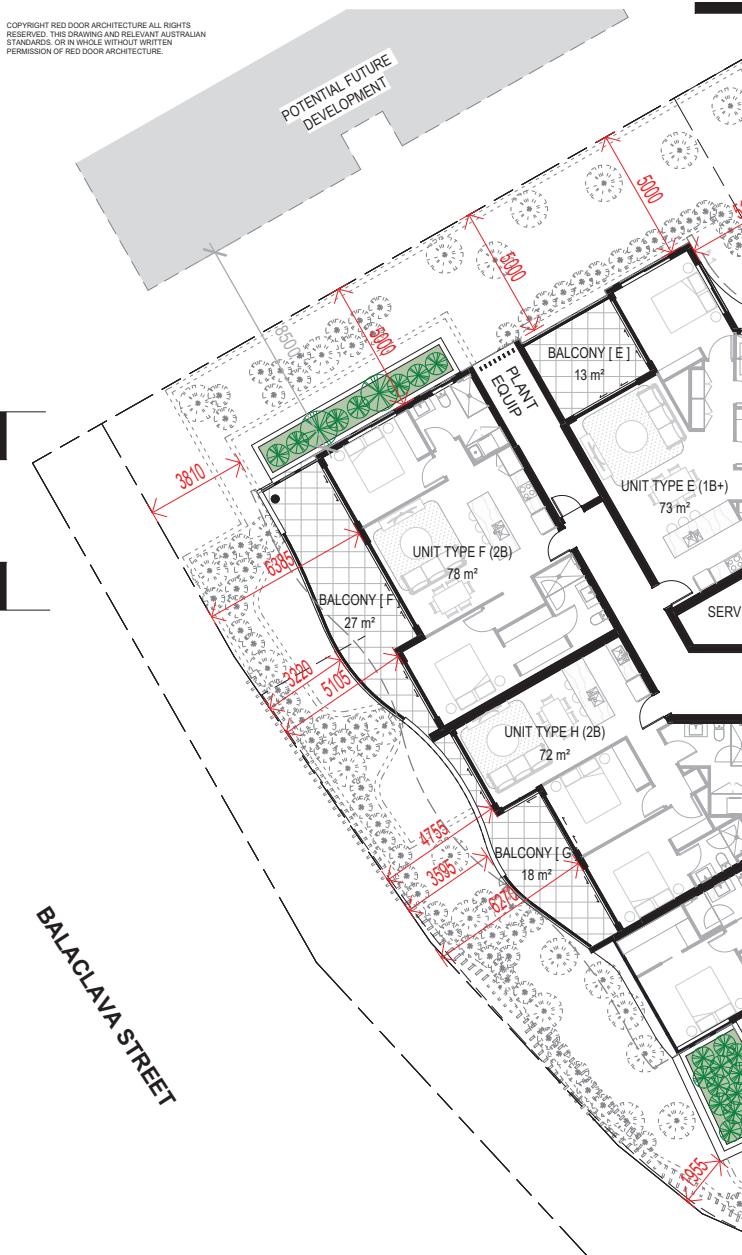
PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL

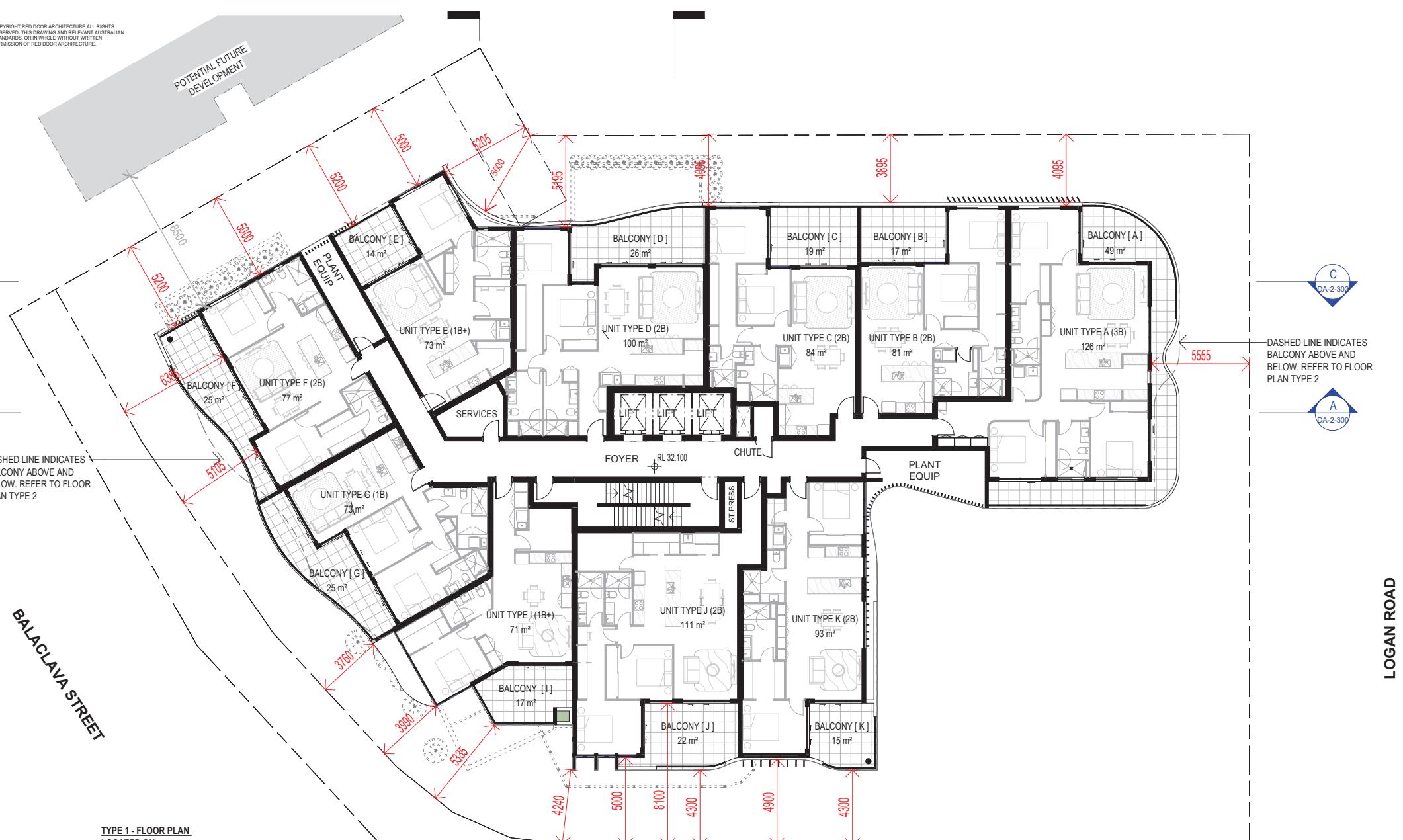


Approval no: DEV2025/1691  
Date: 29-Jan-2026



**REDDOOR**  
ARCHITECTURE





**TYPE 1 - FLOOR PLAN**  
**LOCATED ON:**

LEVEL 9	LEVEL 23
LEVEL 13	LEVEL 25
LEVEL 15	LEVEL 27
LEVEL 17	LEVEL 29
LEVEL 19	LEVEL 33



 REDDOOR  
ARCHITECTURE

WWW.RDARCH.COM.AU

210078

SCALE 1:20

27.11.25

93 LOGAN ROAD, WOOLONGABBA, QLD. 4102

## MIXED USE DEVELOPMENT

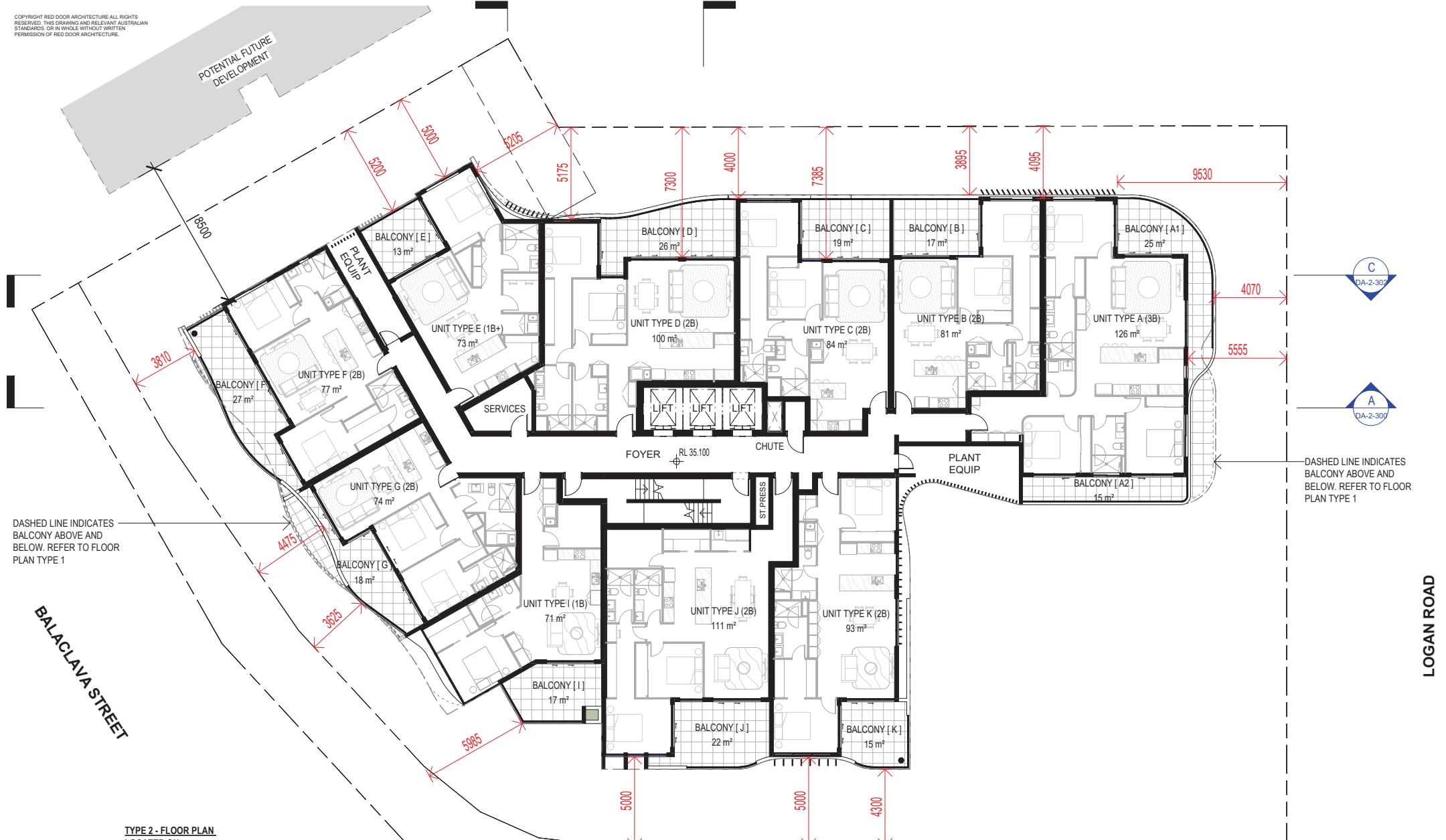
DA-2-118 TYPICAL FLOOR PLAN - TYPE 1

REVISION E 27.11.25 DA SUBMISSION

Date: 29-Jan-2026



## PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL



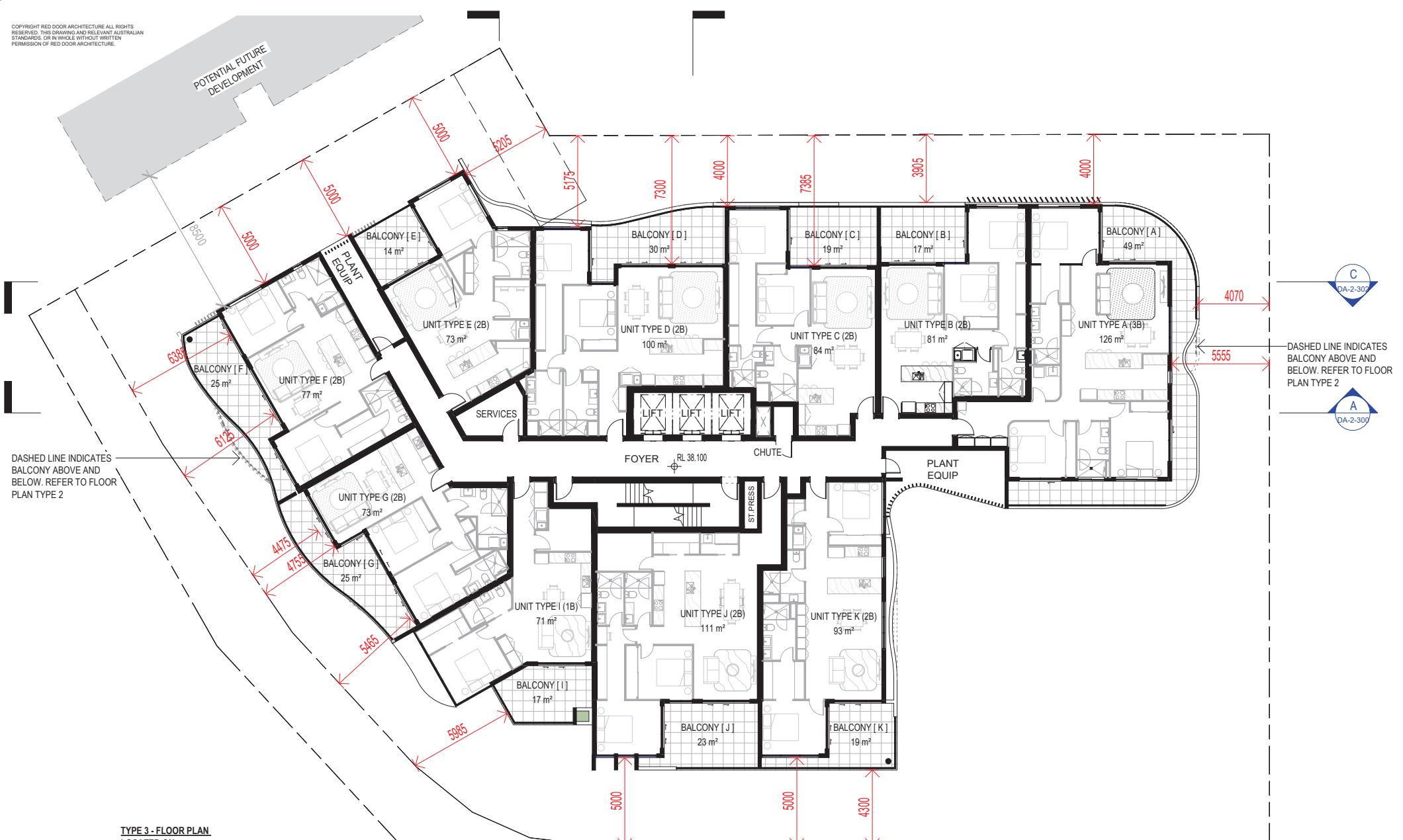
**PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL**



Approval no: DEV2025/1691  
Date: 29-Jan-2026



**REDDOOR**  
ARCHITECTURE



**TYPE 3 - FLOOR PLAN**  
**LOCATED ON:**

LEVEL 11  
LEVEL 21  
LEVEL 31



 RED DOOR  
ARCHITECTURE

WWW.RDARCH.COM.AU

210078

SCALE 1:20

27.11.25

93 LOGAN ROAD, WOOLLOONGABBA, QLD. 4102

## MIXED USE DEVELOPMENT

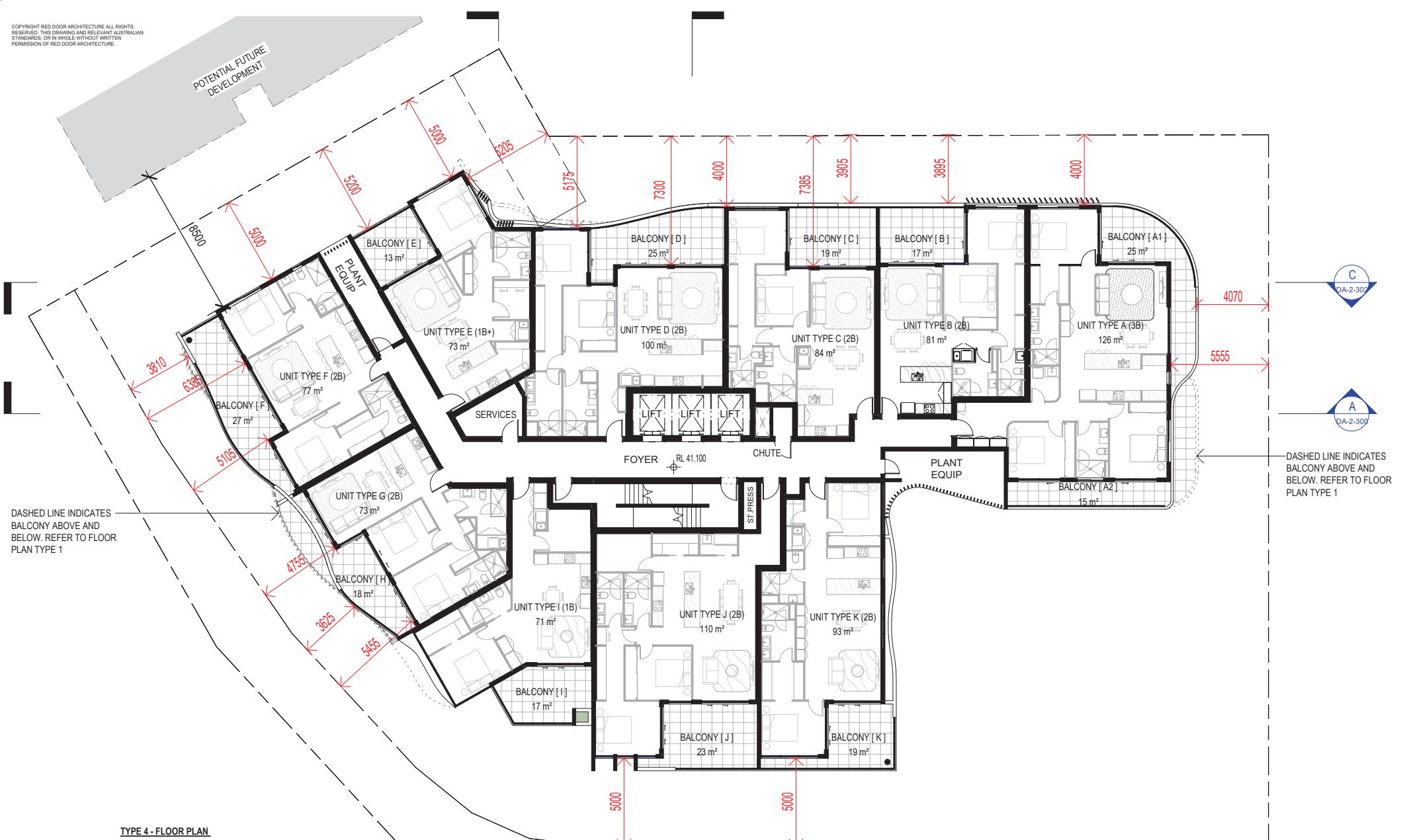
DA-2-120 TYPICAL FLOOR PLAN - TYPE 3

REVISION E 27.11.25 DA SUBMISSION



## PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2025/1691  
Date: 29-Jan-2026



**TYPE 4 - FLOOR PLAN**

LEVEL 12  
LEVEL 22  
LEVEL 32



 REDDOOR  
ARCHITECTURE

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210078

SCALE 1:20

27.11.25

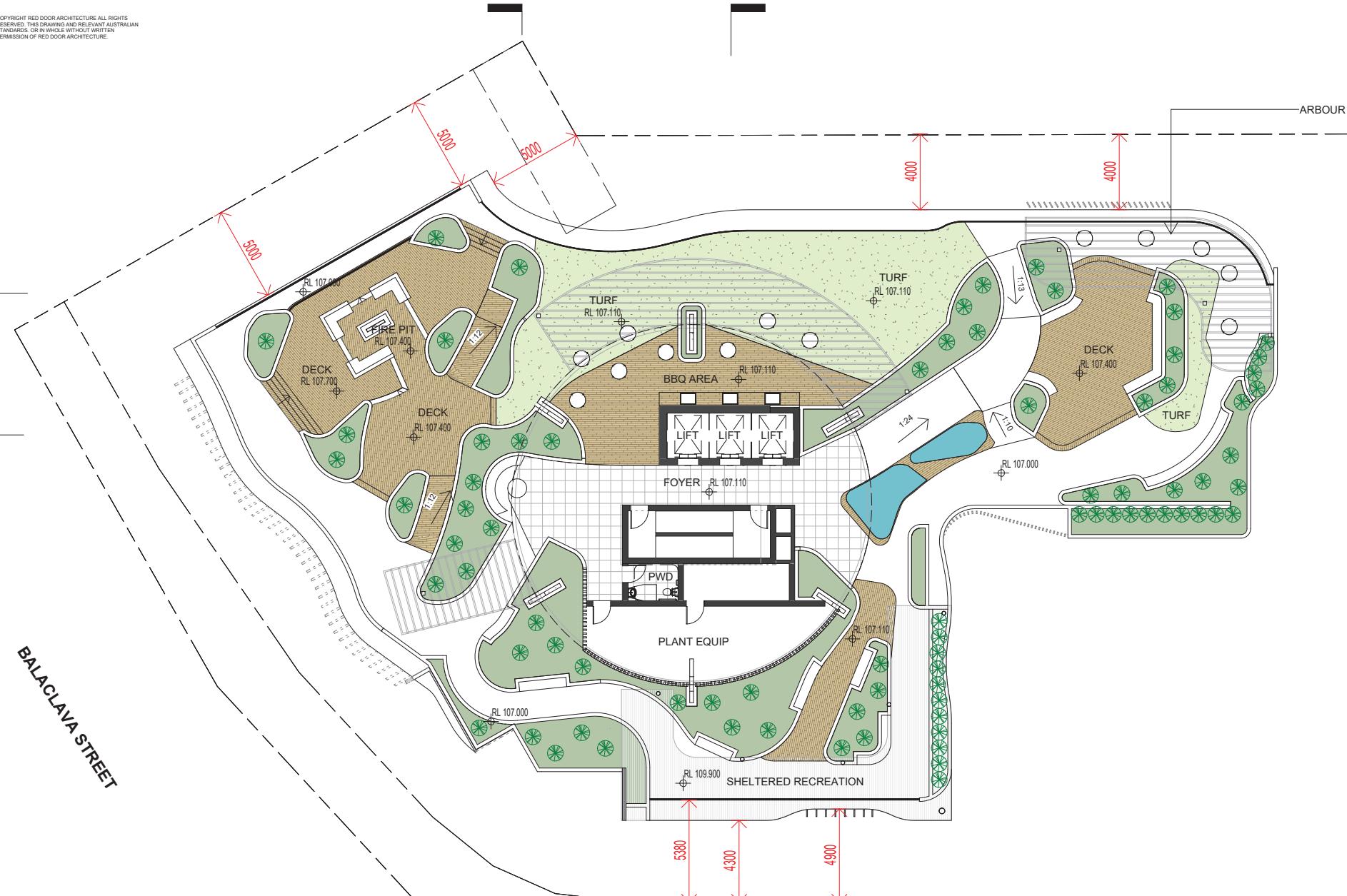
93 LOGAN ROAD, WOOLLOONGABBA, QLD. 4102

## MIXED USE DEVELOPMENT

REVISION E 27.11.25 DA SUBMISSION

## PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL





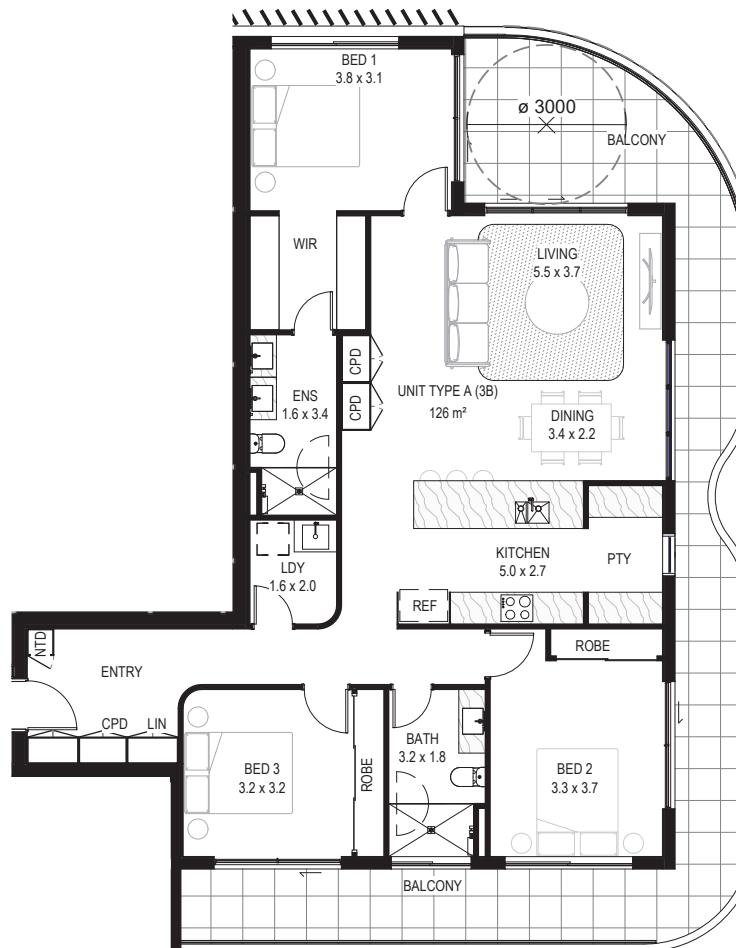
PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL



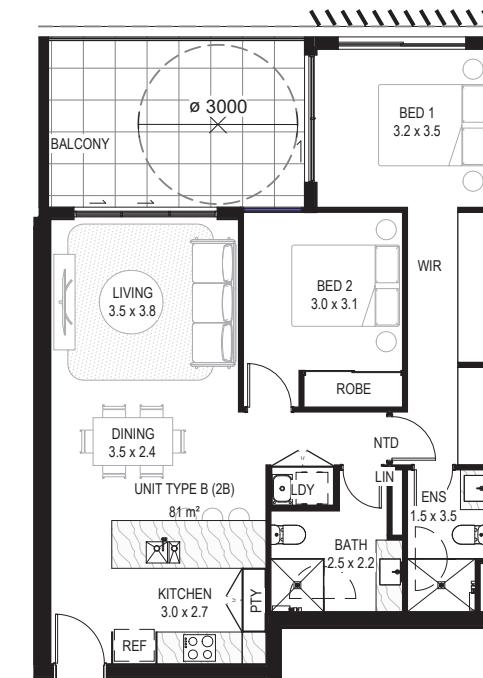
Approval no: DEV2025/1691  
Date: 29-Jan-2026



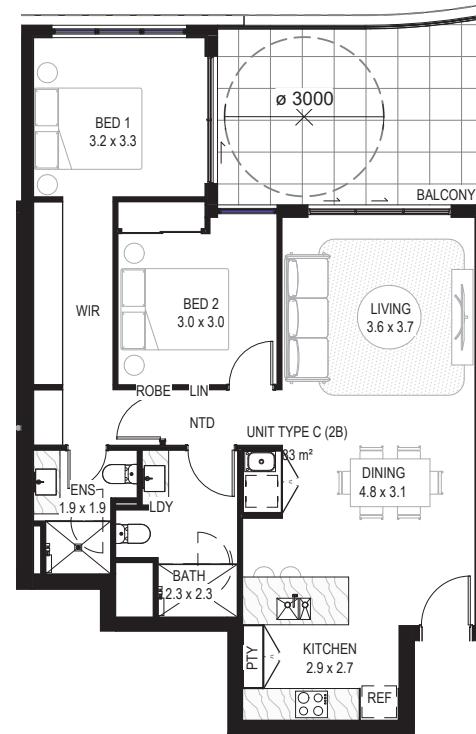
**REDDOOR**  
ARCHITECTURE



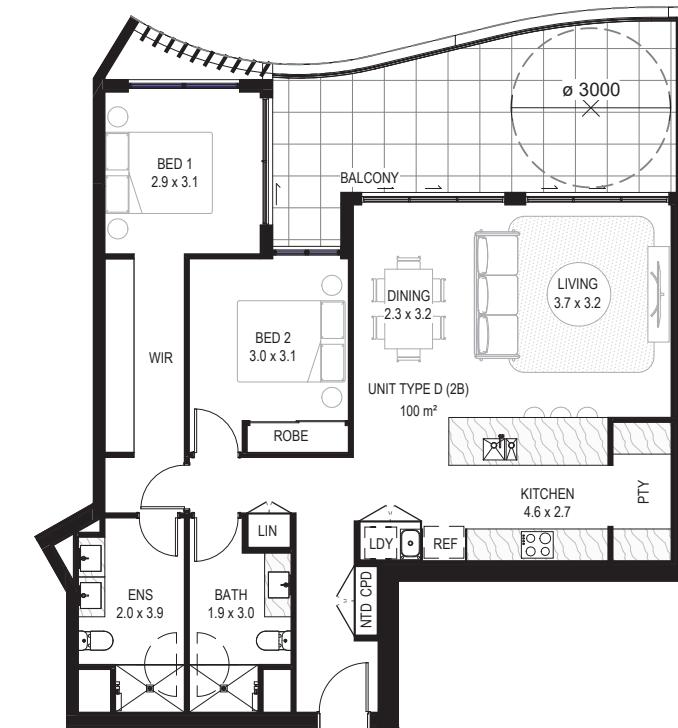
**A** UNIT DETAIL PLAN - TYPE A  
1 : 100@A3



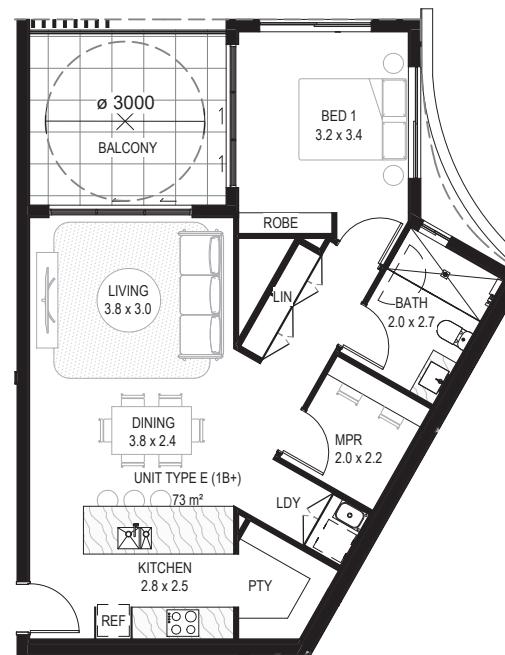
**B** UNIT DETAIL PLAN - TYPE B  
1 : 100@A3



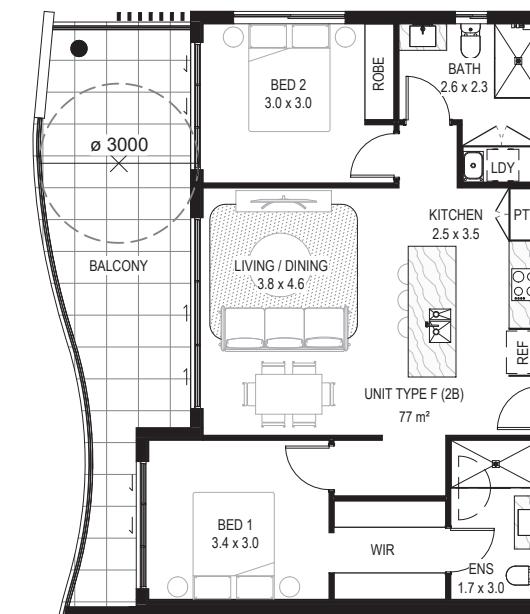
 UNIT DETAIL PLAN - TYPE C  
1 : 100@A3



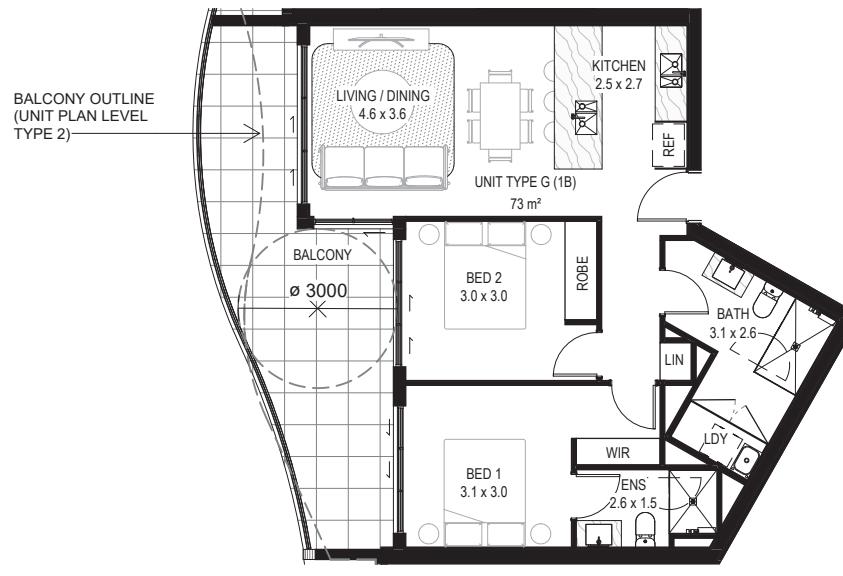
 UNIT DETAIL PLAN - TYPE D  
1 : 100@A3



**E** UNIT DETAIL PLAN - TYPE E  
- 1 : 100 @ A3



**F** UNIT DETAIL PLAN - TYPE F  
- 1 : 100 @ A3



 UNIT DETAIL PLAN - TYPE G  
1 : 100 @A3

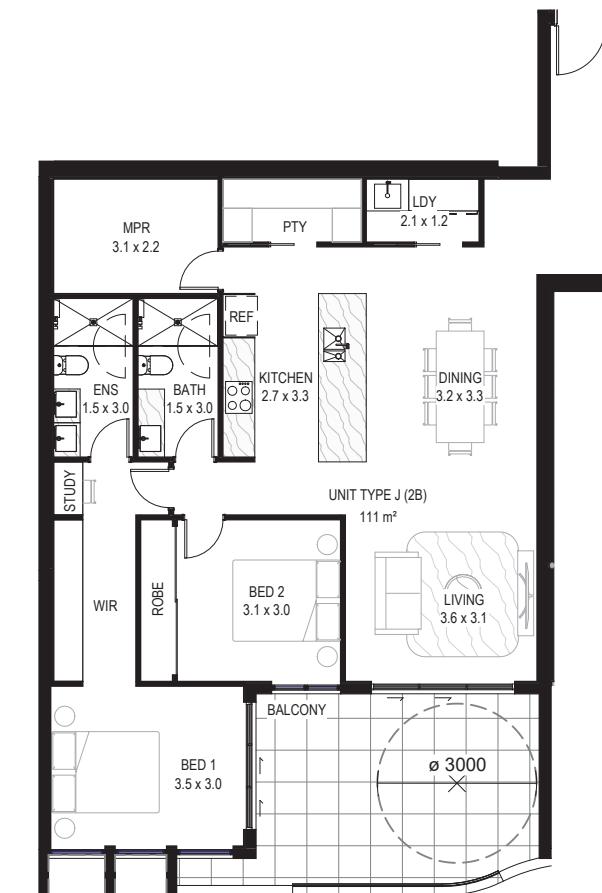
PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL



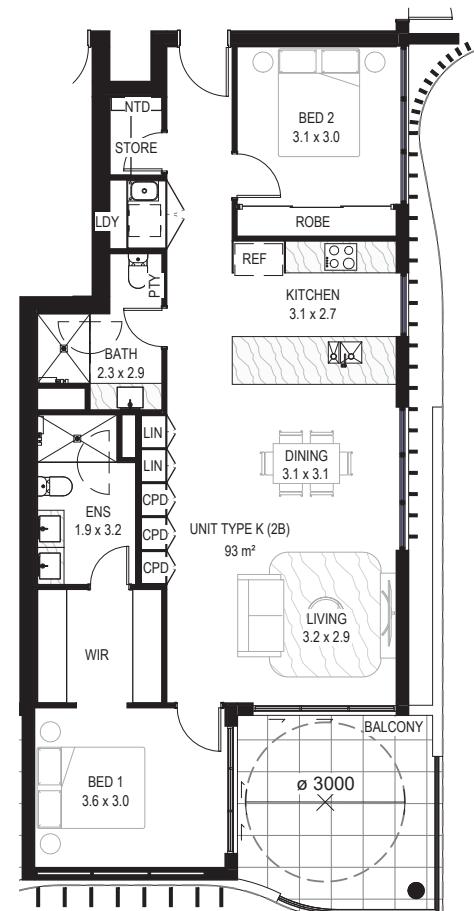
Approval no: DEV2025/1691  
Date: 29-Jan-2026



 **UNIT DETAIL PLAN - TYPE I**  
1 : 100 @ A3



 **UNIT DETAIL PLAN - TYPE J**  
1 : 100 @ A3



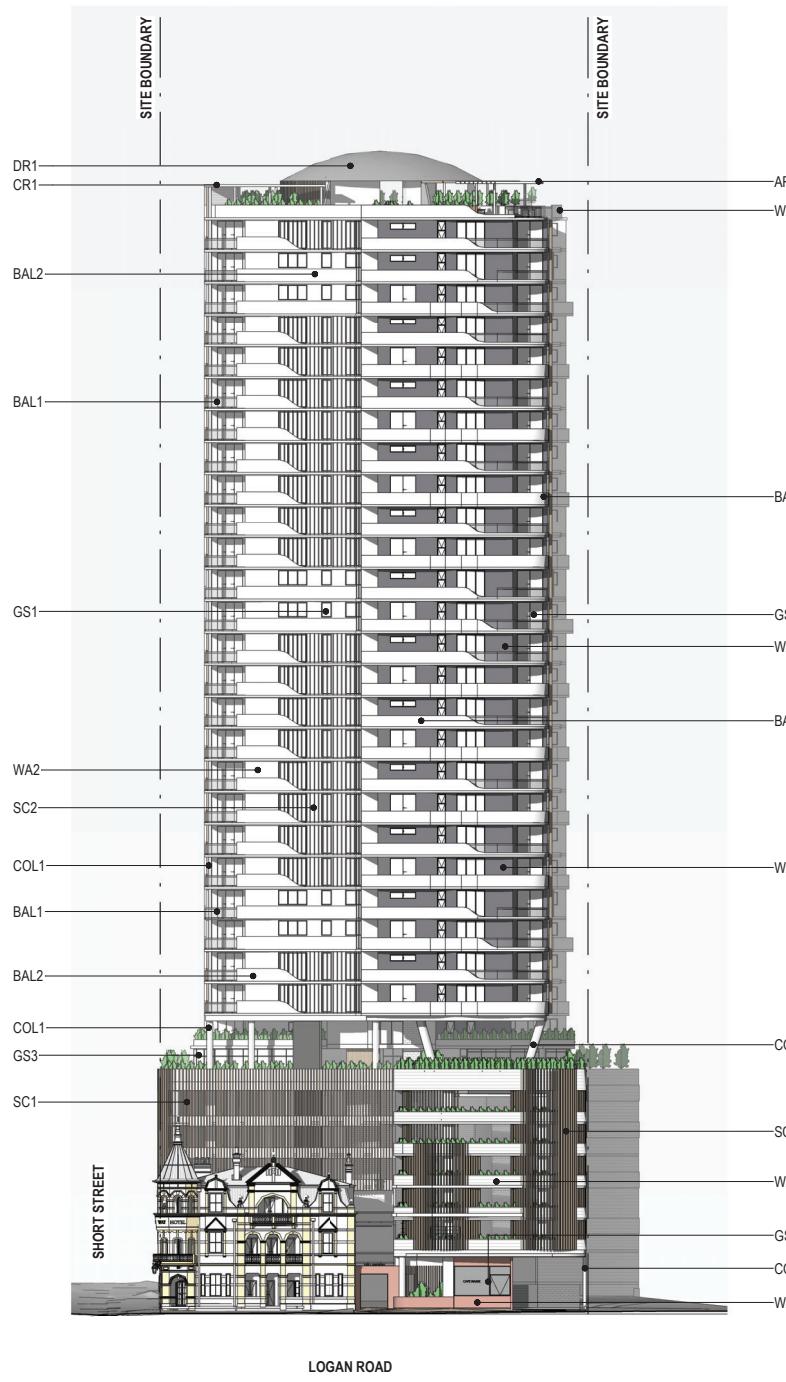
 UNIT DETAIL PLAN - TYPE K  
1 : 100 @ A3

PLANS AND DOCUMENTS  
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Approval no: DEV2025/1691  
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	ROOF TERRACE
107100	
	LEVEL 33
104100	
	LEVEL 32
101100	
	LEVEL 31
98100	
	LEVEL 30
95100	
	LEVEL 29
92100	
	LEVEL 28
89100	
	LEVEL 27
86100	
	LEVEL 26
83100	
	LEVEL 25
80100	
	LEVEL 24
77100	
	LEVEL 23
74100	
	LEVEL 22
71100	
	LEVEL 21
68100	
	LEVEL 20
65100	
	LEVEL 19
62100	
	LEVEL 18
59100	
	LEVEL 17
56100	
	LEVEL 16
53100	
	LEVEL 15
50100	
	LEVEL 14
47100	
	LEVEL 13
44100	
	LEVEL 12
41100	
	LEVEL 11
38100	
	LEVEL 10
35100	
	LEVEL 9
32100	
	LEVEL 8
29100	
	LEVEL 7
25600	
	LEVEL 6
21800	
	LEVEL 5
18800	
	LEVEL 4
15800	
	LEVEL 3
12800	
	LEVEL 2
9800	
	LEVEL 1 (GF)
6800	
	BASEMENT 1
3500	



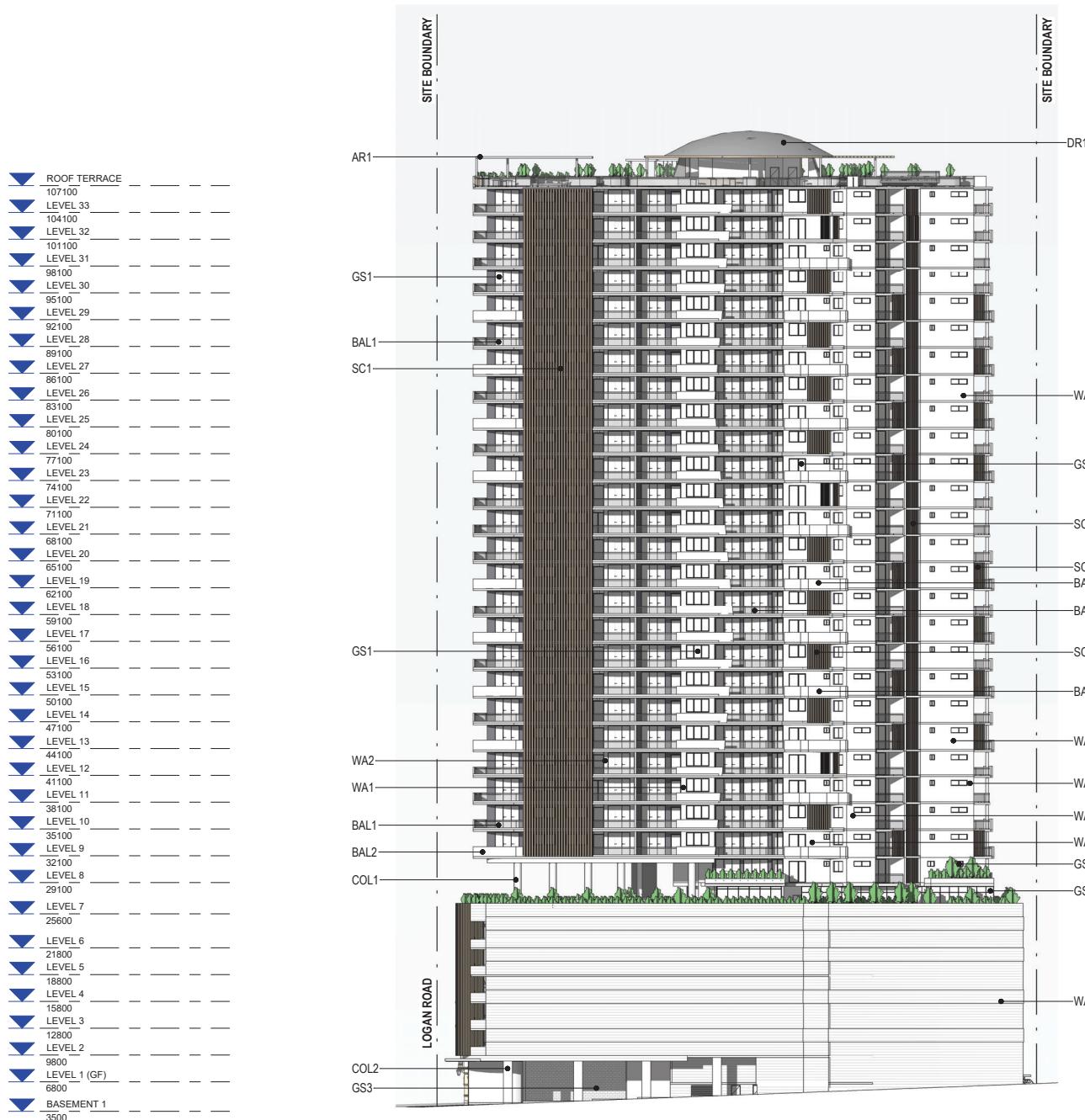
## MATERIAL & FINISHES LEGEND

CODE	DESCRIPTION	COLOUR
AR1 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	ANODIC BRONZE
AR2 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	WHITE
BAL1 -	FRAMELESS GLASS BALUSTRADE	CLEAR
BAL2 -	AFS TYPE - CONCRETE UPSTAND BALUSTRADE - PAINTED	WHITE
COL1 -	CIRCULAR CONCRETE COLUMN - PAINTED	WHITE
COL2 -	RECTANGULAR CONCRETE COLUMN - PAINTED	WHITE
CR1 -	CONCRETE ROOF - PAINTED	WHITE
DR1 -	METAL DOME ROOF - COLORBOND	SHALE GREY
GS1 -	TINTED GLAZING, AL. WINDOW SYSTEM - POWDER COATED	MONUMENT
GS2 -	CURTAIN WALL WINDOW SYSTEM - POWDER COATED	MONUMENT
GS3 -	SHOPFRONT WINDOW SYSTEM - POWDER COATED	MONUMENT
SC1 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	ANODIC BRONZE
SC2 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	WHITE
WA1 -	RENDER - PAINTED FINISH	WHITE
WA2 -	RENDER - PAINTED FINISH	MONUMENT
WA3 -	AL. TIMBER LOOK CLADDING	JARRAH
WA4 -	PRE-CAST PANELS - HORIZONTAL LINES	FLOODED GUM
WA5 -	BRICK FINISH	WHITE

PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL



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Date: 29-Jan-2026



## MATERIAL & FINISHES LEGEND

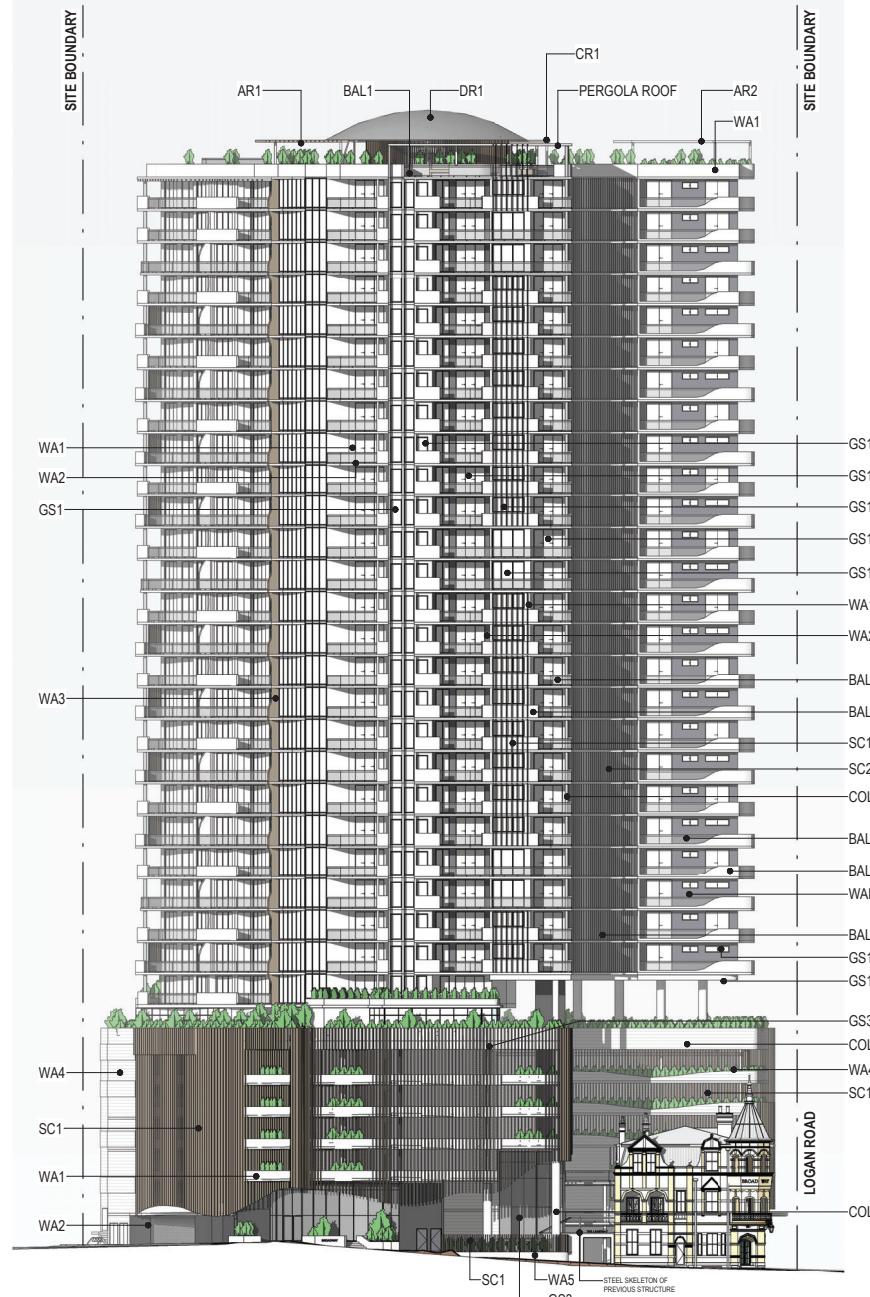
CODE	DESCRIPTION	COLOUR
AR1 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	ANODIC BRONZE
AR2 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	WHITE
BAL1 -	FRAMELESS GLASS BALUSTRADE	CLEAR
BAL2 -	AFS TYPE - CONCRETE UPSTAND BALUSTRADE - PAINTED	WHITE
COL1 -	CIRCULAR CONCRETE COLUMN - PAINTED	WHITE
COL2 -	RECTANGULAR CONCRETE COLUMN - PAINTED	WHITE
CR1 -	CONCRETE ROOF - PAINTED	WHITE
DR1 -	METAL DOME ROOF - COLORBOND	SHALE GREY
GS1 -	TINTED GLAZING, AL. WINDOW SYSTEM - POWDER COATED	MONUMENT
GS2 -	CURTAIN WALL WINDOW SYSTEM - POWDER COATED	MONUMENT
GS3 -	SHOPFRONT WINDOW SYSTEM - POWDER COATED	MONUMENT
SC1 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	ANODIC BRONZE
SC2 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	WHITE
WA1 -	RENDER - PAINTED FINISH	WHITE
WA2 -	RENDER - PAINTED FINISH	MONUMENT
WA3 -	AL. TIMBER LOOK CLADDING	JARRAH
WA4 -	PRE-CAST PANELS - HORIZONTAL LINES	FLOODED GUM
WA5 -	BRICK FINISH	WHITE

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Date: 29-Jan-2026



ROOF TERRACE	107100
LEVEL 33	104100
LEVEL 32	101100
LEVEL 31	98100
LEVEL 30	95100
LEVEL 29	92100
LEVEL 28	89100
LEVEL 27	86100
LEVEL 26	83100
LEVEL 25	80100
LEVEL 24	77100
LEVEL 23	74100
LEVEL 22	71100
LEVEL 21	68100
LEVEL 20	65100
LEVEL 19	62100
LEVEL 18	59100
LEVEL 17	56100
LEVEL 16	53100
LEVEL 15	50100
LEVEL 14	47100
LEVEL 13	44100
LEVEL 12	41100
LEVEL 11	38100
LEVEL 10	35100
LEVEL 9	32100
LEVEL 8	29100
LEVEL 7	25600
LEVEL 6	21800
LEVEL 5	18800
LEVEL 4	15800
LEVEL 3	12800
LEVEL 2	9800
LEVEL 1 (GF)	6800
BASEMENT 1	3500



## MATERIAL & FINISHES LEGEND

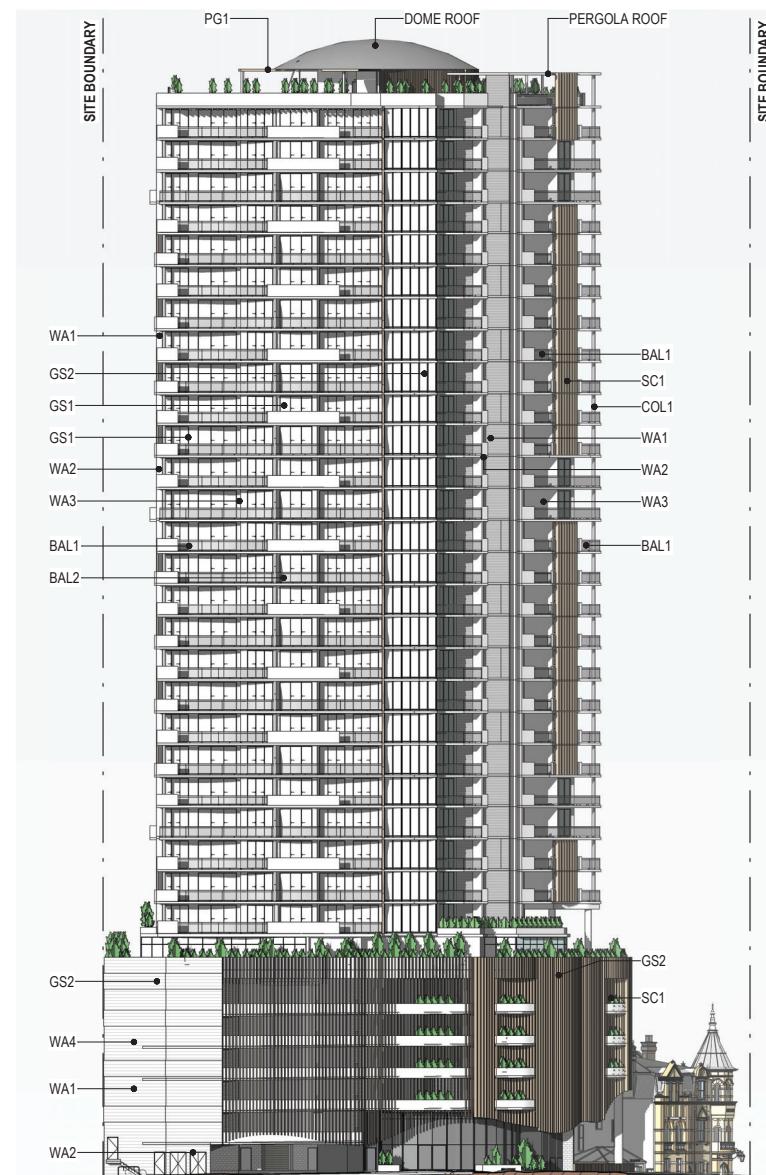
CODE	DESCRIPTION	COLOUR
AR1 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	ANODIC BRONZE
AR2 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	WHITE
BAL1 -	FRAMELESS GLASS BALUSTRADE	CLEAR
BAL2 -	AFS TYPE - CONCRETE UPSTAND BALUSTRADE - PAINTED	WHITE
COL1 -	CIRCULAR CONCRETE COLUMN - PAINTED	WHITE
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CR1 -	CONCRETE ROOF - PAINTED	WHITE
DR1 -	METAL DOME ROOF - COLORBOND	SHALE GREY
GS1 -	TINTED GLAZING, AL. WINDOW SYSTEM - POWDER COATED	MONUMENT
GS2 -	CURTAIN WALL WINDOW SYSTEM - POWDER COATED	MONUMENT
GS3 -	SHOPFRONT WINDOW SYSTEM - POWDER COATED	MONUMENT
SC1 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	ANODIC BRONZE
SC2 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	WHITE
WA1 -	RENDER - PAINTED FINISH	WHITE
WA2 -	RENDER - PAINTED FINISH	MONUMENT
WA3 -	AL. TIMBER LOOK CLADDING	JARRAH
WA4 -	PRE-CAST PANELS - HORIZONTAL LINES	FLOODED GUM
WA5 -	BRICK FINISH	WHITE

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ROOF TERRACE	107100
LEVEL 33	104100
LEVEL 32	101100
LEVEL 31	98100
LEVEL 30	95100
LEVEL 29	92100
LEVEL 28	89100
LEVEL 27	86100
LEVEL 26	83100
LEVEL 25	80100
LEVEL 24	77100
LEVEL 23	74100
LEVEL 22	71100
LEVEL 21	68100
LEVEL 20	65100
LEVEL 19	62100
LEVEL 18	59100
LEVEL 17	56100
LEVEL 16	53100
LEVEL 15	50100
LEVEL 14	47100
LEVEL 13	44100
LEVEL 12	41100
LEVEL 11	38100
LEVEL 10	35100
LEVEL 9	32100
LEVEL 8	29100
LEVEL 7	26600
LEVEL 6	21800
LEVEL 5	18800
LEVEL 4	15800
LEVEL 3	12800
LEVEL 2	9800
LEVEL 1 (GF)	6800
BASEMENT 1	3500



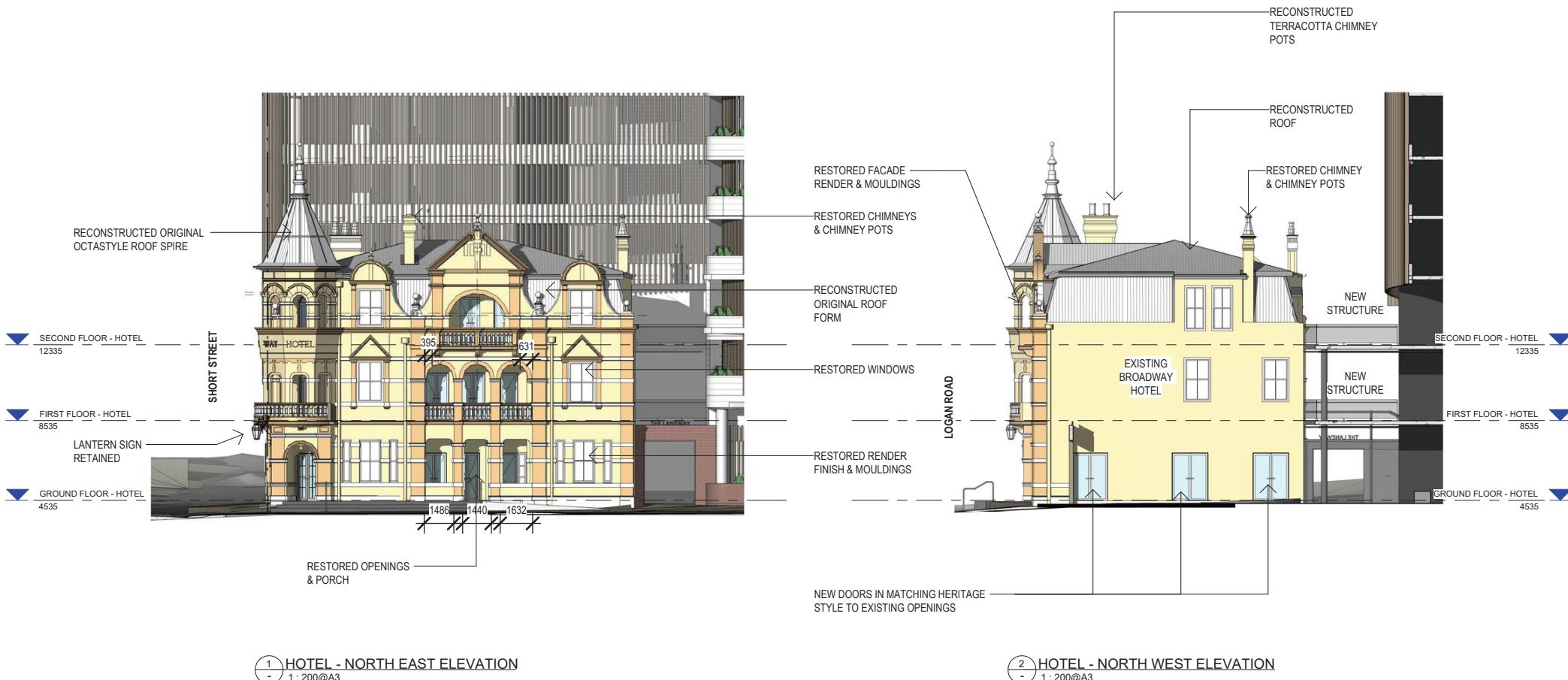
## MATERIAL & FINISHES LEGEND

CODE	DESCRIPTION	COLOUR
AR1 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	ANODIC BRONZE
AR2 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	WHITE
BAL1 -	FRAMELESS GLASS BALUSTRADE	CLEAR
BAL2 -	AFS TYPE - CONCRETE UPSTAND BALUSTRADE - PAINTED	WHITE
COL1 -	CIRCULAR CONCRETE COLUMN - PAINTED	WHITE
COL2 -	RECTANGULAR CONCRETE COLUMN - PAINTED	WHITE
CR1 -	CONCRETE ROOF - PAINTED	WHITE
DR1 -	METAL DOME ROOF - COLORBOND	SHALE GREY
GS1 -	TINTED GLAZING, AL. WINDOW SYSTEM - POWDER COATED	MONUMENT
GS2 -	CURTAIN WALL WINDOW SYSTEM - POWDER COATED	MONUMENT
GS3 -	SHOPFRONT WINDOW SYSTEM - POWDER COATED	MONUMENT
SC1 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	ANODIC BRONZE
SC2 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	WHITE
WA1 -	RENDER - PAINTED FINISH	WHITE
WA2 -	RENDER - PAINTED FINISH	MONUMENT
WA3 -	AL. TIMBER LOOK CLADDING	JARRAH
WA4 -	PRE-CAST PANELS - HORIZONTAL LINES	FLOODED GUM
WA5 -	BRICK FINISH	WHITE

PLANS AND DOCUMENTS  
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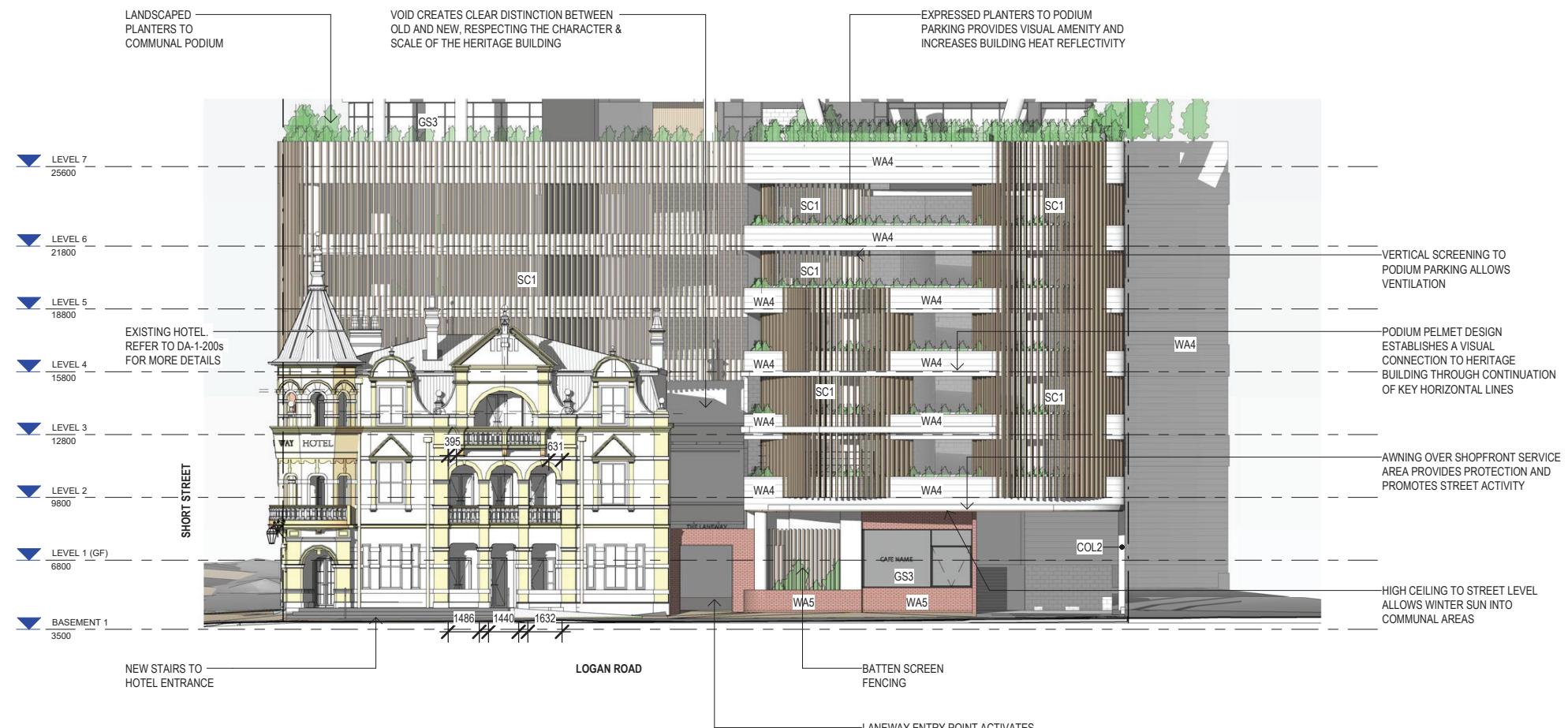




1 HOTEL - SOUTH-WEST ELEVATION  
1 : 200@A3



2 HOTEL - SOUTH EAST ELEVATION  
1 : 200@A3

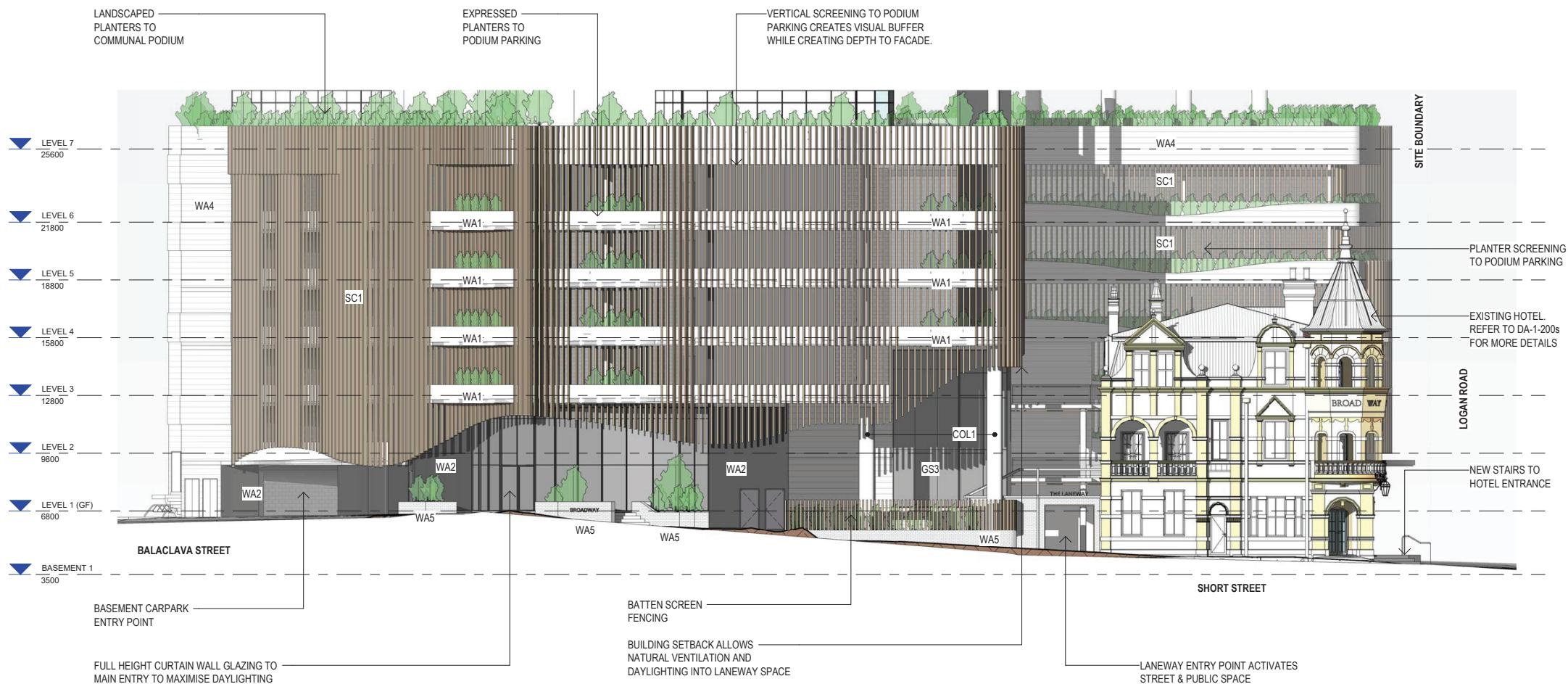


1 NORTH-EAST ELEVATION - LOGAN ROAD  
- 1:200@A3



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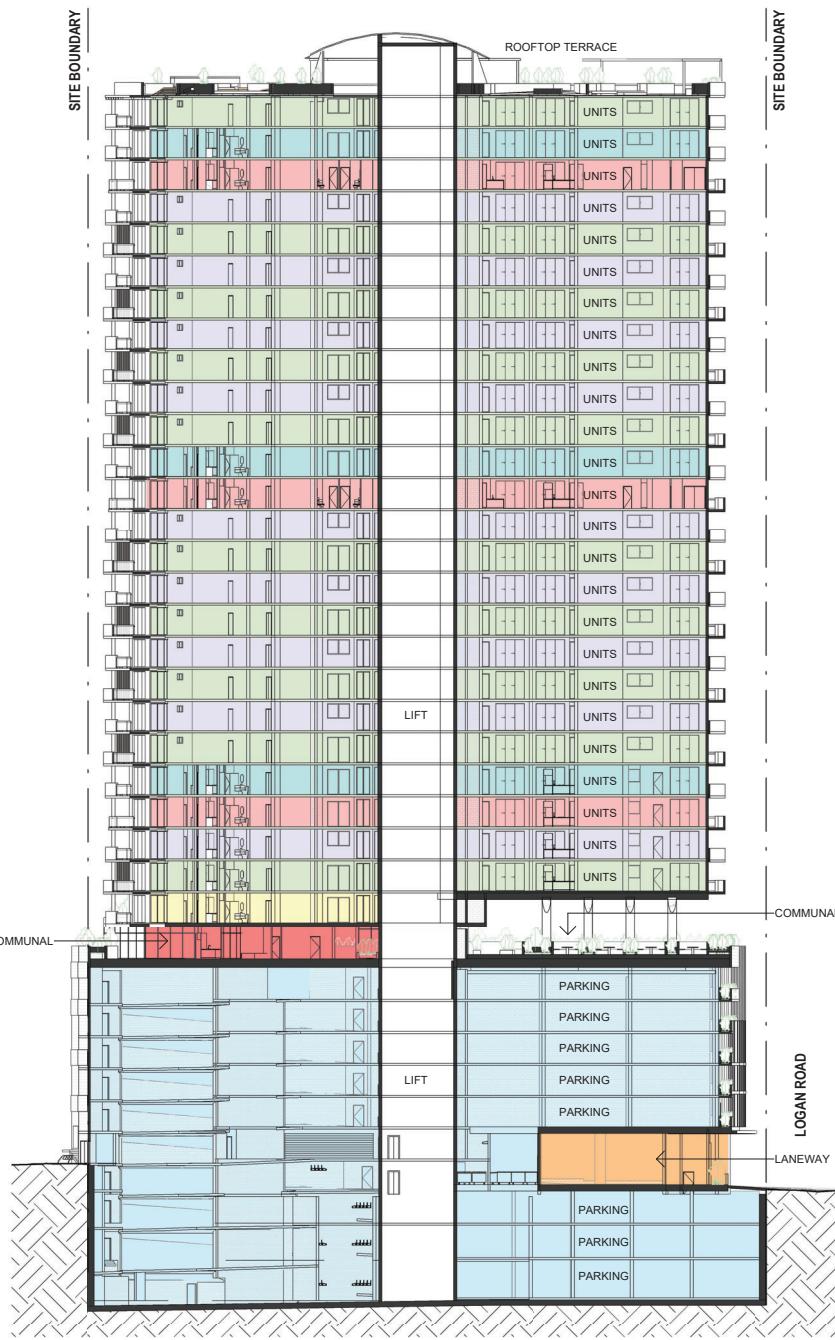


1 SOUTH-EAST ELEVATION - SHORT STREET  
1:200@A3

## LEVEL TYPE LEGEND

PARKING
LANEWAY
COMMUNAL
GRAND FOYER
UNIT LEVEL - HALF LEVEL (LEVEL 8)
UNIT LEVEL - TYPE 1
UNIT LEVEL - TYPE 2
UNIT LEVEL - TYPE 3
UNIT LEVEL - TYPE 4

ROOF TERRACE
107100
LEVEL 33
104100
LEVEL 32
101100
LEVEL 31
98100
LEVEL 30
95100
LEVEL 29
92100
LEVEL 28
89100
LEVEL 27
86100
LEVEL 26
83100
LEVEL 25
80100
LEVEL 24
77100
LEVEL 23
74100
LEVEL 22
71100
LEVEL 21
68100
LEVEL 20
65100
LEVEL 19
62100
LEVEL 18
59100
LEVEL 17
56100
LEVEL 16
53100
LEVEL 15
50100
LEVEL 14
47100
LEVEL 13
44100
LEVEL 12
41100
LEVEL 11
38100
LEVEL 10
35100
LEVEL 9
32100
LEVEL 8
29100
LEVEL 7
25600
LEVEL 6
21800
LEVEL 5
18800
LEVEL 4
15800
LEVEL 3
12800
LEVEL 2
9800
LEVEL 1 (GF)
6800
BASEMENT 1
3500
BASEMENT 2
800
BASEMENT 3
-2700
BASEMENT 4
-6470



A SECTION A  
1:500@A3

PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL

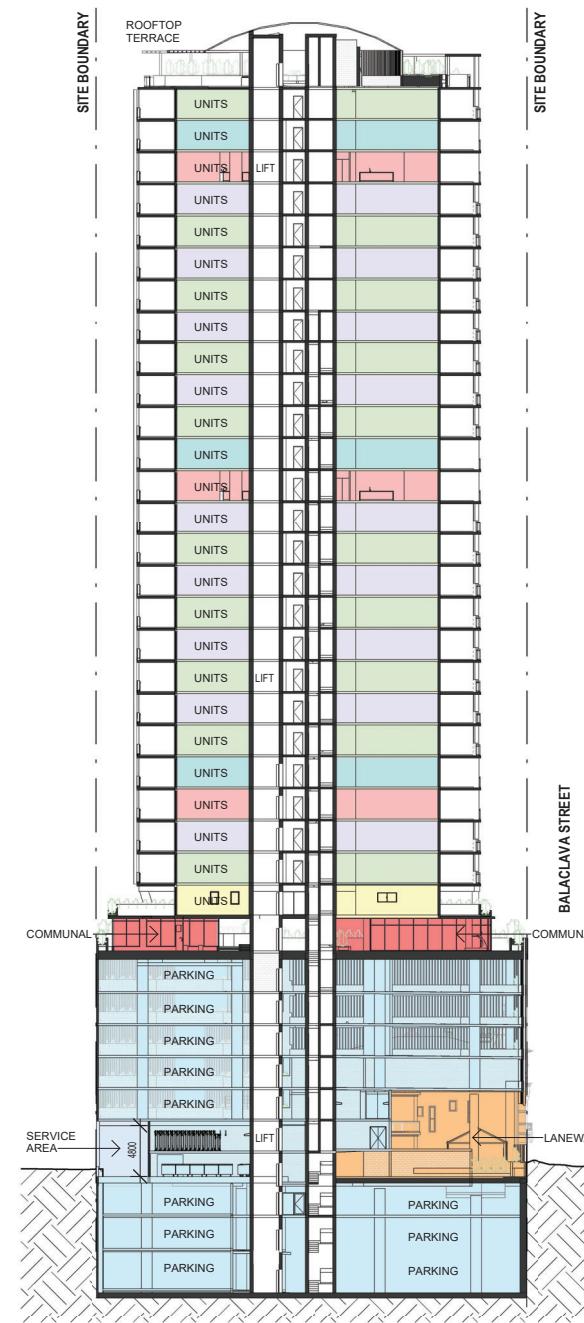


Approval no: DEV2025/1691  
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## LEVEL TYPE LEGEND

PARKING
LANEWAY
COMMUNAL
GRAND FOYER
UNIT LEVEL - HALF LEVEL (LEVEL 8)
UNIT LEVEL - TYPE 1
UNIT LEVEL - TYPE 2
UNIT LEVEL - TYPE 3
UNIT LEVEL - TYPE 4

ROOF TERRACE
107100
LEVEL 33
104100
LEVEL 32
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92100
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LEVEL 27
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83100
LEVEL 25
80100
LEVEL 24
77100
LEVEL 23
74100
LEVEL 22
71100
LEVEL 21
68100
LEVEL 20
65100
LEVEL 19
62100
LEVEL 18
59100
LEVEL 17
56100
LEVEL 16
53100
LEVEL 15
50100
LEVEL 14
47100
LEVEL 13
44100
LEVEL 12
41100
LEVEL 11
38100
LEVEL 10
35100
LEVEL 9
32100
LEVEL 8
29100
LEVEL 7
25600
LEVEL 6
21800
LEVEL 5
18800
LEVEL 4
15800
LEVEL 3
12800
LEVEL 2
9800
LEVEL 1 (GF)
6800
BASEMENT 1
3500
BASEMENT 2
800
BASEMENT 3
-2700
BASEMENT 4
-6470



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL



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## LEVEL TYPE LEGEND

PARKING
LANEWAY
COMMUNAL
GRAND FOYER
UNIT LEVEL - HALF LEVEL (LEVEL 8)
UNIT LEVEL - TYPE 1
UNIT LEVEL - TYPE 2
UNIT LEVEL - TYPE 3
UNIT LEVEL - TYPE 4

ROOF TERRACE
107100
LEVEL 33
104100
LEVEL 32
101100
LEVEL 31
98100
LEVEL 30
95100
LEVEL 29
92100
LEVEL 28
89100
LEVEL 27
86100
LEVEL 26
83100
LEVEL 25
80100
LEVEL 24
77100
LEVEL 23
74100
LEVEL 22
71100
LEVEL 21
68100
LEVEL 20
65100
LEVEL 19
62100
LEVEL 18
59100
LEVEL 17
56100
LEVEL 16
53100
LEVEL 15
50100
LEVEL 14
47100
LEVEL 13
44100
LEVEL 12
41100
LEVEL 11
38100
LEVEL 10
35100
LEVEL 9
32100
LEVEL 8
29100
COMMUNAL
LEVEL 7
25600
LEVEL 6
21800
LEVEL 5
18800
LEVEL 4
15800
LEVEL 3
12800
LEVEL 2
9800
LEVEL 1 (GF)
6800
BASEMENT 1
3500
BASEMENT 2
800
BASEMENT 3
-2700
BASEMENT 4
-6470



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

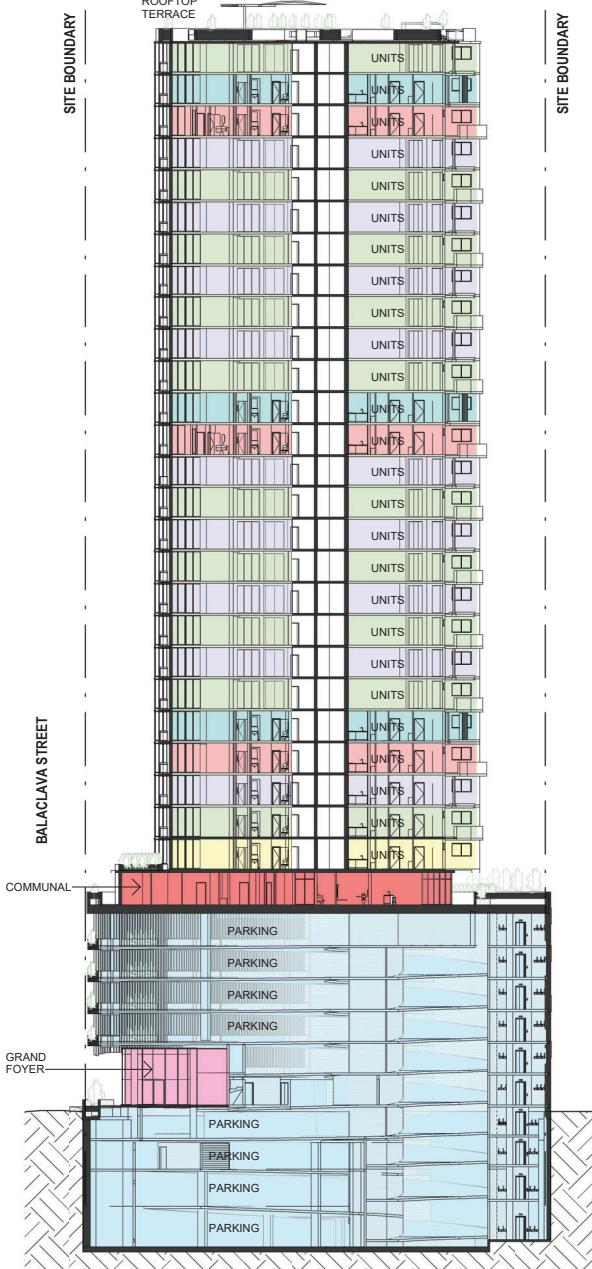


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## LEVEL TYPE LEGEND

PARKING
LANEWAY
COMMUNAL
GRAND FOYER
UNIT LEVEL - HALF LEVEL (LEVEL 8)
UNIT LEVEL - TYPE 1
UNIT LEVEL - TYPE 2
UNIT LEVEL - TYPE 3
UNIT LEVEL - TYPE 4

- ROOF TERRACE  
107100
- LEVEL 33  
104100
- LEVEL 32  
101100
- LEVEL 31  
98100
- LEVEL 30  
95100
- LEVEL 29  
92100
- LEVEL 28  
89100
- LEVEL 27  
86100
- LEVEL 26  
83100
- LEVEL 25  
80100
- LEVEL 24  
77100
- LEVEL 23  
74100
- LEVEL 22  
71100
- LEVEL 21  
68100
- LEVEL 20  
65100
- LEVEL 19  
62100
- LEVEL 18  
59100
- LEVEL 17  
56100
- LEVEL 16  
53100
- LEVEL 15  
50100
- LEVEL 14  
47100
- LEVEL 13  
44100
- LEVEL 12  
41100
- LEVEL 11  
38100
- LEVEL 10  
35100
- LEVEL 9  
32100
- LEVEL 8  
29100
- LEVEL 7  
26100
- LEVEL 6  
21800
- LEVEL 5  
18800
- LEVEL 4  
15800
- LEVEL 3  
12800
- LEVEL 2  
9800
- LEVEL 1 (GF)  
6800
- BASEMENT 1  
3500
- BASEMENT 2  
800
- BASEMENT 3  
-2700
- BASEMENT 4  
-6470



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