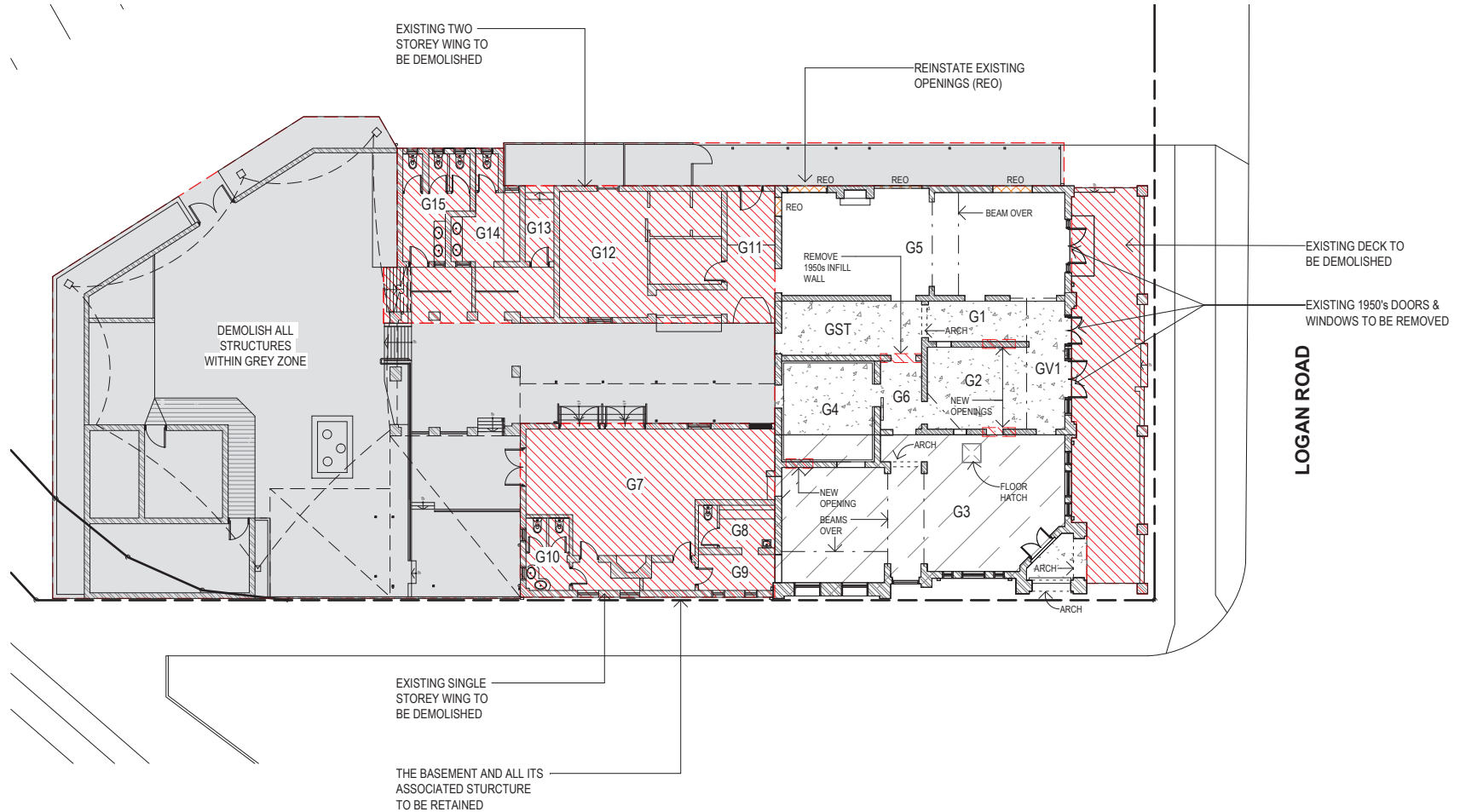


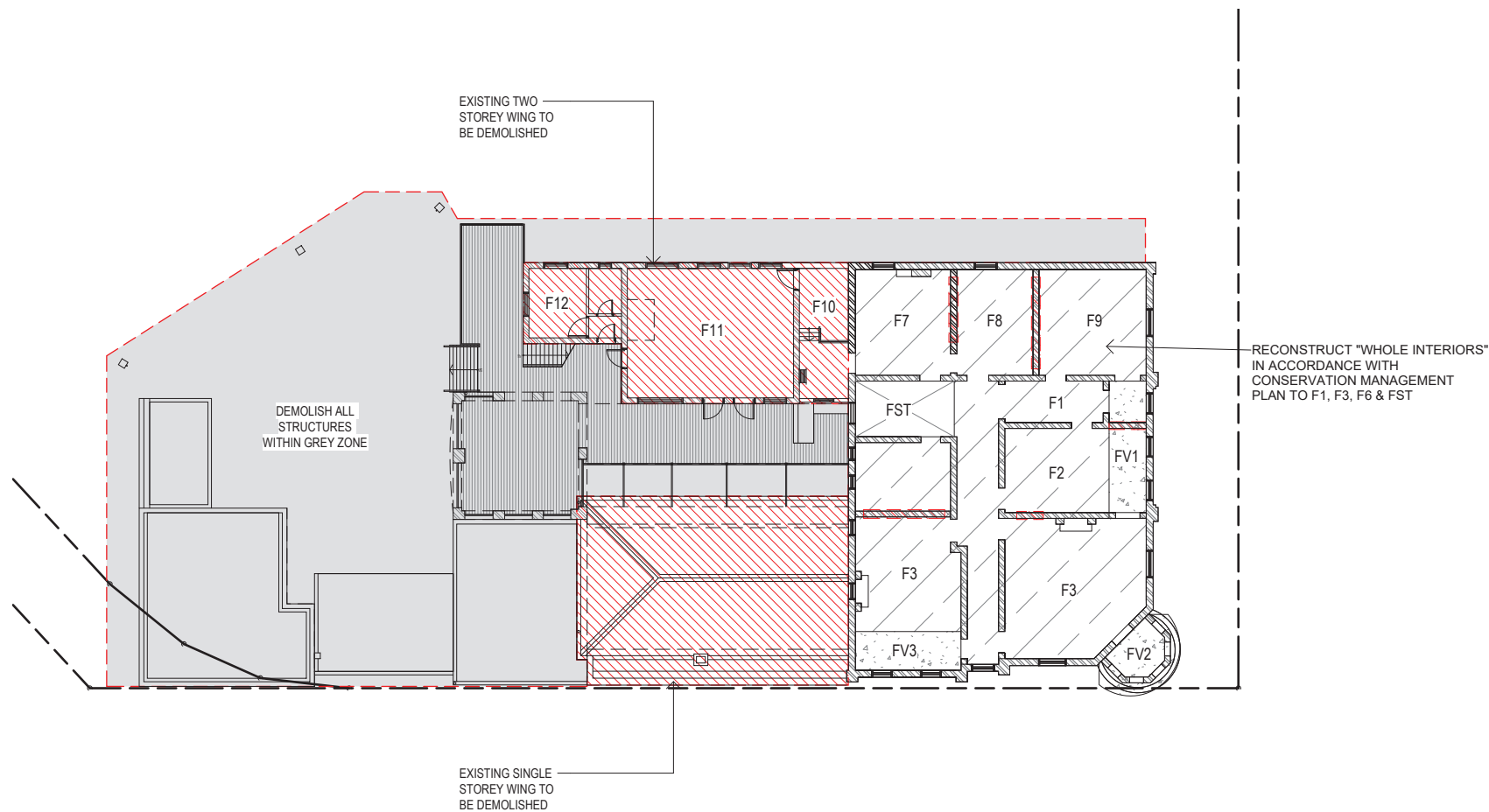
BROADWAY HOTEL HERITAGE WORKS





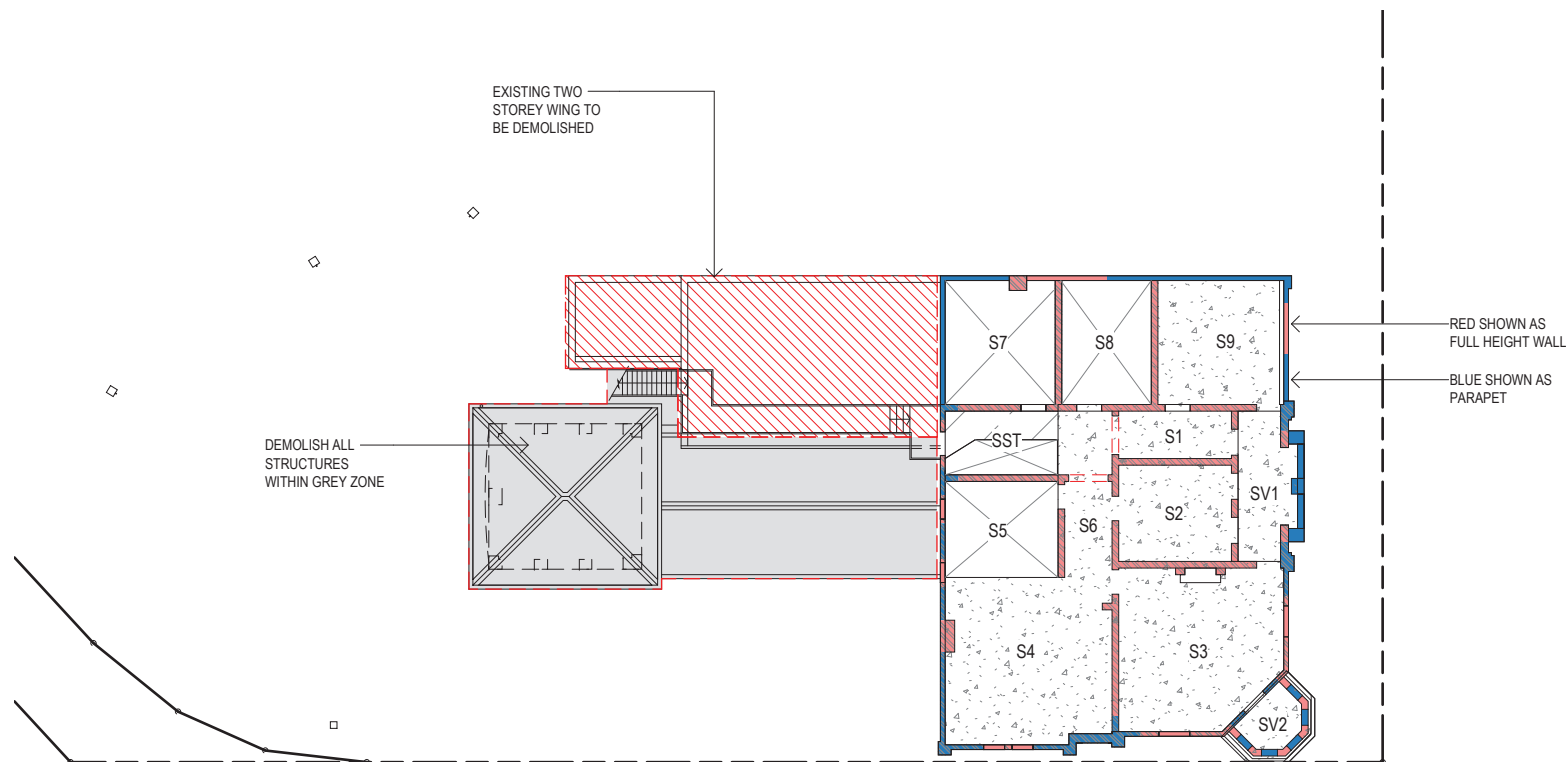
1 GROUND FLOOR DEMOLITION PLAN
1 : 200 @ A3





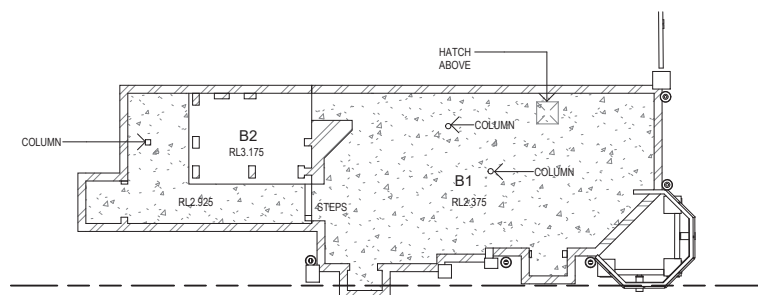
1 LEVEL 1 DEMOLITION PLAN
1:200@A3



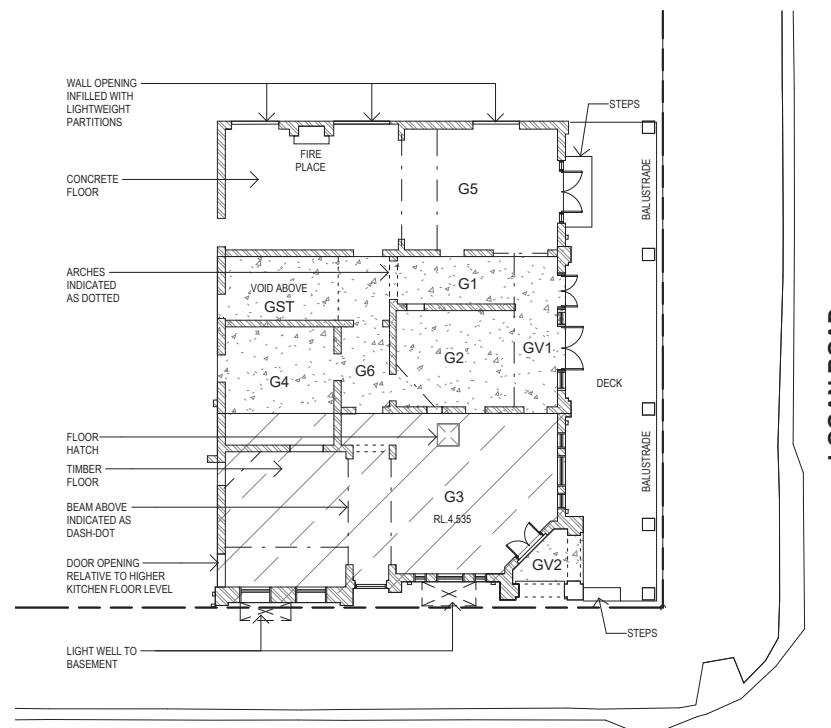


1 LEVEL 2 DEMOLITION PLAN
1 : 200@A3



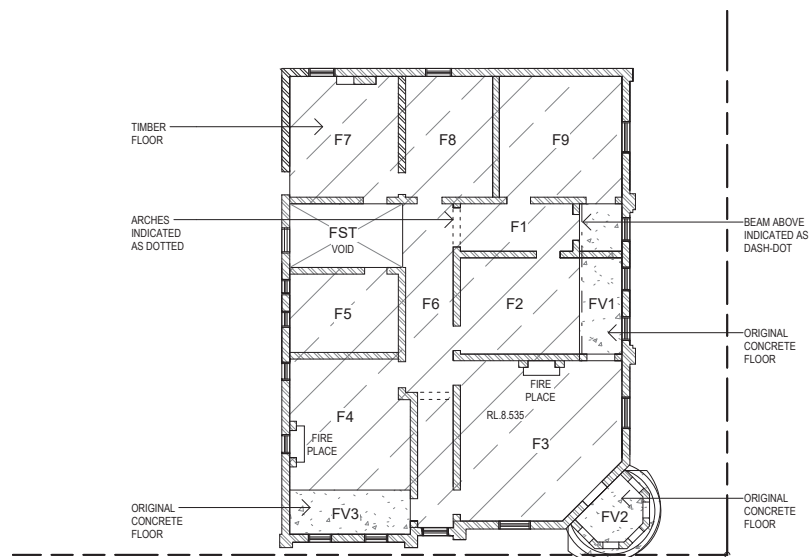


1 HOTEL EXISTING - BASEMENT FLOOR PLAN
1 : 200@A3

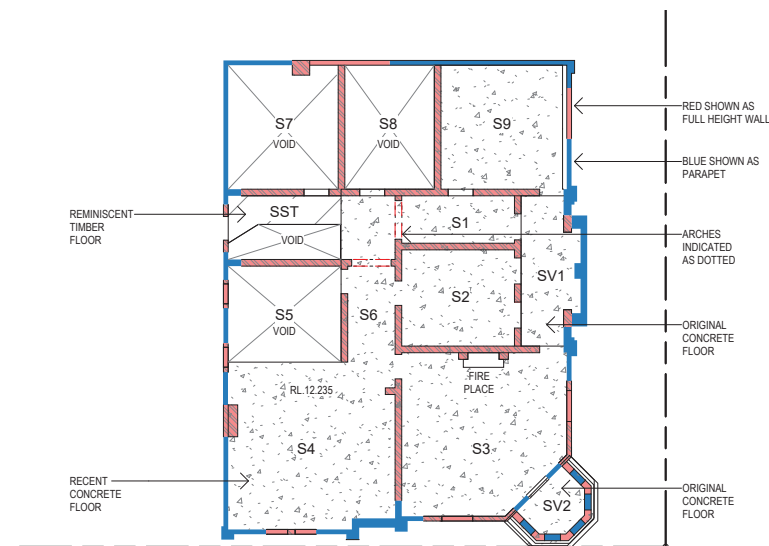


2 HOTEL EXISTING - GROUND FLOOR PLAN
1 : 200@A3



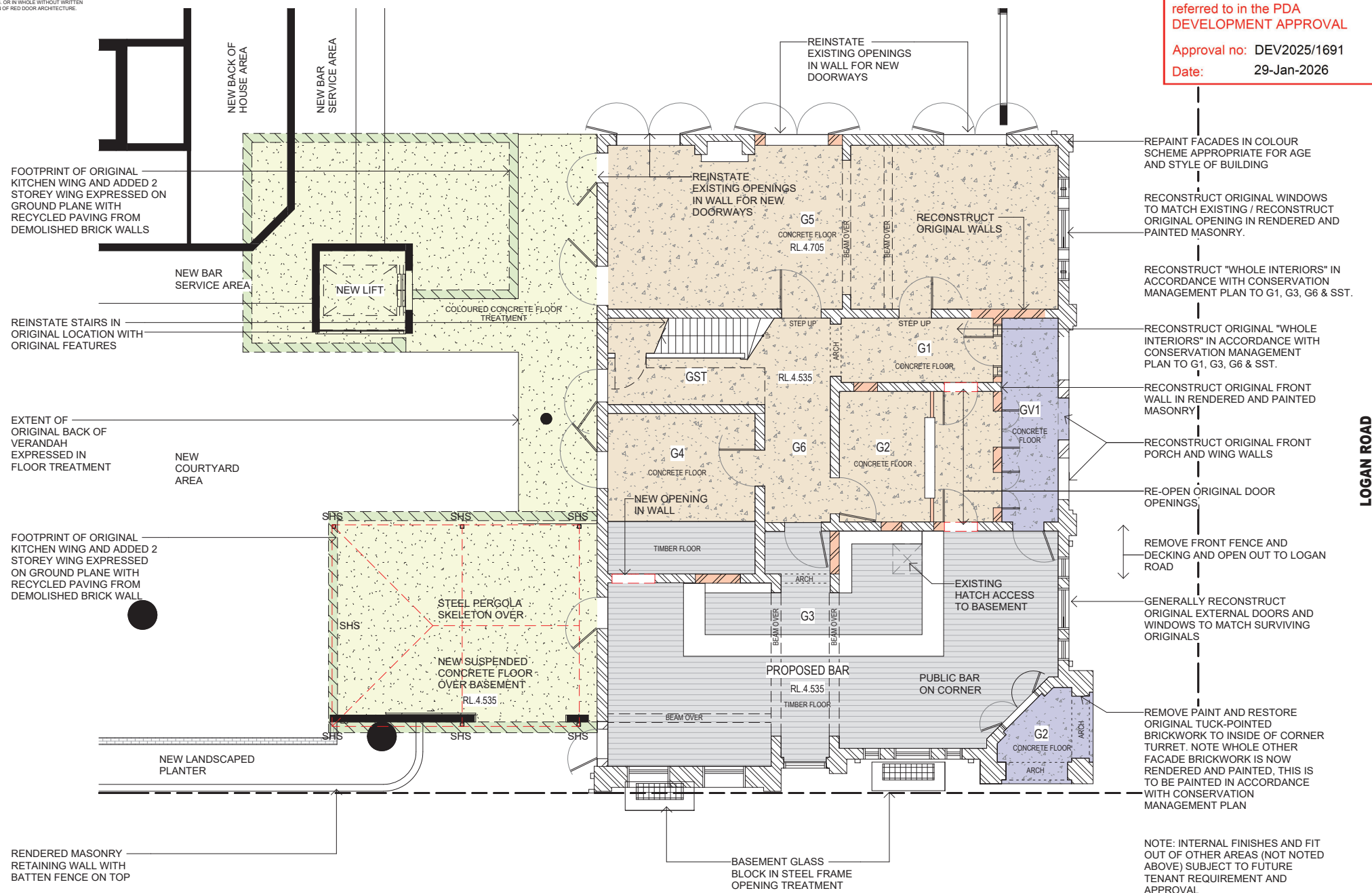


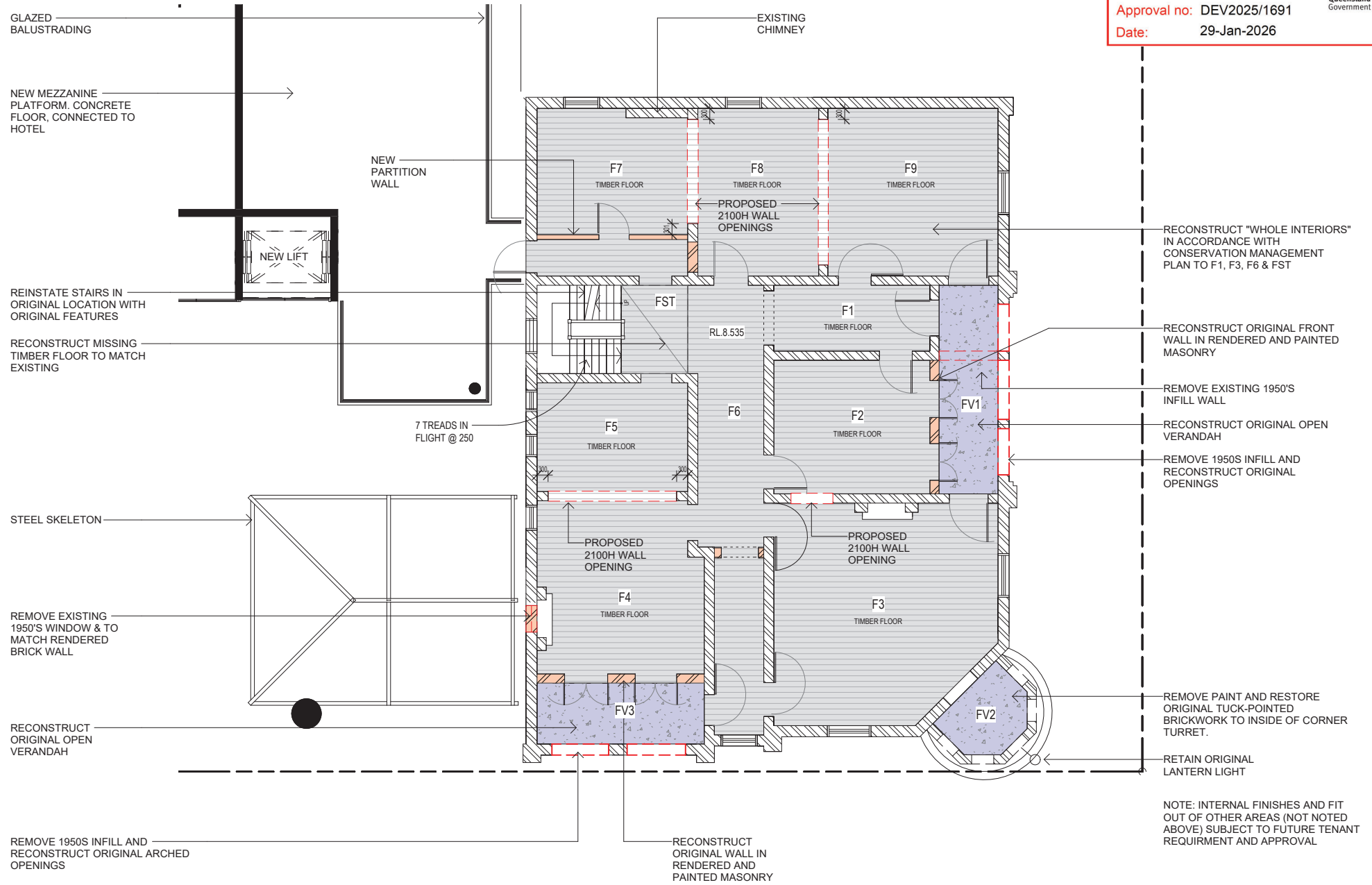
2 HOTEL EXISTING - LEVEL 1 FLOOR PLAN
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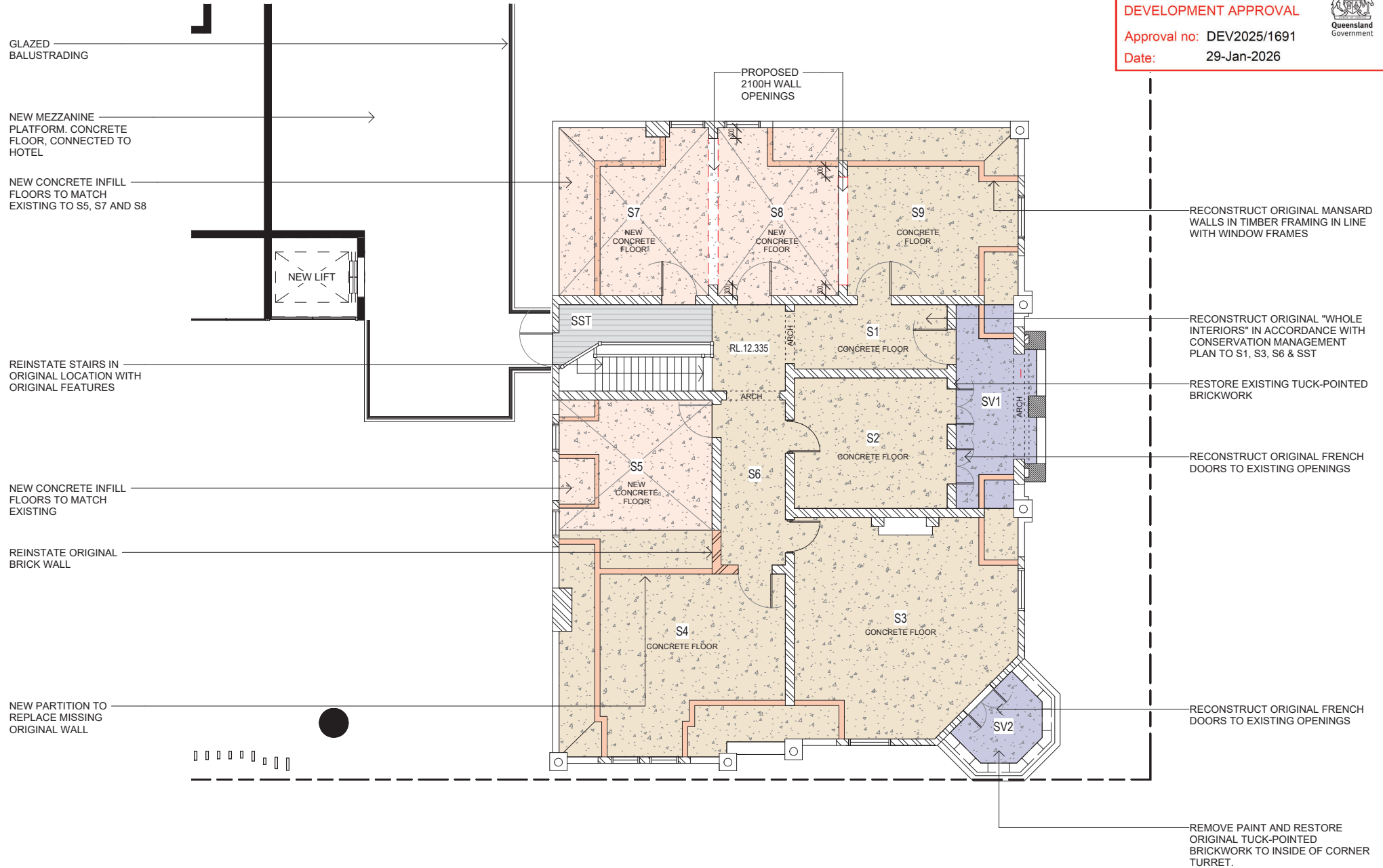


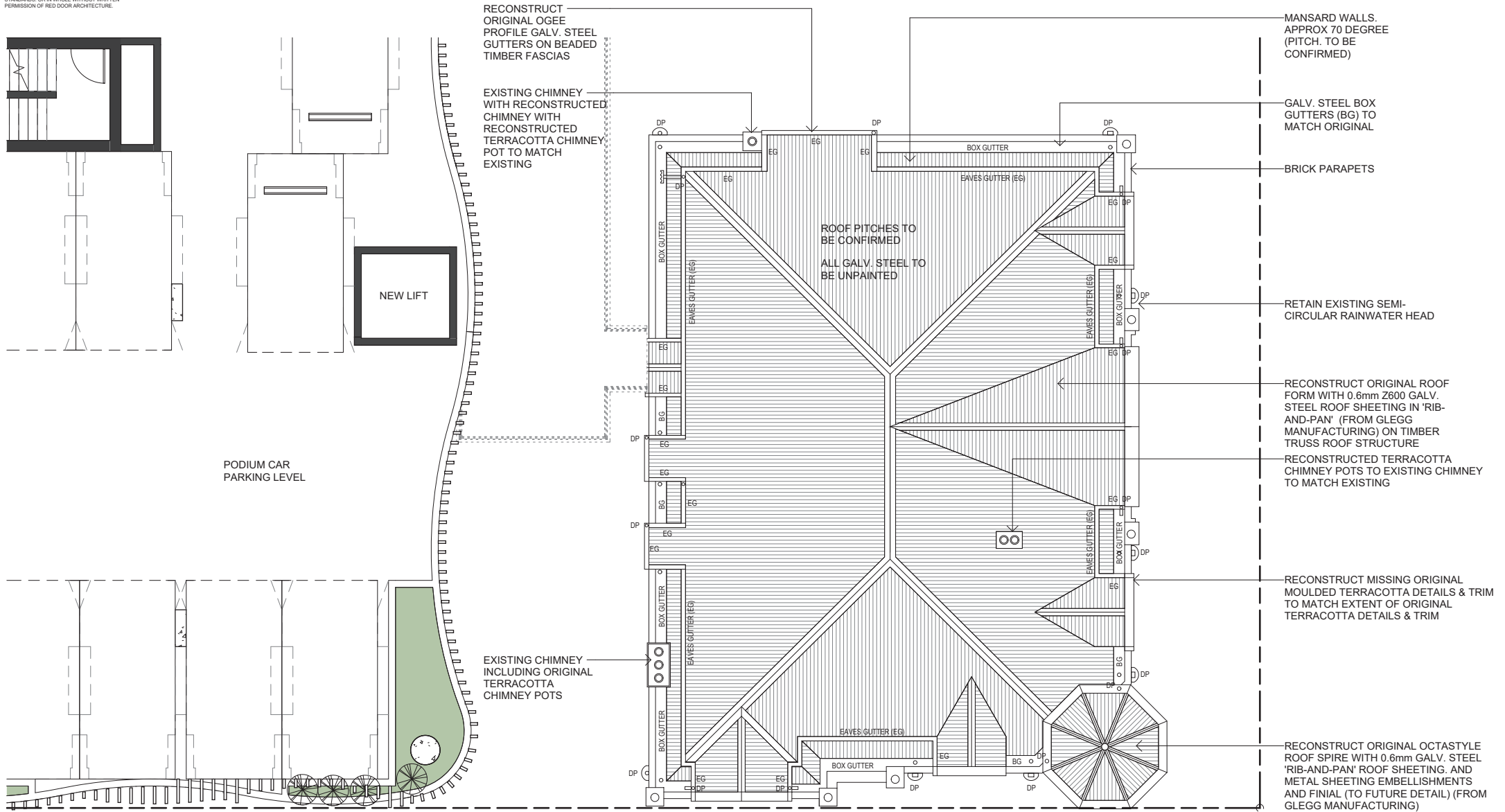
3 HOTEL EXISTING - LEVEL 2 FLOOR PLAN
1: 200@A3











1 ROOF PLAN - HOTEL PROPOSED
1 : 100@A3



REDDOOR
ARCHITECTURE

PLANS AND DOCUMENTS
referred to in the PDA
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Approval no: DEV2025/1691

Date: 29-Jan-2026



HOTEL NOTES

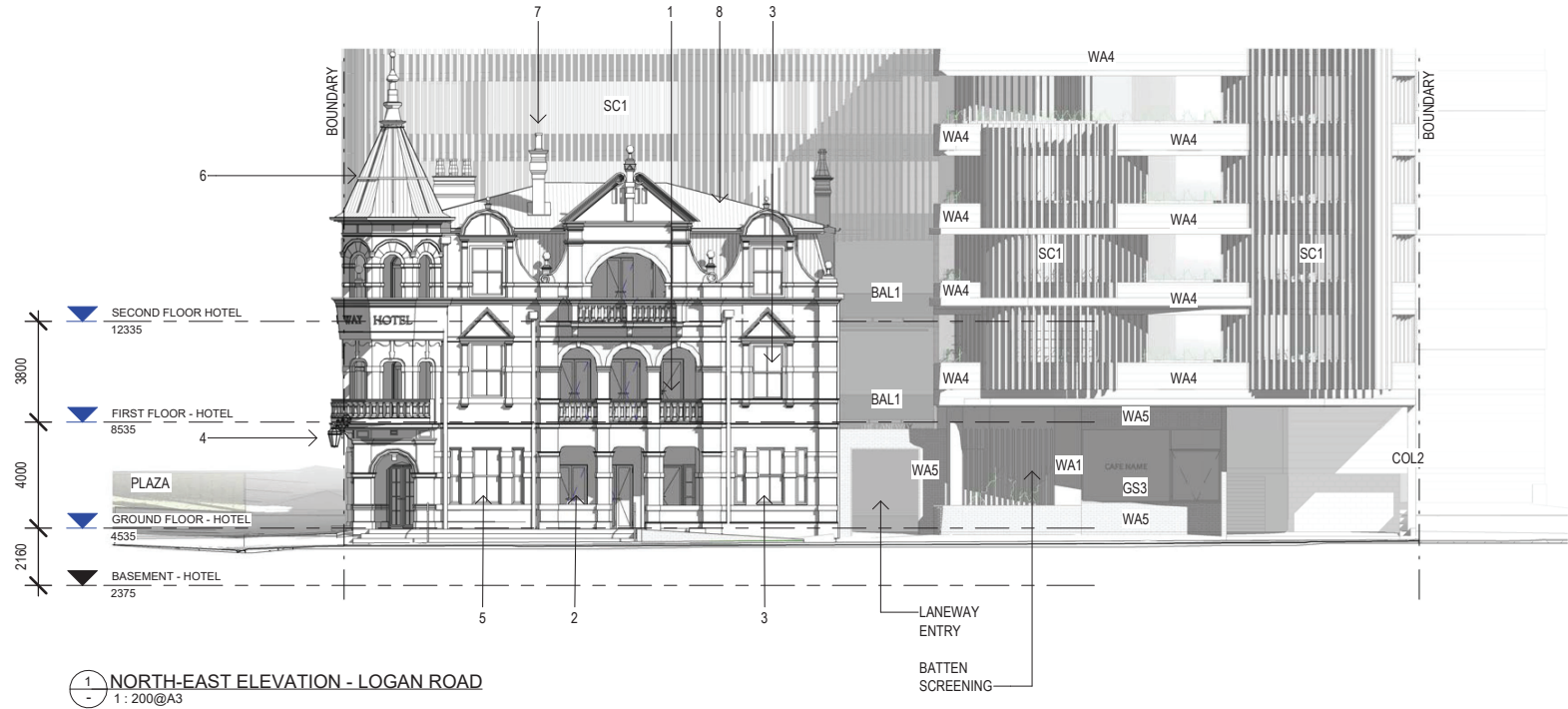
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2. ORIGINAL FRONT PORCH & WING WALLS RECONSTRUCTED
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4. RETAIN ORIGINAL LANTERN LIGHT
5. RECONSTRUCT ORIGINAL EXTERNAL DOORS & WINDOWS TO MATCH SURVIVING ORIGINALS
6. RECONSTRUCT ORIGINAL OCTASTYLE ROOF SPIRE WITH 0.6mm GALV. STEEL "RIB-AND-PAN" ROOF SHEETING WITH METAL SHEETING EMBELLISHMENTS & FINIAL (TO FUTURE DETAIL) (FROM CLEGG MANUFACTURING)
7. RECONSTRUCT TERROCOTTA CHIMNEY POTS TO EXISTING CHIMNEY TO MATCH EXISTING
8. ROOF SHEETING 0.6mm Z600 GALV. STEEL "RIB-AND-PAN" (FROM CLEGG MANUFACTURING.
9. RESTORE BALUSTADING TO MATCH ORIGINAL
10. STEEL PERGOLA SKELETON TO REPRESENT EXISTING WING OF HOTEL
11. RE-INSTATE EXISTING OPENINGS FOR NEW DOORWAYS
12. NEW CONCRETE STAIR TO HOTEL ENTRY LEVEL
13. INFILL HIGHER OPENING TO MATCH EXISTING ADJACENT WALLS

NEW BUILDING NOTES

- AR1 - ARBOUR STRUCTURE - AL. POWDERCOATED
 AR2 - ARBOUR STRUCTURE - AL. POWDERCOATED
 BAL1 - FRAMELESS GLASS BALUSTRADE
 BAL2 - AFS TYPE - CONC UPSTAND - PAINTED
 COL1 - CIRCULAR CONC COLUMN - PAINTED
 COL2 - RECTANGULAR CONC COLUMN - PAINTED
 CR1 - CONC ROOF - PAINTED
 DR1 - METAL DOME ROOF - COLORBOND
 GS1 - TINTED GLAZING - AL. FRAMED WINDOW SYSTEM
 GS2 - CURTAIN WALL GLAZING SYSTEM
 GS3 - SHOPFRONT WINDOW SYSTEM
 SC1 - VERTICAL AL. BATTEN SCREENING
 SC2 - VERTICAL AL. BATTEN SCREENING
 WA1 - RENDER - PAINTED FINISH
 WA2 - RENDER - PAINTED FINISH
 WA3 - AL. TIMBER LOOK CLADDING
 WA4 - PRE-CAST CONC PANELS - HORIZONTAL LINES
 WA5 - BRICK FINISH

COLOUR

- ANODIC BRONZE
 WHITE
 CLEAR
 WHITE
 WHITE
 WHITE
 WHITE
 SHALE GREY
 ANODIC BRONZE
 MONUMENT
 MONUMENT
 ANODIC BRONZE
 WHITE
 WHITE
 MONUMENT
 JARRAH
 FLOODED GUM
 WHITE



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HOTEL NOTES

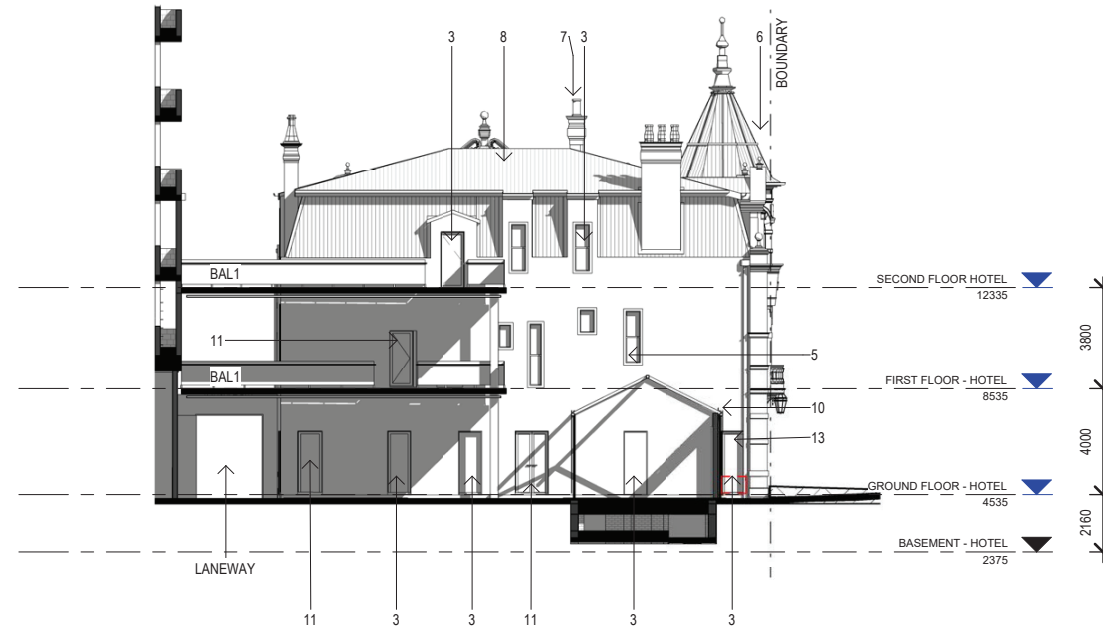
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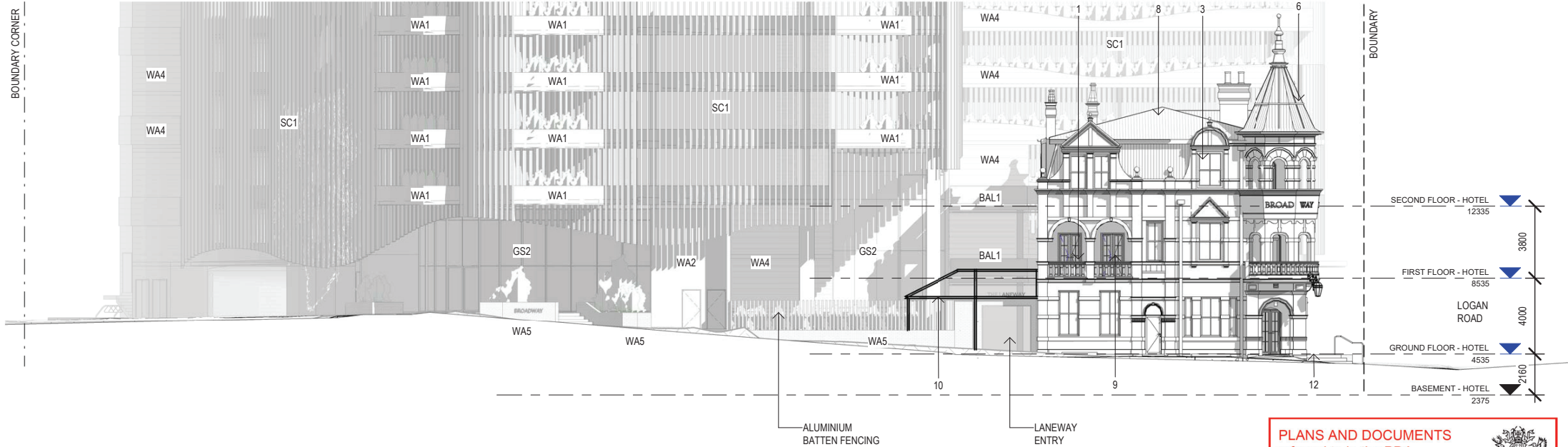
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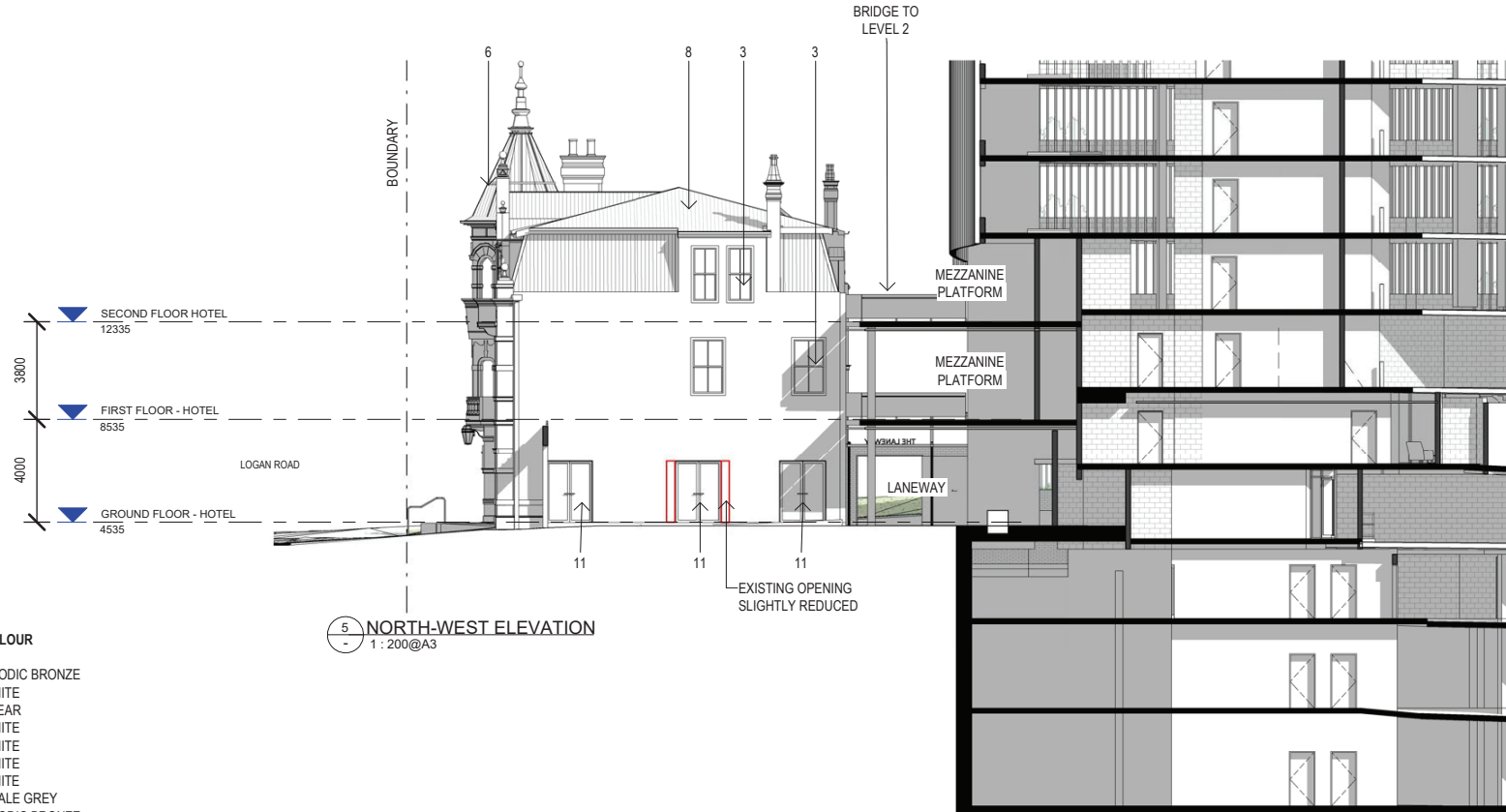
3 SOUTH EAST ELEVATION - LANEWAY
 1 : 200@A3



4 SOUTH-EAST ELEVATION - BALACLAVA ST
 1 : 200@A3

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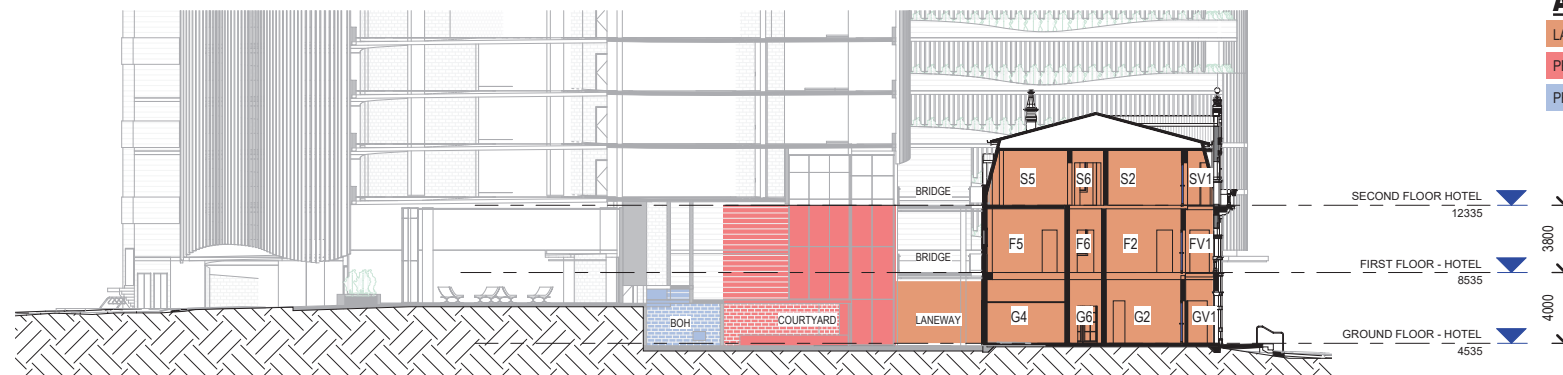
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JARRAH
FLOODED GUM
WHITE

AREA TYPE LEGEND

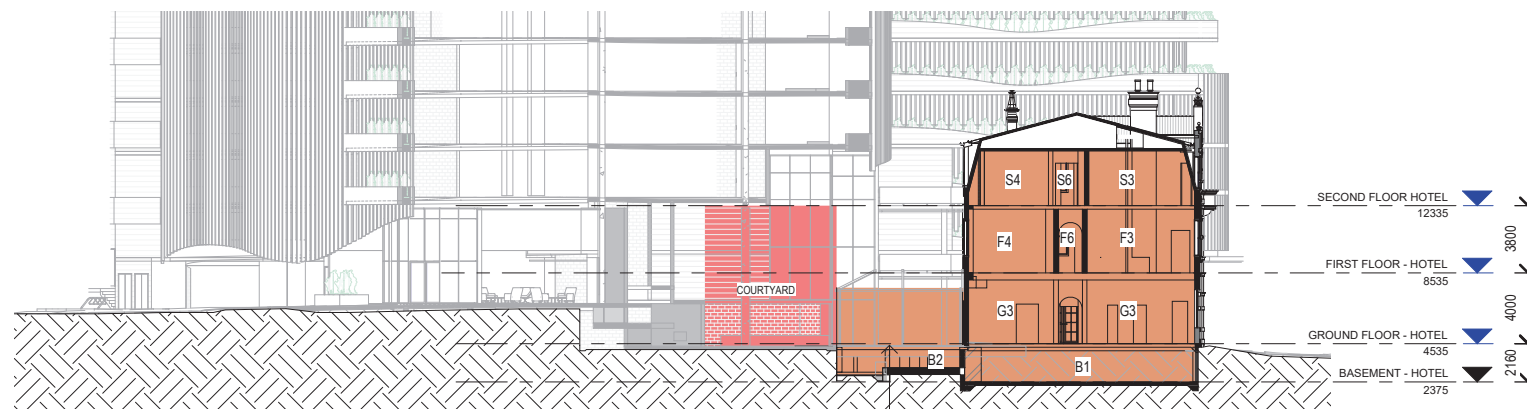
LANEWAY + EXISTING HOTEL

PROPOSED HOSPITALITY SPACE

PROPOSED BACK OF HOUSE SPACE



1 CROSS SECTION 1
1 : 300@A3



NEW CONC. SLAB

2 CROSS SECTION 2
1 : 300@A3



3 CROSS SECTION 3
1 : 300@A3

BROADWAY HOTEL RESIDENTIAL PROPOSAL



DEVELOPMENT SUMMARY

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL



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Date: 29-Jan-2026

REAL PROPERTY DESCRIPTION	
93 & 97 LOGAN ROAD, WOOLLOONGABBA, QLD. 4102	
LOT 50 ON RP217072	
LOT 1 ON RP149357	
LOT 76 ON RP11846	
TOTAL SITE AREA:	2,511m ²
TOTAL LANDSCAPED AREA:	826m ² (32.9%)
TOTAL DEEP PLANTING:	0m ² (0%)
TOTAL GFA	27,111m ² (1080.5%)
TOTAL COMMUNAL OPEN SPACE (OUTDOOR):	5986m ² (63.6%)
TOTAL COMMUNAL OPEN SPACE (INDOOR):	471m ² (18.7%)
SITE COVER	2.189m ² (87.0%)

BUILDING	
LEVEL	DESCRIPTION

B4	BASEMENT 4
B3	BASEMENT 3
B2	BASEMENT 2
B1	BASEMENT 1
1	GROUND FLOOR
2	PODIUM 1 PARKING
3	PODIUM 2 PARKING
4	PODIUM 3 PARKING
5	PODIUM 4 PARKING
6	PODIUM 5 PARKING
7	PODIUM 6 COMMUNAL
8	PART FLOOR
9	TYPICAL FLOOR
10	TYPICAL FLOOR
11	TYPICAL FLOOR
12	TYPICAL FLOOR
13	TYPICAL FLOOR
14	TYPICAL FLOOR
15	TYPICAL FLOOR
16	TYPICAL FLOOR
17	TYPICAL FLOOR
18	TYPICAL FLOOR
19	TYPICAL FLOOR
20	TYPICAL FLOOR
21	TYPICAL FLOOR
22	TYPICAL FLOOR
23	TYPICAL FLOOR
24	TYPICAL FLOOR
25	TYPICAL FLOOR
26	TYPICAL FLOOR
27	TYPICAL FLOOR
28	TYPICAL FLOOR
29	TYPICAL FLOOR
30	TYPICAL FLOOR
31	TYPICAL FLOOR
32	TYPICAL FLOOR
33	TYPICAL FLOOR
34	ROOF TERRACE

APARTMENTS				
APARTMENTS	4 BED	3 BED	2 BED	1 BED

[illegible]

256	0	25	179	52
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CAR PARKING	
PROVIDED	MAXIMUM

[illegible]

276*	286
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BICYCLE PARKING	
PROVIDED	REQUIRED

[illegible]

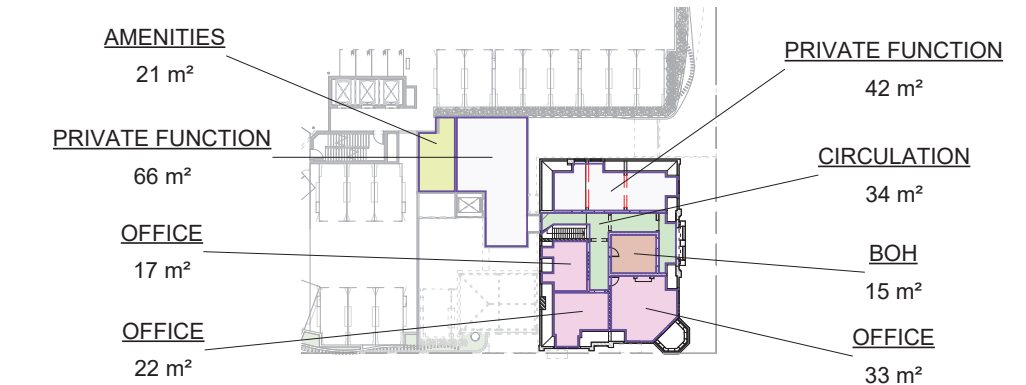
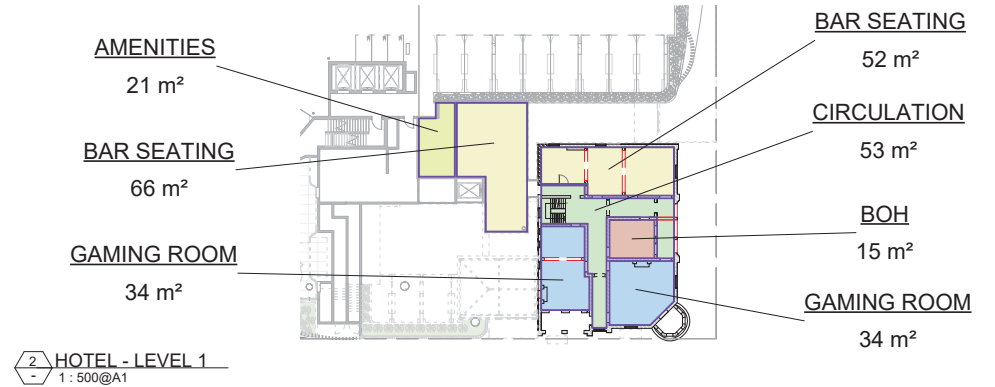
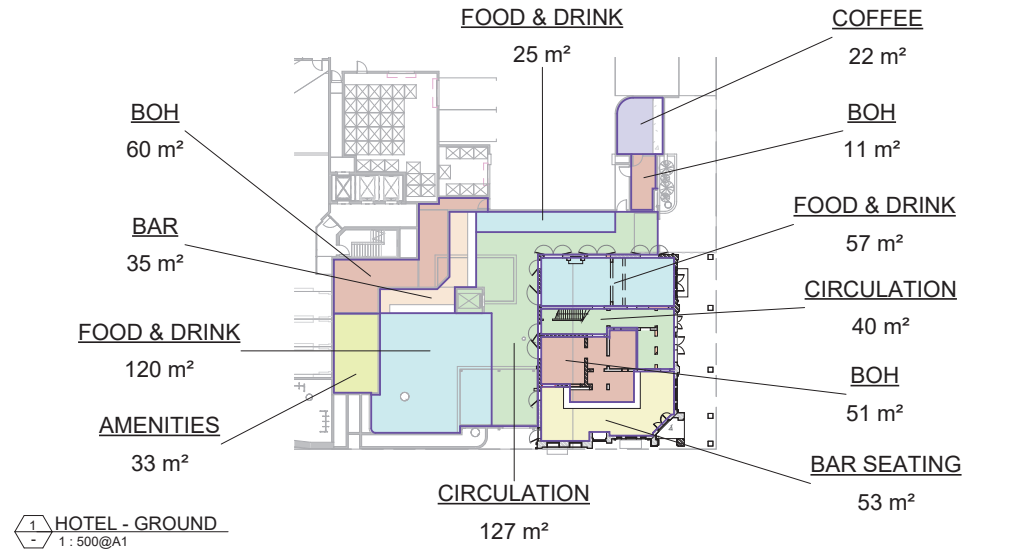
394	352.5
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AREA (GFA)
m ²

[illegible]27111

*A TOTAL OF 10 CAR PARKS HAVE BEEN ALLOCATED FOR COMMERCIAL USE IN ASSOCIATION WITH THE BROADWAY HOTEL

HOTEL - AREAS BY ACTIVITY (m²)		
LEVEL	ACTIVITY	AREA (m²)
GROUND - OUTDOOR	BAR / KITCHEN / BACK OF HOUSE / STORAGE	106
	FOOD & DRINK (PATRONS AREA)	167
	CIRCULATION	127
	AMENITIES	33
GROUND - INDOOR	HOTEL BAR (PATRONS AREA)	53
	HOTEL BAR / BACK OF HOUSE / STORAGE	51
	HOTEL FOOD & DRINK	57
	CIRCULATION	40
LEVEL 1 - OUTDOOR	HOTEL BAR SEATING - MEZZANINE	66
	AMENITIES	21
LEVEL 1 - INDOOR	HOTEL - BAR / SEATING	52
	BACK OF HOUSE	15
	GAMING ROOM	68
	CIRCULATION	53
LEVEL 2 - OUTDOOR	PRIVATE FUNCTIONS - MEZZANINE	66
	AMENITIES	21
LEVEL 2 - INDOOR	PRIVATE FUNCTIONS - ROOM	42
	BACK OF HOUSE	15
	HOTEL OFFICES	72
	CIRCULATION	34

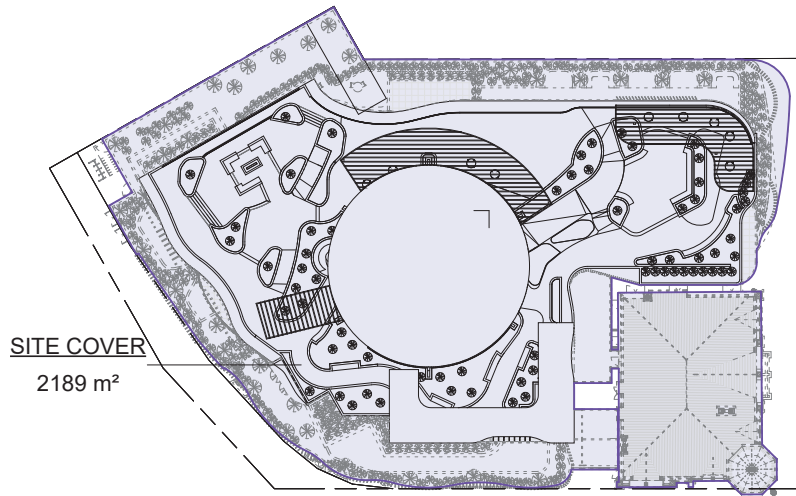


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1 SITE COVER
1 : 500 @ A1



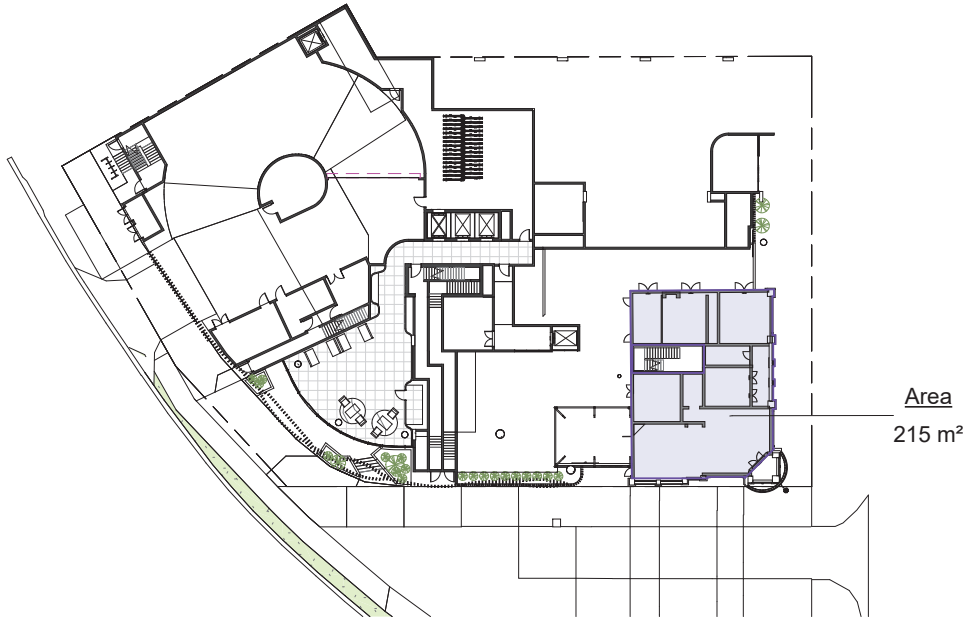
RED DOOR
ARCHITECTURE

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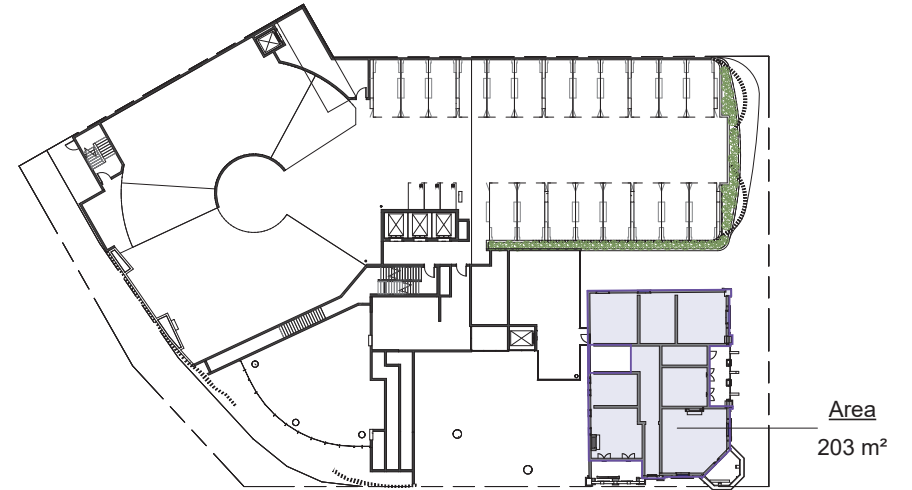
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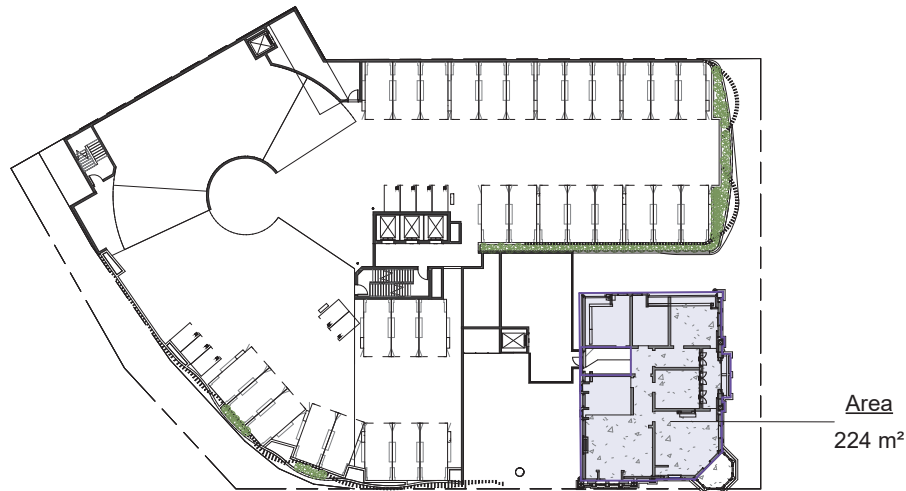




1 LEVEL 1 (GF) - GFA
1 : 500@A3



2 LEVEL 2 - GFA
1 : 500@A3



3 LEVEL 3 - GFA
1 : 500@A3



4 LEVEL 7 PODIUM - GFA
1 : 500@A3
TOTAL AREA: 589m²



RED DOOR
ARCHITECTURE

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REVISION D 01.09.25 DA SUBMISSION



5 LEVEL 8 - GFA
1 : 500@A3



6 TYPICAL FLOOR (LEVELS 9-33)
1 : 500@A3



7 ROOF TERRACE - GFA
1 : 500@A3



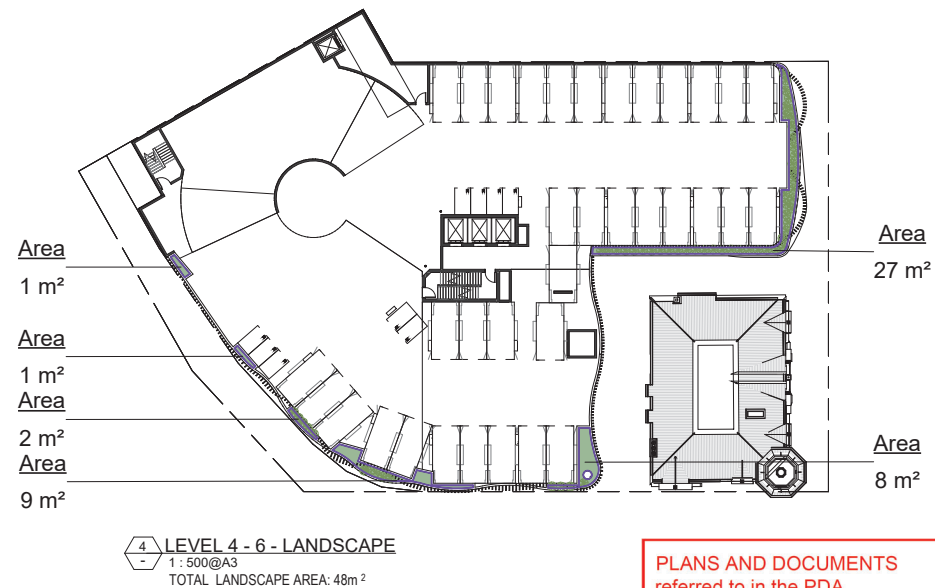
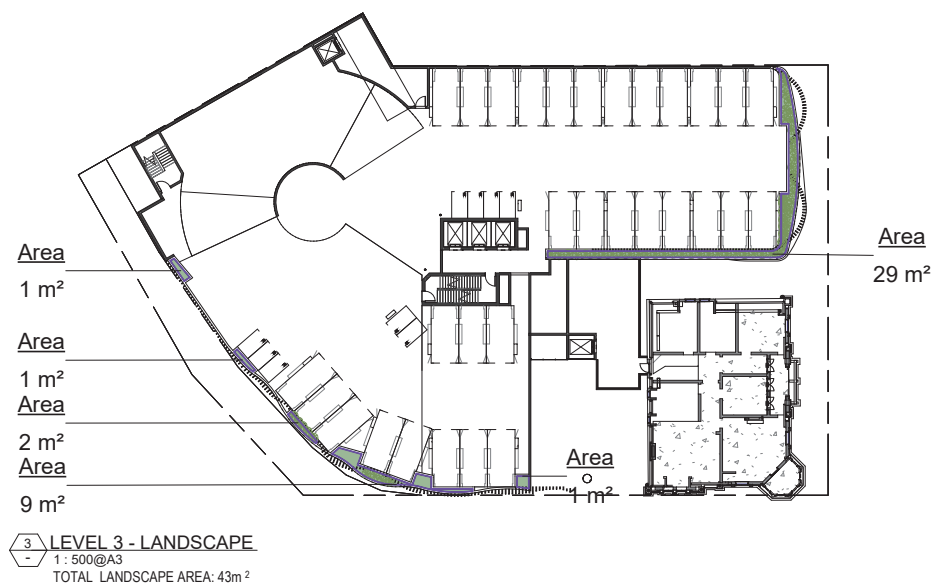
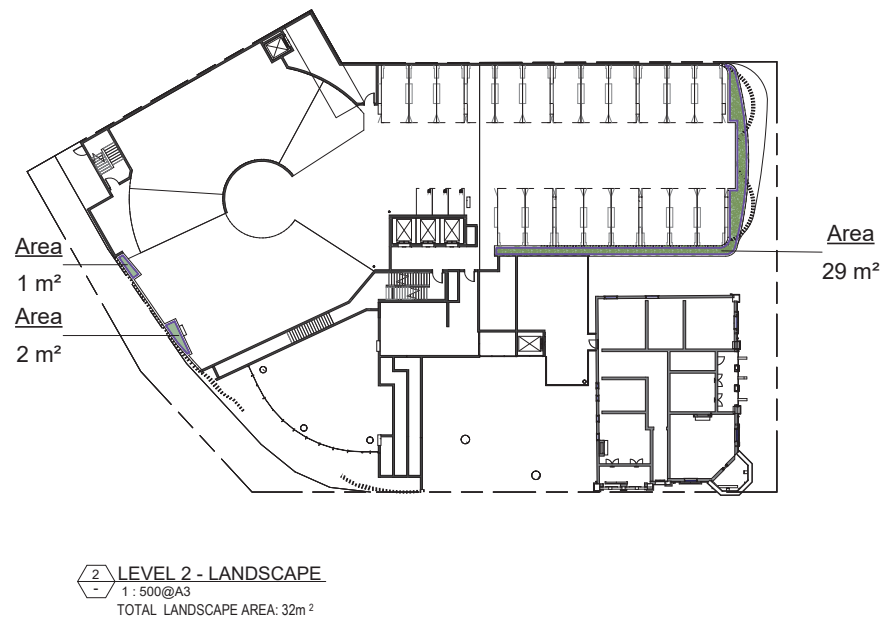
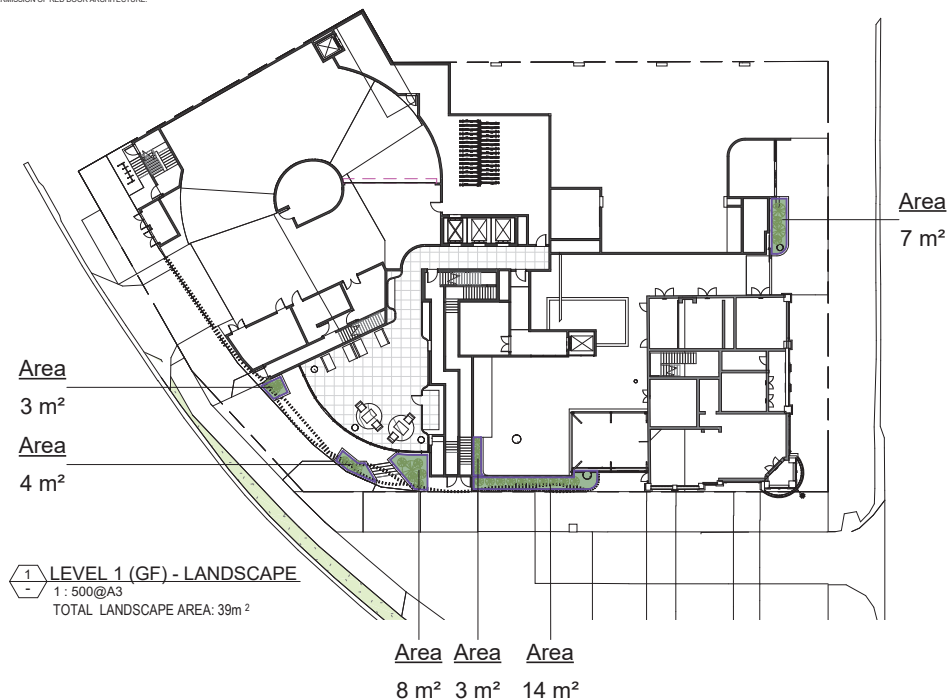
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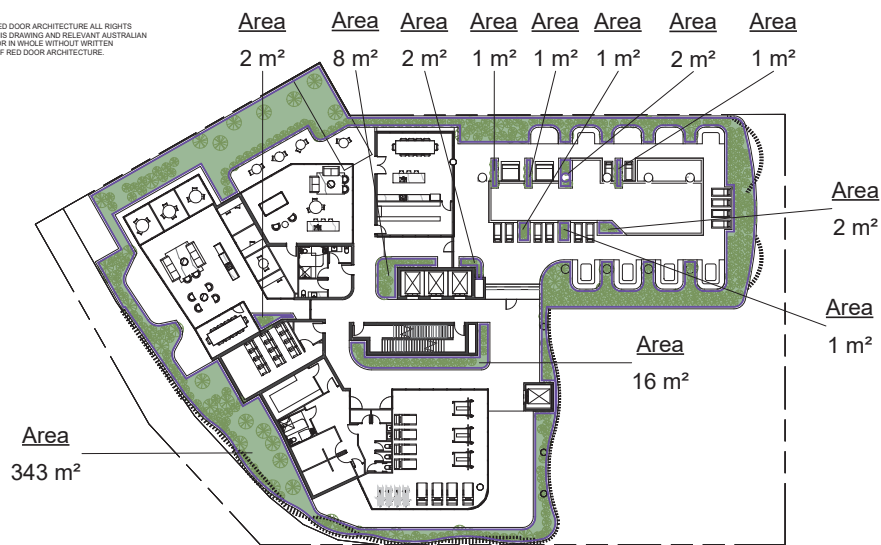
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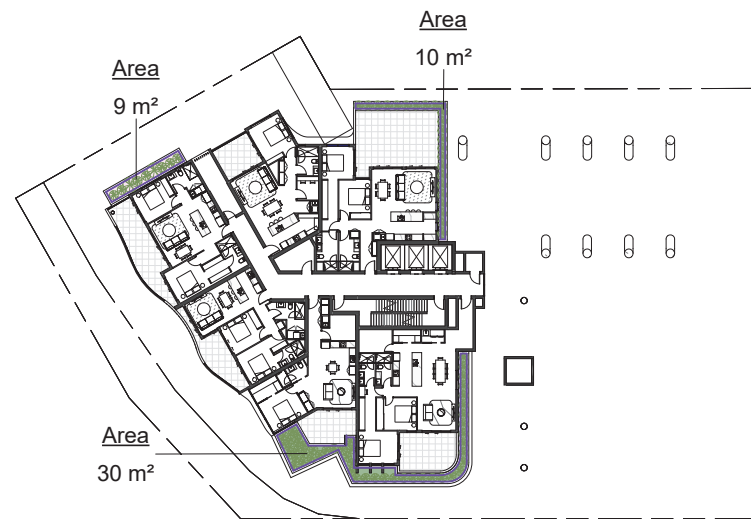
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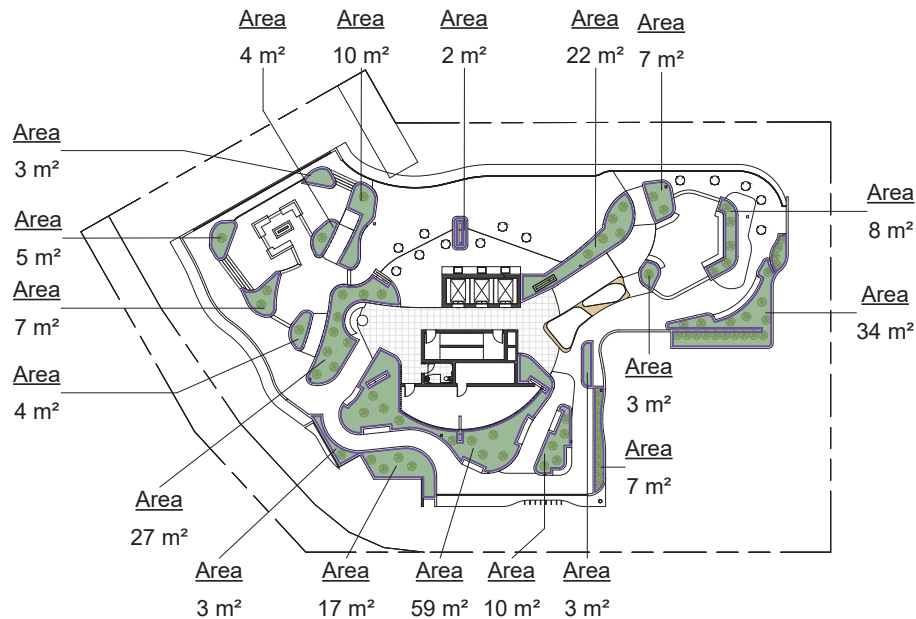




5 LEVEL 7 PODIUM - LANDSCAPE
1 : 500@A3
TOTAL LANDSCAPE AREA: 380m²



6 LEVEL 8 - LANDSCAPE
1 : 500@A3
TOTAL LANDSCAPE AREA: 39m²



1 ROOF TERRACE - LANDSCAPE
1 : 500@A3
TOTAL LANDSCAPE AREA: 236m²



RED DOOR
ARCHITECTURE

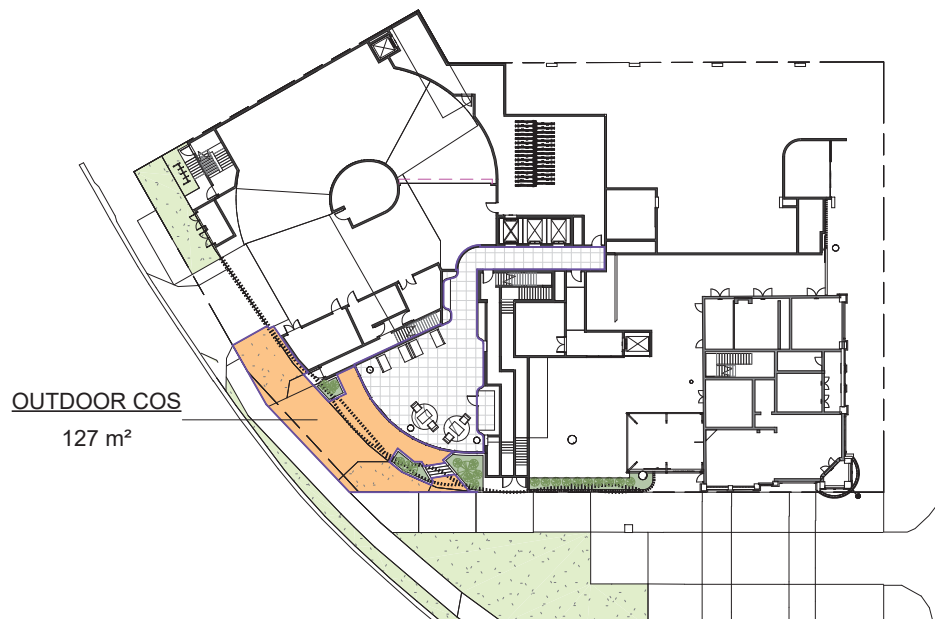
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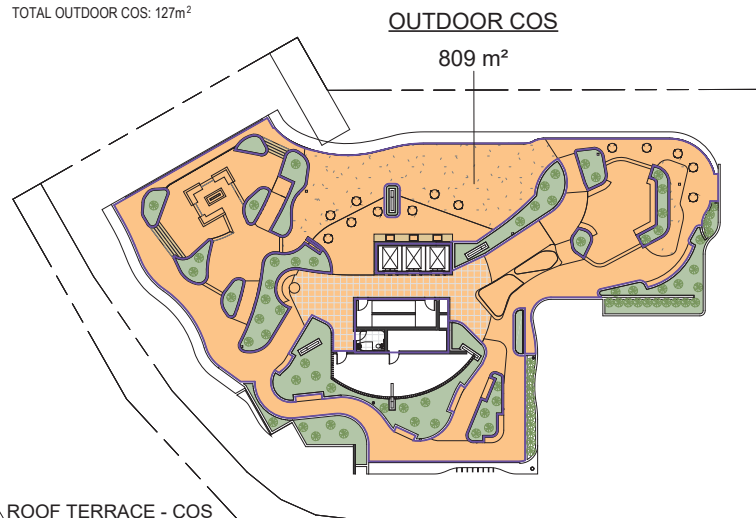
REVISION F 27.11.25 DA SUBMISSION



1 LEVEL 1 (GF) - COS

1 : 500@A3

TOTAL OUTDOOR COS: 127m²



3 ROOF TERRACE - COS

1 : 500@A3

TOTAL COS: 809m²



2 LEVEL 7 - COS

1 : 500@A3

TOTAL OUTDOOR COS: 661m²

TOTAL INDOOR COS: 471m²



REDDOOR
ARCHITECTURE

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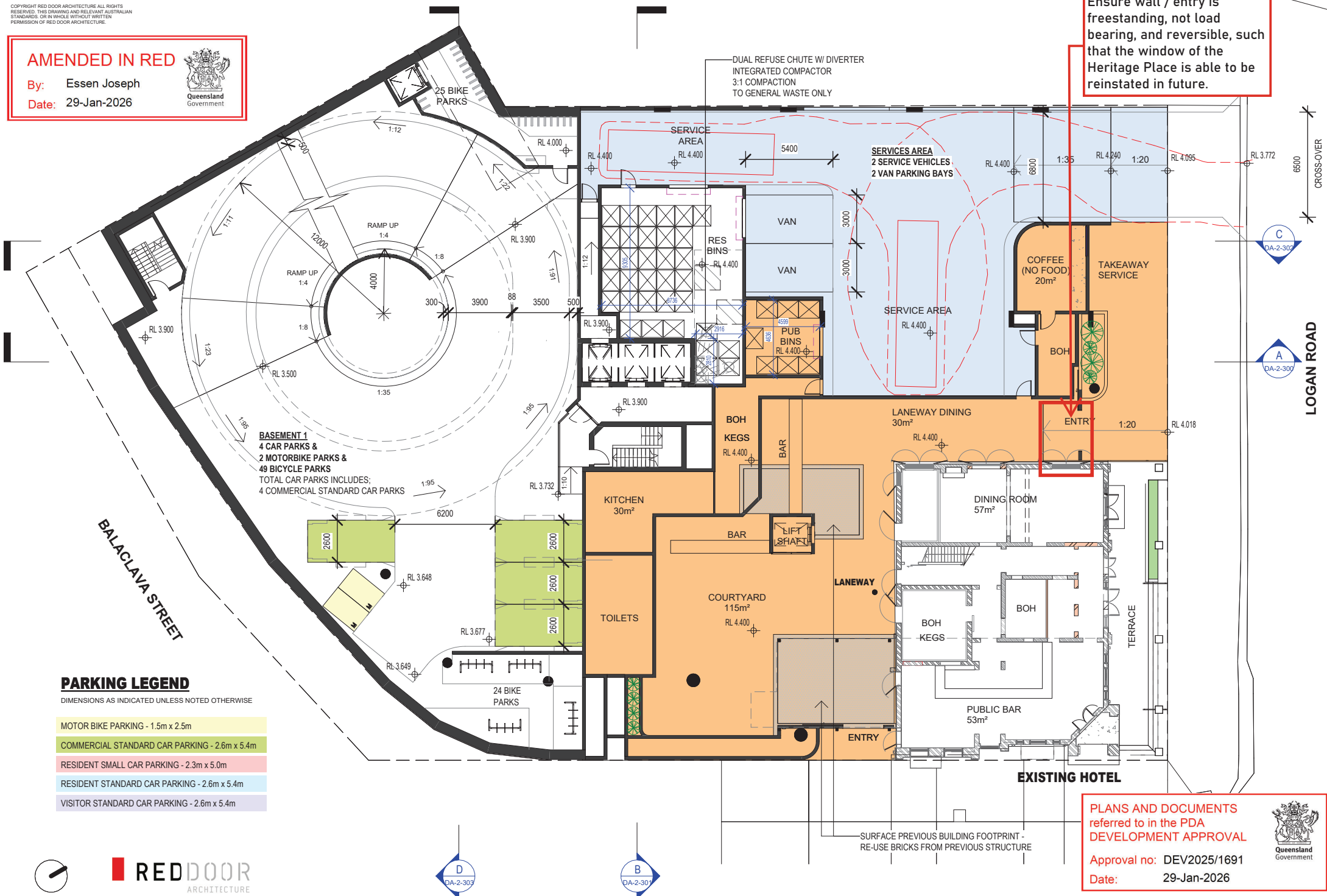
AMENDED IN RED

By: Essen Joseph

Date: 29-Jan-2026



Ensure wall / entry is freestanding, not load bearing, and reversible, such that the window of the Heritage Place is able to be reinstated in future.



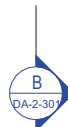
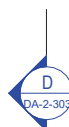
PARKING LEGEND

DIMENSIONS AS INDICATED UNLESS NOTED OTHERWISE

MOTOR BIKE PARKING - 1.5m x 2.5m
COMMERCIAL STANDARD CAR PARKING - 2.6m x 5.4m
RESIDENT SMALL CAR PARKING - 2.3m x 5.0m
RESIDENT STANDARD CAR PARKING - 2.6m x 5.4m
VISITOR STANDARD CAR PARKING - 2.6m x 5.4m



REDDOOR
ARCHITECTURE



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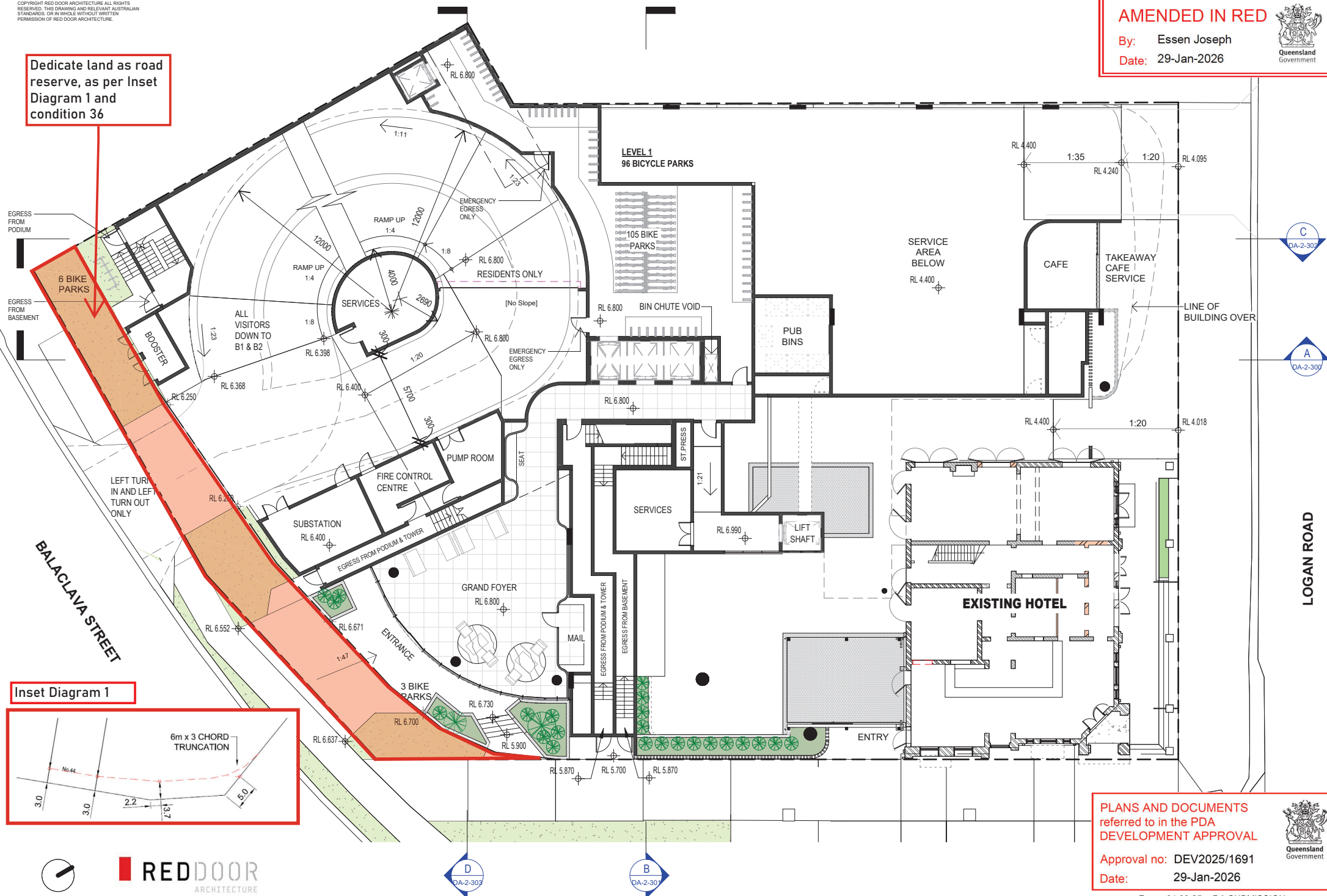
AMENDED IN RED

By: Essen Joseph

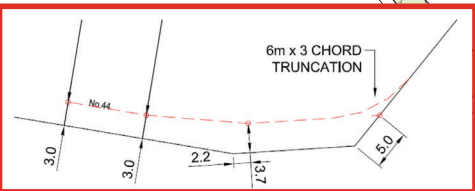
Date: 29-Jan-2026



Dedicate land as road reserve, as per Inset Diagram 1 and condition 36



Inset Diagram 1



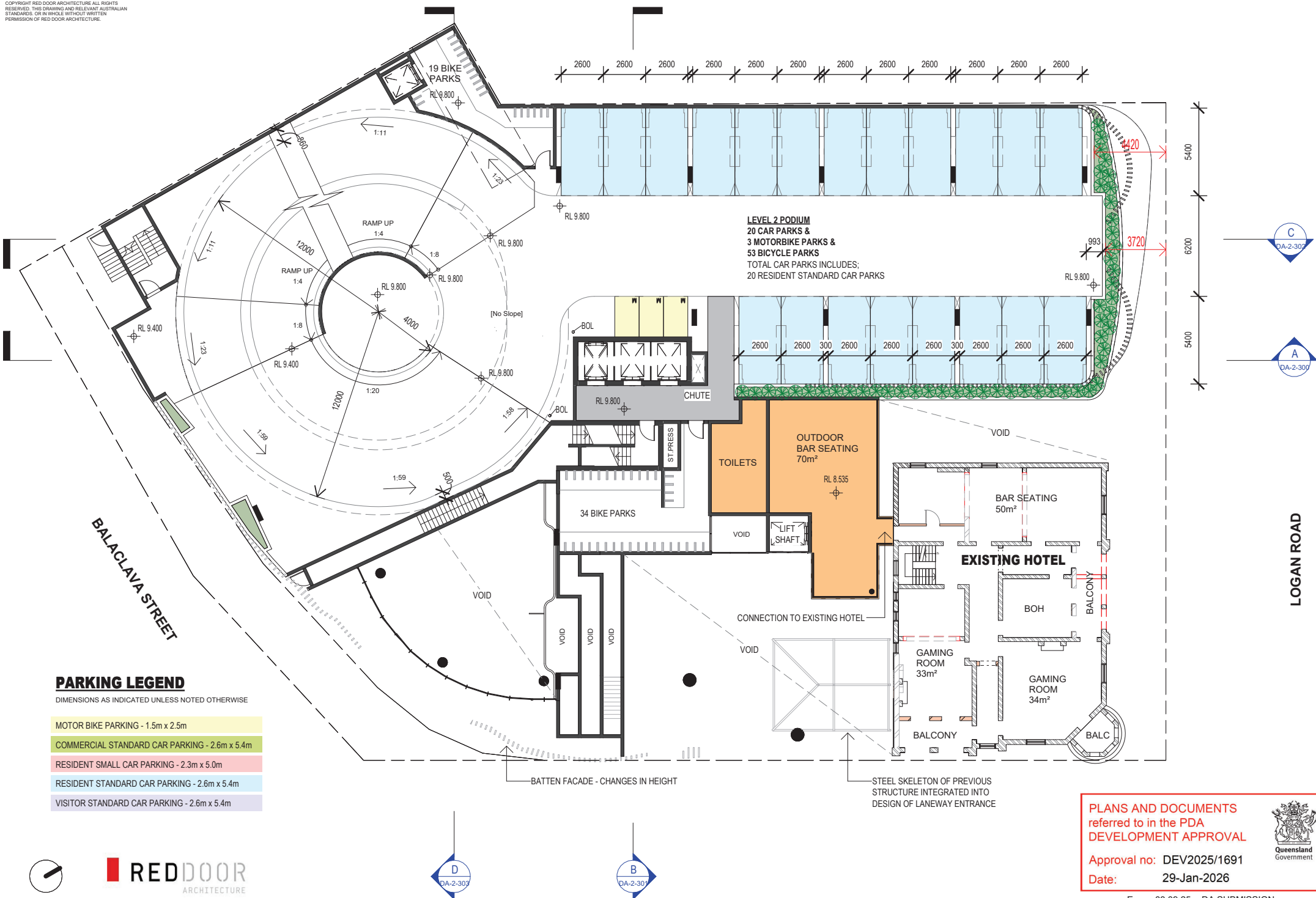
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2025/1691

Date: 29-Jan-2026



RED DOOR
ARCHITECTURE



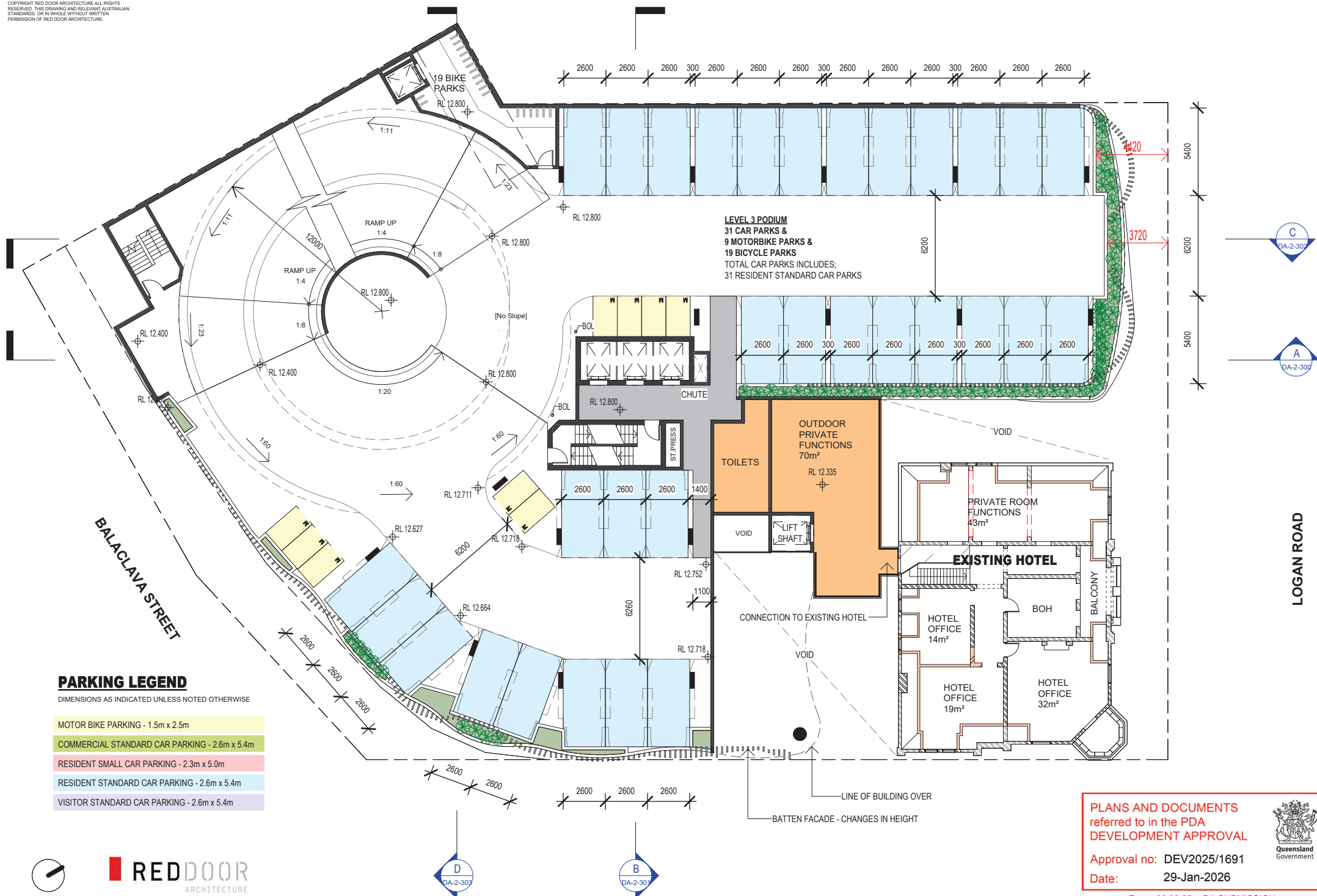
REDDOOR
ARCHITECTURE

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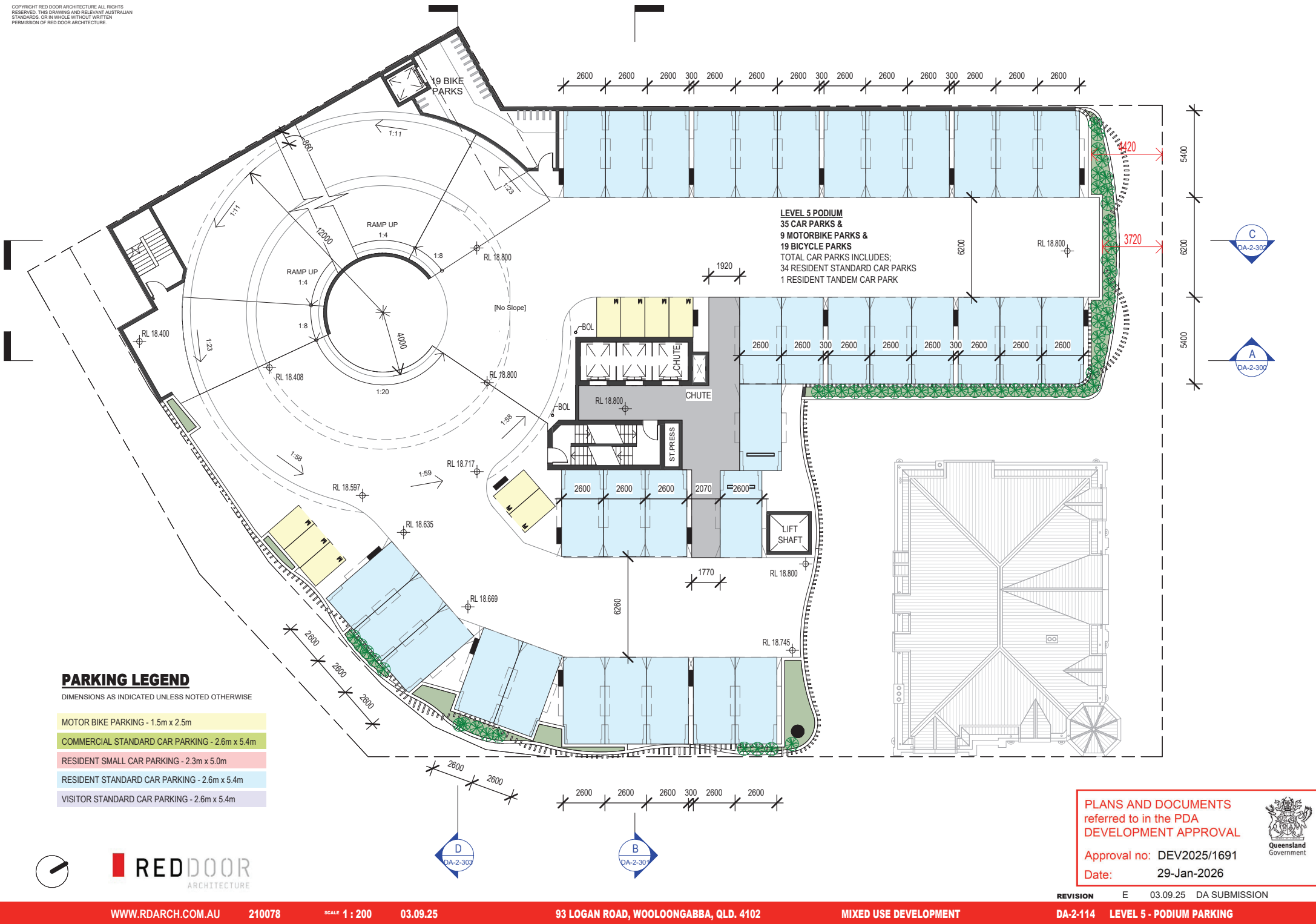
DIMENSIONS AS INDICATED UNLESS NOTED OTHERWISE

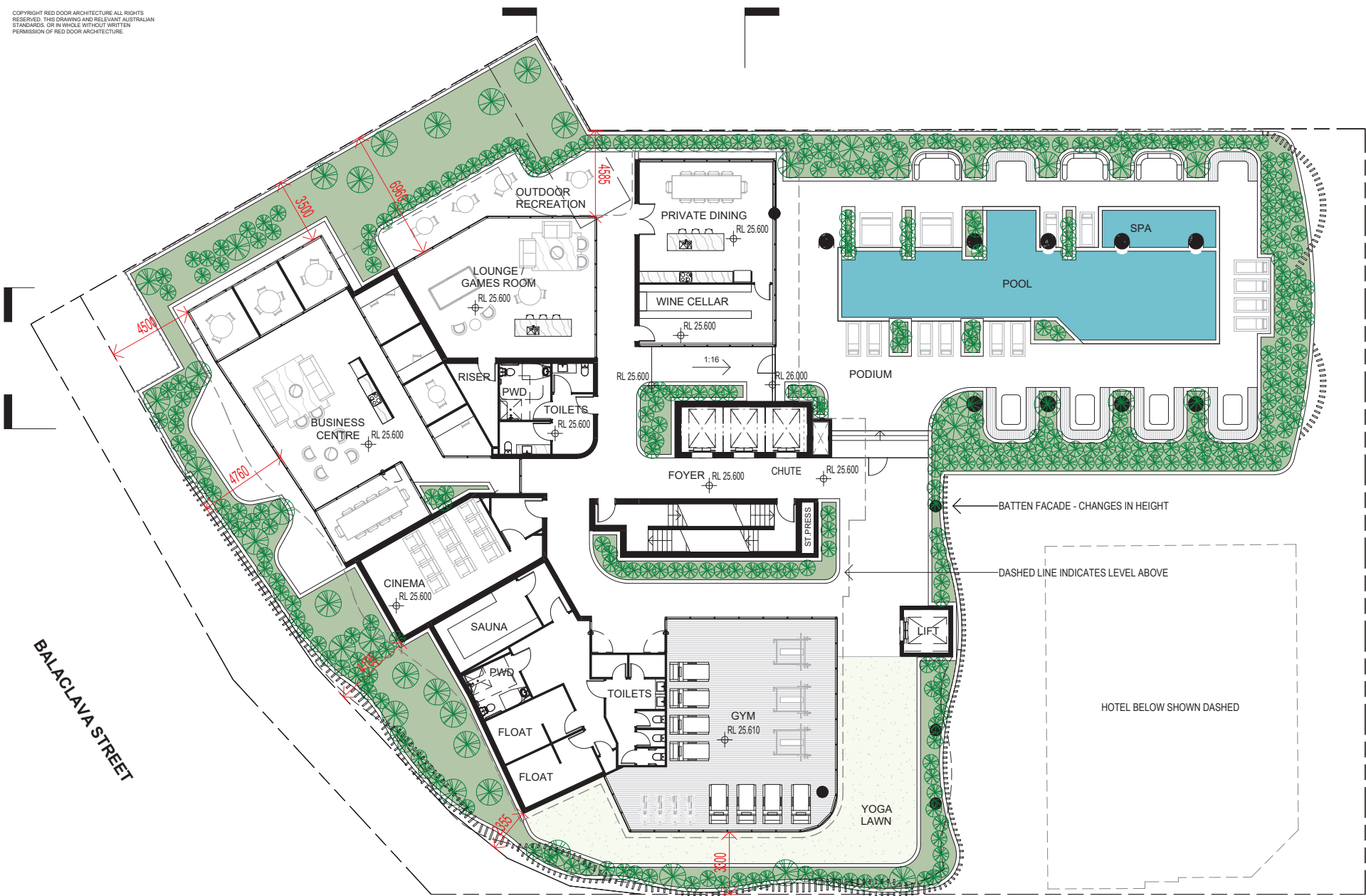
VISITOR STANDARD CAR PARKING - 2.6m x 5.4m



Queensland
Government

Date: 29-Jan-2026





BALACLAVA STREET

LOGAN ROAD



REDDOOR
ARCHITECTURE

PLANS AND DOCUMENTS
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Date: 29-Jan-2026



REVISION F 27.11.25 DA SUBMISSION

POTENTIAL FUTURE DEVELOPMENT

DASHED LINE INDICATES LEVEL ABOVE

COMMUNAL SPACE BELOW SHOWN DASHED

HOTEL BELOW SHOWN DASHED

BALACLAVA STREET

LOGAN ROAD

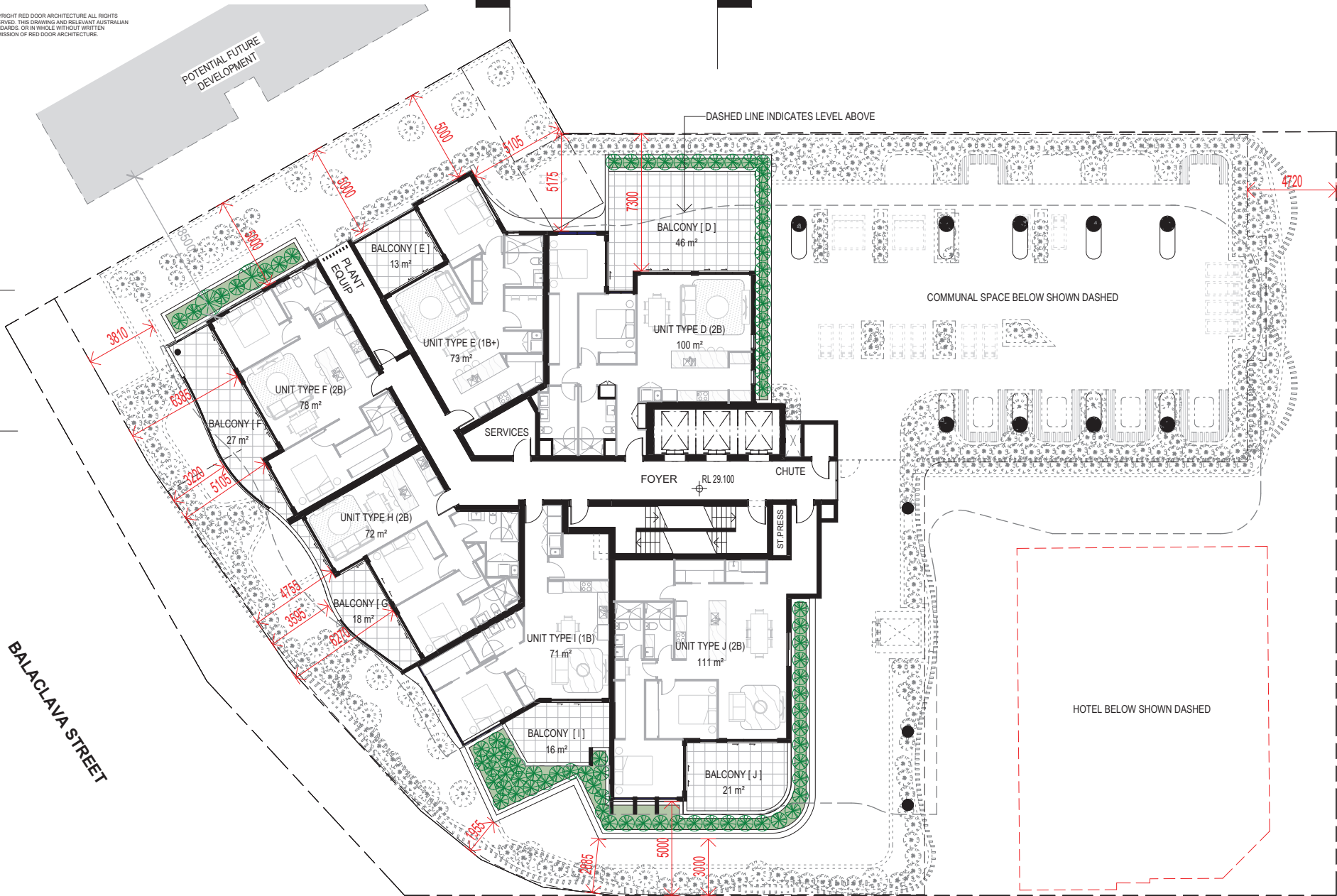


REDDOOR
ARCHITECTURE

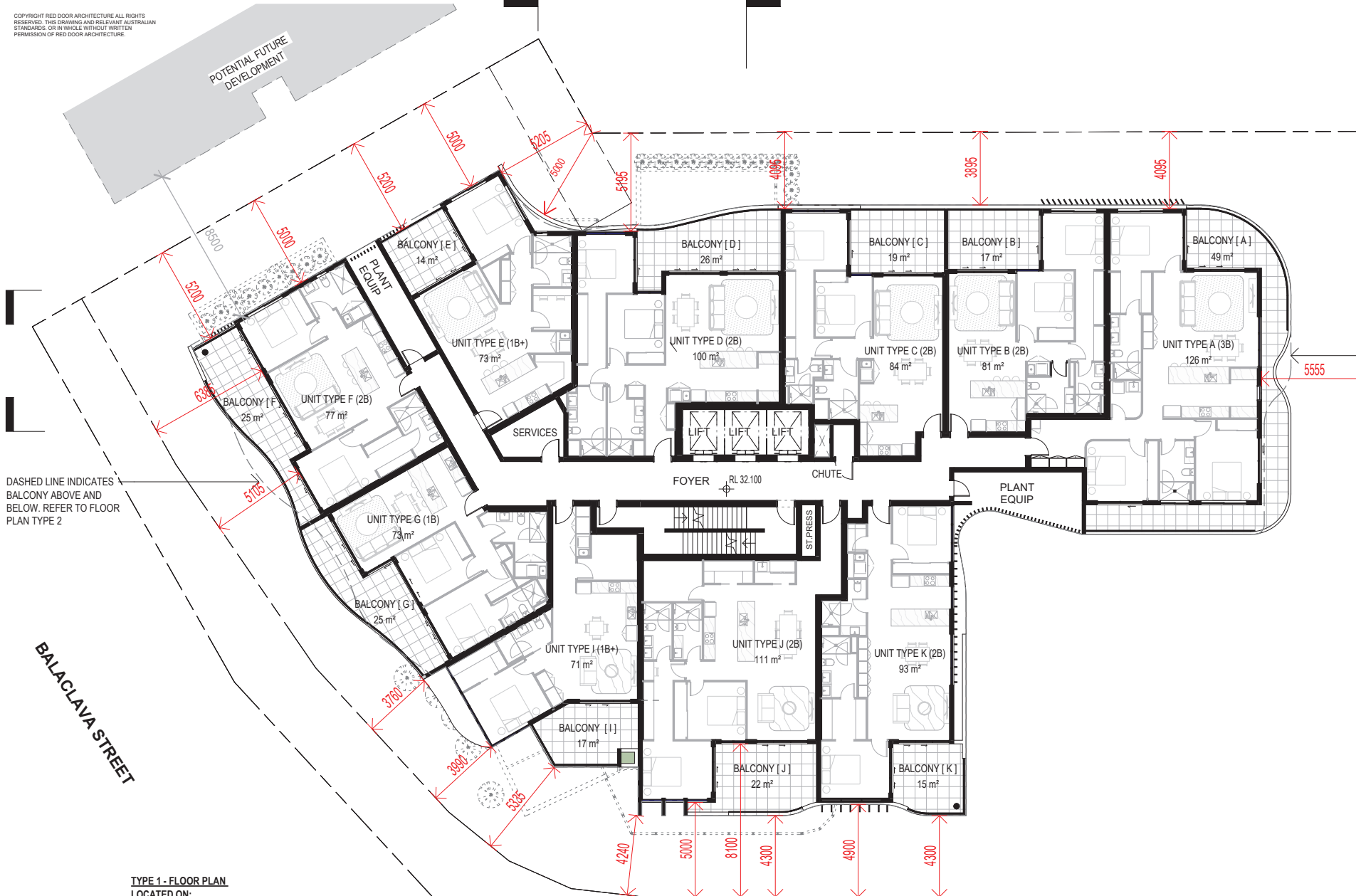
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

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Date: 29-Jan-2026



POTENTIAL FUTURE DEVELOPMENT



**TYPE 1 - FLOOR PLAN
LOCATED ON:**

LEVEL 9 LEVEL 23
LEVEL 13 LEVEL 25
LEVEL 15 LEVEL 27
LEVEL 17 LEVEL 29
LEVEL 19 LEVEL 33



RED DOOR
ARCHITECTURE

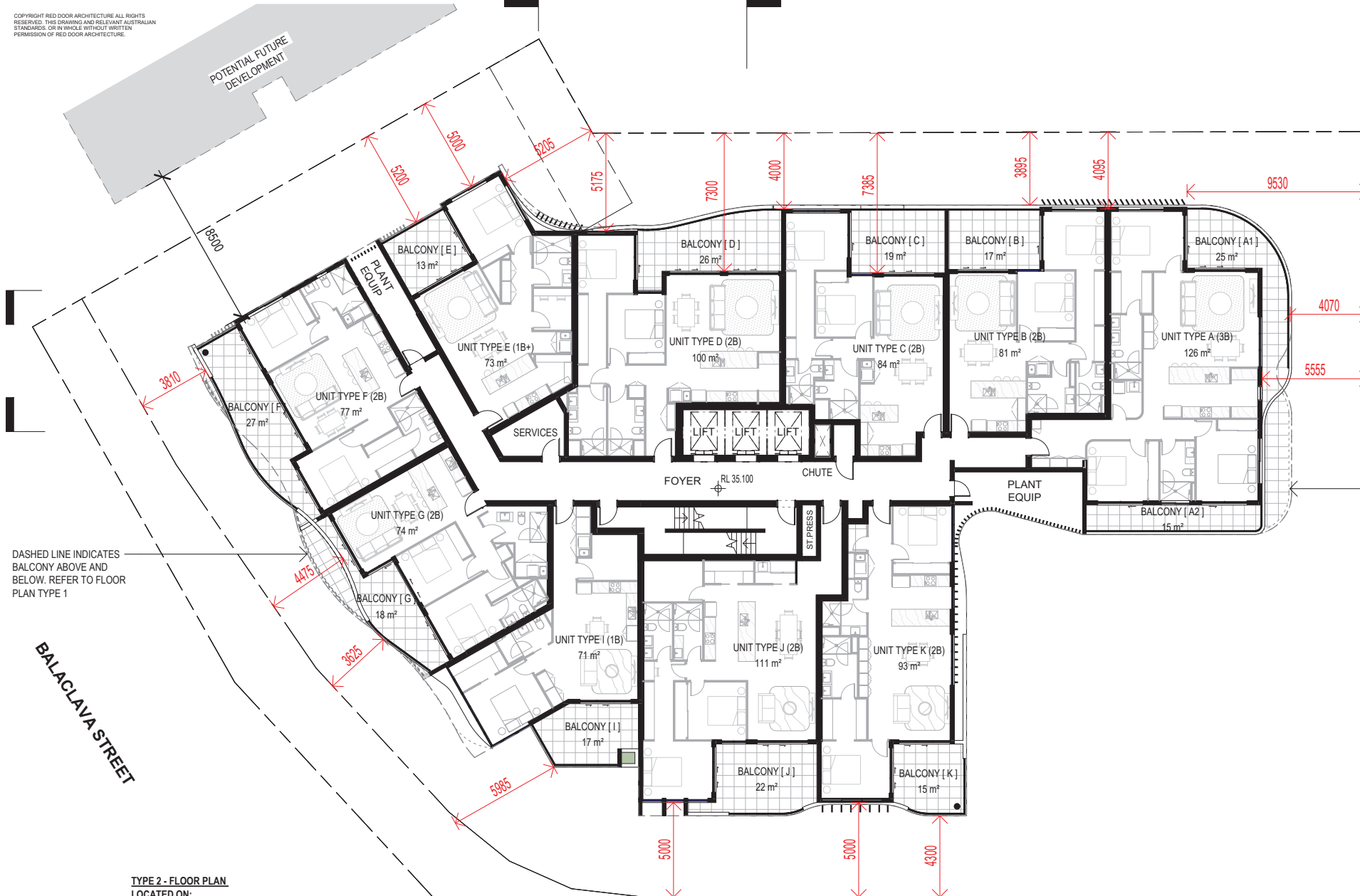
**PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL**

Approval no: DEV2025/1691

Date: 29-Jan-2026



POTENTIAL FUTURE DEVELOPMENT



**TYPE 2 - FLOOR PLAN
LOCATED ON:**

LEVEL 10 LEVEL 24
LEVEL 14 LEVEL 26
LEVEL 16 LEVEL 28
LEVEL 18 LEVEL 30
LEVEL 20



REDDOOR
ARCHITECTURE

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

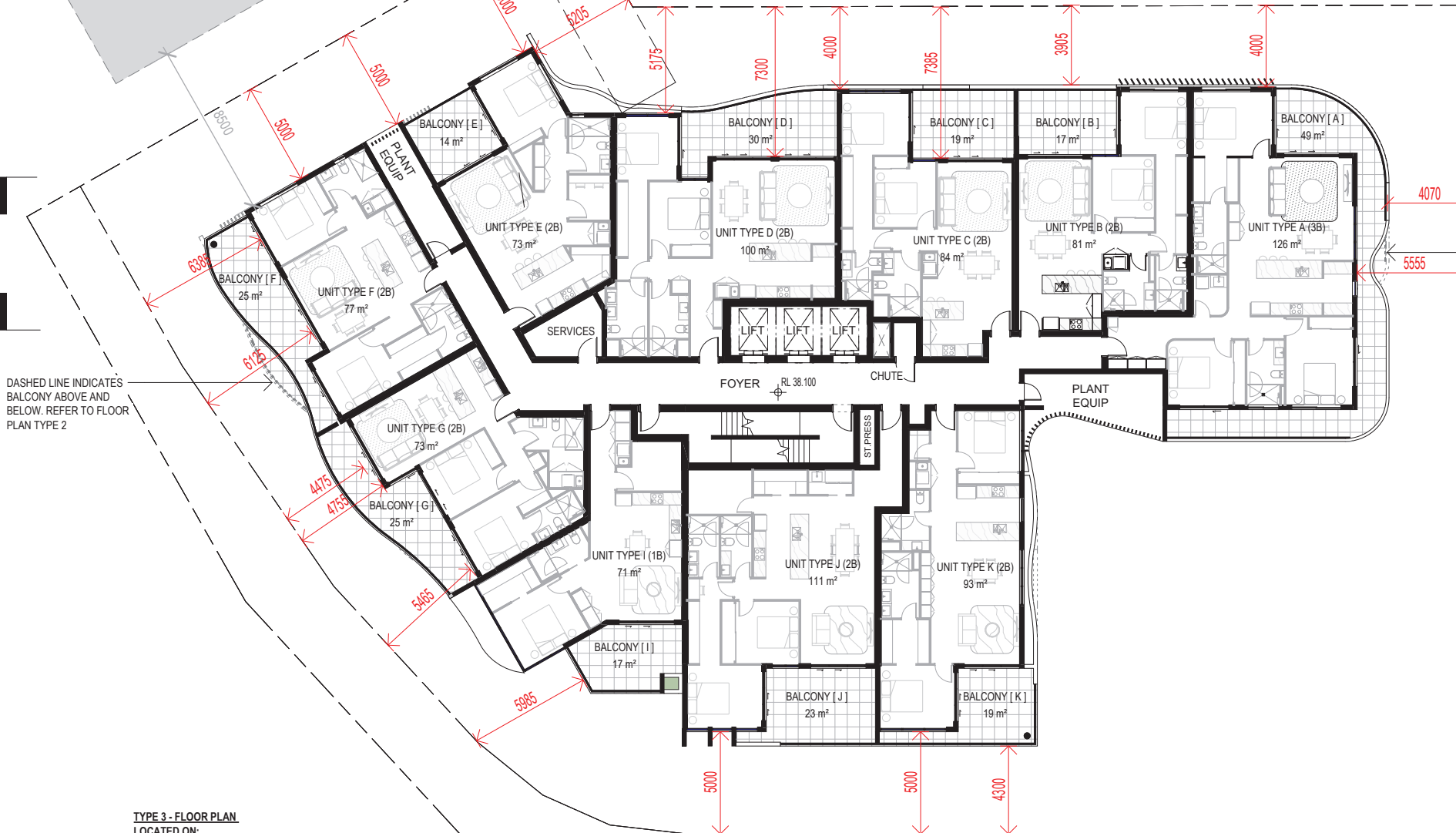
Approval no: DEV2025/1691

Date: 29-Jan-2026



REVISION F 27.11.25 DA SUBMISSION

POTENTIAL FUTURE DEVELOPMENT



DASHED LINE INDICATES BALCONY ABOVE AND BELOW. REFER TO FLOOR PLAN TYPE 2

DASHED LINE INDICATES BALCONY ABOVE AND BELOW. REFER TO FLOOR PLAN TYPE 2

TYPE 3 - FLOOR PLAN
LOCATED ON:

LEVEL 11
LEVEL 21
LEVEL 31



REDDOOR
ARCHITECTURE

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

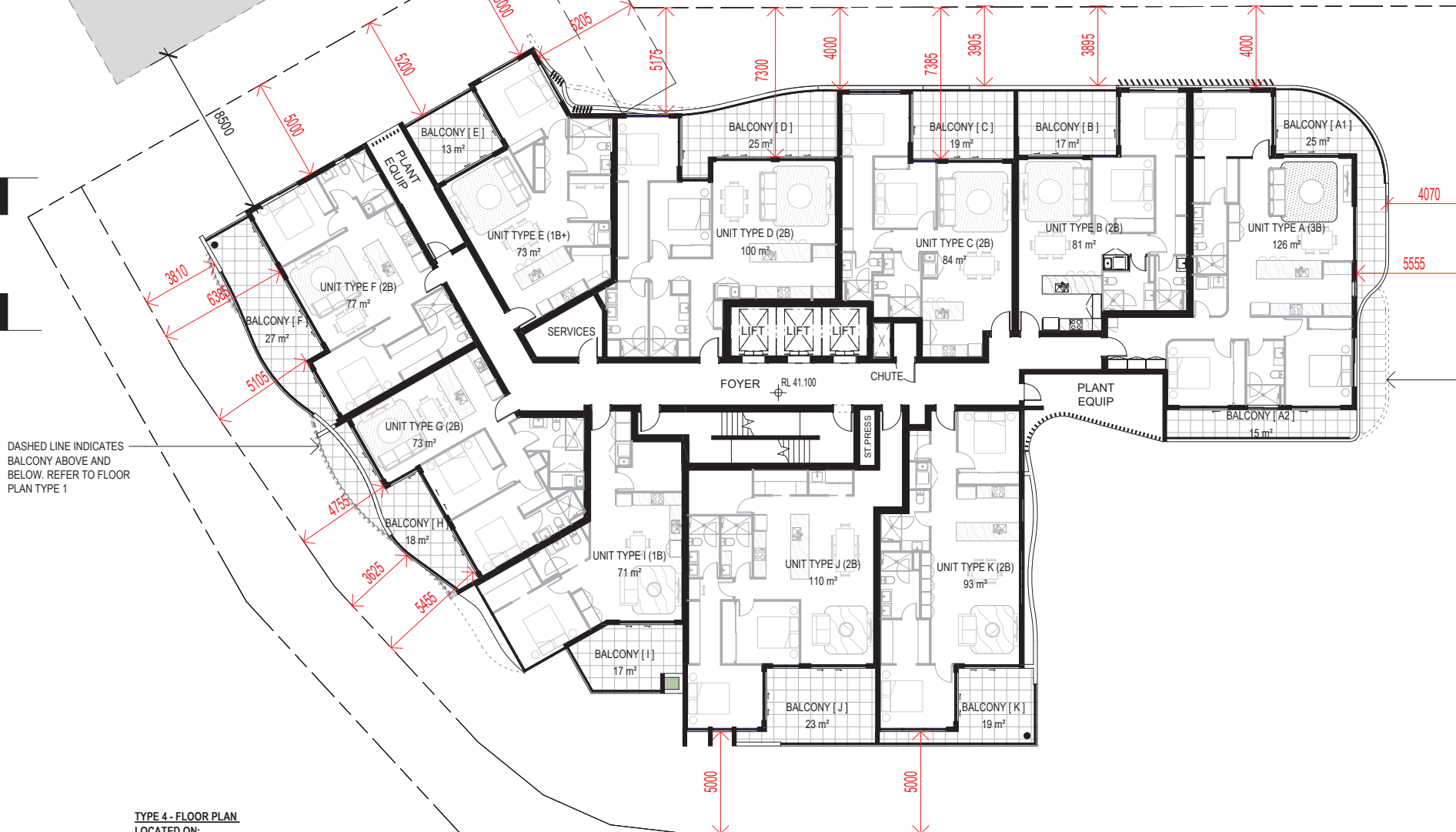
Approval no: DEV2025/1691

Date: 29-Jan-2026



REVISION F 27.11.25 DA SUBMISSION

POTENTIAL FUTURE DEVELOPMENT



DASHED LINE INDICATES BALCONY ABOVE AND BELOW. REFER TO FLOOR PLAN TYPE 1

DASHED LINE INDICATES BALCONY ABOVE AND BELOW. REFER TO FLOOR PLAN TYPE 1

**TYPE 4 - FLOOR PLAN
LOCATED ON:**

LEVEL 12
LEVEL 22
LEVEL 32



REDDOOR
ARCHITECTURE

**PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL**

Approval no: DEV2025/1691

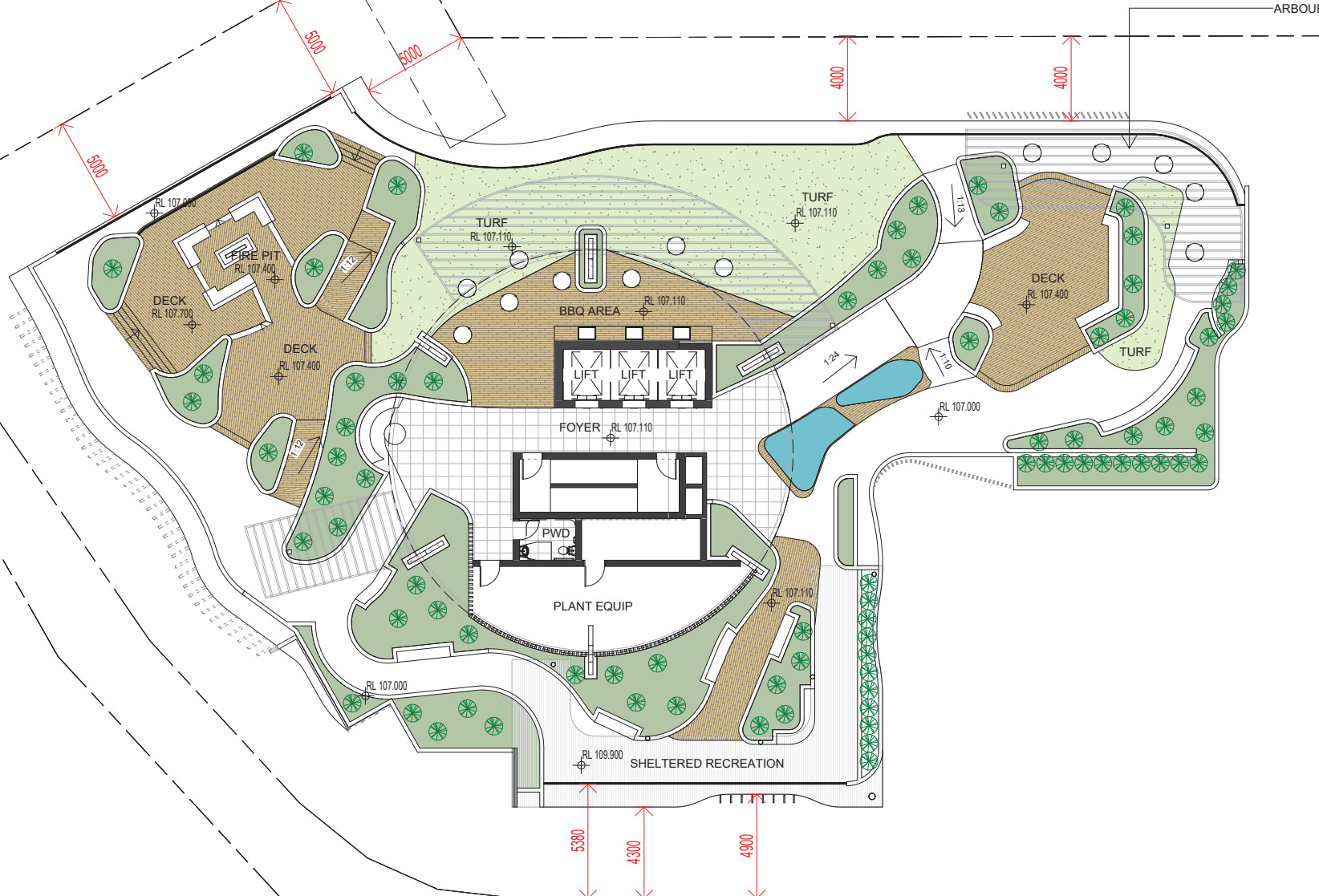
Date: 29-Jan-2026



BALACLAVA STREET

LOGAN ROAD

ARBOUR



D
DA-2-303

B
DA-2-301

C
DA-2-302

A
DA-2-304



REDDOOR
ARCHITECTURE

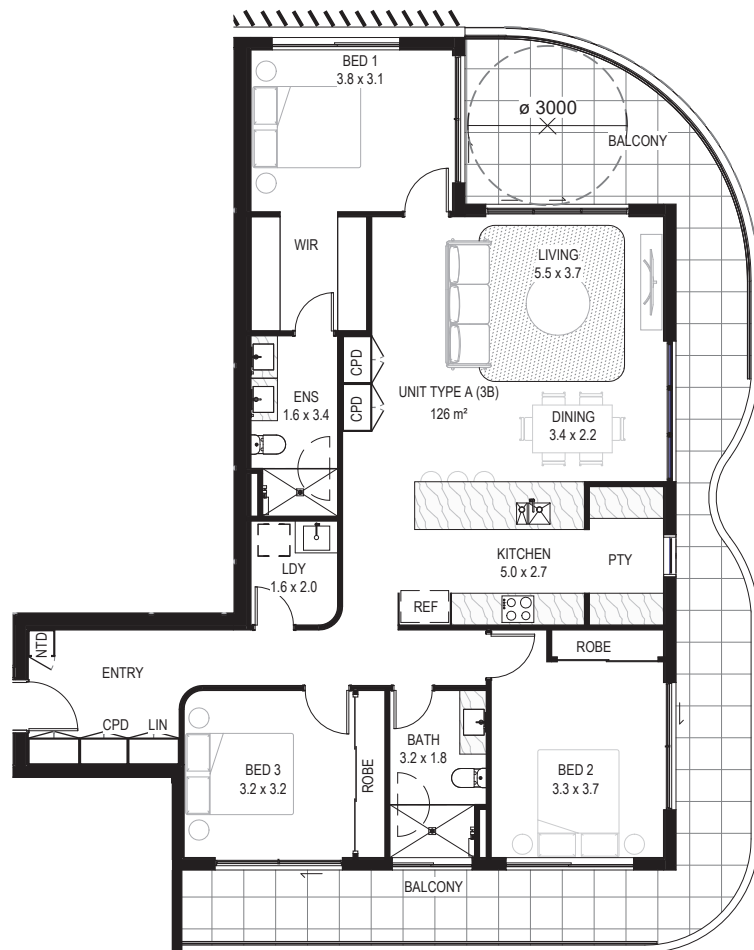
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DEVELOPMENT APPROVAL

Approval no: DEV2025/1691

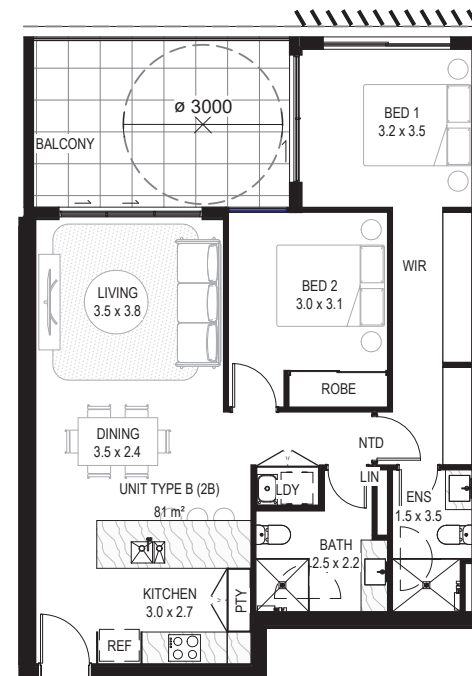
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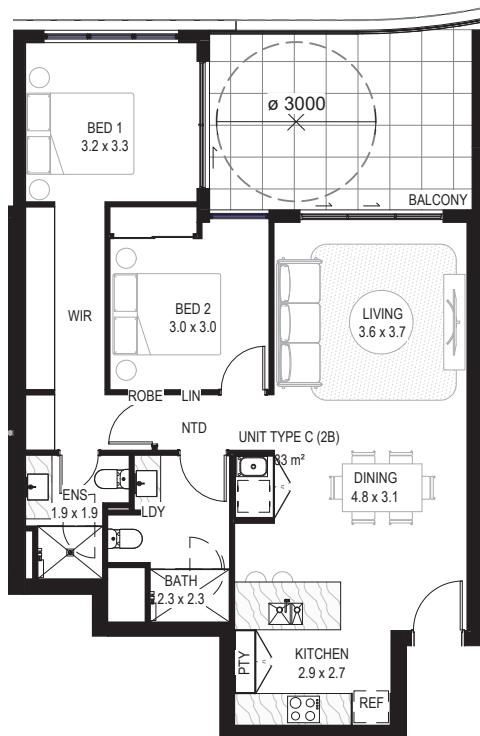
REVISION D 27.11.25 DA SUBMISSION



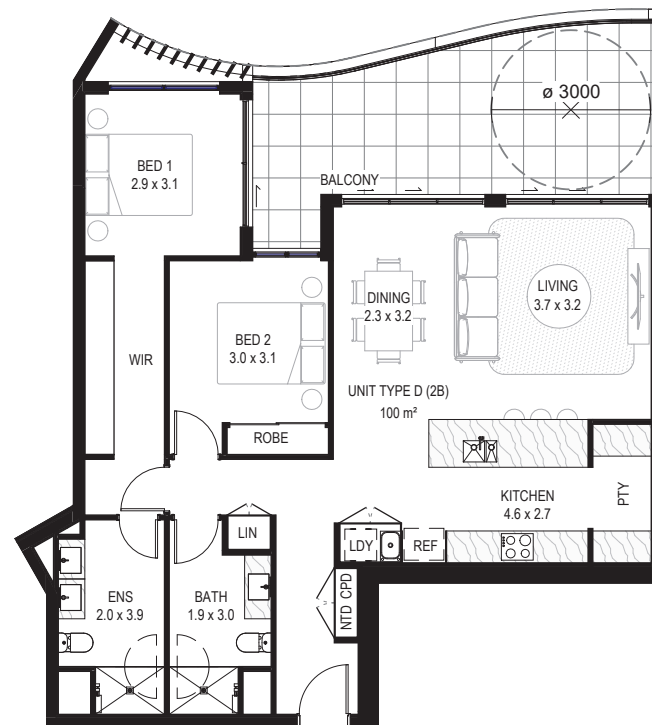
A UNIT DETAIL PLAN - TYPE A
1 : 100@A3



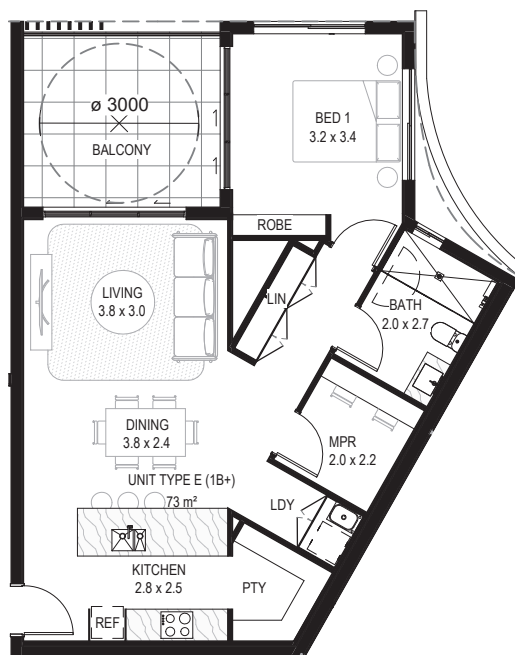
B UNIT DETAIL PLAN - TYPE B
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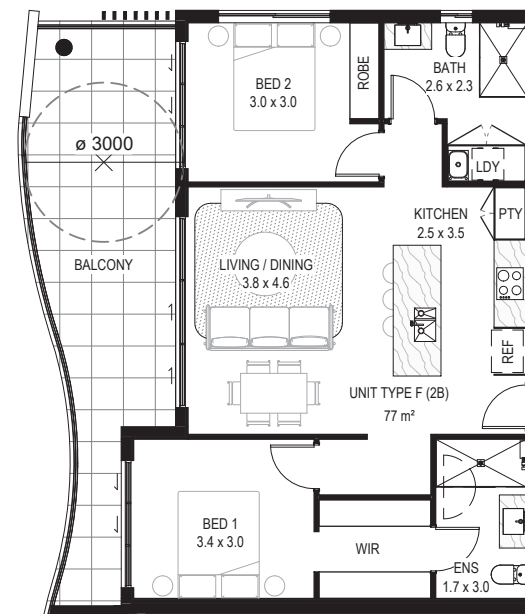
C UNIT DETAIL PLAN - TYPE C
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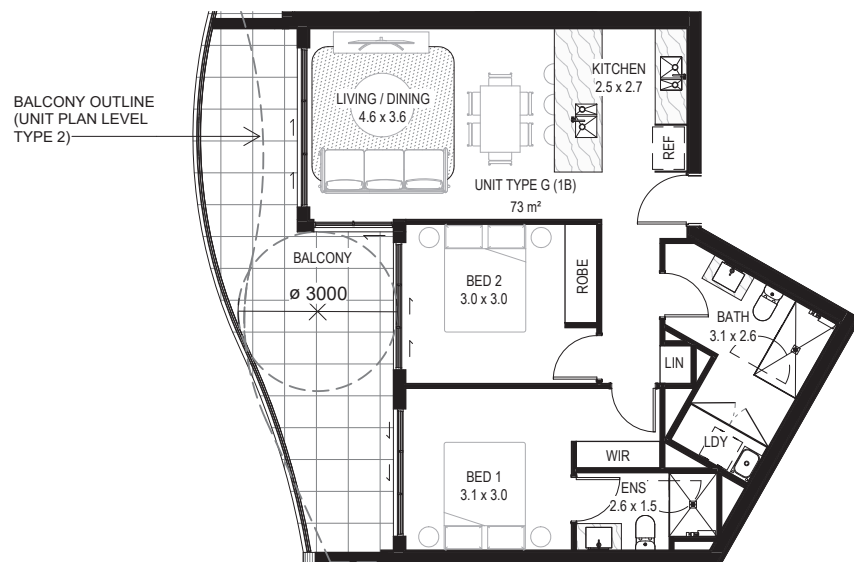
D UNIT DETAIL PLAN - TYPE D
1: 100@A3



E UNIT DETAIL PLAN - TYPE E
1 : 100@A3



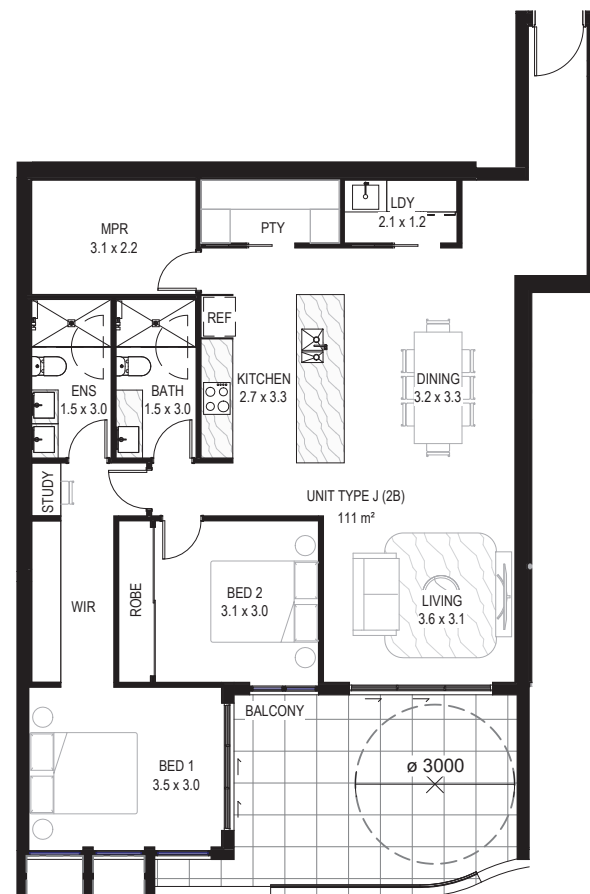
F UNIT DETAIL PLAN - TYPE F
1 : 100@A3



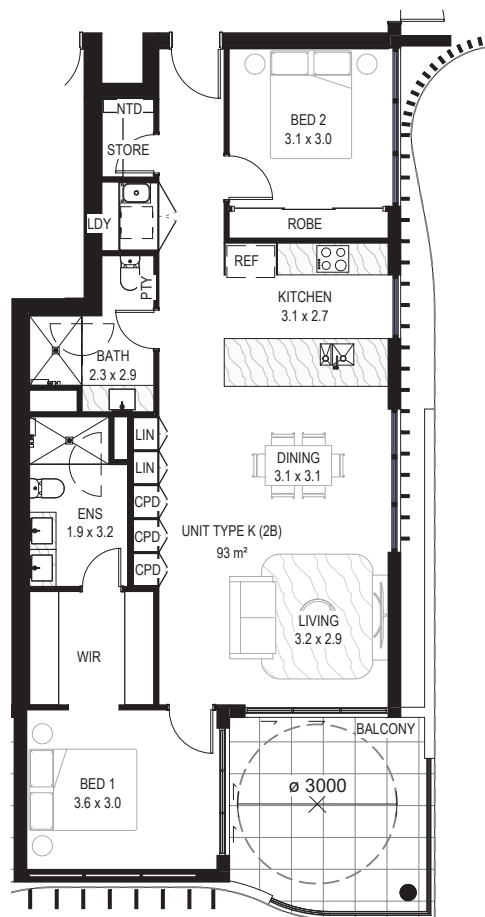
G UNIT DETAIL PLAN - TYPE G
1 : 100@A3



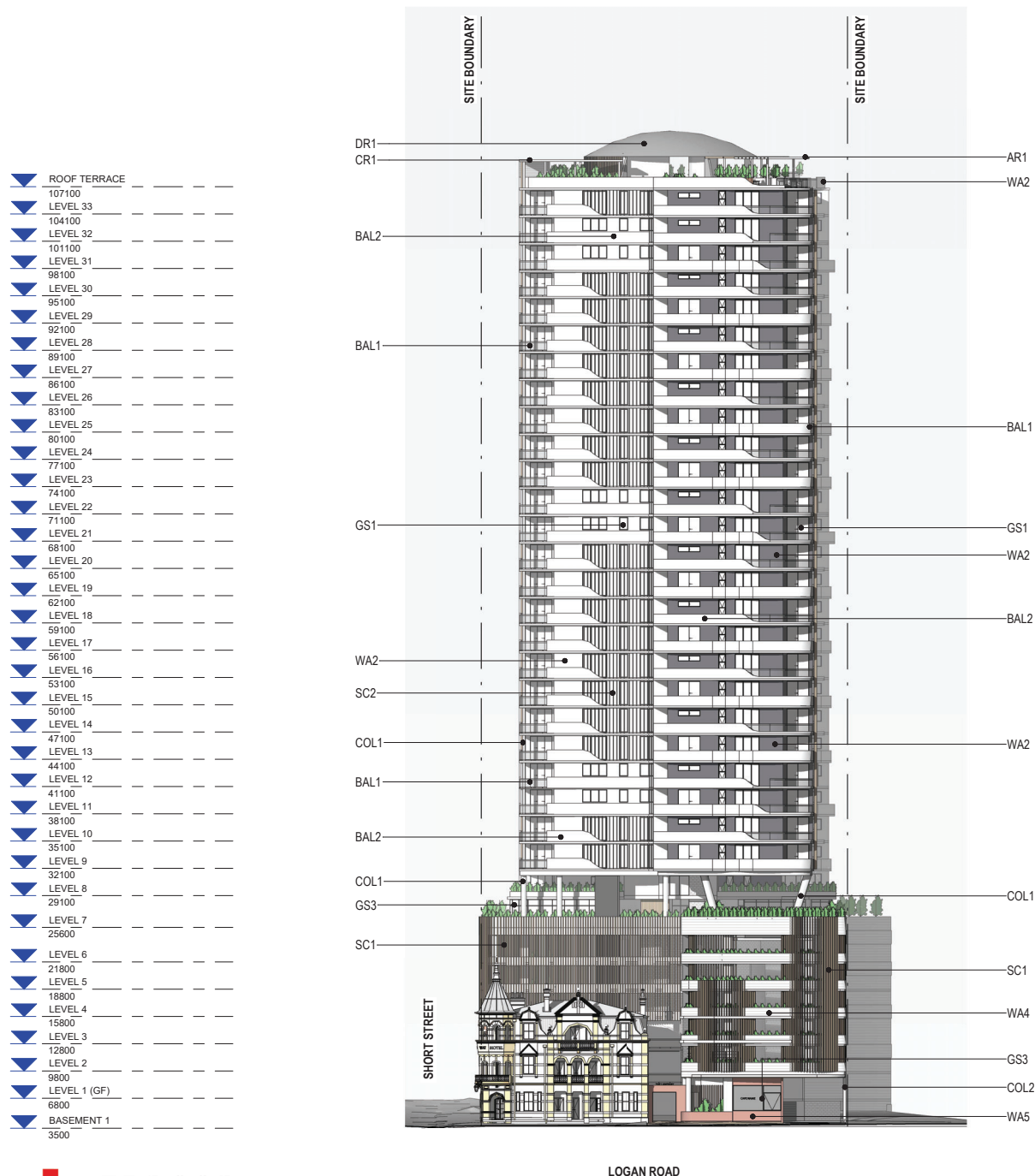
UNIT DETAIL PLAN - TYPE I
1: 100@A3



UNIT DETAIL PLAN - TYPE J
1: 100@A3

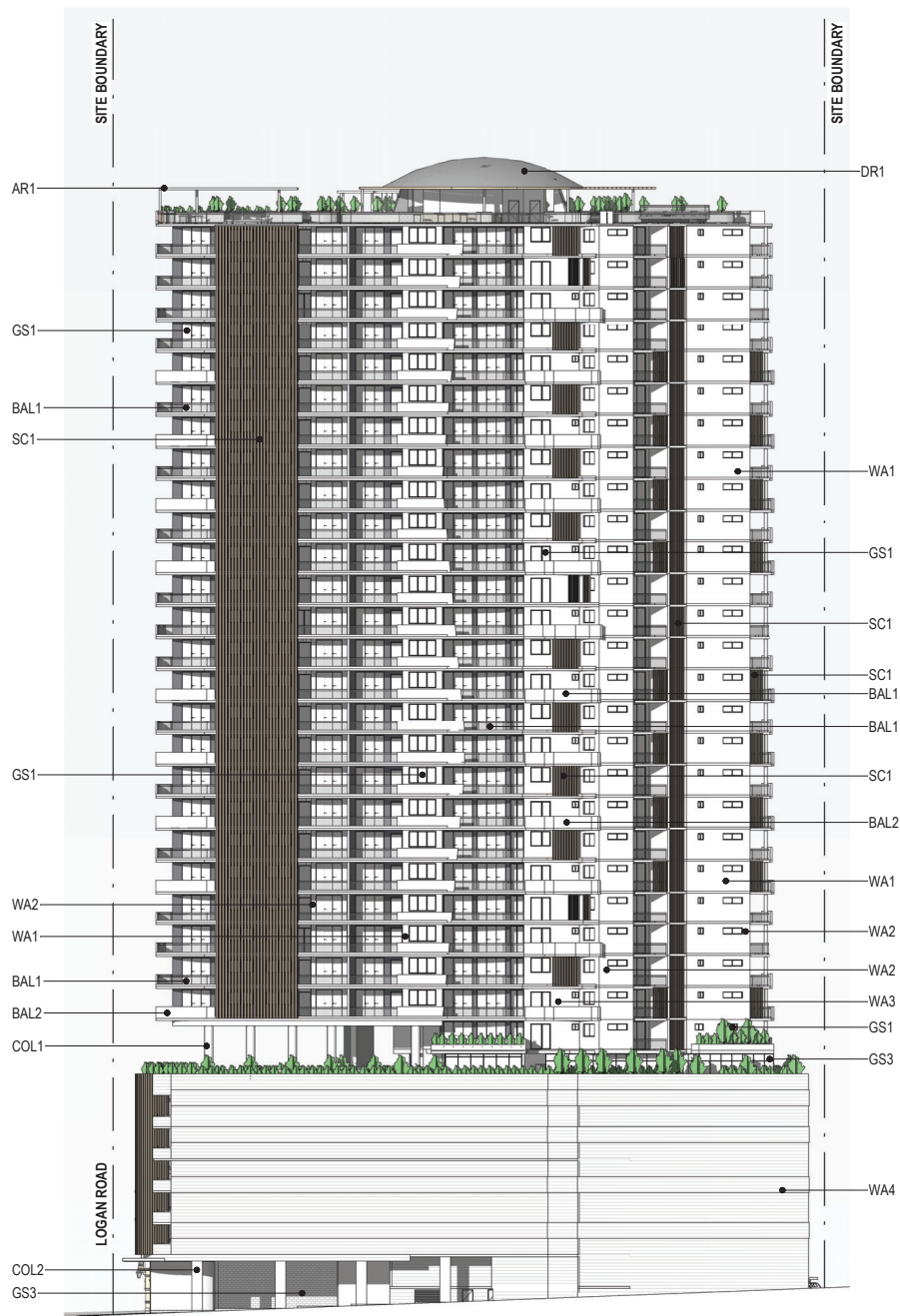
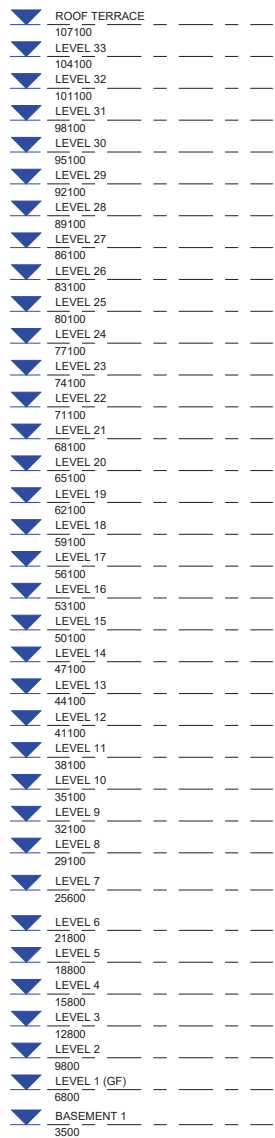


K UNIT DETAIL PLAN - TYPE K
1 : 100@A3



MATERIAL & FINISHES LEGEND

CODE	DESCRIPTION	COLOUR
AR1 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	ANODIC BRONZE
AR2 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	WHITE
BAL1 -	FRAMELESS GLASS BALUSTRADE	CLEAR
BAL2 -	AFS TYPE - CONCRETE UPSTAND BALUSTRADE - PAINTED	WHITE
COL1 -	CIRCULAR CONCRETE COLUMN - PAINTED	WHITE
COL2 -	RECTANGULAR CONCRETE COLUMN - PAINTED	WHITE
CR1 -	CONCRETE ROOF - PAINTED	WHITE
DR1 -	METAL DOME ROOF - COLORBOND	SHALE GREY
GS1 -	TINTED GLAZING, AL. WINDOW SYSTEM - POWDER COATED	MONUMENT
GS2 -	CURTAIN WALL WINDOW SYSTEM - POWDER COATED	MONUMENT
GS3 -	SHOPFRONT WINDOW SYSTEM - POWDER COATED	MONUMENT
SC1 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	ANODIC BRONZE
SC2 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	WHITE
WA1 -	RENDER - PAINTED FINISH	WHITE
WA2 -	RENDER - PAINTED FINISH	MONUMENT
WA3 -	AL. TIMBER LOOK CLADDING	JARRAH
WA4 -	PRE-CAST PANELS - HORIZONTAL LINES	FLOODED GUM
WA5 -	BRICK FINISH	WHITE



MATERIAL & FINISHES LEGEND

CODE	DESCRIPTION	COLOUR
AR1 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	ANODIC BRONZE
AR2 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	WHITE
BAL1 -	FRAMELESS GLASS BALUSTRADE	CLEAR
BAL2 -	AFS TYPE - CONCRETE UPSTAND BALUSTRADE - PAINTED	WHITE
COL1 -	CIRCULAR CONCRETE COLUMN - PAINTED	WHITE
COL2 -	RECTANGULAR CONCRETE COLUMN - PAINTED	WHITE
CR1 -	CONCRETE ROOF - PAINTED	WHITE
DR1 -	METAL DOME ROOF - COLORBOND	SHALE GREY
GS1 -	TINTED GLAZING, AL. WINDOW SYSTEM - POWDER COATED	MONUMENT
GS2 -	CURTAIN WALL WINDOW SYSTEM - POWDER COATED	MONUMENT
GS3 -	SHOPFRONT WINDOW SYSTEM - POWDER COATED	MONUMENT
SC1 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	ANODIC BRONZE
SC2 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	WHITE
WA1 -	RENDER - PAINTED FINISH	WHITE
WA2 -	RENDER - PAINTED FINISH	MONUMENT
WA3 -	AL. TIMBER LOOK CLADDING	JARRAH
WA4 -	PRE-CAST PANELS - HORIZONTAL LINES	FLOODED GUM
WA5 -	BRICK FINISH	WHITE

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

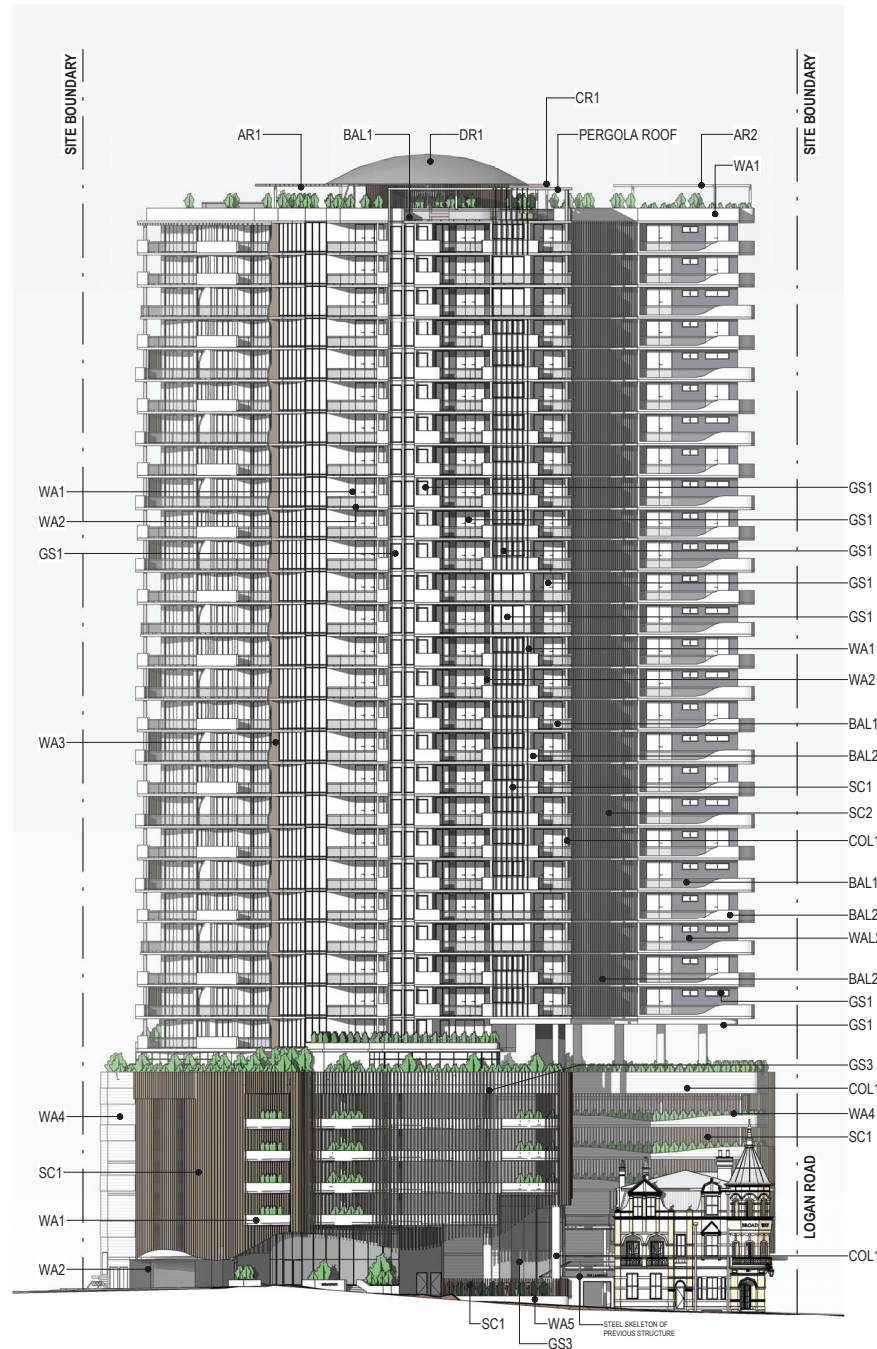


Approval no: DEV2025/1691

Date: 29-Jan-2026

REVISION	F	27.11.25	DA SUBMISSION
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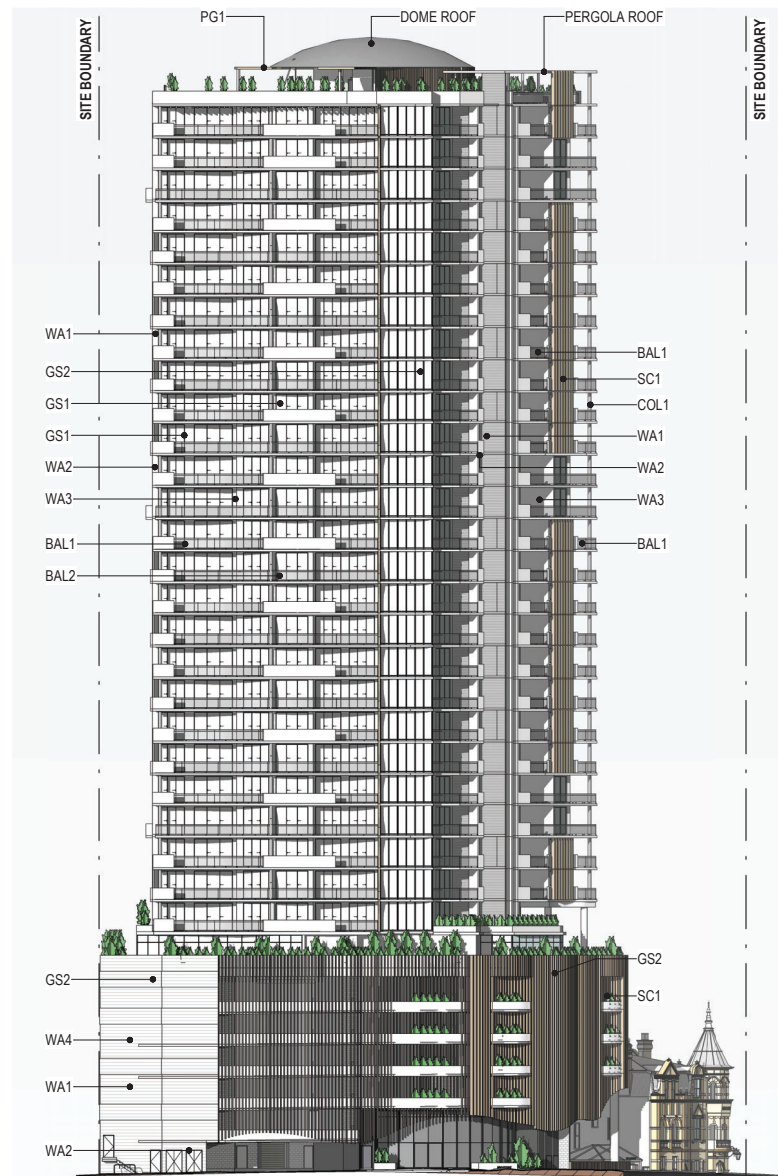
ROOF TERRACE	
107100	
LEVEL 33	
104100	
LEVEL 32	
101100	
LEVEL 31	
98100	
LEVEL 30	
95100	
LEVEL 29	
92100	
LEVEL 28	
89100	
LEVEL 27	
86100	
LEVEL 26	
83100	
LEVEL 25	
80100	
LEVEL 24	
77100	
LEVEL 23	
74100	
LEVEL 22	
71100	
LEVEL 21	
68100	
LEVEL 20	
65100	
LEVEL 19	
62100	
LEVEL 18	
59100	
LEVEL 17	
56100	
LEVEL 16	
53100	
LEVEL 15	
50100	
LEVEL 14	
47100	
LEVEL 13	
44100	
LEVEL 12	
41100	
LEVEL 11	
38100	
LEVEL 10	
35100	
LEVEL 9	
32100	
LEVEL 8	
29100	
LEVEL 7	
25600	
LEVEL 6	
21800	
LEVEL 5	
18800	
LEVEL 4	
15800	
LEVEL 3	
12800	
LEVEL 2	
9800	
LEVEL 1 (GF)	
6800	
BASEMENT 1	
3500	



MATERIAL & FINISHES LEGEND

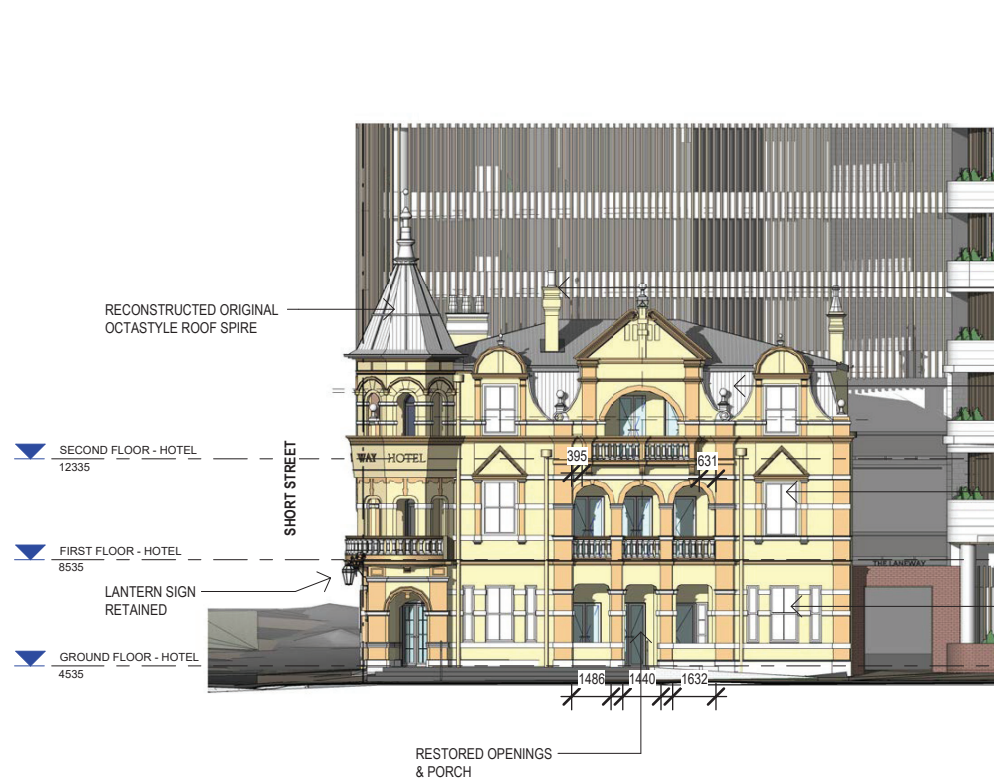
CODE	DESCRIPTION	COLOUR
AR1 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	ANODIC BRONZE
AR2 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	WHITE
BAL1 -	FRAMELESS GLASS BALUSTRADE	CLEAR
BAL2 -	AFS TYPE - CONCRETE UPSTAND BALUSTRADE - PAINTED	WHITE
COL1 -	CIRCULAR CONCRETE COLUMN - PAINTED	WHITE
COL2 -	RECTANGULAR CONCRETE COLUMN - PAINTED	WHITE
CR1 -	CONCRETE ROOF - PAINTED	WHITE
DR1 -	METAL DOME ROOF - COLORBOND	SHALE GREY
GS1 -	TINTED GLAZING, AL. WINDOW SYSTEM - POWDER COATED	MONUMENT
GS2 -	CURTAIN WALL WINDOW SYSTEM - POWDER COATED	MONUMENT
GS3 -	SHOPFRONT WINDOW SYSTEM - POWDER COATED	MONUMENT
SC1 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	ANODIC BRONZE
SC2 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	WHITE
WA1 -	RENDER - PAINTED FINISH	WHITE
WA2 -	RENDER - PAINTED FINISH	MONUMENT
WA3 -	AL. TIMBER LOOK CLADDING	JARRAH
WA4 -	PRE-CAST PANELS - HORIZONTAL LINES	FLOODED GUM
WA5 -	BRICK FINISH	WHITE

ROOF TERRACE				
107'100				
LEVEL 33				
104'100				
LEVEL 32				
101'100				
LEVEL 31				
98'100				
LEVEL 30				
95'100				
LEVEL 29				
92'100				
LEVEL 28				
89'100				
LEVEL 27				
86'100				
LEVEL 26				
83'100				
LEVEL 25				
80'100				
LEVEL 24				
77'100				
LEVEL 23				
74'100				
LEVEL 22				
71'100				
LEVEL 21				
68'100				
LEVEL 20				
65'100				
LEVEL 19				
62'100				
LEVEL 18				
59'100				
LEVEL 17				
56'100				
LEVEL 16				
53'100				
LEVEL 15				
50'100				
LEVEL 14				
47'100				
LEVEL 13				
44'100				
LEVEL 12				
41'100				
LEVEL 11				
38'100				
LEVEL 10				
35'100				
LEVEL 9				
32'100				
LEVEL 8				
29'100				
LEVEL 7				
26'00				
LEVEL 6				
23'00				
LEVEL 5				
20'00				
LEVEL 4				
17'00				
LEVEL 3				
14'00				
LEVEL 2				
11'00				
LEVEL 1 (GF)				
8'00				
BASEMENT 1				
3'50				

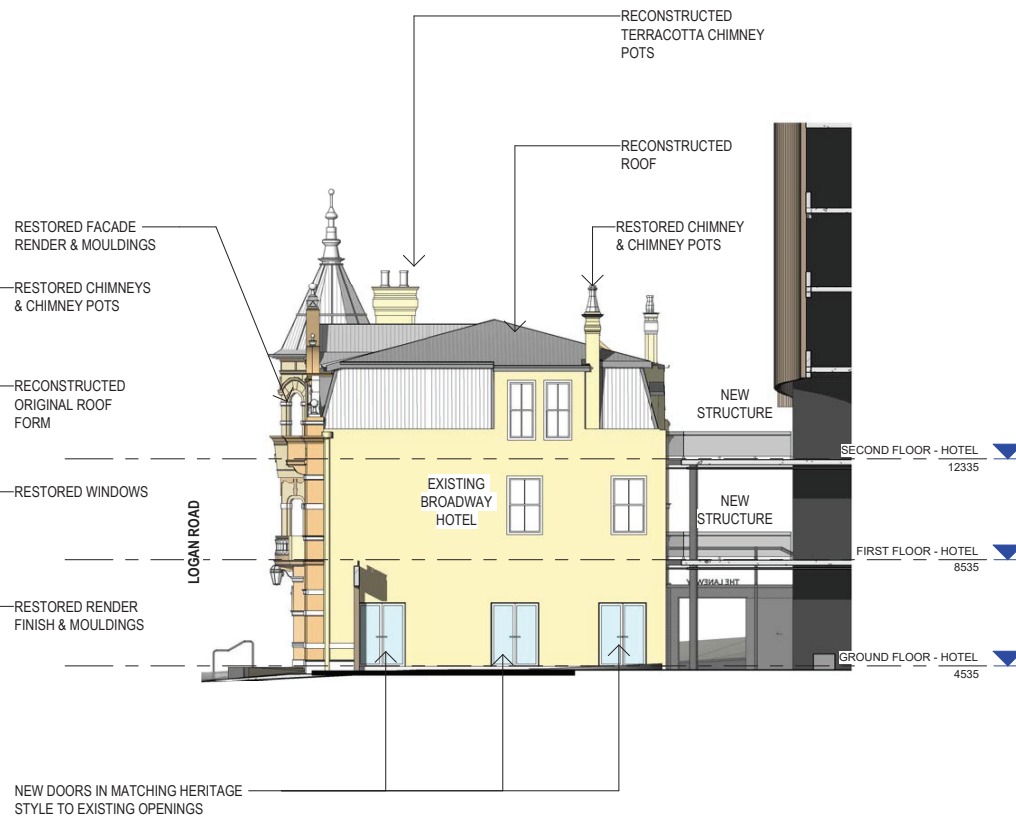


MATERIAL & FINISHES LEGEND

CODE	DESCRIPTION	COLOUR
AR1 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	ANODIC BRONZE
AR2 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	WHITE
BAL1 -	FRAMELESS GLASS BALUSTRADE	CLEAR
BAL2 -	AFS TYPE - CONCRETE UPSTAND BALUSTRADE - PAINTED	WHITE
COL1 -	CIRCULAR CONCRETE COLUMN - PAINTED	WHITE
COL2 -	RECTANGULAR CONCRETE COLUMN - PAINTED	WHITE
CR1 -	CONCRETE ROOF - PAINTED	WHITE
DR1 -	METAL DOME ROOF - COLORBOND	SHALE GREY
GS1 -	TINTED GLAZING, AL. WINDOW SYSTEM - POWDER COATED	MONUMENT
GS2 -	CURTAIN WALL WINDOW SYSTEM - POWDER COATED	MONUMENT
GS3 -	SHOPFRONT WINDOW SYSTEM - POWDER COATED	MONUMENT
SC1 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	ANODIC BRONZE
SC2 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	WHITE
WA1 -	RENDER - PAINTED FINISH	WHITE
WA2 -	RENDER - PAINTED FINISH	MONUMENT
WA3 -	AL. TIMBER LOOK CLADDING	JARRAH
WA4 -	PRE-CAST PANELS - HORIZONTAL LINES	FLOODED GUM
WA5 -	BRICK FINISH	WHITE



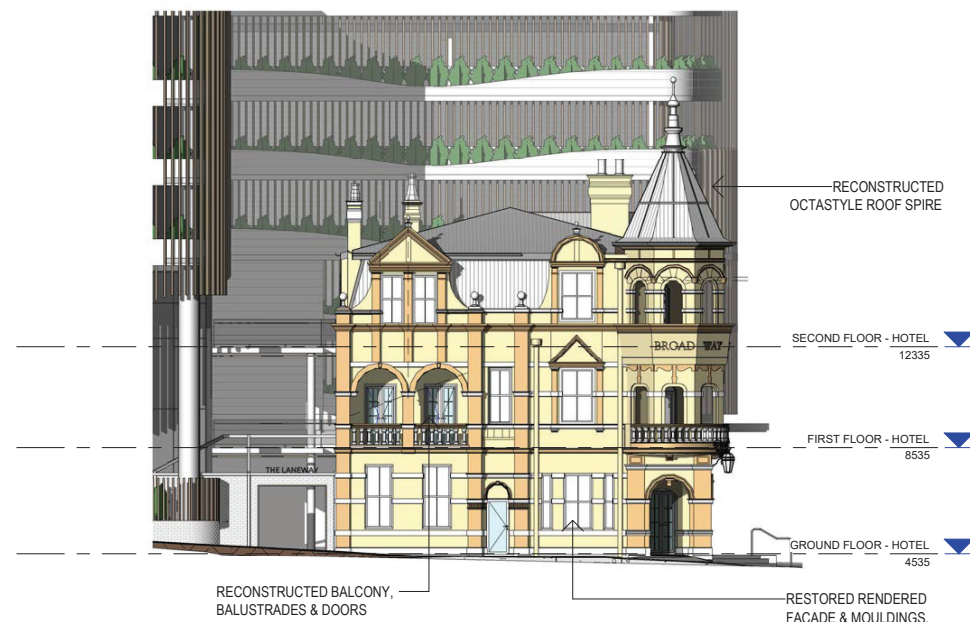
1 HOTEL - NORTH EAST ELEVATION
1 : 200@A3



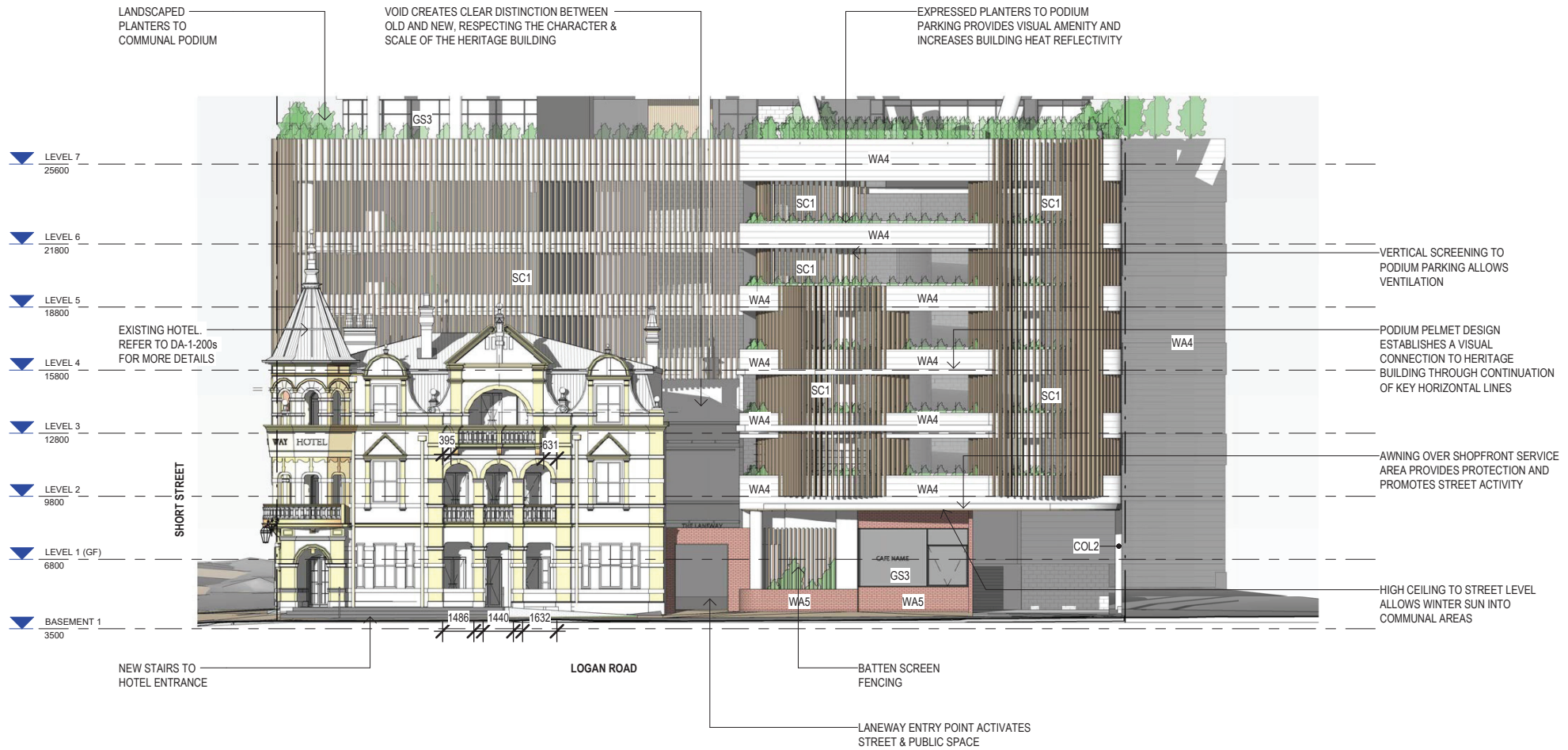
2 HOTEL - NORTH WEST ELEVATION
1 : 200@A3

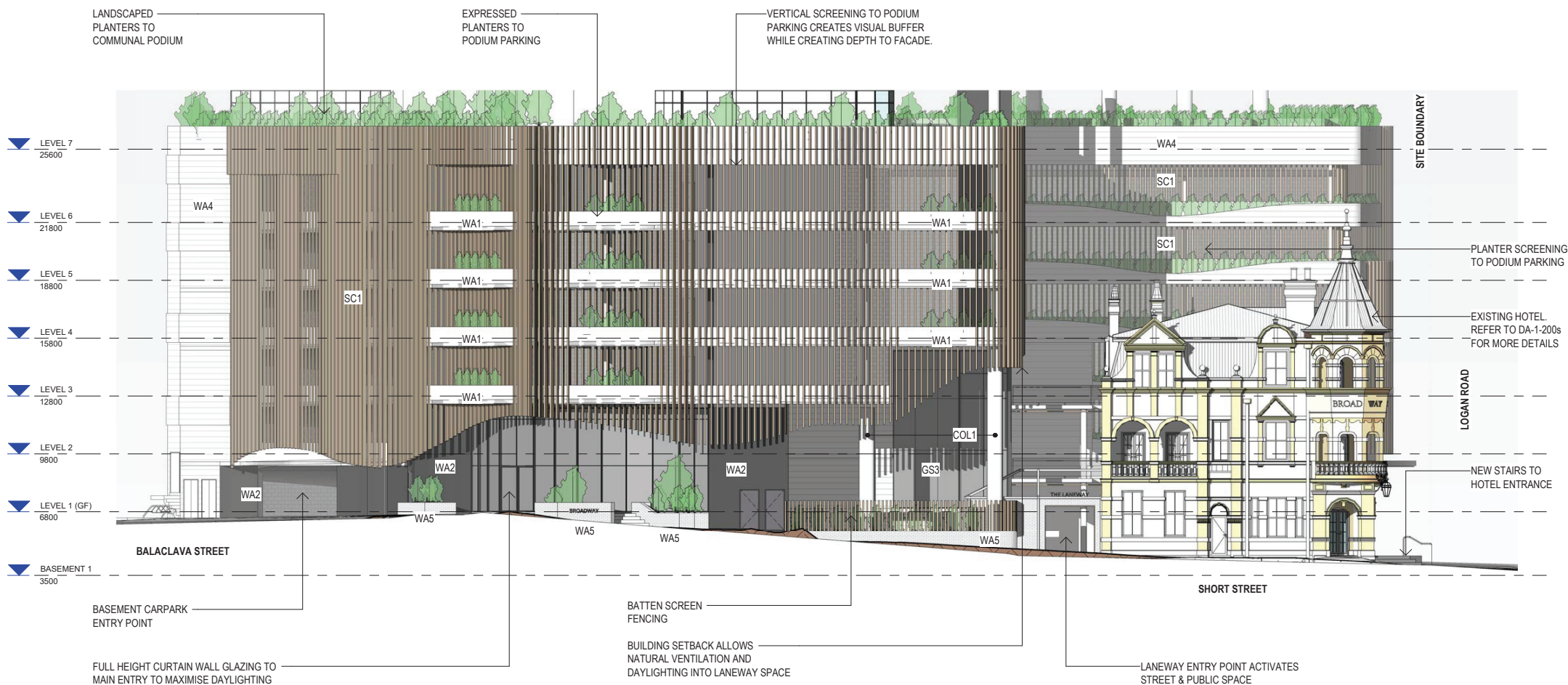


1 HOTEL - SOUTH-WEST ELEVATION
1 : 200@A3



2 HOTEL - SOUTH EAST ELEVATION
1 : 200@A3

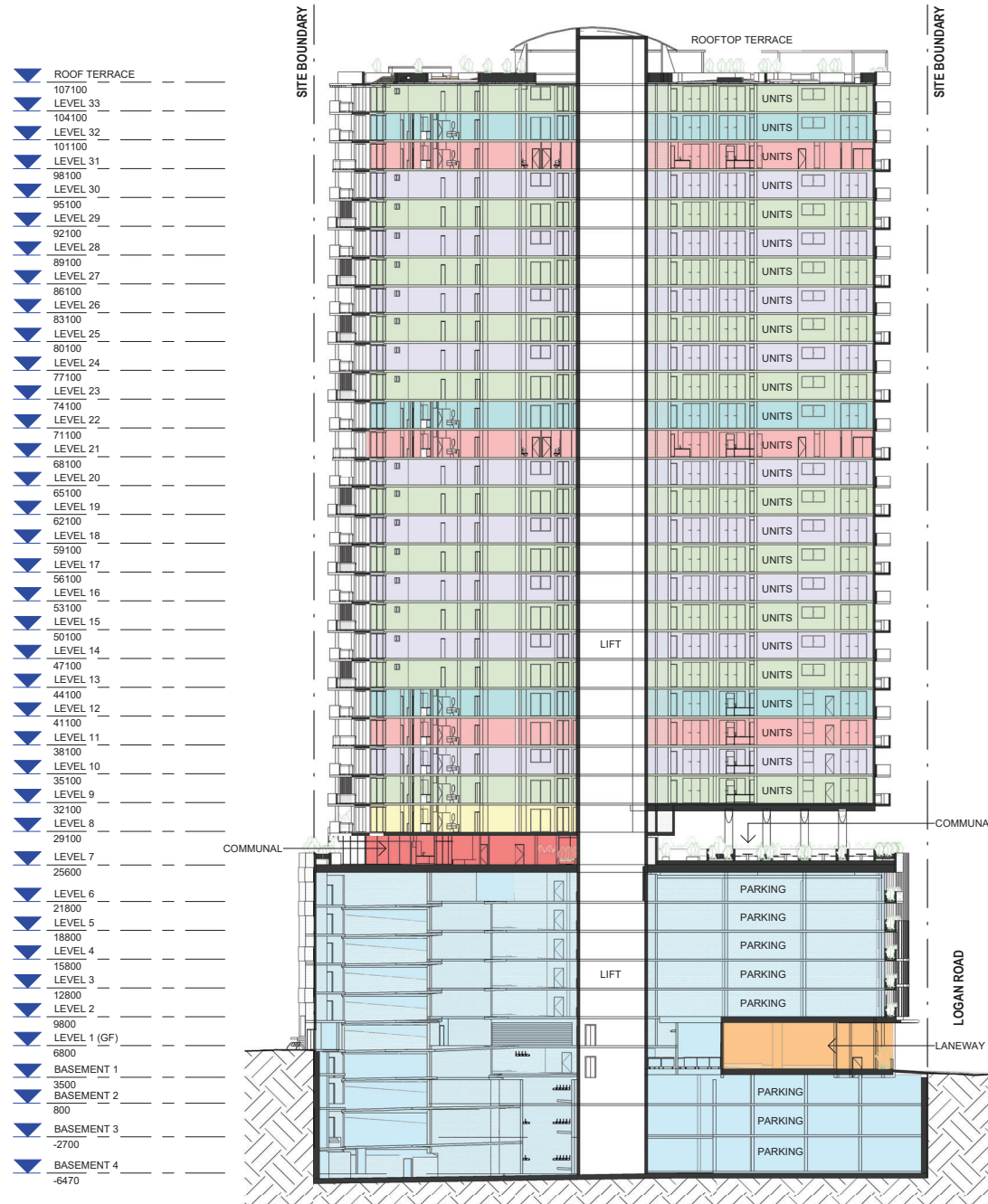




1 SOUTH-EAST ELEVATION - SHORT STREET
1 : 200@A3

LEVEL TYPE LEGEND

PARKING
LANEWAY
COMMUNAL
GRAND FOYER
UNIT LEVEL - HALF LEVEL (LEVEL 8)
UNIT LEVEL - TYPE 1
UNIT LEVEL - TYPE 2
UNIT LEVEL - TYPE 3
UNIT LEVEL - TYPE 4

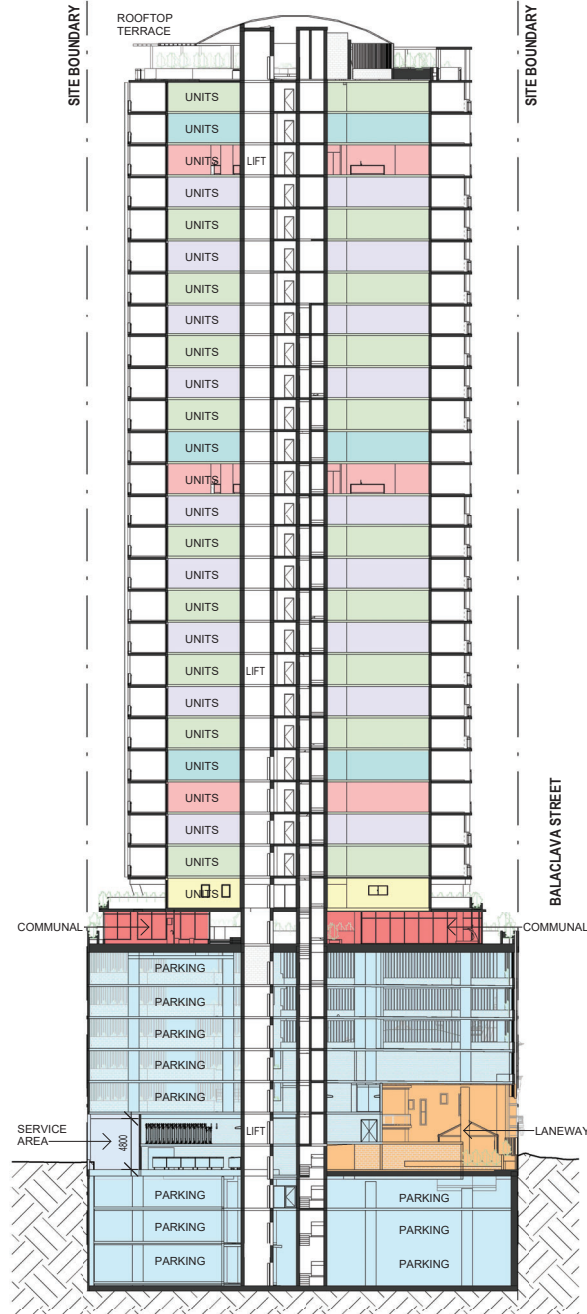


SECTION A
1:500@A3

LEVEL TYPE LEGEND

PARKING
LANEWAY
COMMUNAL
GRAND FOYER
UNIT LEVEL - HALF LEVEL (LEVEL 8)
UNIT LEVEL - TYPE 1
UNIT LEVEL - TYPE 2
UNIT LEVEL - TYPE 3
UNIT LEVEL - TYPE 4

ROOF TERRACE	
107100	
LEVEL 33	
104100	
LEVEL 32	
101100	
LEVEL 31	
98100	
LEVEL 30	
95100	
LEVEL 29	
92100	
LEVEL 28	
89100	
LEVEL 27	
86100	
LEVEL 26	
83100	
LEVEL 25	
80100	
LEVEL 24	
77100	
LEVEL 23	
74100	
LEVEL 22	
71100	
LEVEL 21	
68100	
LEVEL 20	
65100	
LEVEL 19	
62100	
LEVEL 18	
59100	
LEVEL 17	
56100	
LEVEL 16	
53100	
LEVEL 15	
50100	
LEVEL 14	
47100	
LEVEL 13	
44100	
LEVEL 12	
41100	
LEVEL 11	
38100	
LEVEL 10	
35100	
LEVEL 9	
32100	
LEVEL 8	
29100	
LEVEL 7	
25600	
LEVEL 6	
21800	
LEVEL 5	
18800	
LEVEL 4	
15800	
LEVEL 3	
12800	
LEVEL 2	
9800	
LEVEL 1 (GF)	
6800	
BASEMENT 1	
3500	
BASEMENT 2	
800	
BASEMENT 3	
-2700	
BASEMENT 4	
-6470	

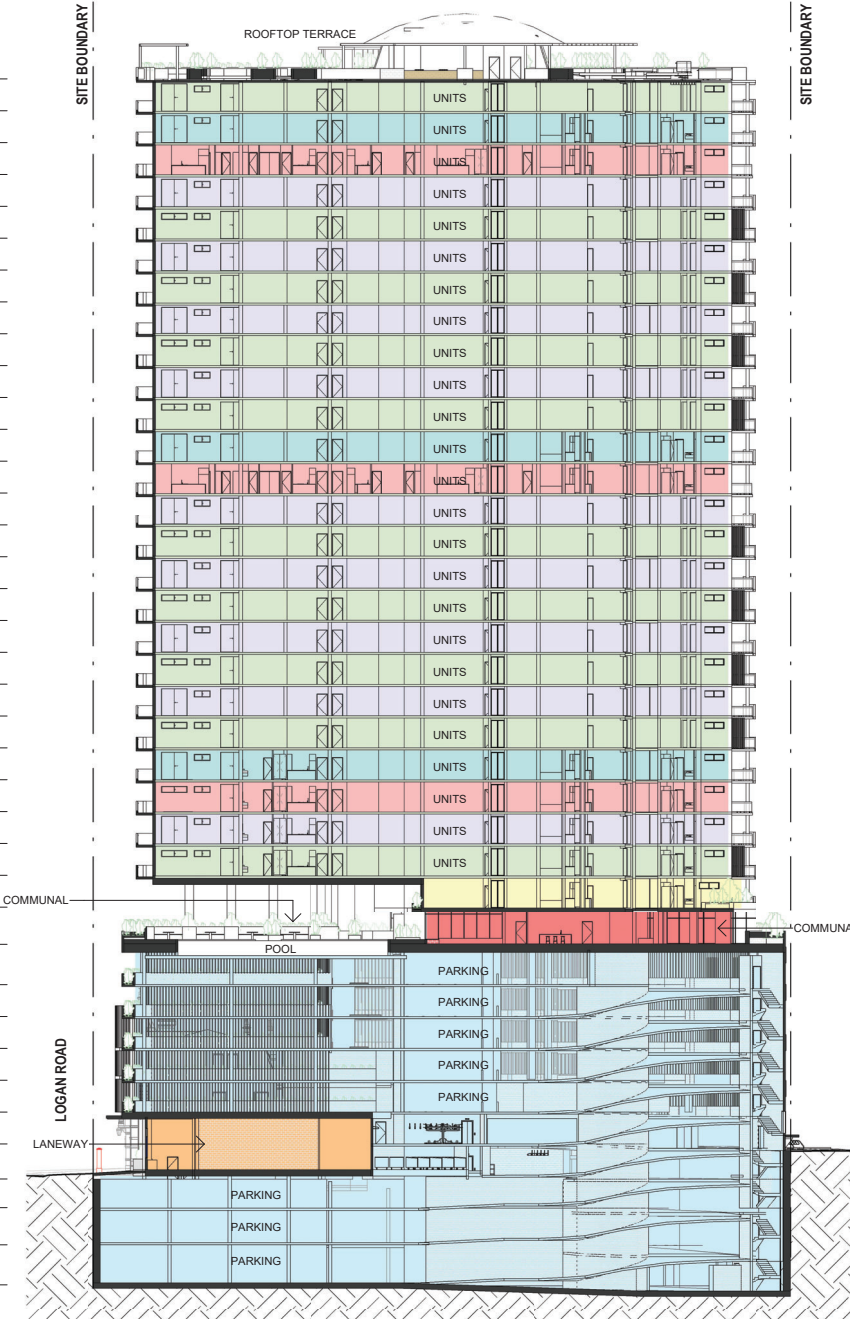


B SECTION B
1:500@A3

LEVEL TYPE LEGEND

PARKING
LANEWAY
COMMUNAL
GRAND FOYER
UNIT LEVEL - HALF LEVEL (LEVEL 8)
UNIT LEVEL - TYPE 1
UNIT LEVEL - TYPE 2
UNIT LEVEL - TYPE 3
UNIT LEVEL - TYPE 4

ROOF TERRACE	
107100	
LEVEL 33	
104100	
LEVEL 32	
101100	
LEVEL 31	
98100	
LEVEL 30	
95100	
LEVEL 29	
92100	
LEVEL 28	
89100	
LEVEL 27	
86100	
LEVEL 26	
83100	
LEVEL 25	
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LEVEL 24	
77100	
LEVEL 23	
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50100	
LEVEL 14	
47100	
LEVEL 13	
44100	
LEVEL 12	
41100	
LEVEL 11	
38100	
LEVEL 10	
35100	
LEVEL 9	
32100	
LEVEL 8	
29100	
LEVEL 7	
25600	
LEVEL 6	
21800	
LEVEL 5	
18800	
LEVEL 4	
15800	
LEVEL 3	
12800	
LEVEL 2	
9800	
LEVEL 1 (GF)	
6800	
BASEMENT 1	
3500	
BASEMENT 2	
800	
BASEMENT 3	
-2700	
BASEMENT 4	
-6470	



SECTION C
1:500@A3

The diagram shows a vertical section of a building with a grid of units. The units are color-coded: green for levels 1-10, purple for levels 11-20, red for levels 21-22, and yellow for levels 23-24. The building is flanked by 'SITE BOUNDARY' lines. To the left, a list of levels is provided, with blue arrows pointing to the corresponding unit grid. The levels are: ROOF TERRACE, LEVEL 33, 104100, LEVEL 32, 101100, LEVEL 31, 98100, LEVEL 30, 95100, LEVEL 29, 92100, LEVEL 28, 89100, LEVEL 27, 86100, LEVEL 26, 83100, LEVEL 25, 80100, LEVEL 24, 77100, LEVEL 23, 74100, LEVEL 22, 71100, LEVEL 21, 68100, LEVEL 20, 65100, LEVEL 19, 62100, LEVEL 18, 59100, LEVEL 17, 56100, LEVEL 16, 53100, LEVEL 15, 50100, LEVEL 14, 47100, LEVEL 13, 44100, LEVEL 12, 41100, LEVEL 11, 38100, LEVEL 10, 35100, LEVEL 9, 32100, LEVEL 8, 29100, LEVEL 7, 25600, LEVEL 6, 21800, LEVEL 5, 18800, LEVEL 4, 15800, LEVEL 3, 12800, LEVEL 2, 9800, LEVEL 1 (GF), 6800, BASEMENT 1, 3500, BASEMENT 2, 800, BASEMENT 3, -2700, and BASEMENT 4, -6470. The building is situated on 'BALACLAVA STREET'. Below the main building, a 'COMMUNAL' area and a 'GRAND FOYER' are shown, leading to a parking garage with multiple levels labeled 'PARKING'. The top of the building is labeled 'ROOFTOP TERRACE'.

DA-2-303 SECTION - D