

Ground & Mezzanine Level

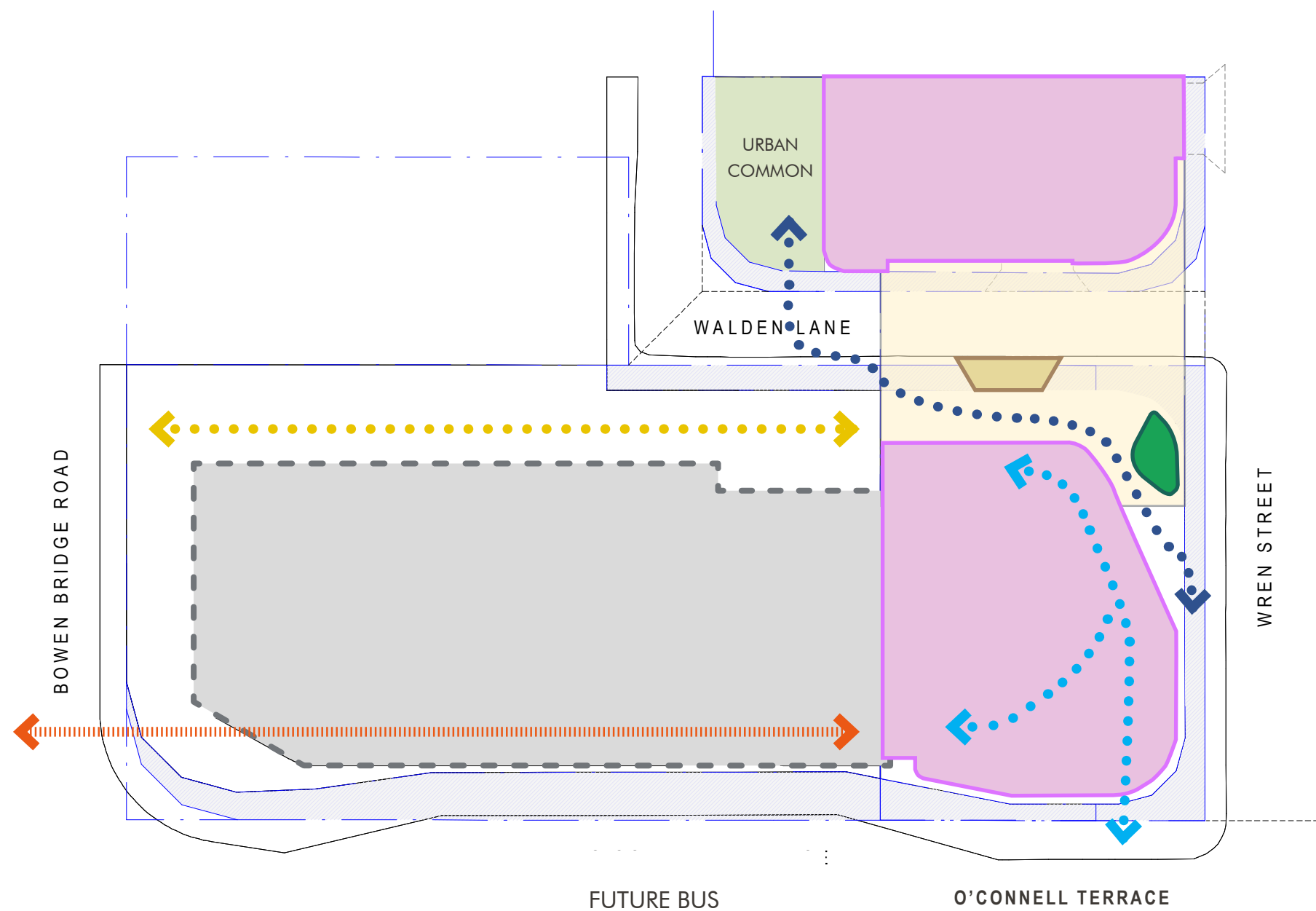
Pedestrian Circulation Diagram

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL



Approval no: DEV2023/1407

Date: 02-Nov-2023



LEGEND

- Ground Floor Extent**
Indicative extent of Ground Floor built area.
- Road Resumption**
Indicative extent of road resumption.
- Landscaped undercroft (min. 55sqm)**
Indicative location of publicly accessible open space.
- Indicative Shared Space**
Indicative location of area with pedestrian movement and vehicular drop off.
Opportunity to investigate shared surfaces between footpaths and roadways.
- Drop-Off Zone**
Indicative location of vehicular drop off zone for visitors.
- External Pedestrian Movement Path**
Indicative location of pedestrian movement path between publicly accessible spaces.
- Internal Pedestrian Movement Path**
Indicative location of pedestrian movement path between O'Connell Terrace and Walden Lane noting that the connection will likely be across multiple levels to address different levels of Walden Lane; Wren Street and Future Bridge Link.
- Cross Block Link Opportunity**
Provide connection for potential future cross block link to Bowen Bridge Road.
- Bridge Link Opportunity**
Provide connection for potential future Level 1 link to aerobridge over Bowen Bridge Road.

Drawing Number POD_SK001

FLUENT

BOWEN HILLS COMMERCIAL

PRELIMINARY APPROVAL

31 OCT 2023



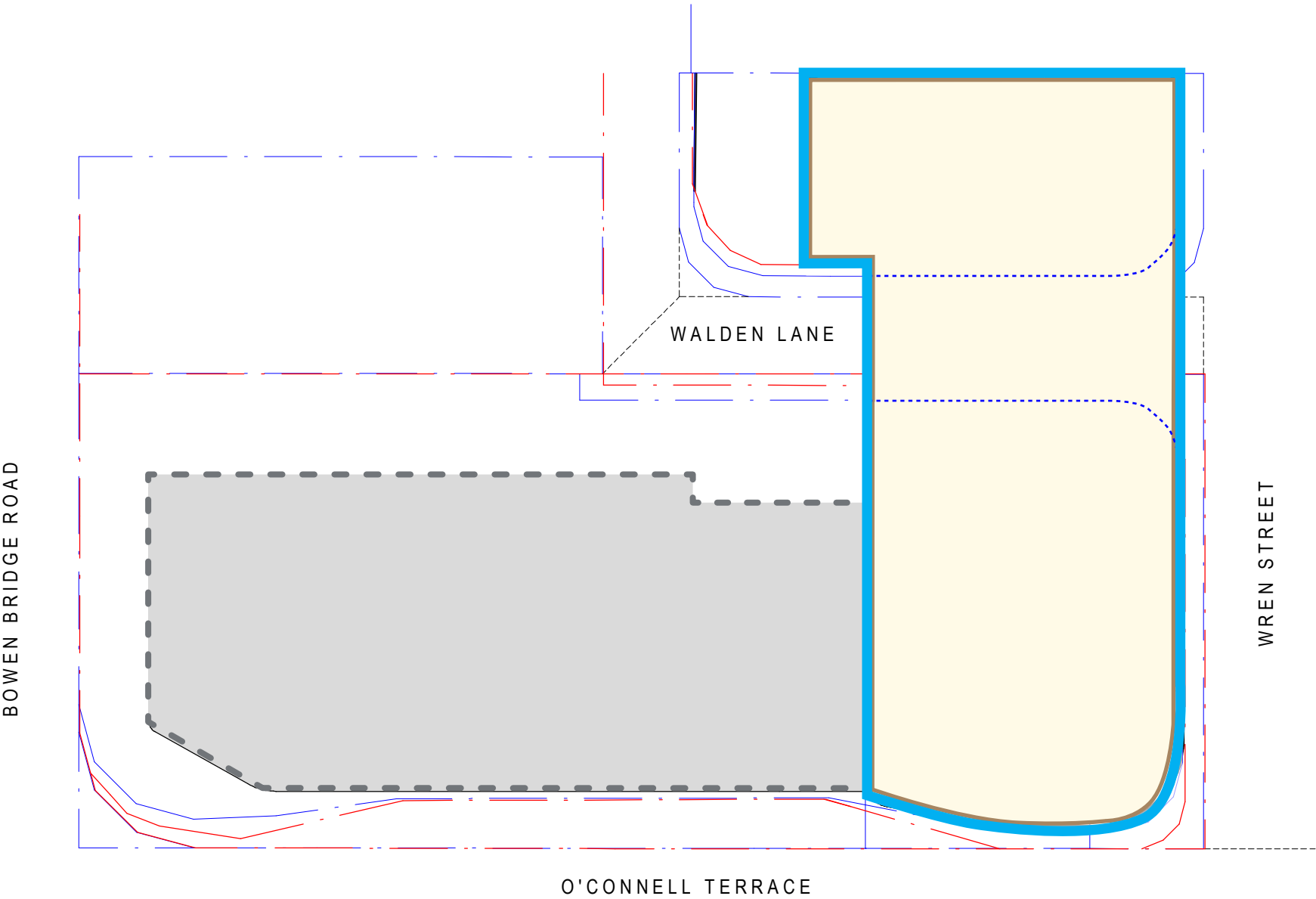
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Basement Level Diagram

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LEGEND

- Build-to Boundary
- Future Access Lot (Publicly Accessible Private Road)

AMENDED IN RED

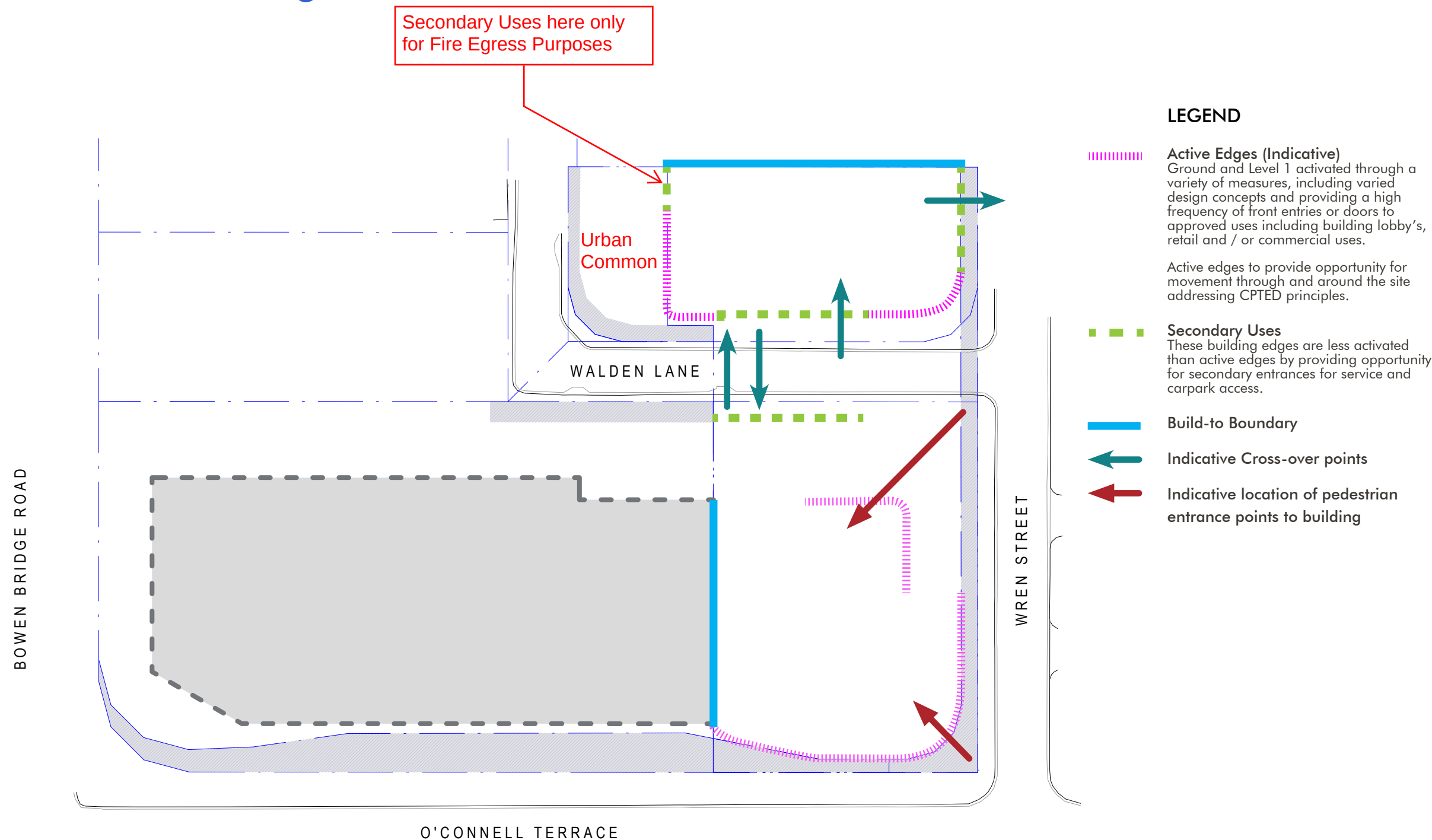
By: Andrew Edwards
Date: 05/11/2025



Drawing Number POD_SK002



Ground & Mezzanine Level Diagram



Drawing Number POD_SK003

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2023/1407/2

Date: Date


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AMENDED IN RED

By: Andrew Edwards

Date: 05/11/2025


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NOTE
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Podium Level Diagram

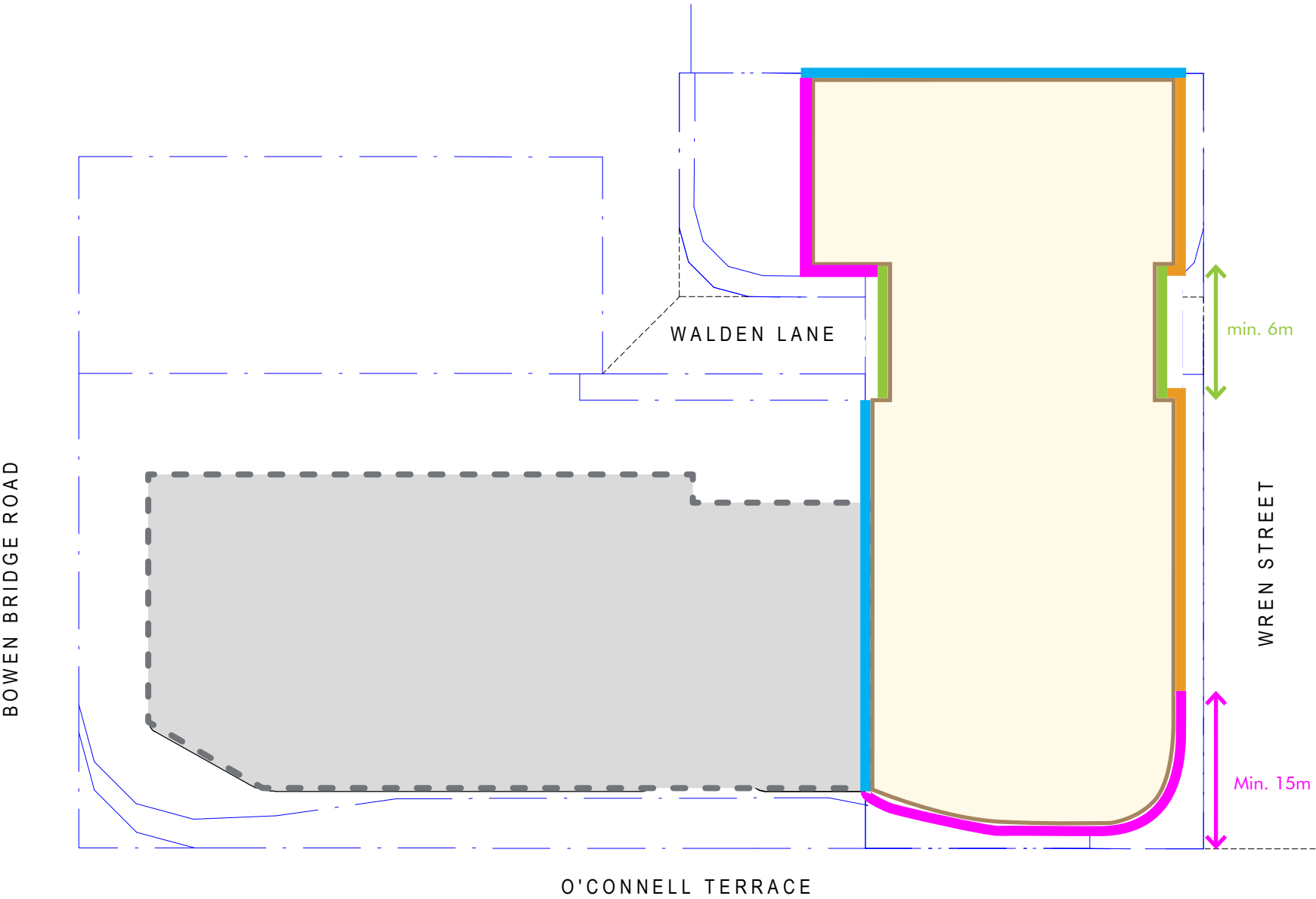
Levels 1-4

PLANS AND DOCUMENTS
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LEGEND

- Podium Extent**
Indicative extent of Podium built area
- Active Uses**
Active frontages (primarily on O'Connell Tce but wrap around to Wren Street) are to activate podium level.
- Secondary Uses**
Building services and / or podium parking is acceptable in secondary use zones if screened by high quality architectural screening.
- Facade Articulation**
Articulation zone (min 6m length) above Walden Lane is required to provide relief to the façade through setbacks (min 1m) and material change (landscaping element preferred)
- Build-to Boundary**

Drawing Number POD_SK004

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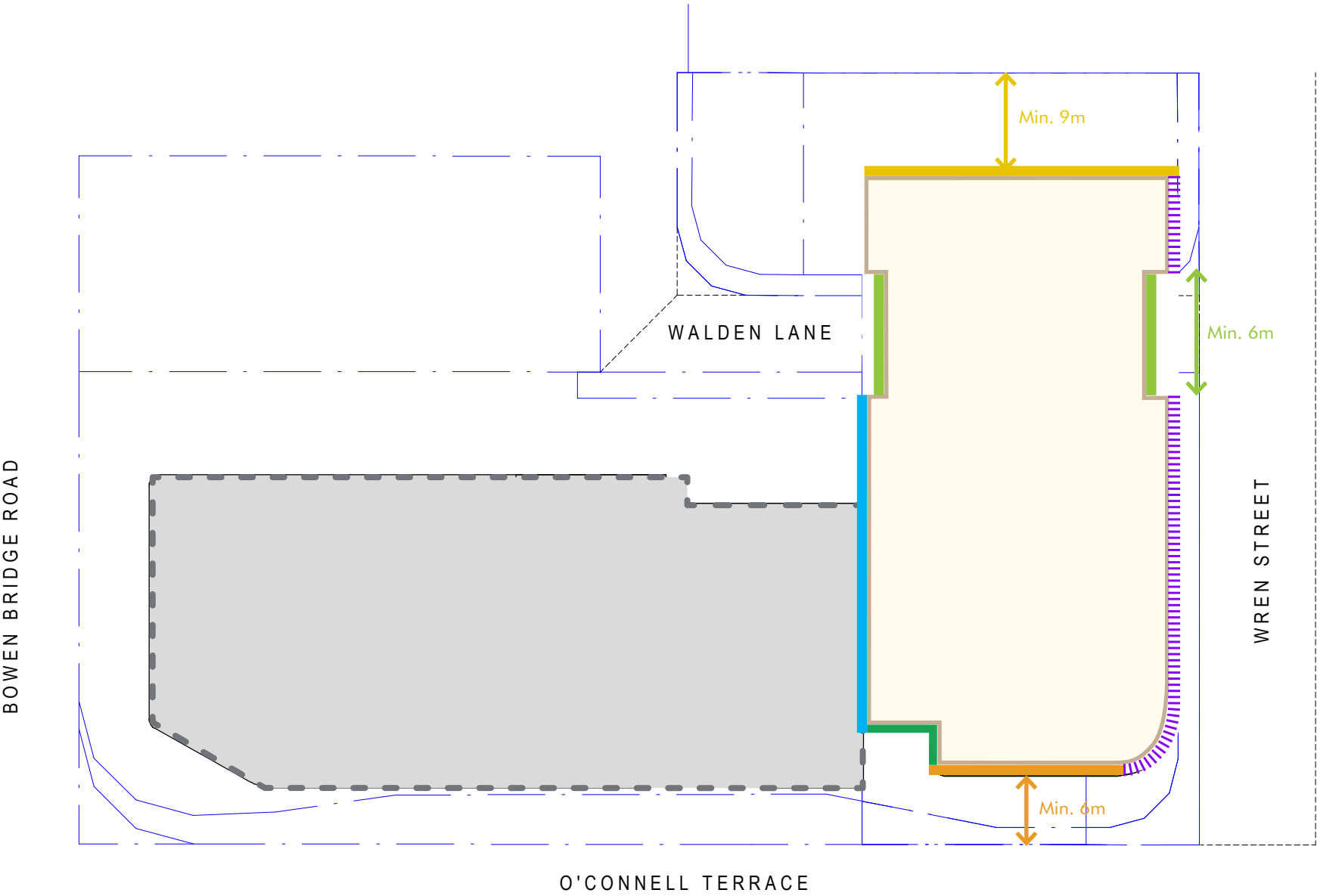
Lower Tower

Levels 5-11

PLANS AND DOCUMENTS
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Drawing Number POD_SK005



Upper Tower

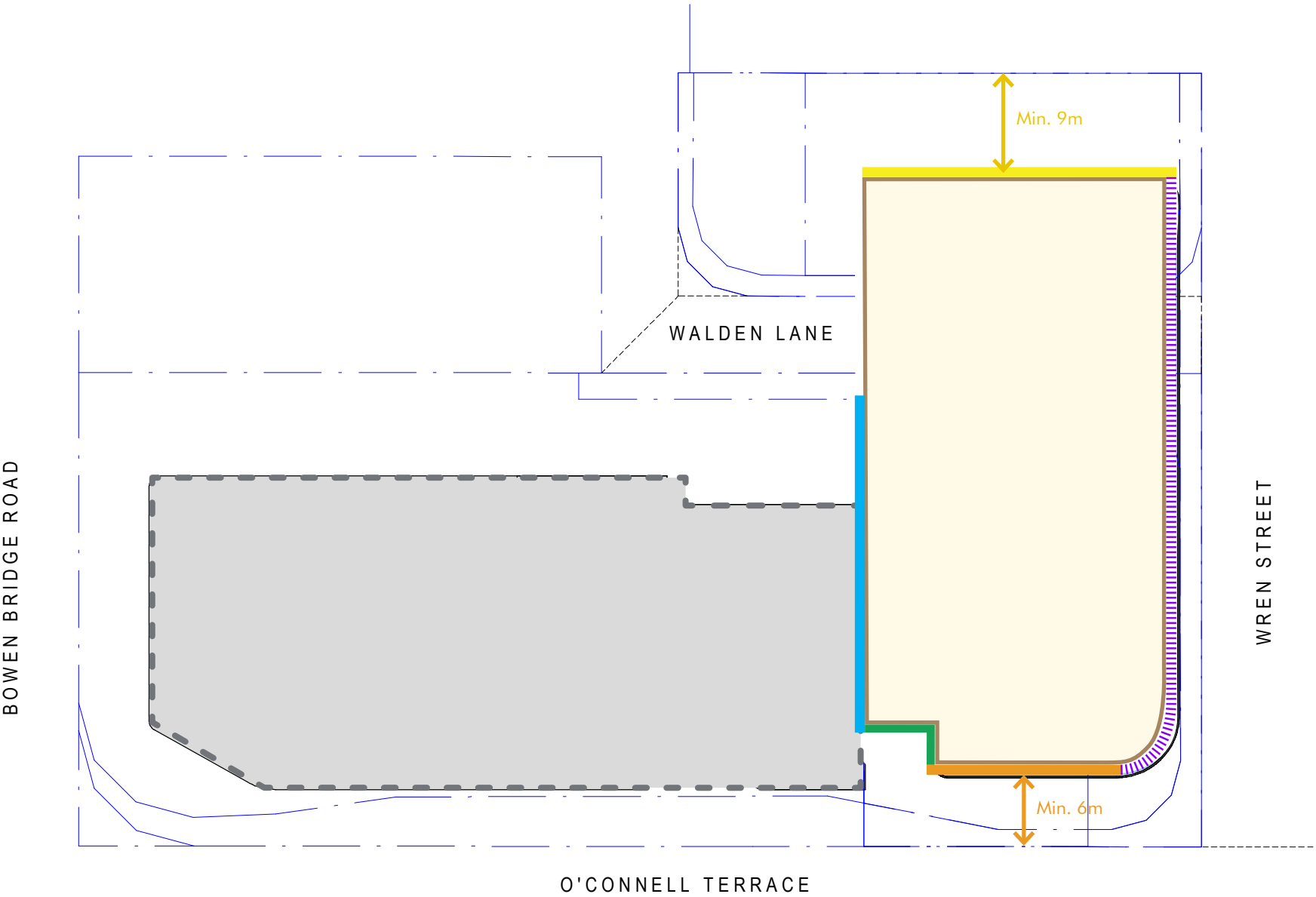
Levels 12-19

PLANS AND DOCUMENTS
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LEGEND

- Floorplate Extent**
Indicative extent of Lower Tower build area
- Setback to align with road reserve alignment**
- 6m Setback from existing site boundary**
- 9m Setback from existing site boundary**
- Relief Setback to adjacent neighbour**
Setback from boundary to provide relief in facade articulation. Dimensions to be in the order of 6m x 4m
- Build-to Boundary**

Drawing Number POD_SK006



Architectural Plans

Site Boundary Dedications

PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL

Approval no: DEV2023/1407/2

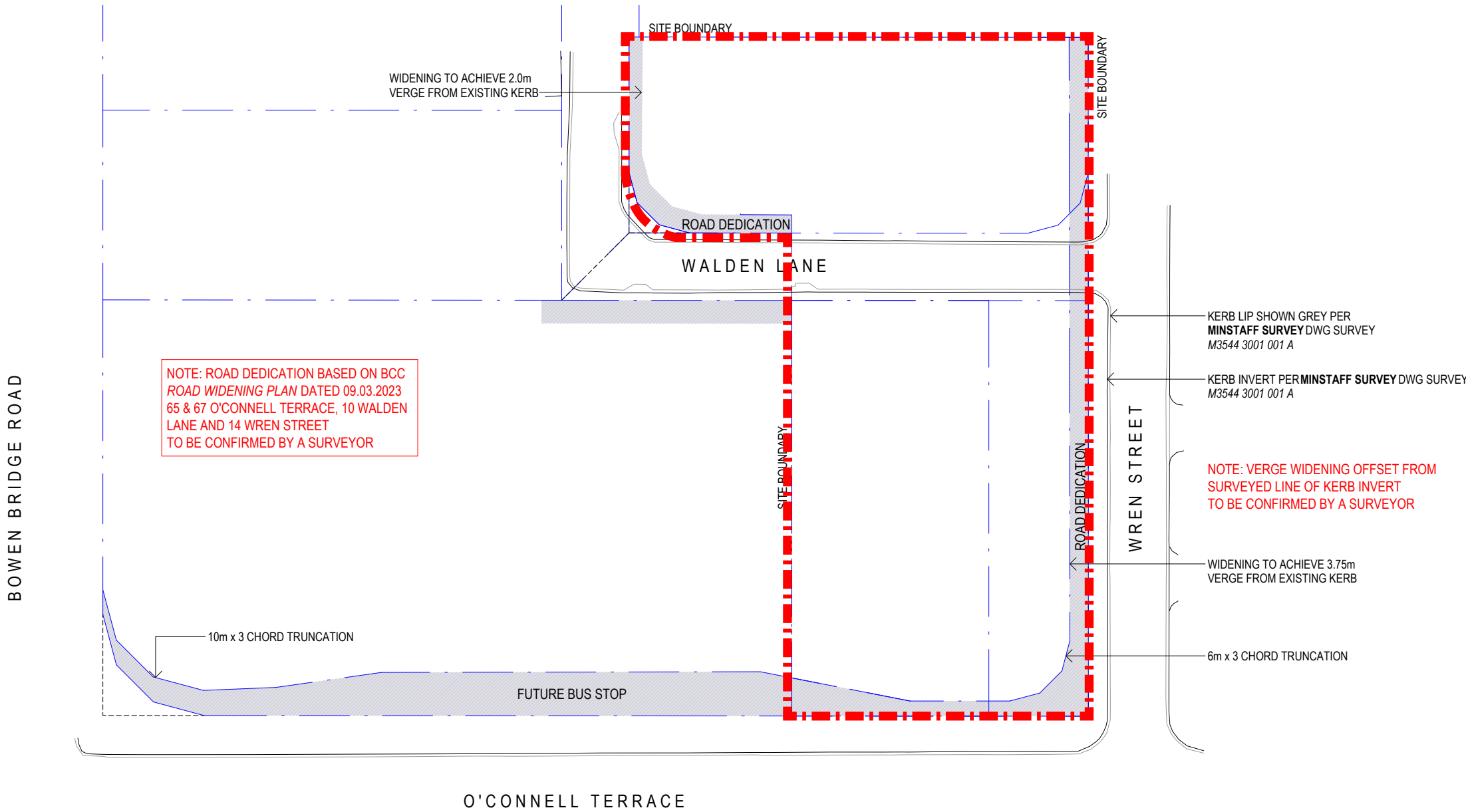
Date: Date



AMENDED IN RED

By: Andrew Edwards

Date: 05/11/2025



SCALE 1:500 @ A3

..... SITE BOUNDARY

DISCUSSION SKETCH
SUBJECT TO TOWNPLANNING APPROVALS

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BOWEN HILLS COMMERCIAL

PRELIMINARY APPROVAL

22 SEPTEMBER 2025



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Architectural Plans

Site Plan

AMENDED IN RED

By: Jennifer Sneesby

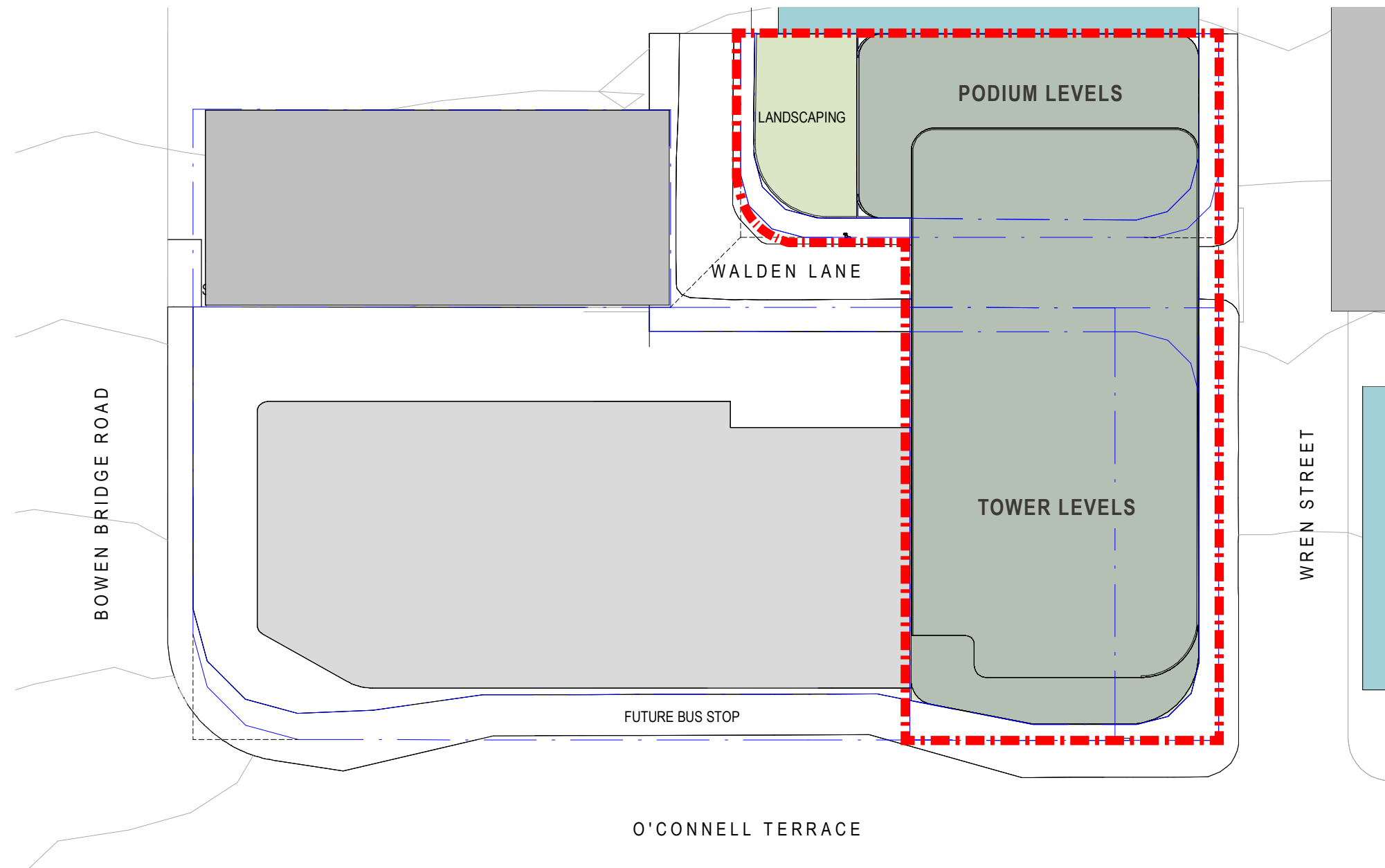
Date: 31 October 2023



PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL

Approval no: DEV2023/1407

Date: 02-Nov-2023



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PRELIMINARY APPROVAL

31 OCT 2023

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By: Andrew Edwards

Date: 05/11/2025



**PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL**

Approval no: DEV2023/1407

Date: 02-Nov-2023



Appendix A

Masterplan document



65 & 67 O’Connell Tce,
14 Wren St
Bowen Hills

PRELIMINARY APPROVAL

MASTER PLAN REPORT

25 MAY 2023

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07 Architectural survey plan - Realignment of lot (3 into 3) Dated 22 September 2025	

PLANS AND DOCUMENTS
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01 Overview

Site and Locality Plan



02 Walden Lane Common

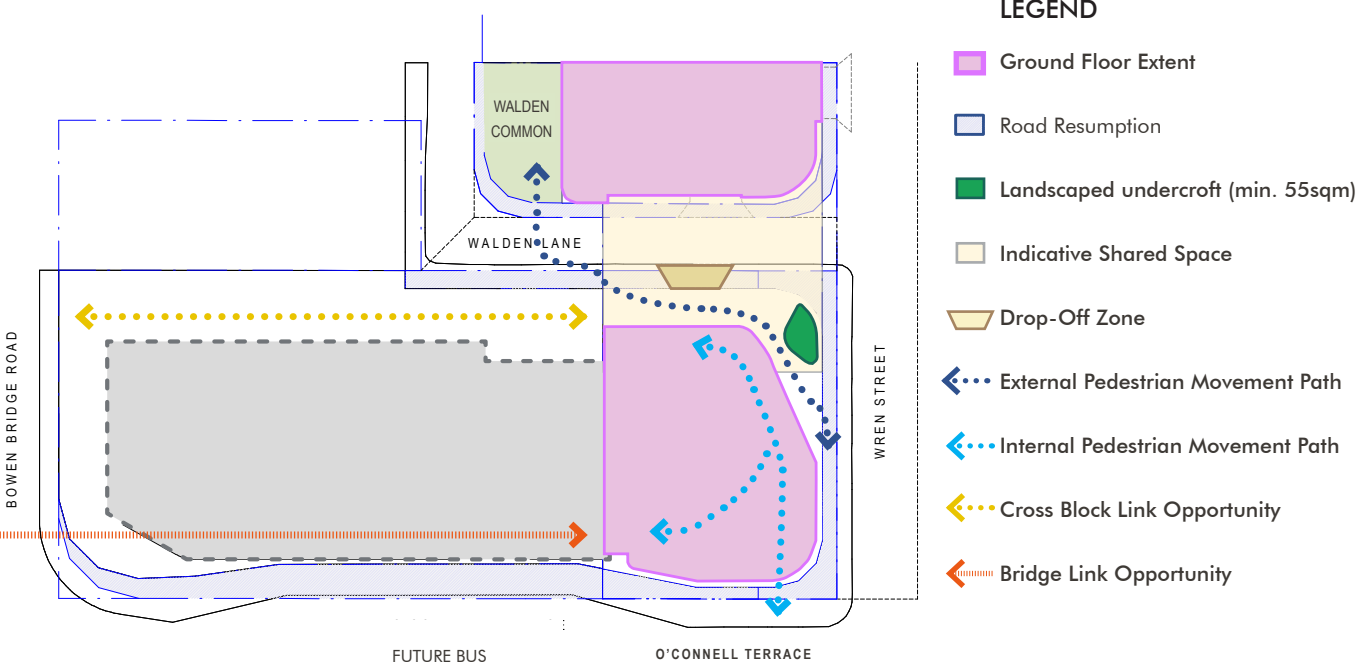
Overall Outcomes

Overall Outcomes

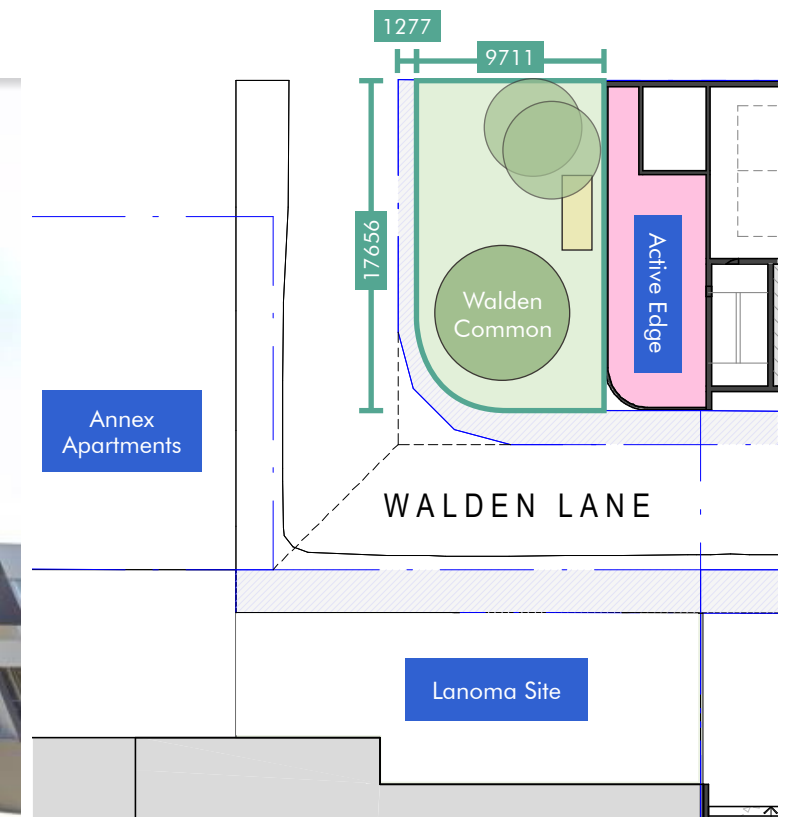
- Walden Common is a new Urban Common at the corner of Walden Lane opposite the Annexe apartments.
- Walden Common will provide a new green outlook for neighbouring buildings and improved access to the Lanoma Site to the South.
- An improved pedestrian experience will be provided with wider and easily trafficable footpaths.
- Active edges will bring the forecourt and common areas to life with spaces to relax, thoroughfares and retail amenity.

Design Principles

- Landscape design will look to embrace the principals of building that breathe to deliver deep planted green spaces and attractive breakout zones.
- Planting of trees appropriate for the space
- Approx. 80% of Walden Lane Common to be a mix of soft scape and planting.
- Inclusion of seating
- To meet BCC design standards or as agreed with EDQ.



ANNEX APARTMENTS



EXISTING BUILDING

03 Walden Lane

Overall Outcomes

OVERALL OUTCOMES

- Walden Lane is currently a narrow and congested laneway with noncompliant pedestrian footpaths.
- The urban development of the Wren St / Walden Lane Precinct provides the opportunity to re-think Walden Lane to enable a whether protected arrival point to the precinct to offset the future Active Transport demands that are likely to be put on O’Connell Terrace.

ROAD LAYOUT

- The road layout is to be primarily designed for vehicular movement in two directions.
- The functional road layout is to meet BCC design standards or as agreed with EDQ.
- Vehicular and service access may be provided on one or both sides of Walden Lane.

Publicly Accessible Private Road

- As outlined in the indicative reconfiguration of a lot diagram part of Walden Lane will comprise of a **publicly accessible private road**.
- Free and unrestricted access is required along Walden Lane similar to any other street within the precinct.
- **Any** road services to be located within the **easements**.
- Basement will be located below **publicly accessible private road section of Walden Lane**
- This portion of Walden Lane will be maintained to Council's standards at all times
- This portion of Walden Lane will be signed in accordance with Council BDS - 3102



INDICATIVE SECTION



WALDEN LANE SITE: EXISTING CONDITION



INDICATIVE RENDER

AMENDED IN RED

By: Andrew Edwards

Date: 05/11/2025



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04 Visualisation

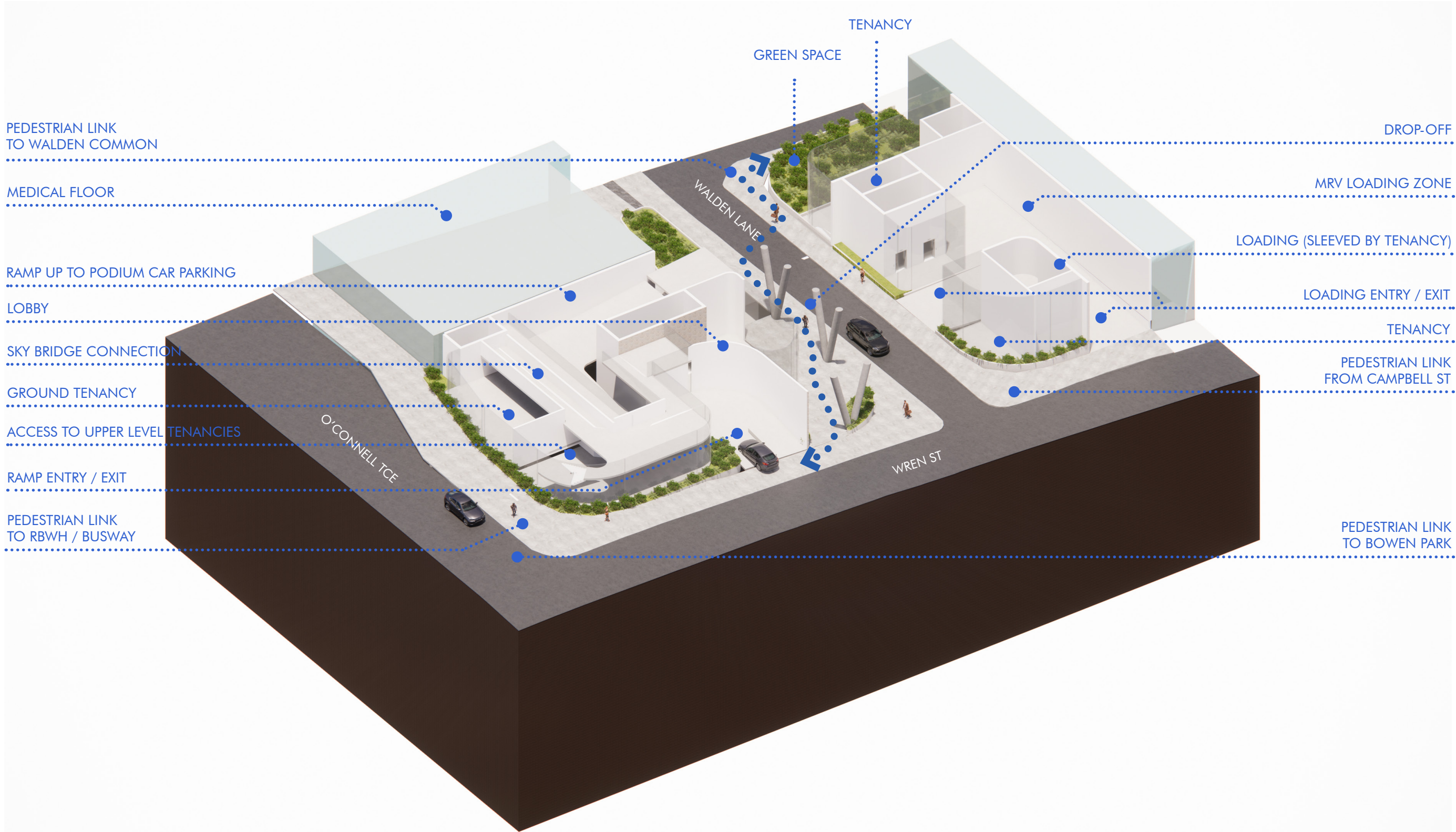
Axonometric Diagram - Ground Plane Arrangement

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INDICATIVE ONLY AND SUBJECT TO
DESIGN DEVELOPMENT

03 Visualisation

Walden Lane Views

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VIEW LOOKING INTO WALDEN LANE FROM EAST

The Walden Lane build over will create a covered drop off area appropriate for medical use and available for use by surrounding buildings.



VIEW LOOKING ACROSS DROP-OFF AREA

Glass lobby's and activated frontages provide a safe and comfortable space for pedestrian traffic to pass through the improved ground floor plane.

INDICATIVE ONLY AND SUBJECT TO
DESIGN DEVELOPMENT

05 Building Design Principles

Built Form and Massing

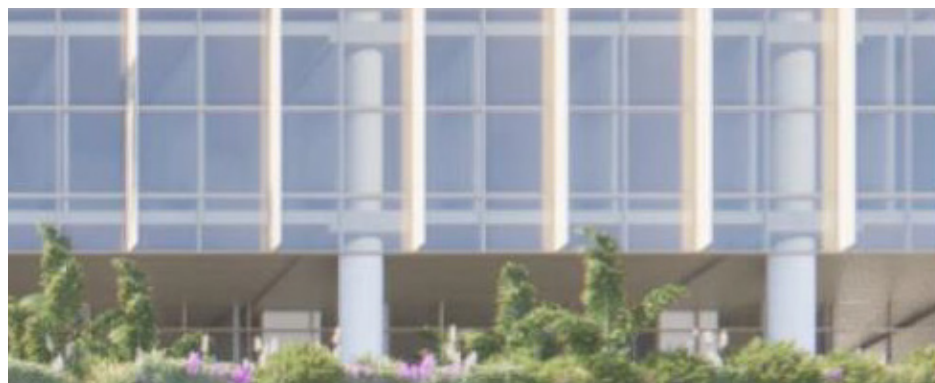
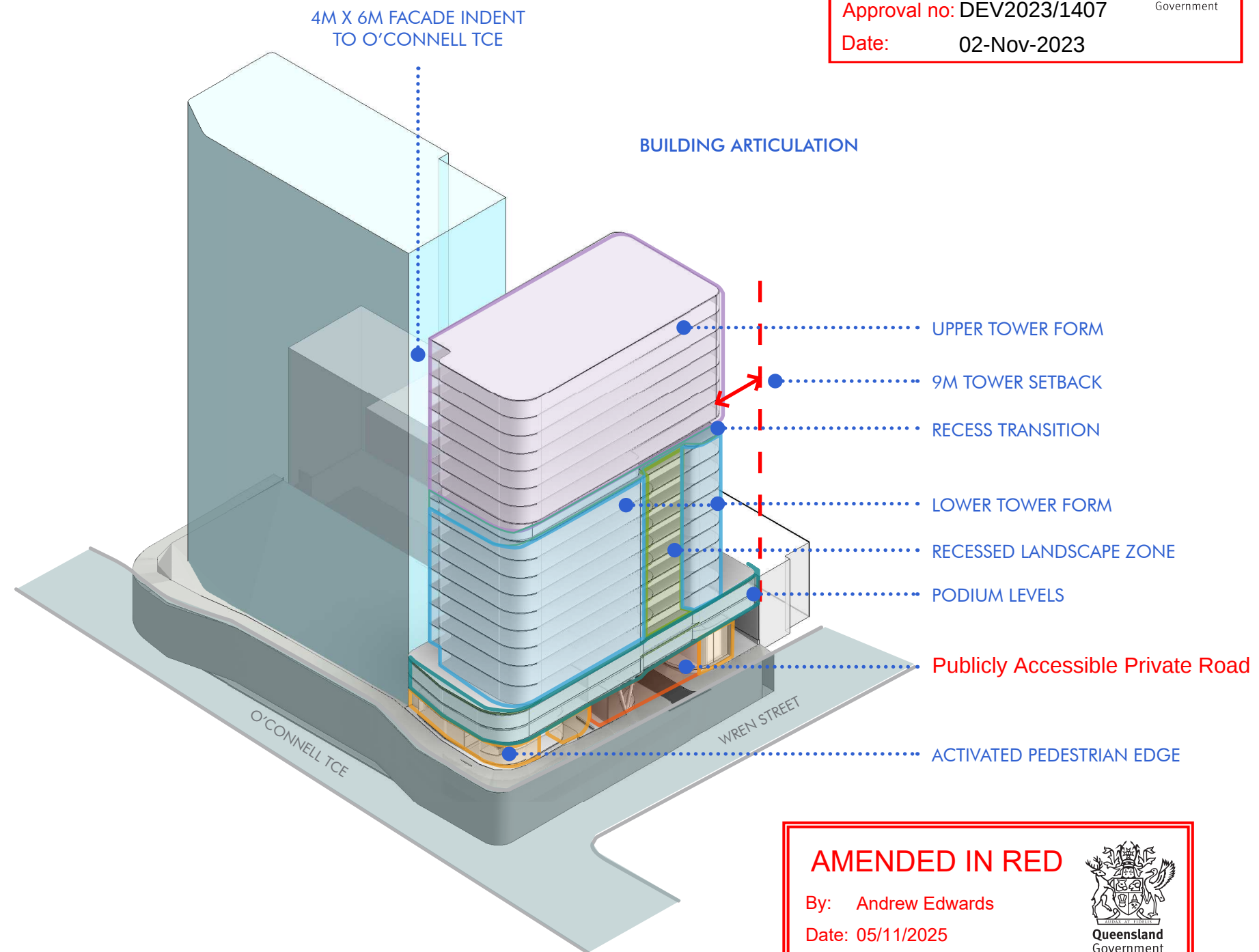
The conceptual design considers a range of criteria that embrace and enhance the activity and occupation of the surrounding area. The building combines functional floor plates, activated frontages, green space and connectivity to maximise the positive impact of its delivery.

Podium for levels 1-4

- Active frontage at ground and first floor in accordance with the Plan of Development document.
- Podium parking to be sleeved by retail use on O’Connell Terrace, with the purpose of activating the frontage. Parking to sit on road build over and above Wren Street Lot.
- Maximise connection opportunities at Street Levels and also at potential future bridge level for connection to RBWH by building in corridors/lobbies and VT to accommodate connection.

Tower Levels

- Larger floorplate to enable opportunity for medical use.
- Floor to ceiling heights enable connections to future building on the Lanoma Site and a potential connection point on level 6 at the RBWH to enable an opportunity connect these floorplates with adjacent medical uses.



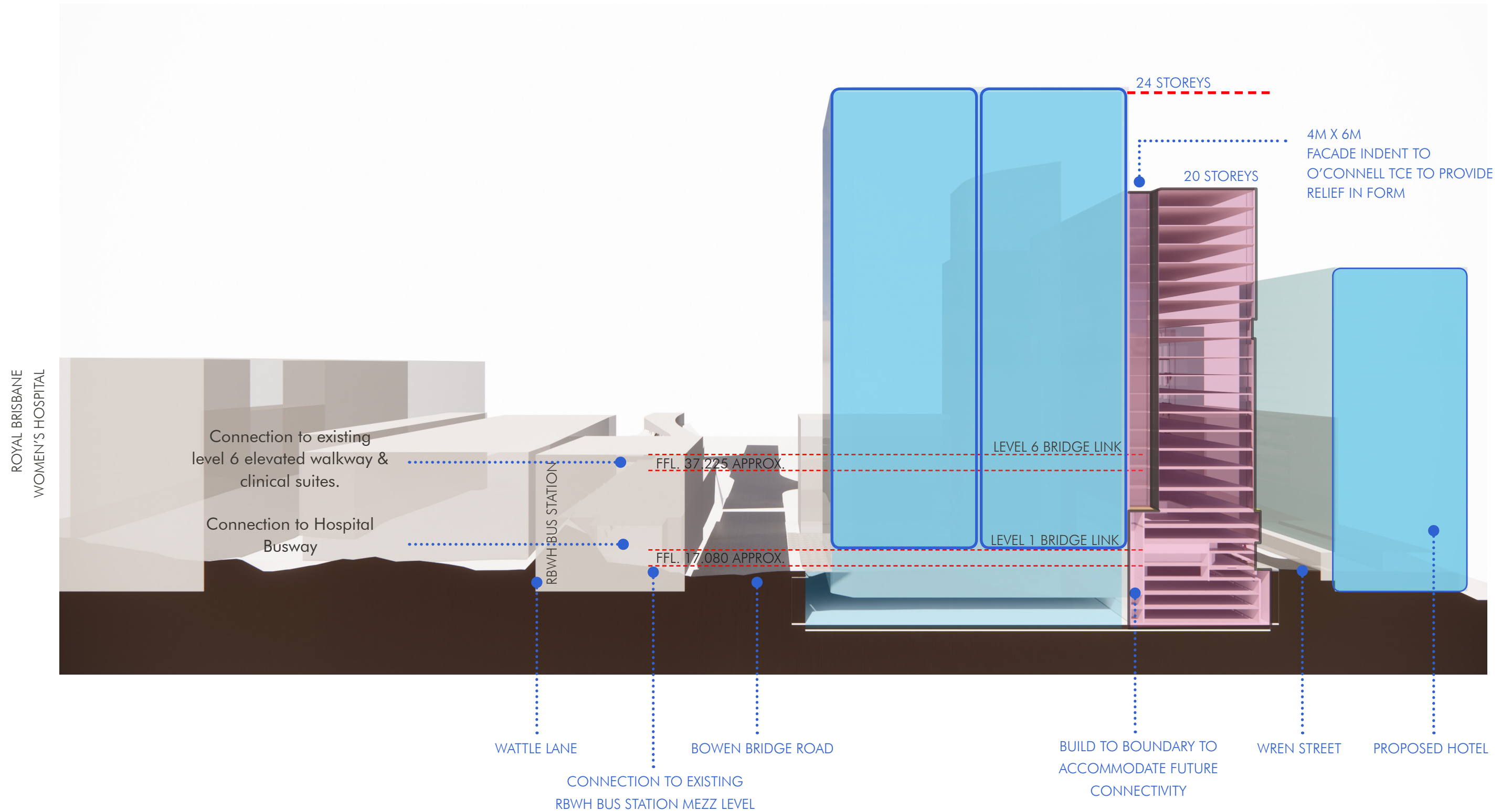
06 Sectional Perspective

Massing relationship with Lanoma

PLANS AND DOCUMENTS
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07 Architectural Survey Plans

Site Boundary Pre-Dedications

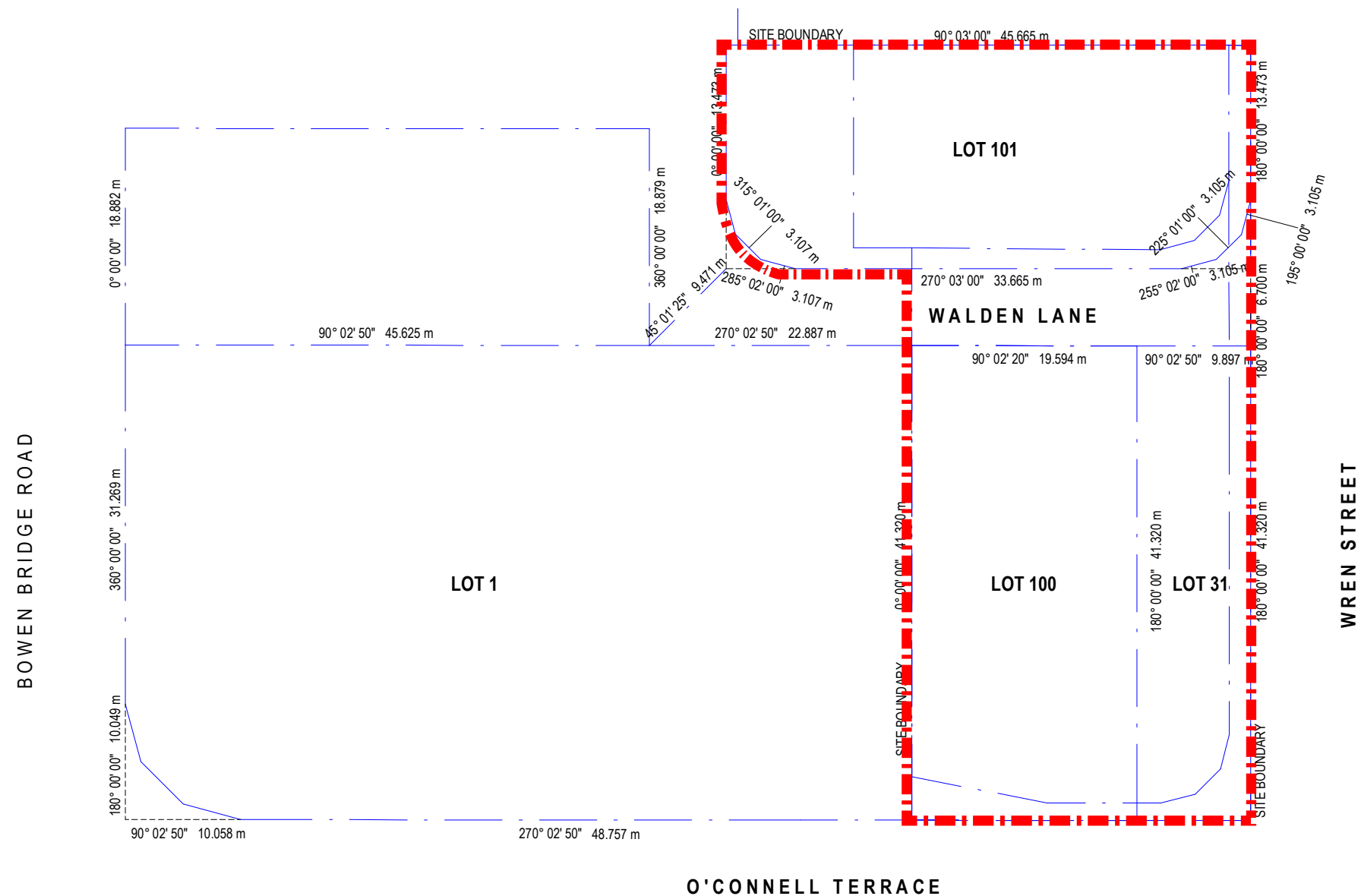
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NOTE
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SURVEY DOCUMENTS:

- c2QATSPlanImageOrderS
- DP321125 Fluent Property M3650
- DP321126 Fluent Property M3650
- HB- HMN- SURVEY- RL
- M3455 3001 001 A (PDF & DWG formats)
- M3455 3001 B 001
- Road Widening Plan 38328488

SCALE 1:500 @ A3

■■■■■ SITE BOUNDARY

DISCUSSION SKETCH
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07 Architectural Survey Plans

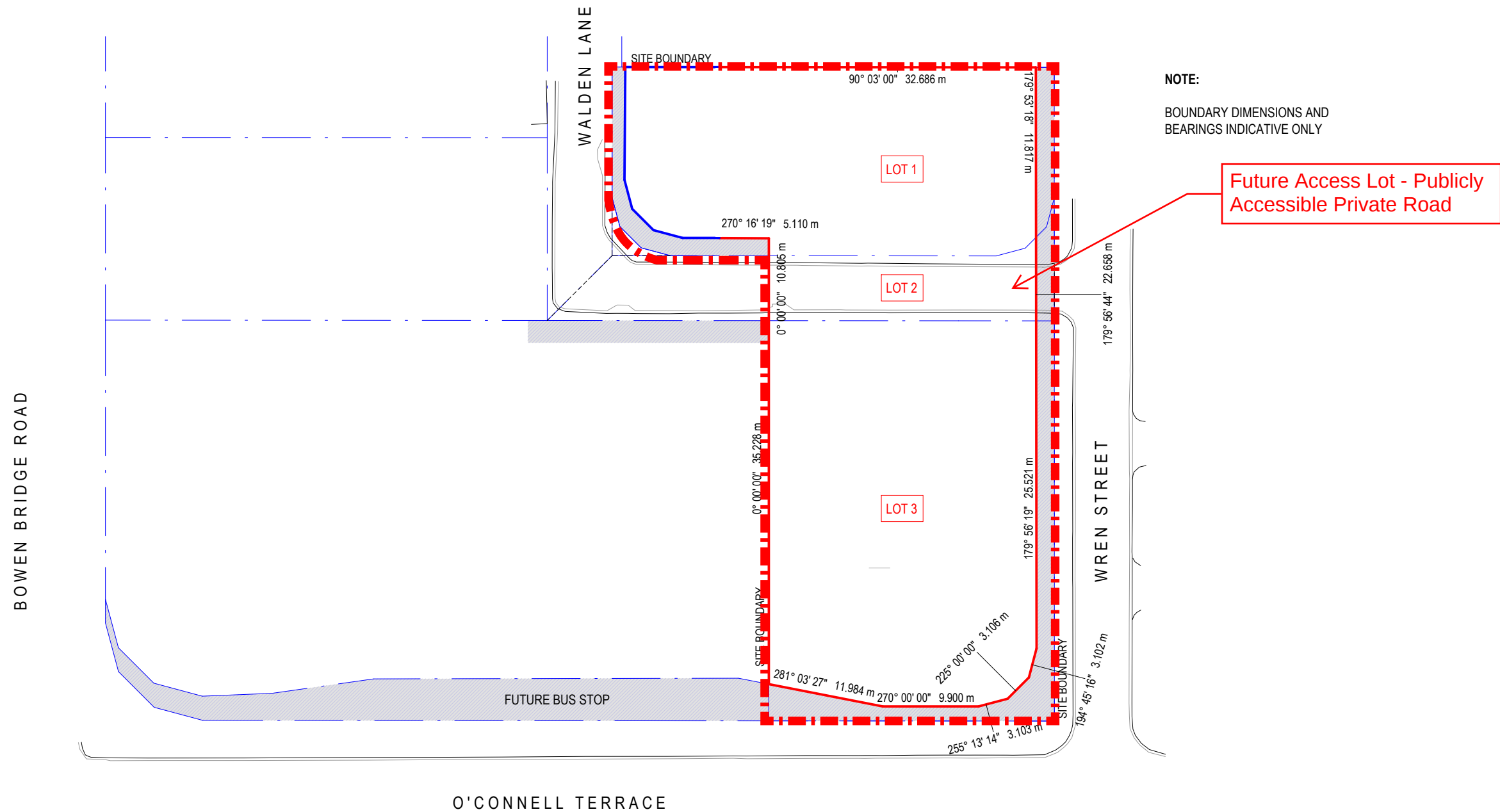
Realignment of Lot (3 Into 3)

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 Date: Date


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Government

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--- SITE BOUNDARY



07 Architectural Plans

Site Boundary Dedications

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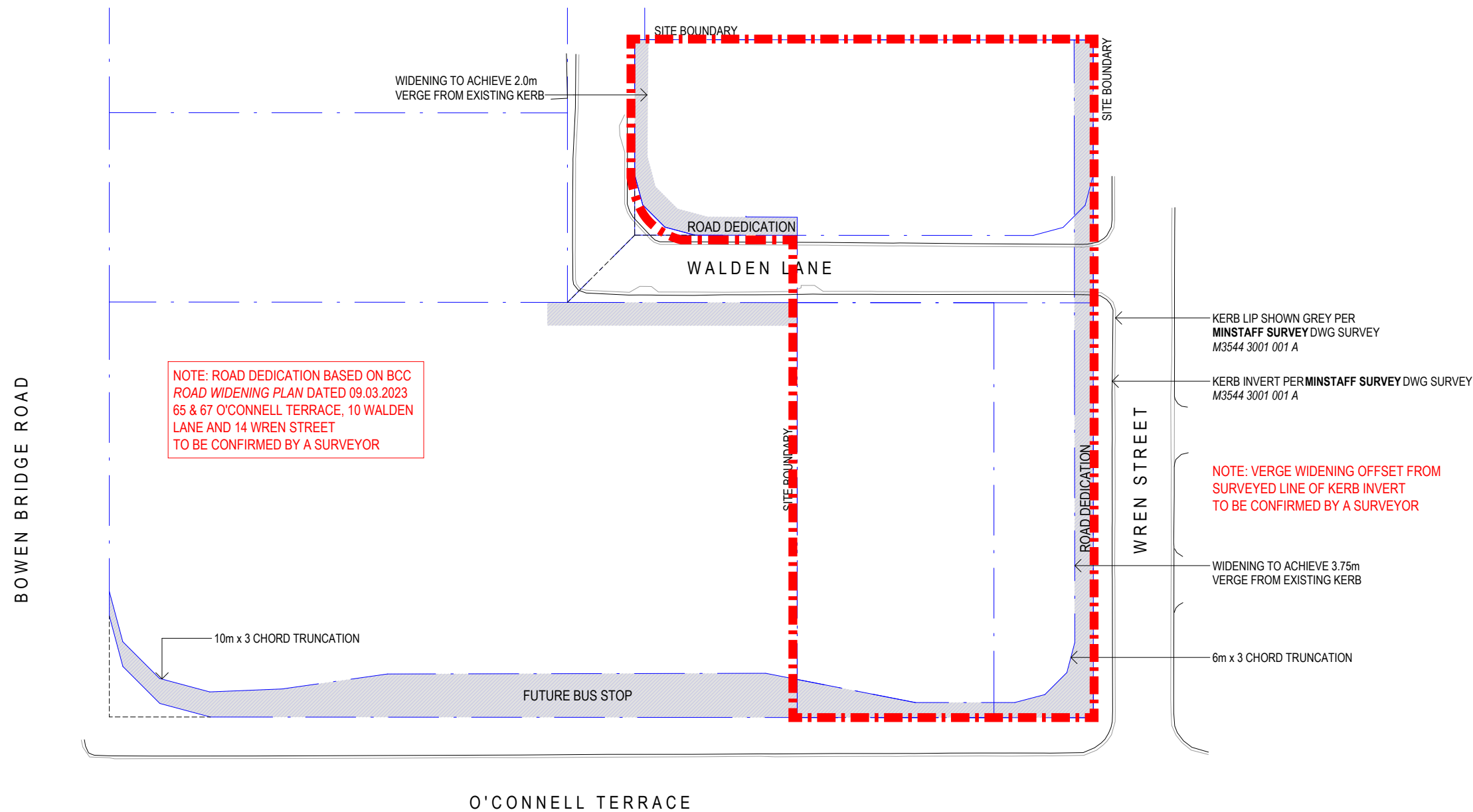

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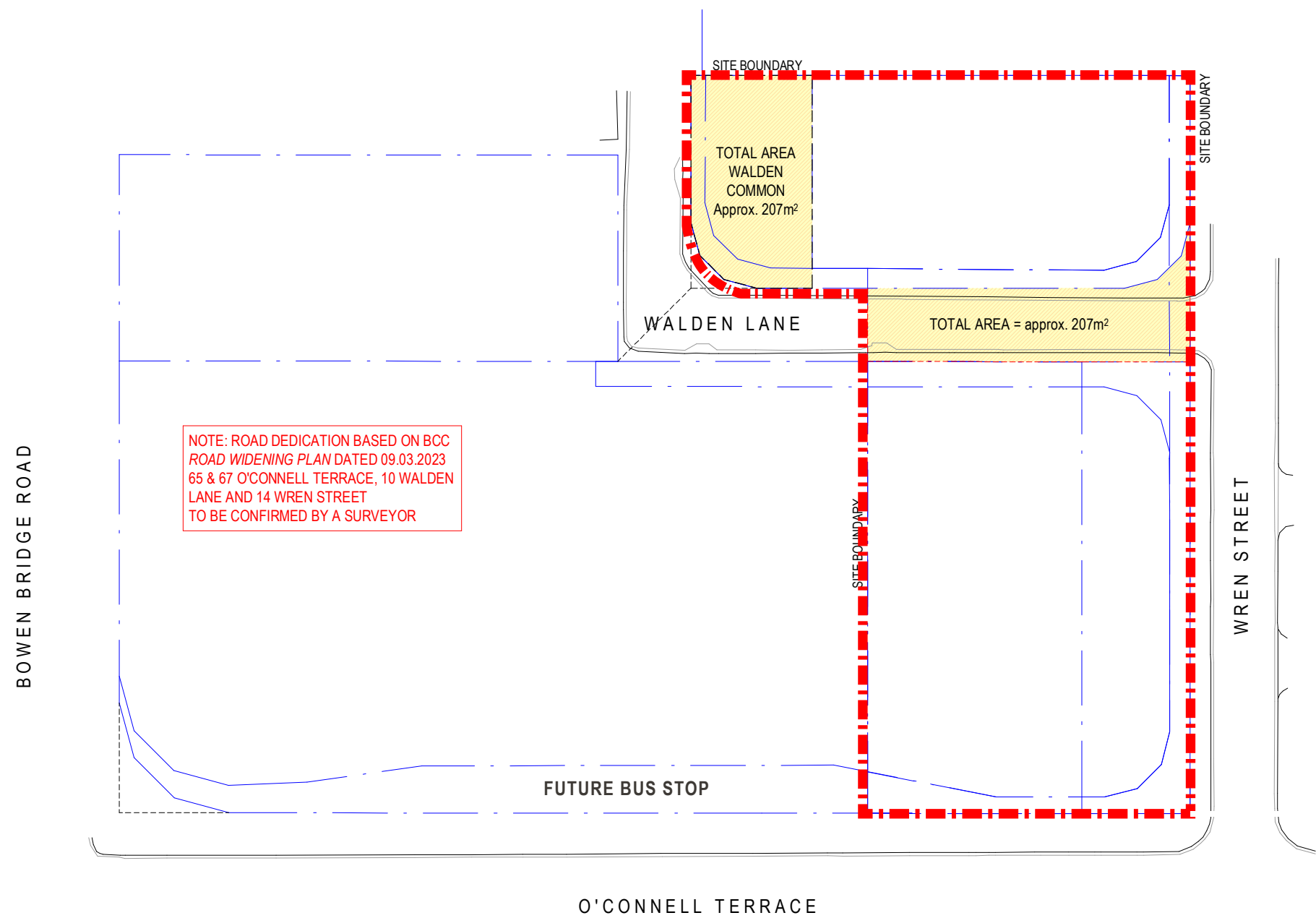
Road build-over vs Park give-back

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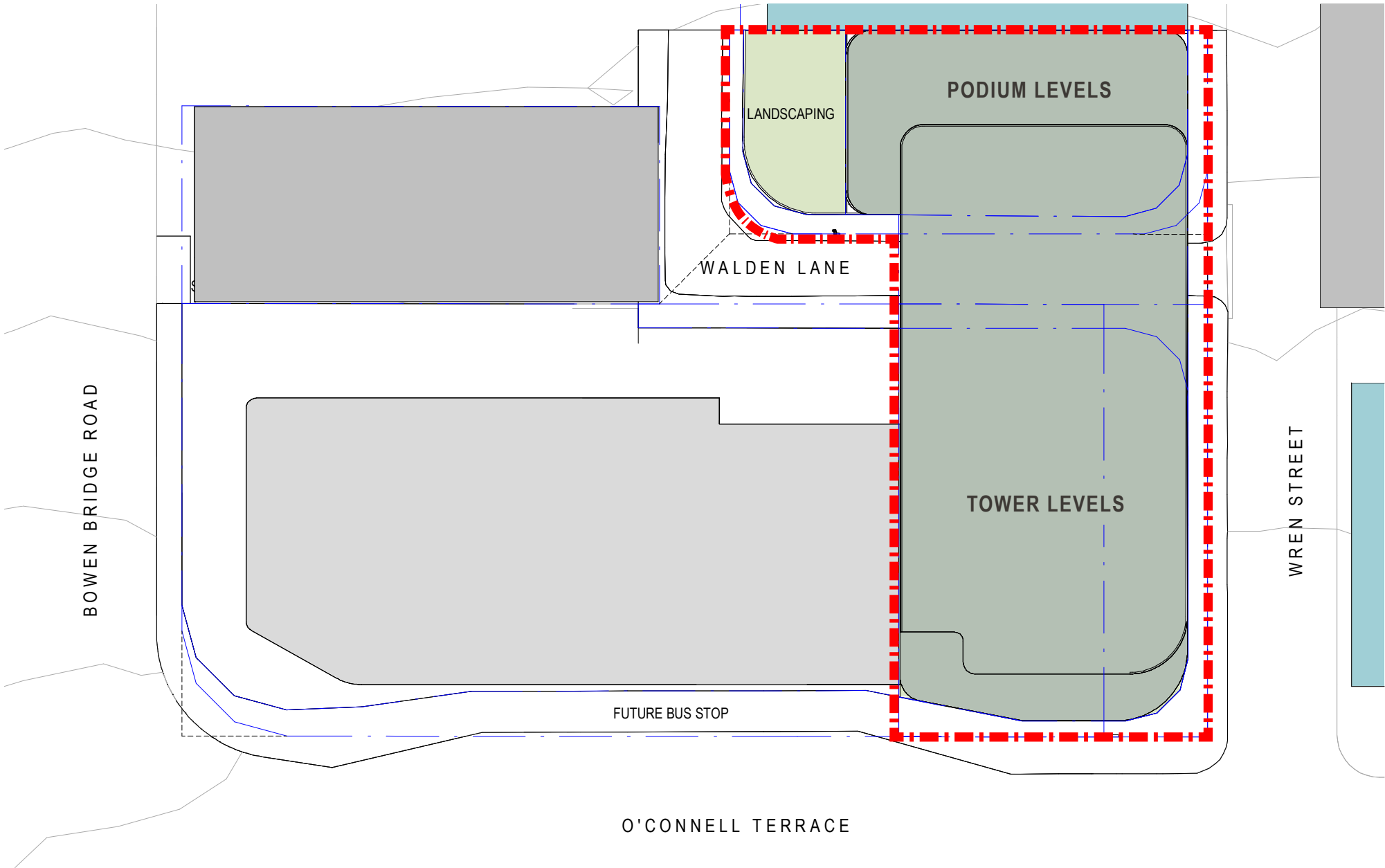
Site Plan

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