

ROL 4: PRECINCT 101 & 102



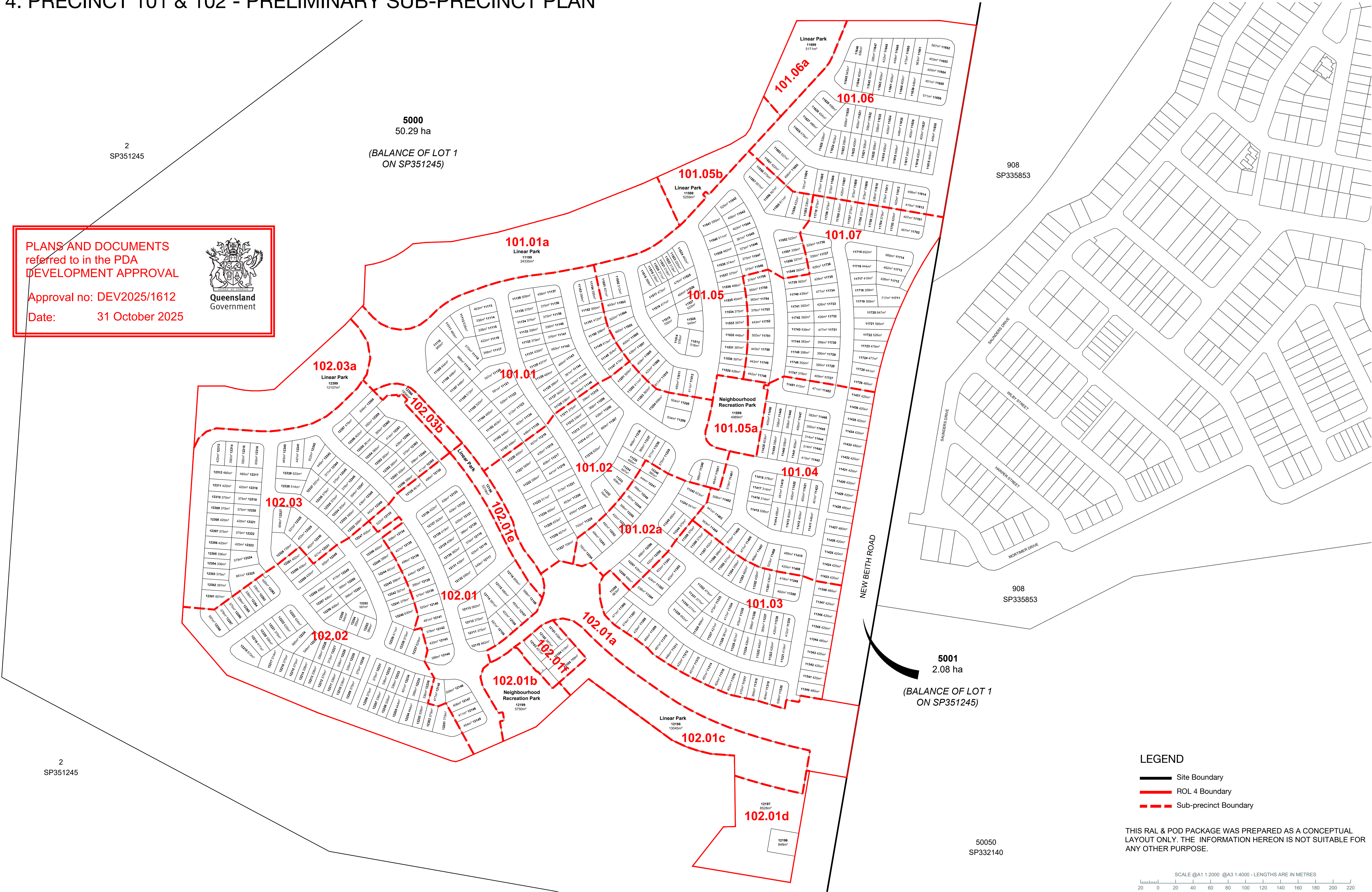
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2025/1612
Date: 31 October 2025


Queensland
Government



ROL 4: PRECINCT 101 & 102 - PRELIMINARY SUB-PRECINCT PLAN



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2025/1612

Date: 31 October 2025



LEGEND

- Site Boundary
- ROL 4 Boundary
- Sub-precinct Boundary

THIS RAL & POD PACKAGE WAS PREPARED AS A CONCEPTUAL LAYOUT ONLY. THE INFORMATION HEREON IS NOT SUITABLE FOR ANY OTHER PURPOSE.

SCALE @A1 1:2000 @A3 1:4000 - LENGTHS ARE IN METRES



CLIENT



SITE ADDRESS
HOMESTEAD DRIVE, MONARCH GLEN

RP DESCRIPTION
Lot 1-3 on SP351245

DRAWN

MF

DRAWING NO.

11731 P 27 Rev K - PRO 02

DATE

10/10/2025



ROL 4: RECONFIGURATION OF A LOT PLAN

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2025/1612

Date: 31 October 2025
SP351245



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Net residential density means the total number of dwellings divided by the combined area of residential lots, Neighbourhood Recreation Parks, internal local roads and half the width of local roads bordering the site.
Average net residential density means net residential density calculated for a whole neighbourhood.

LEGEND

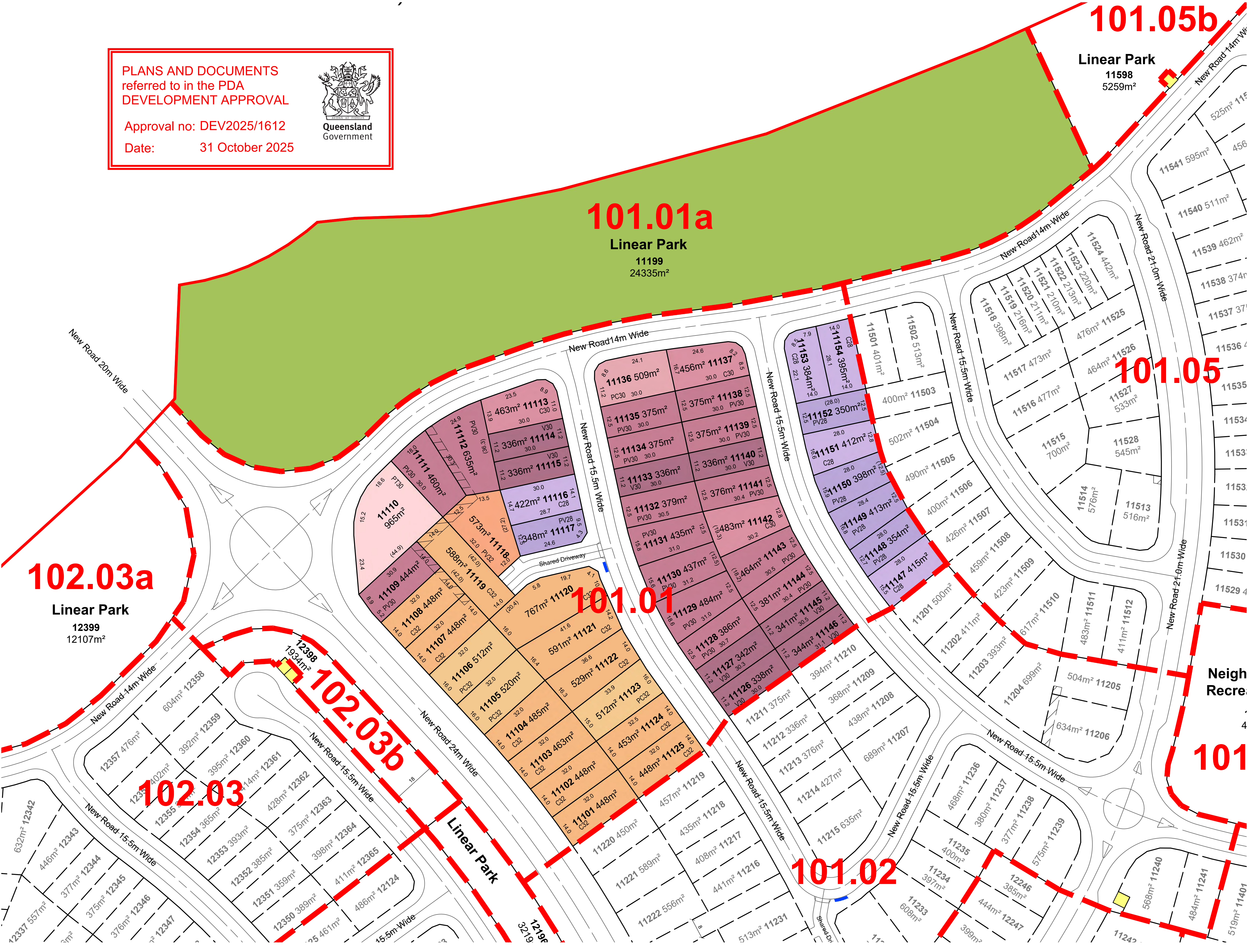
- Site Boundary
- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Services Easement
- Proposed Access Easement
- Conservation Area
- Indicative Bin Pad location
- Indicative PMT / RMU Site

DEVELOPMENT STATISTICS						
RESIDENTIAL ALLOTMENTS			Typical Width	No. Lots	%	Net Area
25m Deep Lots						
Villa	V25	11.2m	1	0.2%	0.059 ha	
Courtyard	C25	14m	2	0.3%	0.089 ha	
Premium Courtyard	PC25	16m	1	0.2%	0.039 ha	
Sub Total			4	0.7%	0.187 ha	
RESIDENTIAL ALLOTMENTS			Typical Width	No. Lots	%	Net Area
28m Deep Lots						
Terrace - Front Loaded	T28	7.5m	7	1.2%	0.191 ha	
Villa	V28	11.2m	4	0.7%	0.126 ha	
Premium Villa	PV28	12.5m	16	2.8%	0.597 ha	
Courtyard	C28	14m	32	5.6%	1.393 ha	
Premium Courtyard	PC28	16m	16	2.8%	0.823 ha	
Traditional	TD28	18m	4	0.7%	0.263 ha	
Premium Traditional	PT28	20m	1	0.2%	0.066 ha	
Sub Total			80	13.9%	3.459 ha	
RESIDENTIAL ALLOTMENTS			Typical Width	No. Lots	%	Net Area
30m Deep Lots						
Villa	V30	11.2m	48	8.3%	1.654 ha	
Premium Villa	PV30	12.5m	137	23.8%	5.474 ha	
Courtyard	C30	14m	117	20.3%	5.227 ha	
Premium Courtyard	PC30	16m	52	9.0%	2.678 ha	
Traditional	TD30	18m	6	1.0%	0.398 ha	
Premium Traditional	PT30	20m	5	0.9%	0.338 ha	
Sub Total			365	63.5%	15.769 ha	
RESIDENTIAL ALLOTMENTS			Typical Width	No. Lots	%	Net Area
32m Deep Lots						
Villa	V32	11.2m	9	1.6%	0.332 ha	
Premium Villa	PV32	12.5m	57	9.9%	2.482 ha	
Courtyard	C32	14m	42	7.3%	2.086 ha	
Premium Courtyard	PC32	16m	13	2.3%	0.788 ha	
Traditional	TD32	18m	2	0.3%	0.138 ha	
Premium Traditional	PT32	20m	1	0.2%	0.076 ha	
Sub Total			124	21.6%	5.902 ha	
Multiple Residential			MR (2 dwellings)	2	0.3%	0.124 ha
Total Allotments				575	100%	25.441 ha
Total Dwellings				577		
Land Budget				Area (Ha)	%	
Area of Subject Site / Stage				48.435 ha	—	
Net Residential Allotments				25.441 ha	52.5%	
Linear Park / Pedestrian Linkage				6.876 ha	14.2%	
Neighbourhood Recreation Park				1.075 ha	2.2%	
Local Road Areas				11.117 ha	23.0%	
Major Road Areas				2.988 ha	6.2%	
Balance Lot 12196				0.085 ha	0.2%	
Balance Lot 12197				0.853 ha	1.8%	
Total Area				48.435 ha	100%	
Average Lot Size (m²)				442.5 m²		
Net Density (dw/ha)				15.3 dw/ha		

SCALE @A1 1:2000 @A3 1:4000 - LENGTHS ARE IN METRES



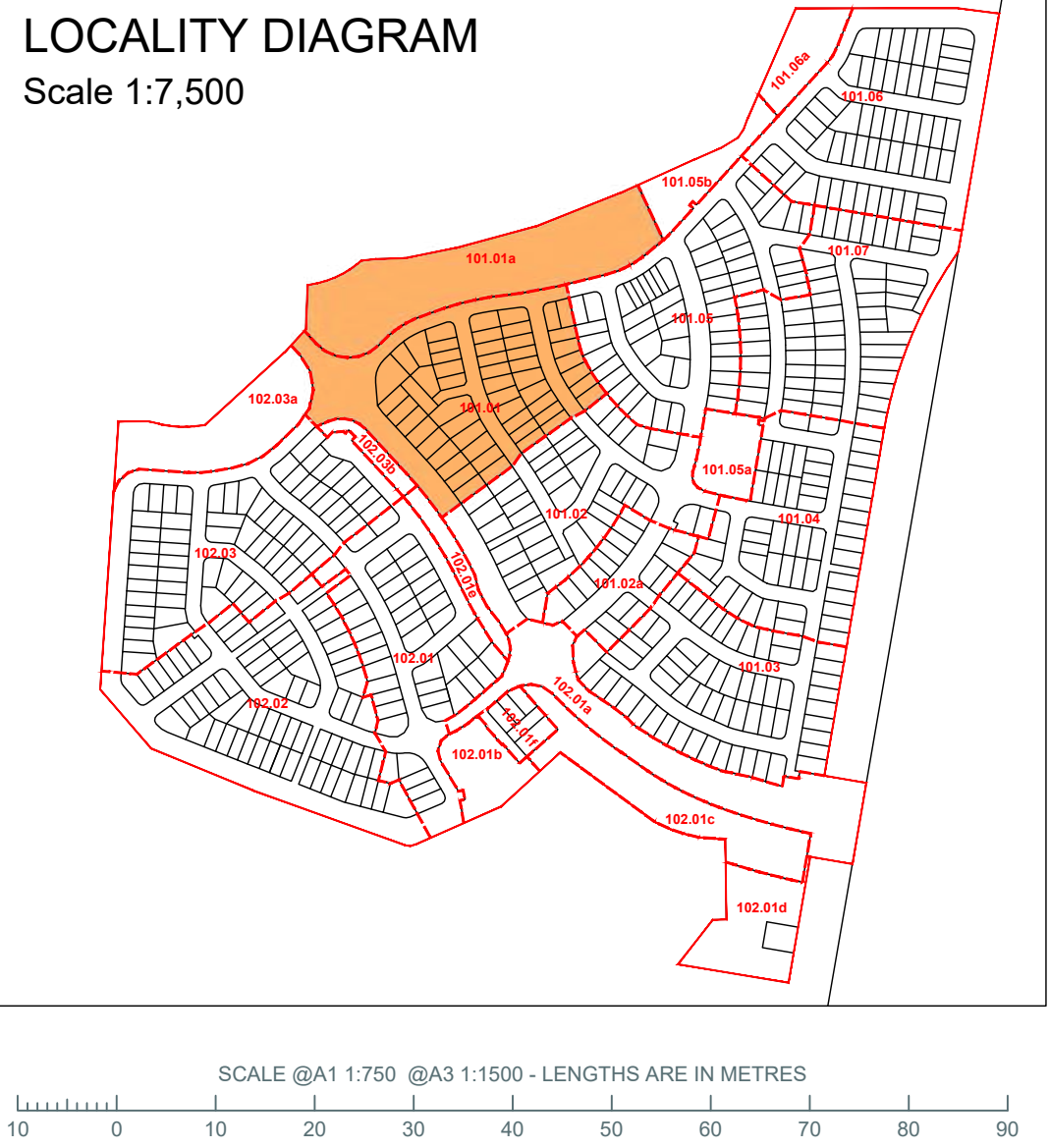
ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.01



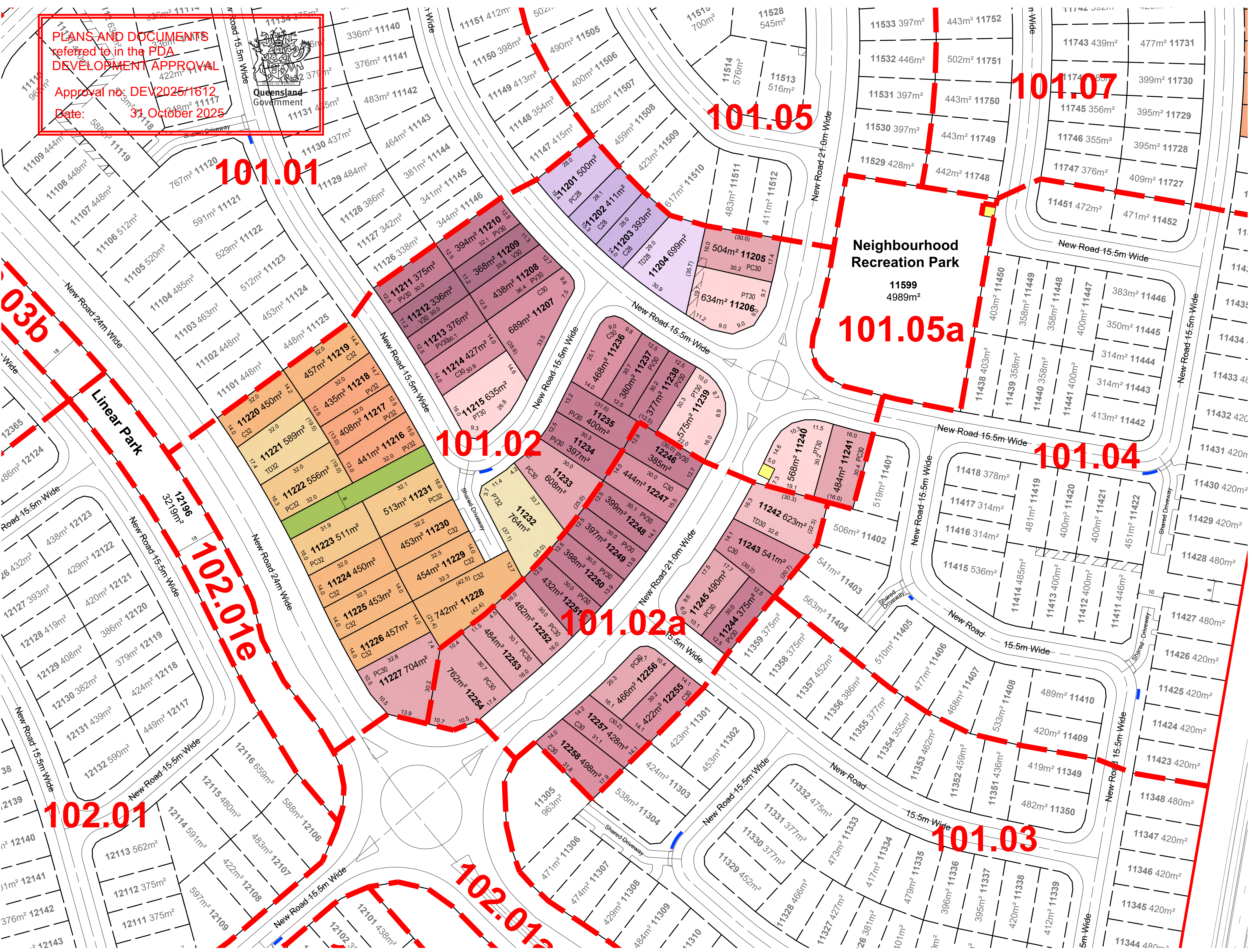
LEGEND

- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Services Easement
- Indicative Bin Pad location
- Indicative PMT / RMU Site

DEVELOPMENT STATISTICS				
RESIDENTIAL ALLOTMENTS	Typical Width	No. Lots	%	Net Area
28m Deep Lots				
Premium Villa	PV28	12.5m	5	9.3%
Courtyard	C28	14m	5	9.3%
Sub Total		10	18.5%	0.389 ha
RESIDENTIAL ALLOTMENTS	Typical Width	No. Lots	%	Net Area
30m Deep Lots				
Villa	V30	11.2m	8	14.8%
Premium Villa	PV30	12.5m	15	27.8%
Courtyard	C30	14m	3	5.6%
Premium Courtyard	PC30	16m	1	1.9%
Premium Traditional	PT30	20m	1	1.9%
Sub Total		28	51.9%	1.197 ha
RESIDENTIAL ALLOTMENTS	Typical Width	No. Lots	%	Net Area
32m Deep Lots				
Premium Villa	PV32	12.5m	1	1.9%
Courtyard	C32	14m	12	22.2%
Premium Courtyard	PC32	16m	3	5.6%
Sub Total		16	29.6%	0.823 ha
Total Allotments		54	100%	2.409 ha
Land Budget				
Area of Subject Site / Stage		6.414 ha	—	
Net Residential Allotments		2.409 ha	37.6%	
Linear Park / Pedestrian Linkage		2.434 ha	37.9%	
Local Road Areas		0.757 ha	11.8%	
Major Road Areas		0.814 ha	12.7%	
Total Area		6.414 ha	100%	



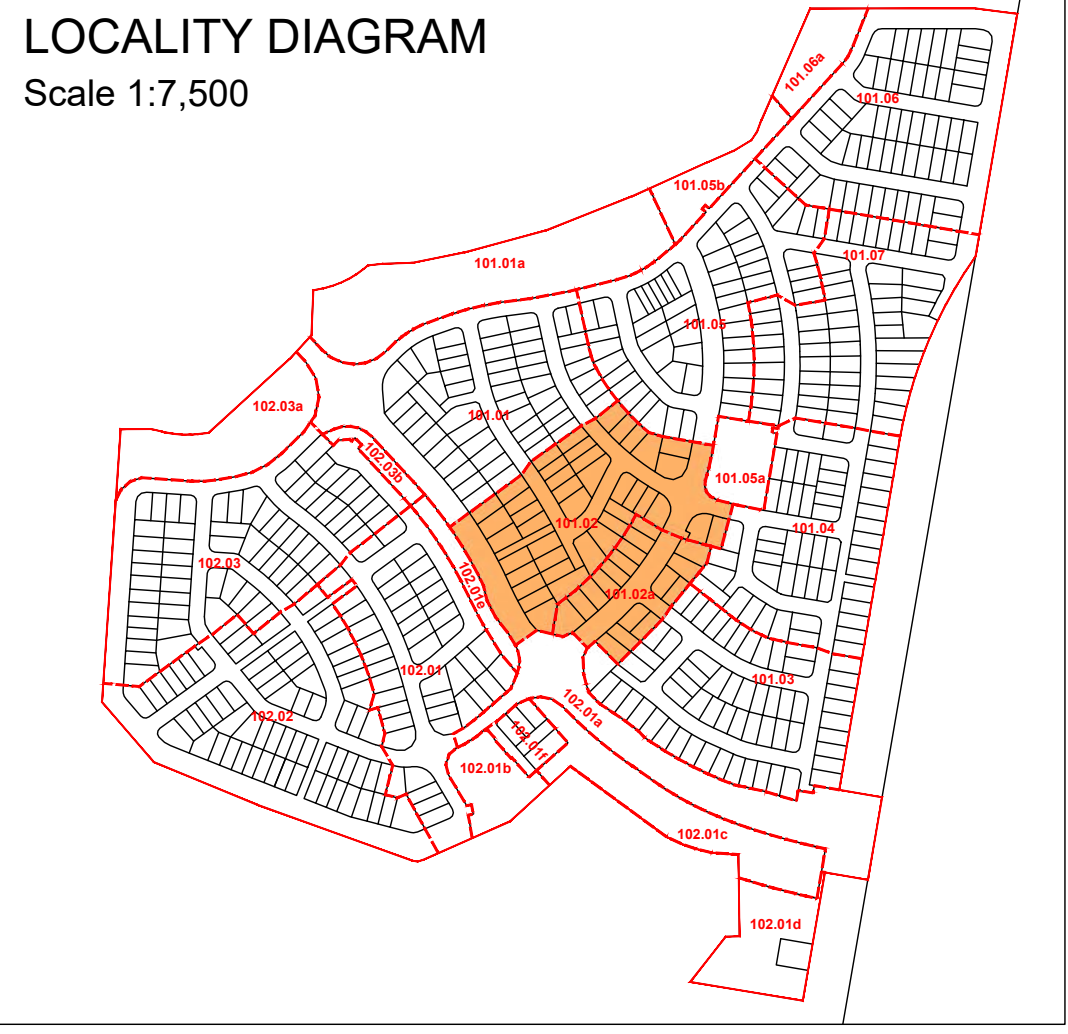
ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.02



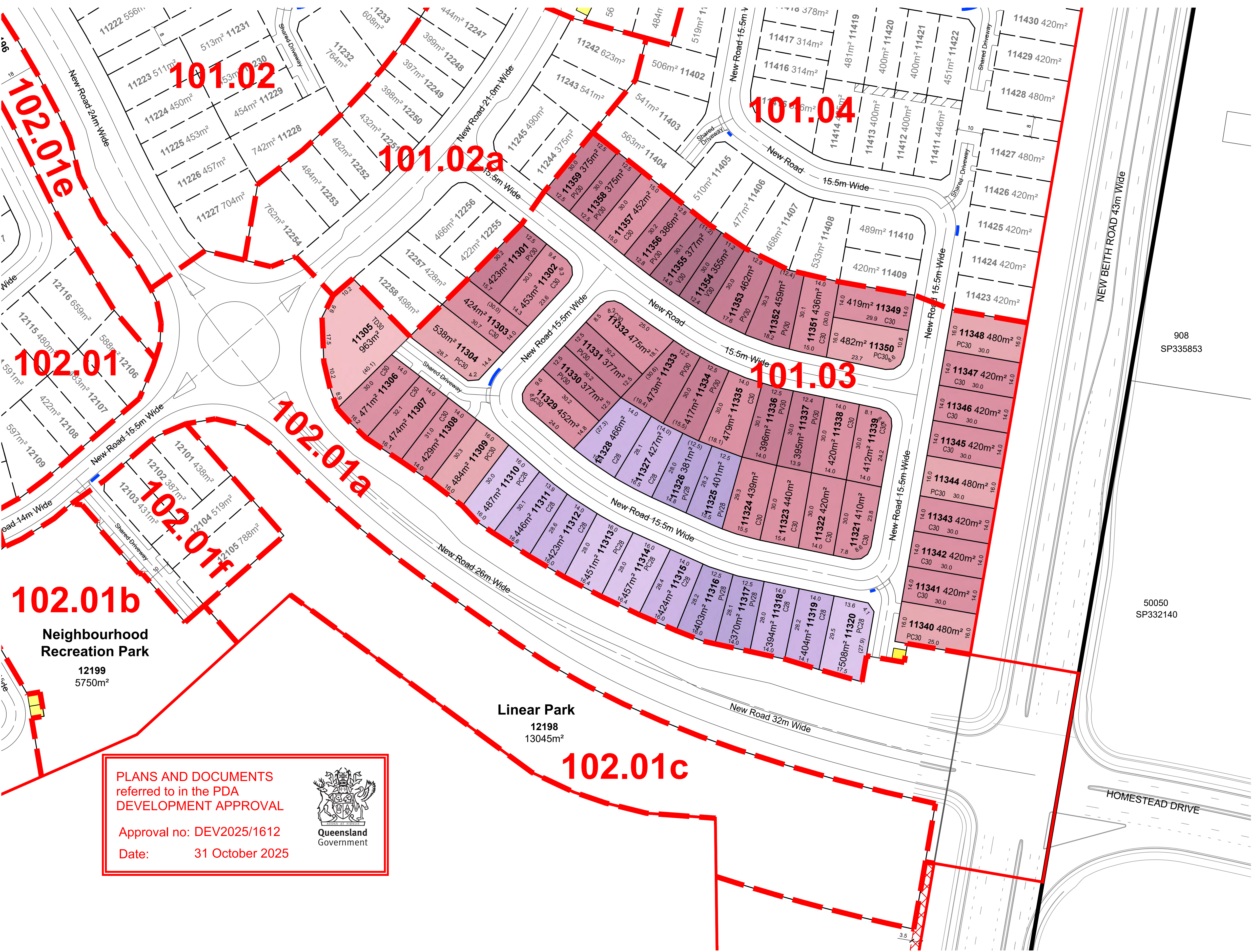
LEGEND

- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Services Easement
- Indicative Bin Pad location
- Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Courtyard	C28	14m	2	3.4%	0.080 ha
Premium Courtyard	PC28	16m	1	1.7%	0.050 ha
Traditional	TD28	18m	1	1.7%	0.070 ha
Sub Total			4	6.9%	0.200 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	2	3.4%	0.070 ha
Premium Villa	PV30	12.5m	14	24.1%	0.552 ha
Courtyard	C30	14m	8	13.8%	0.392 ha
Premium Courtyard	PC30	16m	9	15.5%	0.499 ha
Traditional	TD30	18m	1	1.7%	0.062 ha
Premium Traditional	PT30	20m	4	6.9%	0.241 ha
Sub Total			38	65.5%	1.816 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Premium Villa	PV32	12.5m	3	5.2%	0.128 ha
Courtyard	C32	14m	8	13.8%	0.392 ha
Premium Courtyard	PC32	16m	3	5.2%	0.158 ha
Traditional	TD32	18m	1	1.7%	0.059 ha
Premium Traditional	PT32	20m	1	1.7%	0.076 ha
Sub Total			16	27.6%	0.813 ha
Total Allotments			58	100%	2.829 ha
Land Budget		Area (Ha)			
Area of Subject Site / Stage		4.311 ha	—		
Net Residential Allotments		2.829 ha	65.6%		
Local Road Areas		1.096 ha	25.4%		
Major Road Areas		0.335 ha	7.8%		
Total Area		4.311 ha	100%		

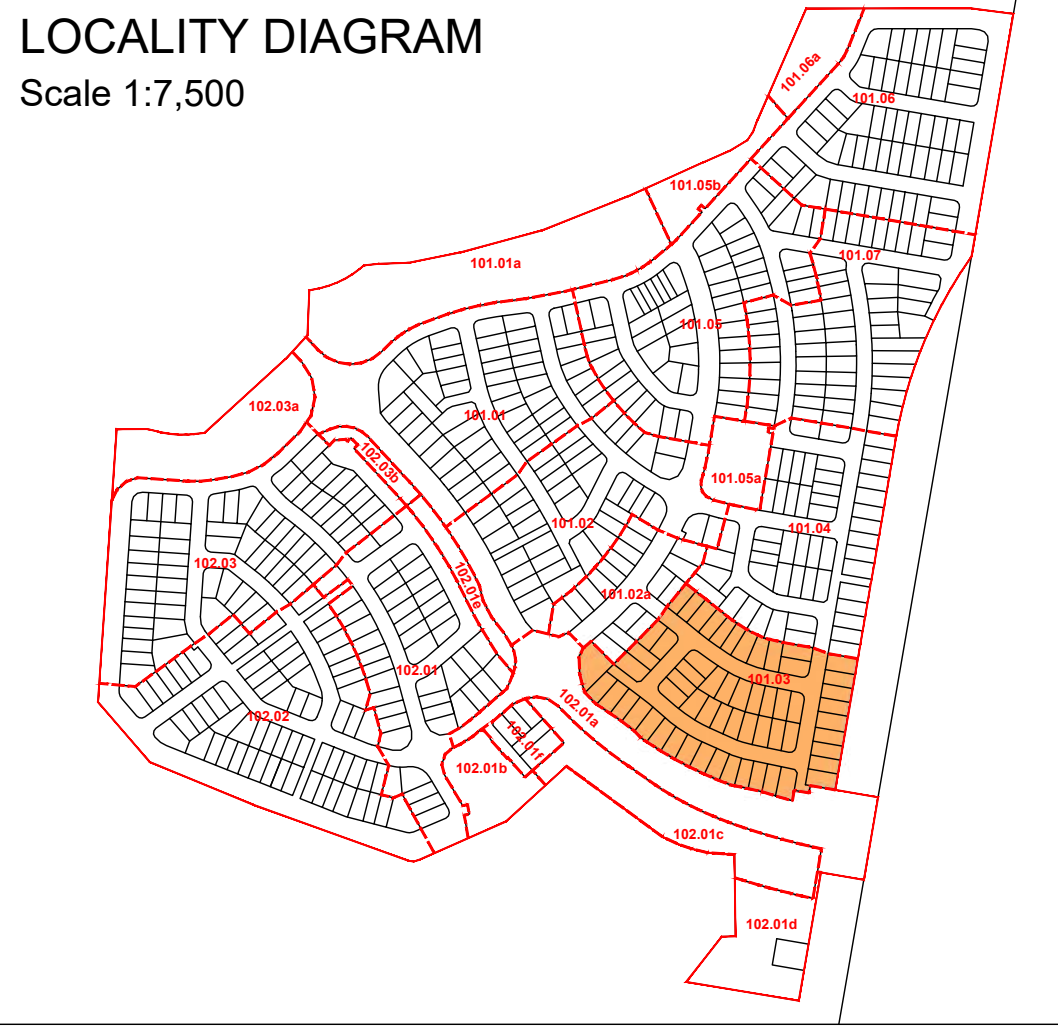


ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.03

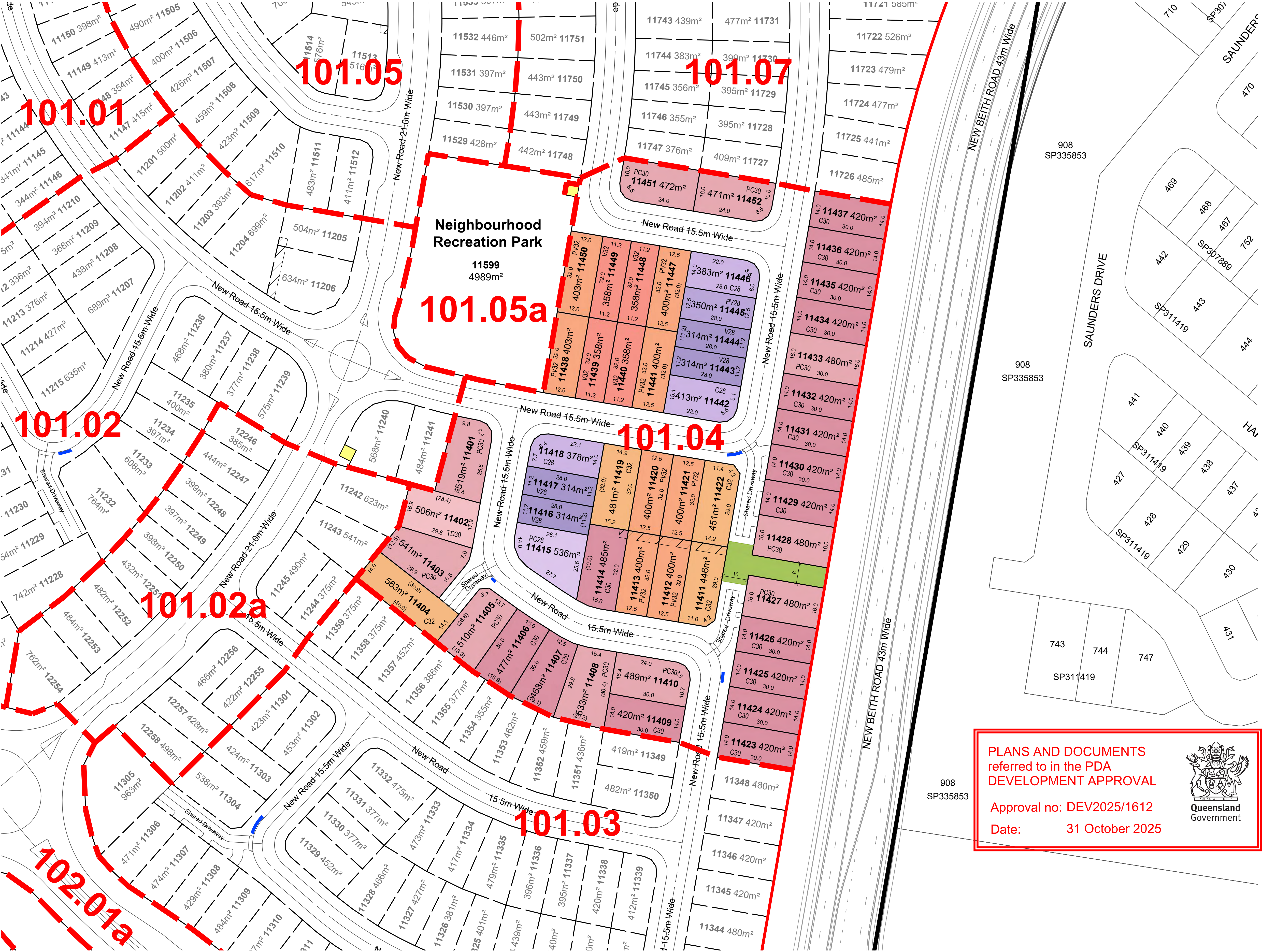


- LEGEND**
- Site Boundary
 - ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Services Easement
 - Proposed Access Easement
 - Indicative Bin Pad location
 - Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Premium Villa	PV28	12.5m	4	6.8%	0.155 ha
Courtyard	C28	14m	7	11.9%	0.298 ha
Sub Total			15	25.4%	0.643 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	2	3.4%	0.073 ha
Premium Villa	PV30	12.5m	12	20.3%	0.492 ha
Courtyard	C30	14m	23	39.0%	1.003 ha
Premium Courtyard	PC30	16m	6	10.2%	0.294 ha
Traditional	TD30	18m	1	1.7%	0.096 ha
Sub Total			44	74.6%	1.958 ha
Total Allotments			59	100%	2.601 ha
Land Budget					
Area of Subject Site / Stage		Area (Ha)	%		
Net Residential Allotments		2.601 ha	0.751 ha		
Local Road Areas		0.863 ha	24.9%		
Total Area		3.464 ha	100%		



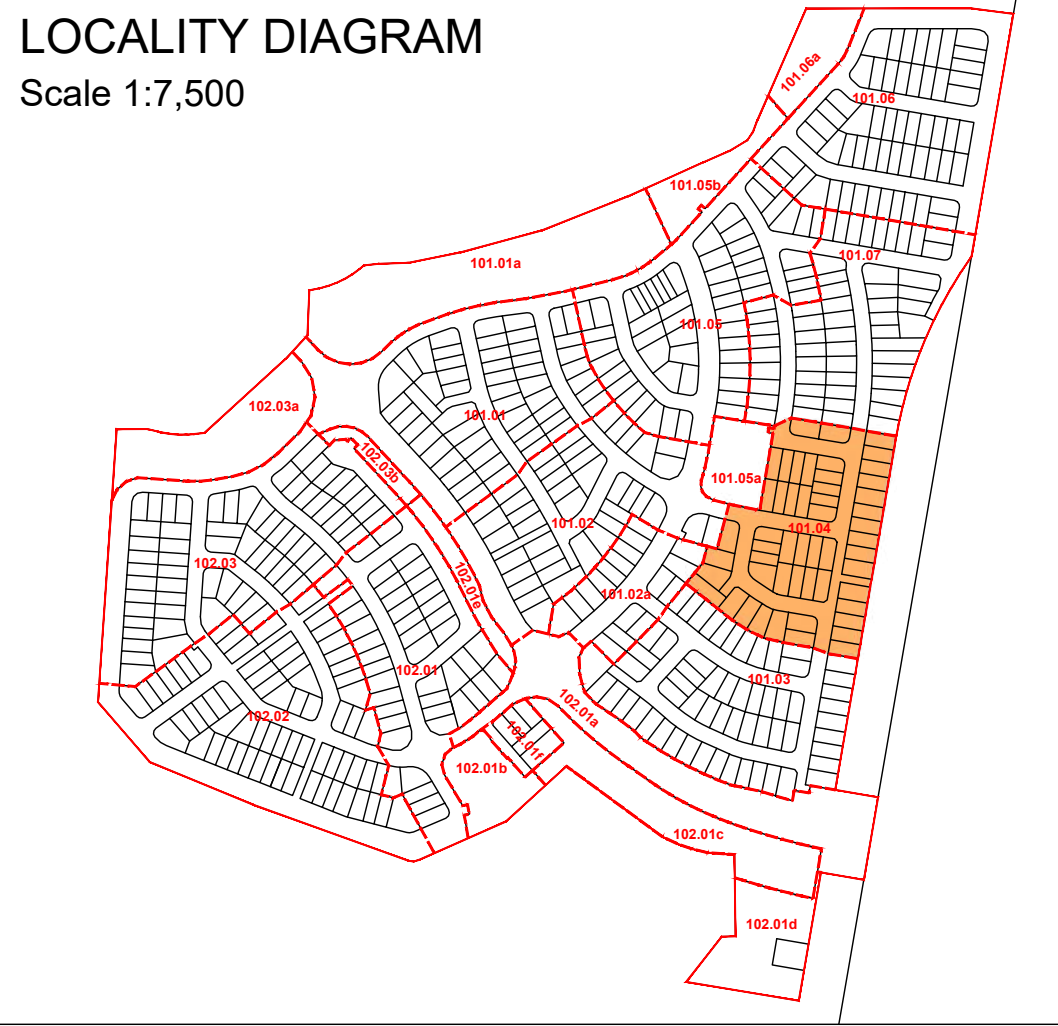
ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.04



LEGEND

- Site Boundary
- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Services Easement
- Indicative Bin Pad location
- Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Villa	V28	11.2m	4	7.7%	0.126 ha
Premium Villa	PV28	12.5m	1	1.9%	0.035 ha
Courtyard	C28	14m	3	5.8%	0.118 ha
Premium Courtyard	PC28	16m	1	1.9%	0.054 ha
Sub Total			9	17.3%	0.333 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Courtyard	C30	14m	16	30.8%	0.689 ha
Premium Courtyard	PC30	16m	10	19.2%	0.497 ha
Traditional	TD30	18m	1	1.9%	0.051 ha
Sub Total			27	51.9%	1.237 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Villa	V32	11.2m	4	7.7%	0.143 ha
Premium Villa	PV32	12.5m	8	15.4%	0.320 ha
Courtyard	C32	14m	4	7.7%	0.194 ha
Sub Total			16	30.8%	0.657 ha
Total Allotments			52	100%	2.227 ha
Land Budget		Area (Ha)			
Area of Subject Site / Stage		3.108 ha	—		
Net Residential Allotments		2.227 ha	71.7%		
Linear Park / Pedestrian Linkage		0.040 ha	1.3%		
Local Road Areas		0.841 ha	27.1%		
Total Area		3.108 ha	100%		

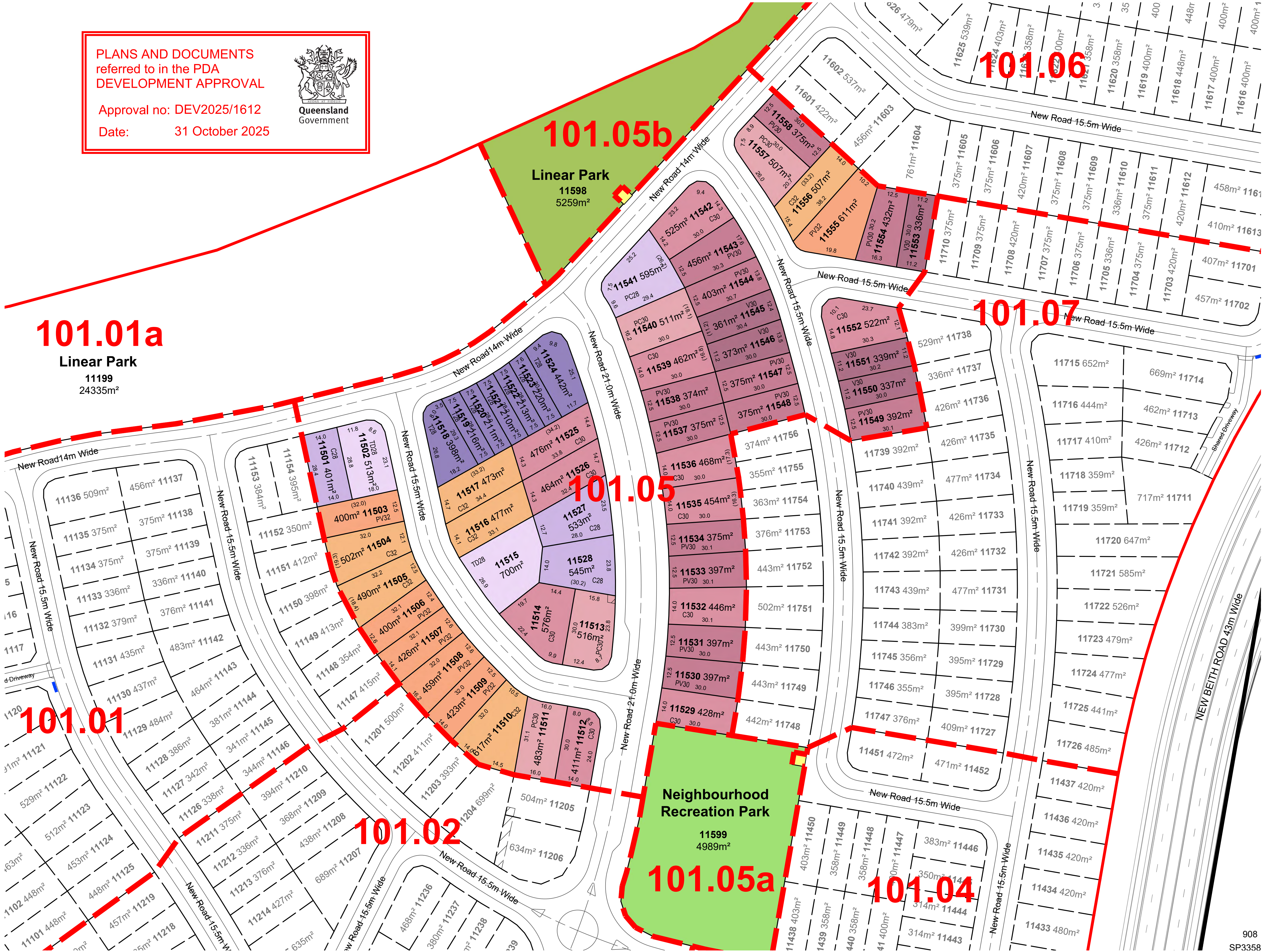


PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2025/1612
Date: 31 October 2025

ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.05

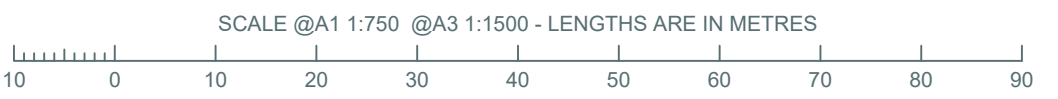
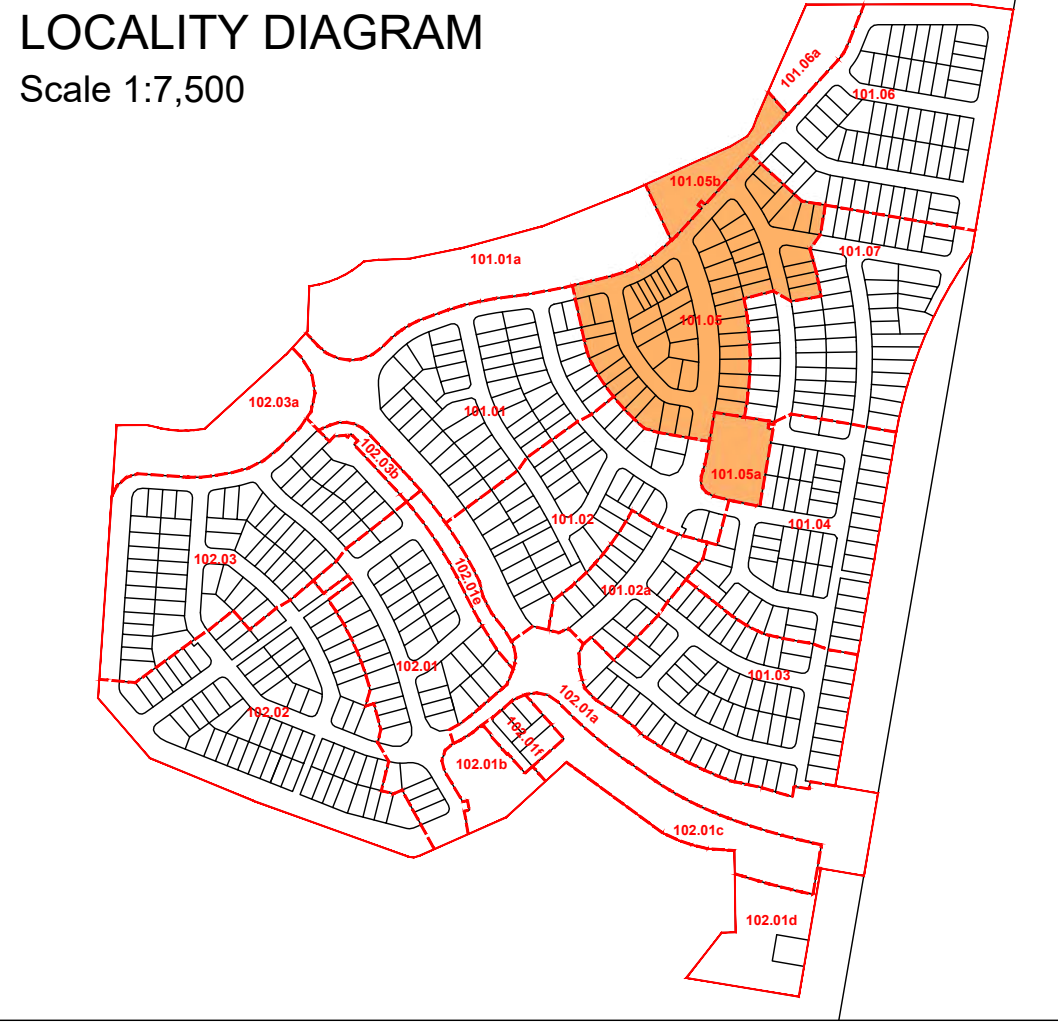
PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL

Approval no: DEV2025/1612
Date: 31 October 2025



- LEGEND
- Site Boundary
 - ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Services Easement
 - Indicative Bin Pad location
 - Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Terrace - Front Loaded	T28	7.5m	7	12.1%	0.191 ha
Courtyard	C28	14m	3	5.2%	0.148 ha
Traditional	TD28	18m	2	3.4%	0.121 ha
Sub Total			13	22.4%	0.519 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	5	8.6%	0.175 ha
Premium Villa	PV30	12.5m	13	22.4%	0.512 ha
Courtyard	C30	14m	11	19.0%	0.523 ha
Premium Courtyard	PC30	16m	4	6.9%	0.202 ha
Sub Total			33	56.9%	1.412 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Premium Villa	PV32	12.5m	6	10.3%	0.272 ha
Courtyard	C32	14m	6	10.3%	0.307 ha
Sub Total			12	20.7%	0.579 ha
Total Allotments			58	100%	2.510 ha
Land Budget		Area (Ha)	%		
Area of Subject Site / Stage		4.754 ha	—		
Net Residential Allotments		2.510 ha	52.8%		
Linear Park / Pedestrian Linkage		0.526 ha	11.1%		
Neighbourhood Recreation Park		0.500 ha	10.5%		
Local Road Areas		1.218 ha	25.6%		
Total Area		4.754 ha	100%		

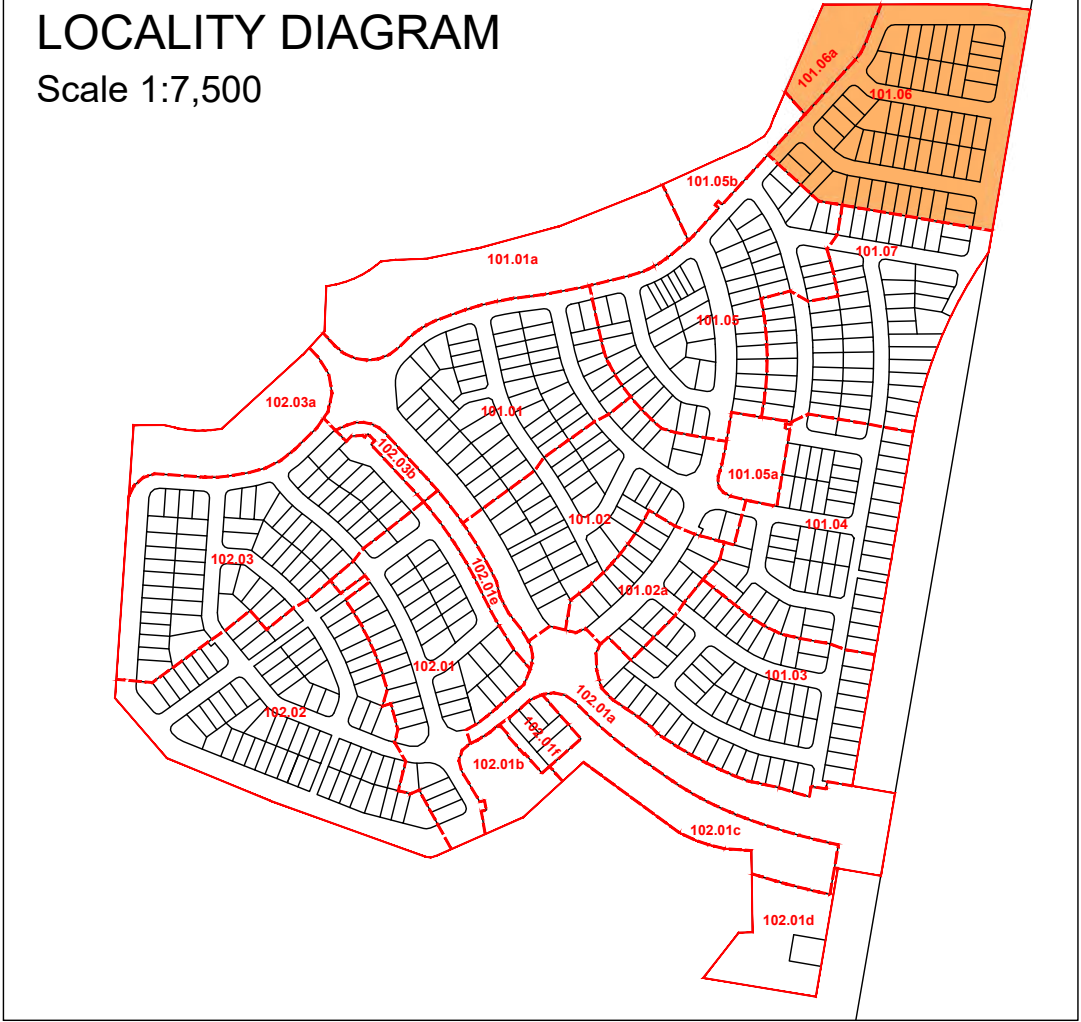


ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.06

LEGEND

- Site Boundary
- ROL 4 Boundary
- Sub-precinct Boundary
- Indicative Bin Pad location
- Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Courtyard	C28	14m	1	1.8%	0.041 ha
Premium Courtyard	PC28	16m	2	3.6%	0.111 ha
Sub Total			3	5.4%	0.152 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	1	1.8%	0.034 ha
Premium Villa	PV30	12.5m	5	8.9%	0.188 ha
Courtyard	C30	14m	6	10.7%	0.263 ha
Premium Courtyard	PC30	16m	3	5.4%	0.146 ha
Traditional	TD30	18m	2	3.6%	0.130 ha
Sub Total			17	30.4%	0.761 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Villa	V32	11.2m	4	7.1%	0.148 ha
Premium Villa	PV32	12.5m	21	37.5%	0.861 ha
Courtyard	C32	14.0m	8	14.3%	0.370 ha
Premium Courtyard	PC32	16.0m	2	3.6%	0.127 ha
Sub Total			35	62.5%	1.506 ha
Multiple Residential	MR (2 dwellings)		1	1.8%	0.057 ha
Total Allotments			56	100%	2.476 ha
Total Dwellings			57		
Land Budget			Area (Ha)	%	
Area of Subject Site / Stage			4.456 ha	—	
Net Residential Allotments			2.476 ha	55.6%	
Linear Park / Pedestrian Linkage			0.646 ha	14.5%	
Local Road Areas			1.334 ha	29.9%	
Total Area			4.456 ha	100%	



CLIENT



SITE ADDRESS
HOMESTEAD DRIVE, MONARCH GLEN

RP DESCRIPTION
Lot 1-3 on SP351245

DRAWN

MF

DRAWING NO.

11731 P 27 Rev K - STG 101.06

DATE

10/10/2025



ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.07

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2025/1612

Date: 31 October 2025



Linear Park
11598
5259m²

Neighbourhood
Recreation Park
11599
4989m²

LEGEND

- Site Boundary
- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Services Easement
- Indicative Bin Pad location
- Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Premium Villa	PV28	12.5m	2	3.6%	0.072 ha
Courtyard	C28	14m	3	5.4%	0.124 ha
Premium Courtyard	PC28	16m	1	1.8%	0.046 ha
Traditional	TD28	18m	1	1.8%	0.072 ha
Sub Total			7	12.5%	0.314 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	7	12.5%	0.248 ha
Premium Villa	PV30	12.5m	17	30.4%	0.664 ha
Courtyard	C30	14m	14	25.0%	0.623 ha
Premium Courtyard	PC30	16m	3	5.4%	0.146 ha
Sub Total			41	73.2%	1.681 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Premium Villa	PV32	12.5m	6	10.7%	0.317 ha
Premium Courtyard	PC32	16m	1	1.8%	0.065 ha
Sub Total			7	12.5%	0.382 ha
Multiple Residential			MR (2 dwellings)	1	1.8%
Total Allotments			56	100%	2.444 ha
Total Dwellings			57		
Land Budget			Area (Ha)	%	
Area of Subject Site / Stage			3.235 ha	—	
Net Residential Allotments			2.444 ha	75.5%	
Local Road Areas			0.791 ha	24.5%	
Total Area			3.235 ha	100%	

LOCALITY DIAGRAM
Scale 1:7,500



SCALE @A1 1:750 @A3 1:1500 - LENGTHS ARE IN METRES



CLIENT



SITE ADDRESS
HOMESTEAD DRIVE, MONARCH GLEN

RP DESCRIPTION
Lot 1-3 on SP351245

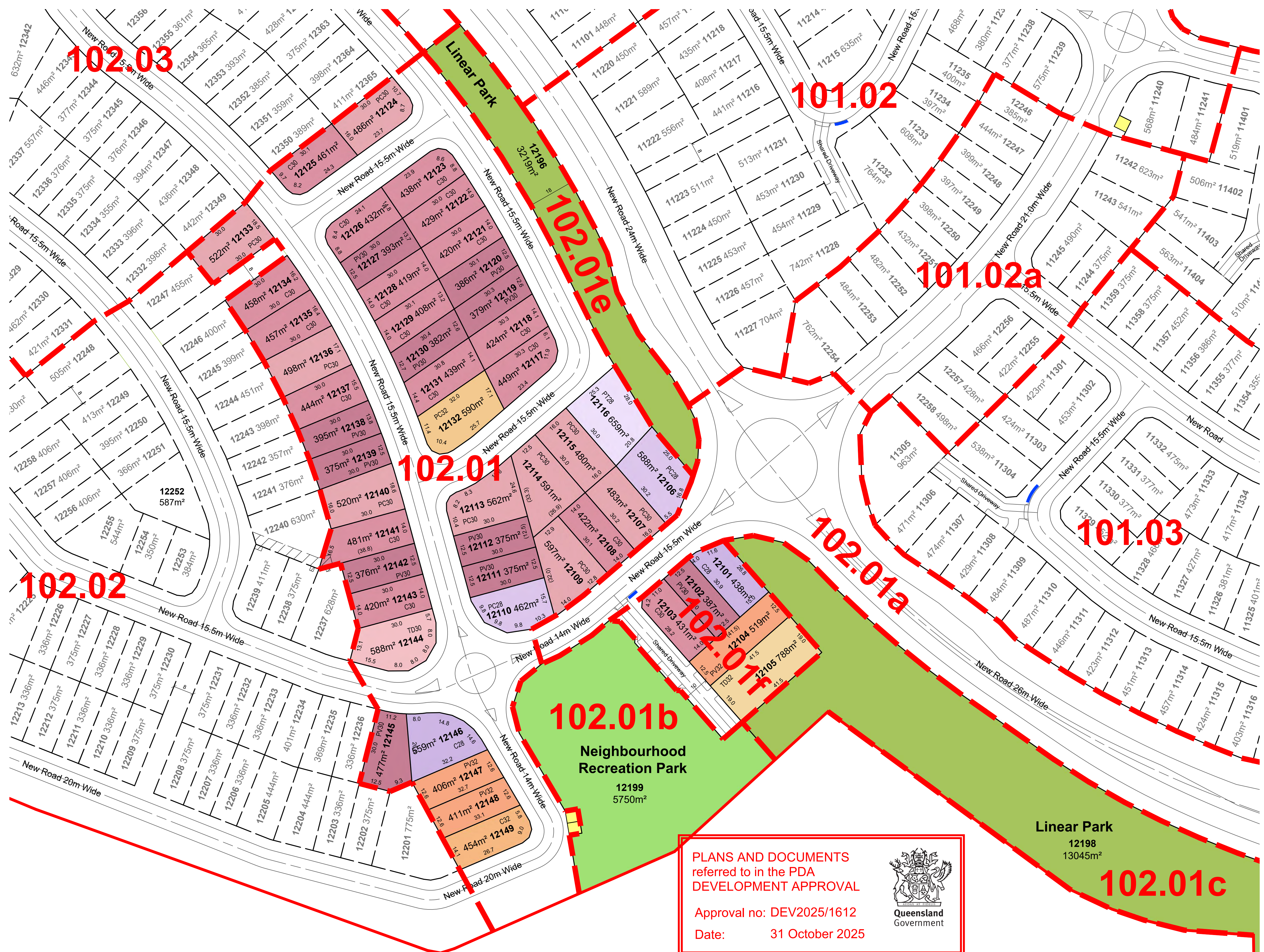
DRAWN
MF

DRAWING NO.
11731 P 27 Rev K - STG 101.07






DATE
10/10/2025



ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 102.01



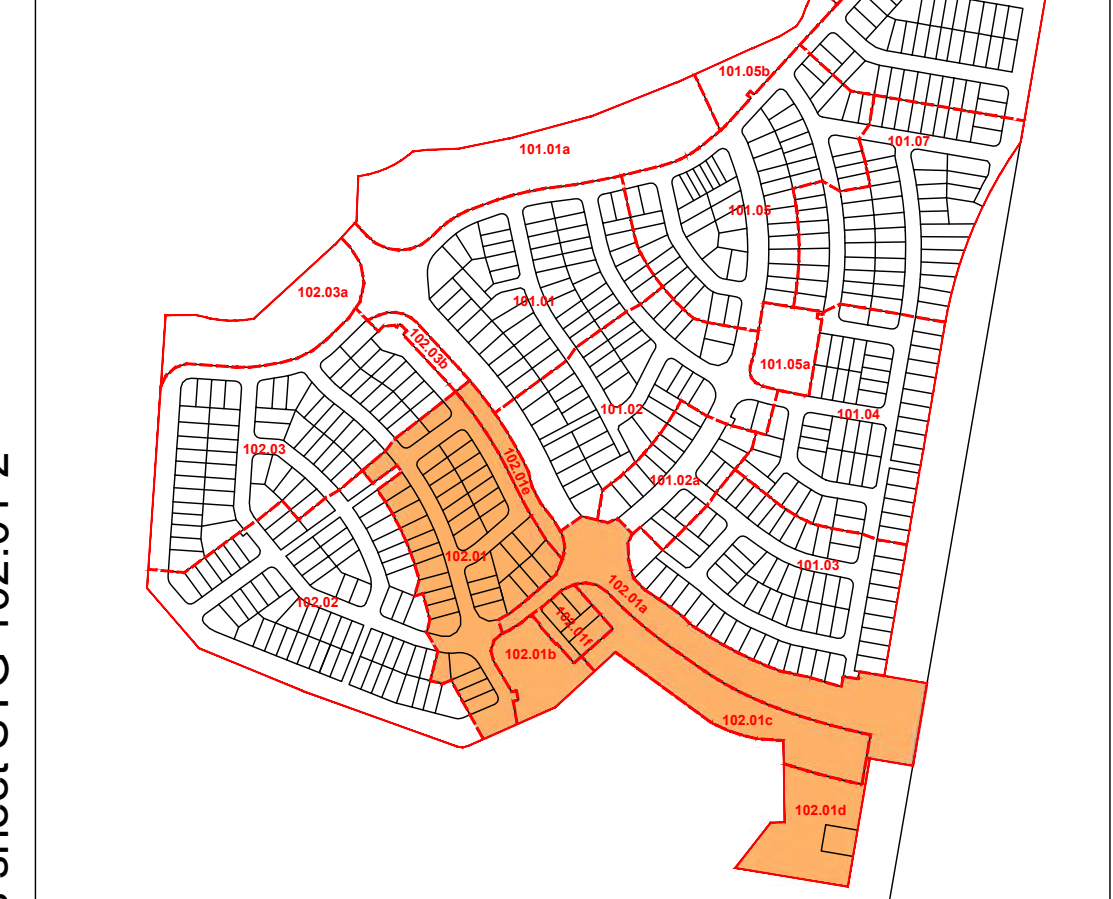
LEGEND

-  ROL 4 Boundary
-  Sub-precinct Boundary
-  Proposed Services Easement
-  Indicative Bin Pad location
-  Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Courtyard	C28	14m	2	4.1%	0.100 ha
Premium Courtyard	PC28	16m	2	4.1%	0.105 ha
Premium Traditional	PT28	20m	1	2.0%	0.066 ha
Sub Total			5	10.2%	0.271 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Premium Villa	PV30	12.5m	11	22.4%	0.430 ha
Courtyard	C30	14m	17	34.7%	0.743 ha
Premium Courtyard	PC30	16m	9	18.4%	0.474 ha
Traditional	TD30	18m	1	2.0%	0.059 ha
Sub Total			38	77.6%	1.706 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Premium Villa	PV32	12.5m	3	6.1%	0.133 ha
Courtyard	C32	14m	1	2.0%	0.045 ha
Premium Courtyard	PC32	16m	1	2.0%	0.060 ha
Traditional	TD32	18m	1	2.0%	0.079 ha
Sub Total			6	12.2%	0.317 ha
Total Allotments			49	100%	2.294 ha
Land Budget			Area (Ha)	%	
Area of Subject Site / Stage			8.566 ha	—	
Net Residential Allotments			2.294 ha	26.8%	
Linear Park / Pedestrian Linkage			1.626 ha	19.0%	
Neighbourhood Recreation Park			0.575 ha	6.7%	
Local Road Areas			1.294 ha	15.1%	
Major Road Areas			1.839 ha	21.5%	
Balance Lot 12196			0.085 ha	1.0%	
Balance Lot 12197			0.853 ha	10.0%	
Total Area			8.566 ha	100%	

LOCALITY DIAGRAM

Scale 1:7,500



SCALE @A1 1:750 @A3 1:1500 - LENGTHS ARE IN METRES

DISCLAIMER

THIS PLAN WAS PREPARED AS A CONCEPTUAL LAYOUT ONLY. IT IS NOT SUITABLE FOR ANY OTHER PURPOSE. PROPERTY DIMENSIONS, AREAS, LOT NUMBERS, AND OTHER FEATURES ARE BASED ON EXISTING INFORMATION AND MAY NOT HAVE BEEN VERIFIED BY SURVEY. THESE DETAILS MAY CHANGE SUBJECT TO OBTAINING APPROVAL OR FURTHER DESIGN. PAVEMENT AND CENTRELINES SHOWN ARE INDICATIVE ONLY AND ARE SUBJECT TO ENGINEERING DESIGN. THE DESIGNS DOCUMENTED HEREIN REMAIN THE PROPERTY OF SAUNDERS HAVILL GROUP AND MUST NOT BE REPRODUCED OR USED IN WHOLE OR PART WITHOUT WRITTEN PERMISSION. SAUNDERS HAVILL GROUP ACCEPTS NO RESPONSIBILITY FOR ANY USE OR RELIANCE BY THIRD PARTIES. REPRODUCTION WITHOUT THIS NOTE IN FULL RENDERS THE INFORMATION INVALID.

PROJECTION: GDA2020 MGA56
 SUBJECT BOUNDARIES: SP351245 PROVIDED BY VERIS, DRAWING REFERENCE "402971 LC RevK" DATED 01/07/2025
 BULK EARTHWORKS: PROVIDED BY COLLIERIS, DWG REFERENCE "24-0750_X_BASE_DESIGN" DATED 09/09/2025
 BUSHFIRE MANAGEMENT PLAN: PROVIDED BY COVEY, DOCUMENT REFERENCE "243951N24-0286 RPT ISSUE E"
 DATED APRIL 2025
 ROAD TRAFFIC NOISE ASSESSMENT: PROVIDED BY ATP CONSULTING ENGINEERS, DOCUMENT REFERENCE
 "ATP240148-R-RTNA-01-P101&P102" DATED APRIL 2025



SITE ADDRESS
HOMESTEAD DRIVE, MONARCH GLEN
RP DESCRIPTION
Lot 1-3 on SP351245

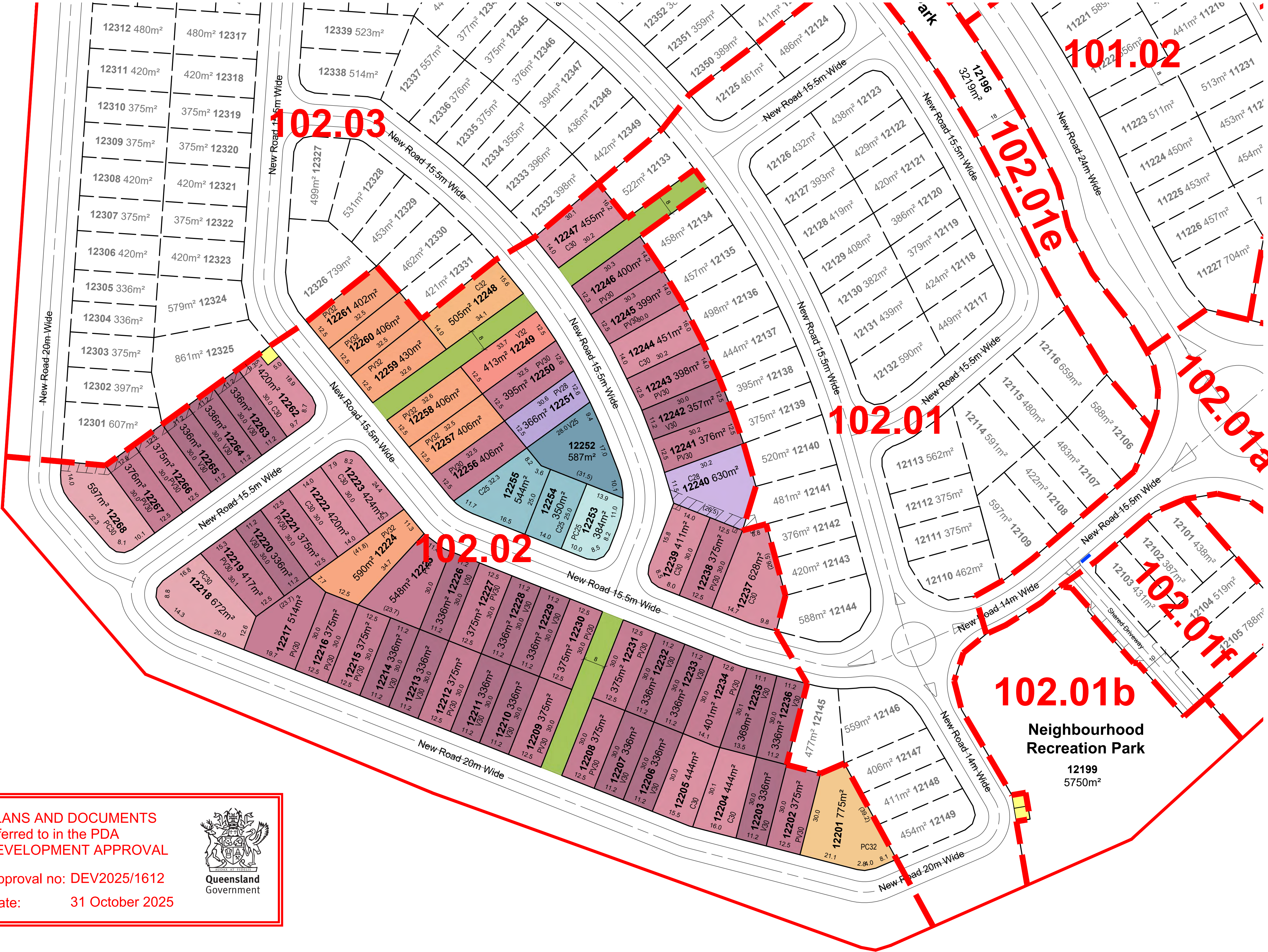
DRAWN MF	DATE 10/10/2025
DRAWING NO. 11731 P 27 Rev K - STG 102.01-1	



ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 102.01



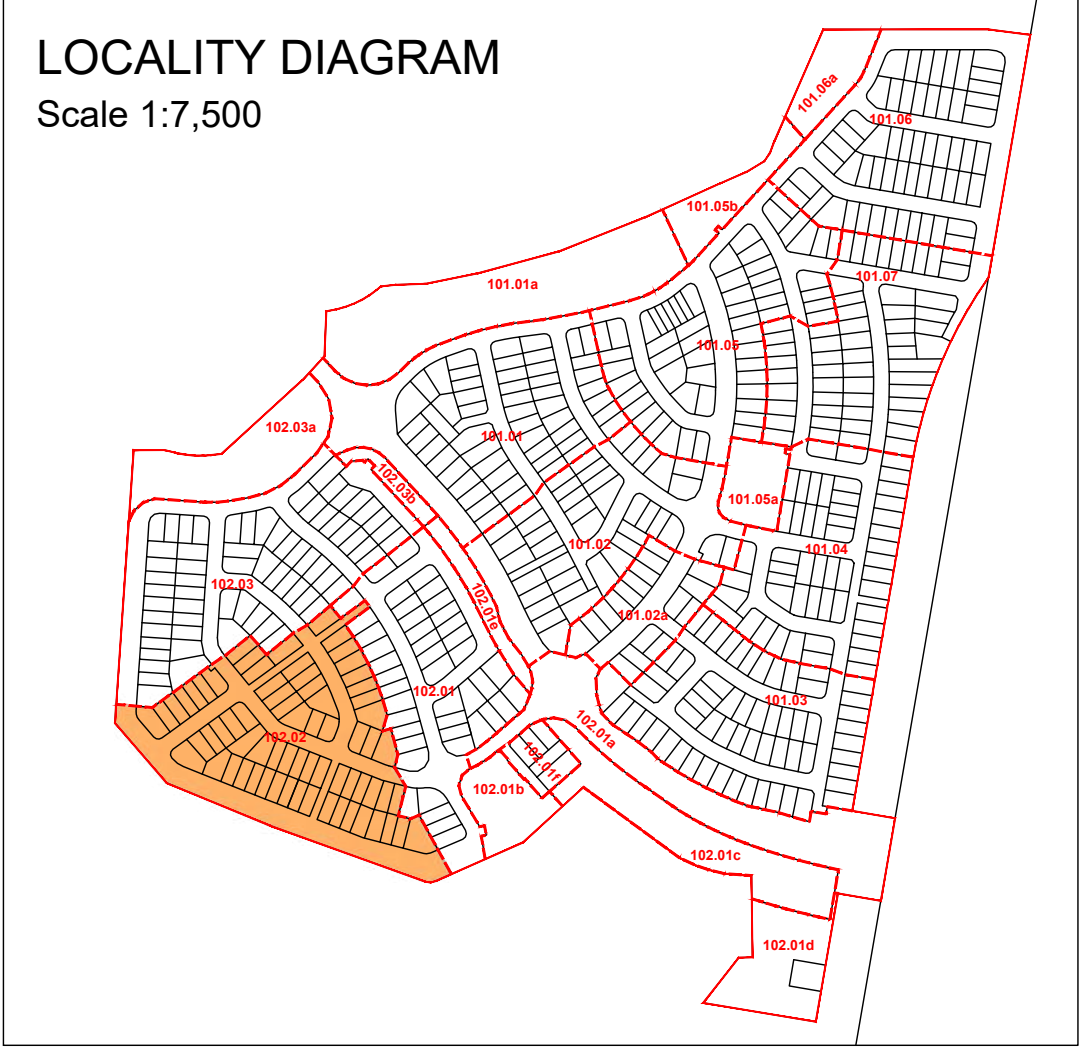
ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 102.02



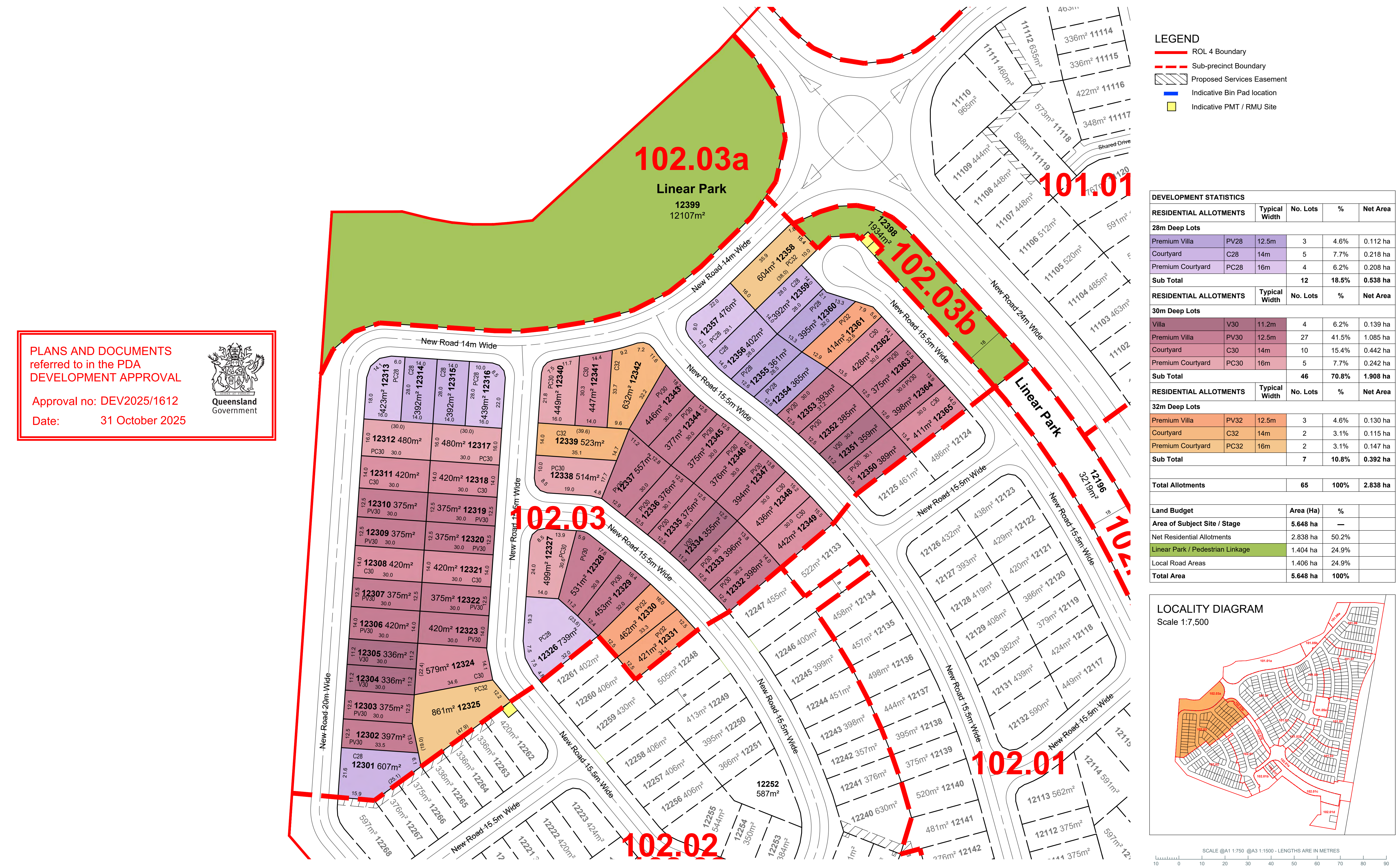
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2025/1612

Date: 31 October 2025



ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 102.03



ROL 4: PLAN OF DEVELOPMENT - DESIGN CRITERIA

NOTES

The following criteria apply to a House (Detached), Multiple Residential, Display home, and Sales Office proposals.

Planning Context

- In accordance with the provisions of the Greater Flagstone Urban Development Area Development Scheme (Development Scheme), building work and operational work are exempt development where in accordance with, or associated with, this Plan of Development (PoD).
- All relevant provisions of this PoD must be satisfied prior to the issuance of a Building Approval.
- The provisions of the Development Scheme will apply where development does not comply with all provisions of the Plan of Development.
- The Development Scheme definitions prevail over all other planning instruments to the extent of any inconsistency.

General

- All development is to be undertaken in accordance with Development Approval, and Queensland Development Code (QDC), except as varied below.
- Nominated building location envelopes may be constrained by future easements and/or services.
- Buildings shall be constructed in accordance with the approved Bushfire Report.
- Where allotments are so marked on Plan of Development - Envelope Plans, residential buildings must be designed and constructed to comply with the approved Noise Impact Assessment.

Setbacks

- Setbacks are as the relevant approved Plan of Development Table, unless specified otherwise on this plan.
- The permitted location of built to boundary walls are indicated on the Plan of Development.
- Where built to boundary walls are not adopted, side setbacks shall be in accordance with the requirements of the Non-Built to Boundary Setbacks nominated in Plan Of Development Table.
- Setback, for a building or structure, means the shortest distance, measured horizontally, between the outermost projection of the building or structure to the vertical projection of the boundary of the lot where the building or structure is.
- The dwelling and associated projections (gutters etc.) must be located wholly within the subject lot, unless encroachment rights are secured by way of easement (or other suitable mechanism).
- Other than built to boundary walls, the outside face of the fascia, or the roof structure where there is no fascia, or attached sunhoods or the like (not including retractable blinds, fixed screens, rainwater fittings, or ornamental attachments) is permitted to extend 600mm within the prescribed setback, however cannot encroach closer than 450mm from the boundary.
- The length of the built to boundary walls shall be no more than:
 - 75% of the boundary length for a house on a lot width of 7.5m - 9.5m
 - 50% of the boundary length for a house on a lot width of greater than 9.5m, or 15m, which ever is greater.
- Walls over 8m in length facing either the primary or secondary street without windows or articulation are not permitted.
- A lot can have only one primary frontage. Primary frontages are nominated as per driveway frontages, unless specified otherwise on the Plan of Development - Envelope Plans;
- The primary street frontage elevation is to be articulated to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade
 - Balconies, porches or verandahs
 - Shadow lines created on the building through minor changes in the façade (100mm minimum).
- Entrance porticoes may be located closer to the property boundary than stated in POD Table, provided that the portico:
 - is located no less than 1.4m from the front property boundary,
 - Does not exceed maximum height of 4.5m,
 - Does not exceed a depth of 2.5m; and
 - The portico remains open and not enclosed.

Corner Lot Setback

- A corner lot is a lot that adjoins the intersection of two streets (collector, access street or access place). This excludes those lots that abut a shared access driveway, pedestrian link /connection / threshold, landscape buffer &/or open space.
- Corner lots are interpreted as having a Primary and Secondary frontage and two side boundaries for the purposes of determining building setbacks (ie. No rear boundary setback applies).
- For corner lots (excluding a corner intersecting with a laneway), no building or structure over 2m high is built within a 6m x 6m truncation at the corner of two road frontages (refer Plan of Development Table).

Building Height

- The maximum building height is 9.0m.
- Buildings must have no more than 2 storeys.
- Maximum height of any structure to the built to boundary wall is 3.5m from finish ground level.

Site Cover

- Site cover means the portion of the site, expressed as a percentage, that will be covered by a building or structure, measured to its outermost projection, after the development is carried out, other than a building or structure, or part of a building or structure, that is--
 - in a landscaped or open space area, including, for example, a gazebo or shade structure; or
 - a basement that is completely below ground level and used for car parking; or
 - the eaves of a building; or
 - a sun shade.

Private Open Space and Amenity

- Each house / dwelling unit has a clearly defined outdoor living space which:
 - Has an area of at least:
 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - Is accessible from a living area; and
 - Has a ground slope of not more than 1 in 10;

Parking and Driveways

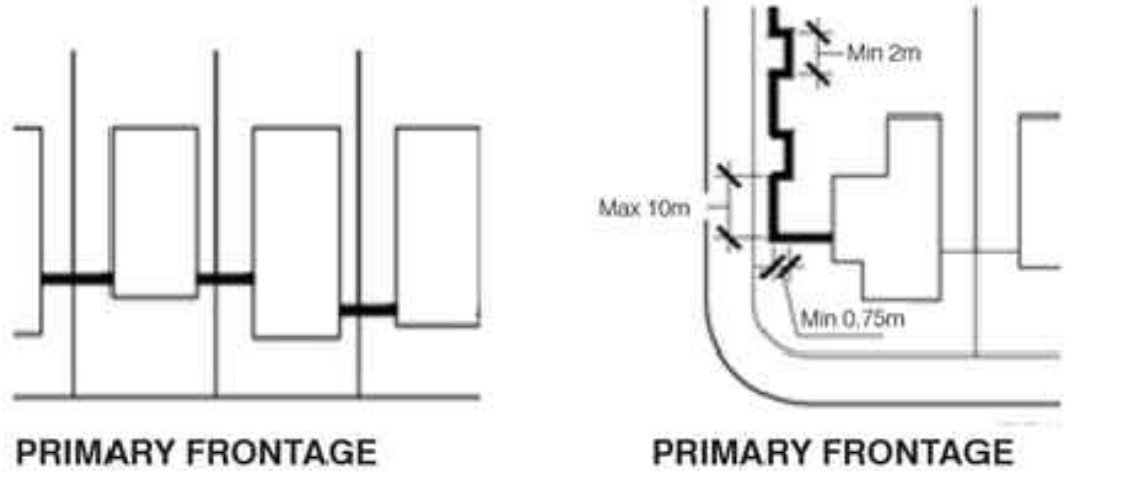
- A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
- Garages:
 - Where single storey on lots less than 10m, single or tandem garages must be used. Where double storey on a lot less than 10m, double garages can be used provided the garage is setback a min 1.0m from the first floor balcony / façade and the main entrance address the street.
 - For a dwelling on a lot with a primary frontage less than 10.0m the garage door width must not exceed 3.0m for single storey.
 - A single storey dwelling on a lot with a primary frontage equal to or greater than 10m and less than 12.5m must adhere to the following criteria:
 - The front facing building wall, which comprises the garage door, to not exceed an external width of 5.7m
 - The garage door:
 - Width does not exceed 4.8m; and
 - Has a minimum 450mm eave above it; and
 - Garages are to be setback 0.5m behind the main face of the dwelling.
 - Setback a minimum of 240mm behind the pillar of the garage door; and
 - Has a sectional, tilt (if accommodating architectural cladding or elements) or roller door.
 - The front façade of the dwelling is to be forward of the alignment of the garage wall, and include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. ; or
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door. The verandah, portico or porch is to include front piers with distinct materials and/or colours of sufficient mass to compliment the overall facade design.
 - A double storey dwelling on a lot with a primary frontage equal to or greater than 10m and less than 12.5m must adhere to the following criteria:
 - The front facing building wall, which comprises the garage door, to not exceed an external width of 5.7m
 - The garage door:
 - Width does not exceed 4.8m; and
 - Garages are to be setback 1.0m behind the main face of the dwelling at the ground floor.
 - Setback a minimum of 240mm behind the pillar of the garage door; and

- Has a sectional, tilt (if accommodating architectural cladding or elements) or roller door.
 - The front entrance door is to be visible and identifiable from the street.
- A dwelling on a lot with a primary frontage of 12.5m or greater must adhere to the following criteria:
 - Must have a garage door not exceeding 40% of the lot frontage
 - Double garages are to be setback 1.0m behind the main face of the dwelling at the ground floor.
- The maximum width of a driveway at the lot boundary shall be:
 - 4.8m for a dwelling with a double garage with a lot frontage of 12.5m or greater;
 - 3.5m for a dwelling with a double garage with a lot frontage equal to or greater than 10m and less than 12.5m; or
 - 3.0m for a dwelling with single or tandem garage on any lot frontage.
 - Garages are to be located as nominated on the Plan of Development - Envelope Plans, or in an alternate location subject to confirmation that there is no conflict with proposed/existing services.
 - A maximum of one driveway per dwelling is permitted.
 - The driveway finish must not be plain concrete.
 - Driveways are to be:
 - a minimum distance of 6m from an intersection of one street with another street; and
 - designed and constructed in accordance with approval / permit requirements of Logan City Council.

Retaining Walls

- Other than walls erected by the developer, retaining walls:
 - must be tiered 1m vertical and 1m horizontal where forward of the building line to any street, park or lane and visible from the public realm; and
 - cannot exceed 1.5m in height without stepping elements incorporated.
 - cannot be constructed out of timber or timber elements
 - if visible from the street, concrete sleeper must not be grey concrete colour finish.
 - retaining wall must contribute to a coherent and visually pleasing experience with architecture design of home.
- Where on a lot with a rear retaining wall exceeding 2.0m above ground level (or where identified on the Plan of Development - Envelope Plans), the Rear Setback is as per Plan of Development Table.
- All retaining walls over 1.0m in height must be certified by an RPEQ.

Fencing



- Primary frontage requirements:
 - The maximum fence height is 1.8m;
 - Fences are not permitted along road frontages forward of the building; and
 - Side boundary fences are to be recessed at least 1m behind the wall addressing the primary road frontage (as per diagram).
- For rear loaded terrace lots the primary frontage requirement are as follows
 - A maximum fence height of 1.5m;
 - Fences are permitted along the Primary Frontage and the side boundaries forward of the facade facing the Primary Frontage: and
 - Fences must be a least 50% transparent.
 - Fences on the primary frontage must not be constructed using timber
 - Street numbers and letterboxes must be intergrated into the fencing construction

- Within laneways, 1.8m high fences are permitted to screen private open space, car parking and servicing area. Any fencing area above 1.5m in height to be at least 50% transparent.
- Secondary frontage requirements:
 - Fences to Secondary Frontages (Side) of Corner Lots may extend beyond the face of the secondary facade only on the basis the fencing visible from the public area is:
 - A maximum fence height of 1.8m;
 - Solid up to a height of 1.5m with any fencing above 1.5m in height being at least 50% transparent or the fence can be at least 25% transparent overall where the transparency is consistent across the full area of the fence (ie. transparent sections cannot be located solely at ground level); and
 - Does not extend for lengths greater than 10m without a landscaped recess 2m in length and 0.75m deep (as per diagram).
- Pedestrian link requirements:
 - Fences to pedestrian links:
 - A maximum fence height of 1.8m; and
 - Solid up to a height of 1.5m with any fencing above 1.5m in height being at least 50% transparent or the fence can be at least 25% transparent overall where the transparency is consistent across the full area of the fence (i.e. transparent sections cannot be located solely at ground level).

Letterboxes

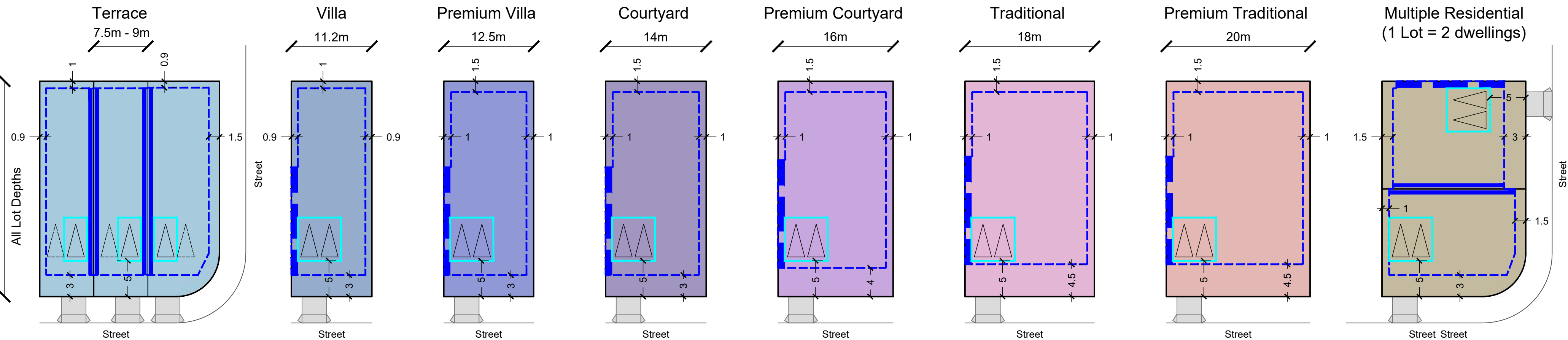
- Letterboxes for the dwelling shall be located on the primary street frontage. Letterboxes are not permitted in laneways.

Structures and Services

- Screened drying areas are to be located behind the main face of the dwellings.
- Rubbish bin areas are to be located behind the main face of the dwellings or stored so as to not be visible from the public realm.

PLAN OF DEVELOPMENT TABLE										
ALLOTMENT TYPE		Terrace	Villa	Premium Villa	Courtyard	Premium Courtyard	Traditional	Premium Traditional	Multiple Residential (2 dwellings)	
		7.5 - 9.5m	11.2m	12.5m	14m	16m	18m	20m		
FRONT SETBACKS										
Primary Frontage	To Wall (Ground Floor)	3.0m	3.0m	3.0m	3.0m	4.0m	4.5m	4.5m	3.0m	
	To Wall (First Floor)	3.0m	3.0m	3.0m	3.0m	4.0m	4.5m	4.5m	3.0m	
	To Garage Door	5.0m	5.0m	5.0m	5.0m	5.0m	5.0m	5.0m	5.0m	
Secondary Frontage	To Wall (Ground Floor)	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	
	To Wall (First Floor)	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	
	To Garage Door	N/A	5.0m	5.0m	5.0m	5.0m	5.0m	5.0m	5.0m	
SIDE / REAR SETBACKS										
From any part of the side or rear boundary of a lot where: - on the low side of a retaining wall; and - the total wall height at that part of the side or rear boundary is greater than 2.0m total height.		To Wall (Ground Floor)	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	
		To Wall (First Floor)	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m
For all other side / rear boundaries	Rear Setback	To Wall (Ground Floor)	1.0m	1.0m	1.5m	1.5m	1.5m	1.5m	1.5m	
		To Wall (First Floor)	1.0m	1.0m	2.0m	2.0m	2.0m	2.0m	2.0m	2.0m
	Side Setback – Built to Boundary	To Wall (Ground Floor)	0 - 0.3m	0 – 0.3m	0 – 0.3m	0 – 0.3m	0 – 0.3m	0 – 0.3m	0 – 0.3m	0 – 0.3m
		To Wall (First Floor)	0 - 0.3m	0.9m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m
	Side Setback – Non-Built to Boundary	To Wall (Ground Floor)	0.9m	0.9m	1.0m	1.0m	1.0m	1.0m	1.2m	1.0m
		To Wall (First Floor)	0.9m	0.9m	1.0m	1.0m	1.5m	1.5m	2.0m	1.0m
Site Cover (Maximum)		75%	65%	65%	60%	60%	60%	60%	70%	
Note: Additional Setbacks may be required to ensure the building envelope does not encroach past the Bushfire Reach of BAL29										

TYPICAL LOT DIAGRAM



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Approval no: DEV2025/1612
Date: 31 October 2025

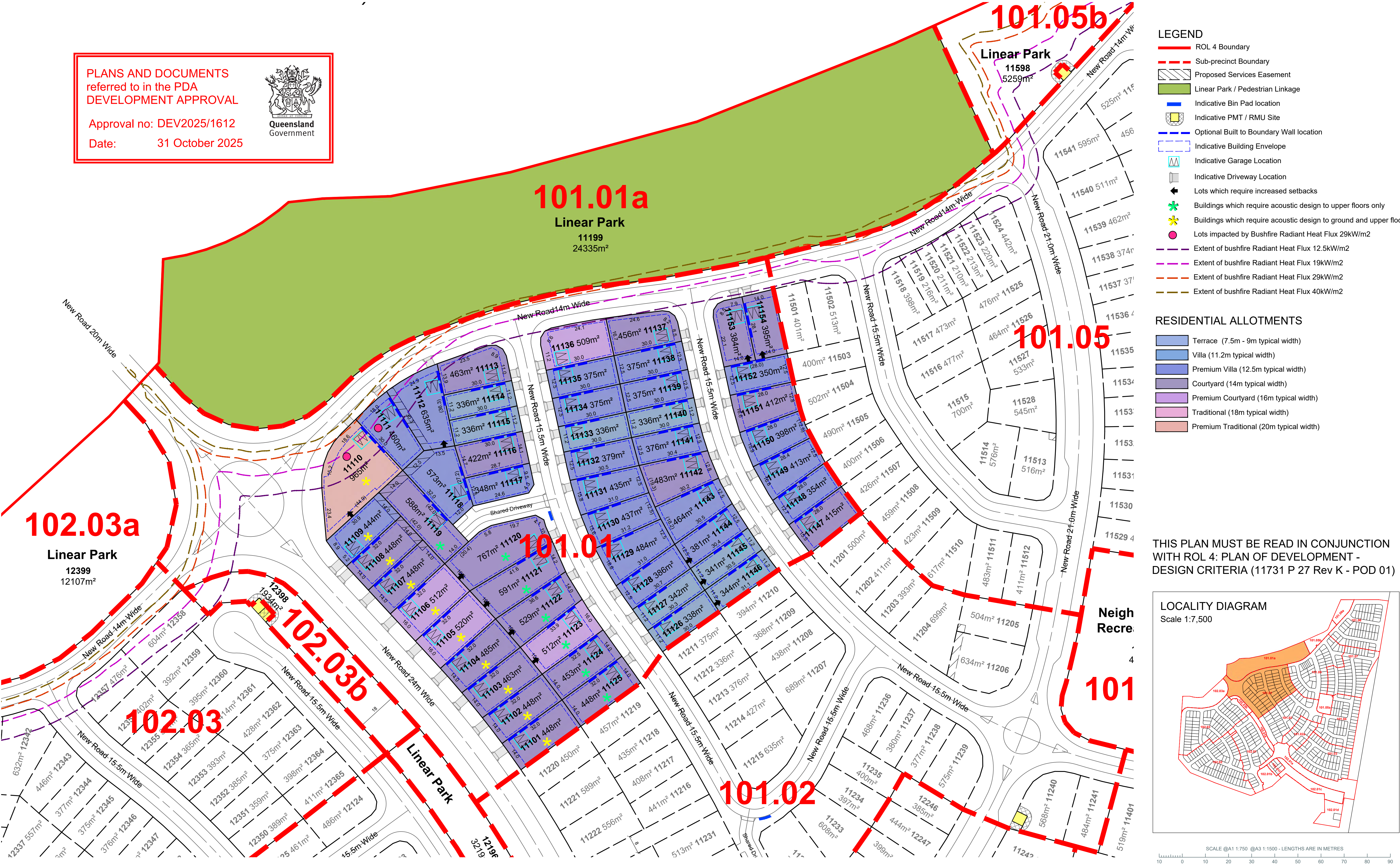


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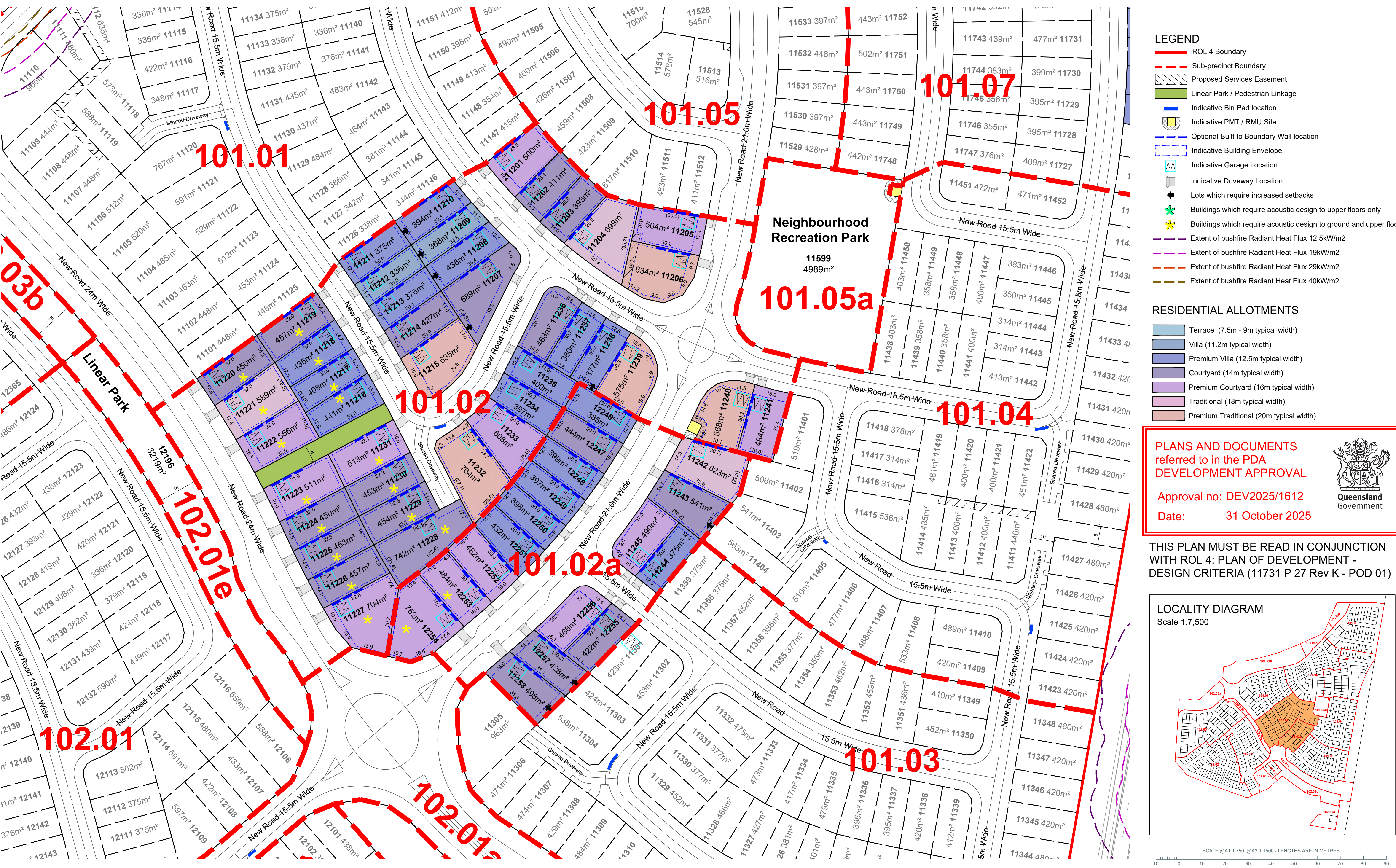
- Optional Built to Boundary Wall location
- Mandatory Built to Boundary Wall location
- Indicative Building Envelope
- Indicative Garage Location
- Indicative Driveway Location



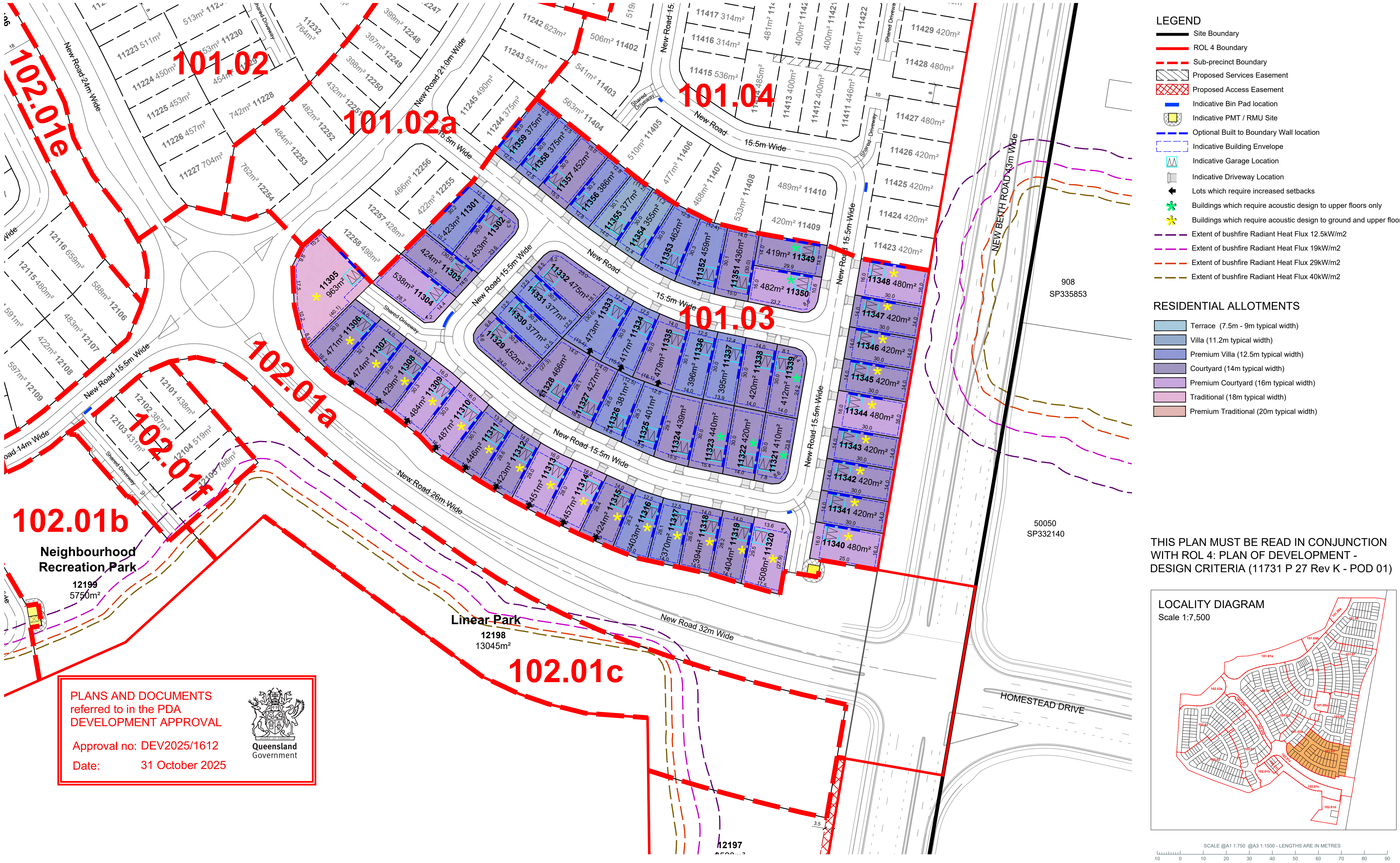
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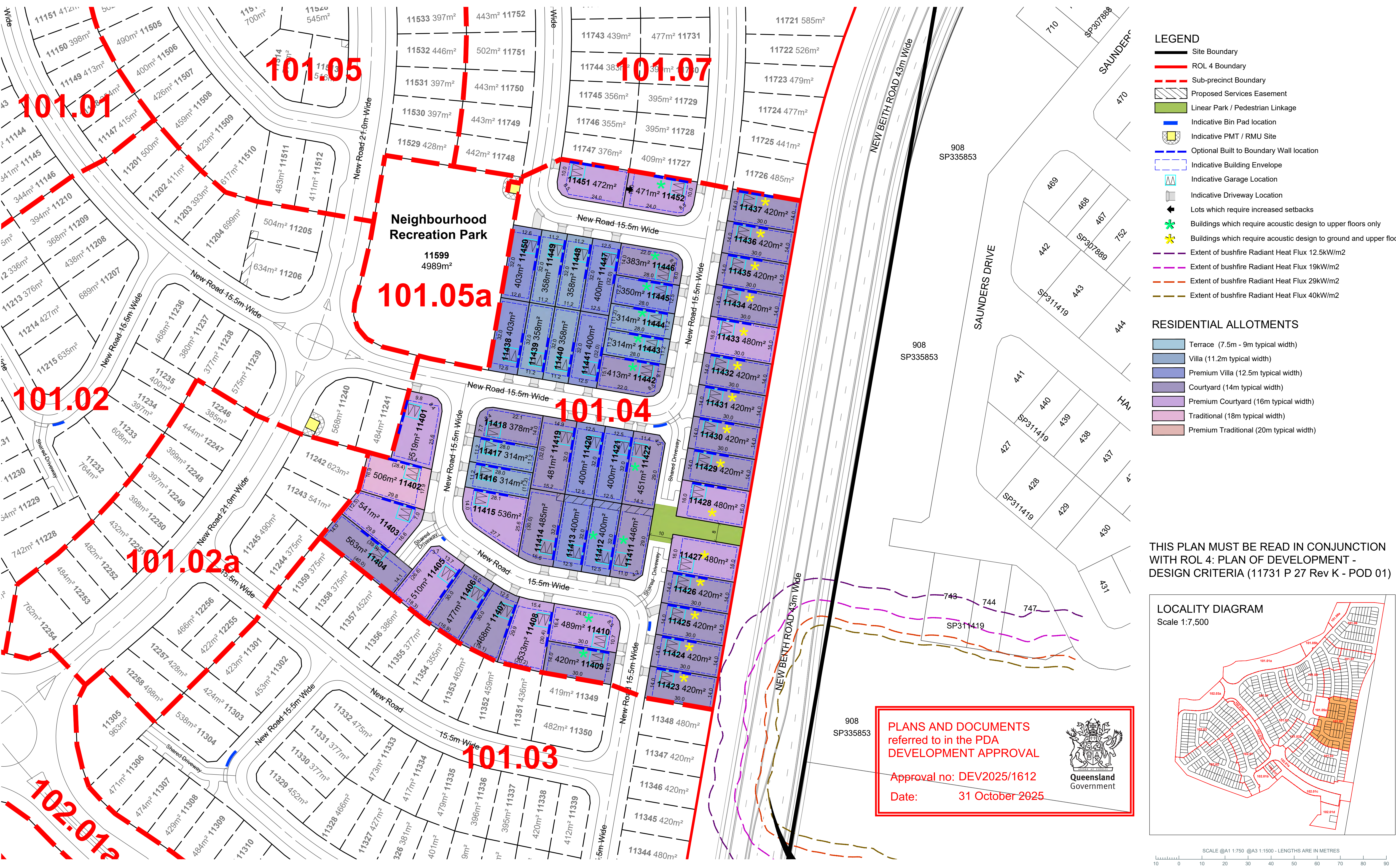
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ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 101.03



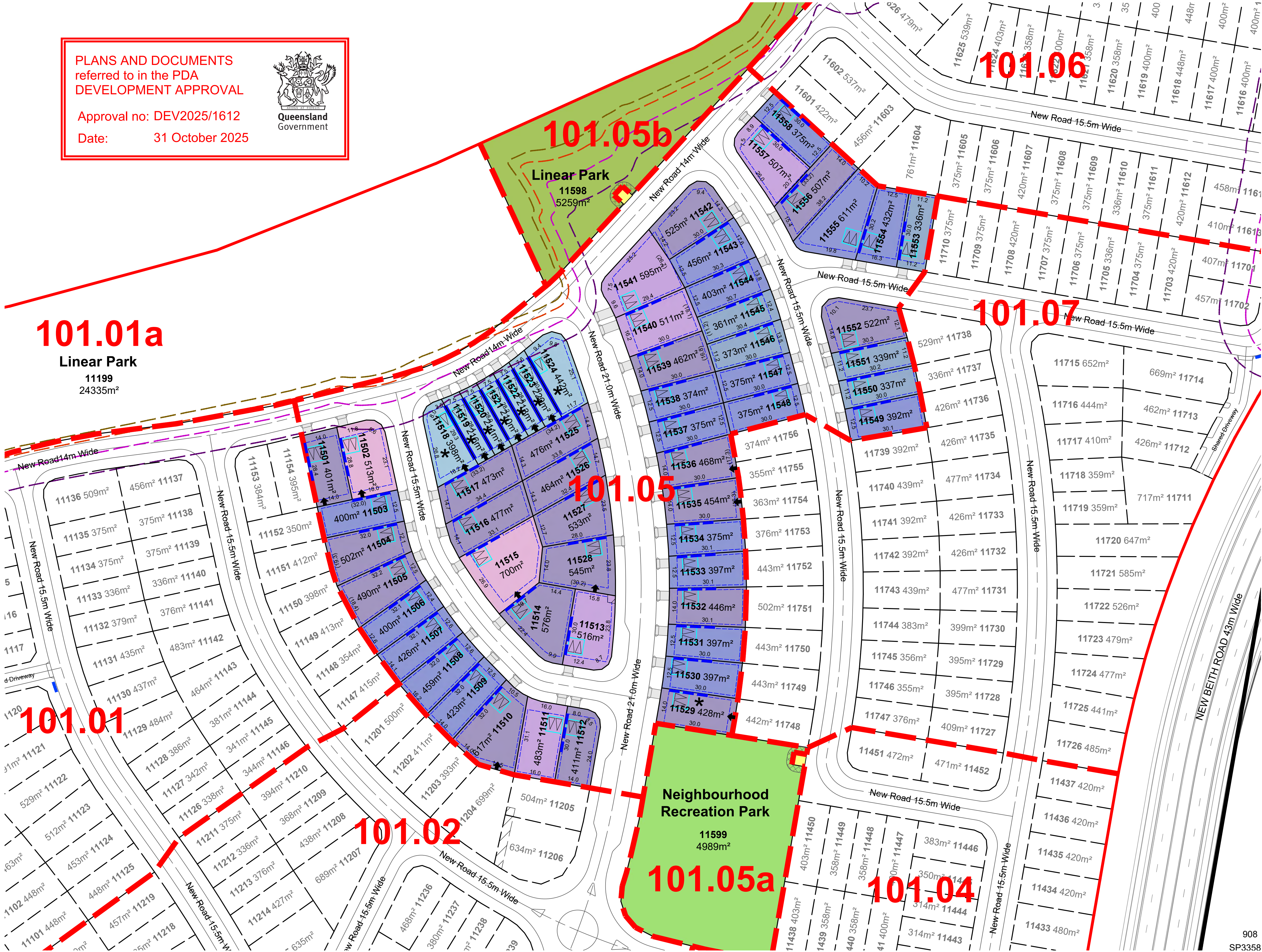
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ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 101.05

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

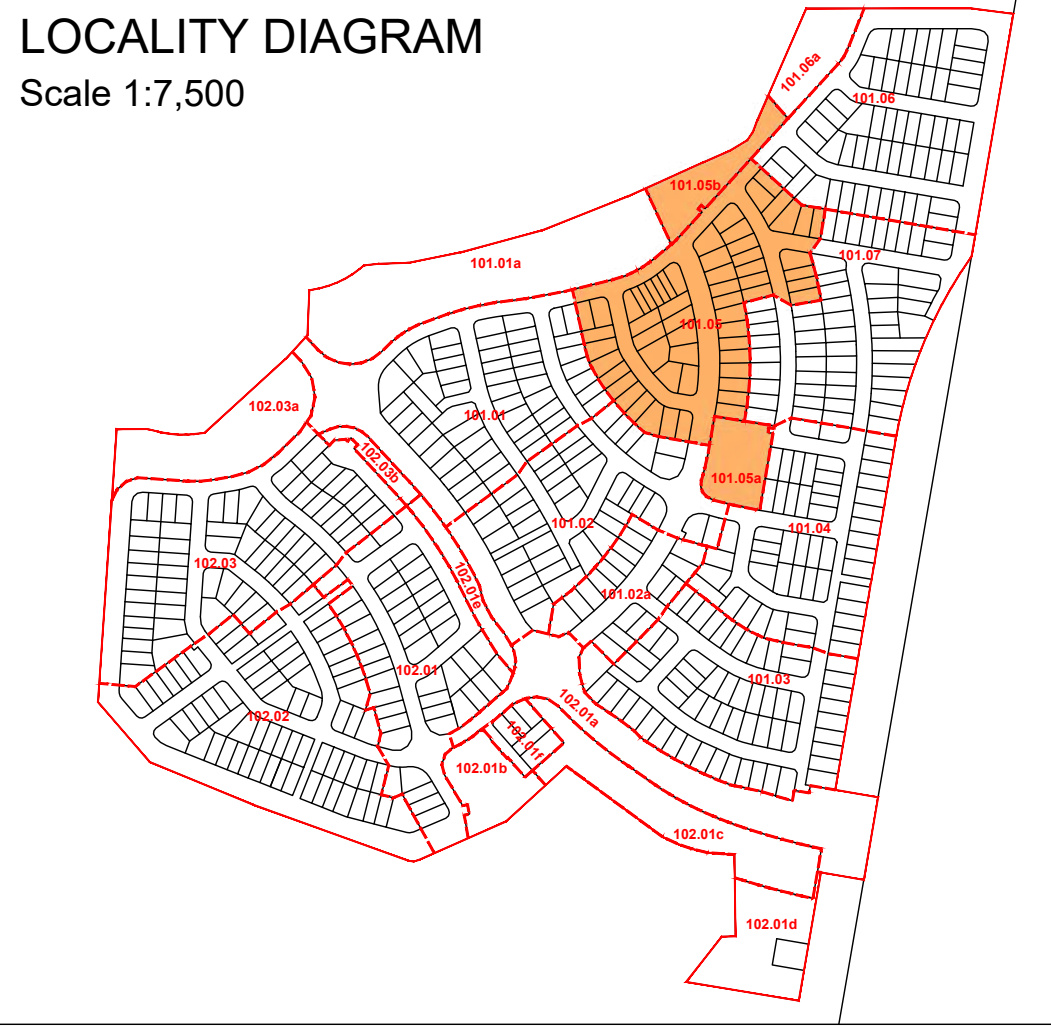
Approval no: DEV2025/1612
Date: 31 October 2025



- LEGEND**
- ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Services Easement
 - Linear Park / Pedestrian Linkage
 - Neighbourhood Recreation Park
 - Indicative Bin Pad location
 - Indicative PMT / RMU Site
 - Optional Built to Boundary Wall location
 - Mandatory Built to Boundary Wall location
 - Indicative Building Envelope
 - Indicative Garage Location
 - Indicative Garage Location (potential additional carpark where meeting specified criteria)
 - Indicative Driveway Location
 - Lots which require increased setbacks
 - Mandatory Two Storey Dwelling Lot
 - Buildings which require acoustic design to upper floors only
 - Buildings which require acoustic design to ground and upper floors
 - Extent of bushfire Radiant Heat Flux 12.5kW/m2
 - Extent of bushfire Radiant Heat Flux 19kW/m2
 - Extent of bushfire Radiant Heat Flux 29kW/m2
 - Extent of bushfire Radiant Heat Flux 40kW/m2

- RESIDENTIAL ALLOTMENTS**
- Terrace (7.5m - 9m typical width)
 - Villa (11.2m typical width)
 - Premium Villa (12.5m typical width)
 - Courtyard (14m typical width)
 - Premium Courtyard (16m typical width)
 - Traditional (18m typical width)
 - Premium Traditional (20m typical width)

THIS PLAN MUST BE READ IN CONJUNCTION
WITH ROL 4: PLAN OF DEVELOPMENT -
DESIGN CRITERIA (11731 P 27 Rev K - POD 01)



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ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 101.06

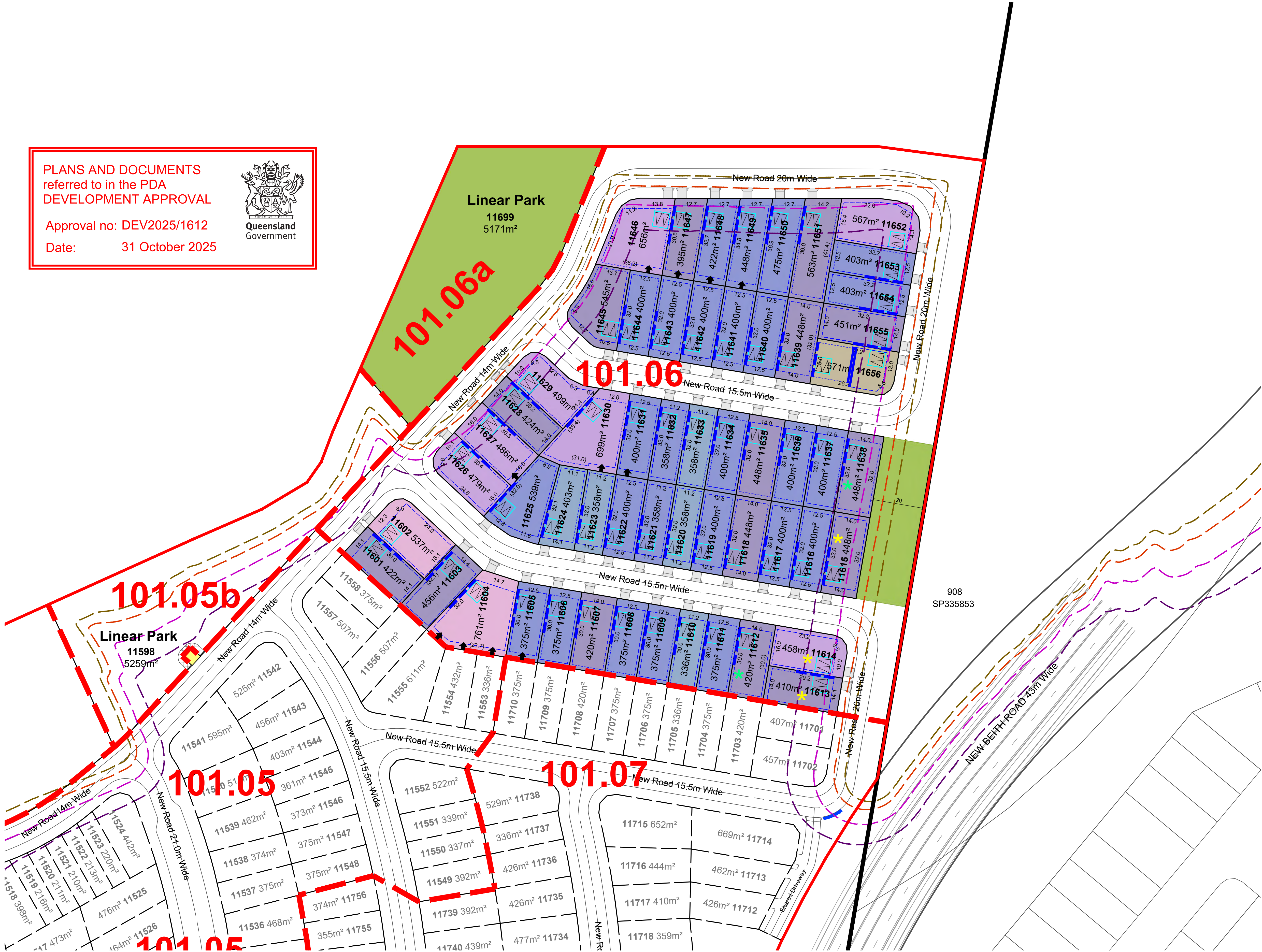
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2025/1612

Date: 31 October 2025



Queensland Government



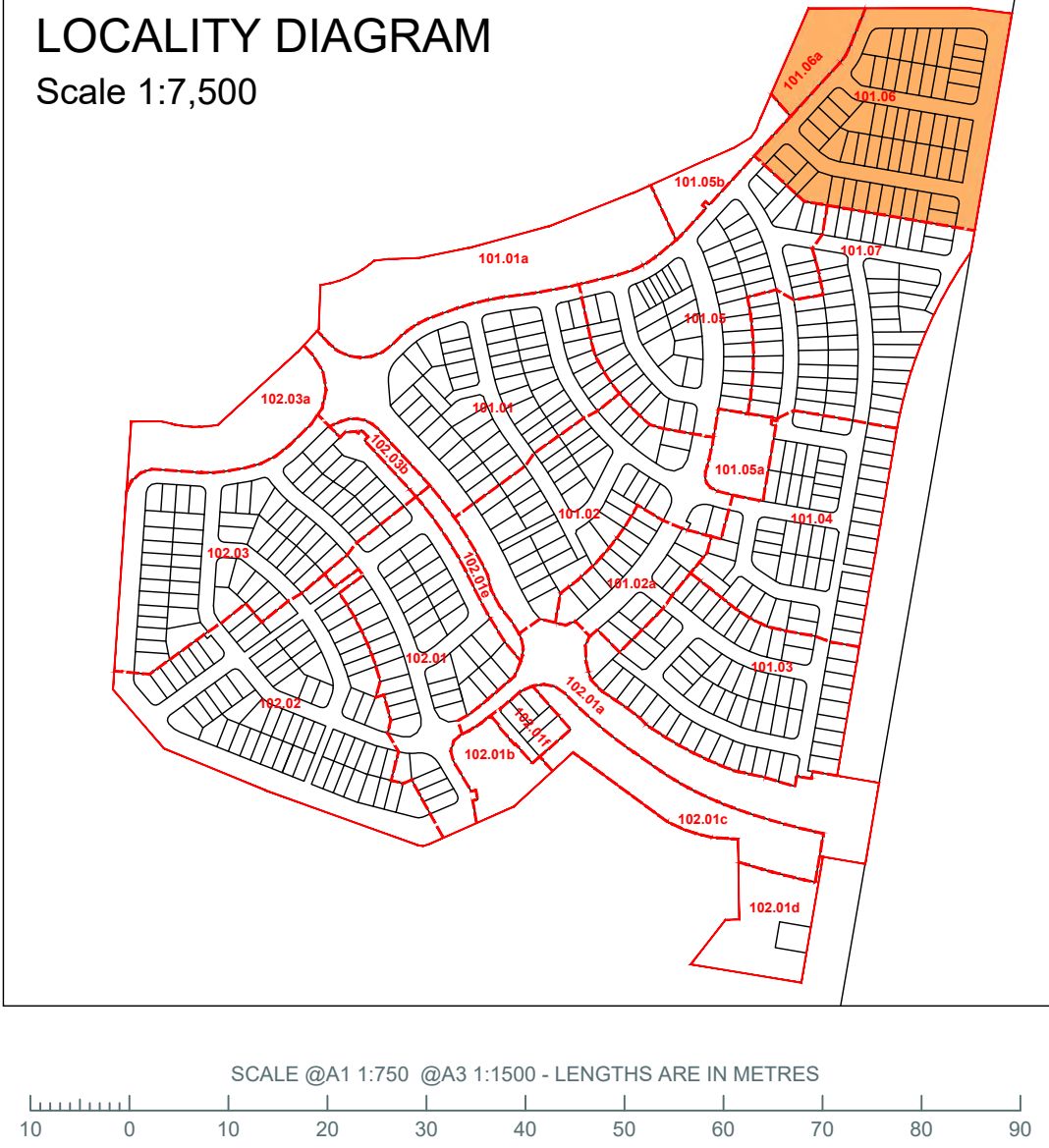
LEGEND

- Site Boundary
- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Services Easement
- Linear Park / Pedestrian Linkage
- Indicative Bin Pad location
- Indicative PMT / RMU Site
- Optional Built to Boundary Wall location
- Mandatory Built to Boundary Wall location
- Indicative Building Envelope
- Indicative Garage Location
- Indicative Driveway Location
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- Extent of bushfire Radiant Heat Flux 40kW/m2

RESIDENTIAL ALLOTMENTS

- Terrace (7.5m - 9m typical width)
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- Courtyard (14m typical width)
- Premium Courtyard (16m typical width)
- Traditional (18m typical width)
- Premium Traditional (20m typical width)
- Multiple Residential

THIS PLAN MUST BE READ IN CONJUNCTION WITH ROL 4: PLAN OF DEVELOPMENT - DESIGN CRITERIA (11731 P 27 Rev K - POD 01)



ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 101.07



LEGEND

Site Boundary

ROL 4 Boundary

Sub-precinct Boundary

Proposed Services Easement

Indicative Bin Pad location

Indicative PMT / RMU Site

Optional Built to Boundary Wall location

Mandatory Built to Boundary Wall location

Indicative Building Envelope

Indicative Garage Location

Indicative Driveway Location

Lots which require increased setbacks

Mandatory Two Storey Dwelling Lot

Buildings which require acoustic design to upper floors only

Buildings which require acoustic design to ground and upper floors

Extent of bushfire Radiant Heat Flux 12.5kW/m2

Extent of bushfire Radiant Heat Flux 19kW/m2

Extent of bushfire Radiant Heat Flux 29kW/m2

Extent of bushfire Radiant Heat Flux 40kW/m2

RESIDENTIAL ALLOTMENTS

Terrace (7.5m - 9m typical width)

Villa (11.2m typical width)

Premium Villa (12.5m typical width)

Courtyard (14m typical width)

Premium Courtyard (16m typical width)

Traditional (18m typical width)

Premium Traditional (20m typical width)

Multiple Residential

THIS PLAN MUST BE READ IN CONJUNCTION WITH ROL 4: PLAN OF DEVELOPMENT - DESIGN CRITERIA (11731 P 27 Rev K - POD 01)

LOCALITY DIAGRAM

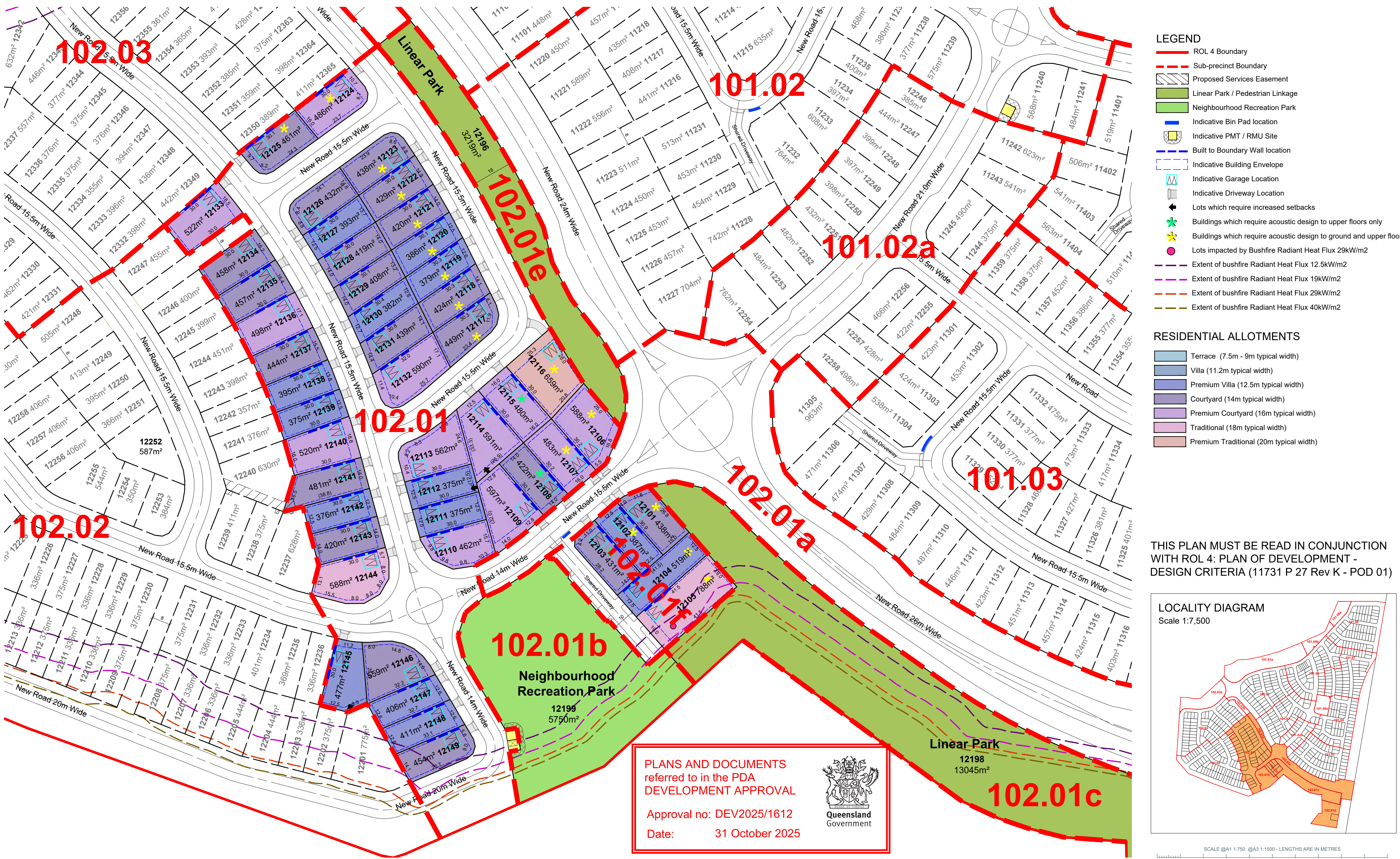
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ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 102.01



CLIENT



SITE ADDRESS
HOMESTEAD DRIVE, MONARCH GLEN

RP DESCRIPTION
Lot 1-3 on SP351245

DRAWN

MF

DATE

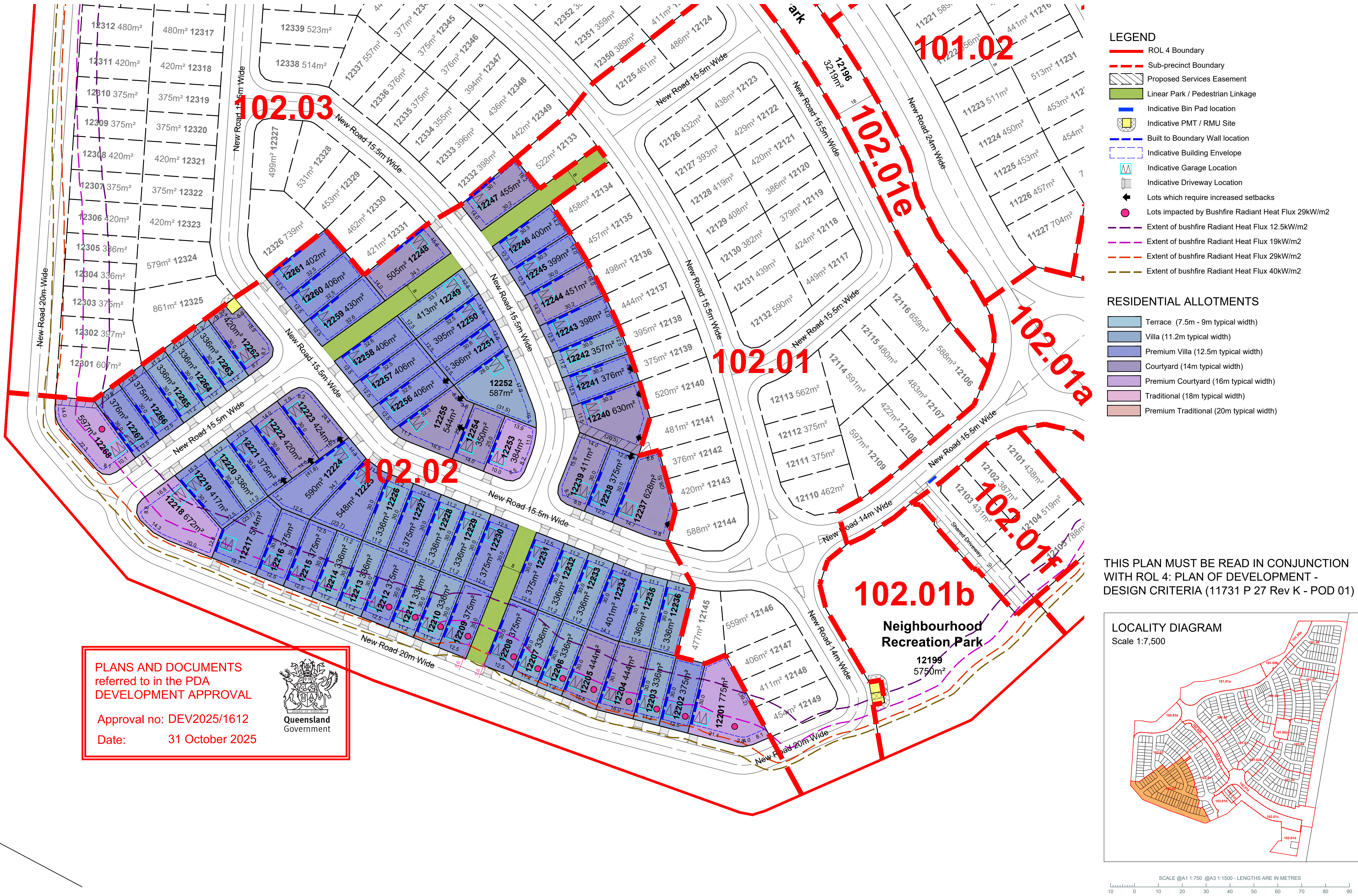
10/10/2025

DRAWING NO.

11731 P 27 Rev K - POD 102.01



ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 102.02



ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 102.03

