

Allotment Type	Typical Width	Typical Area	Stage 1	Stage 2	Stage 3	Overall	
15m Deep Allotments							
Urban Twin Allotment	15 m	225 m ²	2	—	—	2	1%
Sub - Total			2	—	—	2	1%
22m Deep Allotments							
Terrace Allotment	9 m	198 m ²	—	—	6	6	4%
Sub - Total			—	—	6	6	4%
26m Deep Allotments							
Villa Allotment	10 m	260 m ²	—	—	—	—	0%
Premium Villa Allotment	12.5 m	325 m ²	3	2	—	5	3%
Courtyard Allotment	14 m	364 m ²	3	2	—	5	3%
Premium Courtyard Allotment	15 m	390 m ²	4	6	—	10	7%
Traditional Allotment	17 m	442 m ²	—	2	—	2	1%
Sub - Total			10	12	—	22	14%
30m Deep Allotments							
Villa Allotment	10 m	300 m ²	11	9	4	24	16%
Premium Villa Allotment	12.5 m	375 m ²	21	11	13	45	30%
Courtyard Allotment	14 m	420 m ²	12	3	9	24	16%
Premium Courtyard Allotment	15 m	450 m ²	6	2	13	21	14%
Traditional Allotment	17 m	510 m ²	3	—	5	8	5%
Sub - Total			53	25	44	122	80%
Total Residential Allotments			65	37	50	152	100%

Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

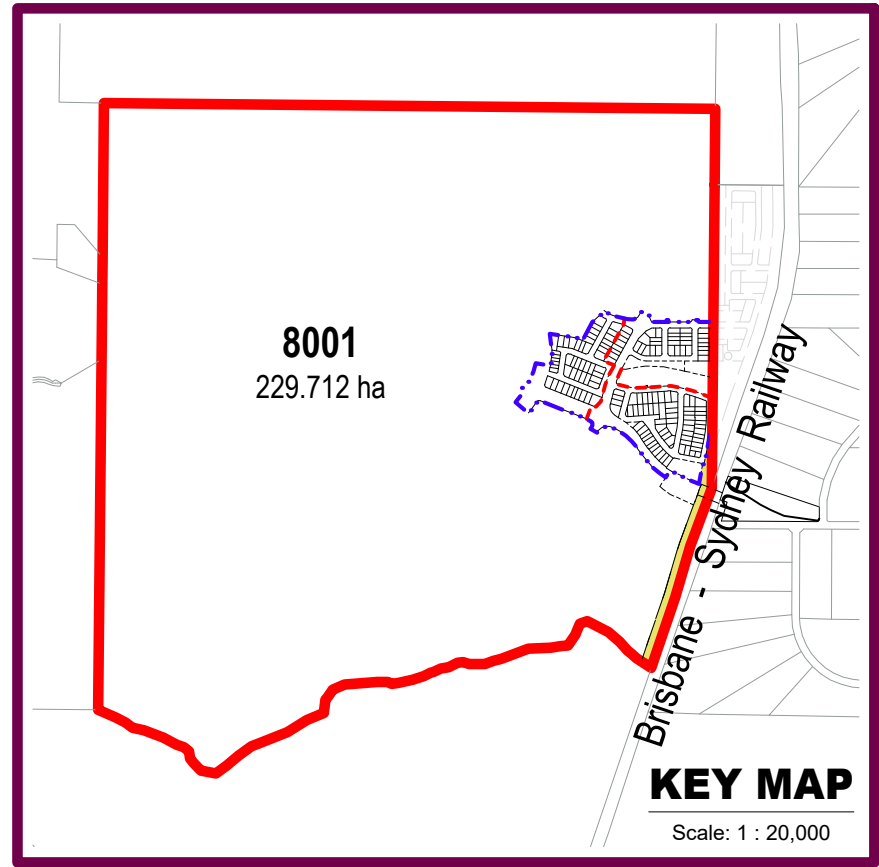
Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: RPS.
Adjoining information: DCDB.
Contours: Colliers
Environment constraints: SHG Group

Legend

- Site Boundary
- Precinct Boundary
- - - Stage Boundary
- Future Railway Corridor
- Of Concern Riparian Vegetation
- Bin Collection Pad
- Indicative Lease



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2024/1549
Date: 23 October 2025



Land Use	Stage 1	Stage 2	Stage 3	Overall	
	Area	Area	Area	Area	%
Area of Subject Site	5.676 ha	4.667 ha	4.106 ha	14.449 ha	100.0%
Saleable Area					
Residential Allotments	2.695 ha	1.503 ha	2.109 ha	6.307 ha	43.7%
Management Allotment	—	—	—	—	0.0%
Total Area of Allotments	2.695 ha	1.503 ha	2.109 ha	6.307 ha	43.7%
Road					
Trunk Collector Streets	0.895 ha	—	1.089 ha	1.984 ha	13.7%
Connector Streets	0.253 ha	0.493 ha	—	0.746 ha	5.2%
Neighbourhood Access Streets	1.408 ha	0.746 ha	0.908 ha	3.062 ha	21.2%
Pedestrian Linkage / Landscaping	0.044 ha	—	—	0.044 ha	0.3%
Total Area of New Road	2.600 ha	1.239 ha	1.997 ha	5.836 ha	40.4%
Open Space					
Local Recreation Park	—	0.325 ha	—	0.325 ha	2.2%
Local Linear Park	—	1.335 ha	—	1.335 ha	9.2%
Local Linear Park (Stormwater)	0.381 ha	0.265 ha	—	0.646 ha	4.5%
Total Open Space	0.381 ha	1.925 ha	—	2.306 ha	16.0%

PLAN REF: 151113 - 42

Rev No: G
DATE: 03 October 2025
CLIENT: FRASERS
DRAWN BY: CB / MM / GM
CHECKED BY: WNW



**New Beith
Precinct A
Plan of Subdivision**

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Plan of Development Notes:

- General**
- All development is to be undertaken in accordance with the Development Approval and in compliance with the Queensland Development Code except where varied by this Plan of Development.
 - Buildings and structures are subject to future proposed easements and/or other underground services.
 - All buildings are to comply with the approved Transport Noise Impact Assessment which specifies the level of acoustic treatments. Further site-specific acoustic assessment may be undertaken to specify alternative acoustic treatments.
 - All buildings are to comply with the approved Bushfire Mitigation Report which specifies the level of bushfire treatments. Further site-specific bushfire assessment may be undertaken to specify alternative bushfire treatments.
 - Approved development are the uses of:
 - House, Home Based Business, Display Home and Sales Office; and
 - Advertising Devices associated with Display Home and Sales Office where not exceeding a cumulative total of 15m² per Display Home and 30m² per Sales Office with no individual sign to exceed a face area of 5m² per side, or a height of 5m. Advertising devices must be removed when the associated Display Home and Sales Office use has ceased.
- Building Height**
- The maximum height of buildings shall not exceed 9m.
 - Buildings must be no more than two (2) storeys.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise specified.
 - Boundary setbacks are measured to the outermost projection of the building or structure. Overhangs, awnings and sunhoods may extend into this building setback.
 - All dwellings must have eaves of a minimum width of 450mm where attached to habitable rooms. Gutters may not extend beyond the boundaries of the lot including those attached to built to boundary walls. Overhangs, awnings and sunhoods to habitable room windows may be provided as an alternative to eaves.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway, or a pedestrian link/landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - Setbacks to corner truncations are to be in accordance with Diagram A. The setback applies to any building or structure greater than 2m in height and overrides the QDC provision for a 9m by 9m corner setback.
 - Entry porticos may be located closer to the property boundary than stated in Plan of Development Table provided that the portico:
 - Is located no less than 1.5m from the front property boundary;
 - Does not exceed a maximum height of 4.5m;
 - Does not exceed a width of 3m; and
 - Portico remains open and not enclosed.
- Built to Boundary Walls**
- Nominated Built to Boundary Walls are indicated on the Plan of Development
 - Built to Boundary walls are optional except for Terrace, Urban Twin Lots and lots identified on the Plan of Development (Mandatory BTB). Where optional built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - For all residential lots except Terrace and Urban Twin lots, built to boundary walls can have a maximum length of 15m or 50% of the property boundary, whichever is the greater, and a maximum height of 3.5 metres.
 - For Terrace and Urban Twin lots built to boundary walls have a maximum length of 85% of the length of the property boundary and may be higher than 3.5m where in accordance with approved house plans and where appropriate building staging and construction techniques are demonstrated.
 - Built to Boundary walls are to contain no windows or openings to the side boundary.

- On-site car parking and driveways**
- A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
 - Double car garages or greater must be provided for a dwelling on a Lot of 12.5m or greater in width (except for Terrace and Urban Twin allotments).
 - Double car garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which includes the garage door, must not exceed an external width of 5.8m.
 - The garage door:
 - Width does not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door and
 - Must have a sectional, tilt or integrated door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts or a solid door with a sidelight or a habitable room with window.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1500mm forward of the entrance door
 - The verandah, portico or porch is to include front pillars, posts or columns with distinct materials and/or colours.
 - Driveways are to have a minimum setback of 0.5m from the side boundary
 - Driveway finish must not be plain concrete and must have a minimum standard finish of exposed aggregate.
 - Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
 - Maximum of one driveway per dwelling.
 - The maximum width of a driveway at the boundary shall be:
 - 3.0m for single garages; and
 - 4.8m for double garages
 - Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres from the tangent point unless otherwise approved.
 - All garages should be setback behind the main facade of the dwelling.
 - Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located where the associated driveway will not compromise service placements, street trees or on-street parking.
- Private Open Space**
- Private open space must measure a minimum of 12m² with a minimum dimension in any direction of 2.4 metres.
 - Private open space must be directly accessible from a living space.
 - Part of the open space may be roofed.


- Fencing**
- Fencing erected by the developer must not be altered, modified or removed without prior written approval from the developer.
 - Fencing on all park, open space, pedestrian links or secondary street frontages is to have a maximum height of 1.2m where solid or have a maximum height of 1.8m where containing consistent openings across the full area of the fence that make the fence more than 50% transparent.
 - Fencing to the side boundary is to return a minimum distance of 1.0m behind the front façade.
 - Fencing to the front boundary and to side boundaries forward of the building line is to have a maximum height of 1.2m and contain openings that make the fence at least 75% transparent.
- Retaining Walls Not Constructed by the Developer**
- Any retaining walls adjoining a public street or public space must be constructed as follows:
 - Limited to a maximum height of 1.0m from finished ground level
 - Wholly located within the subject lot and be maintained by the lot owner
 - Retaining walls visible from public space must be built from materials consisting of stone or rendered/ bagged masonry block. Must not be constructed from concrete 'I-beam', timber sleepers, unfinished masonry block or common brick.
 - Retaining walls consisting of timber sleepers are only permitted to side and rear boundaries which are behind the front wall of the building and do not adjoin a public space.
 - Walls over 1.0m require RPEQ certification.
- Building Articulation**
- All buildings with a width of more than 8 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 - Where adjoining an area of open space, housing design must facilitate passive surveillance of the public open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

- Slope and Building Footings**
- If buildings on sloping sites are built to the boundary on the low side of the lot, the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Privacy and Screening**
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
- Multigenerational Home / Secondary Dwelling**
- A secondary dwelling is only permitted where:
 - The lot is 400m² or more
 - The lot frontage is greater than 12.5m
 - There is to be no more than one secondary dwelling on a lot.
 - Any secondary dwelling is unable to be separately titled to the primary dwelling
 - No separate infrastructure servicing to the secondary dwelling is permitted (water, electricity etc).

- Secondary dwelling floor area is a minimum of 45m² and a maximum of 75m² GFA
 - Design and siting of buildings and structures to be in accordance with this Plan of Development.
 - Materials including colours and roof form must be consistent with the primary dwelling.
 - Outdoor living space is a minimum of 9m² with a minimum dimension in any direction of 2.4 meters and directly accessible from main living area.
 - In addition to the carparking required for the primary dwelling a minimum one carpark or garage space is to be provided for the secondary dwelling.
 - Where not on a corner lot the secondary dwelling entry must not be directly visible from the street to give the impression of one single dwelling.
 - Where on a corner lot frontage the secondary dwelling may have dedicated pedestrian entry and front door addressing the secondary street.
 - Secondary dwellings are not permitted to have their own letterbox.
- Electric Vehicle Readiness**
- Each dwelling is to include a separate dedicated electric circuit (conduit and wiring) into the garage or carport to enable the installation of Electric Vehicle Supply Equipment. Where not used for Electric Vehicle Supply Equipment, the circuit is to be fitted with a minimum 20amp GPO outlet.

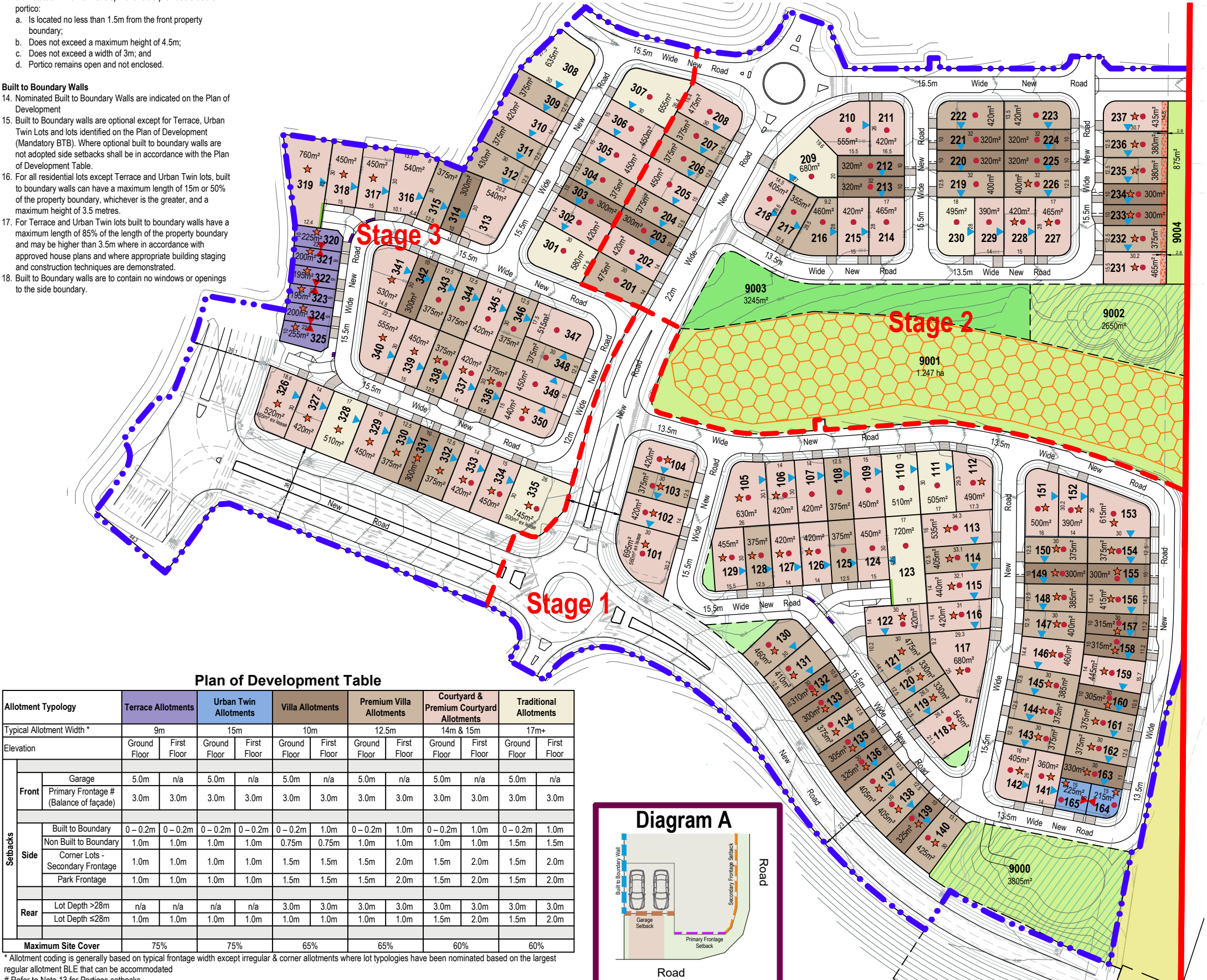
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2024/1549
Date: 23 October 2025



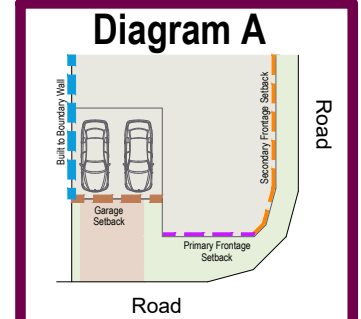
Legend

- Site Boundary
 - Precinct Boundary
 - - - Stage Boundary
 - Local Linear Park
 - Local Linear Park (Stormwater)
 - Pedestrian Linkage / Landscaping (Road Reserve)
 - Future Railway Corridor
 - Of Concern Riparian Vegetation
 - Bin Collection Pad
 - Indicative Lease
 - Indicative Access Easements
- Allotment Details**
- ▲ Optional Built to Boundary Wall
 - ▲ Mandatory Built to Boundary Wall
 - Indicative Driveway Location
 - Possible Bushfire impact see Bushfire report
 - ★ Possible Acoustic treatment see Acoustic report
 - No Build Zone
 - Primary Frontage




Plan of Development Table

Allotment Typology	Terrace Allotments		Urban Twin Allotments		Villa Allotments		Premium Villa Allotments		Courtyard & Premium Courtyard Allotments		Traditional Allotments		
	Typical Allotment Width *	9m	15m	15m	10m	10m	12.5m	12.5m	14m & 15m	14m & 15m	17m+	17m+	
Elevation	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Setbacks	Garage	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	
	Primary Frontage # (Balance of façade)	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	
	Built to Boundary	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	1.0m	0 - 0.2m	1.0m	0 - 0.2m	1.0m	0 - 0.2m	
	Non Built to Boundary	1.0m	1.0m	1.0m	1.0m	1.0m	0.75m	0.75m	1.0m	1.0m	1.0m	1.5m	
	Corner Lots - Secondary Frontage	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	
Rear	Park Frontage	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	2.0m	
	Lot Depth >28m	n/a	n/a	n/a	n/a	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	
	Lot Depth ≤28m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	2.0m	1.5m	2.0m	
Maximum Site Cover		75%		75%		65%		65%		60%		60%	



* Allotment coding is generally based on typical frontage width except irregular & corner allotments where lot typologies have been nominated based on the largest regular allotment BLE that can be accommodated
Refer to Note 13 for Porticos setbacks

PLAN REF: **151113 - 43**
Rev No: **G**
DATE: 03 October 2025
CLIENT: FRASERS
DRAWN BY: CB / MM / GM
CHECKED BY: WNW



New Beith Precinct A Plan of Development

URBAN DESIGN
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Approval no: DEV2024/1549
Date: 23 October 2025



Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

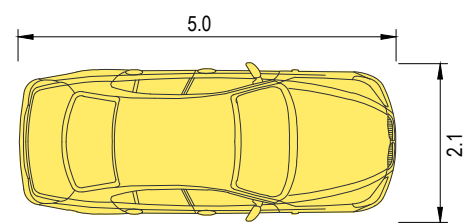
Source Information:
Site boundaries: RPS.
Adjoining information: DCDB.
Contours: Colliers
Environment constraints: SHG Group

Legend

- Site Boundary
- ⋯ Precinct Boundary
- - - Stage Boundary
- Local Linear Park
- Local Linear Park (Stormwater)
- Pedestrian Linkage / Landscaping (Road Reserve)
- Bin Collection Pad
- Indicative Car Park Location
- Indicative Driveway Location

Parking Breakdown

Total Visitor Parking Spaces	128
Total Dwellings	152
Required On Street Parking Spaces	114



Parking Bay Diagram

Scale 1 : 100

PLAN REF: **151113 - 44**

Rev No: **G**
DATE: 03 October 2025
CLIENT: FRASERS
DRAWN BY: CB / MM / GM
CHECKED BY: WNW



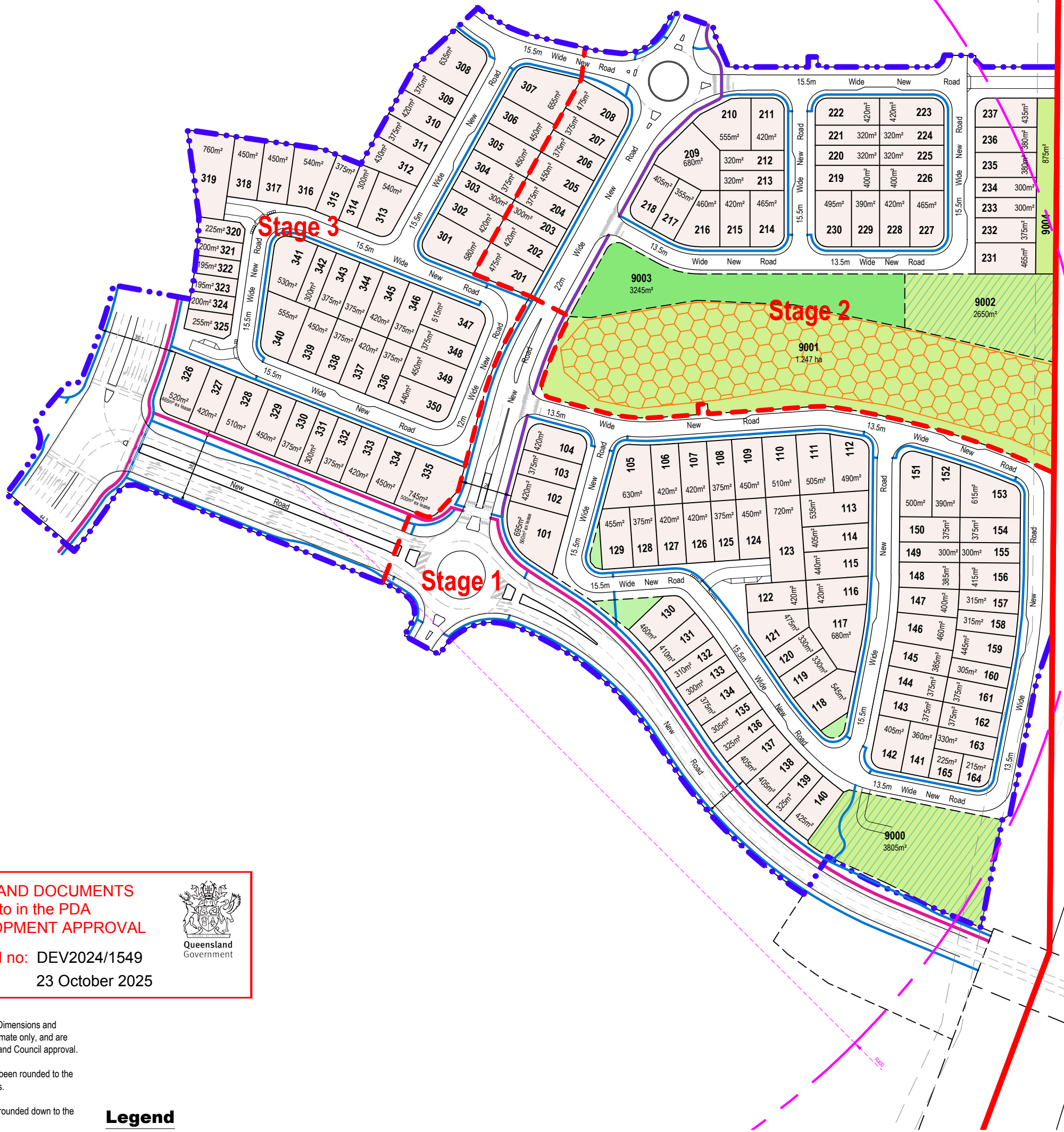
**New Beith
Precinct A
Car Parking Analysis**

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Approval no: DEV2024/1549
Date: 23 October 2025



Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: RPS.
Adjoining information: DCDB.
Contours: Colliers
Environment constraints: SHG Group

Legend

- Site Boundary
- Precinct Boundary
- Stage Boundary
- 400m Walking Catchment
- 3m Footpath
- 3m Separated Cycle
- 1.5m Footpath
- Local Linear Park
- Local Linear Park (Stormwater)
- Pedestrian Linkage / Landscaping (Road Reserve)
- Of Concern Riparian Vegetation

PLAN REF: **151113 - 45**
Rev No: **G**
DATE: 03 October 2025
CLIENT: FRASERS
DRAWN BY: CB / MM / GM
CHECKED BY: WNW

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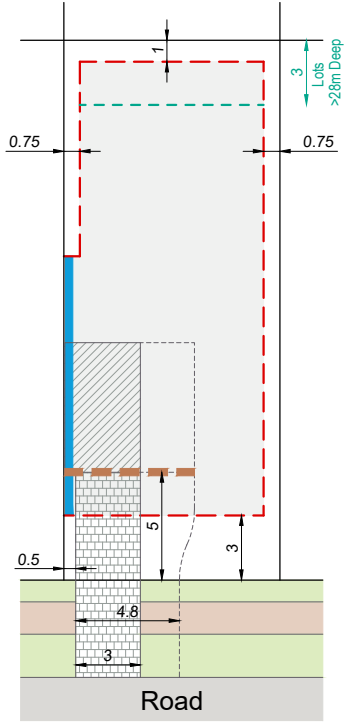
**New Beith
Precinct A
Indicative Footpath Network**

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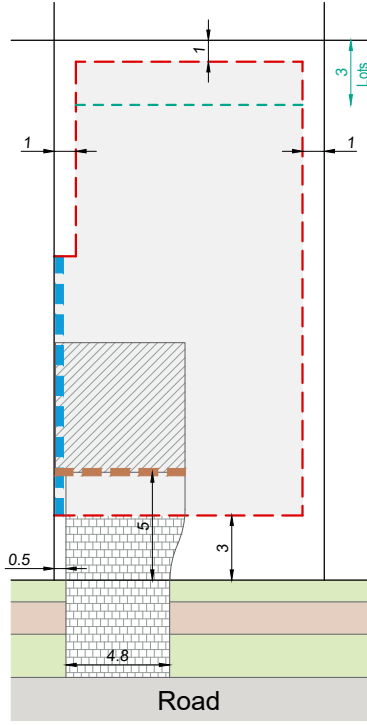


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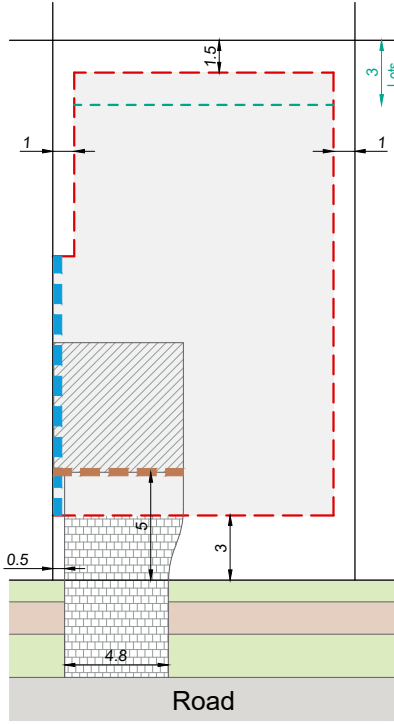
Villa Allotments 10m Wide



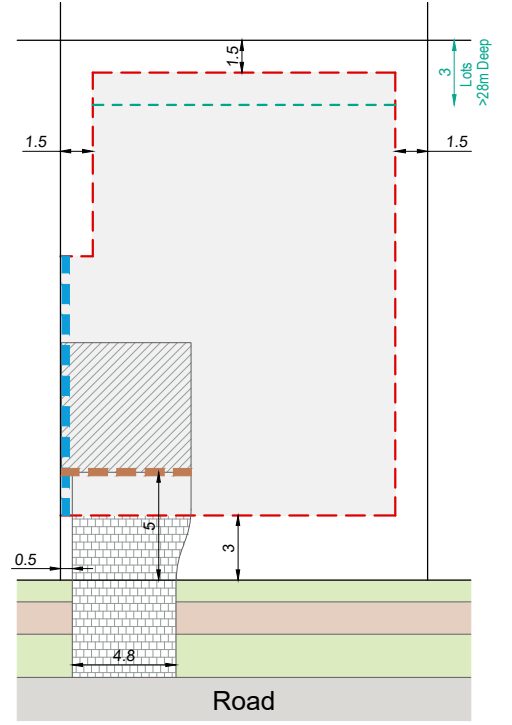
Premium Villa Allotments 12.5m Wide



Courtyard Allotments 14m & 15m Wide



Traditional Allotments 17m+ Wide

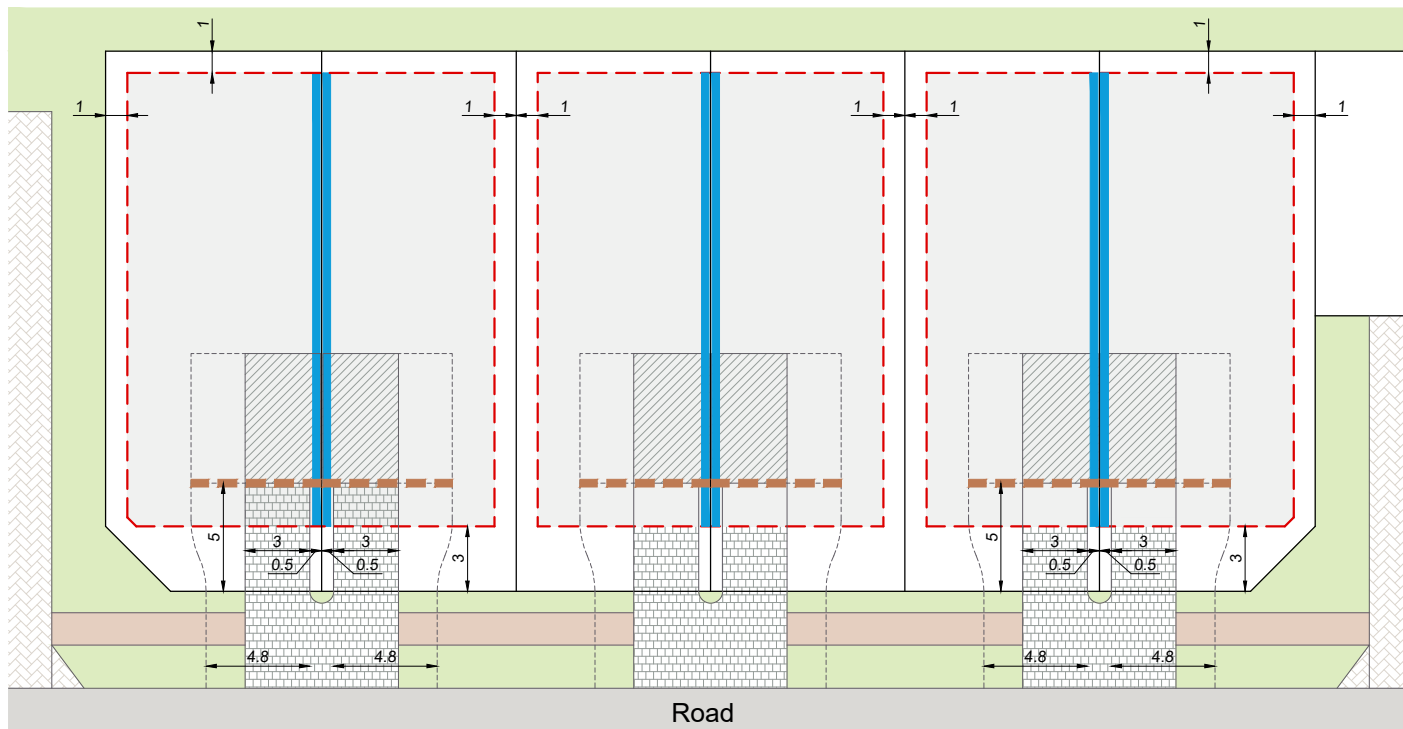


PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

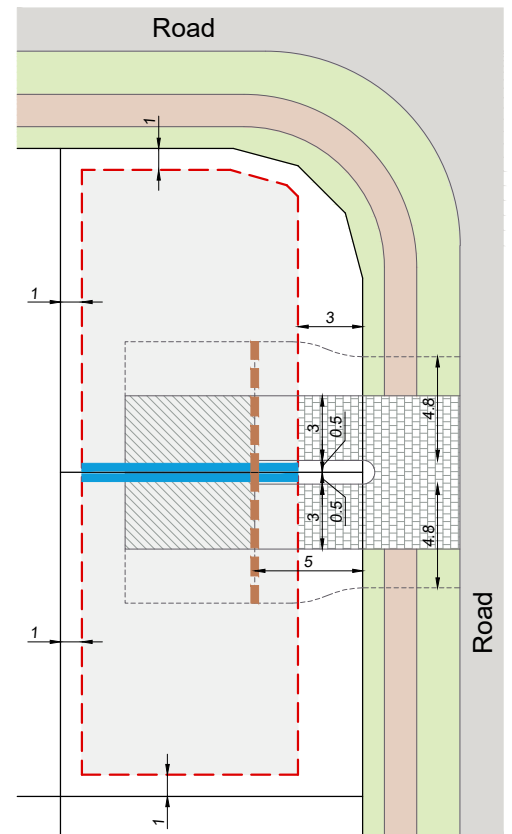
Approval no: DEV2024/1549
Date: 23 October 2025



Terrace Allotments 9m Wide, 23m Deep



Urban Twin Allotments 15m Wide, 15m Deep



Legend

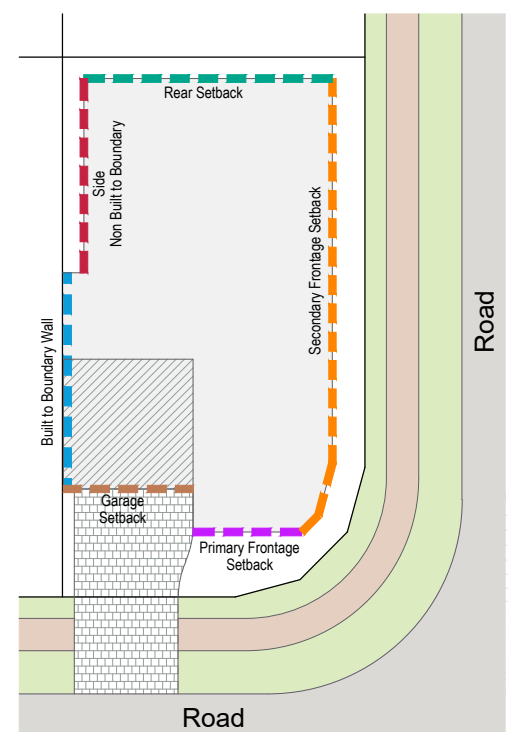
- Lot boundary
- - - Maximum building envelope
- - - Rear setback for >28m lots
- Garage setback
- Mandatory built to boundary wall
- Optional built to boundary wall
- ▨ Indicative driveway location
- ▨ Indicative garage location
- ▨ Single garage for single storey dwelling
- ▨ Double garage for double storey dwelling

Setbacks shown are based on allotments ≤28m deep unless otherwise shown

Plan of Development Table

Allotment Typology	Terrace Allotments		Urban Twin Allotments		Villa Allotments		Premium Villa Allotments		Courtyard & Premium Courtyard Allotments		Traditional Allotments		
	Typical Allotment Width *	9m	15m	10m	12.5m	14m & 15m	17m+						
Elevation	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front	Garage	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
	Primary Frontage # (Balance of façade)	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	
Side	Built to Boundary	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	1.0m	0 - 0.2m	1.0m	0 - 0.2m	1.0m	0 - 0.2m	1.0m
	Non Built to Boundary	1.0m	1.0m	1.0m	1.0m	0.75m	0.75m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m
	Corner Lots - Secondary Frontage	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m
	Park Frontage	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m
Rear	Lot Depth >28m	n/a	n/a	n/a	n/a	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	
	Lot Depth ≤28m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	2.0m	1.5m	2.0m
Maximum Site Cover		75%	75%	65%	65%	60%	60%						

* Allotment coding is generally based on typical frontage width except irregular & corner allotments where lot typologies have been nominated based on the largest regular allotment BLE that can be accommodated
Refer to Note 13 for Porticos setbacks



New Beith Precinct A Product Diagrams

PLAN REF: 151113 - 48
Rev No: G
DATE: 03 October 2025
CLIENT: FRASERS
DRAWN BY: CB / MM / GM
CHECKED BY: WNW



Not to Scale @ A3

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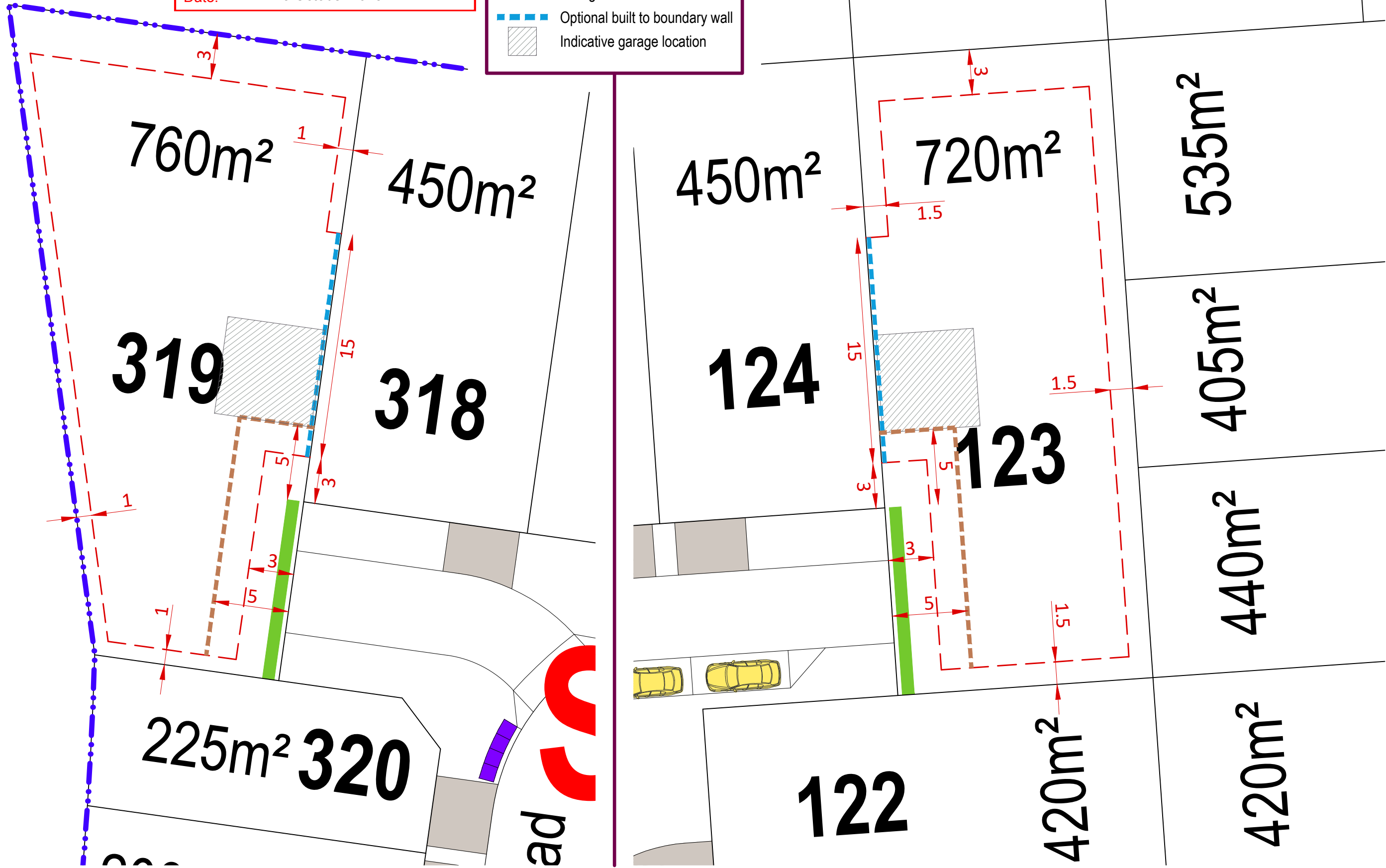
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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
 Approval no: DEV2024/1549
 Date: 23 October 2025



Legend

- Primary Frontage
- - - Maximum building envelope
- - - Garage setback
- - - Optional built to boundary wall
- Indicative garage location



PLAN REF: 151113 - 49
 Rev No: G
 DATE: 03 October 2025
 CLIENT: FRASERS
 DRAWN BY: CB / MM / GM
 CHECKED BY: WNW



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New Beith
 Precinct A
 Allotment Diagrams

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