

APPENDIX E WASTE MANAGEMENT PLAN

Waste Management Plan

Proposed Mixed Use Development
5 Bonner Street, Southport

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2025/1626

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9 May 2025

Prepared for:
Gold Coast 888 Pty Ltd
Report: 50971-RP02-A

GELEON

Waste Management Plan

Proposed Mixed Use Development
5 Bonner Street, Southport



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A	9 May 2025	To support development application	Original issue	Luke Seeney RPEQ 23542 Principal Engineer	

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1. Introduction

1.1 Project background

Geleon has been engaged by Gold Coast 888 Pty Ltd (the **Applicant**) to prepare a Waste Management Plan to accompany a Development Application (**DA**) for the purpose of establishing a mixed use development known as 'North Star' at 5 Bonner Street, Southport (Lot 2 on SP338480) (**Figure 1.1**). The existing 2,554m² site is currently vacant and forms part of the Gold Coast Health and Knowledge Precinct (**GCHKP**).

Waste Management Plan (WMP) report (File Ref: 50589-RP02-B) dated 20 December 2022 was previously prepared by Geleon and included as part of the original development application (DEV2022/1325). This report is a revision to the 50589-RP02-B WMP report to account for changes to waste management related matters arising from the new application.



Figure 1.1 Locality plan

1.2 Context

The subject site is situated within the Parklands Priority Development Area (**PDA**) that cover 29 hectares and is located approximately three kilometres from the Southport CBD and 3.6km east of the Pacific Motorway. The development site is subject to the *Parklands Priority Development Area Development Scheme* (December 2013).

1.3 Applicable planning scheme

The proposed development site falls under the jurisdiction of Economic Development Queensland (**EDQ**) and is governed by the *Parklands Priority Development Area Development Scheme* (December 2013). Other applicable documents include:

- Environmental Protection Regulation 2019
- Waste Reduction and Recycling Act 2011
- Waste Reduction and Recycling Regulation 2023.

1.4 Purpose and Scope

The purpose of this WMP is to outline the waste management provisions for the proposed development to demonstrate the efficient, safe, and sustainable management of waste during the operational phase of the development. A review of the *Parklands PDA Development Scheme* has not identified specific waste management requirements for the proposed development. In lieu of PDA specific waste management requirements, this report has been prepared to address the requirements of the City of Gold Coast *City Plan Policy – Solid Waste Management (SC6.16)*.

The scope of works for this WMP includes:

- detailing the anticipated type and quantity of waste to be generated by the development
- detailing the waste storage room and waste storage bin requirements, and
- detailing the proposed waste collection arrangements for the proposed development.

1.5 Definitions and abbreviations

Table 1.5 Definitions and abbreviations

Term	Definition
Bin carting route	the proposed route to move bins between the storage point and the servicing point.
Bulk bins	bins fitted with lids and side pockets to allow them to be serviced by a front-lift truck.
Clinical Waste	waste that has the potential to cause disease, including, for example, the following: - Discarded sharps - Human tissue waste, or - Laboratory waste.
Common servicing point	a common area where more than two dwellings / tenancies store their bins. A hardstand area, for example a concrete pad.
Constructed hardstand area	hardstand area, for example a concrete pad, which has been constructed for bin storage.
General waste	waste, other than domestic clean-up waste, green waste, recyclable waste, interceptor waste or waste discharged to a sewer, produced as a result of the ordinary use or occupation of domestic or commercial premises.
Recyclable waste	A clean and inoffensive waste that is declared by the local government to be recyclable waste for the area. In the City of Gold Coast, the following wastes are deemed recyclable: - all household plastics, bottles and containers - aluminium and steel cans and aerosols - bottles and jars made only of glass, or - clean cardboard, newspaper, loose paper, junk mail, magazines and cartons.
Related Waste	waste that constitutes, or is contaminated with, chemicals, cytotoxic drugs, human body parts, pharmaceutical products or radioactive substances.
Servicing point	the designated area allocated to the temporary storage of waste bins.
Storage point	the area allocated to the permanent storage of waste bins. This is the normal location of the waste bins and excludes the period where the bin is serviced.
Waste storage room	the room used for the storage of waste bins.
Waste carting distance	the distance required for a person to transport their waste from the nearest point of exit of their dwelling / tenancy to a storage point (or in the case of a multilevel building, to the nearest waste disposal point).
Wheelie bin	two wheeled mobile garbage bins, made from high density polyethylene (HDPE).

2. Proposed development

2.1 Development details

The development proposes a mixed use medical precinct on the subject site comprising multiple land uses including health care service, research technology, office, food and drink outlet, indoor sport and recreation and short term accommodation.

Access to and from the development is proposed via a two-lane, two-way vehicle crossing on the Bonner Street frontage which will provide access to three podium level car parks via a service lane easement.

Details of the proposed development are provided in **Table 2.1** with the site plan shown in **Figure 2.1**.

Relevant plans of development have been provided in **Appendix A**.

Table 2.1 Development details

Level	Land use	GFA (m ²) ¹	TUA (m ²) ²	No. of units
Ground Floor Level	Health care services / research technology / office	1,731	1,861	-
	Food and drink outlet	245		-
Level 1 (Podium)	Health care services / research technology / indoor sport and recreation / office	641	561	-
Level 2 (Podium)	-			
Level 3 (Podium)	Health care services / research technology / indoor sport and recreation / office	464	423	-
Level 4 (Tower)	Food and drink outlet	149	149	-
	Short term accommodation	-	-	17
Level 5 (Tower)	Short term accommodation	-	-	18
Level 6 (Tower)	Short term accommodation	-	-	18
Level 7 (Tower)	Health care services / research technology / office	893	860	-
Level 8 (Tower)	Health care services / research technology / office	912	880	-
Level 9 (Tower)	Health care services / research technology / office	912	880	-
Level 10 (Tower)	Health care services / research technology / office	887	854	-
Total		6,834	6,468	53
Notes:				
1. Gross floor area (GFA)				
2. Total use area (TUA)				

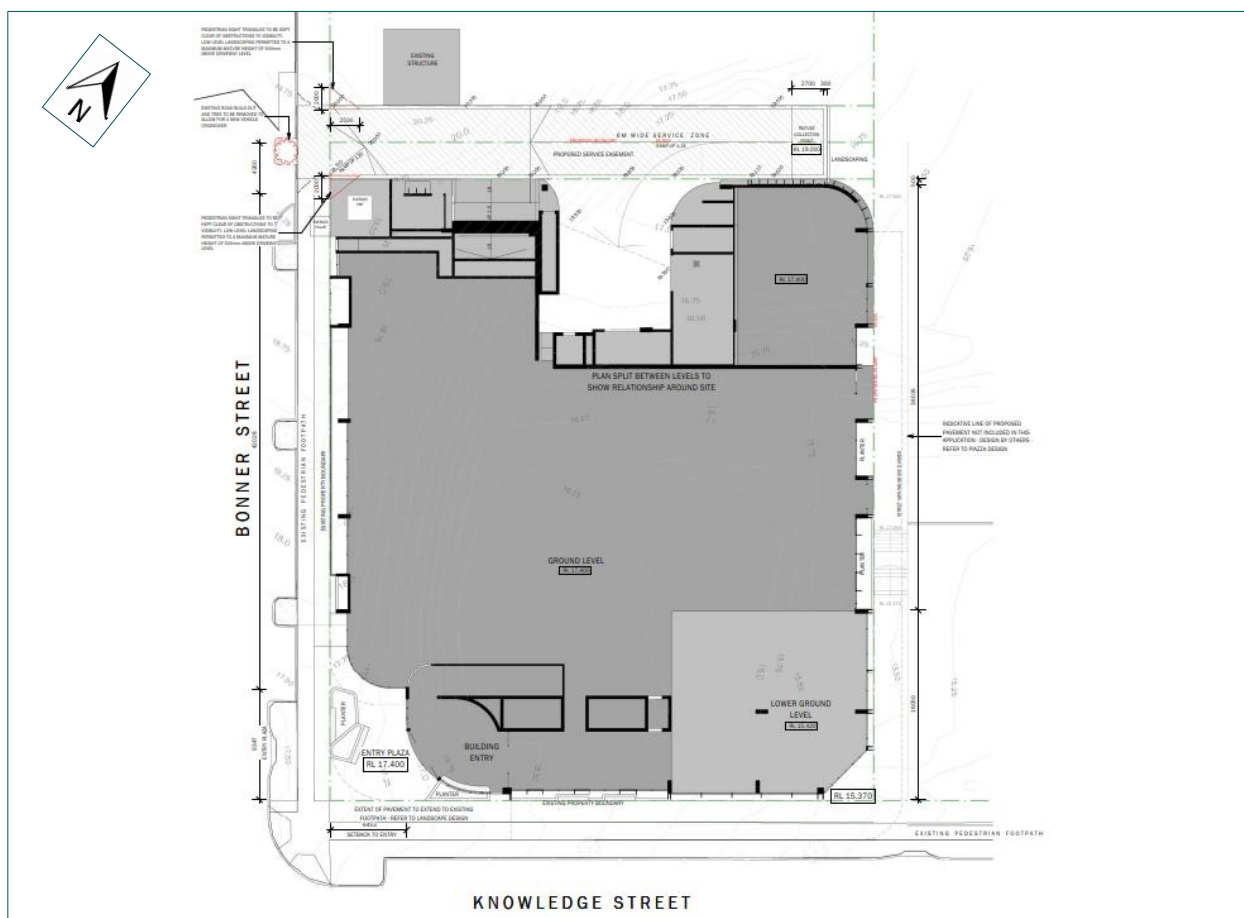


Figure 2.1 Plans of development – site plan

3. Development related waste

Details of waste generation, storage, and collection for the proposed development are provided in the following sections.

3.1 Waste streams

The anticipated types of waste that will be generated by the development are shown in **Table 3.1**.

Table 3.1 Predicted waste types

Land use	Predicted waste types
Office / indoor sports and recreation / short term accommodation	General and recycling waste
Health care services / research and technology	General, recycling, clinical and related waste
Food and drink outlet	General, recycling waste and cooking oil

3.2 Waste generation

Waste quantities for the development site have been calculated in accordance with typical waste generation rates stipulated in Council's *SC6.16 City Plan Policy: Solid Waste Management*. In the absence of waste generation rates for some of the proposed land uses, it is proposed to adopt alternative rates for the purpose of waste generation analysis as shown in **Table 3.2.1**.

Table 3.2.1 Adopted typical land uses

Proposed land use	Adopted typical Council use description
Office / indoor sports and recreation	Office
Health care services / research and technology	Office
Short term accommodation	Motel
Food and drink outlet	Cafe

It should be noted that waste cooking oil storage facilities will be provided for the food and drink outlet land use. However, the quantity of waste cooking oil generated can vary greatly depending on type of food and drink outlet land uses. Therefore, no estimates for waste cooking oil have been provided. However, for the purpose of this waste management plan, two 250L waste oil drums are shown within the main refuse collection storage point located on the ground floor level. Determination of the volume of clinical and related waste has been based on the operation of other facilities which have typically generated 34L per 100m² of floor area per week.

A summary of the general, recycling, clinical and related waste generating characteristics is provided in **Table 3.2.2** and **Table 3.2.3**.

Table 3.2.2 General and recycling waste generating characteristics

Land use	Quantity	General waste generation rate	Total (L/week)	Recycling rate	Total (L/week)
Ground floor tenancies					
Health care services / research and technology / office	1,731m ² GFA	30L / 100m ² / day	3,636	30L / 100m ² / day	3,636
Food and drink outlet	245m ² GFA	300L / 100m ² / day	5,145	200L / 100m ² / day	3,430
General waste sub-total			8,781	Recycling waste sub-total	7,066
Podium tenancies					
Health care services / research technology / indoor sport and recreation / office	1,105m ² GFA	30L / 100m ² / day	2,321	30L / 100m ² / day	2,321
Tower tenancies					
Food and drink outlet	149m ² GFA	300L / 100m ² / day	3,129	200L / 100m ² / day	2,086
Short term accommodation	53 units	60L / unit / week	3,180	40L / unit / week	2,120
Health care services / research technology / office	2,717m ² GFA	30L / 100m ² / day	5,706	30L / 100m ² / day	5,706
General waste sub-total			12,015	Recycling waste sub-total	9,912
Top floor					
Health care services / research technology / office	887m ² GFA	30L / 100m ² / day	1,863	30L / 100m ² / day	1,863
General waste generation			24,980	Recycling waste generation	21,162

Table 3.2.3 Clinical and related waste generating characteristics

Land use	GFA (m ²)	Clinical waste rate	Total (L/week)
Health care services / research and technology	6,440	34L / 100m ² / week	2,190L

3.3 Waste container provision

To accommodate the waste generated by the proposed development, a combination of bulk bins, four wheelie bins and two waste oil drums will be utilised to store site waste as detailed in **Table 3.3**.

Table 3.3 Refuse bin requirements

Waste type	Anticipated waste quantity (L/week)	Waste bin provision	Collection frequency	Total waste provision
General Waste	24,980	5 x 2,000L bulk bin	Three times per week	5 x 2,000L x 3 collections = 30,000L
Recycling Waste	21,162	4 x 2,000L bulk bin	Three times per week	4 x 2,000L x 3 collections = 24,000L
Clinical Waste	2,190	4 x 360L bulk bin	Twice per week	4 x 360L x 2 collections = 2,880L
Cooking Oil	-	2 x 250L drums	As required	2 x 250L (x 1 collection) = 500L

3.4 Dimensions of waste containers

Table 3.4 provides the dimensions of the waste containers to be used on site.

Table 3.4 Dimensions of waste containers

Bin type	Volume (L)	Length (mm)	Width / diameter (mm)	Height (mm)	Collection vehicle type
Waste Oil Drum	250	N/A	600	900	Tandem waste oil collection tanker
Wheelie Bin	360	865	650	1,100	Side lift collection vehicle
Bulk Bin	2,000	2,050	965	1,553	Front load collection vehicle

3.5 Waste storage room

Waste generated by the development will be stored in two separate waste storage rooms for the purpose of storing general and recycling waste, and clinical waste separately (**Figure 3.5.1**). The general and recycling waste storage room is located on podium Level 1 situated adjacent to the service area and truck turning bay. The general and recycling waste storage room has been designed to generally achieve a 500mm clearance around each container (**Figure 3.5.2**).

Access to the waste storage room will be limited to site management / authorised persons to remove any potential health and safety implications. General and recycling waste, and clinical and related waste from the individual tenancies will be manually carted by staff to the waste storage room. The waste carting route from each level does not exceed 100m to the waste storage room on Level 1 via the lifts.

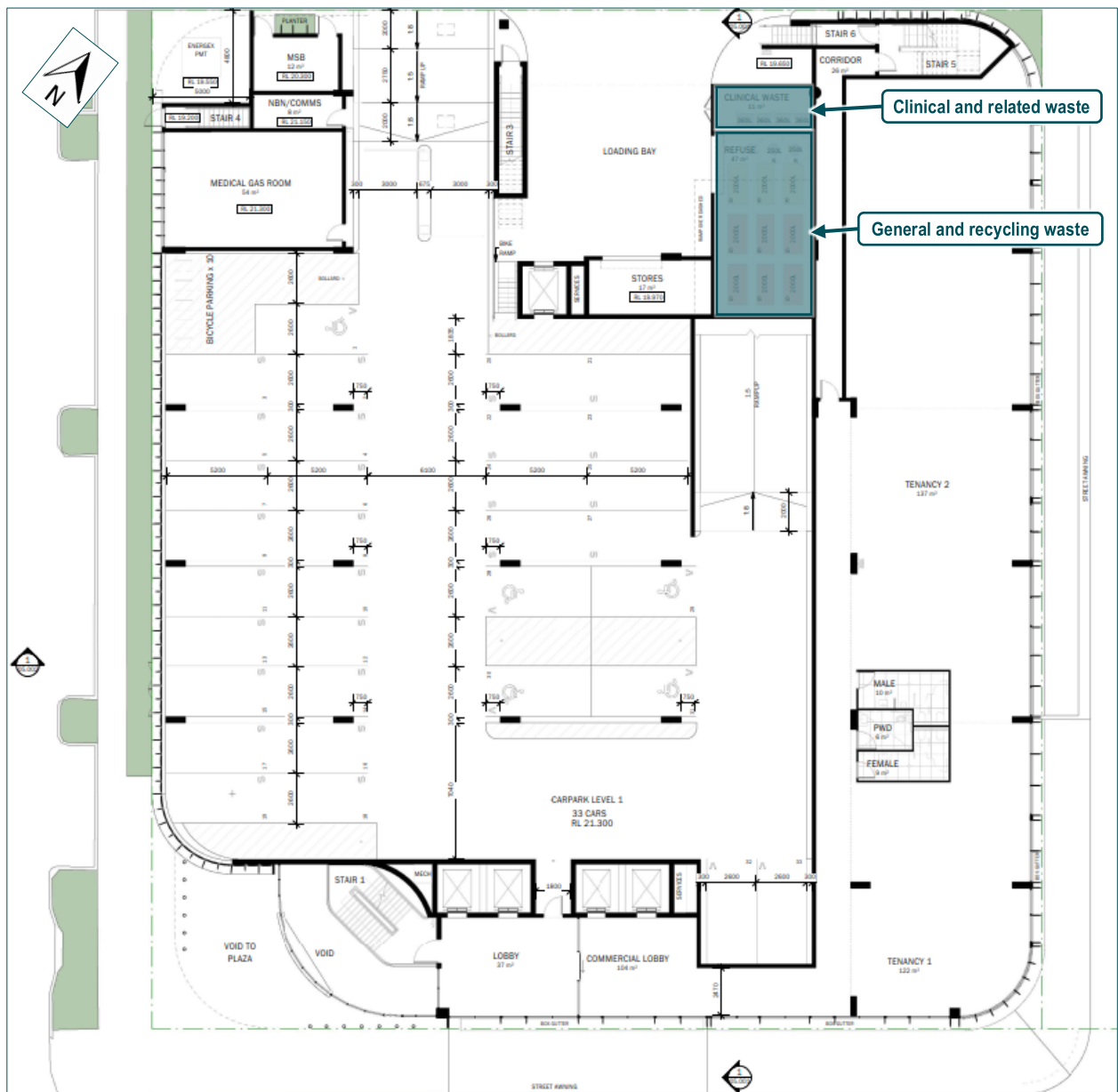


Figure 3.5.1 Waste storage room locations

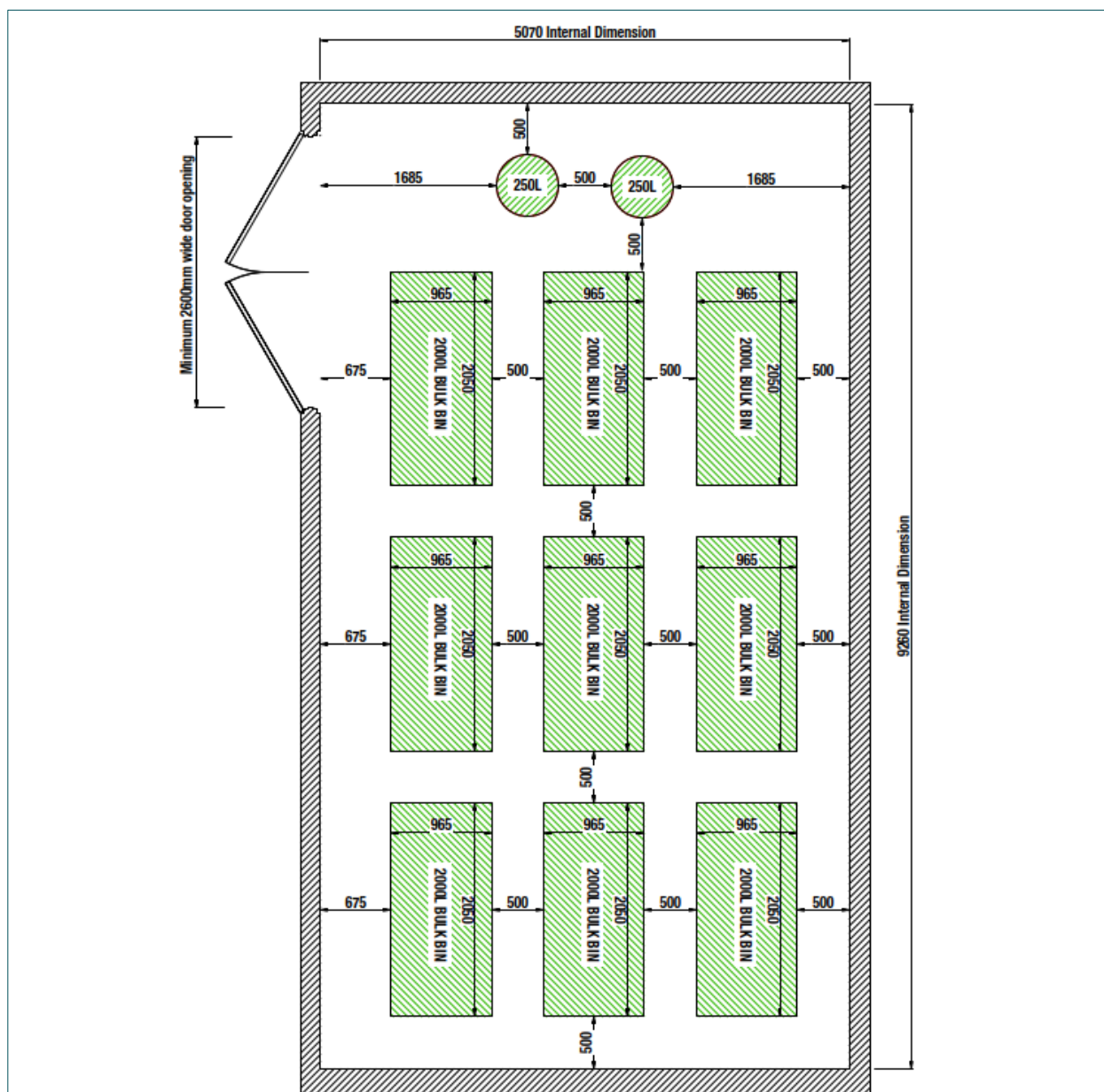


Figure 3.5.2 General and recycling waste storage room dimensions

In accordance with the *Environmental Protection Regulation 2019*, any clinical or related waste generated by the health care services / research and technology land uses must be stored in an area that is not accessible to animals or persons, other than those persons who are authorised. As such, clinical and related waste will be stored in the clinical waste storage room and will be accessed by approved personnel only. The clinical and related waste storage room is located directly adjacent to the main waste storage room on podium Level 1. Access to the clinical and related waste storage room should be prohibited to the other land uses and should only be accessed by authorised staff and specialist clinical waste collection service providers.

Maintaining a 1.0m² area for each wheelie bin, the dimensions for the proposed clinical and related waste storage room comprises an internal length of 5.07m and a width of 2.175m and therefore provides sufficient clearance around each bin to allow for ease of access and servicing (**Figure 3.5.3**). Clinical waste generation is subject to variation dependant on the specific operational use and type of health care service / research and technology land use. The waste storage room has the capacity to store ten 360L wheelie bins (if required) and therefore has excess capacity to accommodate the anticipated waste generated by the associated land uses.

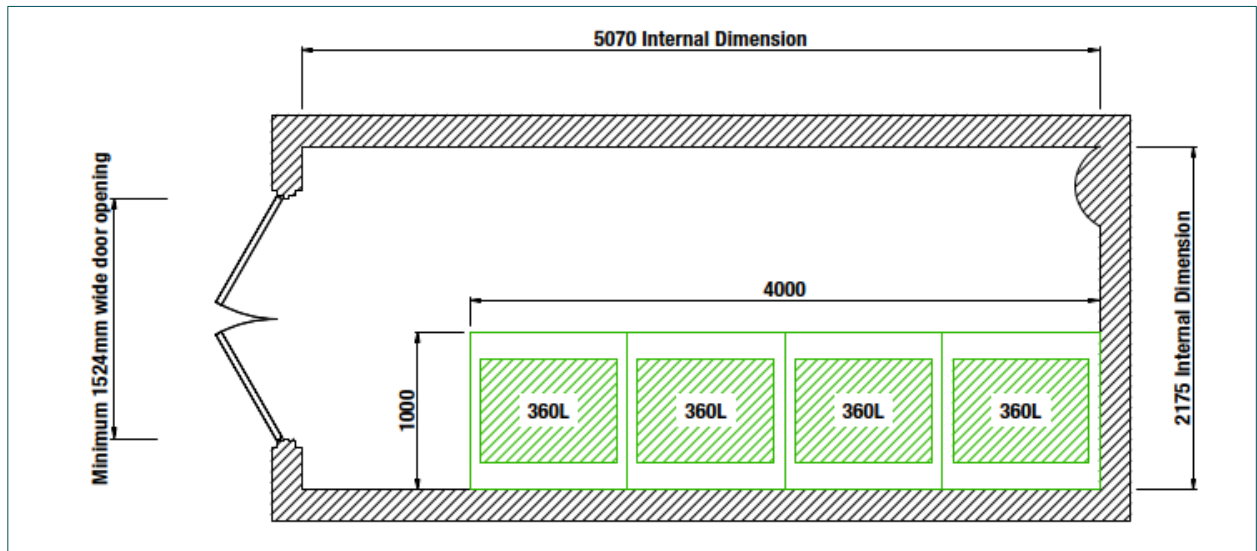


Figure 3.5.3 Clinical and related waste storage room dimensions

The waste storage rooms will be designed and constructed to meet the following requirements:

- constructed hardstand area with a solid concrete base or acceptable equivalent
- roofed and designed to prevent entry to rainwater
- graded to fall to a drainage point within the storage point
- drainage point connected to sewer in accordance with trade waste requirements
- provided with a hose cock for cleaning, and
- not be located within a building structure, unless it is:
 - in a purpose-built storage area which is air locked, fly and vermin proofed, and used solely for the storage of waste
 - in a well-ventilated portion of the basement and not within thirty (30) metres of an opening to a food premises or food handling area, or
 - demonstrated that no / minimal putrescible / organic waste is generated by the proposed development type.

4. Waste collection requirements

4.1 Collection arrangement

Based on the waste generation details in **Section 3.2**, general and recycling waste will require servicing three times per week, clinical and related waste will require servicing twice per week and cooking oil waste will be serviced as required. Once the development is operational, the collection frequency will be reviewed to ensure that it is sufficient for the development.

Details of the servicing frequencies are provided in **Table 4.1**.

Table 4.1 Bin collection frequency

Waste Type	Waste Bin Provision	Collection Frequency
General Waste	5 x 2000L bulk bin	Three times per week
Recycling Waste	4 x 2000L bulk bin	Three times per week
Clinical Waste	4 x 360L wheelie bin	Twice per week
Cooking Oil	2 x 250L drums	As required

4.2 Refuse collection point

A refuse collection point has been provided within the six-metre service easement located along the northern property boundary of the subject site and is connected to the internal driveway near the Bonner Street vehicle crossing (**Figure 4.2.1**). The refuse collection point has been provided via a marked chevron area comprising a width of 5.5m and length of 3.915m (**Figure 4.2.2**). On collection day, the refuse bins to be serviced that day will be transferred from the waste storage room to the refuse collection point by the site caretaker / management via the bin carting route, which is less than 25m walking distance as illustrated in **Figure 4.2.1**. Once servicing of the bin has been completed, the bin will be returned to the waste storage room.

The refuse collection point will be constructed to meet the following requirements:

- comprise a hardstand with a solid concrete base or acceptable equivalent
- positioned on a level pad within the site with the entire pad level with the kerbside and adjacent to the driveway
- connected to the crossover by a paved path so that the bin can be manoeuvred for servicing without lifting the bin over raised surfaces i.e. pram ramp
- allow for bin carting via hard stand pathways or internal roads allowing for bins to be easily moved to the temporary storage area either side of the property entry point and not stored on a section of the driveway that falls away, and
- positioned away from entrances to residential and or sensitive premises.

The temporary bin storage point has been designed to cater for up to five bulk bins and achieves a minimum 300mm clearance around each bulk bin. The proposed arrangement is considered to facilitate safe, unobstructed, and efficient servicing of waste containers during waste collection operations.

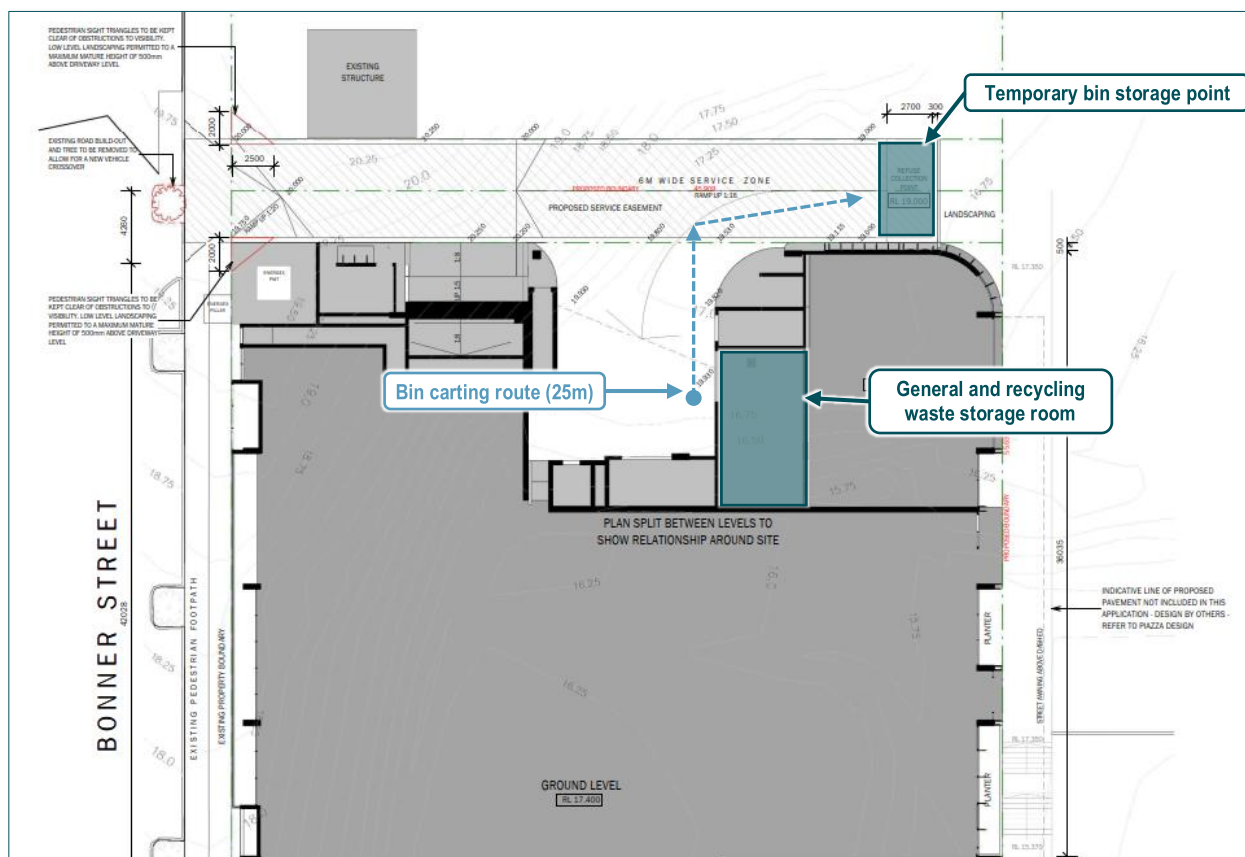


Figure 4.2.1 Refuse collection point and bin carting route

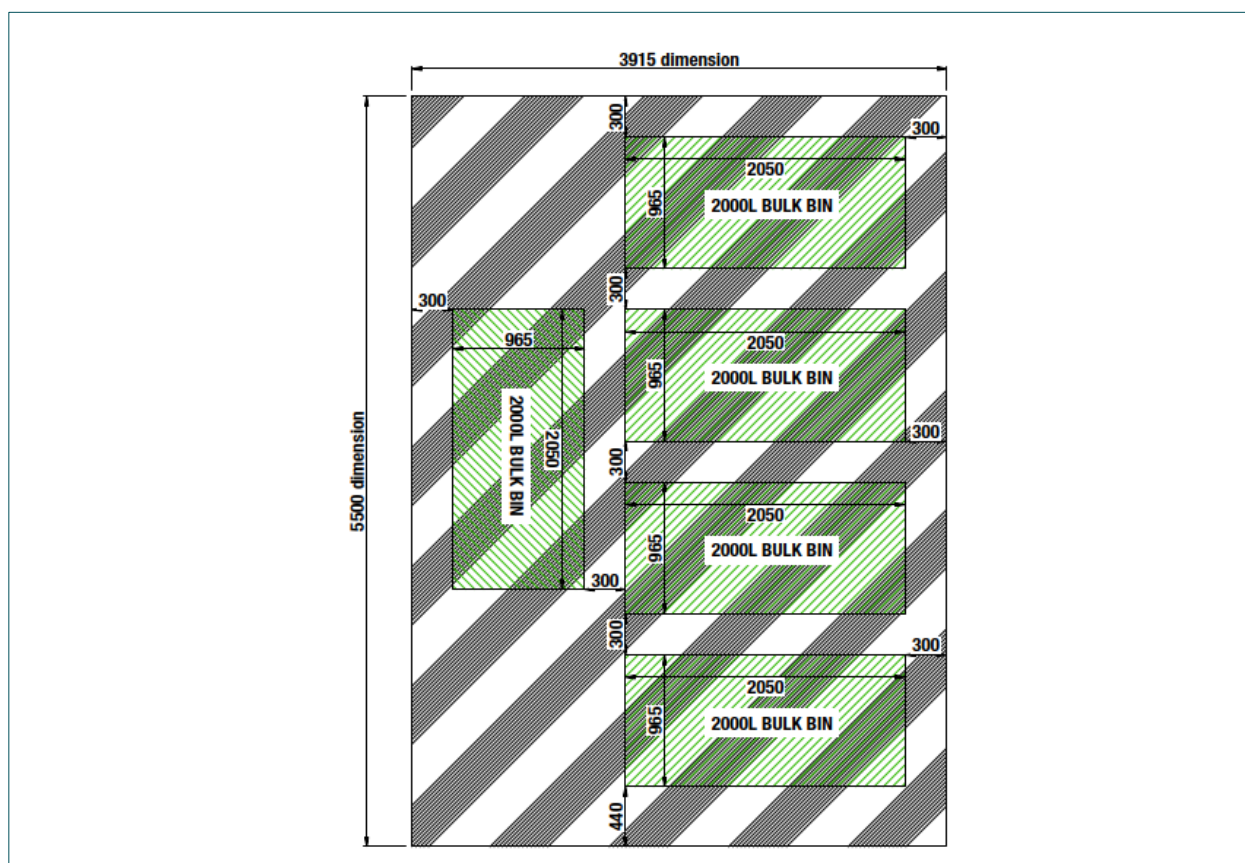


Figure 4.2.2 Temporary bin storage point dimensions

4.3 Collection vehicle access

Refuse collection for the general and recycling waste generated by the proposed development will require servicing by a 10.2m front-loading refuse collection vehicle (RCV). Refuse collection will be conducted within the 6m wide service easement provided on the northern boundary of the subject site which provides sufficient area and no vertical obstructions for full on-site servicing and manoeuvring. Access to and from the site will be provided via the single vehicle crossing located at the Bonner Street frontage.

On pre-arranged collection days, the site manager will transport the refuse bins from the waste storage room to the temporary bin storage point (**Figure 4.2.1**). Upon completion of servicing, the site manager will return the bins to the waste storage room.

A swept path assessment has been undertaken to demonstrate that an RCV can satisfactorily enter the development site in a forward gear via the Bonner Street vehicle crossing, service the bins at the refuse collection point before performing a turnaround manoeuvre in the designated service turnaround bay and exiting the development site in a forward gear (refer **Appendix B**).

It is proposed that for the clinical waste generated by the health care services and research and technology land uses, that servicing is conducted within the loading bay / truck turnaround bay provided adjacent to the waste storage rooms. Servicing will be provided by a private specialist contractor. Arrangements will be made with the clinical waste contractor prior to collection to ensure unobstructed and safe access to the clinical and related waste storage room is achieved upon service.

The vehicles used to service the waste cooking oil and clinical waste are smaller than the standard front-loading RCV, therefore any clearances provided for the front-loading RCV will be sufficient for a waste oil collection tanker and Small Rigid Vehicle (SRV). All service arrangements will be reviewed and organised prior to the commencement of use.

Details of the waste collection vehicle dimensions are provided in **Table 4.3** for reference.

Table 4.3 Service vehicle dimensions

Vehicle	10.2m front-loading RCV	SRV
Width	2.5m	2.3m
Length	10.2m	6.4m
Travelling Height	4.3m	2.3m
Servicing Height	6.5m	2.3m
Minimum Turning Circle	25.0m	14.2m
Minimum Turning Radius	13.2m (wall to wall), 12.3 (kerb to kerb)	7.1m

5. Conclusion

This report presents the findings related to assessment of waste management related matters for a proposed development located at 5 Bonner Street, Southport. Based on the information presented within this report, it has been demonstrated that the development proposes a waste management solution generally aligning with the Council requirements.

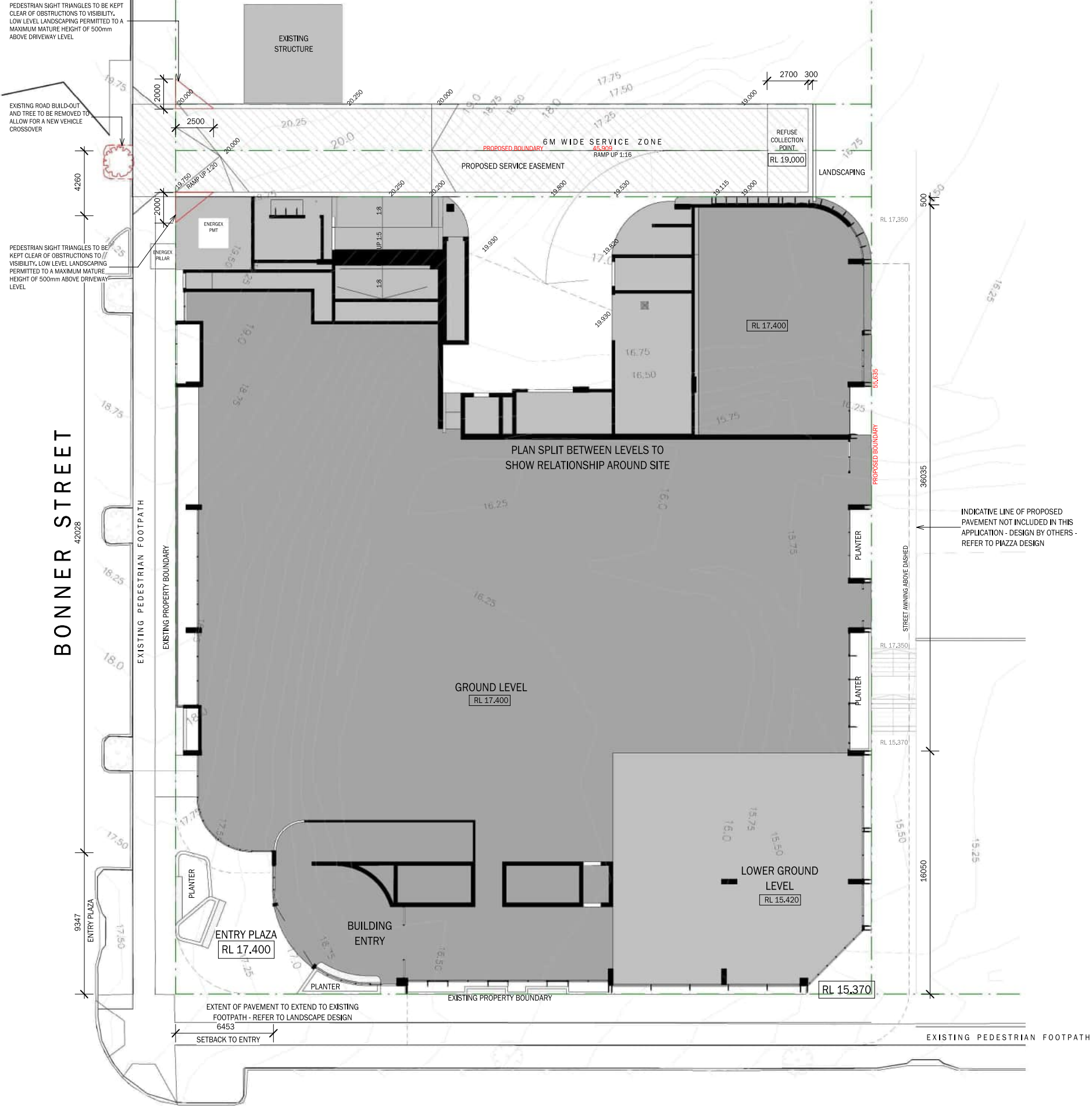
6. References

1. State of Queensland, *Parklands Priority Development Area Development Scheme (December 2013)*, Brisbane
2. City of Gold Coast, *City Plan – Version 11 (February 2024)*, Gold Coast.
3. City of Gold Coast, *City Plan – Version 11 – SC6.16 Solid waste management (February 2024)*, Gold Coast.
4. State of Queensland, *Environmental Protection Regulation 2019 (2019)*, Brisbane.
5. State of Queensland, *Waste Reduction and Recycling Act 2011 (2011)*, Brisbane.
6. State of Queensland, *Waste Reduction and Recycling Regulation 2023 (2023)*, Brisbane.
7. Australian Building Codes Board, *National Construction Code (NCC) - Volume 1*, May 2022

Appendix A Plans of development

PEDESTRIAN SIGHT TRIANGLES TO BE KEPT CLEAR OF OBSTRUCTIONS TO VISIBILITY. LOW LEVEL LANDSCAPING PERMITTED TO A MAXIMUM MATURE HEIGHT OF 500mm ABOVE DRIVEWAY LEVEL

PEDESTRIAN SIGHT TRIANGLES TO BE KEPT CLEAR OF OBSTRUCTIONS TO VISIBILITY. LOW LEVEL LANDSCAPING PERMITTED TO A MAXIMUM MATURE HEIGHT OF 500mm ABOVE DRIVEWAY LEVEL



PRELIMINARY

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LEGEND

T	Preliminary	26-04-25	TJC
R	Design Updates	28-03-25	TJC
S	Facade Updates	03-04-25	TJC
G	Design Updates	25-03-25	TJC
P	PMT Added	24-03-23	CZ
O	Further Issues Response #2	01-02-23	CZ
N	Further Issues Response	16-12-22	CZ
M	Preliminary F1 Response	07-12-22	CZ
L	Development Application	03-08-22	CZ
K	Prelodgement Updates	18-01-22	CZ
J	Amended Site Boundaries	28-03-22	CZ
I	General Amendments	16-12-21	CZ

Revision	Description	Date	Initials
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Scale (m) 1 : 300 @A3

PROJECT
NORTH STAR
LOT 3A-2 CORNER OF KNOWLEDGE AND
BONNER STREET, GCHKP

CLIENT
GOLD COAST 888 TRUST

DRAWING TITLE
SITE PLAN

Project Architect/Designer	Drawn By	Date Drawn
MK	TJC	
Checked	Date Checked	Scale @ A1
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Drawing No.	Revision	
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7. Any drawing issued without a current revision date represents an uncontrolled copy of the original document.

LEGEND

APPROXIMATE AREAS

CARPARK LEVEL 1	1061 m ²
CARPARK: 1	1061 m ²

COMMERCIAL LOBBY	104 m ²
FEMALE	9 m ²
MALE	10 m ²
PWD	6 m ²
TENANCY 1	122 m ²
TENANCY 2	137 m ²
TENANCY 3	163 m ²
COMMON: 14	390 m ²
LEVEL 1: 22	2002 m ²

CLINICAL WASTE	11 m ²
CORRIDOR	26 m ²
LOADING BAY	95 m ²
LOBBY	37 m ²
MEDICAL GAS ROOM	54 m ²
MSB	12 m ²
NBN/COMMS	8 m ²
REFUSE	47 m ²
STAIR 1	51 m ²
STAIR 3	8 m ²
STAIR 4	5 m ²
STAIR 5	16 m ²
STAIR 6	3 m ²
STORES	17 m ²
COMMON: 14	390 m ²
LEVEL 1: 22	2002 m ²

CARPARKING

TANDEM	26
VISITOR	7
LEVEL 1: 33	33

SMALL	11
TANDEM	48
VISITOR	11
LEVEL 2: 70	70

SHORT TERM	14
SMALL	2
TANDEM	34
VISITOR	9
LEVEL 3: 59	59

U	Preliminary	28-04-25	TJC
S	Design Updates	28-03-25	TJC
Y	Facade Updates	03-04-25	TJC
R	Design Updates	25-03-25	TJC
Q	PAT Added	25-03-25	CZ
P	Further Issues Response	16-12-22	CZ
O	Preliminary FI Response	07-12-22	CZ
N	Preliminary FI Response	30-11-22	CZ
M	Development Application	03-08-22	CZ
L	Predevelopment Updates	26-07-22	CZ
K	Predevelopment Updates	18-07-22	CZ
J	Amended Site Boundaries	28-03-22	CZ

Revision	Description	Date	Initials
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ARCHITECTURE .
INTERIORS .
ENVIRONMENT .
MASTERPLANNING .



0 2 4 10
Scale (m) 1 : 100 @A1 Scale (m) 1 : 200 @A3

PROJECT
NORTH STAR
LOT 3A-2 CORNER OF KNOWLEDGE AND
BONNER STREET, GCHKP

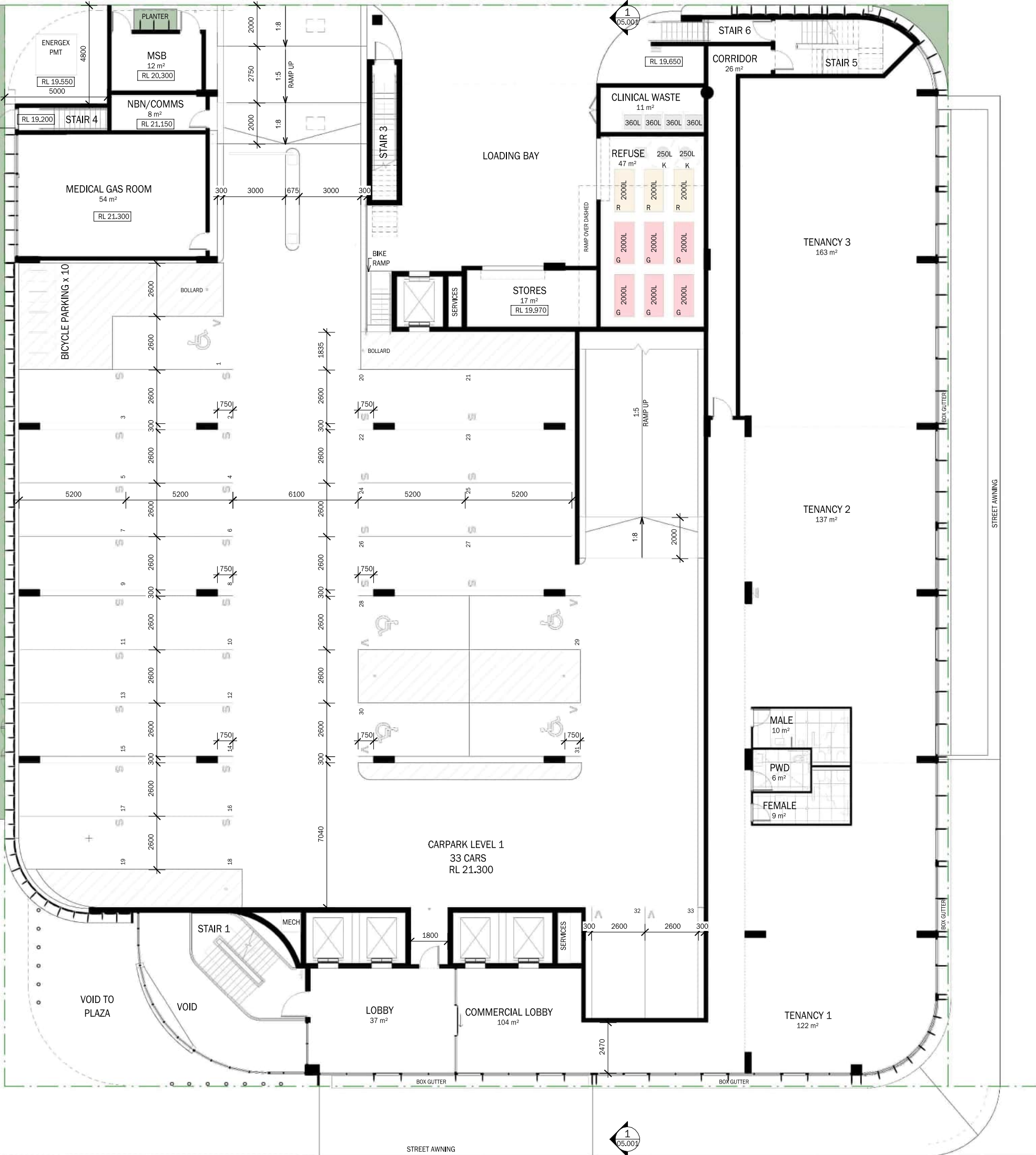
CLIENT
GOLD COAST 888 TRUST

DRAWING TITLE
LEVEL 1 FLOOR PLAN

Project Architect/Designer	Drawn By	Date Drawn
MK	TJC	
Checked	Date Checked	Scale @ A1
-		1 : 100
Drawing No.	Revision	

6140.1S.02.002

U



BONNER STREET

1
05.002

STREET PARKING

STREET PARKING

STREET PARKING

EXISTING FOOTPATH

ENERGEX
PMT
ABOVE

PUMP ROOM
23 m²
RL 16,500

SPRINKLER TANKS
65 m²
RL 16,500

STAIR 4

CORRIDOR
9 m²

EOT LOBBY
28 m²
RL 16,500

BIKE
RAMP

CORRIDOR
108 m²
RL 17,400

COMMERCIAL LOBBY
73 m²
RL 17,400

TENANCY 1
596 m²
RL 17,400

TENANCY 5
166 m²
RL 17,400

TENANCY 4
312 m²
RL 17,400

TENANCY 3
140 m²
RL 15,420

TENANCY 2
105 m²
RL 15,420

TENANCY 6
183 m²
RL 17,400

BICYCLE PARKING x 40
66 m²

LOCKERS
15 m²

MALE
32 m²

PWD
9 m²

FEMALE
32 m²

LOBBY
34 m²
RL 17,400

MECH

ENTRY FOYER
52 m²
RL 17,400

ENTRY PLAZA
RL 17,400

EMERGENCY
EXIT

KNOWLEDGE STREET

1
05.003

AWNING ABOVE

3400

RL 15,370

RL 15,370

RL 17,350

RL 17,400

RL 17,400

RL 16,500

RL 17,350

PLANTING AT END OF SERVICE
LANE TO INTEGRATE INTO
DESIGN OF PIAZZA - REFER TO
LANDSCAPE DESIGN

APPROXIMATE AREAS	
COMMERCIAL LOBBY	73 m ²
TENANCY 1	596 m ²
TENANCY 2	105 m ²
TENANCY 3	140 m ²
TENANCY 4	312 m ²
TENANCY 5	166 m ²
TENANCY 6	183 m ²
COMMON: 15	481 m ²
GROUND FLOOR: 22	2056 m ²

BICYCLE PARKING	66 m ²
BOOSTER/HYDRANT	2 m ²
CLEANER	1 m ²
CORRIDOR	9 m ²
CORRIDOR	108 m ²
ENTRY FOYER	52 m ²
EOT LOBBY	28 m ²
FEMALE	32 m ²
LOBBY	34 m ²
LOCKERS	15 m ²
MALE	32 m ²
PUMP ROOM	23 m ²
PWD	9 m ²
SPRINKLER TANKS	65 m ²
WATER METERS	5 m ²
COMMON: 15	481 m ²
GROUND FLOOR: 22	2056 m ²

CARPARKING

TANDEM	26
VISITOR	7
LEVEL 1: 33	33

SMALL	11
TANDEM	48
VISITOR	11
LEVEL 2: 70	70

SHORT TERM	14
SMALL	2
TANDEM	34
VISITOR	9
LEVEL 3: 59	59

INDICATIVE LINE OF PROPOSED
PAVEMENT NOT INCLUDED IN THIS
APPLICATION - DESIGN BY OTHERS -
REFER TO PIAZZA DESIGN

1
05.002

AWNING ABOVE

RL 15,370

RL 17,400

RL 17,400

RL 16,500

RL 17,350

PRELIMINARY

1. The Client/Consultant/Builder understands that they accept all responsibility and must check all details for the accuracy and information presented on the JWD file provided electronically by TVS Architects.
2. TVS Architects accepts no liability for the JWD file once they have been received by the Client/Consultant/Builder.
3. TVS Architects accepts no liability for the JWD file once they have been received by the Client/Consultant/Builder.
4. The drawings should not be used by the Client/Consultant/Builder for design purposes that are not directly related to this project.
5. The drawings should not be used by the Client/Consultant/Builder for design purposes that are not directly related to this project.
6. The Client/Consultant/Builder understands that all dimensions are to be verified on site prior to commencement of work. Normalised dimensions are to be used in preference to scaling off drawings.
7. Any drawing issued without a current revision date represents an uncontrolled copy of the original document.

LEGEND

V	Preliminary	28-04-25	TJC
Y	Design Updates	28-03-25	TJC
U	Facade Updates	03-04-25	TJC
S	Design Updates	25-03-25	TJC
R	PMT Added	24-03-23	CZ
Q	Further Issues Response #2	01-02-23	CZ
P	Further Issues Response	16-12-22	CZ
O	Preliminary FI Response	07-12-22	CZ
N	Preliminary FI Response	30-11-22	CZ
M	Development Application	03-08-22	CZ
L	Predevelopment Updates	18-07-22	CZ
K	Amended Site Boundaries	28-03-22	CZ

Revision	Description	Date	Initials
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TV
S

Brisbane

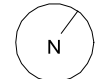
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0 2 4 10
Scale (m) 1 : 100 @A1 Scale (m) 1 : 200 @A3

PROJECT
NORTH STAR
LOT 3A-2 CORNER OF KNOWLEDGE AND
BONNER STREET, GCHKP

CLIENT
GOLD COAST 888 TRUST

DRAWING TITLE
GROUND FLOOR PLAN

Project Architect/Designer	Drawn By	Date Drawn
MK	TJC	
Checked	Date Checked	Scale @ A1
-		1 : 100
Drawing No.	Revision	
6140.1S.02.001	V	

PRELIMINARY

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2. TVS Architects accepts no liability for the JWDG files once they have been received by the Client/Consultant/Builder.
3. No changes to the JWDG files are acceptable and any changes that are made by others will immediately and permanently remove any liability for the information presented on the drawing files.
4. The drawings should not be used by the Client/Consultant/Builder for design purposes that are not directly related to this project.
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LEGEND

APPROXIMATE AREAS

CARPARK LEVEL 1	1061 m ²
CARPARK: 1	1061 m ²

COMMERCIAL LOBBY	104 m ²
FEMALE	9 m ²
MALE	10 m ²
PWD	6 m ²
TENANCY 1	122 m ²
TENANCY 2	137 m ²
TENANCY 3	163 m ²
COMMON: 14	390 m ²
LEVEL 1: 22	2002 m ²

CLINICAL WASTE	11 m ²
CORRIDOR	26 m ²
LOADING BAY	95 m ²
LOBBY	37 m ²
MEDICAL GAS ROOM	54 m ²
MSB	12 m ²
NBN/COMMS	8 m ²
REFUSE	47 m ²
STAIR 1	51 m ²
STAIR 3	8 m ²
STAIR 4	5 m ²
STAIR 5	16 m ²
STAIR 6	3 m ²
STORES	17 m ²
COMMON: 14	390 m ²
LEVEL 1: 22	2002 m ²

CARPARKING

TANDEM	26
VISITOR	7
LEVEL 1: 33	33

SMALL	11
TANDEM	48
VISITOR	11
LEVEL 2: 70	70

SHORT TERM	14
SMALL	2
TANDEM	34
VISITOR	9
LEVEL 3: 59	59

U	Preliminary	28-04-25	TJC
S	Design Updates	28-03-25	TJC
Y	Facade Updates	03-04-25	TJC
R	Design Updates	25-03-25	TJC
Q	PAT Added	25-03-25	CZ
P	Further Issues Response	16-12-22	CZ
O	Preliminary FI Response	07-12-22	CZ
N	Preliminary FI Response	30-11-22	CZ
M	Development Application	03-08-22	CZ
L	Predevelopment Updates	26-07-22	CZ
K	Predevelopment Updates	18-07-22	CZ
J	Amended Site Boundaries	28-03-22	CZ

Revision	Description	Date	Initials
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0 2 4 10
Scale (m) 1 : 100 @A1 Scale (m) 1 : 200 @A3

PROJECT
NORTH STAR
LOT 3A-2 CORNER OF KNOWLEDGE AND
BONNER STREET, GCHKP

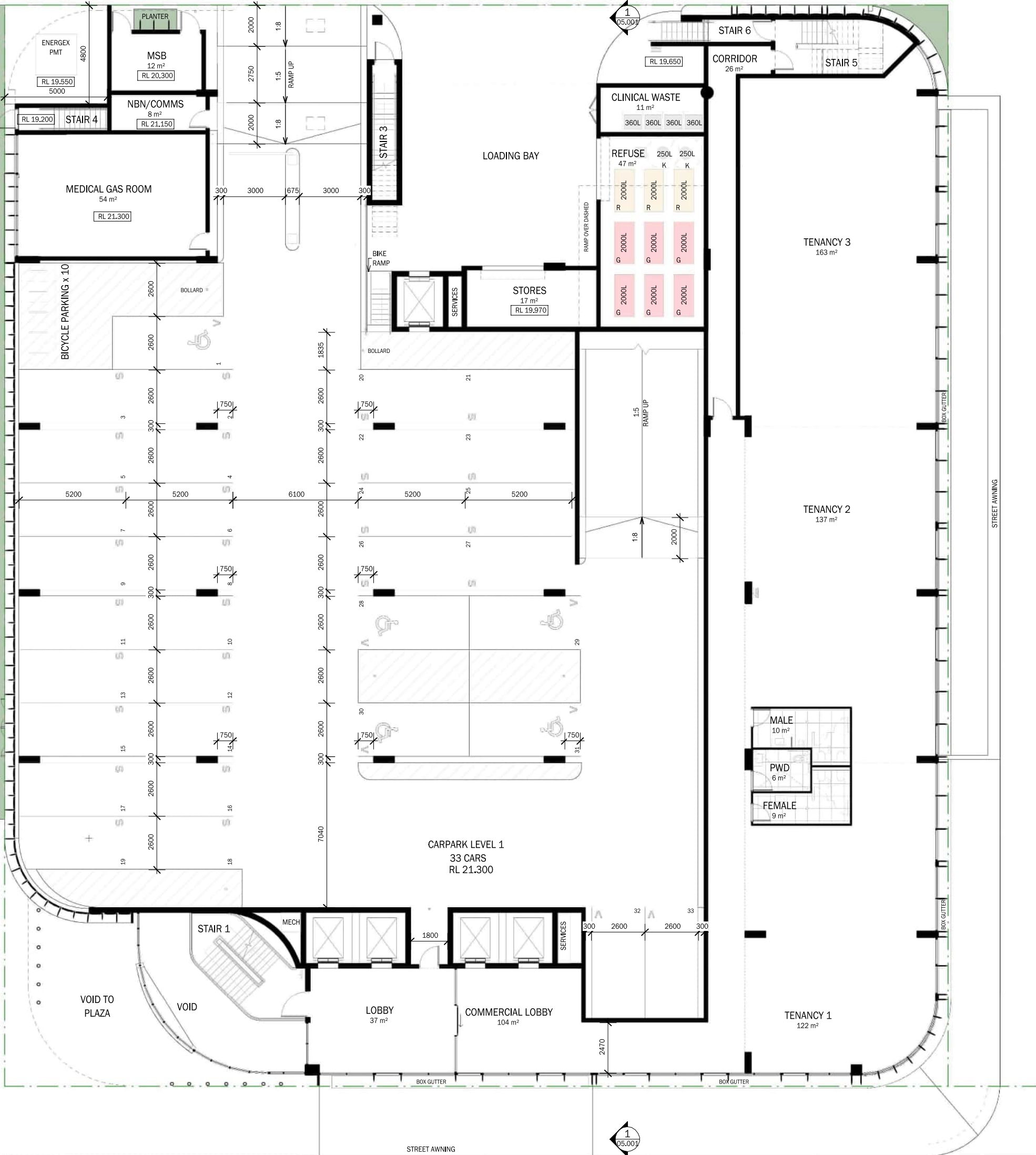
CLIENT
GOLD COAST 888 TRUST

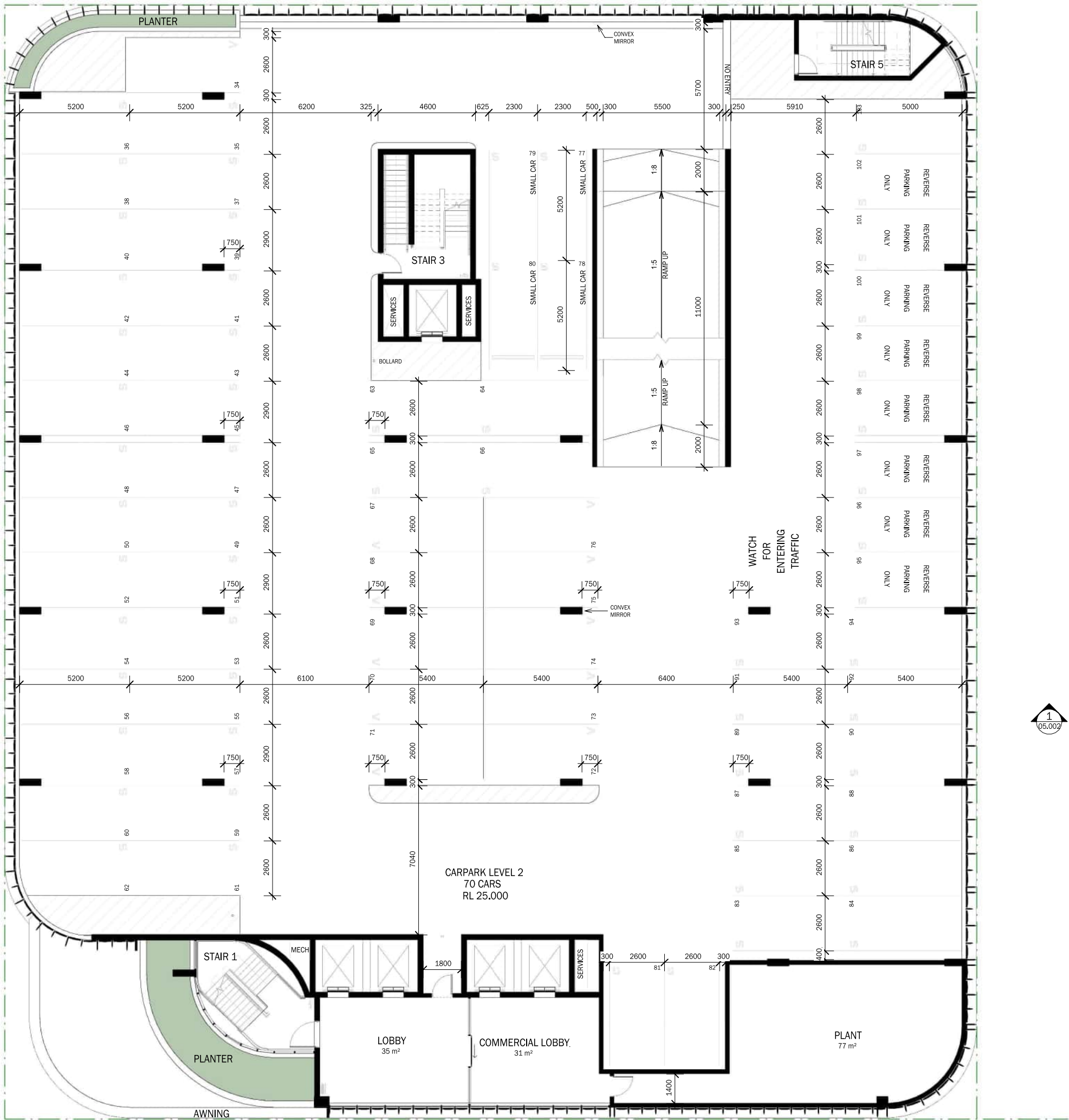
DRAWING TITLE
LEVEL 1 FLOOR PLAN

Project Architect/Designer	Drawn By	Date Drawn
MK	TJC	
Checked	Date Checked	Scale @ A1
-		1 : 100
Drawing No.	Revision	

6140.1S.02.002

U





APPROXIMATE AREAS

CARPARK LEVEL 2	1887 m²
CARPARK: 1	1887 m²

COMMERCIAL LOBBY	31 m²
PLANT	77 m²
COMMERCIAL: 2	108 m²

LOBBY	35 m²
STAIR 1	23 m²
STAIR 3	16 m²
COMMON: 3	74 m²
LEVEL 2: 6	2069 m²

CARPARKING

TANDEM	26
VISITOR	7
LEVEL 1: 33	33

SMALL	11
TANDEM	48
VISITOR	11
LEVEL 2: 70	70

SHORT TERM	14
SMALL	2
TANDEM	34
VISITOR	9
LEVEL 3: 59	59

PRELIMINARY

1. The Client/Consultant/Builder understands that they accept all responsibility and must check all details for the accuracy and information presented on the J2002 file provided electronically by TVS Architects.
2. TVS Architects accepts no liability for the J2002 files once they are made by others and immediately and permanently remove any liability for the information presented on the drawing files.
3. No changes to the files are acceptable and any changes that are made by others will immediately and permanently remove any liability for the information presented on the drawing files.
4. The drawings should not be placed in any way by the receiving parties for design purposes that are not directly related to this project.
5. The drawings should only be used by the person(s) that have accepted them directly via email or on a web-based distribution and should not be forwarded on to any other parties unless approved to do so by TVS Architects.
6. The Client/Consultant/Builder understands that all dimensions are to be verified on site prior to commencement of work. Normalized dimensions are to be used in preference to scaling off drawings.
7. Any drawing issued without a current revision date represents an uncontrolled copy of the original document.

LEGEND

R	Preliminary	26-04-25	TJC
P	Design Updates	28-03-25	TJC
Q	Facade Updates	03-04-25	TJC
Q	Design Updates	25-03-25	TJC
N	Further Issues Response	16-12-22	CZ
M	Preliminary PI Response	07-12-22	CZ
L	Preliminary PI Response	30-11-22	CZ
K	Development Application	03-08-22	CZ
J	Prelodgement Updates	26-07-22	CZ
I	Prelodgement Updates	18-07-22	CZ
H	Amended Site Boundaries	28-03-22	CZ
G	General Amendments	16-12-21	CZ

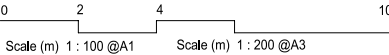
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PROJECT
NORTH STAR
LOT 3A-2 CORNER OF KNOWLEDGE AND
BONNER STREET, GCHKP

CLIENT
GOLD COAST 888 TRUST

DRAWING TITLE
LEVEL 2 FLOOR PLAN

Project Architect/Designer	Drawn By	Date Drawn
MK	TJC	
Checked	Date Checked	Scale @ A1
-		1 : 100
Drawing No.	Revision	
6140.1S.02.003	R	

PRELIMINARY

1. The Client/Consultant/Builder understands that they accept all responsibility and must check all details for the accuracy and information presented on the JWDG file provided electronically by TVS Architects.
2. TVS Architects accept no liability for the JWDG files once they have been received by the Client/Consultant/Builder.
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LEGEND

APPROXIMATE AREAS

CARPARK LEVEL 3	1605 m ²
CARPARK: 1	1605 m ²

COMMERCIAL LOBBY	32 m ²
FEMALE	9 m ²
MALE	10 m ²
PWD	6 m ²
TENANCY 1	350 m ²
COMMERCIAL: 5	407 m ²

LOBBY	36 m ²
STAIR 1	24 m ²
STAIR 2	16 m ²
COMMON: 3	76 m ²
LEVEL 3: 9	2088 m ²

CARPARKING

TANDEM	26
VISITOR	7
LEVEL 1: 33	33

SMALL	11
TANDEM	48
VISITOR	11
LEVEL 2: 70	70

SHORT TERM	14
SMALL	2
TANDEM	34
VISITOR	9
LEVEL 3: 59	59

S	Preliminary	28-04-25	TJC
Q	Design Updates	28-03-25	TJC
R	Facade Updates	03-04-25	TJC
P	Design Updates	25-03-25	TJC
O	Further Issues Response	16-12-22	CZ
N	Preliminary PI Response	07-12-22	CZ
M	Preliminary PI Response	30-11-22	CZ
L	Development Application	03-08-22	CZ
K	Preliminary Updates	26-07-22	CZ
J	Preliminary Updates	18-07-22	CZ
I	Amended Site Boundaries	28-03-22	CZ
H	General Amendments	16-12-21	CZ

Revision	Description	Date	Initials
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0 2 4 10
Scale (m) 1 : 100 @A1 Scale (m) 1 : 200 @A3

PROJECT
NORTH STAR
LOT 3A-2 CORNER OF KNOWLEDGE AND
BONNER STREET, GCHKP

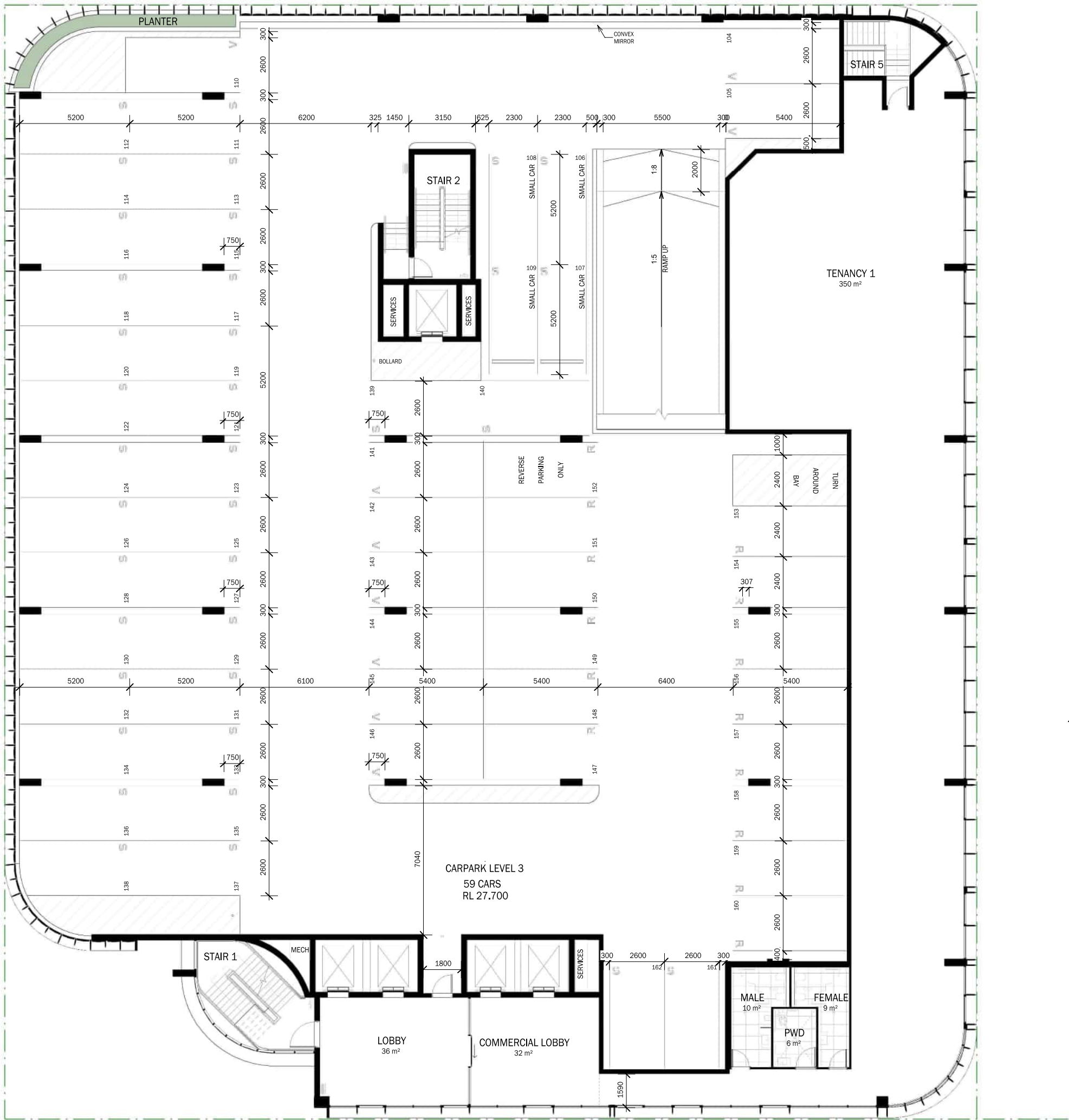
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DRAWING TITLE
LEVEL 3 FLOOR PLAN

Project Architect/Designer	Drawn By	Date Drawn
MK	TJC	
Checked	Date Checked	Scale @ A1
-		1 : 100
Drawing No.	Revision	

6140.1S.02.004

S



LEGEND

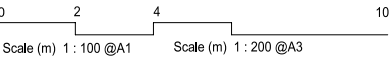
COVERED AREA	45 m ²
OUTDOOR TERRACE	901 m ²
TERRACE: 2	946 m ²
LEVEL 4: 41	1881 m ²

S	Preliminary	28-04-25	TJC
Q	Design Updates	28-03-25	TJC
R	Facade Updates	03-04-25	TJC
P	Design Updates	25-03-25	TJC
O	Father Issues Response	19-12-22	CZ
N	Updated Podium Terrace	14-12-22	CZ
M	Updated Podium Terrace	09-12-22	CZ
L	Preliminary R1 Response	07-12-22	CZ
K	Development Application	03-08-22	CZ
J	PreDevelopment Updates	25-07-22	CZ
I	PreDevelopment Updates	19-07-22	CZ
H	Amended Site Boundaries	28-03-22	CZ

Revision	Description	Date	Initials
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DRAWING TITLE
LEVEL 4 FLOOR PLAN

Project Architect/Designer	Drawn By	Date Drawn
MK	TJC	
Checked	Date Checked	Scale @ A1
-		1 : 100
Drawing No.	Revision	

S

CORRIDOR	89 m ²
LOBBY	36 m ²
STAIR 1	23 m ²
STAIR 2	15 m ²
COMMON: 4	163 m ²

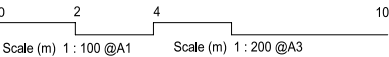
TERRACE	15 m ²
TERRACE: 1	15 m ²
LEVEL 5: 37	868 m ²

N	Preliminary	28-04-25	TJC
L	Design Updates	28-03-25	TJC
M	Facade Updates	03-04-25	TJC
K	Design Updates	25-03-25	TJC
J	Father Issues Response	19-12-22	CZ
I	Development Application	03-08-22	CZ
H	Prebidgement Updates	25-07-22	CZ
G	Prebidgement Updates	19-07-22	CZ
F	Amended Site Boundaries	28-03-22	CZ
E	General Amendments	14-12-21	CZ
D	Preliminary DA Set	28-10-21	CZ
C	Concept Design	23-09-21	CZ

Revision	Description	Date	Initials
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MASTERPLANNING .



PROJECT
NORTH STAR
LOT 3A-2 CORNER OF KNOWLEDGE AND
BONNER STREET, GCHKP

CLIENT
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DRAWING TITLE
LEVEL 5 FLOOR PLAN

Project Architect/Designer	Drawn By	Date Drawn
MK	TJC	
Checked	Date Checked	Scale @ A1
-		1 : 100
Drawing No.	Revision	

CORRIDOR	89 m ²
LOBBY	36 m ²
STAIR 1	23 m ²
STAIR 2	15 m ²
COMMON: 4	163 m ²

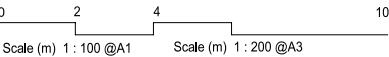
TERRACE	15 m ²
TERRACE: 1	15 m ²
LEVEL 6: 37	868 m ²

O	Preliminary	28-04-25	TJC
M	Design Updates	28-03-25	TJC
N	Facade Updates	03-04-25	TJC
L	Design Updates	25-03-25	TJC
F	Father Issues Response	19-12-22	CZ
J	Development Application	03-08-22	CZ
I	Protodgement Updates	19-07-22	CZ
H	Updated for Tenancies	15-06-22	CZ
G	Amended Site Boundaries	28-03-22	CZ
F	General Amendments	14-12-21	CZ
E	Preliminary DA Set	28-10-21	CZ
D	Concept Design	23-09-21	CZ

Revision	Description	Date	Initials
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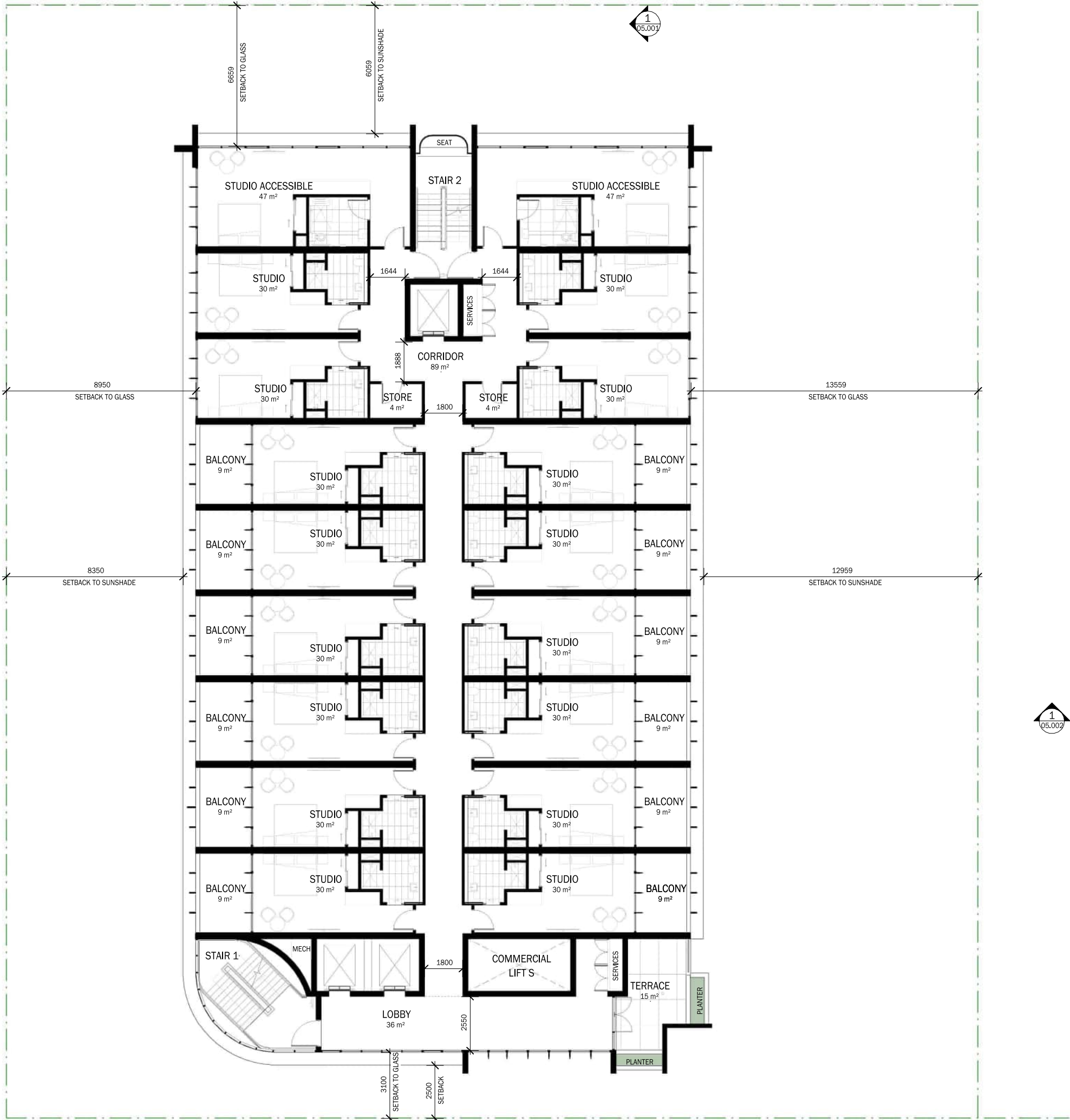


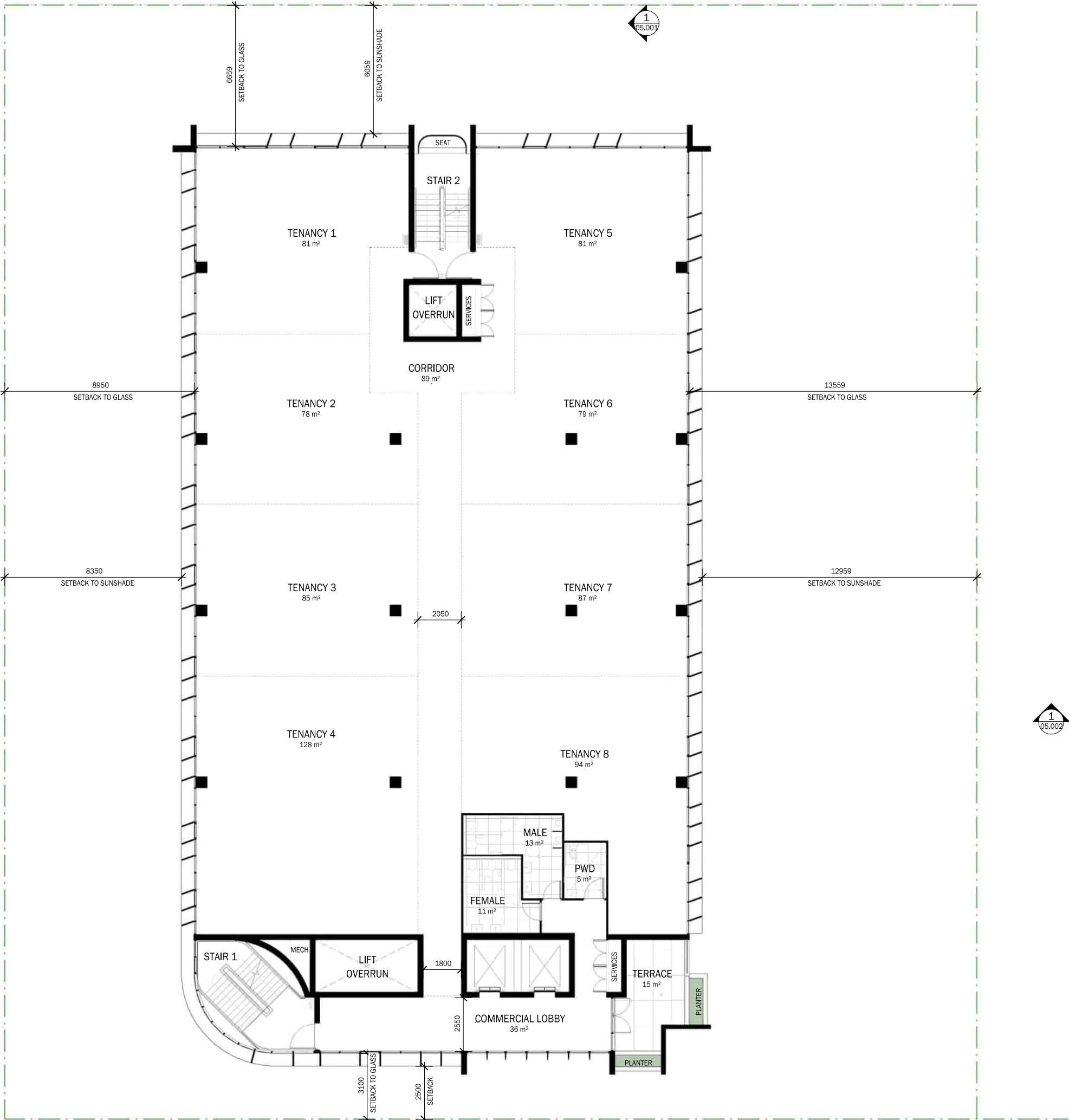
PROJECT
NORTH STAR
LOT 3A-2 CORNER OF KNOWLEDGE AND
BONNER STREET, GCHKP

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GOLD COAST 888 TRUST

DRAWING TITLE
LEVEL 6 FLOOR PLAN

Project Architect/Designer	Drawn By	Date Drawn
MK	TJC	
Checked	Date Checked	Scale @ A1
-		1 : 100
Drawing No.	Revision	





APPROXIMATE AREAS

COMMERCIAL LOBBY	36 m²
FEMALE	11 m²
MALE	13 m²
PWD	5 m²
TENANCY 1	81 m²
TENANCY 2	78 m²
TENANCY 3	85 m²
TENANCY 4	128 m²
TENANCY 5	81 m²
TENANCY 6	79 m²
TENANCY 7	87 m²
TENANCY 8	94 m²
COMMERCIAL: 12	778 m²

CORRIDOR	89 m²
STAIR 1	23 m²
STAIR 2	16 m²
COMMON: 3	128 m²

TERRACE	15 m²
TERRACE: 1	15 m²
LEVEL 7: 16	921 m²

PRELIMINARY

1. The Client/Consultant/Builder understands that they accept all responsibility and must check all details for the accuracy and information presented on the DVD/ file provided electronically by TVS Architects.
2. TVS Architects accepts no liability for the DVD/ file once they have been sent to the Client/Consultant/Builder.
3. TVS Architects accepts no liability for the DVD/ file once they have been sent to the Client/Consultant/Builder.
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LEGEND

N	Preliminary	28-04-25	TJC
L	Design Updates	28-03-25	TJC
M	Facade Updates	03-04-25	TJC
K	Design Updates	25-03-25	TJC
J	Further Issues Response	16-12-22	CZ
I	Development Application	03-08-22	CZ
H	Prelodgement Updates	19-07-22	CZ
G	Amended Site Boundaries	28-03-22	CZ
F	General Amendments	16-12-21	CZ
E	Preliminary DA Set	28-10-21	CZ
D	Concept Design	23-09-21	CZ
C	General Amendments	02-08-21	CZ

Revision	Description	Date	Initials
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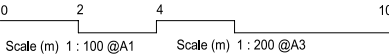


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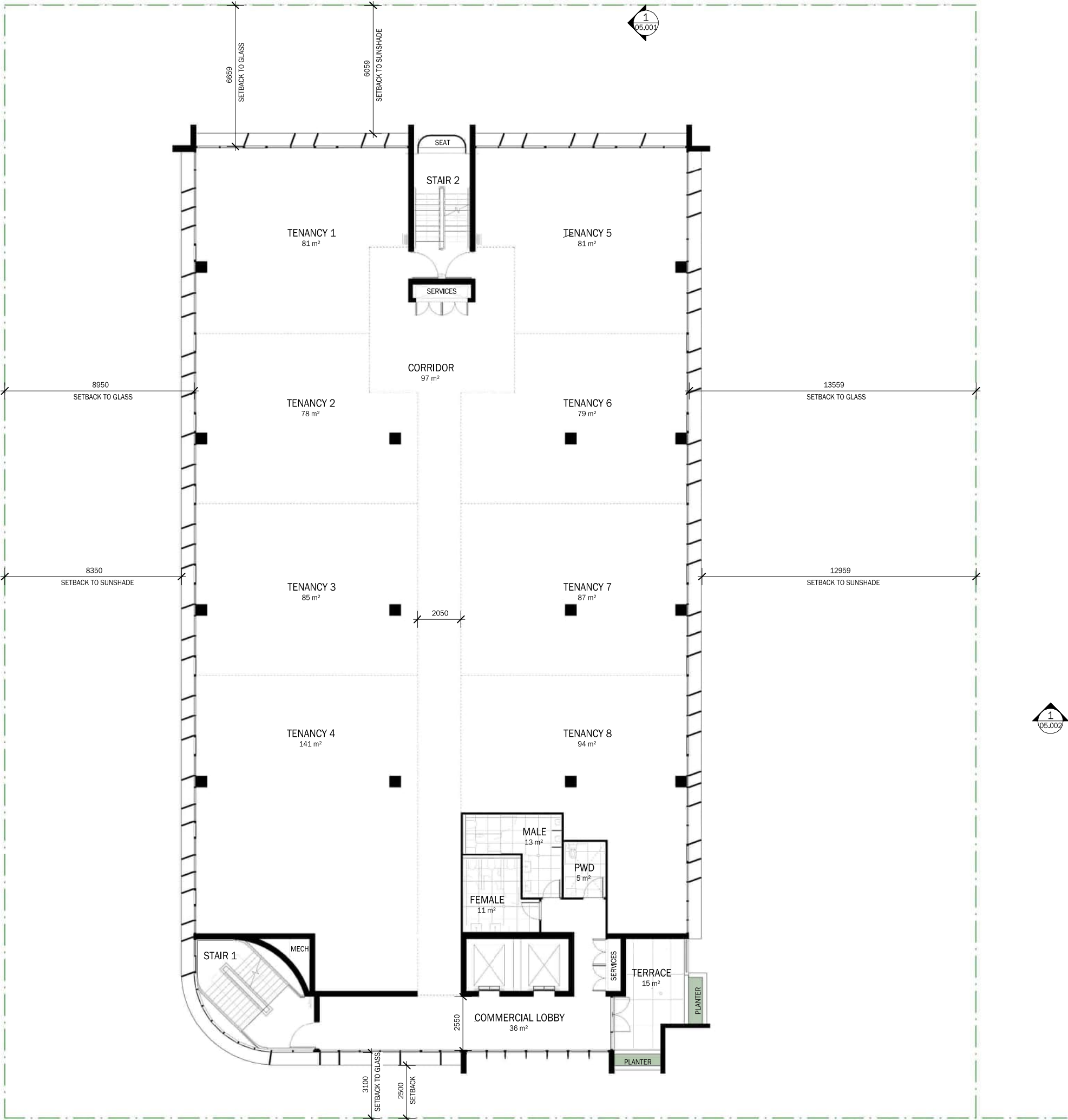


PROJECT
NORTH STAR
LOT 3A-2 CORNER OF KNOWLEDGE AND
BONNER STREET, GCHKP

CLIENT
GOLD COAST 888 TRUST

DRAWING TITLE
LEVEL 7 FLOOR PLAN

Project Architect/Designer	Drawn By	Date Drawn
MK	TJC	
Checked	Date Checked	Scale @ A1
-		1 : 100
Drawing No.	Revision	
6140.1S.02.008	N	



APPROXIMATE AREAS

COMMERCIAL LOBBY	36 m ²
FEMALE	11 m ²
MALE	13 m ²
PWD	5 m ²
TENANCY 1	81 m ²
TENANCY 2	78 m ²
TENANCY 3	85 m ²
TENANCY 4	141 m ²
TENANCY 5	81 m ²
TENANCY 6	79 m ²
TENANCY 7	87 m ²
TENANCY 8	94 m ²
COMMERCIAL: 12	791 m ²

CORRIDOR	97 m ²
STAIR 1	23 m ²
STAIR 2	16 m ²
COMMON: 3	136 m ²

TERRACE	15 m ²
TERRACE: 1	15 m ²
LEVEL 8: 16	942 m ²

PRELIMINARY

1. The Client/Consultant/Builder understands that they accept all responsibility and must check all details for the accuracy and information presented on the DVD/ file provided electronically by TVS Architects.
2. TVS Architects accepts no liability for the DVD/ file once they have been received by the Client/Consultant/Builder.
3. TVS Architects accepts no liability for the DVD/ file once they have been received by the Client/Consultant/Builder.
4. The drawings should not be used by the Client/Consultant/Builder for design purposes that are not directly related to this project.
5. The drawings should not be used by the Client/Consultant/Builder for design purposes that are not directly related to this project.
6. The Client/Consultant/Builder understands that all dimensions are to be verified on site prior to commencement of work. Nominated dimensions are to be used in preference to scaling of drawings.
7. Any drawing issued without a current revision date represents an uncontrolled copy of the original document.

LEGEND

M	Preliminary	28-04-25	TJC
K	Design Updates	28-03-25	TJC
L	Facade Updates	03-04-25	TJC
J	Design Updates	25-03-25	TJC
I	Further Issues Response	16-12-22	CZ
H	Development Application	03-08-22	CZ
G	Predevelopment Updates	19-07-22	CZ
F	Amended Site Boundaries	28-03-22	CZ
E	General Amendments	16-12-21	CZ
D	Preliminary DA Set	28-10-21	CZ
C	Concept Design	23-09-21	CZ
B	General Amendments	02-08-21	CZ

Revision	Description	Date	Initials
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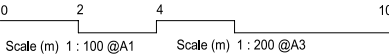


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PROJECT
NORTH STAR
LOT 3A-2 CORNER OF KNOWLEDGE AND
BONNER STREET, GCHKP

CLIENT
GOLD COAST 888 TRUST

DRAWING TITLE
LEVEL 8 FLOOR PLAN

Project Architect/Designer	Drawn By	Date Drawn
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MK	TJC	
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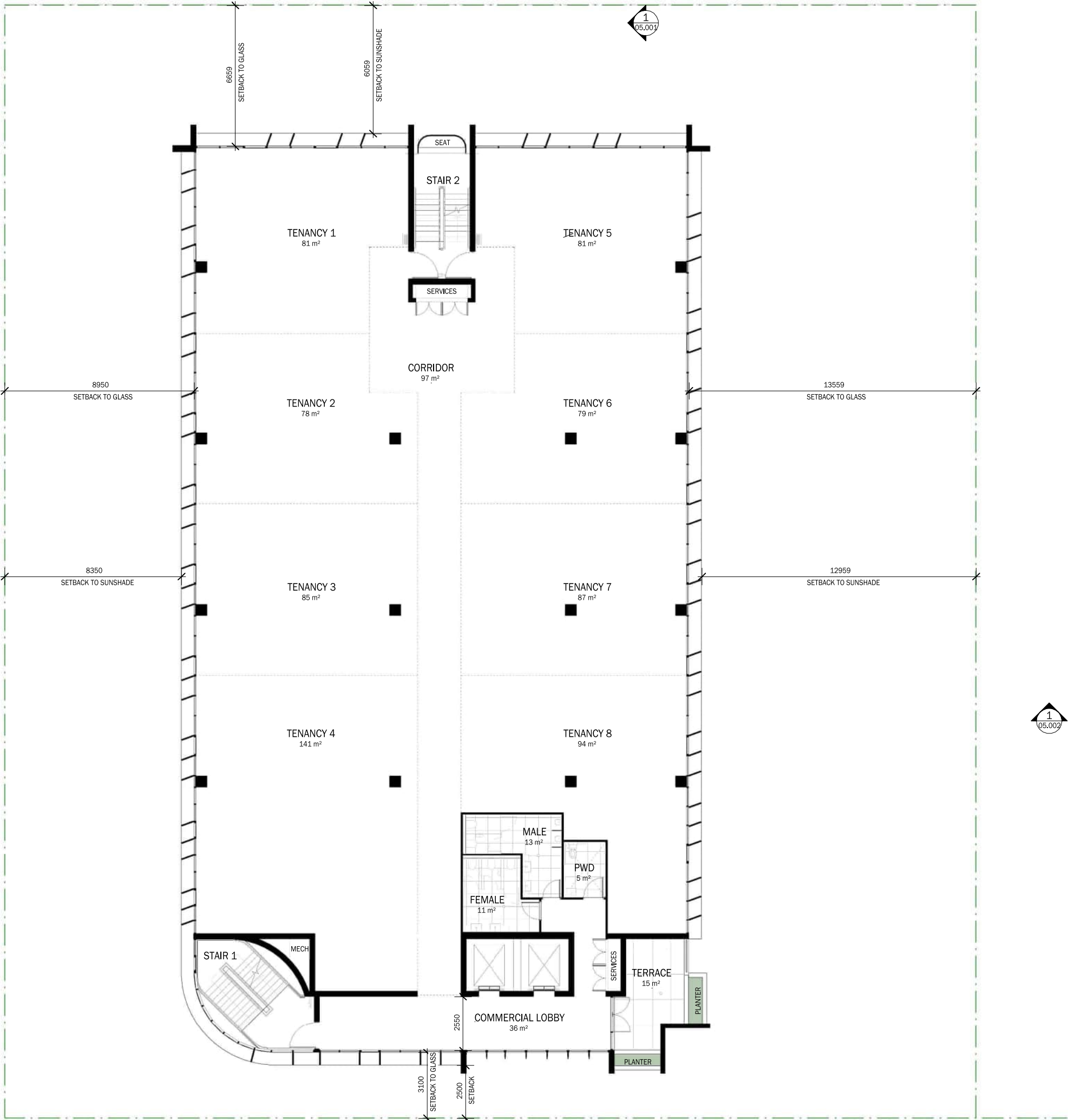
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Drawing No.	Revision
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6140.1S.02.009

M



APPROXIMATE AREAS

COMMERCIAL LOBBY	36 m ²
FEMALE	11 m ²
MALE	13 m ²
PWD	5 m ²
TENANCY 1	81 m ²
TENANCY 2	78 m ²
TENANCY 3	85 m ²
TENANCY 4	141 m ²
TENANCY 5	81 m ²
TENANCY 6	79 m ²
TENANCY 7	87 m ²
TENANCY 8	94 m ²
COMMERCIAL: 12	791 m ²

CORRIDOR	97 m ²
STAIR 1	23 m ²
STAIR 2	16 m ²
COMMON: 3	136 m ²

TERRACE	15 m ²
TERRACE: 1	15 m ²
LEVEL 9: 16	942 m ²

PRELIMINARY

1. The Client/Consultant/Builder understands that they accept all responsibility and must check all details for the accuracy and information presented on the DVD/ file provided electronically by TVS Architects.
2. TVS Architects accepts no liability for the DVD/ files once they have been received by the Client/Consultant/Builder.
3. No changes to the files are allowed and any changes that are made by others will immediately and permanently remove any liability for the information presented on the drawing files.
4. The drawings should not be used by the Client/Consultant/Builder in any way for the purpose of design purposes that are not directly related to this project.
5. The drawings should not be used by the Client/Consultant/Builder for the purpose of design purposes that are not directly related to this project.
6. The Client/Consultant/Builder understands that all dimensions are to be verified on site prior to commencement of work. Nominated dimensions are to be used in preference to scaling off drawings.
7. Any drawing issued without a current revision date represents an uncontrolled copy of the original document.

LEGEND

M	Preliminary	28-04-25	TJC
K	Design Updates	28-03-25	TJC
L	Facade Updates	03-04-25	TJC
J	Design Updates	25-03-25	TJC
I	Further Issues Response	16-12-22	CZ
H	Development Application	03-08-22	CZ
G	Prelodgement Updates	19-07-22	CZ
F	Amended Site Boundaries	28-03-22	CZ
E	General Amendments	16-12-21	CZ
D	Preliminary DA Set	28-10-21	CZ
C	Concept Design	23-09-21	CZ
B	General Amendments	02-08-21	CZ

Revision	Description	Date	Initials
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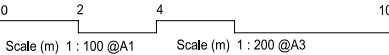


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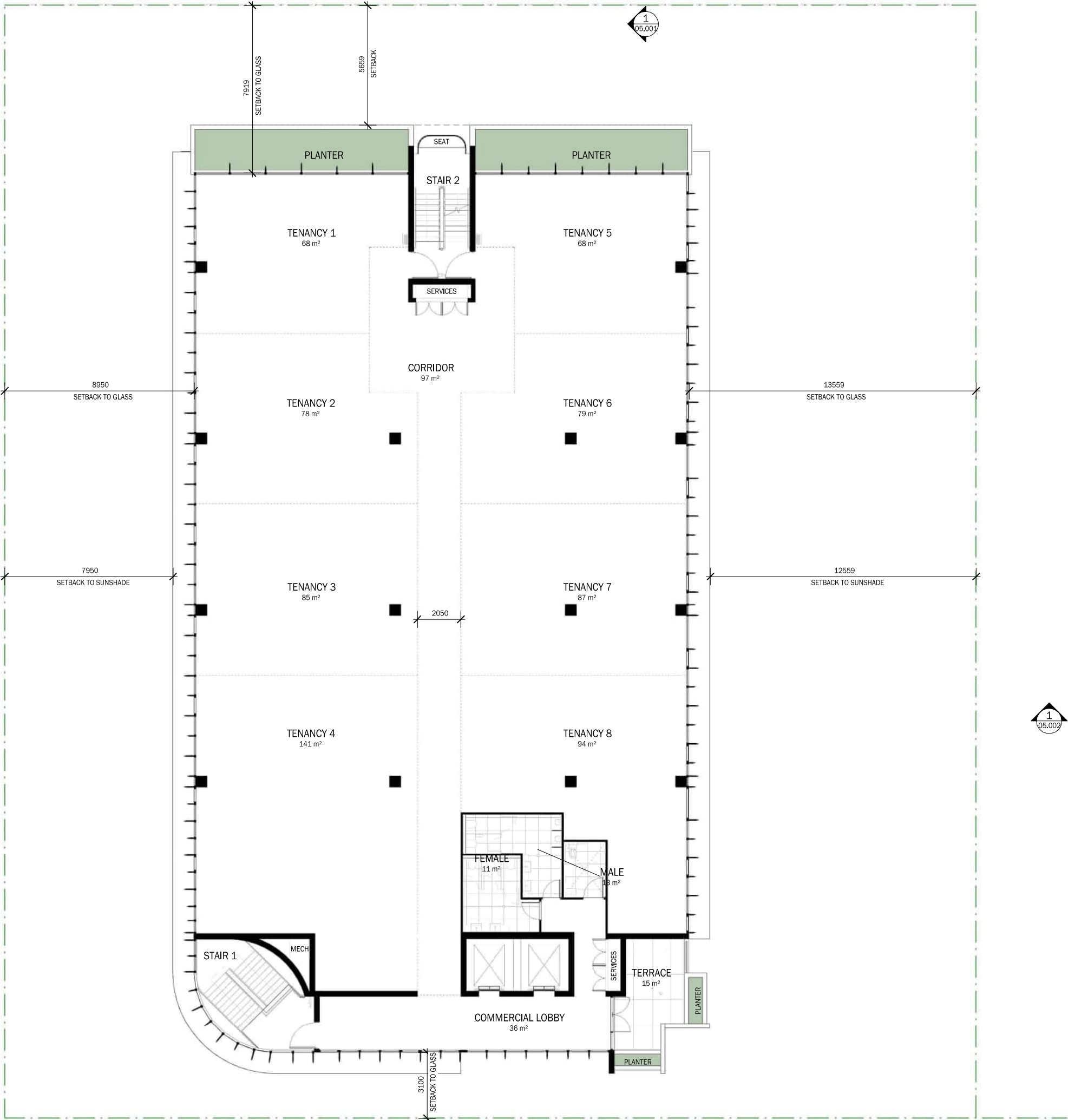


PROJECT
NORTH STAR
LOT 3A-2 CORNER OF KNOWLEDGE AND
BONNER STREET, GCHKP

CLIENT
GOLD COAST 888 TRUST

DRAWING TITLE
LEVEL 9 FLOOR PLAN

Project Architect/Designer	Drawn By	Date Drawn
MK	TJC	
Checked	Date Checked	Scale @ A1
-		1 : 100
Drawing No.	Revision	
6140.1S.02.010	M	



APPROXIMATE AREAS

COMMERCIAL LOBBY	36 m²
FEMALE	11 m²
MALE	13 m²
PWD	5 m²
TENANCY 1	68 m²
TENANCY 2	78 m²
TENANCY 3	85 m²
TENANCY 4	141 m²
TENANCY 5	68 m²
TENANCY 6	79 m²
TENANCY 7	87 m²
TENANCY 8	94 m²
COMMERCIAL: 12	765 m²

CORRIDOR	97 m²
STAIR 1	23 m²
STAIR 2	16 m²
COMMON: 3	136 m²

TERRACE	15 m²
TERRACE: 1	15 m²
LEVEL 10: 16	916 m²

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3. TVS Architects accepts no liability for the JWS/1 file once they have been received by the Client/Consultant/Builder.
4. The drawings should not be used for any purpose other than that for which they were prepared.
5. The drawings should not be used for any purpose other than that for which they were prepared.
6. The Client/Consultant/Builder understands that all dimensions are to be verified on site prior to commencement of work.
7. Any drawing issued without a current revision date represents an uncontrolled copy of the original document.

LEGEND

O	Preliminary	26-04-25	TJC
M	Design Updates	28-03-25	TJC
N	Facade Updates	03-04-25	TJC
L	Design Updates	25-03-25	TJC
K	Further Issues Response	16-12-22	CZ
J	Development Application	03-08-22	CZ
I	Pratidgement Updates	19-07-22	CZ
H	Amended Floorplan	23-06-22	CZ
G	Amended Site Boundaries	28-03-22	CZ
F	General Amendments	14-12-21	CZ
E	Preliminary DA Set	28-10-21	CZ
D	Concept Design	23-09-21	CZ

Revision	Description	Date	Initials
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TVS

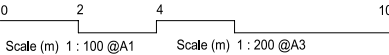
S

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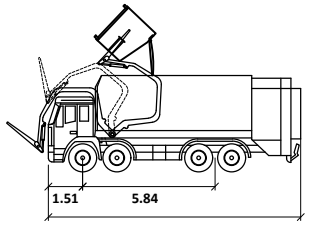
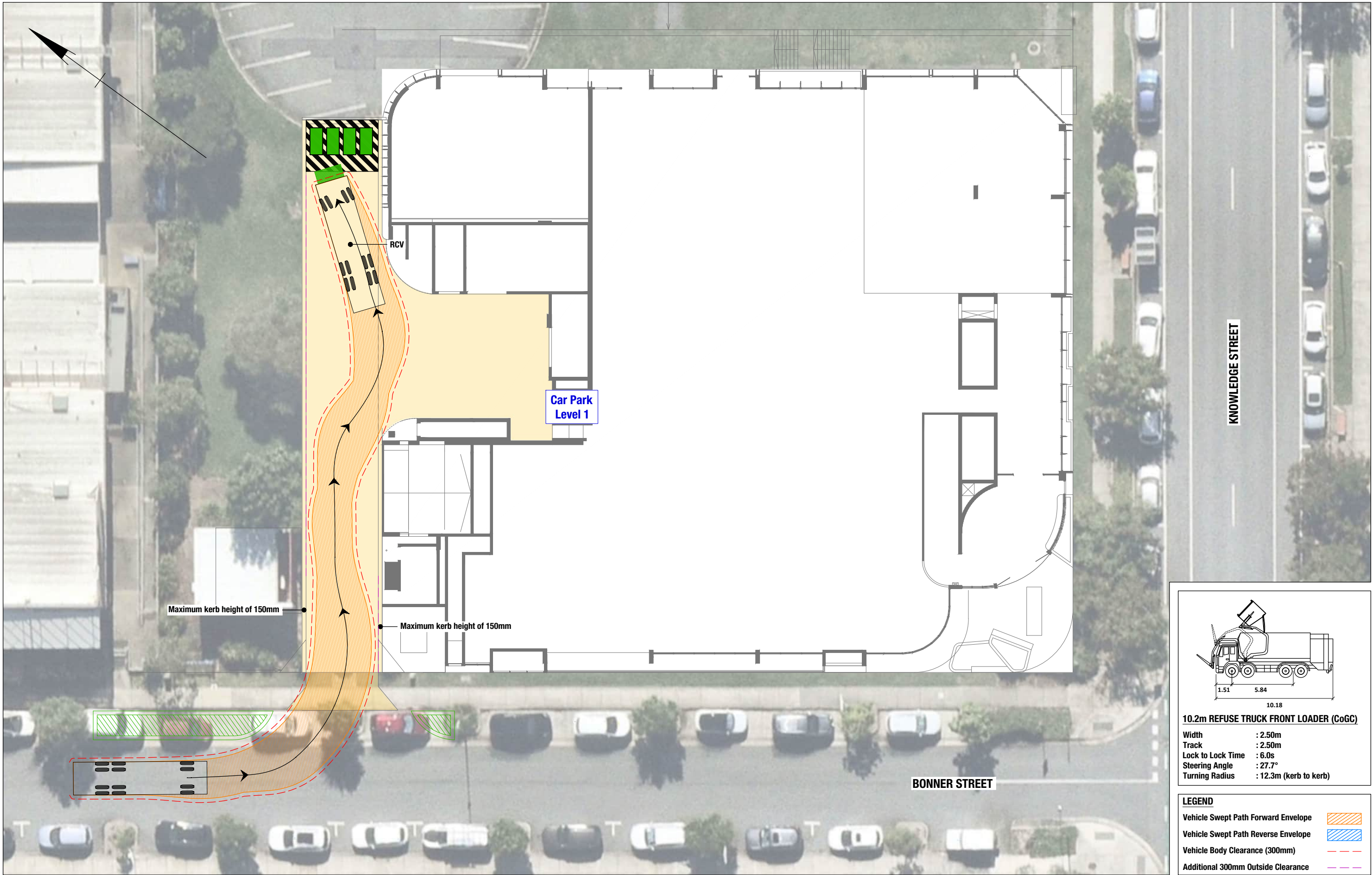
PROJECT
NORTH STAR
LOT 3A-2 CORNER OF KNOWLEDGE AND
BONNER STREET, GCHKP

CLIENT
GOLD COAST 888 TRUST

DRAWING TITLE
LEVEL 10 FLOOR PLAN

Project Architect/Designer	Drawn By	Date Drawn
MK	TJC	
Checked	Date Checked	Scale @ A1
-		1 : 100
Drawing No.	Revision	
6140.1S.02.012	0	

Appendix B Swept path assessment



10.2m REFUSE TRUCK FRONT LOADER (CoGC)

Width	: 2.50m
Track	: 2.50m
Lock to Lock Time	: 6.0s
Steering Angle	: 27.7°
Turning Radius	: 12.3m (kerb to kerb)

LEGEND

Vehicle Swept Path Forward Envelope	
Vehicle Swept Path Reverse Envelope	
Vehicle Body Clearance (300mm)	
Additional 300mm Outside Clearance	

GELEON

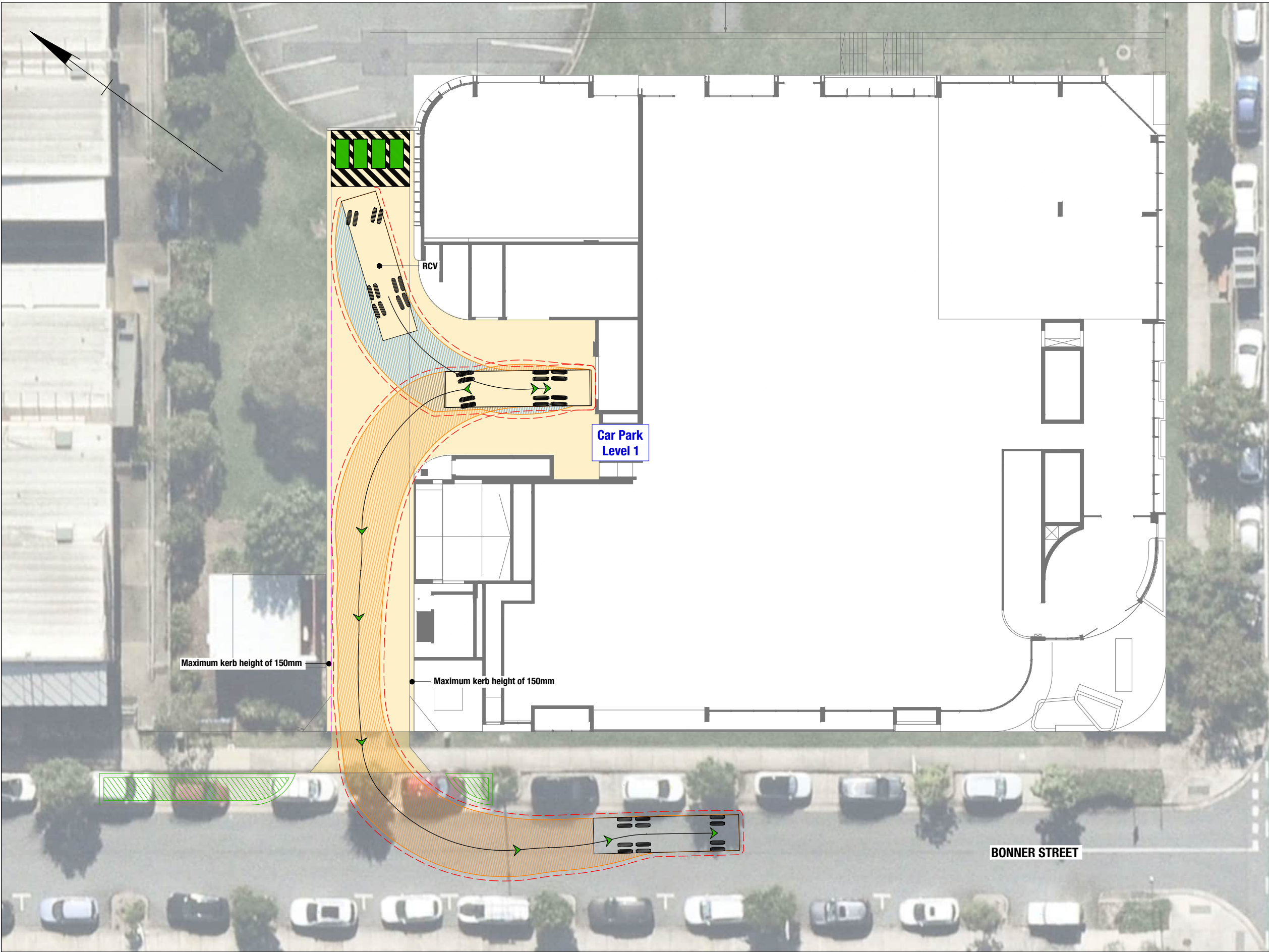
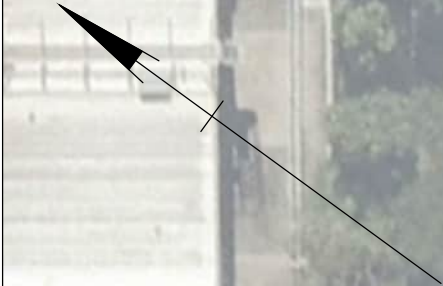
ABN 58 668 001 303
Suite 12, Level 1, 3029 The Boulevard
Emerald Lakes, Carrara
PO Box 454 Nerang Qld 4211
tel +61 7 5594 4473

0 1 2 3 4 5m

5 BONNER STREET, SOUTHPORT
PROPOSED MIXED USE DEVELOPMENT

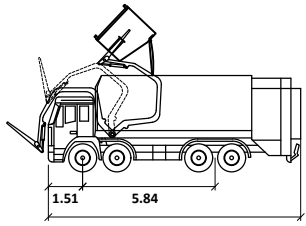
SWEPT PATH ASSESSMENT
10.2m REFUSE COLLECTION VEHICLE (RCV)
ACCESS TO REFUSE COLLECTION POINT

Project No. 50971	Issue Date 09/05/25
Drawing No. 50971-SP009-A	
Series No. 1 of 2	



KNOWLEDGE STREET

BONNER STREET



10.2m REFUSE TRUCK FRONT LOADER (CoGC)

Width	: 2.50m
Track	: 2.50m
Lock to Lock Time	: 6.0s
Steering Angle	: 27.7°
Turning Radius	: 12.3m (kerb to kerb)

LEGEND

Vehicle Swept Path Forward Envelope	
Vehicle Swept Path Reverse Envelope	
Vehicle Body Clearance (300mm)	
Additional 300mm Outside Clearance	

GELEON

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tel +61 7 5594 4473

0 1 2 3 4 5m

5 BONNER STREET, SOUTHPORT
PROPOSED MIXED USE DEVELOPMENT

SWEPT PATH ASSESSMENT
10.2m REFUSE COLLECTION VEHICLE (RCV)
EXIT FROM CAR PARK

Project No.
50971 Issue Date
09/05/25

Drawing No.
50971-SP010-A

Series No. 2 of 2



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