



# APPENDICES





## APPENDIX A DEFINITIONS

## USE DEFINITIONS

### Commercial Use Category

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#### ***BUSINESS***

Means the use of premises for administration, clerical, technical, professional or veterinarian clinic or other business activity where any goods or materials made, sold or hired on the premises are ancillary.

#### ***CAR PARK***

Means the use of premises for the parking of motor vehicles where such parking is not ancillary to some other development on the same site.

#### ***HEALTH CARE SERVICES***

Means the use of premises for medical, paramedical, alternative therapies and general health care and treatment of persons that involves no overnight accommodation.

#### ***SALES OFFICE***

Means the use of premises for the temporary promotion and/ or sale of land and/ or buildings within an estate, where such premises are located within the estate which is proposed to be promoted or sold.

### INDUSTRIAL USE CATEGORY

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#### ***EXTRACTIVE INDUSTRY***

Means the use of premises for extraction of sand, gravel, soil, rock, stone or similar substance from land. The term includes ancillary storage, loading or cartage and any crushing, screening, washing, blending or other treatment processes of material extracted from the site.

#### ***HIGH IMPACT INDUSTRY***

Means the use of premises for industrial activities that have significant off-site impacts on non-industrial uses including air, noise or odour emissions that are not easily controlled or contained.

These uses may operate outdoors, but do not involve the manufacture of agricultural chemicals, pharmaceutical products, explosives or fertilisers.

#### ***LOW IMPACT INDUSTRY***

Means the use of premises for industrial activities which have negligible impacts on surrounding non-industrial uses.

The manufacturing aspects of the use are undertaken indoors.

Any off site impacts including air, noise and odour emissions are able to be readily mitigated.

#### ***MEDIUM IMPACT INDUSTRY***

Means the use of premises for industrial activities that have offsite air, noise and odour emissions.

Despite mitigation measures these activities would still have noticeable impacts on nonindustrial uses.

The primary (noise, odour and air emitting) aspects of the use are undertaken indoors.

#### ***NOXIOUS AND HAZARDOUS INDUSTRY***

Means the use of premises for industrial activities that have the potential for extreme, adverse impacts on other land uses. This includes the potential for fire, explosion or toxic release.

These uses may involve the production of organic and inorganic chemicals, and the storage and production of explosives.

#### ***RESEARCH AND TECHNOLOGY FACILITY***

Means the use of premises for innovative and emerging technological industries involved in research design, manufacture, assembly, testing, maintenance and storage of machinery, equipment and component.

The use may include emerging industries such as energy, aerospace, and biotechnology.

#### ***SERVICE INDUSTRY***

Means the use of premises for industrial activities that have no external air, noise or odour emissions from the site and can be suitably located with other non-industrial uses.

#### ***WAREHOUSE***

Means the use of premises for the storage of goods whether or not in a building, including self-storage facilities or storage yards.

### RESIDENTIAL USE CATEGORY

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#### ***DISPLAY HOME***

Means the temporary use of premises for the promotion and/ or sale of land and/ or houses within an estate, where such premises are located within the estate which is proposed to be promoted or sold.

#### ***HOME BASED BUSINESS***

Means the use of premises for a House or Multiple residential for an occupation or business activity as a secondary use where:

- The floor area used specifically for the home business does not exceed 50m<sup>2</sup>
- Any visitor accommodation does not exceed 4 visitors
- There is no hiring out of materials, goods, appliances or vehicles
- There is only one sign related to the Home business, located within the premises or on a fence facing the road
- There is no repairing or servicing of vehicles not normally associated with a residential use
- There is no industrial use of premises
- The maximum height of a new building, structure or object does not exceed the height of the House or Multiple residential and the setback is the same as, or greater than, buildings on adjoining properties
- Car parking is in accordance with Appendix H
- There is no display of goods
- Number of employees does not exceed 4.

#### ***HOUSE***

Means a residential use of premises containing one primary single dwelling on a lot. The use includes out-buildings and works normally associated with a dwelling and may include a secondary dwelling.

The secondary dwelling is subordinate to the primary dwelling, capable of being used as a self-contained residence and may be constructed under the primary dwelling, attached to it or free standing.

#### ***LOFT DWELLING***

A self contained dwelling generally with a single garage constructed adjacent to the laneway and above the garaging on that allotment.

#### ***MULTIPLE RESIDENTIAL***

Means the use of premises for residential purposes if there are two or more dwelling units on any one lot. Multiple residential dwelling units may be contained on one lot or each dwelling unit may be contained on its own lot subject to community title schemes. The term multiple residential does not include House.

#### ***OTHER RESIDENTIAL***

Means the use of premises for the accommodation and care of aged and retired people, small groups of disadvantaged persons or persons who are being nursed, require ongoing supervision/ support or are convalescing. This term may include but is not limited to ancillary dining and recreation facilities, administration offices, laundries, kitchens, ancillary medical facilities and residential accommodation for management and staff.

#### ***RELOCATABLE HOME PARK***

Means the use of premises for relocatable dwellings that provide long term residential accommodation.

The term includes ancillary facilities such as amenities, laundries, kitchens and recreation facility for persons associated with the development. It also includes a manager's office and residence.

#### ***SHORT TERM ACCOMMODATION***

Means the use of premises comprising primarily accommodation units for short term accommodation, generally for travellers and visitors, such as motel or backpackers. The use may include dining, laundry and recreational facilities which cater exclusively for the occupants of the premises, a manager's office and residence. The term does not include Other residential, Hotel or Tourist park.

### RETAIL USE CATEGORY

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#### ***BULK LANDSCAPE SUPPLIES***

Means premises used for bulk storage and sale of landscaping and gardening supplies including soil, gravel, potting mix and mulch, where the majority of materials sold from the premises are not in pre-packaged form.

#### ***FAST FOOD PREMISES***

Means the use of premises for the preparation and sale of food to the public generally for immediate consumption off the premises. The term may include drive through facilities and ancillary facilities for the consumption of food on the premises.

#### ***FOOD PREMISES***

Means the use of premises for the preparation and sale of food and drink to the public for consumption on or off the site. The term includes a cafe, restaurant, coffee shop, bistro, tea room, milk bar, snack bar, kiosk, take-away, but does not include fast food premises as separately defined.

#### ***GARDEN CENTRE***

Means the use of premises for the sale of plants and includes gardening and landscaping products and supplies where these are sold mainly in pre-packaged form. The use may include an ancillary cafe or coffee shop.

#### ***MARKET***

Means the use of premises for the display and sale of goods to the public on a regular but infrequent basis, where goods are primarily sold from temporary structures such as stalls, booths or trestle tables. The use includes ancillary food and beverage sales and ancillary entertainment provided for the enjoyment of customers.

#### ***OUTDOOR SALES***

Means the used for the display, sale, hire or lease of products where the use is conducted wholly or predominantly outdoors and may include construction, industrial or farm plant and equipment, vehicles, boats and caravans.

#### ***SERVICE STATION***

Means the use of premises for the retail sale of fuel including petrol, liquid petroleum and automotive distillate to refuel motor vehicles.

#### ***SHOP***

Means the use of premises for the display, sale or hire of goods or the provision of personal services or betting to the public.

#### ***SHOPPING CENTRE***

Means the use of premises comprising two or more individual tenancies that is comprised primarily of shops and which function as an integrated complex.

#### ***SHOWROOM***

Means the use of premises primarily for the sale of goods of a related product line that are of a size, shape or weight that requires:

- A large area for handling, display or storage and
- Direct vehicle access to the building by members of the public for loading and unloading items purchased or hired.

### RURAL USE CATEGORY

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#### ***AGRICULTURE***

Means the use of premises for commercial purposes for the growing and harvesting of trees, crops, pastures, flowers, fruit, turf, vegetables and the like for commercial or business purposes. The definition includes the storage and packing of produce grown on the subject site and the repair and servicing of machinery and other ancillary activities.

#### ***AGRICULTURAL SUPPLY STORE***

Means the use of premises for the sale of agricultural products and supplies including agricultural chemicals and fertilisers, seeds, bulk veterinary supplies, farm clothing, saddlery, animal feed and irrigation materials.

#### ***ANIMAL KEEPING AND HUSBANDRY***

Means the use of premises for keeping, depasturing, grazing or stabling of any animal, bird, insect and reptile. The term includes the use of land for keeping, breeding, stabling, training or boarding animals.

### **INTENSIVE ANIMAL INDUSTRIES**

Means the use of premises for the intensive breeding of animals or animal products in an enclosure that may require the provision of food and water either mechanically or by hand.

The use includes the ancillary storage and packing of feed and produce.

### **INTENSIVE HORTICULTURE**

Means the use of premises for the intensive cultivation of plants or plant material on imported media and located within a building or structure or where outdoors, artificial lights or containers are used.

The use includes the storage and packing of produce and plants grown on the subject site.

### **WHOLESALE NURSERY**

Means the use of premises for the sale of plants where the plants are grown on or adjacent to the site. The use may include sale of gardening materials where these are ancillary to the primary use.

## **SERVICE, COMMUNITY AND OTHER USES CATEGORY**

### **CEMETERY**

Means the use of premises for the interment of the dead. The term does not include a crematorium or funeral parlour.

### **CHILD CARE CENTRE**

Means the use of premises for the minding or care, but not residence of children generally under school age. The use includes but is not limited to a kindergarten, creche or early childhood centre.

### **COMMUNITY FACILITY**

Means the use of premises for social or community purposes, such as a community centre, library, public building or the like.

### **CREMATORIUM**

Means the use of premises for cremating bodies and may include the interment of the ashes. The term does not include a funeral parlour or cemetery.

### **EDUCATIONAL ESTABLISHMENT**

Means the use of premises for systematic training and instruction, including any other ancillary uses. This definition includes prep facilities, primary school, secondary school, college, university, technical institute, academy or other educational centre.

This term may include residential accommodation and other ancillary uses provided for the employees and the students of such premises.

### **EMERGENCY SERVICES**

Means the use of premises for by government bodies or community organisations to provide essential emergency services, disaster management services and including management support facilities for the protection of persons, property and the environment.

### **FUNERAL PARLOUR**

Means the use of premises for arranging and conducting funerals, memorial services and the like, but does not include burial and cremation. The definition includes the storage and preparation of bodies for burial or cremation and includes a mortuary and funeral chapel. The term does not include a cemetery or crematorium.

### **HOSPITAL**

Means the use of premises for medical or surgical care or treatment of patients whether or not residing on the premises. The

use may include accommodation for employees and ancillary activities directly serving the needs of patients and visitors.

### **PLACE OF ASSEMBLY**

Means the use of premises for worship and activities of a religious organisation, community or association.

### **TELECOMMUNICATIONS FACILITY**

Means the use of premises for systems that carry communications by means of radio, including guided or unguided electromagnetic energy whether such facility is manned or remotely controlled. The term does not include low impact facilities that are exempt from State planning laws under the Telecommunications Act 1997 and specified in the Telecommunications (Low-impact facilities) Determination 1997.

### **UTILITY INSTALLATION**

Means the use of premises to provide the public with the following services:

- Supply of water, hydraulic power, electricity or gas
- Sewerage or drainage services
- Transport services including road rail or water
- Waste management facilities
- Network infrastructure.

The use includes maintenance and storage depots and other facilities for the operation of the use.

### **VETERINARY HOSPITAL**

Means the use of premises for the treatment of sick or injured animals where such animals are accommodated overnight or for long stay periods on the premises. The term does not include animal keeping and husbandry or veterinary clinic.

## **SPORT, RECREATION AND ENTERTAINMENT USE CATEGORY**

### **INDOOR ENTERTAINMENT**

Means the use of premises for public entertainment predominantly within a building. The term includes facilities commonly described as cinema, nightclub, adult entertainment, theatre and hotel.

### **INDOOR SPORT AND RECREATION**

Means the use of premises for leisure, sport, recreation or conducting large scale receptions, displays and functions, predominantly within a building. The term includes facilities commonly described as sports centre, gymnasium, convention centres, amusement and leisure centres.

### **OUTDOOR SPORT AND RECREATION**

Means the use of premises for recreation or sport activity, or other leisure past-time, which is conducted wholly or mainly outside of a building. The term includes facilities such as (outdoor) public swimming pools, golf courses and driving ranges, outdoor courts and sportsgrounds and the like. The term also includes the provision of a clubhouse and other ancillary facilities.

### **PARK**

Means the use of premises by the public for free recreation and enjoyment and may be used for community events. Facilities may include children's playground equipment, informal sports fields, ancillary vehicle parking and other public conveniences.

## **TOURISM USE CATEGORY**

### **TOURIST ATTRACTION**

Means the use of premises for providing on site entertainment, recreation or similar facilities for the general public. The use may include provision of food and drink for consumption on site.

### **TOURIST PARK**

Means the use of premises to provide accommodation in caravans, self contained cabins, tents and similar structures for the touring or holidaying public. The use may include a manager's residence and office, kiosk, amenity buildings and the provision of recreation facilities for the exclusive use of occupants of the tourist park.

## **OTHER DEVELOPMENT**

### **FILLING OR EXCAVATION**

Means removal or importation of material to or from a lot that will change the ground level of the land.

### **MATERIAL CHANGE OF USE**

As defined in the Economic Development Act 2012.

### **MINOR BUILDING WORK OR DEMOLITION WORK**

Means:

- Internal building work
- Demolition work
- External building work up to 25m<sup>2</sup> for roofs over existing decks or paved areas, sun hoods, carports and the like
- Demolition where not involving a place of cultural heritage listed building under the Queensland Heritage Act 1992
- Building work that increases the approved Gross Floor Area (GFA) or lawfully existing GFA at the time of commencement of this scheme by no more than 25m<sup>2</sup>
- Raising a house where the resultant height does not exceed 9m.

### **OPERATIONAL WORK**

As defined in the Economic Development Act 2012.

### **RECONFIGURING A LOT**

As defined in the Economic Development Act 2012.

## **ADMINISTRATIVE DEFINITIONS**

### **ACCESSIBLE HOUSING**

Housing in accordance with the applicable EDQ guideline.

### **AFFORDABLE HOUSING**

Affordable housing means private rental housing and home purchase options (including housing aimed at the first home owners market) for low to moderate income households.

### **BASEMENT**

A storey below ground level or where the underside of the ceiling projects no more than one metre above ground level.

### **BUILDING**

As defined in the Building Act 1975.

### **BUILDING WORK**

As defined in the Economic Development Act 2012.

### **BUILDING HEIGHT**

The maximum vertical distance between the natural ground level and the roof or parapet at any point but not including anything projecting from a building such as an antenna, aerial, chimney, flagpole or the like.

### **CARETAKER'S ACCOMMODATION**

The residential use of part of a premises where in connection with a non-residential use on the same premises.

### **COMMUNAL OPEN SPACE**

Communal open space is an area (or a series of areas) within a private site providing for informal recreation activities for common use by building occupants and, in some cases, visitors. Communal open space is to be of an adequate size and in an accessible location(s) to enable building occupants to use them. Remote, small or uncomfortable spaces are rarely used, and may become neglected or unsafe.

Examples of Communal Open Space include seating areas, tables, BBQ areas, swimming pools, roof terraces, playgrounds , play spaces, contemplation gardens and areas where residents can gather in a formal or informal setting. Communal open space may comprise paved areas, grass, gardens, shelters and seating.

The following principles apply:

- Locate communal open space to be convenient and accessible to building occupants, located at ground level, rooftops or podiums, and may include indoor spaces where they serve a communal function.
- Provide communal open space of a size that accommodates a range of activities and uses appropriate for the building occupants.
- The land allocated must have a minimum dimension of 2m (diameter).
- Lay out communal open space to create informal surveillance opportunities within the space and from adjacent buildings.
- Design communal open space to be usable in a range of weather conditions and at all times of the year.
- Communal Open Space is to support a safe and enjoyable environment for its intended users.
- Provide lighting in communal open space to support safe movement and evening use;
- Innovative treatments, such as green roofs, green walls or community gardens that contribute to the attractiveness of these spaces are also encouraged.

The following areas are permitted to be included in the Communal Open Space area calculations:

- Softscape landscape areas (up to 50% of the Communal Open Space Area) comprising turf, ground covers or shrubs, deep planting, or incorporate containers for trees and shrubs where free ground with sufficient soil volume is not available.
- Hardscaping - including but not limited to footpaths, stepping stones, seats, tables, BBQ areas, playgrounds, roof terraces, pools, areas where residents can gather.

### **COMMUNITY GREENSPACE NETWORK**

An integrated greenspace network including both active and passive recreation, linear/ riparian corridors, parks and private and public sporting recreation facilities.

### **CONTAMINATED LAND REGISTER**

As defined in the Environmental Protection Act 1994.

### **DEVELOPMENT SCHEME**

As defined in the Economic Development Act 2012.

### **DWELLING UNIT**

Means a building or part of a building used or capable of being used as a self-contained residence which must include:

- Food preparation facilities
- A bath or shower
- A toilet and wash basin.

The term includes works ancillary to a dwelling.

### **ENVIRONMENTAL MANAGEMENT REGISTER**

As defined in the Environmental Protection Act 1994.

### **ENVIRONMENTALLY RELEVANT ACTIVITIES**

As defined in the Environmental Protection Act 1994.

### **GROSS FLOOR AREA (GFA)**

The total floor area of all storeys of a building, including mezzanines, measured from the outside of external walls or the centre of a common wall, excluding area used for:

- Building services
- Ground floor public lobby
- A public mall in a shopping complex
- The parking, loading and manoeuvring of motor vehicles
- Private balconies whether roofed or not.

### **GROUND LEVEL**

Means:

- The existing level of the site providing it has not been unlawfully altered; or
- Where the land has been unlawfully altered the level of land prior to the alteration; or
- The 'as-constructed' level of the land in accordance with an approval for filling and excavation.

### **HIGH WATER MARK**

Refers to the ordinary high water mark at spring tides.

### **INTERIM USES**

An interim use is a land use that, because of its nature, scale, form or intensity, is not an appropriate long term use of the land. Interim land uses may occur if appropriately developed and operated and where located in areas which will not compromise the zone intent in the long term. Possible interim uses are identified in the zone provisions.

### **LOCAL GOVERNMENT INFRASTRUCTURE AGREEMENT (LGIA)**

Caloundra South Infrastructure Agreement (Local Government Infrastructure) between Stockland, MEDQ and Sunshine Coast Council, executed 2/11/2015.

### **MEZZANINE**

An intermediate floor within a room.

### **NEIGHBOURHOOD CENTRE**

Means the use of premises for servicing the convenience needs of the community. The term includes Business, Medical centre, Retail and Community facility which ultimately function as an integrated complex. It may include a key open space area (such as park or plaza).

### **NET RESIDENTIAL DENSITY**

Net residential density means the total number of dwellings divided by the combined area of residential lots, local parks, internal local roads and half the width of local roads bordering the site. Average

net residential density means net residential density calculated for a whole neighbourhood.

### **PLANNING SCHEME**

The planning scheme for the Sunshine Coast Regional Council.

### **PLOT RATIO**

The ratio between the gross floor area of a building and the total area of the site.

### **PREMISES**

As defined in the Economic Development Act 2012.

### **PRIVATE OPEN SPACE**

An outdoor area for the exclusive use of occupants.

### **PUBLIC HOUSING**

As defined in the *Planning Act 2016*.

### **PUBLIC INTEREST**

Refers to an outcomes that benefits the wider community rather than local, site specific or land ownership desires.

### **PUBLIC REALM**

Refers to spaces that are used by the general public, including streets, squares, plazas and parks.

### **SENSITIVE USES**

Means any of the following: Child care centre, Educational establishment, Health care services, Hospital, House, Multiple residential, Other residential, Relocatable home park and Short term accommodation.

### **SETBACK**

The shortest distance measured horizontally from the wall of the building or structure to the vertical projection of the boundary of the lot (ie. excluding eaves).

### **SIGNIFICANT VEGETATION**

Means all vegetation, except those listed as pest vegetation by State or local government, that is significant in its:

- Ecological value at local, state or national levels including vegetation mapped as endangered remnant vegetation on the regional ecosystem maps prepared under the Vegetation Management Act 1999
- Contribution to the preservation of natural landforms
- Contribution to the character of the landscape
- Cultural or historical value
- Amenity value to the general public. Note: vegetation may be living or dead and the term includes their root zone.

### **SITE COVER**

The total area of the roof of the dwelling expressed as a percentage of the lot area, but which includes eave overhangs.

### **STOREY**

A space within a building which is situated between one floor level and the floor level next above or if there is no floor above, the ceiling or roof above. This does not mean:

- A space that contains only:
- A lift shaft, stairway or meter room
- A bathroom, shower room, laundry, toilet or other sanitary compartment
- Accommodation intended for not more than 3 vehicles
- A combination of the above

- A mezzanine

### **URBAN DESIGN**

Refers to the holistic design of urban environments, including the overall townscape, individual buildings, street networks, streetscapes, parks and other public spaces.

**TABLE 1: MASTER PLAN DEFINITIONS**

TERM	DEFINITION
<b>Adjacent</b>	Situated near; very close; proximal
<b>Arts Strategy</b>	A policy and action plan developed in accordance with Artbeat to support the planning and delivery of arts and cultural infrastructure.
<b>Associated Activity</b>	An activity that is: <ul style="list-style-type: none"> <li>a. allied to the main activity on the same site;</li> <li>b. compatible with the main activity on the same site; and</li> <li>c. subordinate to the main activity on the same site.</li> </ul>
<b>Best Practice</b>	A method or technique that can be substantiated as producing results superior to those achieved by other conventional or out dated means, such as to be recognised as achieving an agreed benchmark capable of evolving as improved methods become available.
<b>Caloundra South Development Scheme</b>	The Caloundra South Urban Development Area Development Scheme (as approved October 2011)
<b>CAMCOS</b>	Proposed rail line connecting the Brisbane suburban network at Beerwah with Maroochydore (as identified by the 'Caloundra and Maroochydore Corridor Study').
<b>Central Park</b>	A major sport and recreation space located proximal and to the south of the Town Centre, providing a regional hub for major sports, passive, recreation and environmental protection/amenity purposes.
<b>Coast Connect</b>	A bus corridor from Caloundra to Maroochydore including bus priority lanes, bus stations in key activity areas, bus stop upgrades, and bus queue bypasses.
<b>Cycle End of Trip Facility</b>	Dedicated amenities that are publicly accessible for bike storage area, lockers and change facilities
<b>Dedicated high frequency bus corridor</b>	A high frequency "Urbanlink" bus service identified for strategic corridors as defined by the Queensland Department of Transport and Main Roads publication Connecting SEQ 2031 — An Integrated Regional Transport Plan for SEQ.
<b>Eco sanctuary</b>	The natural value area which is the target of land rehabilitation east of the Town Centre and within the Environmental Protection Zone, for the purpose of delivering an interpretive experience trail through the conservation areas connecting the northern Community Hub to the Town Centre.
<b>Enabling Infrastructure and works</b>	Infrastructure and works essential to prepare a precinct for building work.
<b>Explanatory Content</b>	Content that is not intended to be used to assess subsequent applications.
<b>Infrastructure Lot</b>	Any lot created to coincide with and to accommodate an item of infrastructure required for development within the Master Plan Area.
<b>Main Street</b>	"The Main Street" is located in the Town Centre Core with high levels of pedestrian use and amenity, connecting the plaza of the People's Place to the Transit Centre and Central Park.
<b>Master Developer</b>	Is reference to Stockland Development Pty Ltd (ACN 000064835)
<b>Master Plan</b>	The approved Caloundra South Master Plan for the site.
<b>Master Plan Area</b>	The Area shown on Master Plan Map 2 — Environmental Connectivity Plan being: <ul style="list-style-type: none"> <li>• Lot 22 SP190373 (part)</li> <li>• Lot 505 RP884348 (part)</li> <li>• Lot 3 RP910849 (part)</li> </ul>
<b>Minister</b>	The Minister responsible for implementing the Act.
<b>Mixed Use Centre</b>	A balanced mix of different but co-dependent land uses including and not limited to a range or retail, commercial, residential, short-term accommodation and entertainment venues, etc. which promote the client access for users.
<b>MMTC</b>	Abbreviation of the Multi-Modal Transport Corridor as required and defined by the Queensland Department of Transport and Main Roads.
<b>Now, New and Next Sustainability Approach</b>	<ul style="list-style-type: none"> <li>• Now: the existing or current standard approach for technologies or best practice implementation.</li> <li>• New: the emerging opportunities for piloting of technologies or implementation approaches.</li> <li>• Next: over the horizon opportunities that might be suitable for further investigation and research.</li> </ul>
<b>Peoples Place</b>	An area of public space located within the Town Centre, adjoining the northern boundary of the Town Centre Core, for the provision of a mixture of passive and active recreational opportunities including formal gardens, major community facilities, aquatic facilities and events spaces. Refer Part 11.3.
<b>Plan of Development (PoD)</b>	A PoD may accompany an application for a Material Change of Use or Reconfiguration a Lot and may deal with residential or non-residential uses as well as operational work. A PoD is prepared by an applicant and may include maps, graphics and text. A PoD cannot include land beyond the boundary of land the subject of the Application.
<b>Planning Content</b>	Content that is to be used to inform subsequent applications to the extent outlined in the relevant Part of the Master Plan
<b>Precinct</b>	Provides a spatial reference to the appropriate allocation of land uses throughout each of the Localities. Refer Part 8.
<b>Road</b>	A local government road or a State-controlled road.

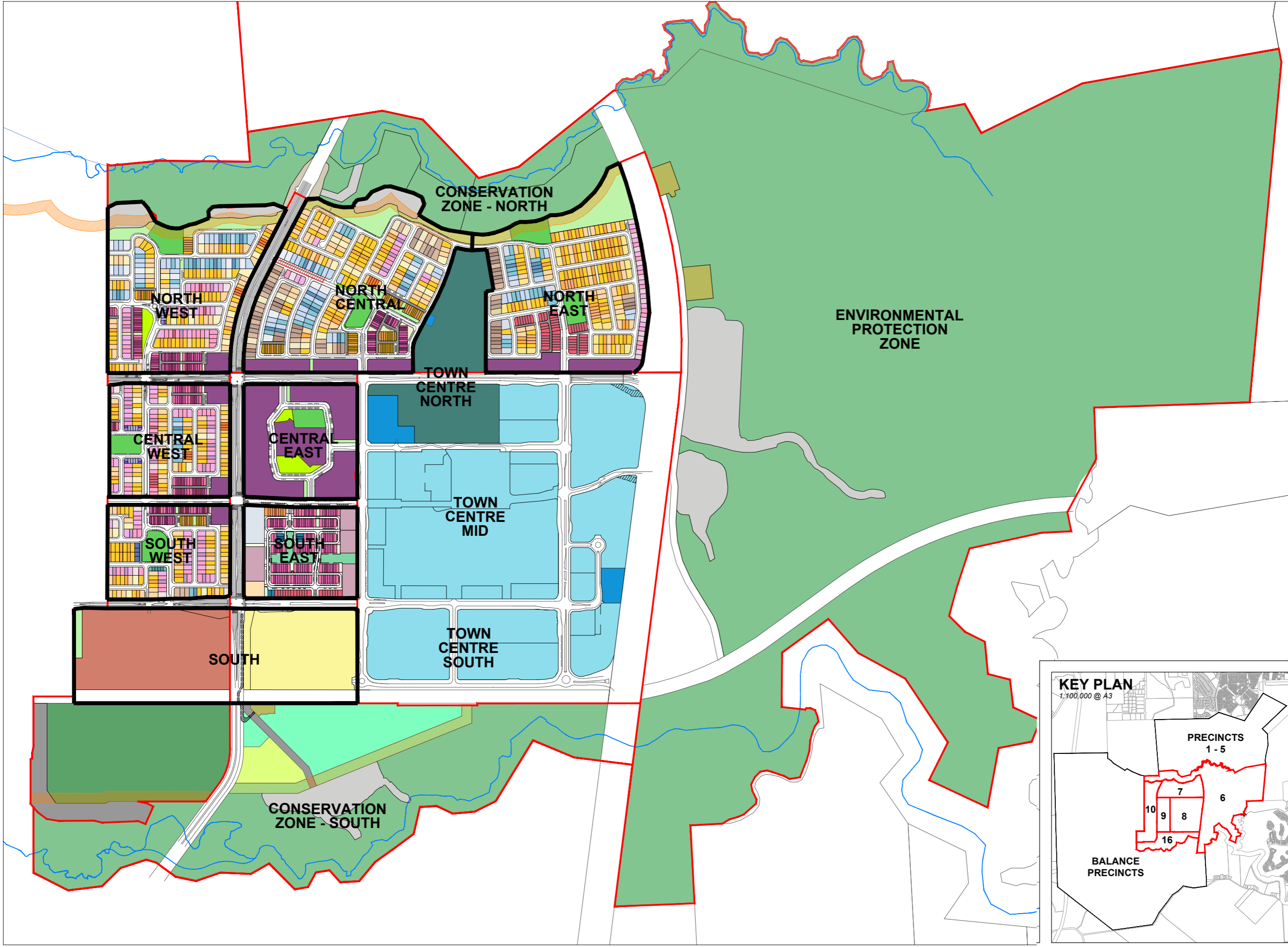
TERM	DEFINITION
<b>Shopfront</b>	The ground level façade for the display and retailing of goods and personal services with a pedestrian entry point to the premises.
<b>Site Cover</b>	The total area of the roof of the dwelling expressed as a percentage of the lot area, but which includes eave overhangs.
<b>Stockland</b>	Means Stockland Corporation Limited and any subsidiary company.
<b>Super Lot</b>	A lot created from a parent lot or lots, with the intention of being further subdivided at a point in the future and for the purpose of accommodating particular development facilitated by the Master Plan, but to also be the subject of further development applications.
<b>Temporary or Interim Land Uses</b>	Uses that operate for not more than 10 years, and are directly associated with an approved and complementary land use or are directly related to the construction within the Master Plan Area (such as borrow pits, stockpiles, crushing and screening plants, storage yards).
<b>Transit Centre</b>	Accommodates the major passenger terminal within the Town Centre Core, for servicing by a dedicated high frequency bus corridor connected to the Bells Creek Arterial road, together with the CAMCOS transit corridor and local and sub-regional transport services.



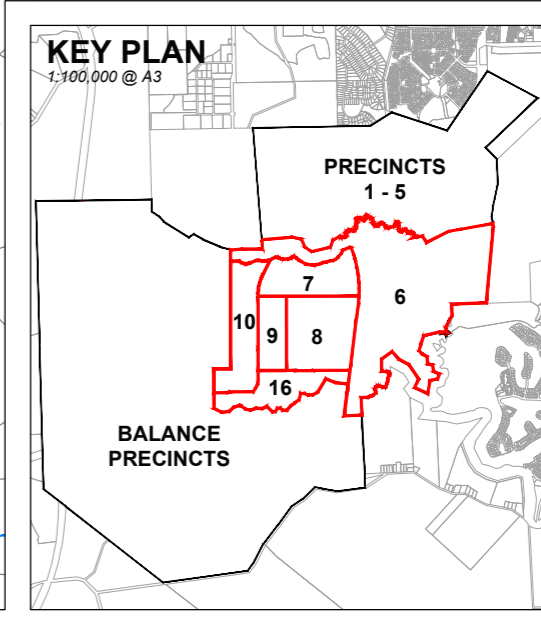


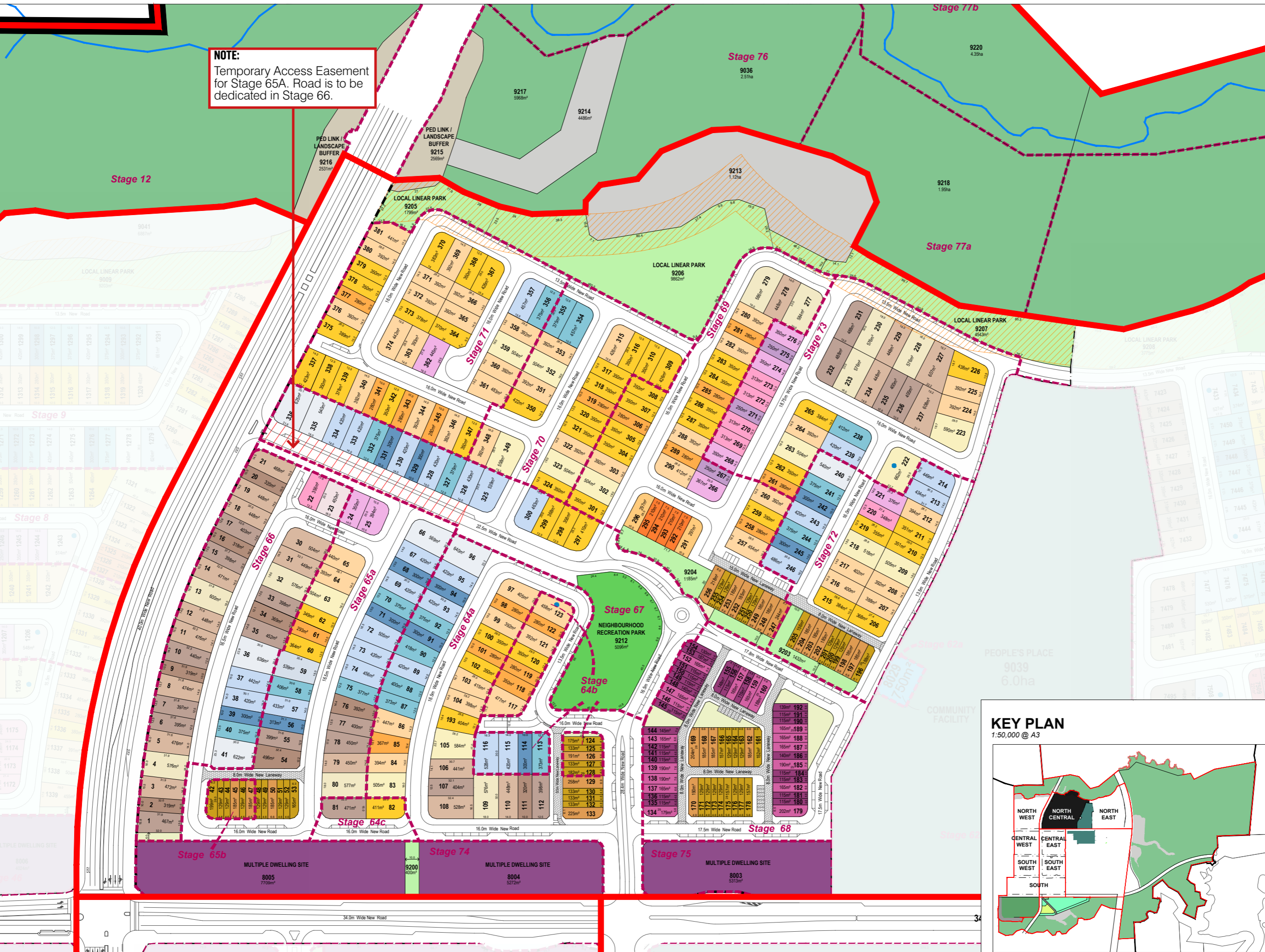
## APPENDIX B APPROVED RECONFIGURING A LOT PLANS

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- LEGEND**
- GENERAL**
- Precinct Boundary
  - Neighbourhood Boundary
  - Waterway
  - Proposed Waterway
  - Lifestyle Buffer (30m Deep) Drainage Easement
- LAND USE**
- Town Centre Mixed Use / Commercial
  - Multiple Unit Dwelling Sites
  - Community Use
  - Private School
  - Commercial Uses Hub
  - Other Residential
  - Energex and UnityWater Lots
  - Sewer Pump Station
- OPEN SPACE**
- Pedestrian Link / Landscape Buffer (Open Space)
  - Local Park
  - Neighbourhood Park
  - People's Place
  - Drainage Lot
  - Environment Protection
  - Local Linear Park
  - Pedestrian Link
  - Major Sports Park
  - Major Recreation Park
  - Major Sports Facility
- RESIDENTIAL**
- 32 Deep Lots**
- 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 15.0m - Traditional
  - 18.0m - Premium Traditional
- 30 Deep Lots**
- 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 15.0m - Traditional
  - 18.0m - Premium Traditional
- 28 Deep Lots**
- 4m - Terrace
  - 4.6m - Terrace
  - 5.6m - Terrace
  - 6.6m - Terrace
  - 6.6m+ - End Terrace
  - 7.5m - Terrace
  - 8.5m+ - End Terrace
  - 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 15.0m - Traditional
  - 18.0m - Premium Traditional
- 25 Deep Lots**
- 4m - Terrace
  - 4.6m - Terrace
  - 5.6m - Terrace
  - 6.6m - Terrace
  - 6.6m+ - End Terrace
  - 7.5m - Terrace
  - 8.5m+ - End Terrace
  - 8.5m - Mode
  - 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 15.0m - Traditional
  - 18.0m - Premium Traditional
- Urban Lots**
- Urban Lot Type A
  - Urban Lot Type B
  - Urban Lot Type C
  - Urban Loft Type A
  - Urban Loft Type B
  - Urban Loft Type C
  - Warehouse
  - Urban Terrace
- 21 Deep Lots**
- 4.6m - Terrace
  - 5.6m - Terrace
  - 6.6m - Terrace
  - 6.6m+ - End Terrace



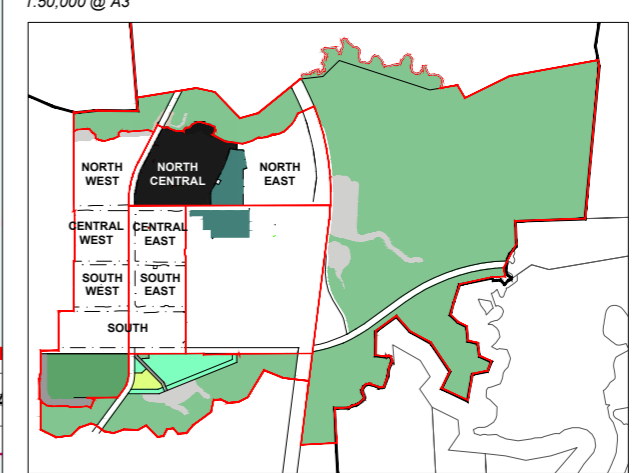


**NOTE:**  
Temporary Access Easement for Stage 65A. Road is to be dedicated in Stage 66.

**LEGEND**

- GENERAL**
- Precinct Boundary
  - Neighbourhood Boundary
  - Indicative Staging Boundary
  - Lifestyle buffer (30m Deep)
  - Temporary Access Easement for Stage 65A
  - Multiple Residential (Duplex) Lots
- LAND USE**
- Multiple Unit Dwelling Sites
- OPEN SPACE**
- Neighbourhood Park
  - Environment Protection
  - Local Linear Park
  - Pedestrian Link
  - Drainage Lot
  - Pedestrian Link / Landscape Buffer (Open Space)
- 32 Deep Lots**
- 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 18.0m - Traditional
- 30 Deep Lots**
- 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 18.0m - Premium Traditional
- 28 Deep Lots**
- 4m - Terrace
  - 6.6m - Terrace
  - 7.5m - Terrace
  - 8.5m+ - End Terrace
  - 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 18.0m - Premium Traditional
- 25 Deep Lots**
- 4.6m - Terrace
  - 6.6m - Terrace
  - 7.5m - Terrace
  - 8.5m+ - End Terrace
  - 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 18.0m - Premium Traditional
- Number of Lots      371  
Park Area            2.47ha  
Neighbourhood Area    26.2ha

**KEY PLAN**





**LEGEND**

- GENERAL**
- Precinct Boundary
  - Neighbourhood Boundary
  - ▨ Lifestyle buffer (30m Deep)
  - Multiple Residential (Duplex) Lots
  - ✳ Utility Installation

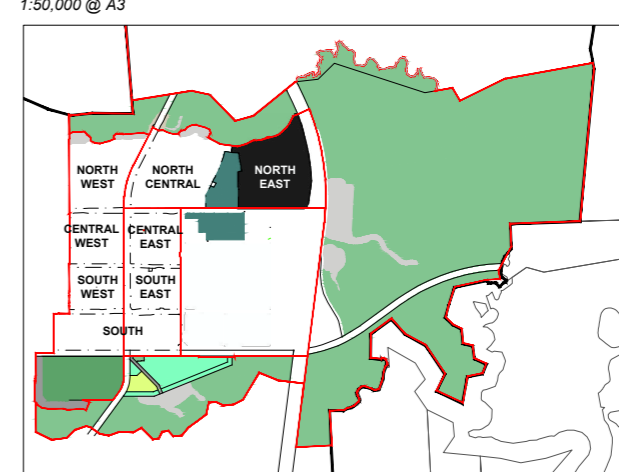
- LAND USE**
- Multiple Unit Dwelling Sites
  - Unitywater & Energex Lots

- OPEN SPACE**
- Neighbourhood Park
  - Environment Protection
  - Local Linear Park
  - Pedestrian Link

- RESIDENTIAL**
- 32 Deep Lots**
- 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 15.0m - Traditional
- 30 Deep Lots**
- 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 15.0m - Traditional
- 28 Deep Lots**
- 8.5m - Mode
  - 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 15.0m - Traditional
- 25 Deep Lots**
- 7.5m - Terrace
  - 8.5m+ - End Terrace
  - 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 15.0m - Traditional

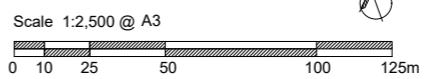
Number of Lots 324  
 Park Area 4.0 ha  
 Neighbourhood Area 22.9 ha

**KEY PLAN**



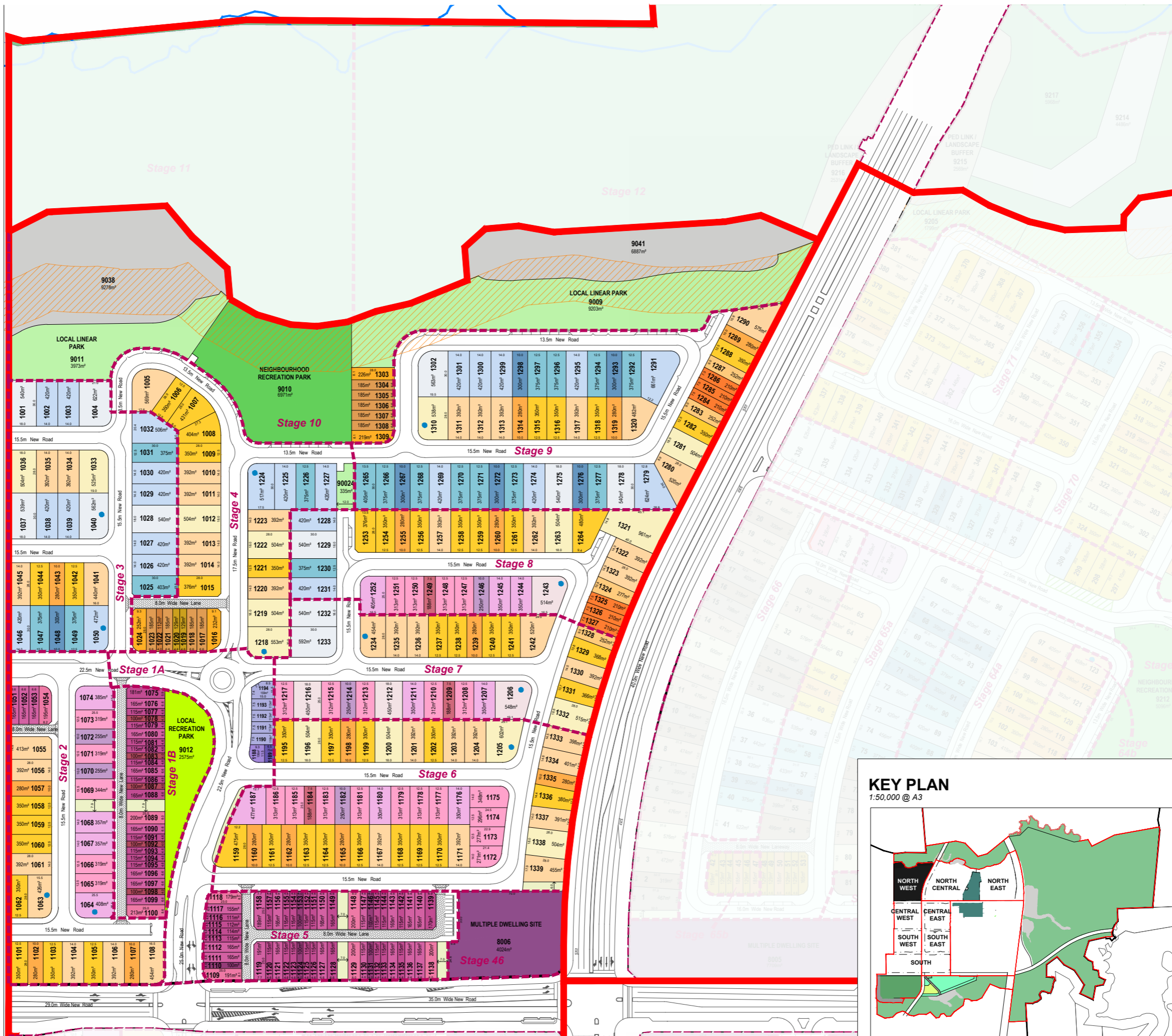
**AURA P7-10**

Reconfiguration of a Lot Plan - NORTH-EAST NEIGHBOURHOOD



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**PROJECT NO:** BA4672  
**DATE:** 01.05.2025  
**DRAWING NO:** ROL04  
**REV:** 13



**LEGEND**

- GENERAL**
- Precinct Boundary
  - Neighbourhood Boundary
  - Indicative Staging Boundary
  - Lifestyle Buffer (30m Deep)
  - Multiple Residential (Duplex) Lots

- LAND USE**
- Multiple Unit Dwelling Sites

- OPEN SPACE**
- Local Park
  - Neighbourhood Park
  - Environment Protection
  - Local Linear Park
  - Pedestrian Link
  - Drainage Lot
  - Pedestrian Link / Landscape Buffer (Open Space)

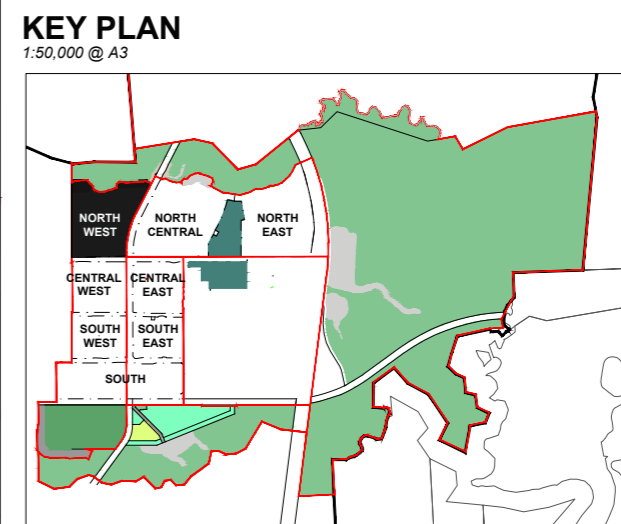
- RESIDENTIAL**
- 30 Deep Lots**
- 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 18.0m - Premium Traditional

- 28 Deep Lots**
- 4m - Terrace
  - 4.6m - Terrace
  - 6.6m - Terrace
  - 6.6m+ - End Terrace
  - 7.5m - Terrace
  - 9.0m+ - End Terrace
  - 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 18.0m - Premium Traditional

- 25 Deep Lots**
- 4m - Terrace
  - 4.6m - Terrace
  - 6.6m - Terrace
  - 6.6m+ - End Terrace
  - 7.5m - Terrace
  - 8.5m+ - End Terrace
  - 8.5m - Mode
  - 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 18.0m - Premium Traditional

- Urban Lots**
- Urban Lot Type A
  - Urban Lot Type B
  - Urban Lot Type C

Number of Lots	339
Park Area	2.5ha
Neighbourhood Area	20.25ha



**KEY PLAN**

1:50,000 @ A3



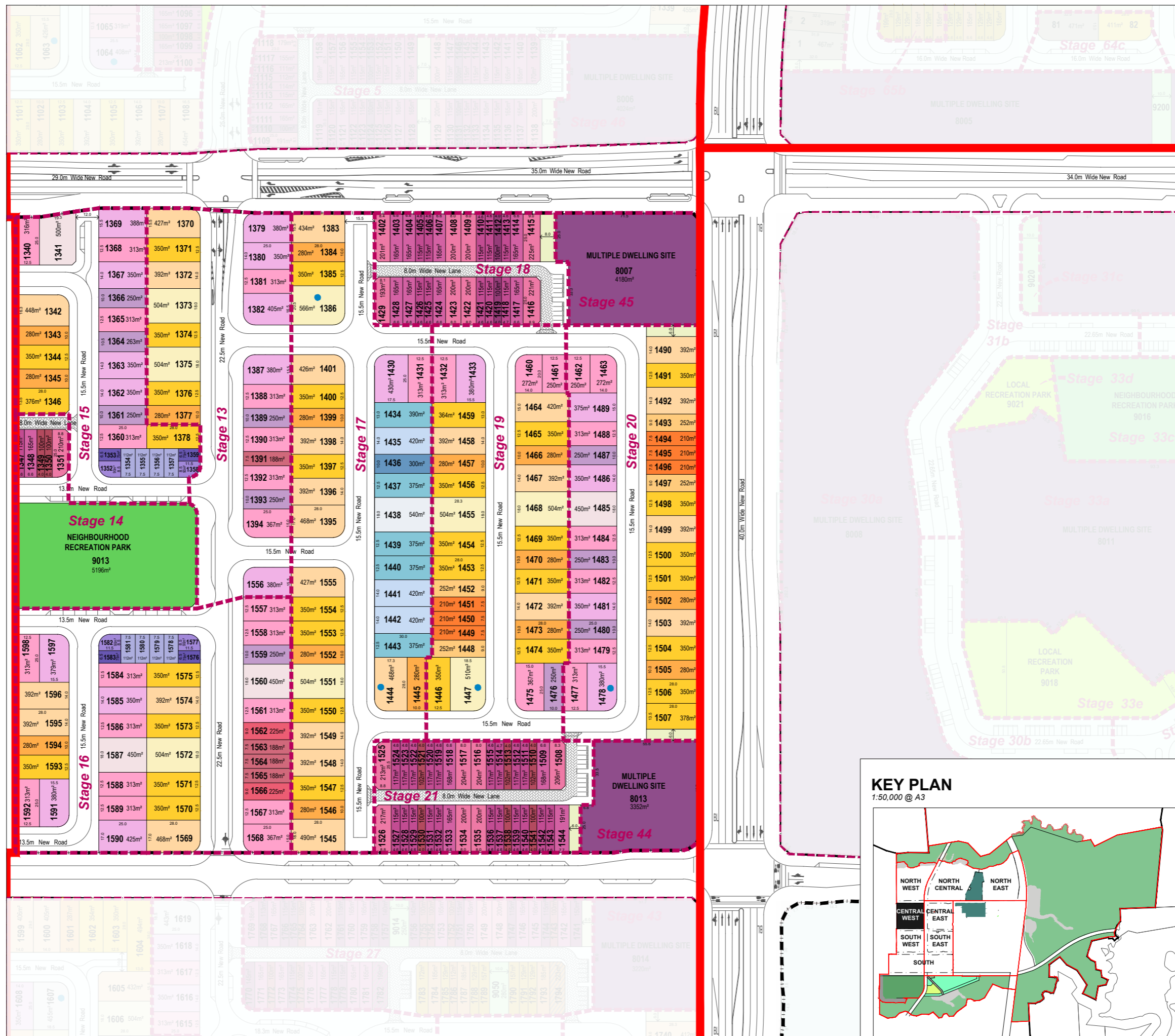
**AURA P7-10**

Reconfiguration of a Lot - NORTH-WEST NEIGHBOURHOOD

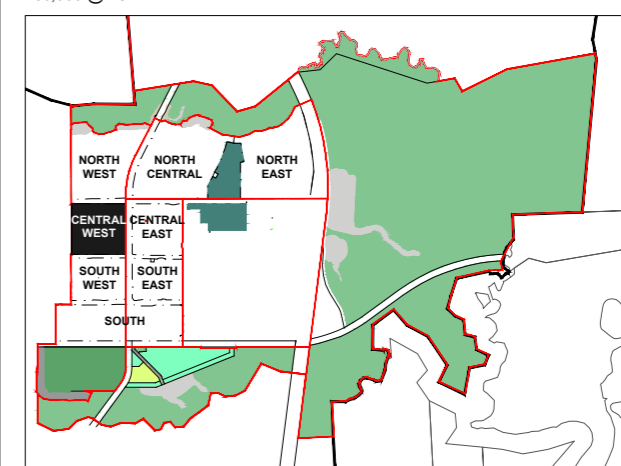


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**PROJECT NO:** BA4672  
**DATE:** 01.05.2025  
**DRAWING NO:** ROLO2  
**REV:** 13



**KEY PLAN**  
1:50,000 @ A3



**LEGEND**

**GENERAL**

- Precinct Boundary
- Neighbourhood Boundary
- - - Indicative Staging Boundary
- Multiple Residential (Duplex) Lots

**LAND USE**

- Multiple Unit Dwelling Sites

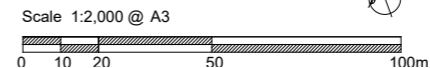
**OPEN SPACE**

- Neighbourhood Park
- Pedestrian Link

**RESIDENTIAL**

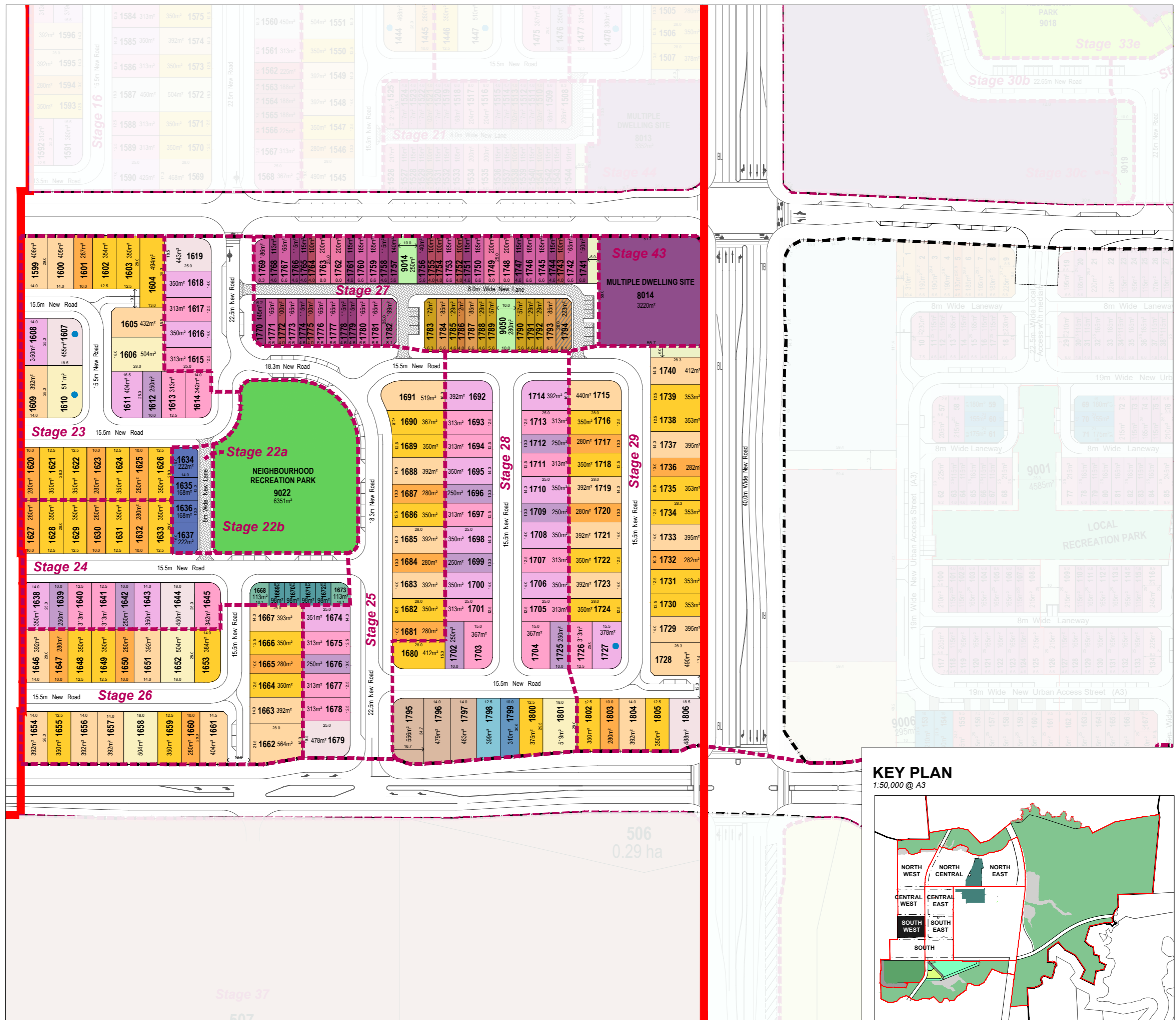
- 30 Deep Lots**
- 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 18.0m - Premium Traditional
- 28 Deep Lots**
- 7.5m - Terrace
  - 8.5m+ - End Terrace
  - 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 18.0m - Premium Traditional
- 25 Deep Lots**
- 4m - Terrace
  - 4.6m - Terrace
  - 6.6m - Terrace
  - 6.6m+ - End Terrace
  - 7.5m - Terrace
  - 9.0m - End Terrace
  - 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 18.0m - Premium Traditional
- Urban Lots**
- Urban Lot Type A
  - Urban Lot Type B
  - Urban Lot Type C

Number of Lots 259  
Park Area 0.52ha  
Neighbourhood Area 11.94ha



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**PROJECT NO:** BA4672  
**DATE:** 01.05.2025  
**DRAWING NO:** ROL05  
**REV:** 15



**LEGEND**

**GENERAL**

- Precinct Boundary
- Neighbourhood Boundary
- - - Indicative Staging Boundary
- Multiple Residential (Duplex) Lots
- / / / Secondary Dwelling Above Garage

**LAND USE**

- Multiple Unit Dwelling Sites

**OPEN SPACE**

- Neighbourhood Park
- Pedestrian Link
- Local Linear Park

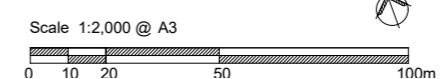
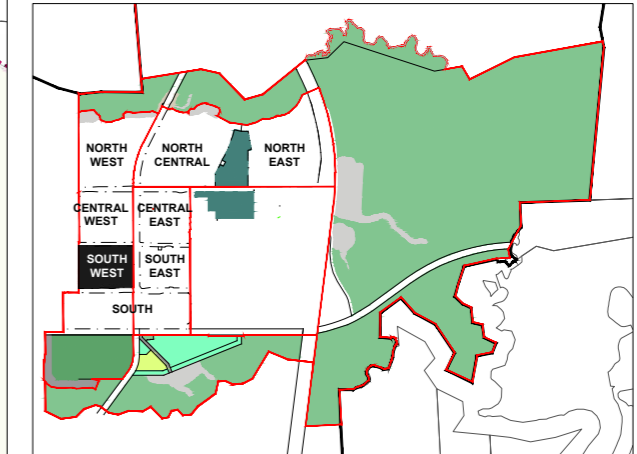
**RESIDENTIAL**

- 32 Deep Lots**
- 14.0m - Courtyard
- 30 Deep Lots**
- 10.0m - Villa
- 12.5m - Premium Villa
- 28 Deep Lots**
- 4.0m - Terrace
- 4.6m - Terrace
- 6.6m - Terrace
- 6.6m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional
- 25 Deep Lots**
- 4m - Terrace
- 4.6m - Terrace
- 5.6m - Terrace
- 6.6m - Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional
- Urban Lots**
- Urban Loft Type B
- Urban Loft Type C
- Warehouse

Number of Lots 208  
 Park Area 0.688ha  
 Neighbourhood Area 10.03ha

**KEY PLAN**

1:50,000 @ A3



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**LEGEND**

**GENERAL**

- Precinct Boundary
- Neighbourhood Boundary
- Indicative Staging Boundary
- Access Easement

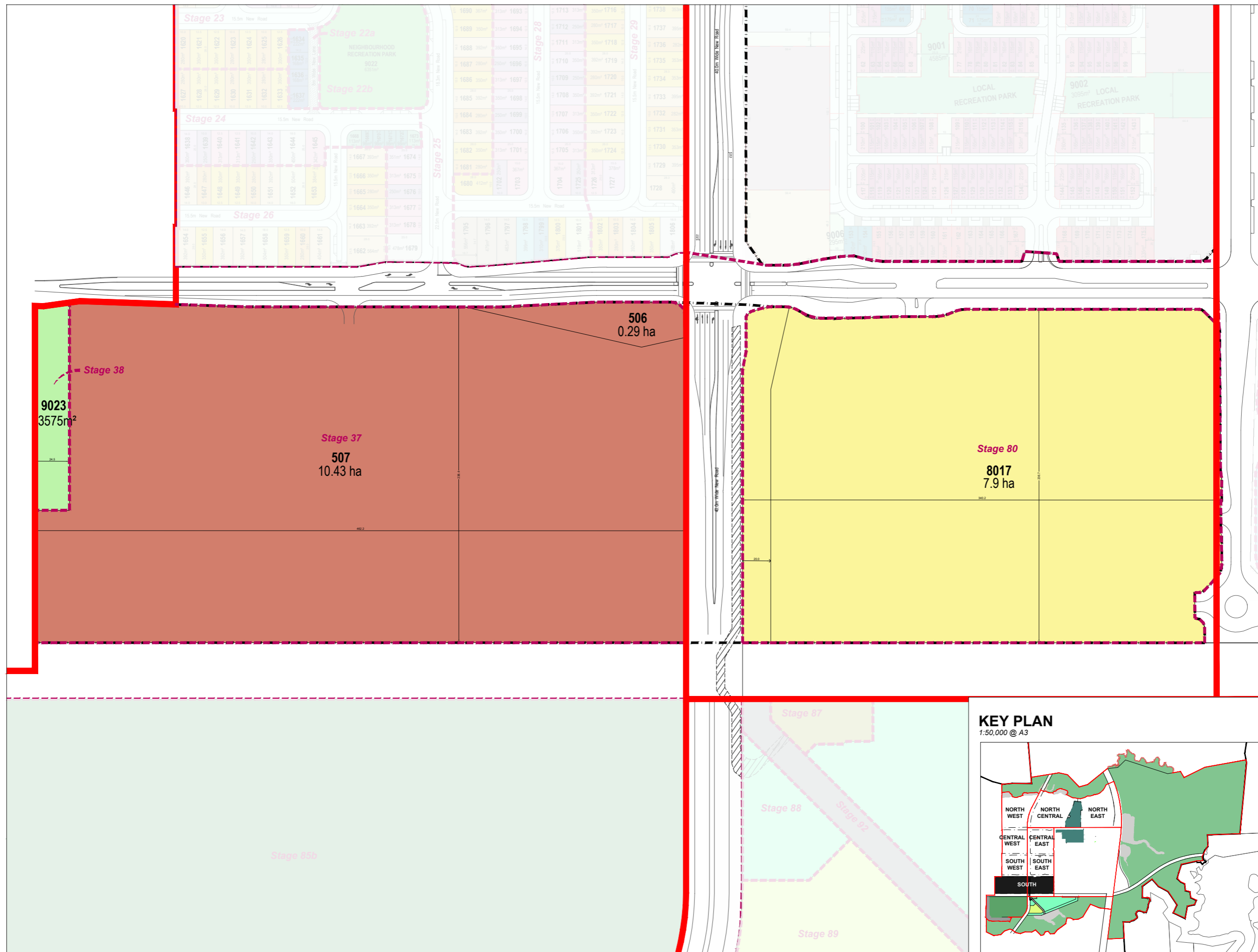
**LAND USE**

- Private School
- Other Residential

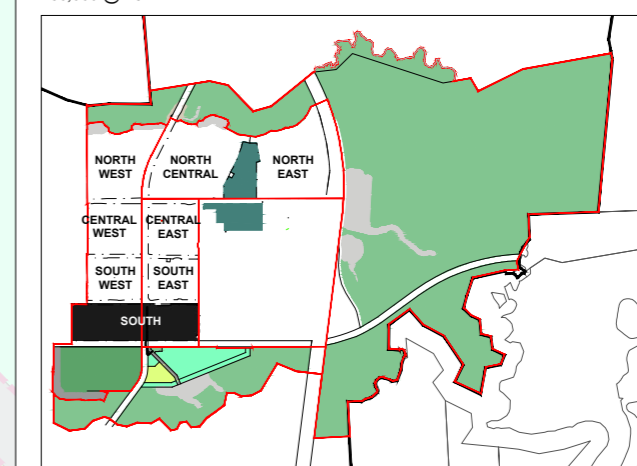
**OPEN SPACE**

- Local Linear Park

Number of Lots            3  
 Park Area                0.35ha  
 Neighbourhood Area    20.08 ha

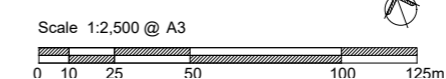


**KEY PLAN**  
 1:50,000 @ A3



**AURA P7-10**

Reconfiguration of a Lot Plan - SOUTH NEIGHBOURHOOD



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PROJECT NO: BA4672  
 DATE: 01.05.2025  
 DRAWING NO: ROL09  
 REV: 13

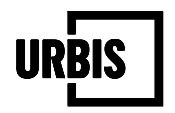
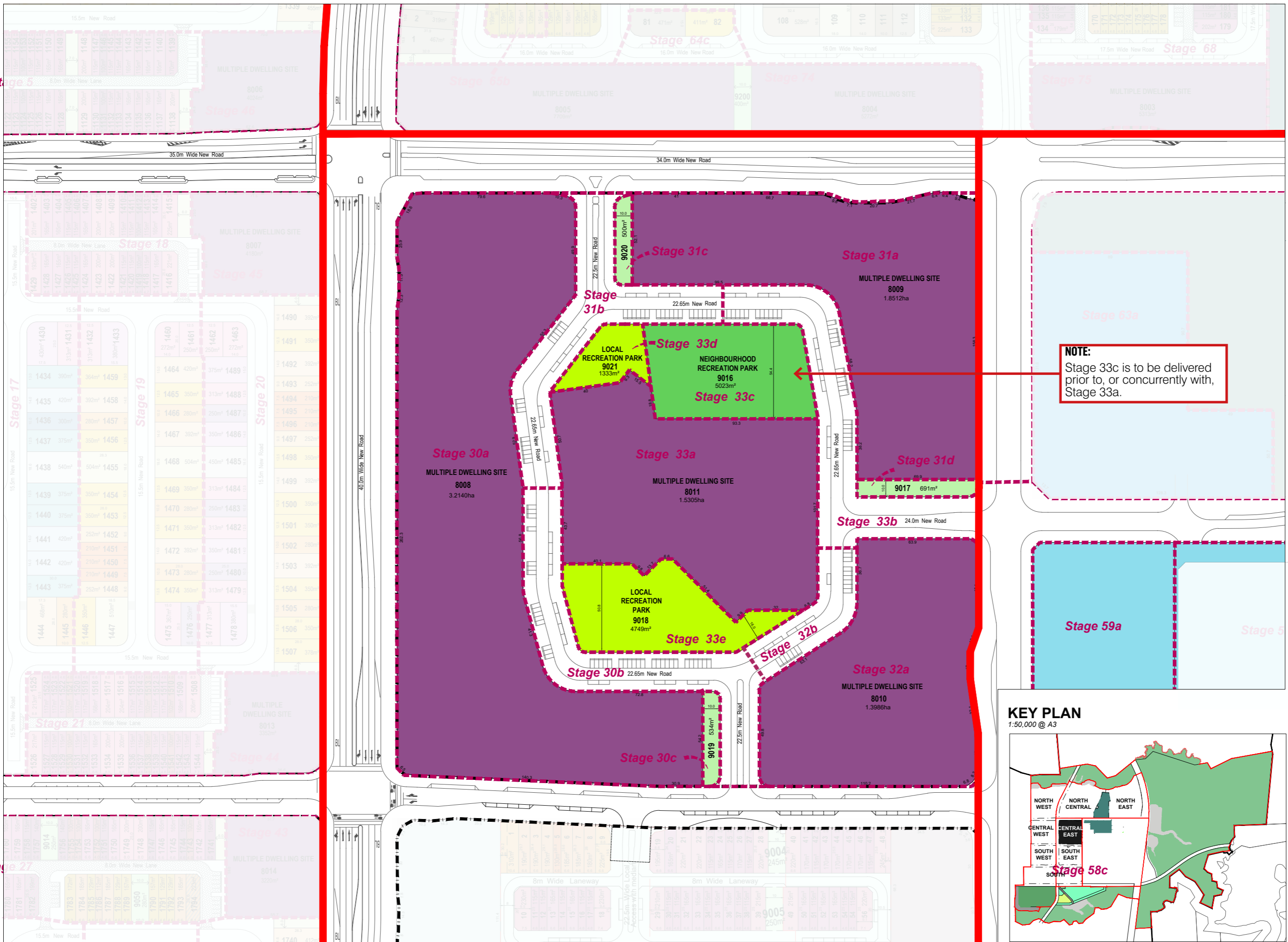
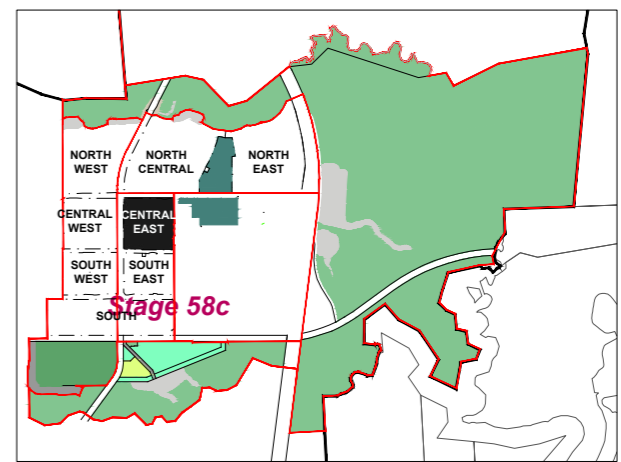
**LEGEND**

- GENERAL**
- Precinct Boundary
  - Neighbourhood Boundary
  - Indicative Staging Boundary
- LAND USE**
- Multiple Unit Dwelling Sites
- OPEN SPACE**
- Neighbourhood Recreation Park
  - Local Recreation Park
  - Linear Open Space

Number of Lots 9  
Neighbourhood Area 11.24ha

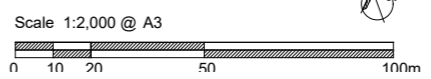
**NOTE:**  
Stage 33c is to be delivered prior to, or concurrently with, Stage 33a.

**KEY PLAN**  
1:50,000 @ A3



**AURA P7-10**

Reconfiguration of a Lot Plan - CENTRAL-EAST NEIGHBOURHOOD



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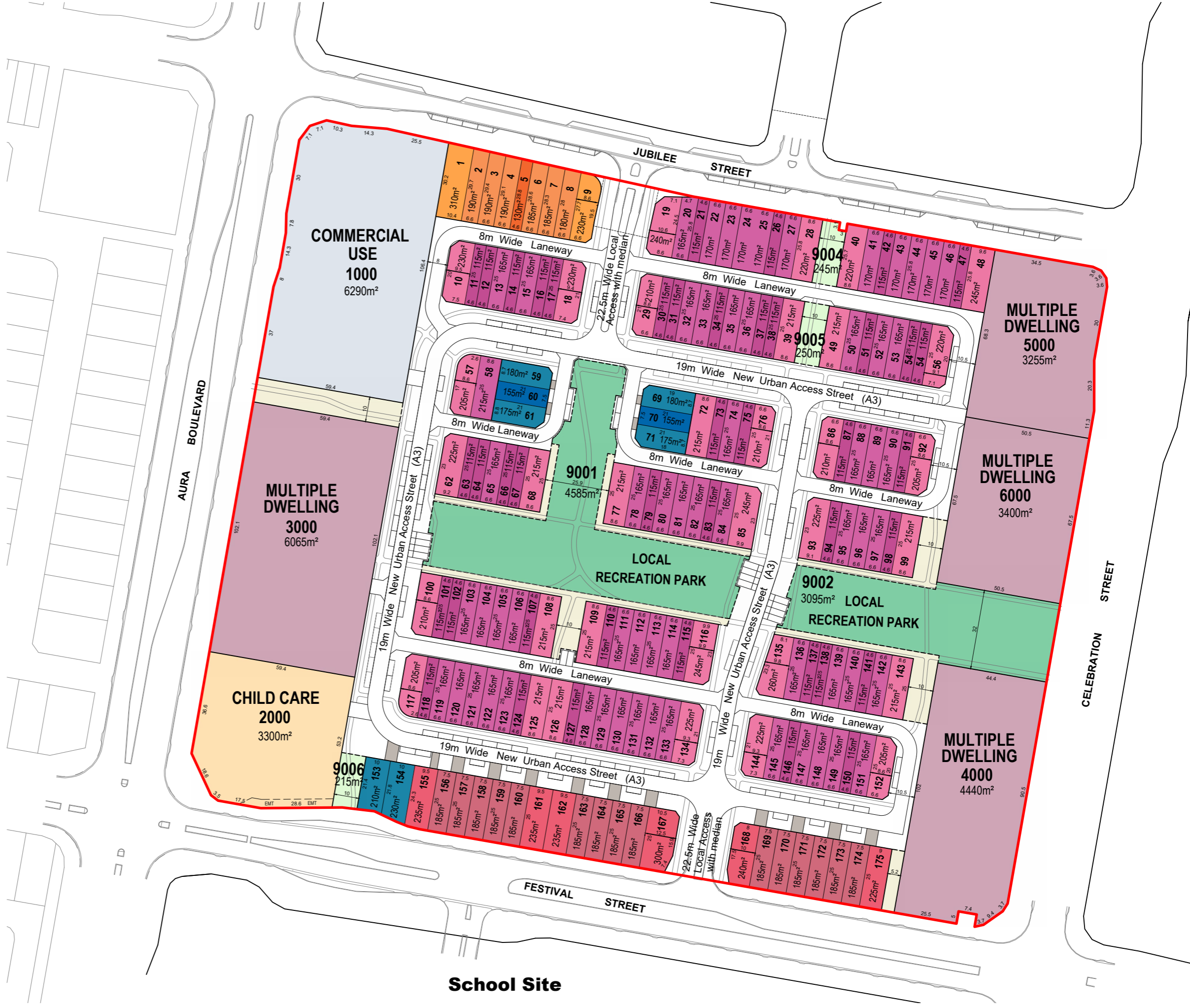
PROJECT NO: BA4672  
DATE: 01.05.2025  
DRAWING NO: ROL06  
REV: 16

**Note:**  
 All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.  
 Dimensions have been rounded to the nearest 0.1 metres.  
 Areas have been rounded down to the nearest 5m<sup>2</sup>.  
 The boundaries shown on this plan should not be used for final detailed engineers design.  
**Source Information:**  
 Site boundaries: RPS (local coordinates)  
 Adjoining information: Stairac

- Legend**
- Application Boundary
  - Proposed Easement
- Land Uses**
- Commercial Use
  - Child Centre
  - Multiple Dwelling
  - Local Recreation Park
  - Local Linear Park
  - Embellishment (Road Reserve)
- 21m Deep**
- Front Loaded Terrace - 7.5m Wide
  - Front Loaded Terrace - 7.5m+ Wide (Ends)
- 25m Deep**
- Rear Loaded Laneway Terrace - 4.6m Wide
  - Rear Loaded Laneway Terrace - 6.6m Wide
  - Front Loaded Terrace - 7.5m Wide
  - Front Loaded Terrace - 7.5m+ Wide (Ends)
- 28m Deep**
- Rear Loaded Laneway Terrace - 4.6m Wide
  - Rear Loaded Laneway Terrace - 6.6m Wide
  - Rear Loaded Laneway Terrace - 6.6m+ Wide (Ends)

Land Budget		
Land Use	Area	Percentage
Area of Subject Site	9.018 ha	100%
Open Space	0.840 ha	9%
Local Recreation Park	0.768 ha	9%
Local Linear Park	0.072 ha	1%
Streets	2.494 ha	28%
Local Access	1.628 ha	18%
Laneways	0.598 ha	7%
Embellishment (road reserve)	0.268 ha	3%
<b>Allotments</b>	<b>5.684 ha</b>	<b>63%</b>
Terrace Allotments	3.008 ha	33%
Commercial Use	0.629 ha	7%
Child Care	0.330 ha	4%
Multiple Dwelling	1.717 ha	19%

Lot and Dwelling Yield				
Lot Type	Lots	Percentage	Potential Dwellings	Assumptions
<b>Terrace Allotments</b>	<b>175</b>	<b>100.0%</b>	<b>175</b>	<b>100.0%</b>
Front Loaded Terrace 7.5m x 21m	2	1.1%	2	1.1%
Front Loaded Terrace (End) 7.5m+ x 21m	6	3.4%	6	3.4%
Front Loaded Terrace 7.5m x 25m	15	8.6%	15	8.6%
Front Loaded Terrace (End) 7.5m+ x 25m	6	3.4%	6	3.4%
Laneway Terrace 4.6m x 25m	42	24.0%	42	24.0%
Laneway Terrace 6.6m x 25m	62	35.4%	62	35.4%
Laneway Terrace (End) 8.6m x 25m	33	18.9%	33	18.9%
Laneway Terrace 4.6m x 28m	1	0.6%	1	0.6%
Laneway Terrace 6.6m x 28m	6	3.4%	6	3.4%
Laneway Terrace (End) 8.6m x 28m	2	1.1%	2	1.1%
<b>Other Allotments</b>	<b>6</b>		<b>296</b>	
Commercial Use	1			
Child Care	1			
Multiple Dwelling	4			
- Lot 3000	1		110	6 storeys
- Lot 4000	1		66	6 storeys
- Lot 5000	1		60	6 to 7 storeys
- Lot 6000	1		60	6 to 7 storeys
<b>Total Allotments</b>	<b>181</b>		<b>471</b>	



PLAN REF: AU11260 - 09  
 Rev No: E  
 DATE: 26 AUGUST 2025  
 CLIENT: STOCKLAND  
 DRAWN BY: SEMM  
 CHECKED BY: CC

**AURA  
 PROPOSAL PLAN  
 PRECINCT 9 SOUTH**



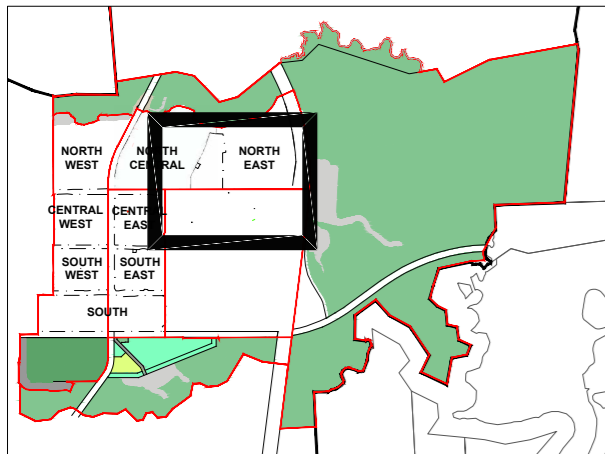
URBAN DESIGN  
 Level 4 HQ South  
 520 Wickham Street  
 PO Box 1559  
 Fortitude Valley QLD 4006  
 T +61 7 3539 9500  
 W rpsgroup.com



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**KEY PLAN**

1:50,000 @ A3



**LEGEND**

**GENERAL**

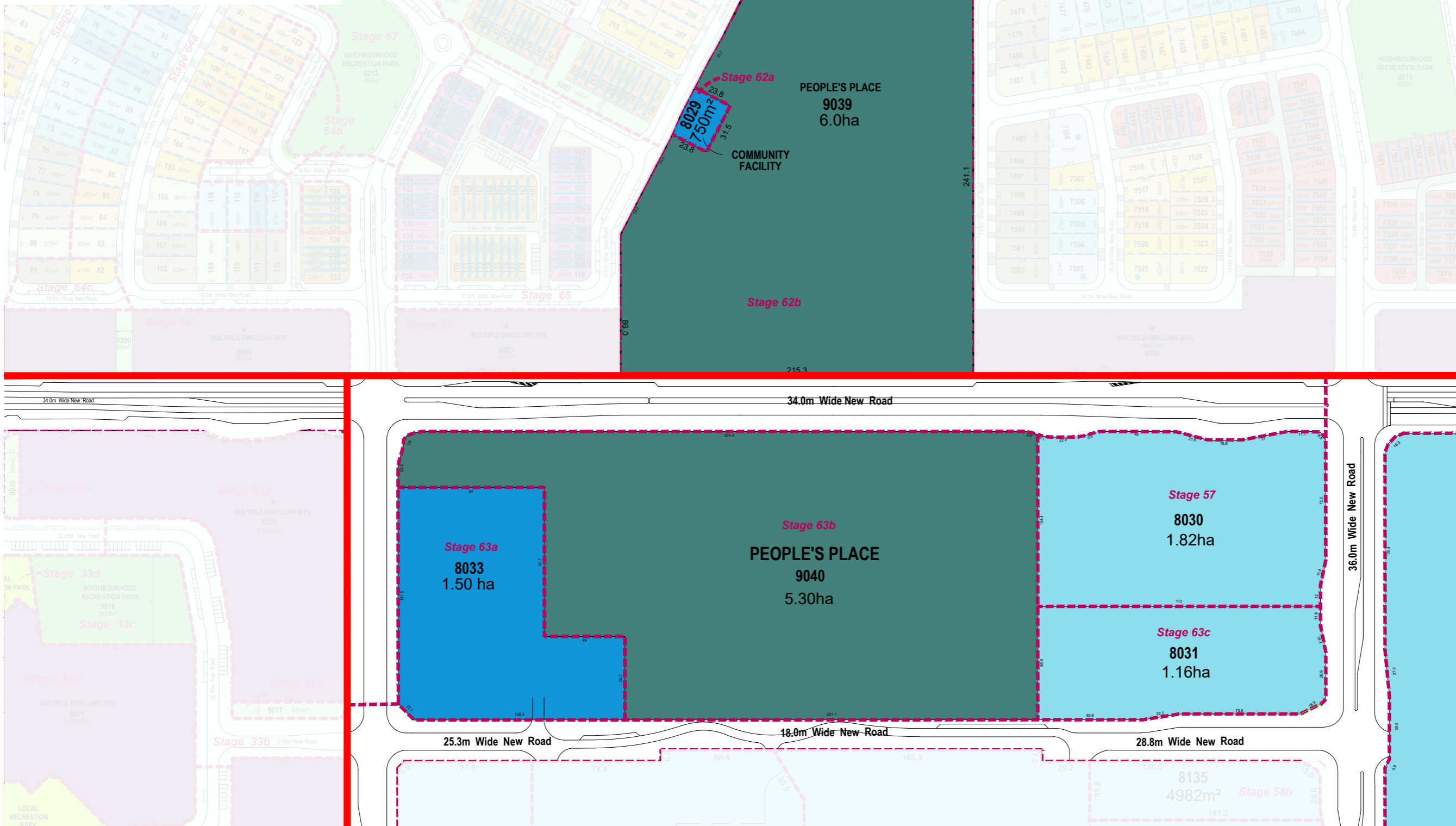
- Precinct Boundary
- - - Indicative Staging Boundary
- Neighbourhood Boundary

**LAND USE**

- Town Centre Mixed Use / Commercial
- Community Use

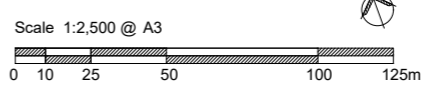
**OPEN SPACE**

- People's Place



**AURA P7-10**

Reconfiguration of a Lot Plan - TOWN CENTRE NORTH

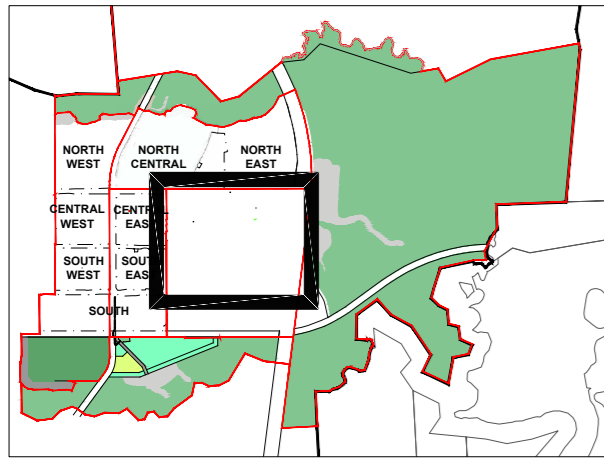


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**PROJECT NO:** BA4672  
**DATE:** 01.05.2025  
**DRAWING NO:** ROL10  
**REV:** 11

**KEY PLAN**

1:50,000 @ A3



**LEGEND**

**GENERAL**

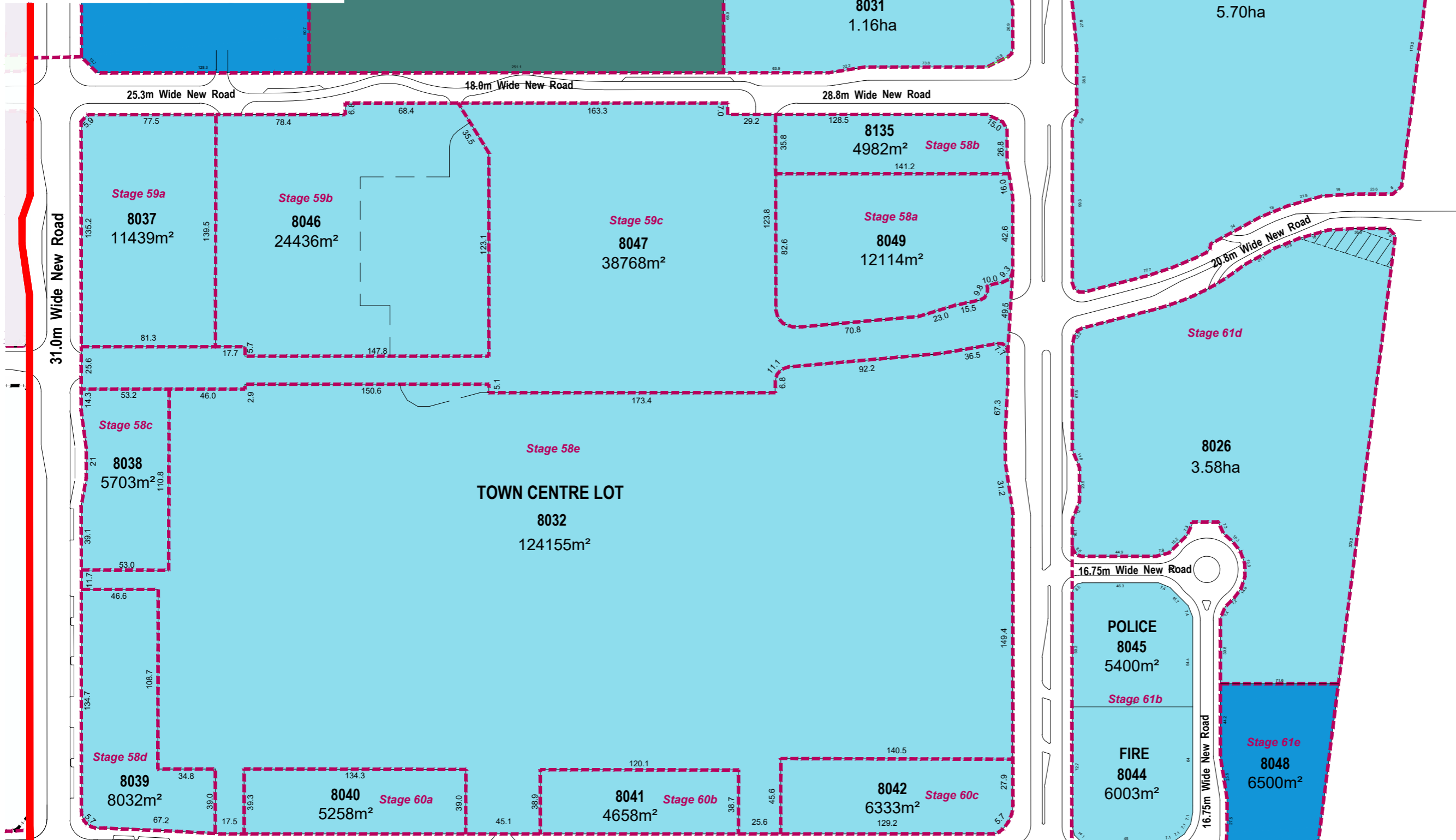
- Precinct Boundary
- - - Indicative Staging Boundary
- Drainage Easement

**LAND USE**

- Town Centre Mixed Use / Commercial
- Multiple Unit Dwelling Sites
- Community Use

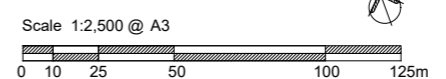
**OPEN SPACE**

- People's Place



**AURA P7-10**

Reconfiguration of a Lot Plan - TOWN CENTRE MID

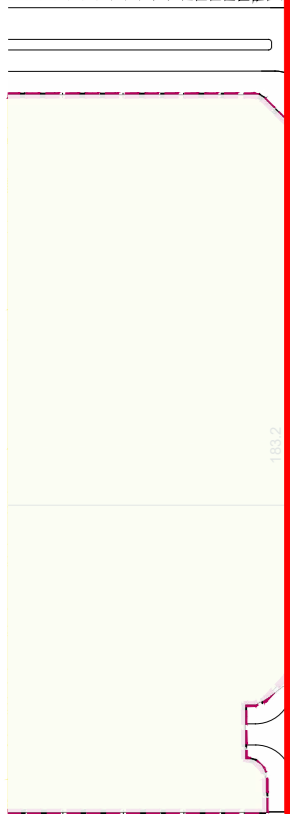
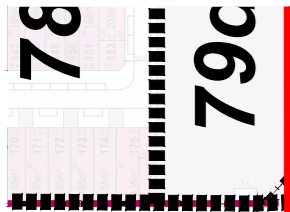
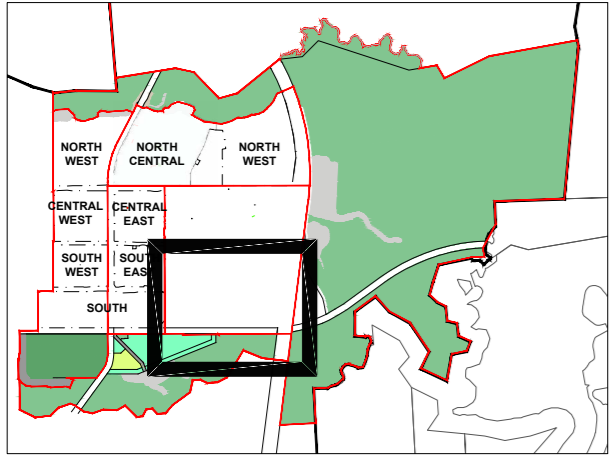


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PROJECT NO: BA4672  
 DATE: 01.05.2025  
 DRAWING NO: ROL11  
 REV: 11

**KEY PLAN**

1:50,000 @ A3

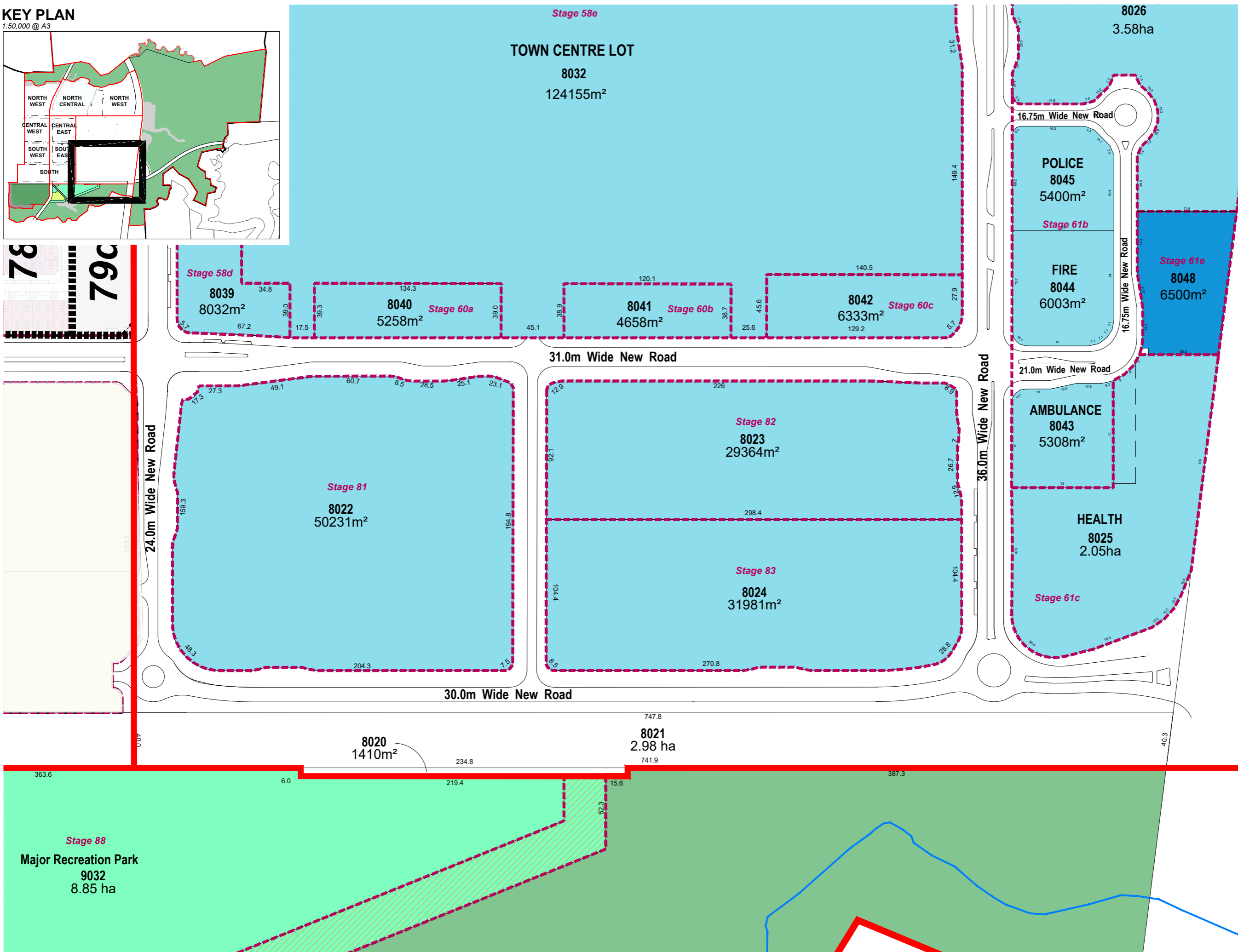


Stage 58e

**TOWN CENTRE LOT**

8032

124155m<sup>2</sup>



**LEGEND**

**GENERAL**

- Precinct Boundary
- - - Indicative Staging Boundary
- Lifestyle Buffer (30m Deep)

**LAND USE**

- Town Centre Mixed Use / Commercial
- Community Use

**OPEN SPACE**

- Environment Protection
- Pedestrian Link
- Major Recreation Park



**AURA P7-10**

Reconfiguration of a Lot Plan - TOWN CENTRE SOUTH

Scale 1:2,500 @ A3



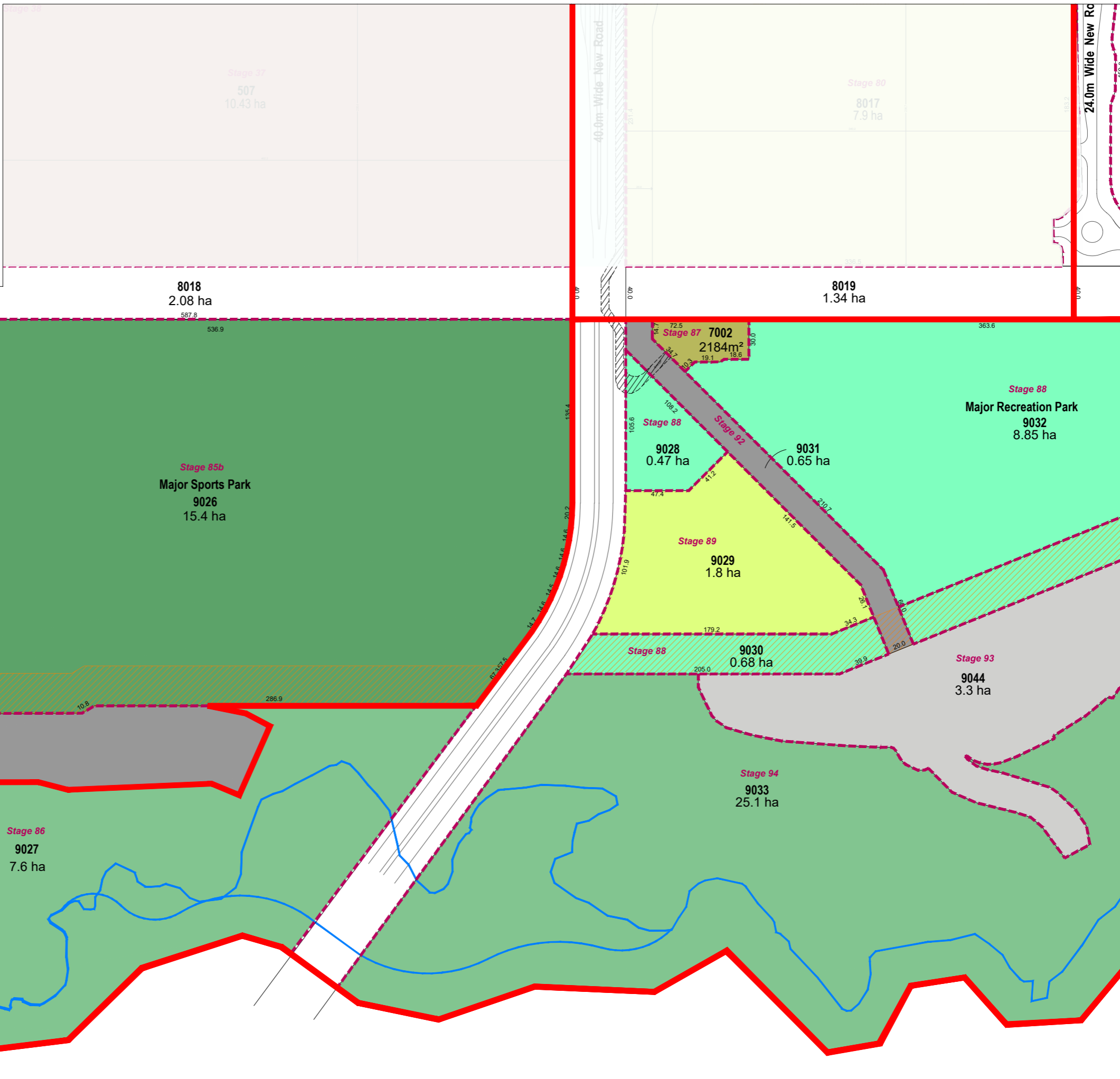
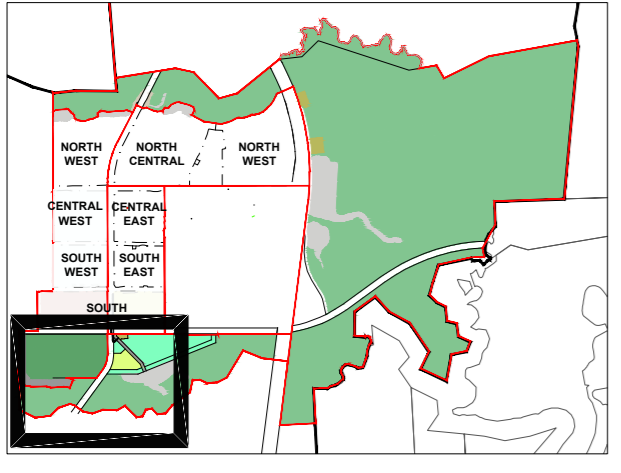
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PROJECT NO: BA4672  
 DATE: 01.05.2025  
 DRAWING NO: ROL12  
 REV: 10

**KEY PLAN**

1:50,000 @ A3



**LEGEND**

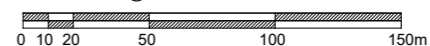
- GENERAL**
- Precinct Boundary
  - - - Indicative Staging Boundary
  - Waterway
  - - - Proposed Waterway
  - Lifestyle Buffer (30m Deep)
  - Access Easement
- OPEN SPACE**
- Drainage Lot
  - Environment Protection
  - Major Sports Park
  - Major Recreation Park
  - Major Sports Facility
  - Utility Installation



**AURA P7-10**

Reconfiguration of a Lot Plan - OPEN SPACE AND CONSERVATION

Scale 1:3,000 @ A3

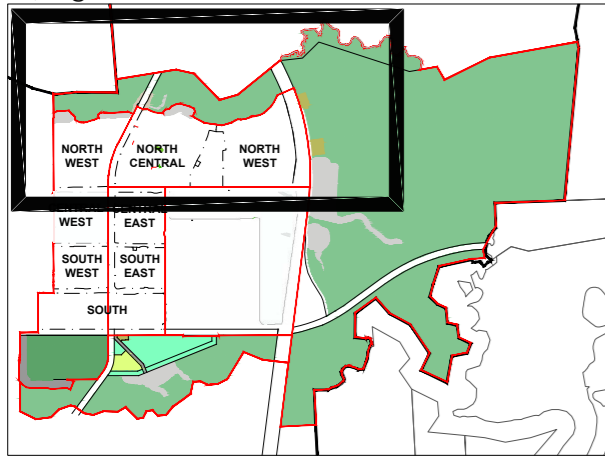


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**PROJECT NO:** BA4672  
**DATE:** 01.05.2025  
**DRAWING NO:** ROL14  
**REV:** 16

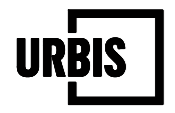
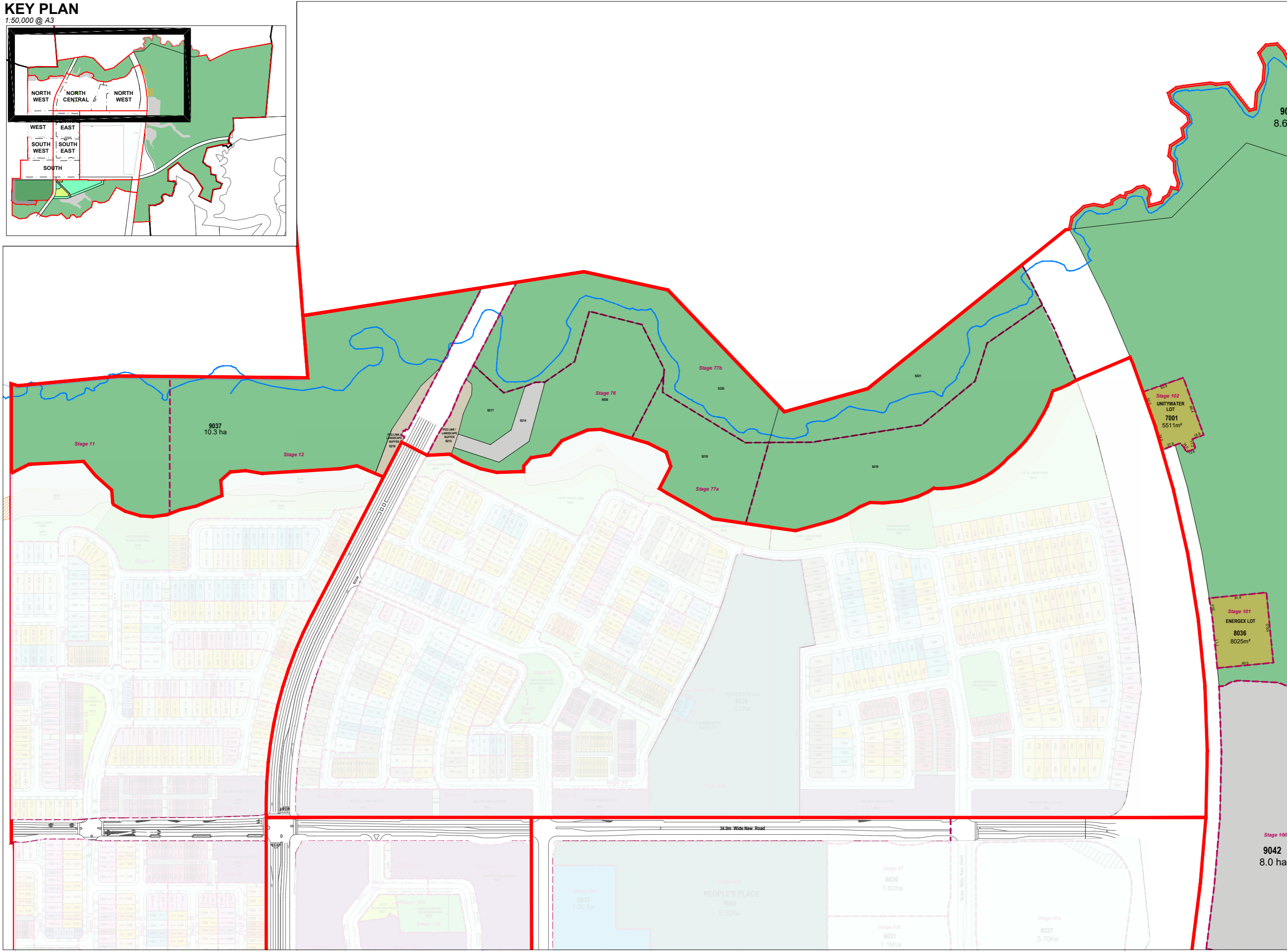
**KEY PLAN**

1:50,000 @ A3



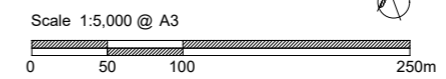
**LEGEND**

- GENERAL**
- Precinct Boundary
  - Indicative Staging Boundary
  - Waterway
  - Utility Installation
  - Drainage Lot
- OPEN SPACE**
- Environment Protection
  - Pedestrian Link / Landscape Buffer (Open Space)



**AURA P7-10**

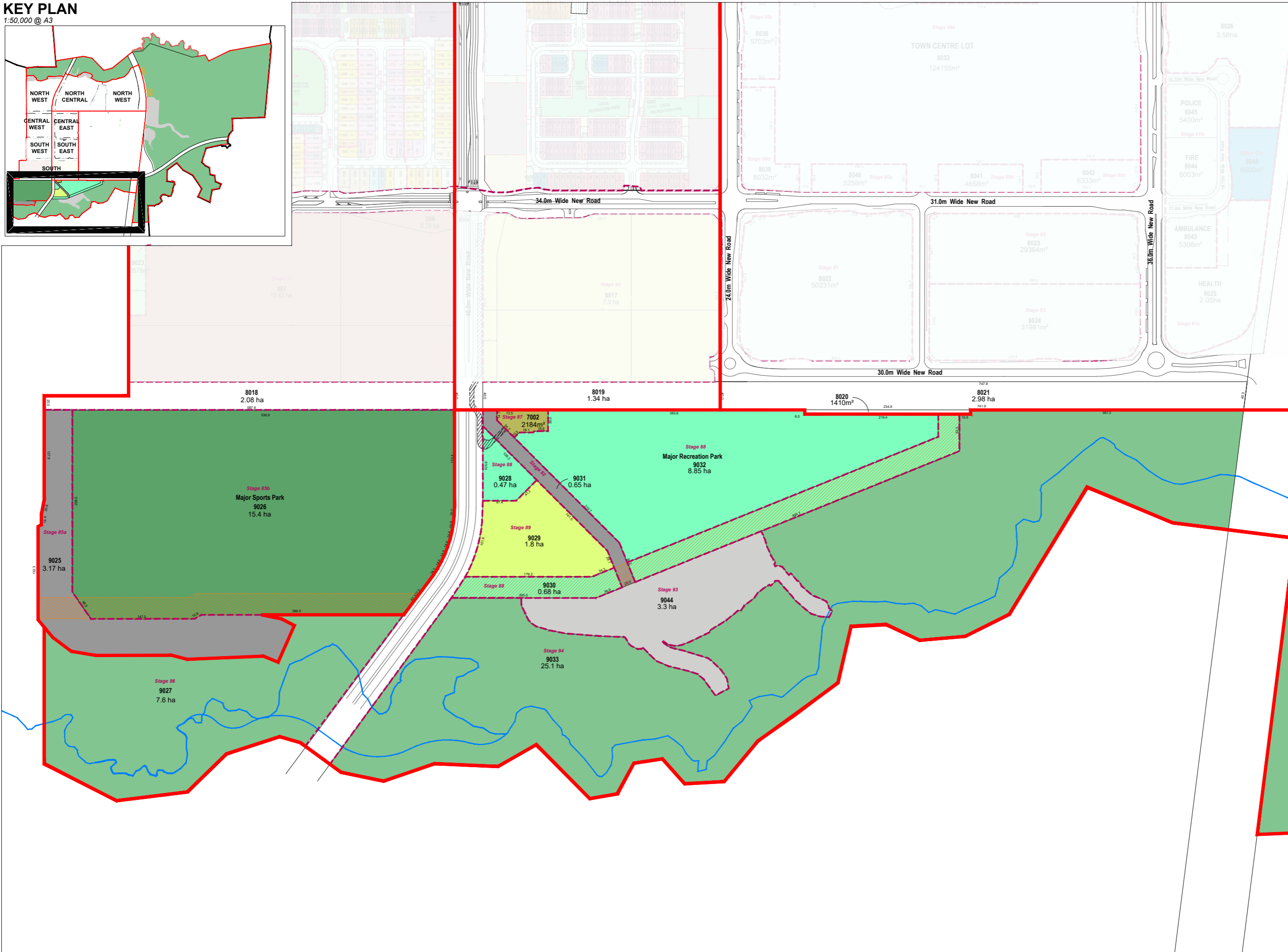
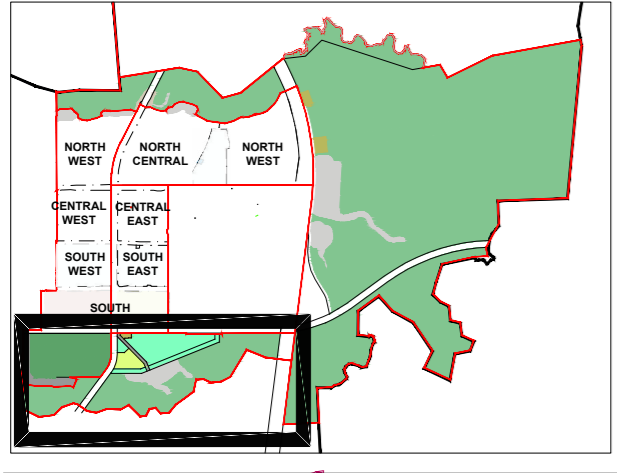
Reconfiguration of a Lot Plan - CONSERVATION ZONE - NORTH



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**PROJECT NO:** BA4672  
**DATE:** 01.05.2025  
**DRAWING NO:** ROL16  
**REV:** 14

**KEY PLAN**  
1:50,000 @ A3



**LEGEND**

- GENERAL**
- Precinct Boundary
  - Indicative Staging Boundary
  - Waterway
  - Proposed Waterway
  - Lifestyle Buffer (30m Deep)
  - Access Easement
- OPEN SPACE**
- Drainage Lot
  - Environment Protection
  - Major Sports Park
  - Major Recreation Park
  - Major Sports Facility
  - Utility Installation



**AURA P7-10**

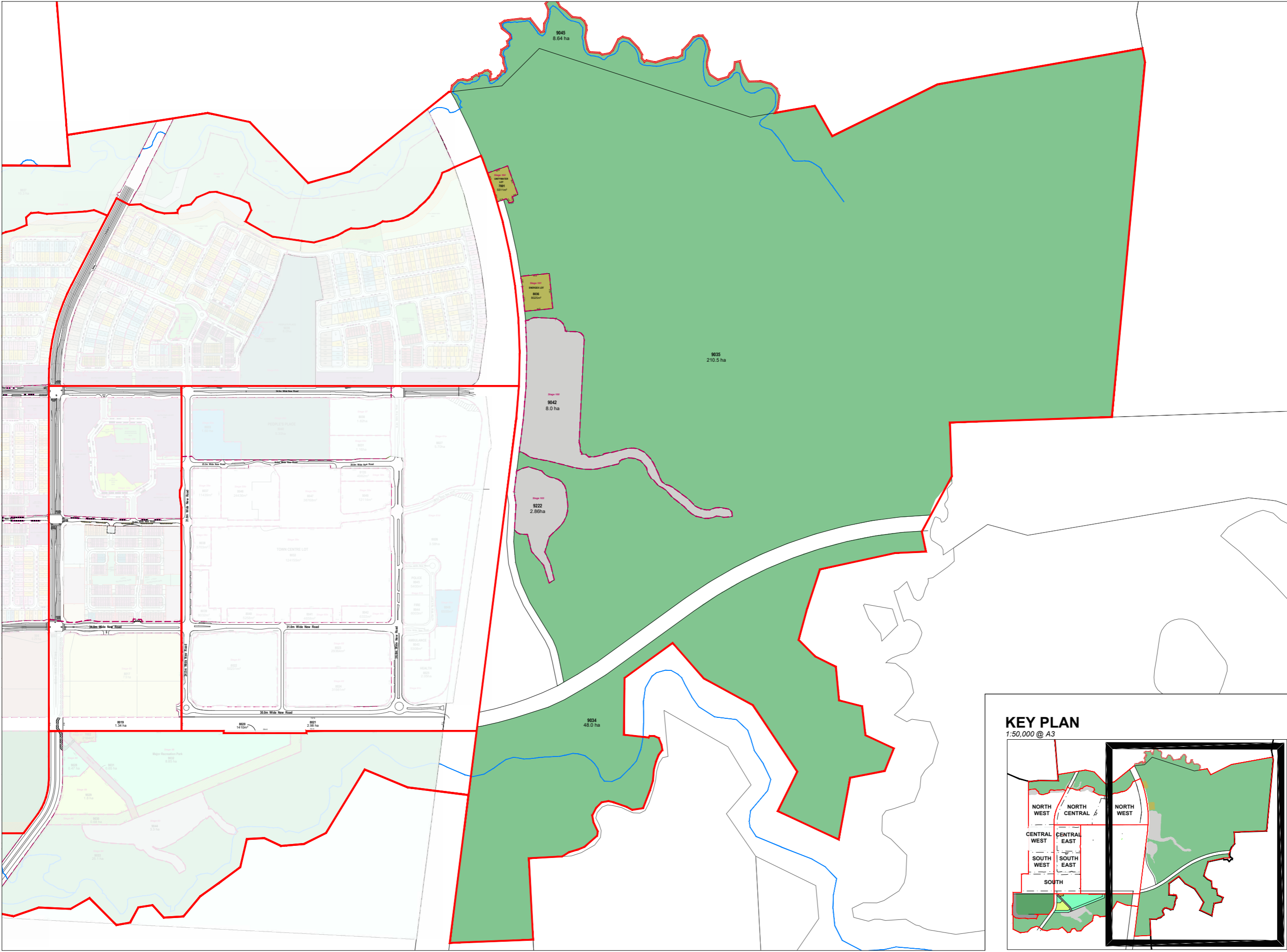
Reconfiguration of a Lot - CONSERVATION ZONE - SOUTH

Scale 1:5,000 @ A3



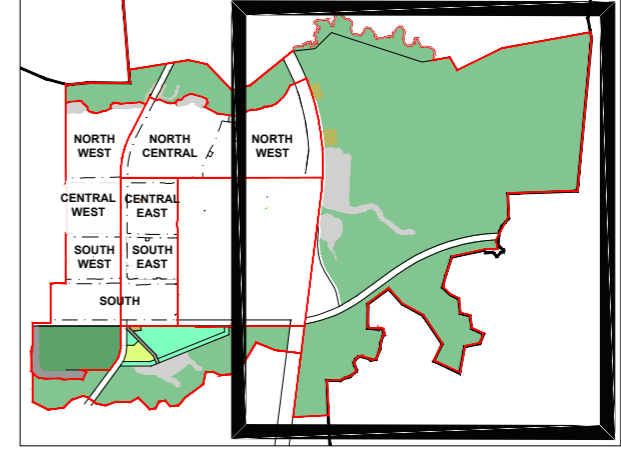
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**PROJECT NO:** BA4672  
**DATE:** 01.05.2025  
**DRAWING NO:** ROL17  
**REV:** 17

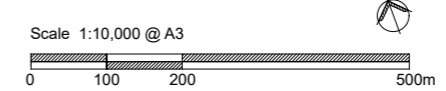


- LEGEND**
- GENERAL**
- Precinct Boundary
  - Indicative Staging Boundary
  - Waterway
  - Utility Installation
  - Drainage Lot
- OPEN SPACE**
- Environment Protection

**KEY PLAN**  
1:50,000 @ A3



**AURA P7-10**  
Reconfiguration of a Lot Plan - ENVIRONMENTAL PROTECTION ZONE



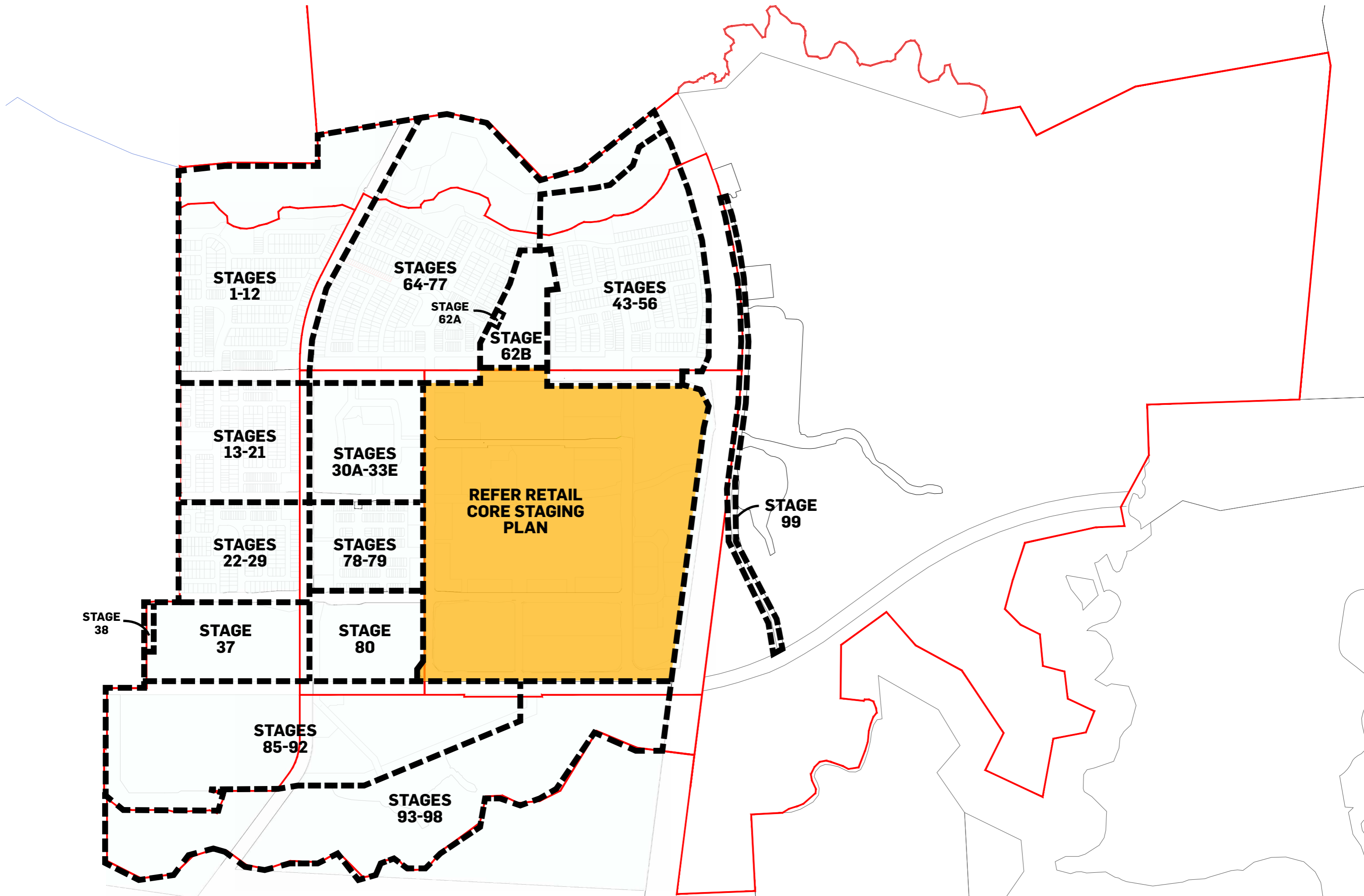
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**PROJECT NO:** BA4672  
**DATE:** 01.05.2025  
**DRAWING NO:** ROL15  
**REV:** 14

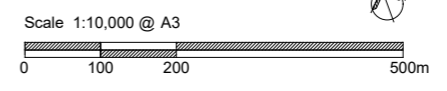




## APPENDIX C INDICATIVE STAGING PLAN

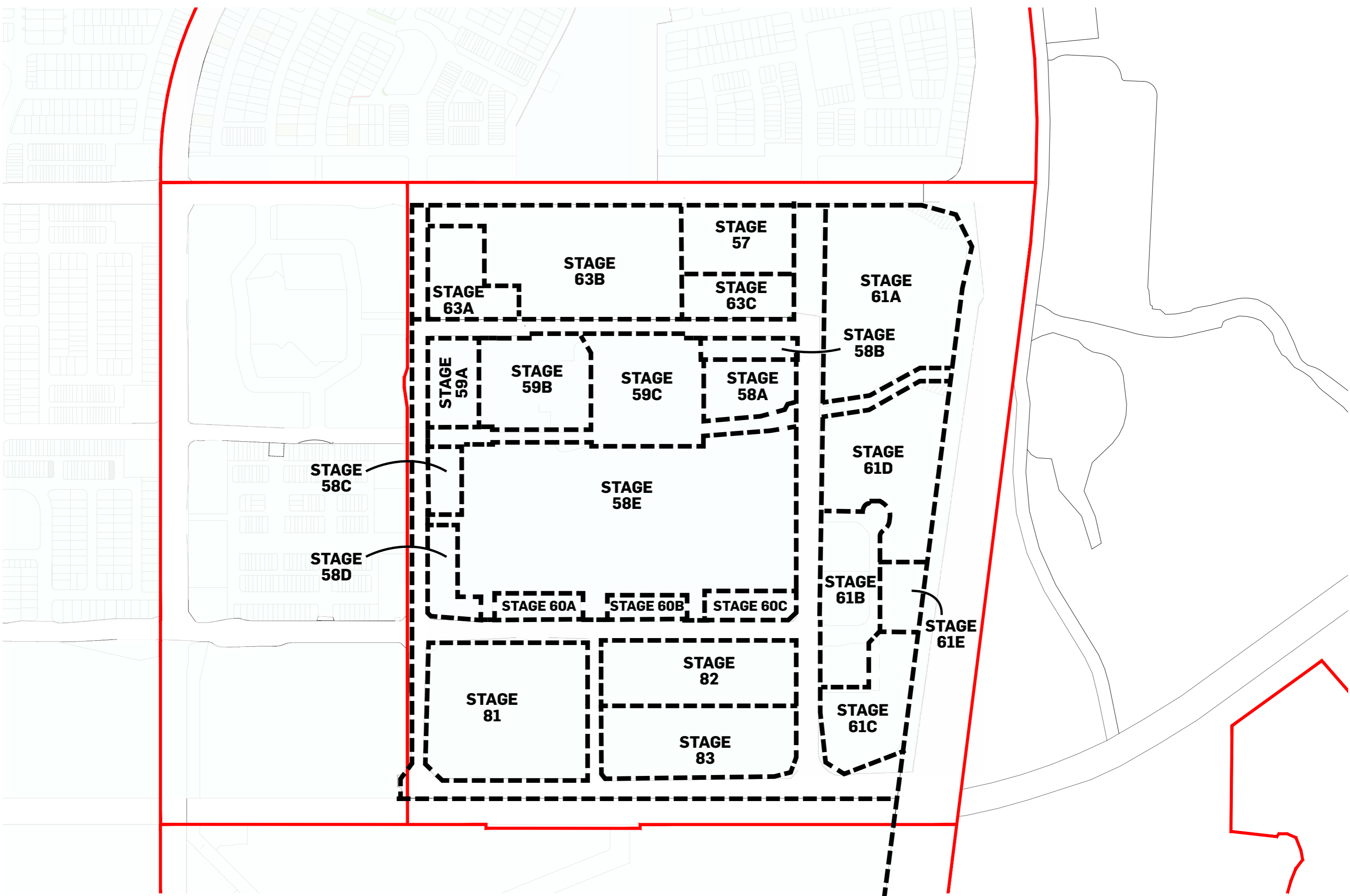


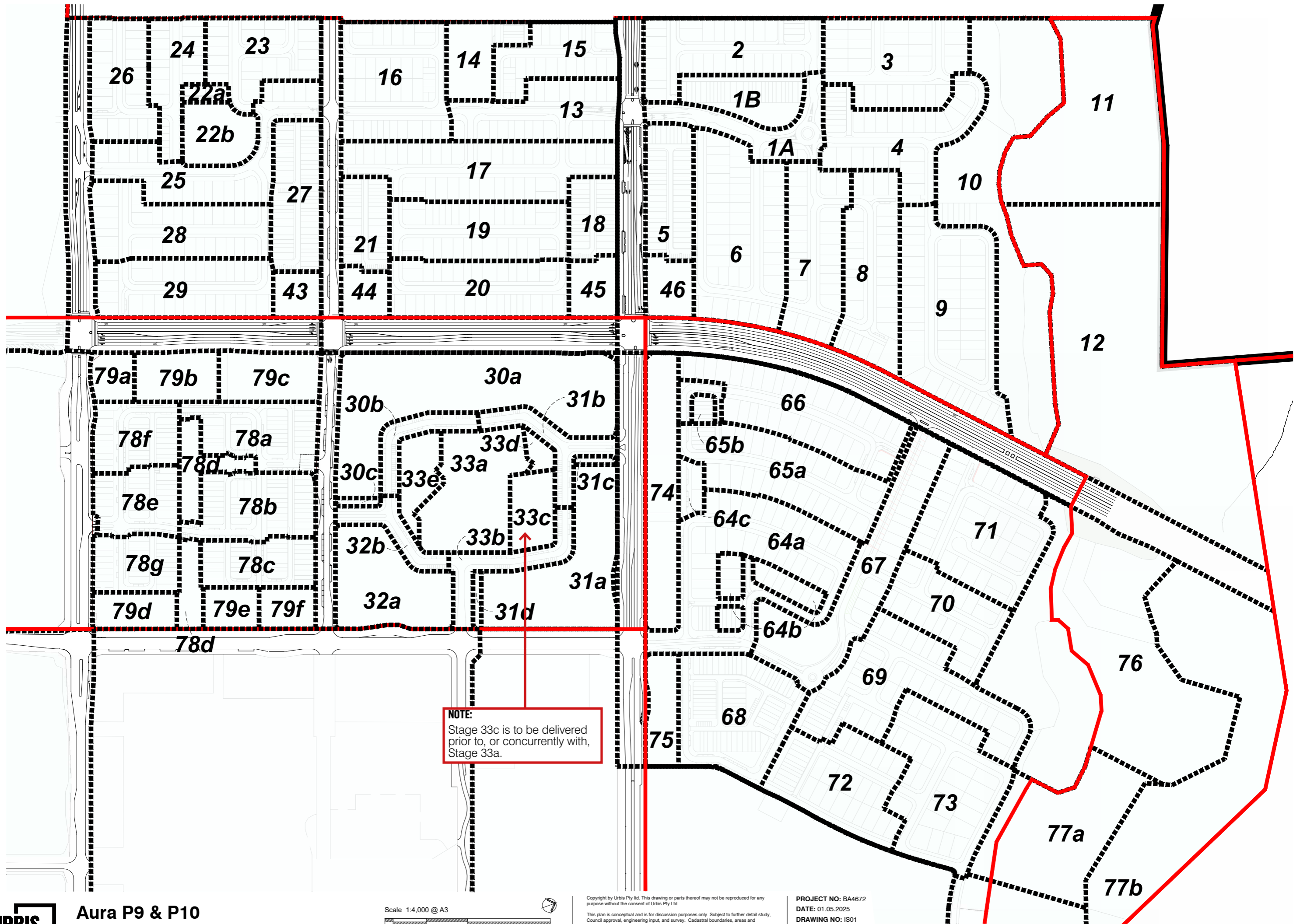
**AURA P7-10**  
Indicative Staging Plan



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**PROJECT NO:** BA4672  
**DATE:** 01.05.2025  
**DRAWING NO:** SP01  
**REV:** 11





**NOTE:**  
 Stage 33c is to be delivered prior to, or concurrently with, Stage 33a.

**Note:**  
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.  
Areas have been rounded down to the nearest 5m<sup>2</sup>.

The boundaries shown on this plan should not be used for final detailed engineers design.

**Source Information:**  
Site boundaries: RPS (local coordinates)  
Adjoining information: Starac

**Legend**

- Application Boundary
- - - Stage/Release Boundary
- Proposed Easement

**Land Uses**

- Neighbourhood Centre
- Child Centre
- Multiple Dwelling
- Local Recreation Park
- Local Linear Park
- Embellishment (Road Reserve)

**21m Deep**

- Front Loaded Terrace - 7.5m Wide
- Front Loaded Terrace - 7.5m+ Wide (Ends)

**25m Deep**

- Rear Loaded Laneway Terrace - 4.6m Wide
- Rear Loaded Laneway Terrace - 6.6m Wide
- Front Loaded Terrace - 7.5m Wide
- Front Loaded Terrace - 7.5m+ Wide (Ends)

**28m Deep**

- Rear Loaded Laneway Terrace - 4.6m Wide
- Rear Loaded Laneway Terrace - 6.6m Wide
- Rear Loaded Laneway Terrace - 6.6m+ Wide (Ends)

Land Budget		
Land Use	Area	Percentage
Area of Subject Site	9.018 ha	100%
Open Space	0.840 ha	9%
Local Recreation Park	0.768 ha	9%
Local Linear Park	0.072 ha	1%
Streets	2.494 ha	28%
Local Access	1.628 ha	18%
Laneways	0.598 ha	7%
Embellishment (road reserve)	0.268 ha	3%
<b>Allotments</b>	<b>5.684 ha</b>	<b>63%</b>
Terrace Allotments	3.008 ha	33%
Commercial Use	0.629 ha	7%
Child Care	0.330 ha	4%
Multiple Dwelling	1.717 ha	19%

Lot and Dwelling Yield				
Lot Type	Lots	Percentage	Potential Dwellings	Assumptions
<b>Terrace Allotments</b>	<b>175</b>	<b>100.0%</b>	<b>175</b>	<b>100.0%</b>
Front Loaded Terrace 7.5m x 21m	2	1.1%	2	1.1%
Front Loaded Terrace (End) 7.5m+ x 21m	6	3.4%	6	3.4%
Front Loaded Terrace 7.5m x 25m	15	8.6%	15	8.6%
Front Loaded Terrace (End) 7.5m+ x 25m	6	3.4%	6	3.4%
Laneway Terrace 4.6m x 25m	42	24.0%	42	24.0%
Laneway Terrace 6.6m x 25m	62	35.4%	62	35.4%
Laneway Terrace (End) 8.6m x 25m	33	18.9%	33	18.9%
Laneway Terrace 4.6m x 28m	1	0.6%	1	0.6%
Laneway Terrace 6.6m x 28m	6	3.4%	6	3.4%
Laneway Terrace (End) 8.6m x 28m	2	1.1%	2	1.1%
<b>Other Allotments</b>	<b>6</b>		<b>296</b>	
Commercial Use	1			
Child Care	1			
Multiple Dwelling	4			
- Lot 3000	1		110	6 storeys
- Lot 4000	1		66	6 storeys
- Lot 5000	1		60	6 to 7 storeys
- Lot 6000	1		60	6 to 7 storeys
<b>Total Allotments</b>	<b>181</b>		<b>471</b>	



**School Site**

AURA  
STAGING PLAN  
PRECINCT 9 SOUTH

PLAN REF: AU11260 - 011

Rev No: F  
DATE: 26 AUGUST 2025  
CLIENT: STOCKLAND  
DRAWN BY: SEMM/GM  
CHECKED BY: CC



0 10 20 30 40 50 1:750 @ A1



URBAN DESIGN  
Level 4 HQ South  
520 Wickham Street  
PO Box 1559  
Fortitude Valley QLD 4006  
T +61 7 3539 9500  
W rpsgroup.com

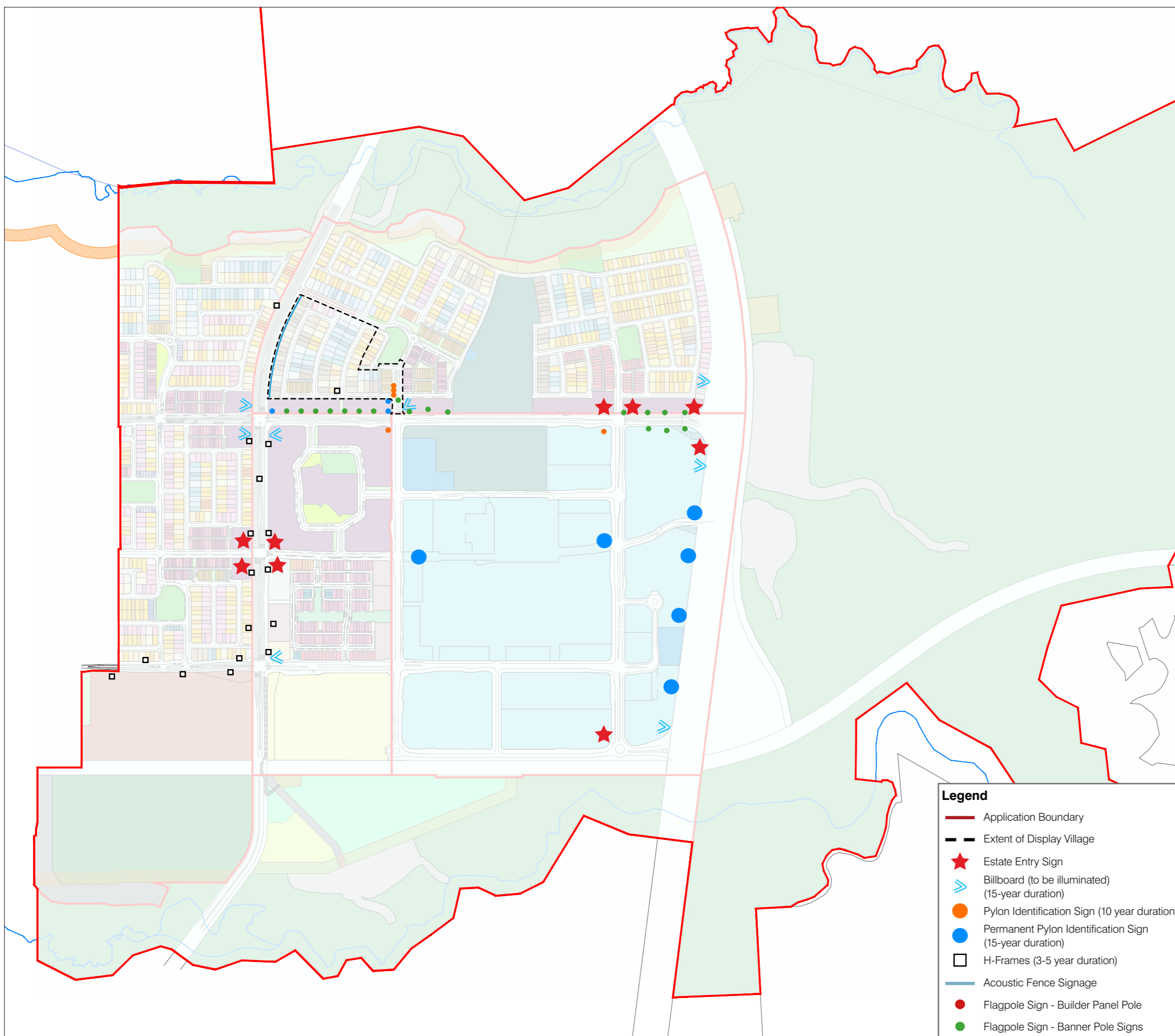


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## APPENDIX D APPROVED ADVERTISING DEVICES

---



- Notes**
- Proposed Advertising Devices must be of materials and colours which complement the design theme of the residential estate and present a visually attractive appearance to the public.
  - Unless otherwise agreed to in writing by the DSDIP, the advertising devices nominated on this plan are to be considered temporary only and are not permitted to remain longer than:
    - Fifteen (15) years from the date the approval is granted where an Estate Entry Sign or a Billboard Identification Sign; or
    - Fifteen (15) years from the date the approval is granted or once the last residential lot is sold within the estate, whichever is earliest, where a Pylon Identification Sign (15 year duration); or
    - Ten (10) years from the date the approval is granted or once the last residential lot is sold within the estate, whichever is the earliest, where a Pylon Identification Sign (10 year) or a Flagpole Sign; or
    - Five (5) years from the date the approval is granted or once the last residential lot is sold within the estate, whichever is the earliest, where a Pylon Identification Sign (5 year duration);
 After these times, the Advertising Devices must be removed.
  - Advertising Devices must be:
    - Maintained to not cause disturbance to the occupants of nearby developments; and
    - Located and designed to not create a nuisance or potential hazard to pedestrians.
  - Construction of Advertising Devices is limited to 6:30am–6:30pm Monday to Saturday, and may not occur outside of these hours, on Sundays or on public holidays.
  - Advertising Devices are to be consistent with the scale and design of the existing buildings and other works on the site and in the locality, and complement the local streetscape; and where appropriate, to reflect the character of the area.
  - An Estate Entry Sign:
    - Is placed at the entrance of an estate;
    - Is set at or within 500mm of ground level;
    - Is maintained as a freestanding structure in a landscaped environment;
    - Does not obstruct pedestrian/cycle access to the estate;
    - Signface area does not exceed 50m<sup>2</sup>;
    - Is a maximum height of 6 metres.
  - A Billboard Identification Sign or Pylon Identification Sign is permitted where complying with the following Criteria:
    - Is mounted as freestanding structure in a landscape environment;
    - Does not project beyond the front alignment of the site;
    - Is designed and treated in such a way that the supporting framework and the back of the signface area blend with the surrounding streetscape or field a view;
    - Has a maximum thickness not exceeding 75mm per metre of height above ground level; and
    - Is permitted up to a maximum height of 15 metres and a maximum signface area of 43m<sup>2</sup> per signface.
  - A Flagpole Sign (Builder Panel Pole and Banner Pole Signs) is permitted where complying with the following criteria:
    - is limited to one (1) flag per 10 metres of street front boundary;
    - does not exceed a maximum signface area of 2.5m<sup>2</sup>;
    - does not exceed a maximum height of 5 metres above ground level;
 Where a Flagpole Sign - Builder Panel Pole, the following additional criteria apply:
    - is limited to a maximum of one (1) per lot;
    - sign is not to be in place for more than 2.5 years after erection;
    - must be erected in association with a display home; and
    - only permitted within extent of display village.
  - A Third Party Sign is permitted to be erected on land owned or under the control of Stockland, and intended to advertise the emerging community of Caloundra South.
  - H-Frame Advertising Devices;
    - does not exceed 1200 x 2440mm in size;
    - may be single or double sided;
    - must consist of ACM face with a powder-coated ali fabricated structure finish.

**Legend**

- Application Boundary
- Extent of Display Village
- ★ Estate Entry Sign
- >> Billboard (to be illuminated) (15-year duration)
- Pylon Identification Sign (10 year duration)
- Permanent Pylon Identification Sign (15-year duration)
- H-Frames (3-5 year duration)
- Acoustic Fence Signage
- Flagpole Sign - Builder Panel Pole
- Flagpole Sign - Banner Pole Signs



## APPENDIX E APPROVED PLAN OF DEVELOPMENT PLANS

---

**NOTE:**  
Temporary Access Easement  
for Stage 65A.

**LEGEND**

**GENERAL**

- Precinct Boundary
- Neighbourhood Boundary
- Lifestyle buffer (30m Deep)
- Temporary Access Easement for Stage 65A
- Multiple Residential (Duplex) Lots
- ★ Lots Potentially Impacted By Road Traffic Noise

**LAND USE**

- Multiple Unit Dwelling Sites

**OPEN SPACE**

- Neighbourhood Park
- Environment Protection
- Local Linear Park
- Pedestrian Link
- Pedestrian Link / Landscape Buffer (Open Space)

**RESIDENTIAL**

**32 Deep Lots**

- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

**30 Deep Lots**

- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

**28 Deep Lots**

- 4m - Terrace
- 6.6m - Terrace
- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

**25 Deep Lots**

- 4.6m - Terrace
- 6.6m - Terrace
- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

**DEVELOPMENT CONTROLS**

- Mandatory Built to Boundary Wall
- Optional Built to Boundary Wall
- Access to Road Reserve Prohibited
- Indicative Location of Driveway
- Indicative Car Park Location (Parking Bay Dimensions = 5.4m x 2.1m)
- Landscaping in the hatched area is limited to maximum 300mm high groundcovers or similar
- No tall landscaping within this zone

**PARKING**

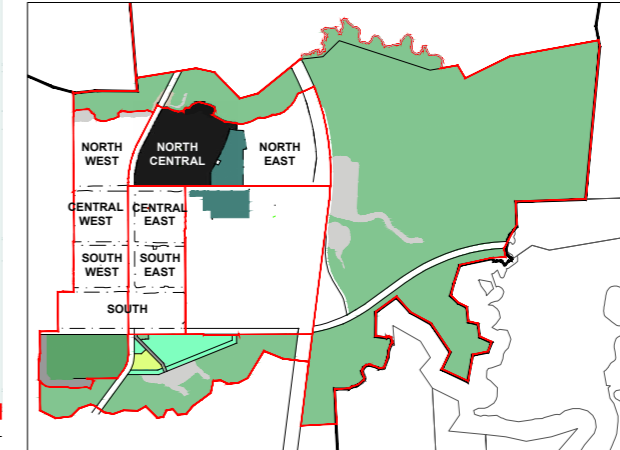
Total Visitor Parking Spaces 356  
Total Lots 371

**Note:**  
On lots marked on plan as potentially impacted by road traffic noise:  
• Dwellings must be designed such that internal noise levels comply with AS/NZS2107-2000 'Acoustics - Recommended design sound levels and reverberation times for building interiors'; and  
• Dwellings must be designed as recommended in the 'Traffic Noise Impact Assessment' document by ASK Consulting Engineers dated 26 May 2016).



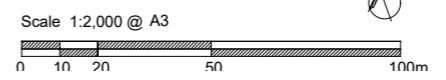
**KEY PLAN**

1:50,000 @ A3



**AURA P7-10**

Plan of Development - NORTH-CENTRAL NEIGHBOURHOOD



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**PROJECT NO:** BA4672  
**DATE:** 01.05.2025  
**DRAWING NO:** ROLO3  
**REV:** 14



**LEGEND**

- GENERAL**
- Precinct Boundary
  - Neighbourhood Boundary
  - Lifestyle buffer (30m Deep)
  - Multiple Residential (Duplex) Lots
  - Lots Potentially Impacted By Road Traffic Noise
  - Utility Installation

- LAND USE**
- Multiple Unit Dwelling Sites

- OPEN SPACE**
- Neighbourhood Park
  - Environment Protection
  - Local Linear Park
  - Pedestrian Link

- RESIDENTIAL**
- 32 Deep Lots**
- 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 15.0m - Traditional
- 30 Deep Lots**
- 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 15.0m - Traditional
- 28 Deep Lots**
- 8.5m - Mode
  - 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 15.0m - Traditional
- 25 Deep Lots**
- 7.5m - Terrace
  - 8.5m+ - End Terrace
  - 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 15.0m - Traditional

- DEVELOPMENT CONTROLS**
- Mandatory Built to Boundary Wall
  - Optional Built to Boundary Wall
  - Indicative Location of Driveways
  - Indicative Car Park Location (Parking Bay Dimensions = 5.4m x 2.1m)

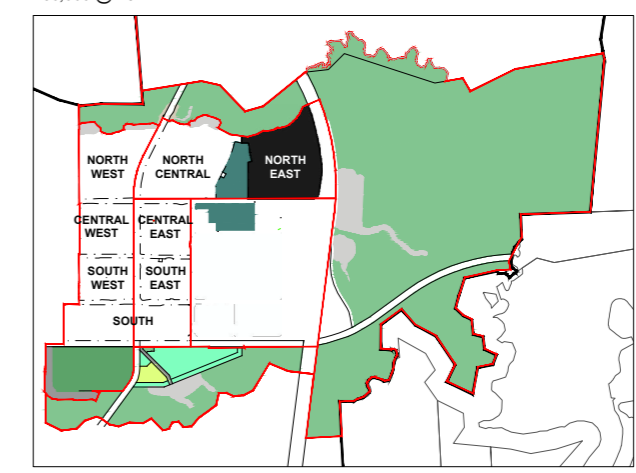
- PARKING**
- Total Visitor Parking Spaces 166
  - Total Lots 324

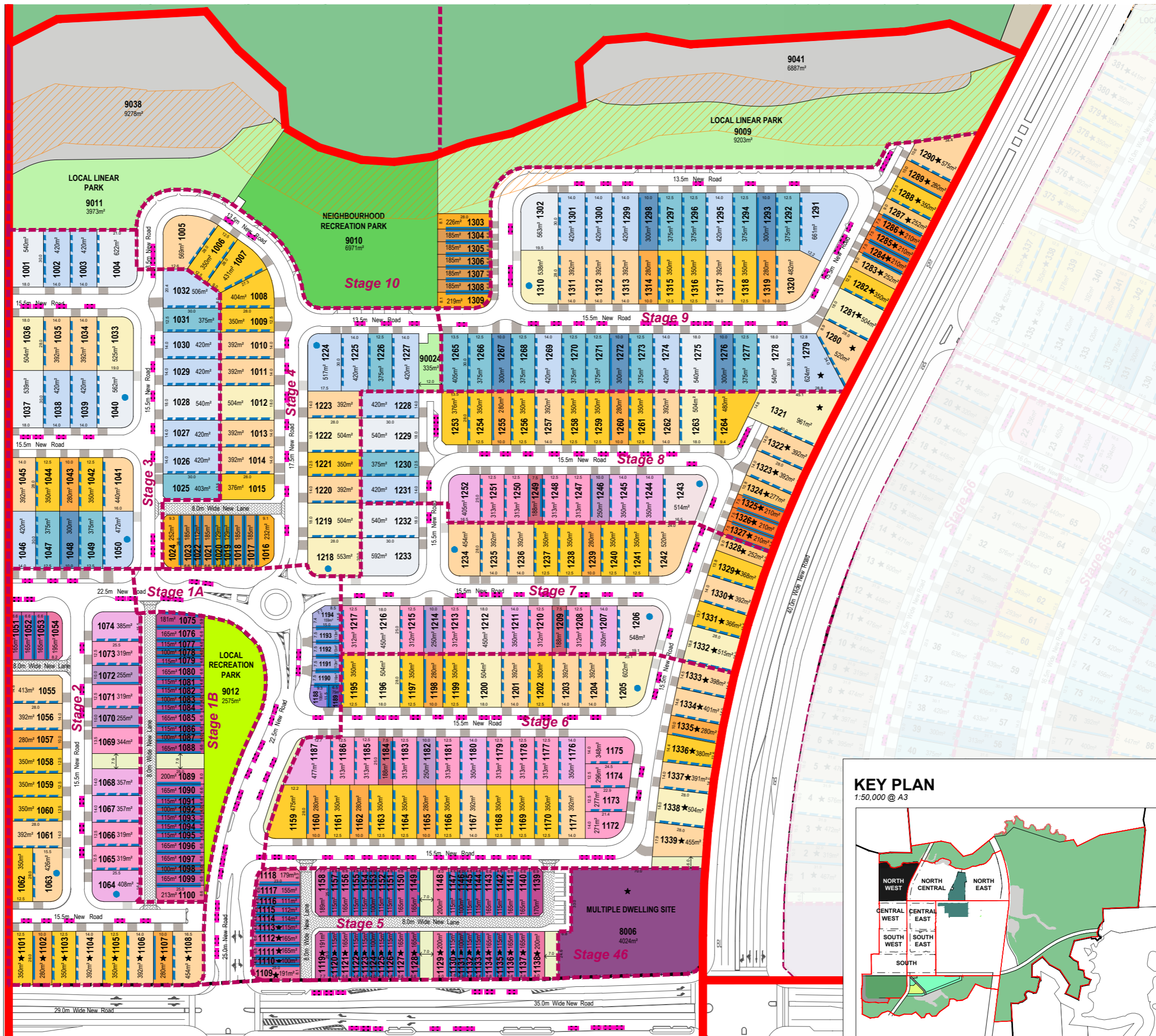
**Note:**

On lots marked on plan as potentially impacted by road traffic noise:

- Dwellings must be designed such that internal noise levels comply with AS/ NZS2107-2000 'Acoustics - Recommended design sound levels and reverberation times for building interiors'; and
- Dwellings must be designed as recommended in the 'Traffic Noise Impact Assessment' document by ASK Consulting Engineers dated 26 May 2016).

**KEY PLAN**





**LEGEND**

- GENERAL**
- Precinct Boundary
  - Neighbourhood Boundary
  - Indicative Staging Boundary
  - Lifestyle buffer (30m Deep)
  - Multiple Residential (Duplex) Lots
  - Lots Potentially Impacted By Road Traffic Noise

- LAND USE**
- Multiple Unit Dwelling Sites

- OPEN SPACE**
- Local Park
  - Neighbourhood Park
  - Environment Protection
  - Local Linear Park
  - Pedestrian Link
  - Drainage Lot
  - Pedestrian Link / Landscape Buffer (Open Space)

- RESIDENTIAL**
- 30 Deep Lots
- 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 18.0m - Premium Traditional

- 28 Deep Lots
- 4m - Terrace
  - 4.6m - Terrace
  - 6.6m - Terrace
  - 6.6m+ - End Terrace
  - 7.5m - Terrace
  - 8.5m+ - End Terrace
  - 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 18.0m - Premium Traditional

- 25 Deep Lots
- 4m - Terrace
  - 4.6m - Terrace
  - 6.6m - Terrace
  - 6.6m+ - End Terrace
  - 7.5m - Terrace
  - 8.5m+ - End Terrace
  - 10.0m - Villa
  - 12.5m - Premium Villa
  - 14.0m - Courtyard
  - 18.0m - Premium Traditional

- Urban Lots**
- Urban Lot Type A
  - Urban Lot Type B
  - Urban Lot Type C

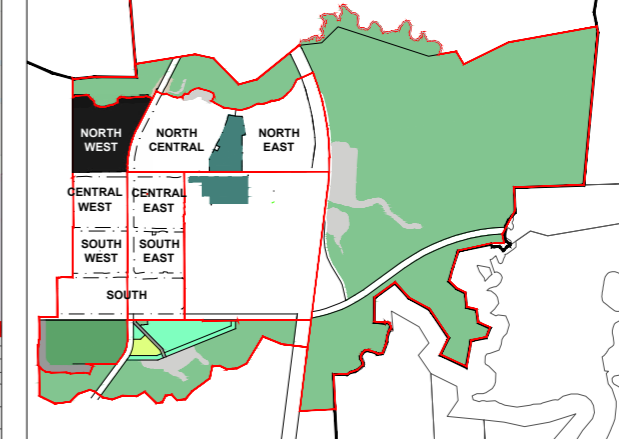
- DEVELOPMENT CONTROLS**
- Mandatory Built to Boundary Wall
  - Optional Built to Boundary Wall
  - Indicative Location of Driveways
  - Indicative Car Park Location (Parking Bay Dimensions = 5.4m x 2.1m)

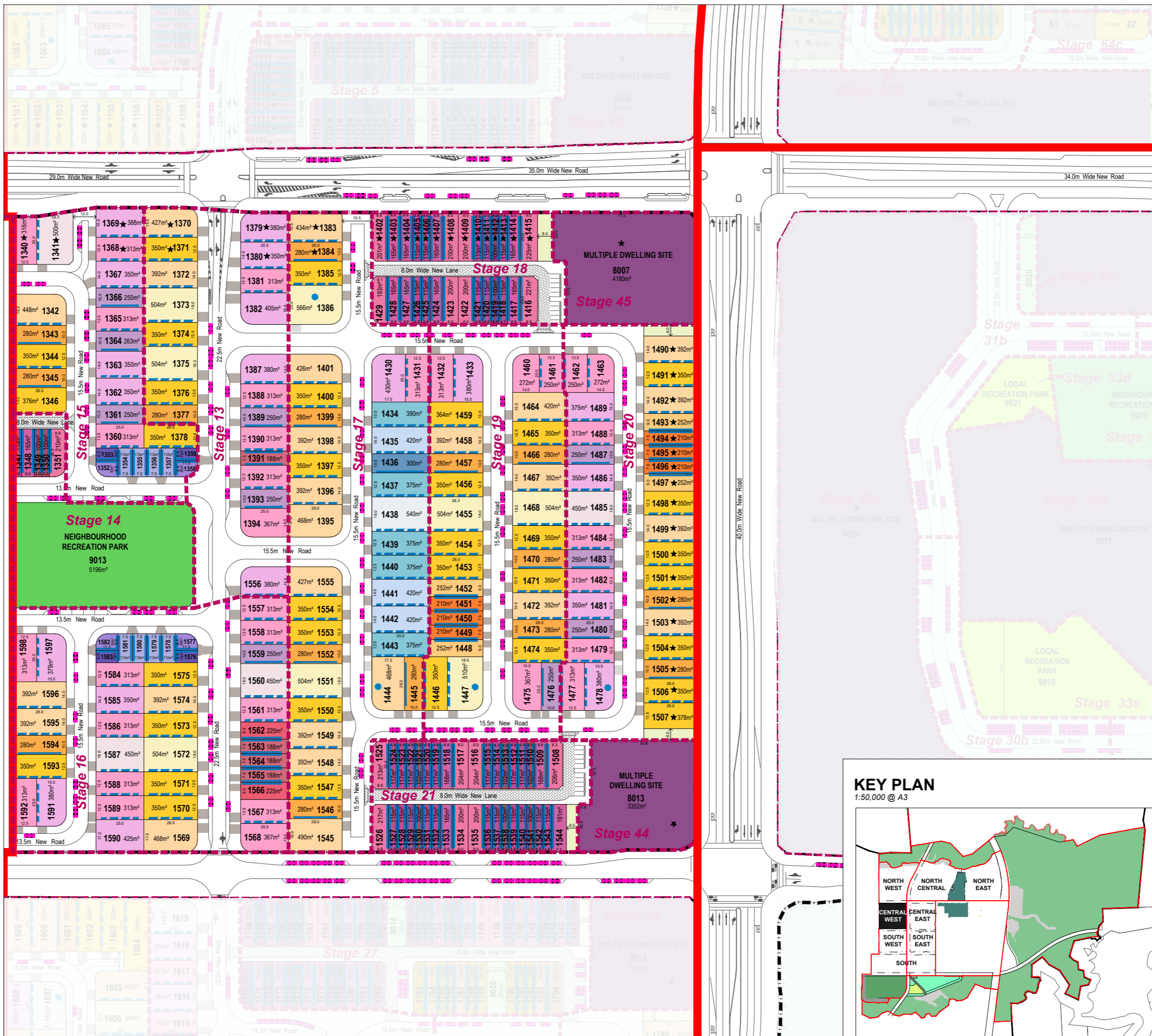
- PARKING**
- Total Visitor Parking Spaces: 182
  - Total Lots: 339

**Note:**  
 On lots marked on plan as potentially impacted by road traffic noise:  
 • Dwellings must be designed such that internal noise levels comply with AS/ NZS2107-2000 'Acoustics - Recommended design sound levels and reverberation times for building interiors'; and  
 • Dwellings must be designed as recommended in the 'Traffic Noise Impact Assessment' document by ASK Consulting Engineers dated 26 May 2016).

**KEY PLAN**

1:50,000 @ A3





### LEGEND

**GENERAL**

- Red line: Precinct Boundary
- Black line: Neighbourhood Boundary
- Red dashed line: Indicative Staging Boundary
- Blue circle: Multiple Residential (Duplex) Lots
- Star: Lots Potentially Impacted By Road Traffic Noise

**LAND USE**

- Purple: Multiple Unit Dwelling Sites

**OPEN SPACE**

- Green: Neighbourhood Park
- Light Green: Pedestrian Link

**RESIDENTIAL**

**30 Deep Lots**

- Light Blue: 10.0m - Villa
- Medium Blue: 12.5m - Premium Villa
- Dark Blue: 14.0m - Courtyard
- Light Purple: 18.0m - Premium Traditional

**28 Deep Lots**

- Orange: 7.5m - Terrace
- Light Orange: 8.5m+ - End Terrace
- Yellow: 10.0m - Villa
- Light Yellow: 12.5m - Premium Villa
- Light Green: 14.0m - Courtyard
- Light Purple: 18.0m - Premium Traditional

**25 Deep Lots**

- Dark Purple: 4m - Terrace
- Medium Purple: 4.6m - Terrace
- Light Purple: 6.6m - Terrace
- Light Purple: 6.6m+ - End Terrace
- Light Purple: 7.5m - Terrace
- Light Purple: 8.5m+ - End Terrace
- Light Purple: 10.0m - Villa
- Light Purple: 12.5m - Premium Villa
- Light Purple: 14.0m - Courtyard
- Light Purple: 18.0m - Premium Traditional

**Urban Lots**

- Dark Blue: Urban Lot Type A
- Medium Blue: Urban Lot Type B
- Light Blue: Urban Lot Type C

**DEVELOPMENT CONTROLS**

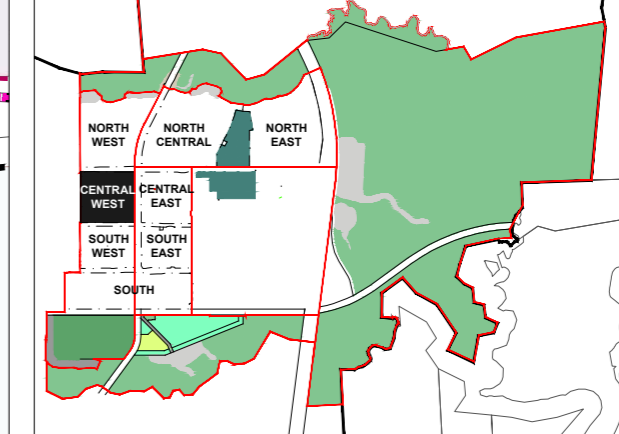
- Blue dashed line: Mandatory Built to Boundary Wall
- Blue solid line: Optional Built to Boundary Wall
- Black line: Indicative Location of Driveways
- Red dashed line: Indicative Car Park Location (Parking Bay Dimensions = 5.4m x 2.1m)

**PARKING**

Total Visitor Parking Spaces	147
Total Lots	259

### KEY PLAN

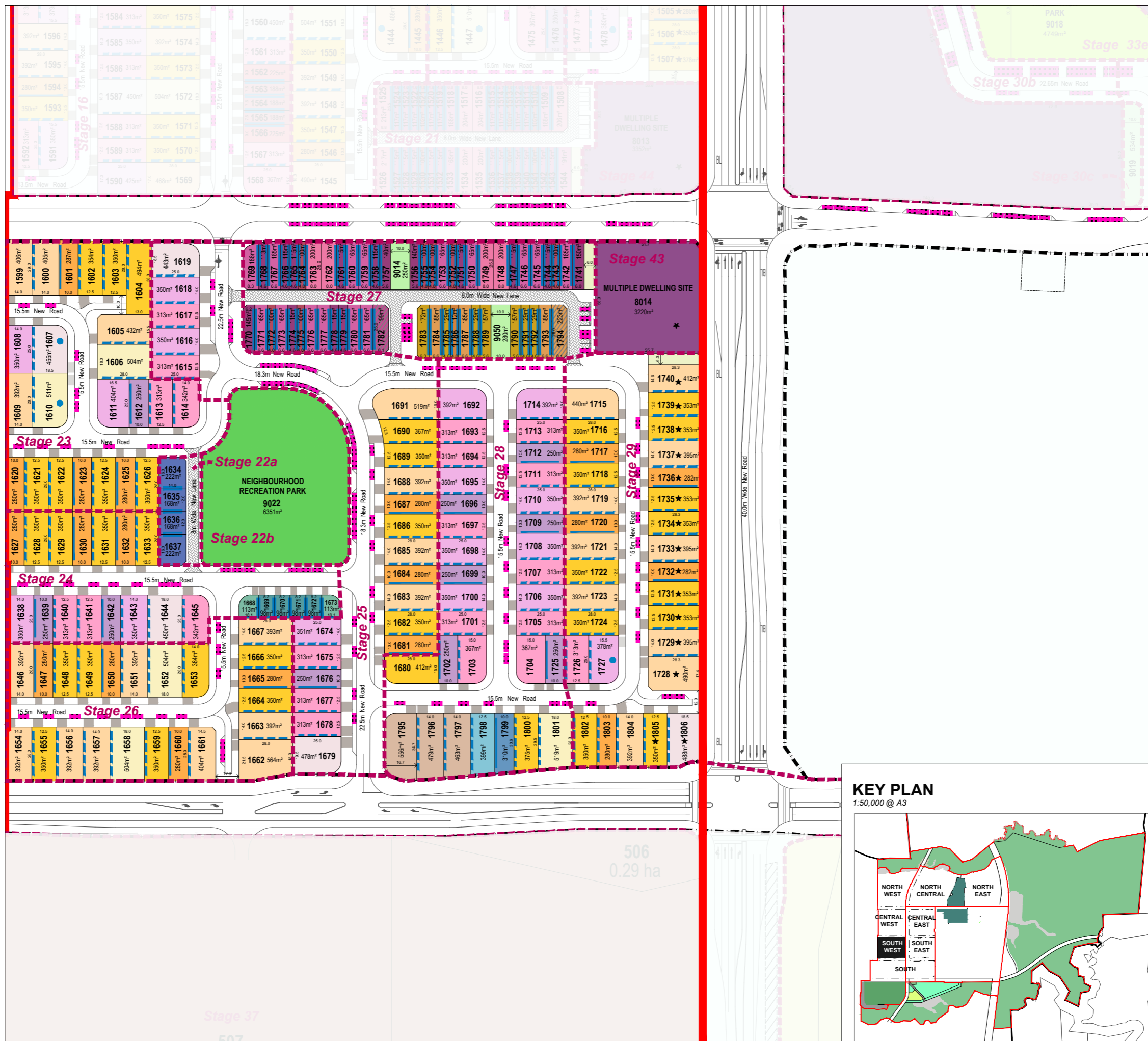
1:50,000 @ A3



**Note:**  
On lots marked on plan as potentially impacted by road traffic noise:

- Dwellings must be designed such that internal noise levels comply with AS/NZS2107:2000 'Acoustics - Recommended design sound levels and reverberation times for building interiors'; and
- Dwellings must be designed as recommended in the 'Traffic Noise Impact Assessment' document by ASK Consulting Engineers dated 26 May 2016).





### LEGEND

**GENERAL**

- Precinct Boundary
- Neighbourhood Boundary
- Indicative Staging Boundary
- Multiple Residential (Duplex) Lots
- Secondary Dwelling Above Garage
- Lots Potentially Impacted By Road Traffic Noise

**LAND USE**

- Multiple Unit Dwelling Sites

**OPEN SPACE**

- Neighbourhood Park
- Local Linear Park
- Pedestrian Link

**RESIDENTIAL**

**32 Deep Lots**

- 14.0m - Courtyard

**30 Deep Lots**

- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

**28 Deep Lots**

- 4m - Terrace
- 4.6m - Terrace
- 6.6m - Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

**25 Deep Lots**

- 4m - Terrace
- 4.6m - Terrace
- 6.6m - Terrace
- 6.6m+ - End Terrace
- 7.5m - Terrace
- 8.5m+ - End Terrace
- 10.0m - Villa
- 12.5m - Premium Villa
- 14.0m - Courtyard
- 18.0m - Premium Traditional

**Urban Lots**

- Urban Loft Type B
- Urban Loft Type C
- Warehouse

**DEVELOPMENT CONTROLS**

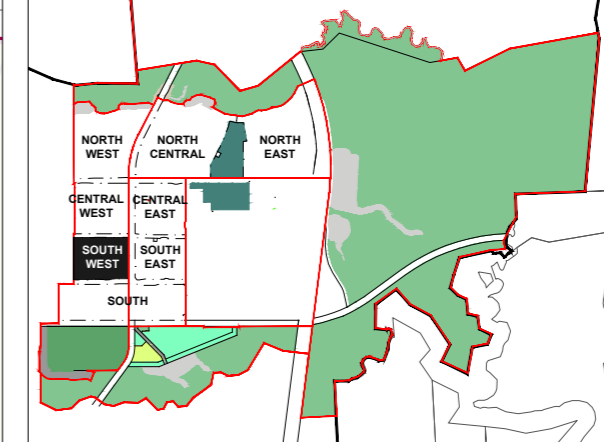
- Mandatory Built to Boundary Wall
- Optional Built to Boundary Wall
- Indicative Location of Driveways
- Indicative Car Park Location (Parking Bay Dimensions = 5.4m x 2.1m)

**PARKING**

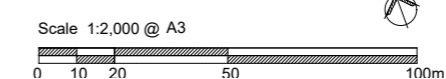
Total Visitor Parking Spaces	129
Total Lots	208

### KEY PLAN

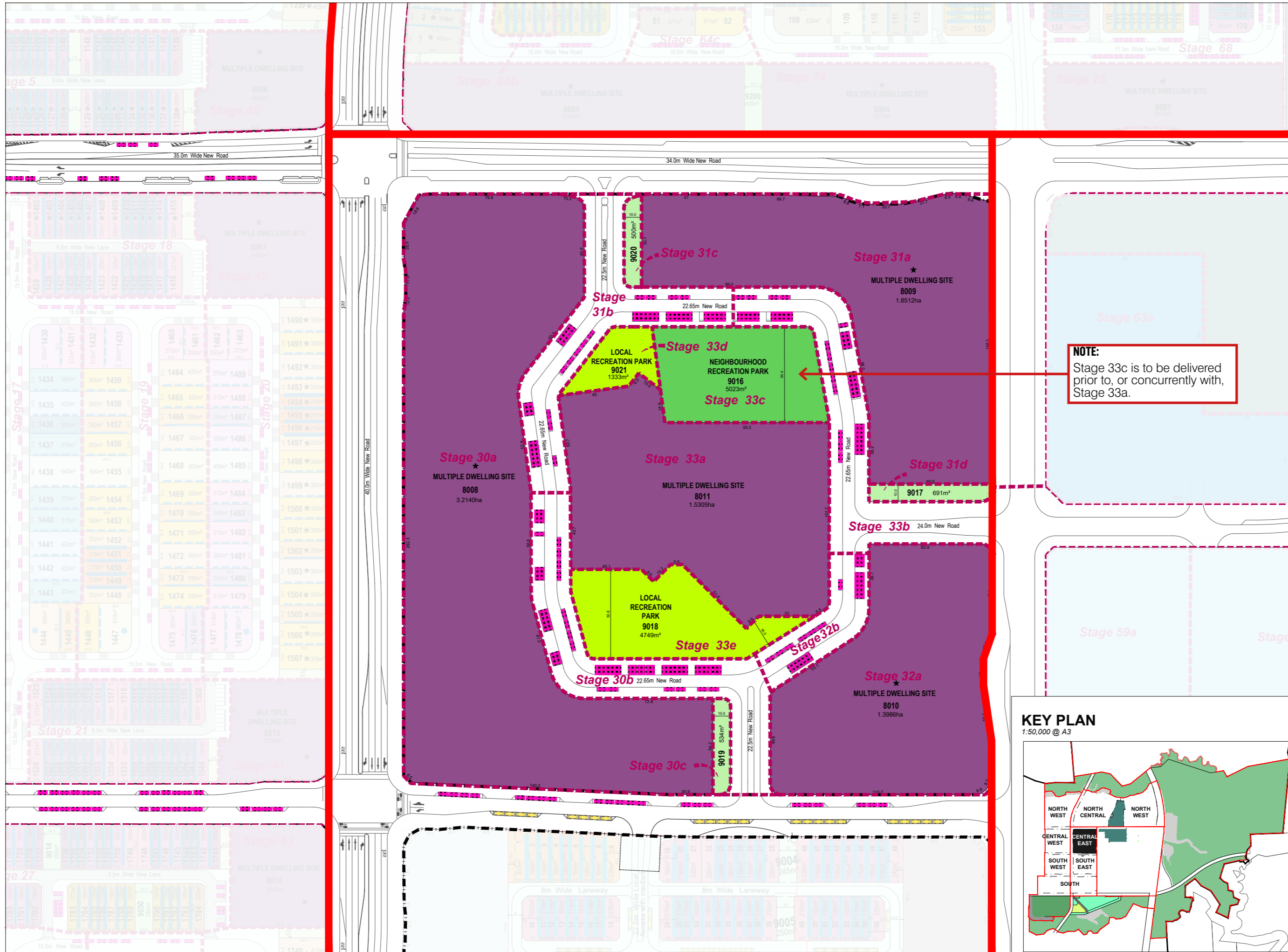
1:50,000 @ A3



**Note:**  
On lots marked on plan as potentially impacted by road traffic noise:  
• Dwellings must be designed such that internal noise levels comply with AS/NZS2107-2000 'Acoustics - Recommended design sound levels and reverberation times for building interiors'; and  
• Dwellings must be designed as recommended in the 'Traffic Noise Impact Assessment' document by ASK Consulting Engineers dated 26 May 2016).



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This plan is conceptual and is for discussion purposes only. Subject to further detail study, Council approval, engineering input, and survey. Cadastral boundaries, areas and dimensions are approximate only. Figured dimensions shall take preference to scaled dimensions. No relevance should be placed on this plan for any financial dealings of the



**LEGEND**

**GENERAL**

- Precinct Boundary
- Neighbourhood Boundary
- - - Indicative Staging Boundary
- ★ Lots Potentially Impacted By Road Traffic Noise

**LAND USE**

- Multiple Unit Dwelling Sites

**OPEN SPACE**

- Neighbourhood Recreation Park
- Local Recreation Park
- Linear Open Space

**DEVELOPMENT CONTROLS**

- Indicative Car Park Location (Parking Bay Dimensions = 5.4m x 2.1m)

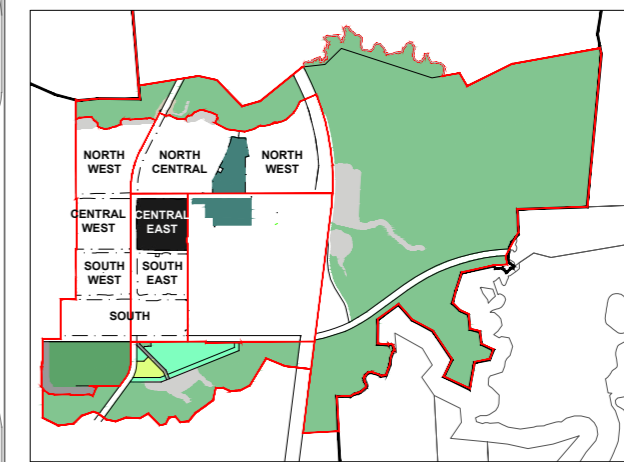
**PARKING**

Total Visitor Parking Spaces	158
Total Lots	4

**NOTE:**  
Stage 33c is to be delivered prior to, or concurrently with, Stage 33a.

**KEY PLAN**

1:50,000 @ A3



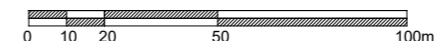
**Note:**  
On lots marked on plan as potentially impacted by road traffic noise:  
• Dwellings must be designed such that internal noise levels comply with AS/NZS2107-2000 'Acoustics - Recommended design sound levels and reverberation times for building interiors'; and  
• Dwellings must be designed as recommended in the 'Traffic Noise Impact Assessment' document by ASK Consulting Engineers dated 26 May 2016).



**AURA P7-10**

Plan of Development - CENTRAL-EAST NEIGHBOURHOOD

Scale 1:2,000 @ A3



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**PROJECT NO:** BA4672  
**DATE:** 01.05.2025  
**DRAWING NO:** POD06  
**REV:** 16

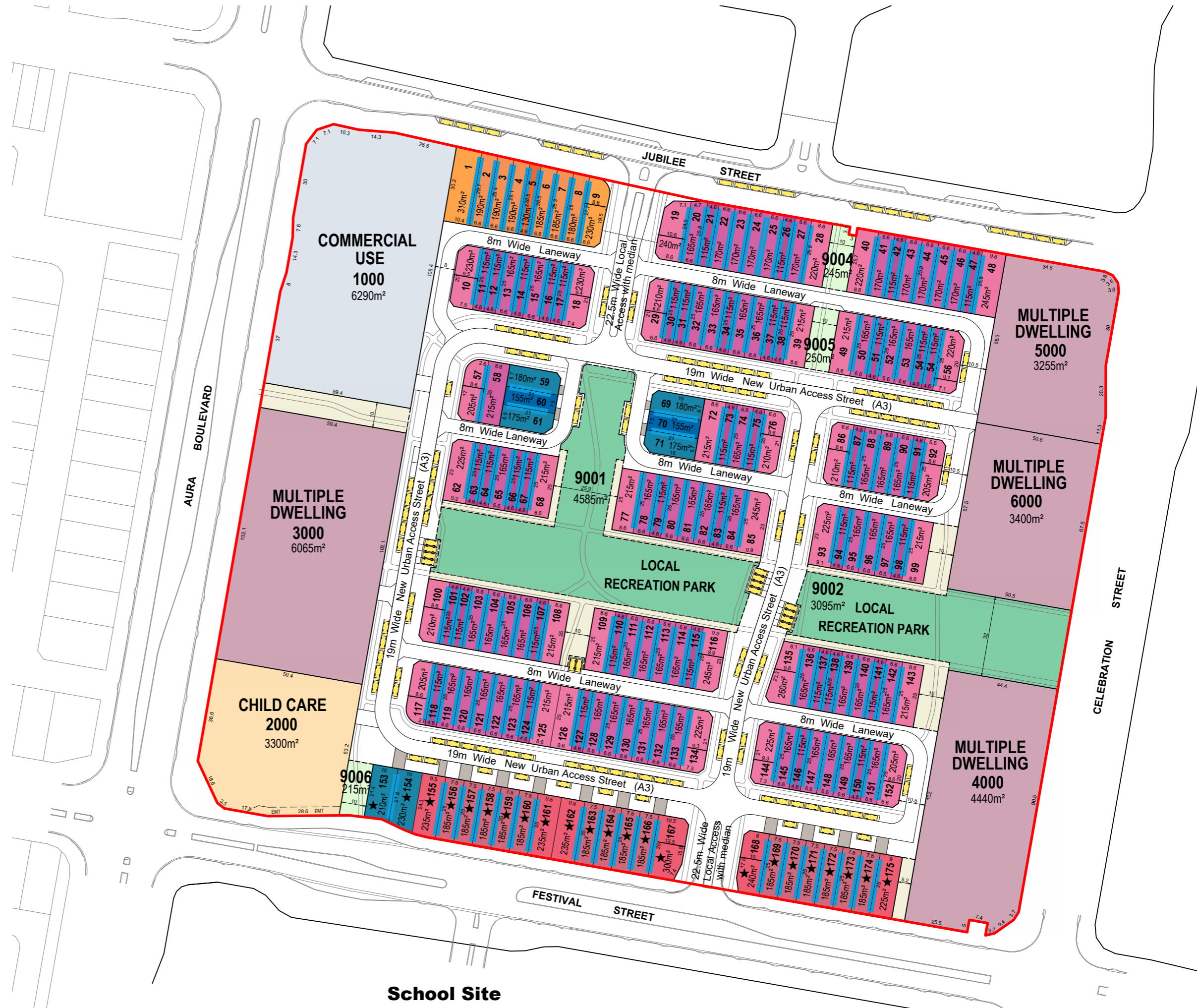
**Note:**  
 All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.  
 Dimensions have been rounded to the nearest 0.1 metres.  
 Areas have been rounded down to the nearest 5m<sup>2</sup>.  
 The boundaries shown on this plan should not be used for final detailed engineers design.

**Source Information:**  
 Site boundaries: RPS (local coordinates)  
 Adjoining information: Stantec

- Legend**
- Application Boundary
  - Proposed Easement
- Land Uses**
- Neighbourhood Centre
  - Child Centre
  - Multiple Dwelling
  - Local Recreation Park
  - Local Linear Park
  - Embellishment (Road Reserve)
- 21m Deep**
- Front Loaded Terrace - 7.5m Wide
  - Front Loaded Terrace - 7.5m+ Wide (Ends)
- 25m Deep**
- Rear Loaded Laneway Terrace - 4.6m Wide
  - Rear Loaded Laneway Terrace - 6.6m Wide
  - Front Loaded Terrace - 7.5m Wide
  - Front Loaded Terrace - 7.5m+ Wide (Ends)
- 28m Deep**
- Rear Loaded Laneway Terrace - 4.6m Wide
  - Rear Loaded Laneway Terrace - 6.6m Wide
  - Rear Loaded Laneway Terrace - 6.6m+ Wide (Ends)
- Development Controls**
- Mandatory Built to Boundary Wall
  - Preferred Driveway Location
  - Lots Potentially Impacted By Road Traffic Noise
  - On-Street Carparking
- Note all Terraces Dwellings a min. 2 storeys

**Parking Breakdown**

Total On-Street Visitor Parking Spaces Provided	154
Total Residential Terrace Lots	175
Total On-Street Visitor Parking Spaces Required (based on 0.75 per dwelling)	132
Parking Ratio Achieved	0.89



**School Site**

**AURA  
 PLAN OF DEVELOPMENT  
 PRECINCT 9 SOUTH**

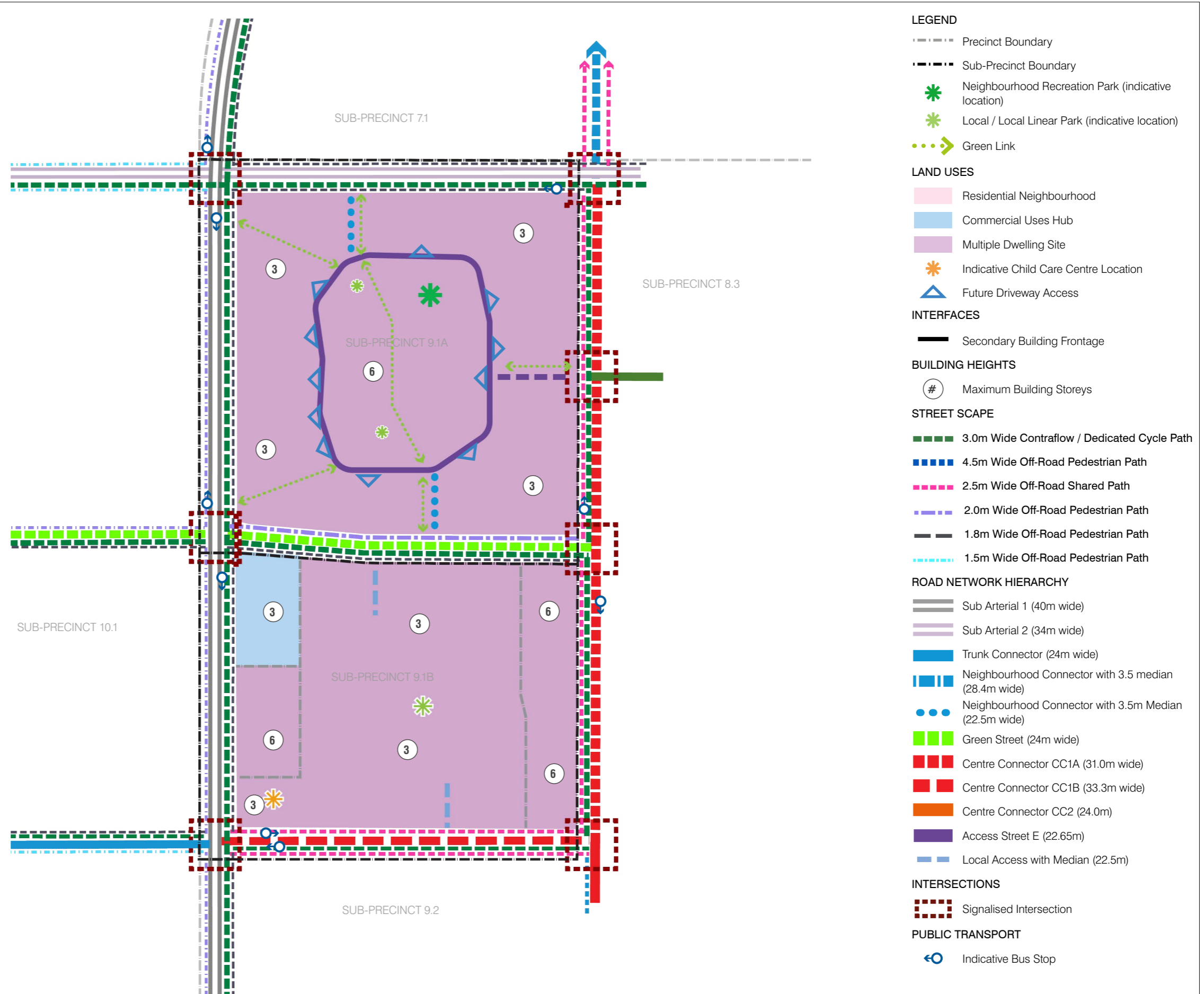


FIGURE 1: SUB-PRECINCT 9.1 - PLAN OF DEVELOPMENT

**LEGEND**

— Application Boundary

— Subject Lot (1000)

**LAND USES**

State Primary School

Residential Allotments

Local Recreation Park

Child Care Centre

Multiple Dwelling

Local Linear Park

Embellishment (Road Reserve)

**BUILDING HEIGHTS**

⊛ Maximum Number of Storeys

**INTERNAL LAND USE OUTCOMES & INTERFACES**

▭ Indicative Built Form Footprint

▭ Indicative Carparking and Servicing Areas

△ Primary Access Location

▨ Desired Building Frontage / Setback with Building Articulation and Planting

⊛ Key Corner Site

■ Potential Internal Open space/ Plaza

● Potential Pedestrian Access

**STREETScape**

— 2.0m Wide Off-Road Pedestrian Path

— 1.5m Wide Off-Road Pedestrian Path

**STREET NETWORK HIERARCHY**

— Urban Access Street 3 (19m wide)

— Laneway (8m wide)

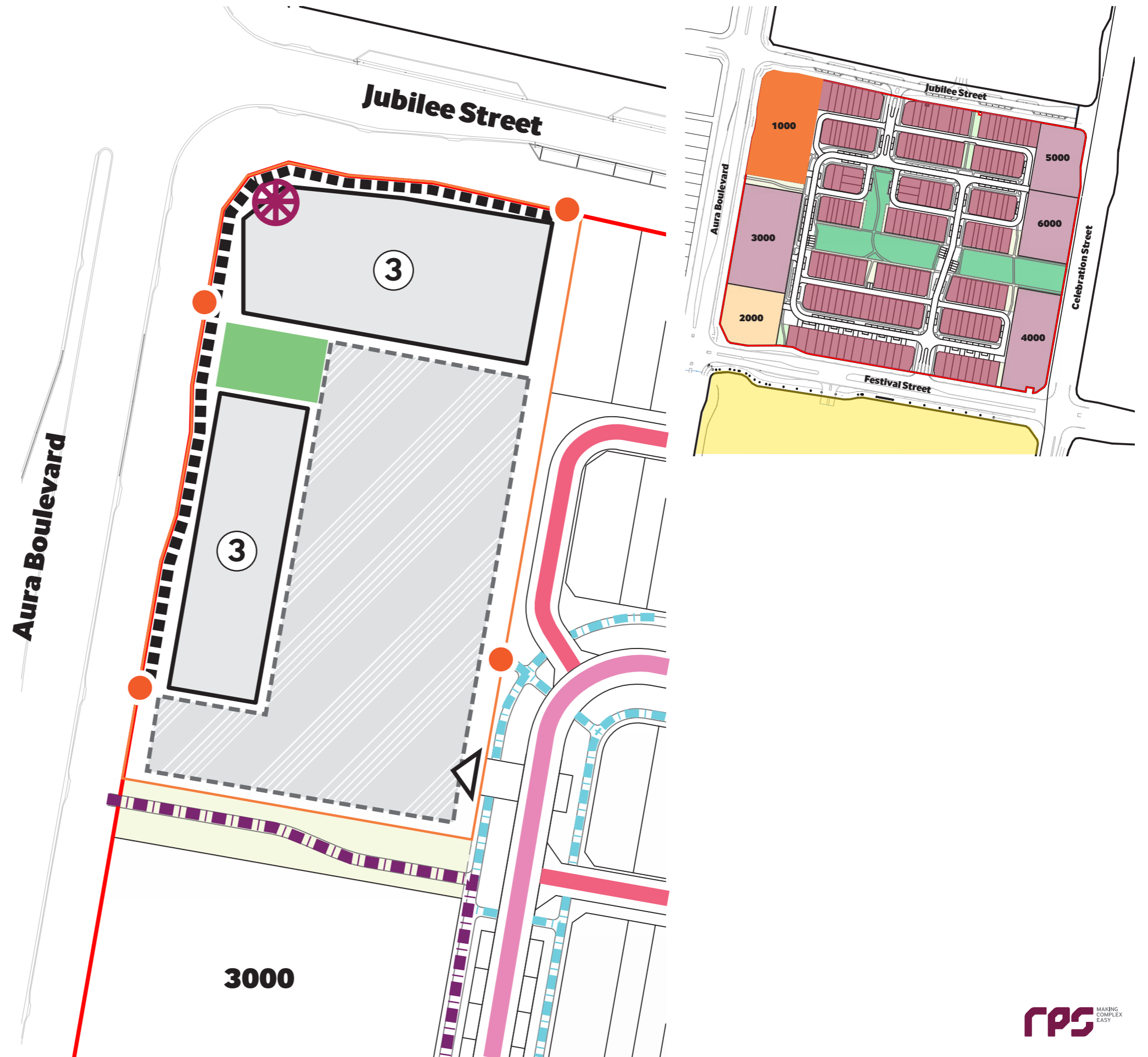


FIGURE 2: SUB-PRECINCT 9.1B - PLAN OF DEVELOPMENT

**LEGEND**

— Application Boundary

— Subject Lot (2000)

**LAND USES**

State Primary School

Emerging Community

Local Recreation Park

Child Care Centre

Multiple Dwelling

Local Linear Park

Embellishment (Road Reserve)

**BUILDING HEIGHTS**

⊕ Maximum Number of Storeys

**INTERNAL LAND USE OUTCOMES & INTERFACES**

▭ Indicative Built Form Footprint

▭ Indicative Carparking and Servicing Areas

△ Primary Access Location

▨ Desired Building Frontage / Setback with Building Articulation and Planting

⊗ Key Corner Site

■ Potential Playspace Location

● Potential Pedestrian Access

**STREETSCAPE**

— 2.0m Wide Off-Road Pedestrian Path

— 1.5m Wide Off-Road Pedestrian Path

**STREET NETWORK HIERARCHY**

— Urban Access Street 3 (19m wide)

— Laneway (8m wide)

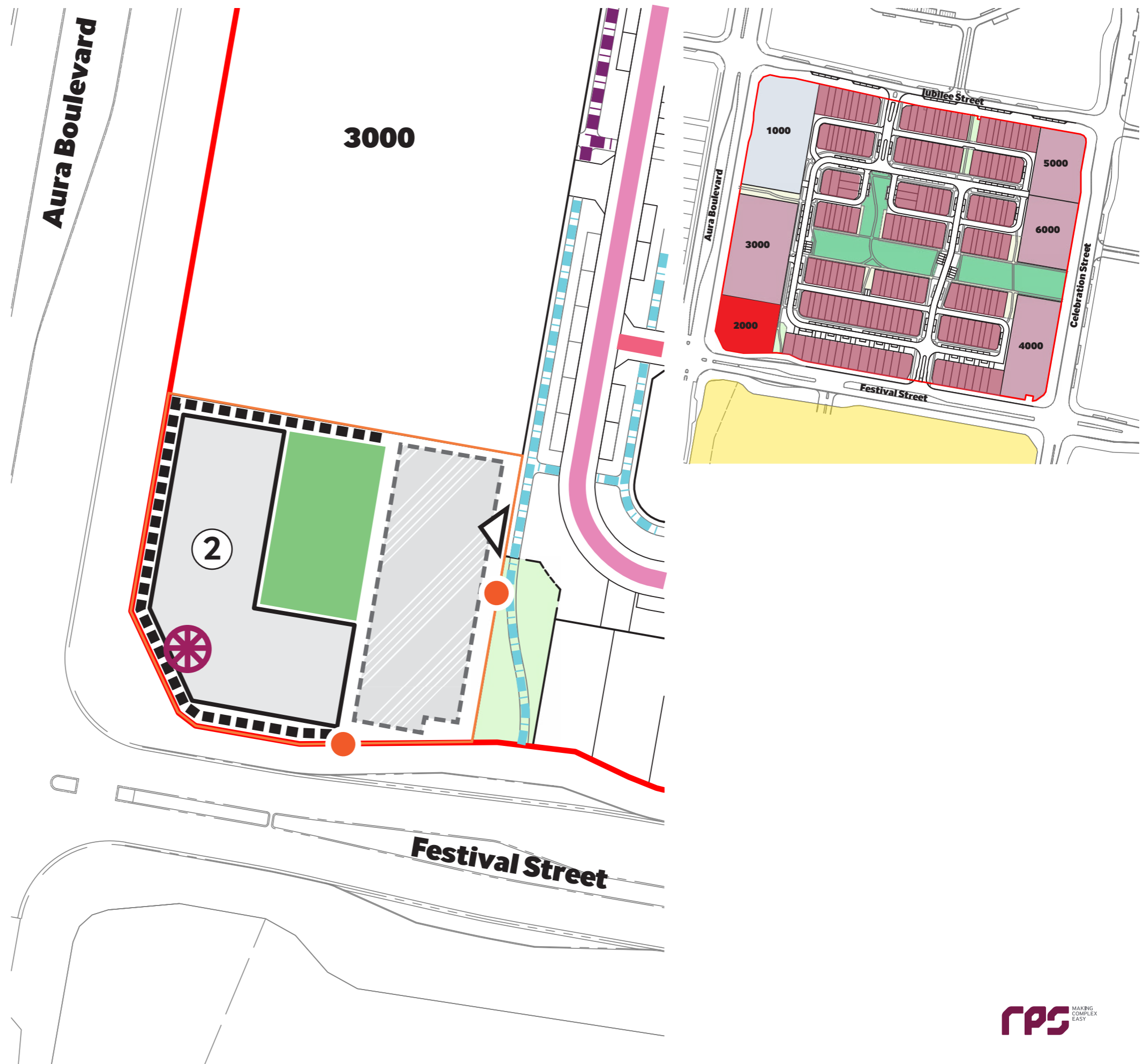


FIGURE 3: SUB-PRECINCT 9.1B NON-RESIDENTIAL USES PLAN - PLAN OF DEVELOPMENT

**LEGEND**

— Application Boundary

— Subject Lot (3000)

**LAND USES**

— State Primary School

— Emerging Community

— Local Recreation Park

— Child Care Centre

— Multiple Dwelling

— Local Linear Park

— Embellishment (Road Reserve)

**BUILDING HEIGHTS**

⊕ Maximum Number of Storeys

**INTERNAL LAND USE OUTCOMES & INTERFACES**

▭ Indicative Built Form Footprint

▭ Nominal Extent of Basement and/or Undercroft Carparking and Servicing Areas. (May extend below common open space)

△ Primary Access Location

▨ Desired Building Frontage / Setback with Building Articulation and Planting

⊗ Key Corner Site

▭ Nominal Location of Common Open Space

● Potential Pedestrian Access

**STREETScape**

— 2.0m Wide Off-Road Pedestrian Path

— 1.5m Wide Off-Road Pedestrian Path

**STREET NETWORK HIERARCHY**

— Urban Access Street 3 (19m wide)

— Laneway (8m wide)

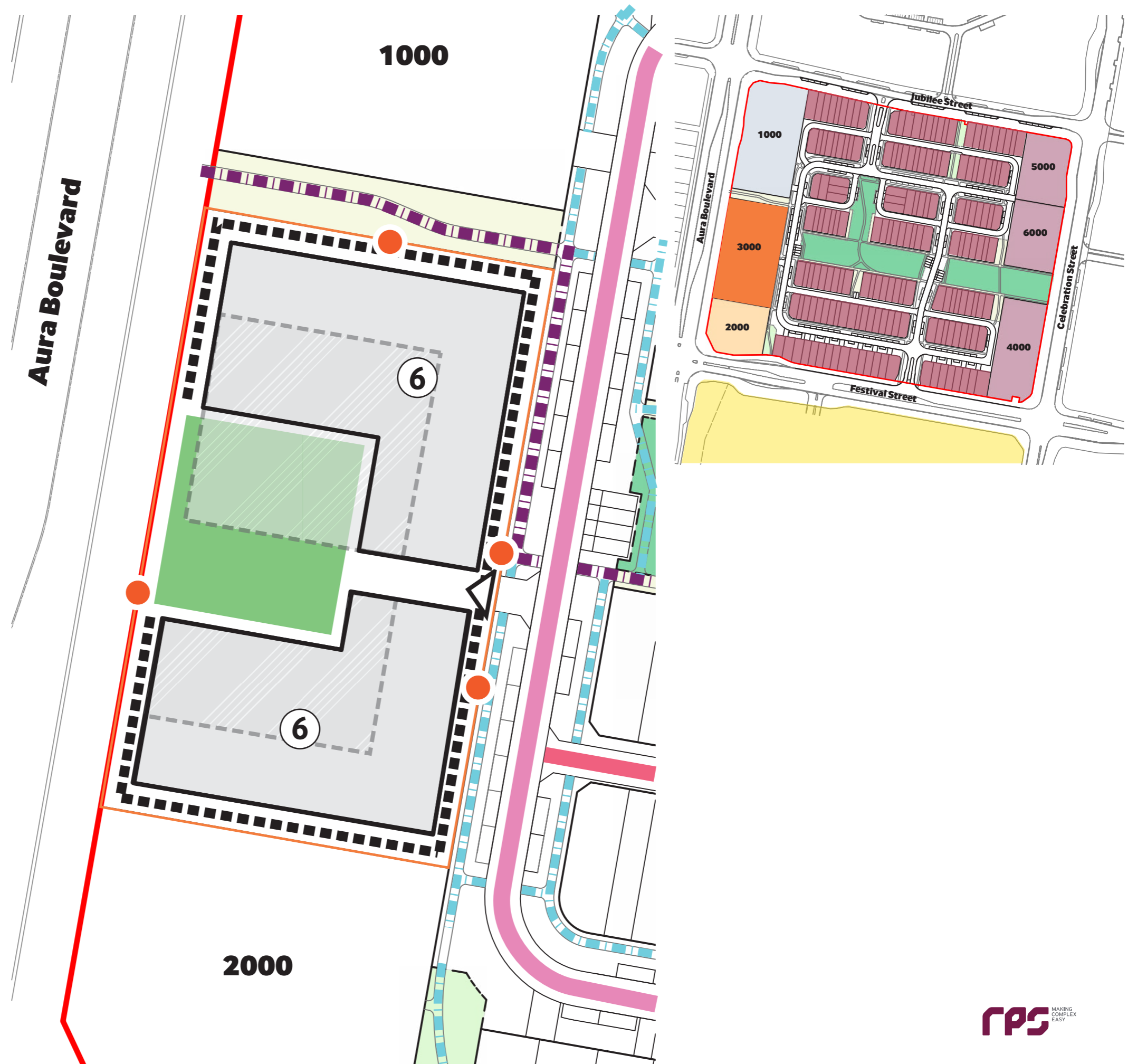


FIGURE 4: SUB-PRECINCT 9.1B - PLAN OF DEVELOPMENT

**LEGEND**

— Application Boundary

■ Subject Lot (4000)

**LAND USES**

■ State Primary School

■ Emerging Community

■ Local Recreation Park

■ Child Care Centre

■ Multiple Dwelling

■ Local Linear Park

■ Embellishment (Road Reserve)

**BUILDING HEIGHTS**

⊕ Maximum Number of Storeys

**INTERNAL LAND USE OUTCOMES & INTERFACES**

▭ Indicative Built Form Footprint

▭ Nominal Extent of Basement and/or Undercroft Carparking and Servicing Areas. (May extend below common open space)

△ Primary Access Location

▨ Desired Building Frontage / Setback with Building Articulation and Planting

⊗ Key Corner Site

■ Nominal Location of Common Open Space

● Potential Pedestrian Access

**STREETSCAPE**

— 2.0m Wide Off-Road Pedestrian Path

— 1.5m Wide Off-Road Pedestrian Path

**STREET NETWORK HIERARCHY**

— Urban Access Street 3 (19m wide)

— Laneway (8m wide)

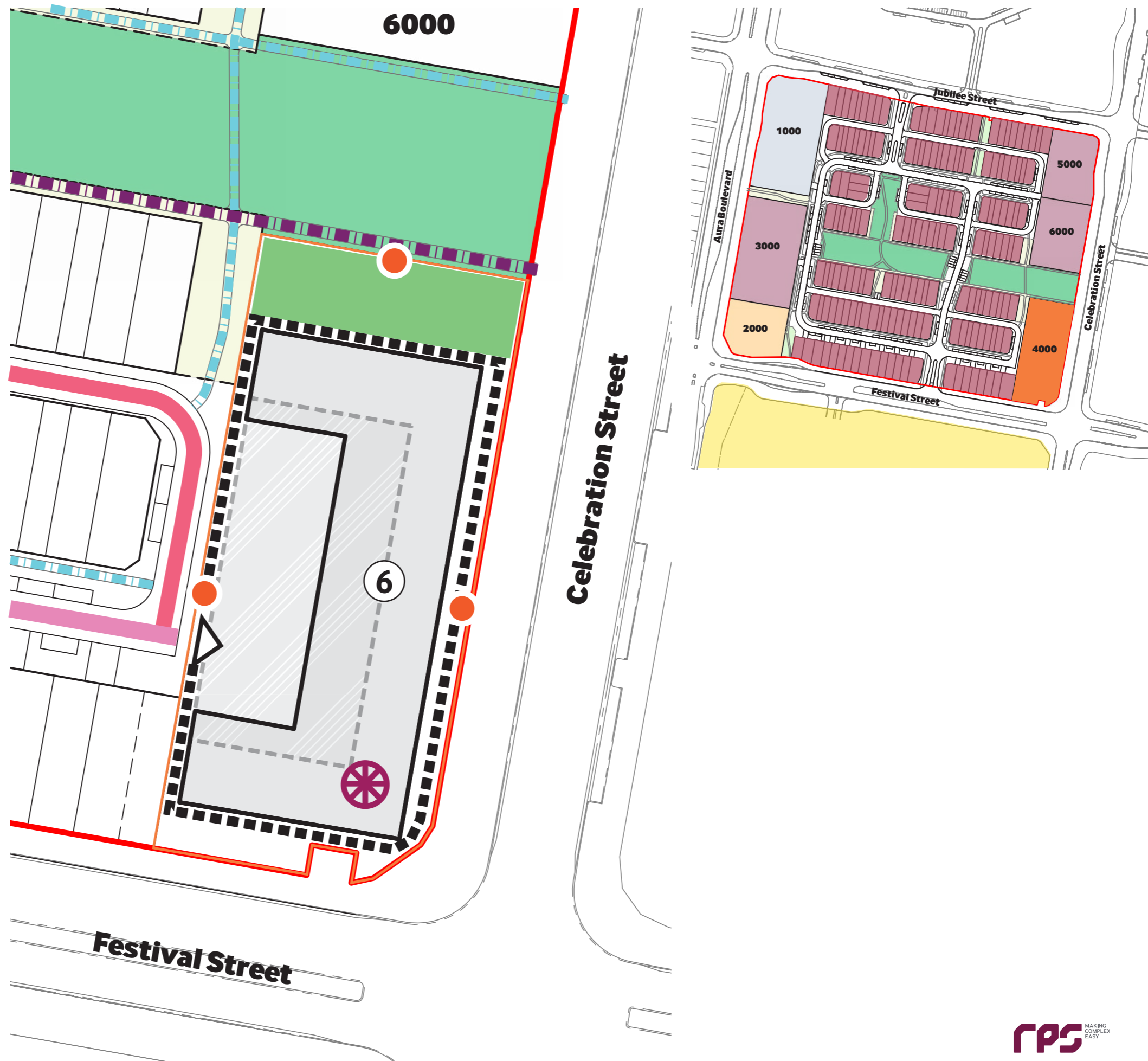


FIGURE 5: SUB-PRECINCT 9.1B - PLAN OF DEVELOPMENT

**LEGEND**

— Application Boundary

— Subject Lot (5000)

**LAND USES**

— State Primary School

— Emerging Community

— Local Recreation Park

— Child Care Centre

— Multiple Dwelling

— Local Linear Park

— Embellishment (Road Reserve)

**BUILDING HEIGHTS**

⊕ Maximum Number of Storeys

**INTERNAL LAND USE OUTCOMES & INTERFACES**

▭ Indicative Built Form Footprint

▨ Nominal Extent of Basement and/or Undercroft Carparking and Servicing Areas. (May extend below common open space)

△ Primary Access Location

▤ Desired Building Frontage / Setback with Building Articulation and Planting

⊗ Key Corner Site

■ Nominal Location of Common Open Space

● Potential Pedestrian Access

**STREETScape**

⋯ 1.5m Wide Off-Road Pedestrian Path

**STREET NETWORK HIERARCHY**

— Urban Access Street 3 (19m wide)

— Laneway (8m wide)

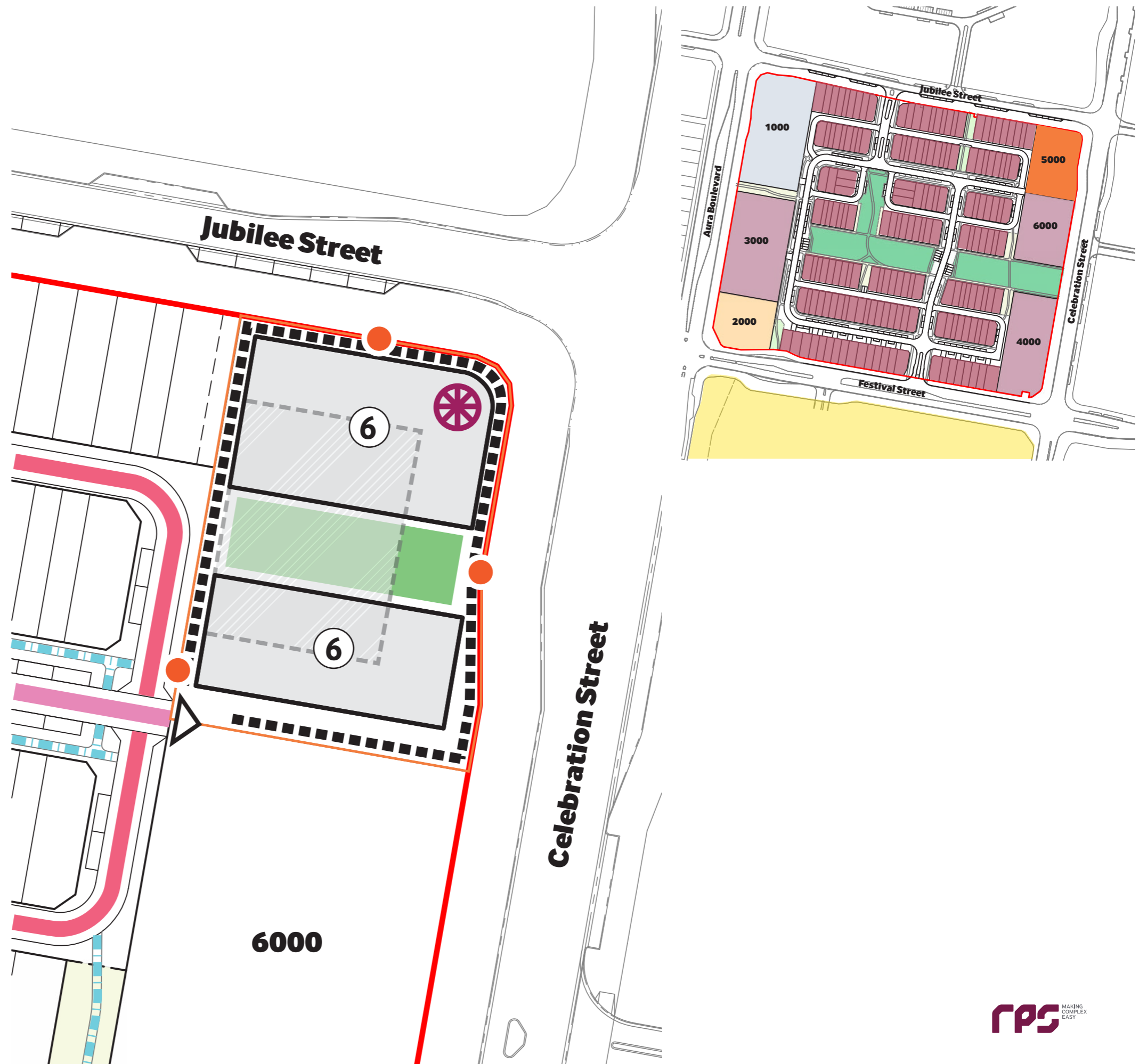


FIGURE 6: SUB-PRECINCT 9.1B - PLAN OF DEVELOPMENT

**LEGEND**

— Application Boundary

■ Subject Lot (6000)

**LAND USES**

■ State Primary School

■ Emerging Community

■ Local Recreation Park

■ Child Care Centre

■ Multiple Dwelling

■ Local Linear Park

■ Embellishment (Road Reserve)

**BUILDING HEIGHTS**

⊕ Maximum Number of Storeys

**INTERNAL LAND USE OUTCOMES & INTERFACES**

▭ Indicative Built Form Footprint

▭ Nominal Extent of Basement and/or Undercroft Carparking and Servicing Areas. (May extend below common open space)

△ Primary Access Location

▨ Desired Building Frontage / Setback with Building Articulation and Planting

■ Nominal Location of Common Open Space

● Potential Pedestrian Access

**STREETScape**

— 2.0m Wide Off-Road Pedestrian Path

— 1.5m Wide Off-Road Pedestrian Path

**STREET NETWORK HIERARCHY**

— Urban Access Street 3 (19m wide)

— Laneway (8.0m wide)

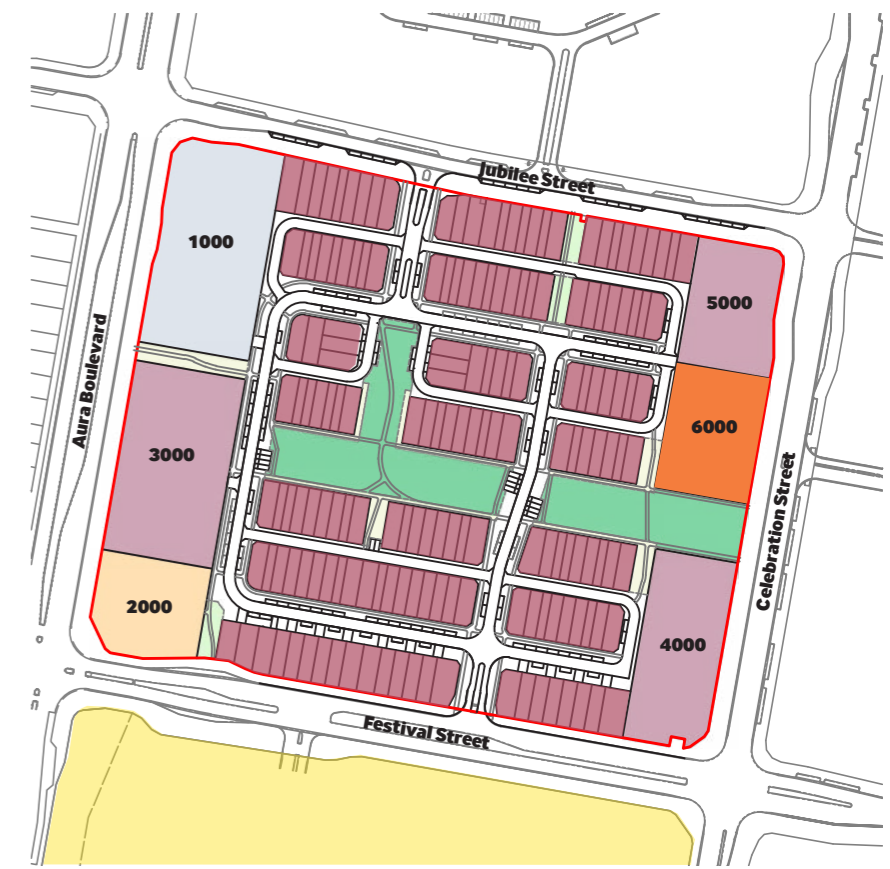
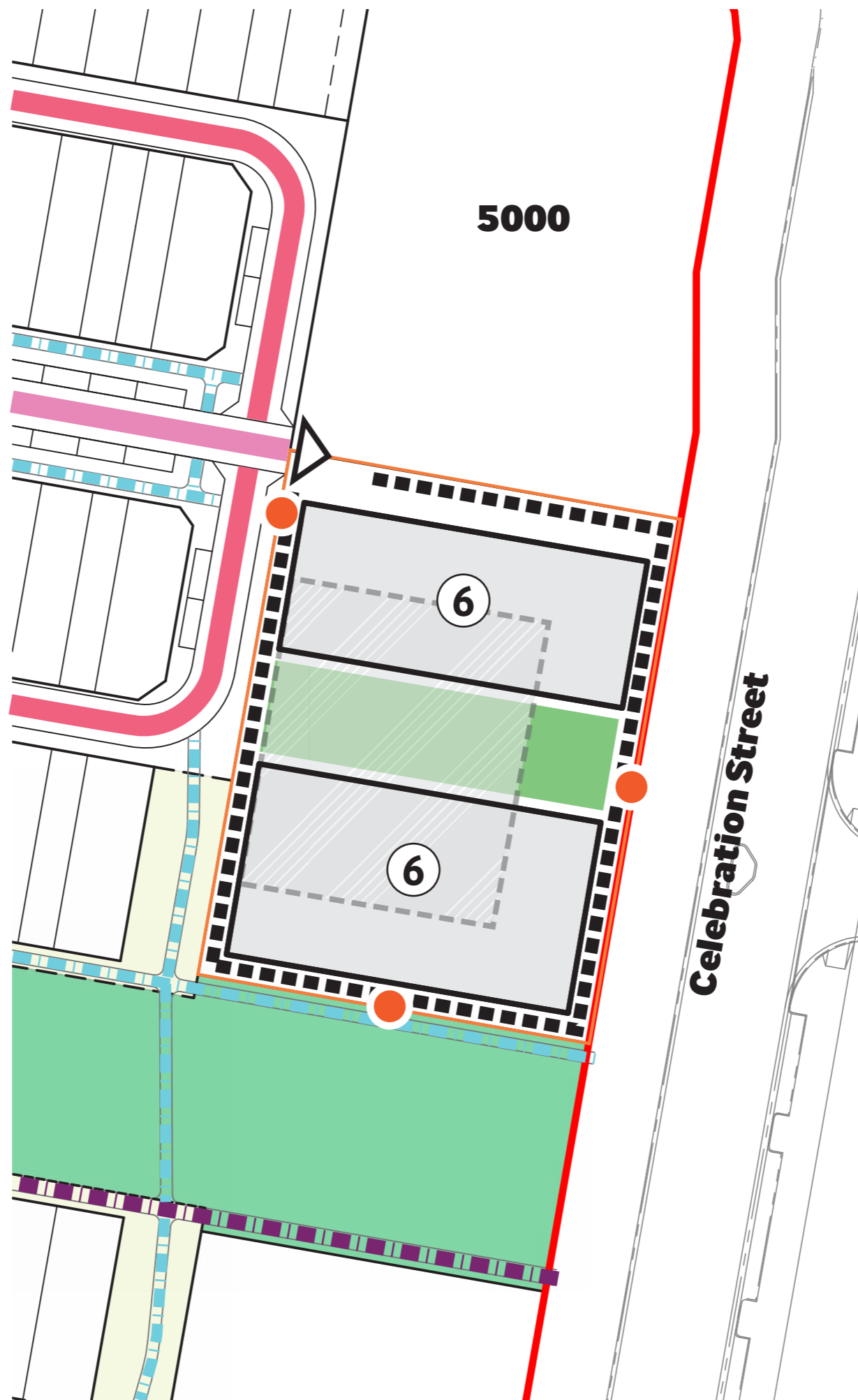


FIGURE 7: SUB-PRECINCT 9.1B - PLAN OF DEVELOPMENT

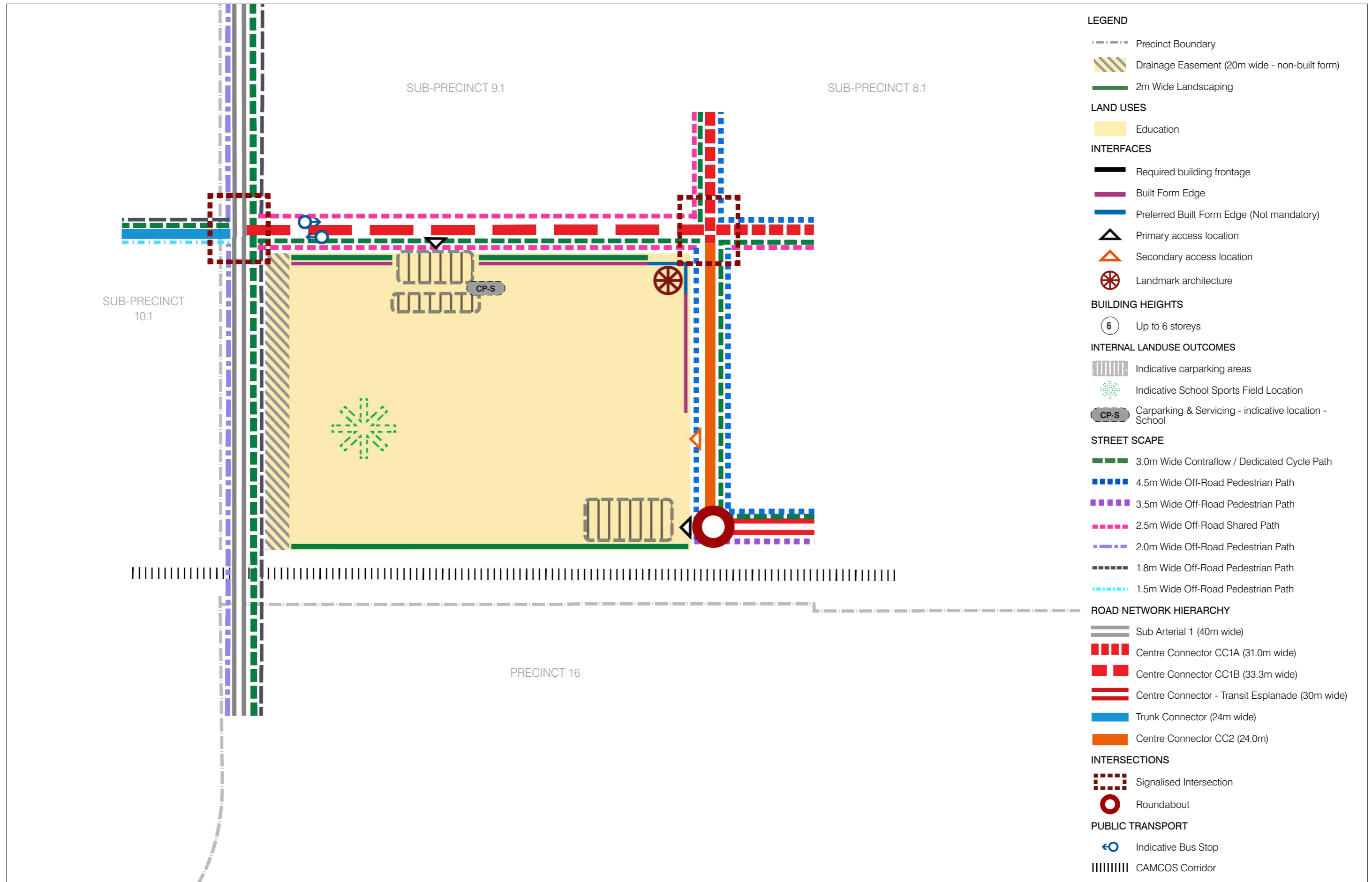
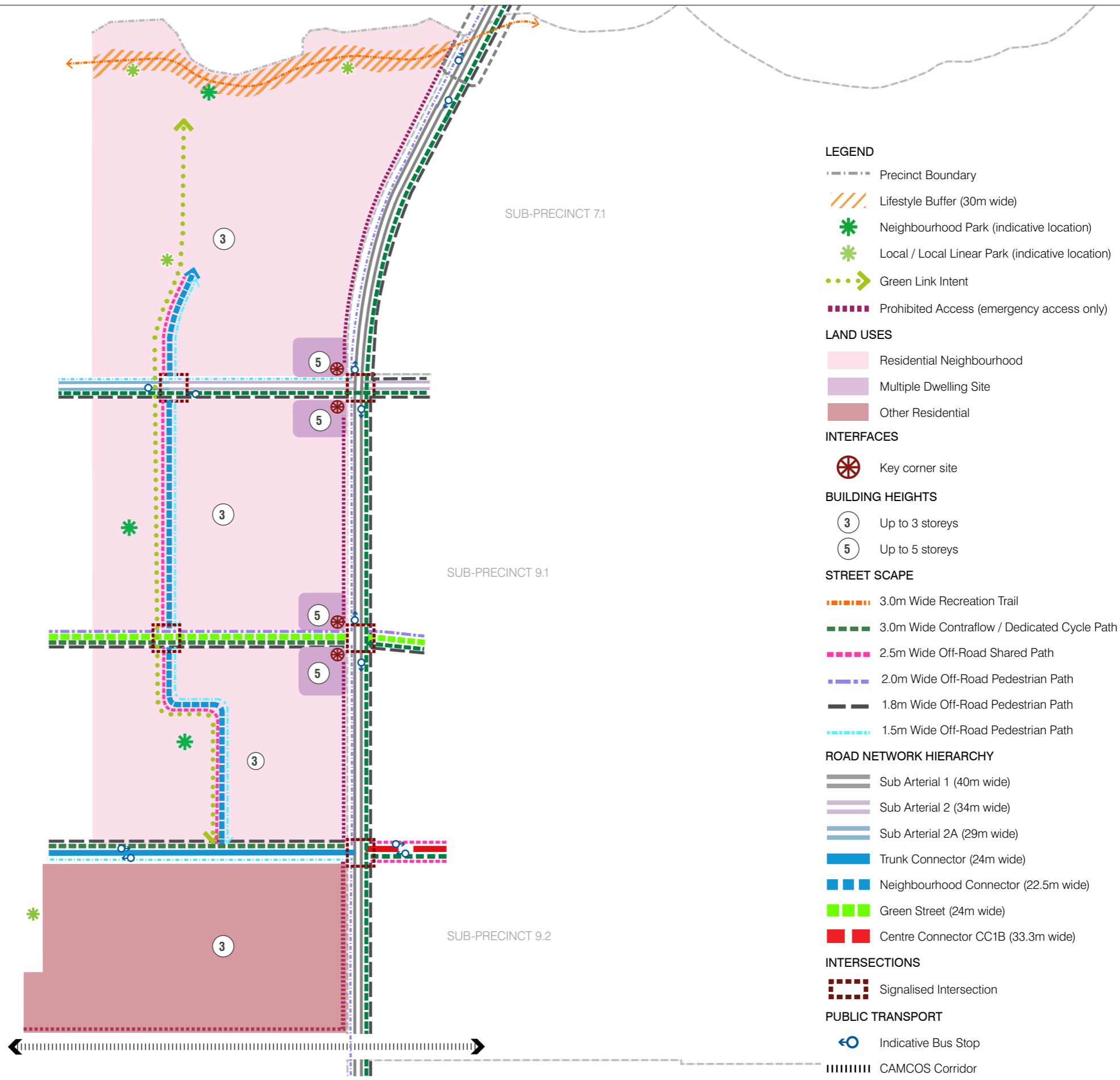


FIGURE 8: SUB-PRECINCT 9.2 PLAN OF DEVELOPMENT

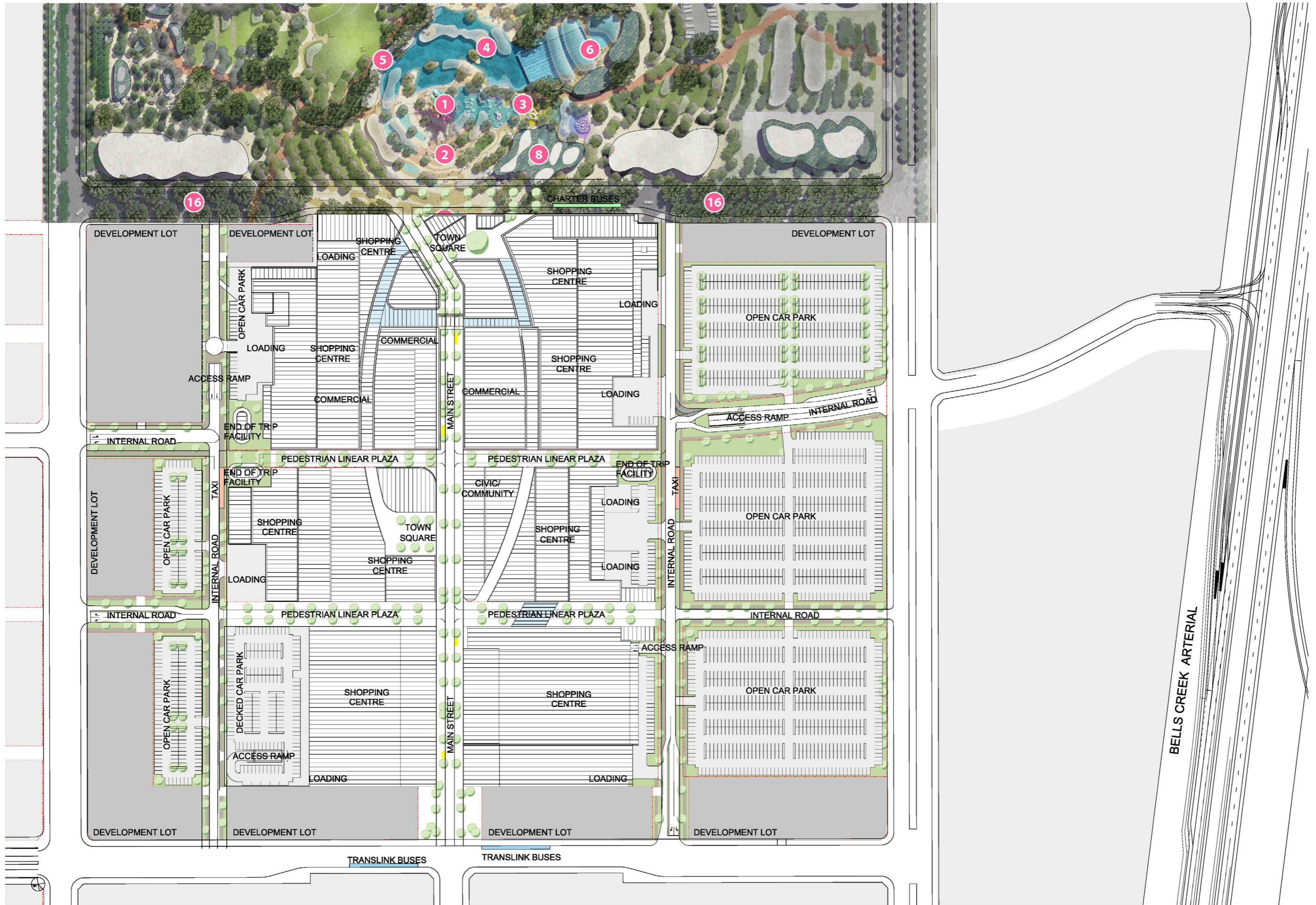


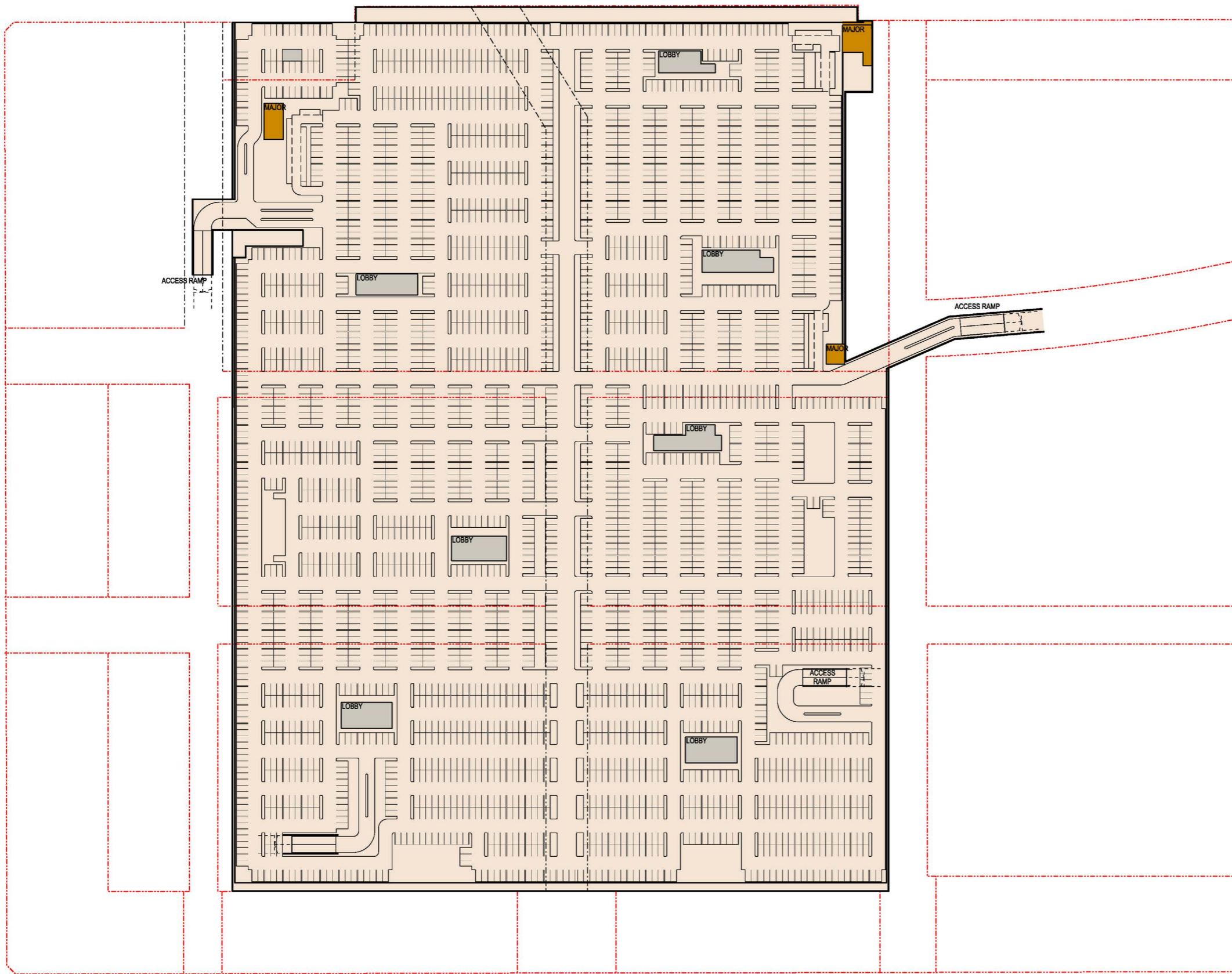
- LEGEND**
- Precinct Boundary
  - /// Lifestyle Buffer (30m wide)
  - \* Neighbourhood Park (indicative location)
  - \* Local / Local Linear Park (indicative location)
  - > Green Link Intent
  - Prohibited Access (emergency access only)
- LAND USES**
- Residential Neighbourhood
  - Multiple Dwelling Site
  - Other Residential
- INTERFACES**
- Key corner site
- BUILDING HEIGHTS**
- 3 Up to 3 storeys
  - 5 Up to 5 storeys
- STREET SCAPE**
- 3.0m Wide Recreation Trail
  - 3.0m Wide Contraflow / Dedicated Cycle Path
  - 2.5m Wide Off-Road Shared Path
  - 2.0m Wide Off-Road Pedestrian Path
  - 1.8m Wide Off-Road Pedestrian Path
  - 1.5m Wide Off-Road Pedestrian Path
- ROAD NETWORK HIERARCHY**
- Sub Arterial 1 (40m wide)
  - Sub Arterial 2 (34m wide)
  - Sub Arterial 2A (29m wide)
  - Trunk Connector (24m wide)
  - Neighbourhood Connector (22.5m wide)
  - Green Street (24m wide)
  - Centre Connector CC1B (33.3m wide)
- INTERSECTIONS**
- Signalised Intersection
- PUBLIC TRANSPORT**
- Indicative Bus Stop
  - CAMCOS Corridor

FIGURE 9: SUB-PRECINCT 10.1 PLAN OF DEVELOPMENT



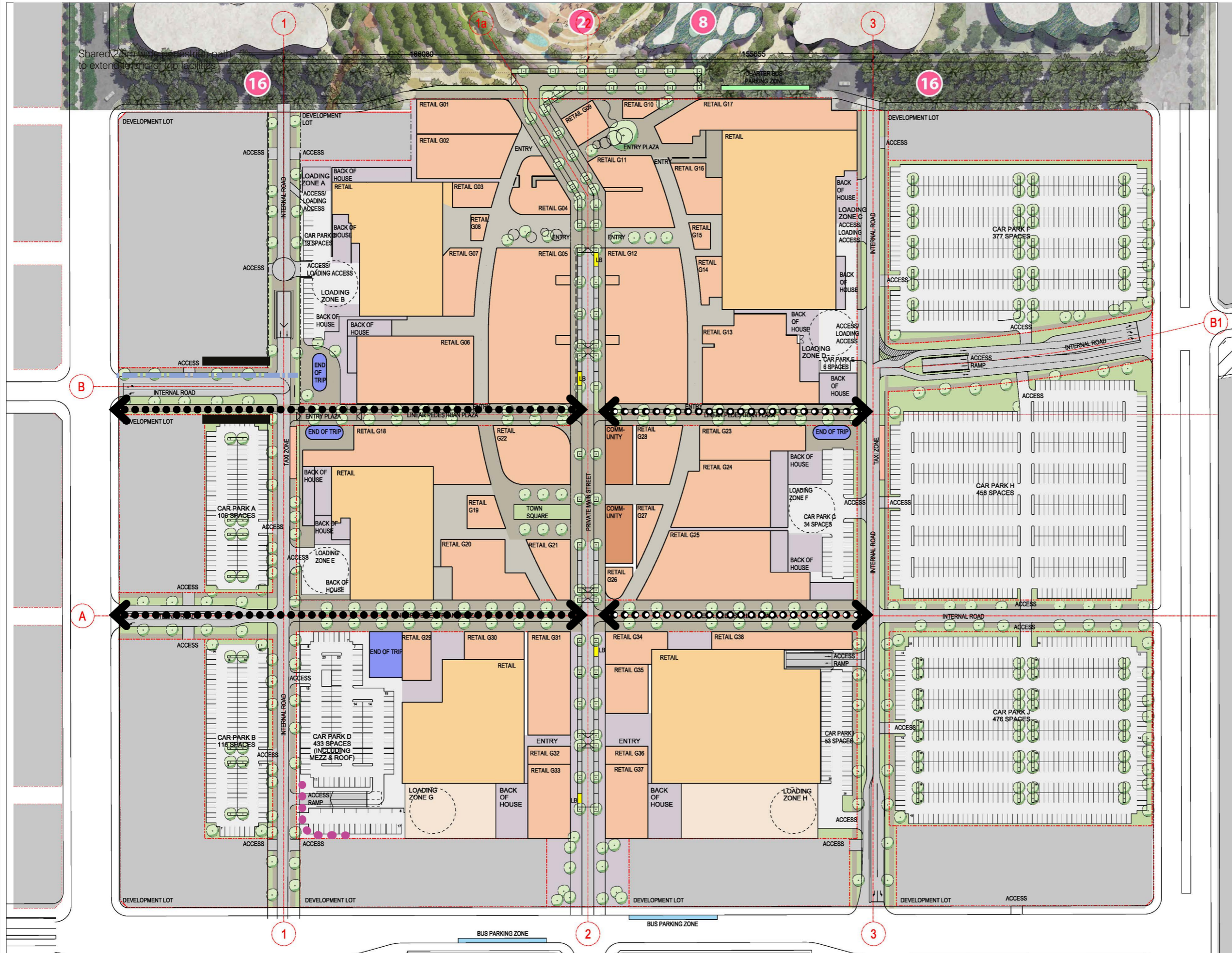
APPENDIX F  
APPROVED SHOPPING CENTRE  
ARCHITECTURAL PLANS





Parking - Basement	
TOTAL	2780

NOTE:  
 THIS TABLE SHOWS A MASTERPLAN  
 ALLOCATION OF CARS IGNORING  
 TEMPORARY CAR SPACES SUPPLIED PER  
 STAGE. FOR THIS INFORMATION REFER TO  
 STAGING PLANS



- LEGEND**
- End of Trip / Secure Bicycle Parking
  - Plaza / Main Street
  - Circulation / Covered Mall
  - Back of House
  - Loading Bays

  Turning circle (25m diameter)

- Pedestrian Link (western) to remain open to pedestrian access 7 days a week, 24 hours a day
- Pedestrian Link (eastern) open to pedestrian access 7 days a week from 6am to 10pm
- Multi-level car park to be sleeved by architectural screen treatment
- Shared 2.5m wide pedestrian path
- Active Frontage

**NOTES:**

Landscaping is indicative

Parking layouts are subject to refinements through detail design.

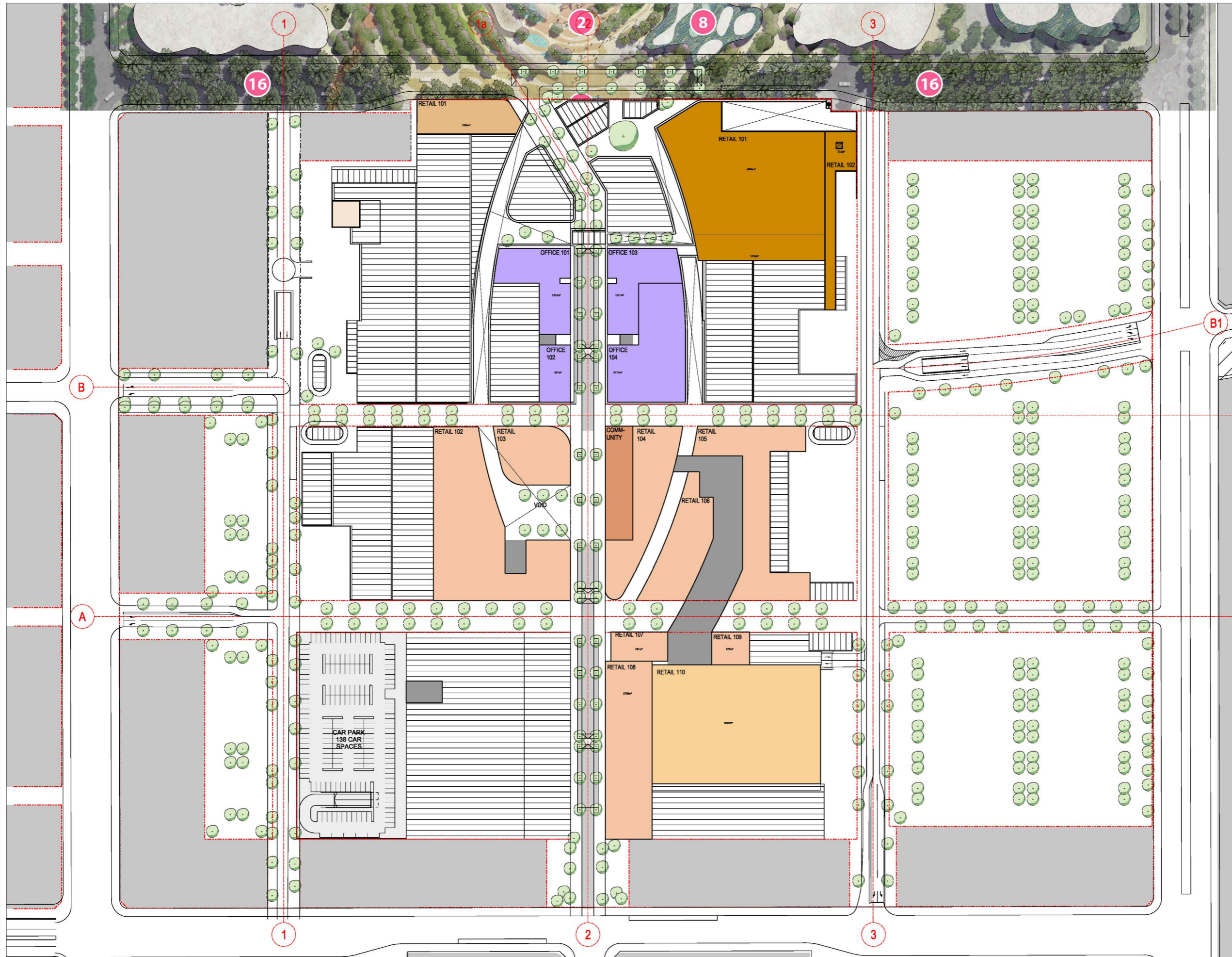
Bicycle parking will be provided throughout the town centre concentrated around principal nodes of activity.

Retail layout subject to refinements through detailed design

Parking - Ground	
TOTAL	1943
*Includes Mezzanine Parking in Stage 2	

**NOTE:**

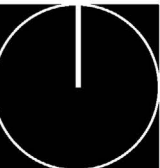
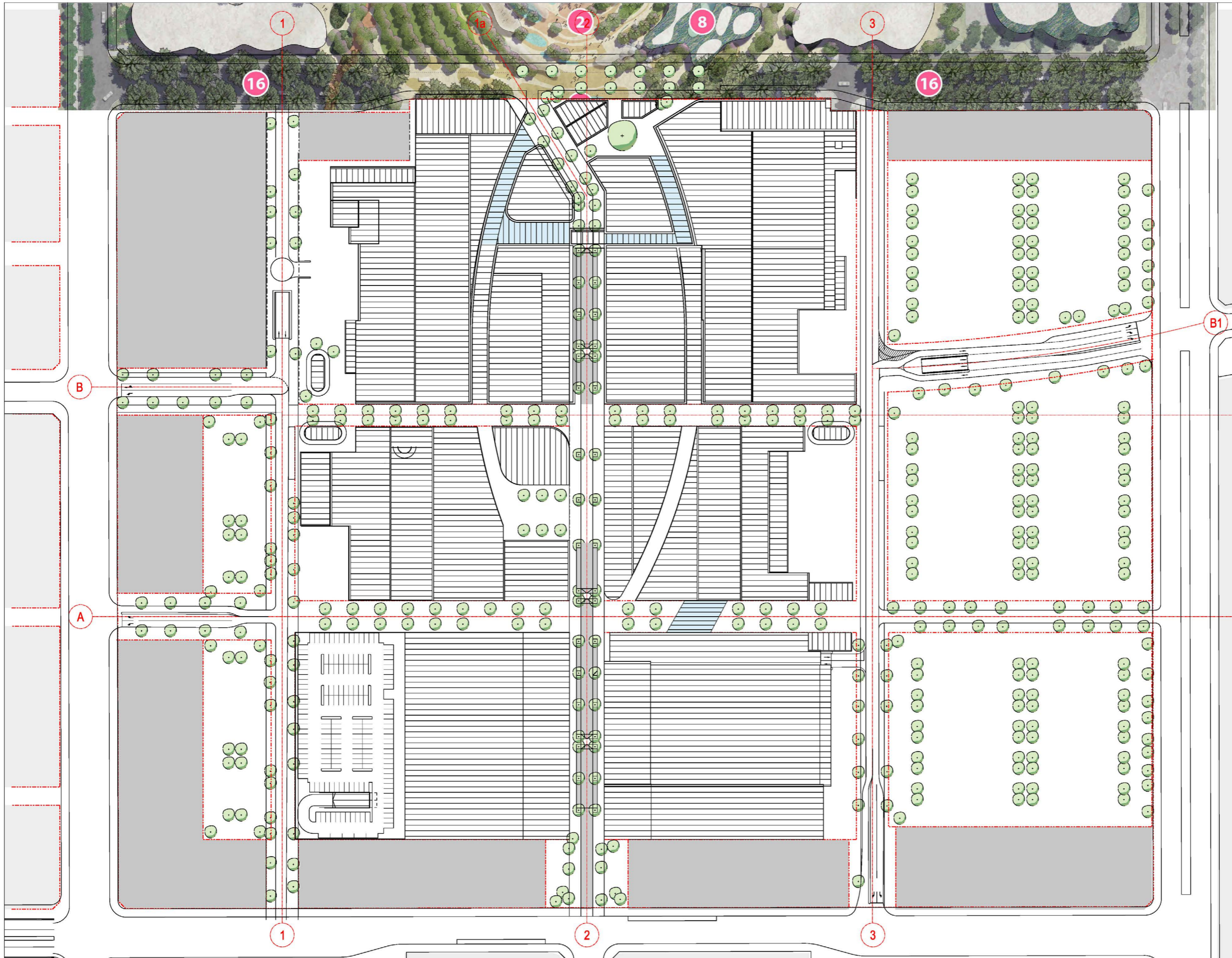
THIS TABLE SHOWS A MASTERPLAN ALLOCATION OF CARS IGNORING TEMPORARY CAR SPACES SUPPLIED PER STAGE. FOR THIS INFORMATION REFER TO STAGING PLANS

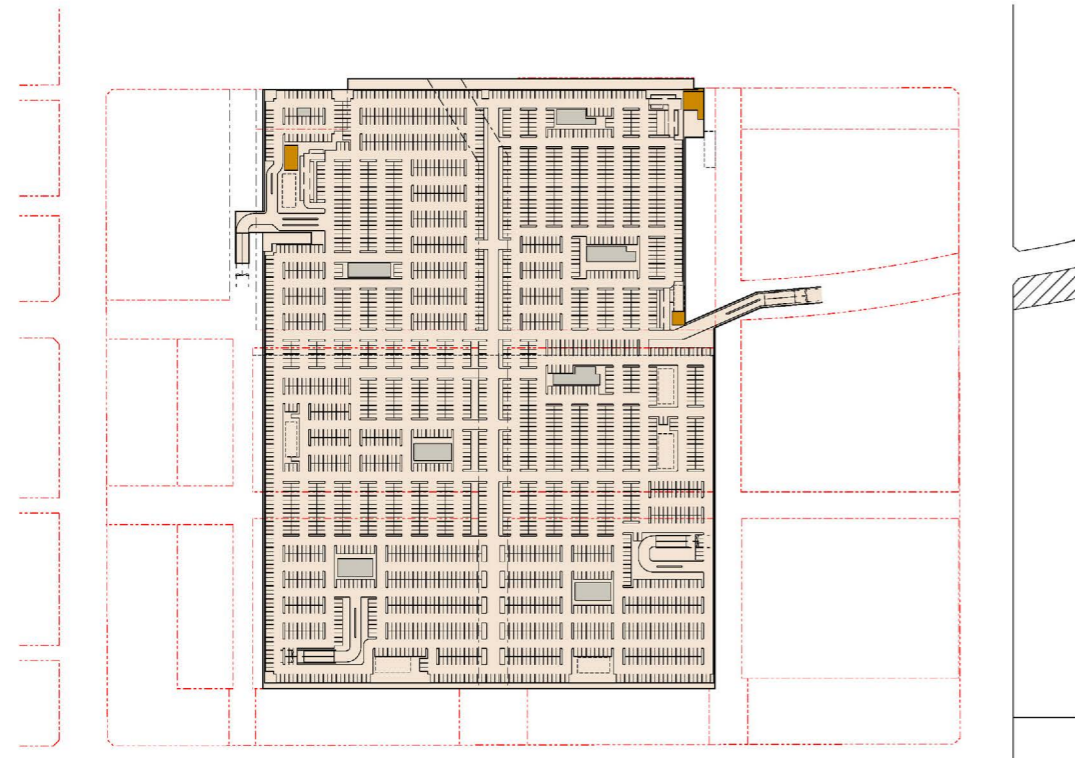


- LEGEND**
- End of Trip / Secure Bicycle Parking
  - Plaza / Main Street
  - Circulation / Covered Mall
  - Back of House
  - Loading Bays

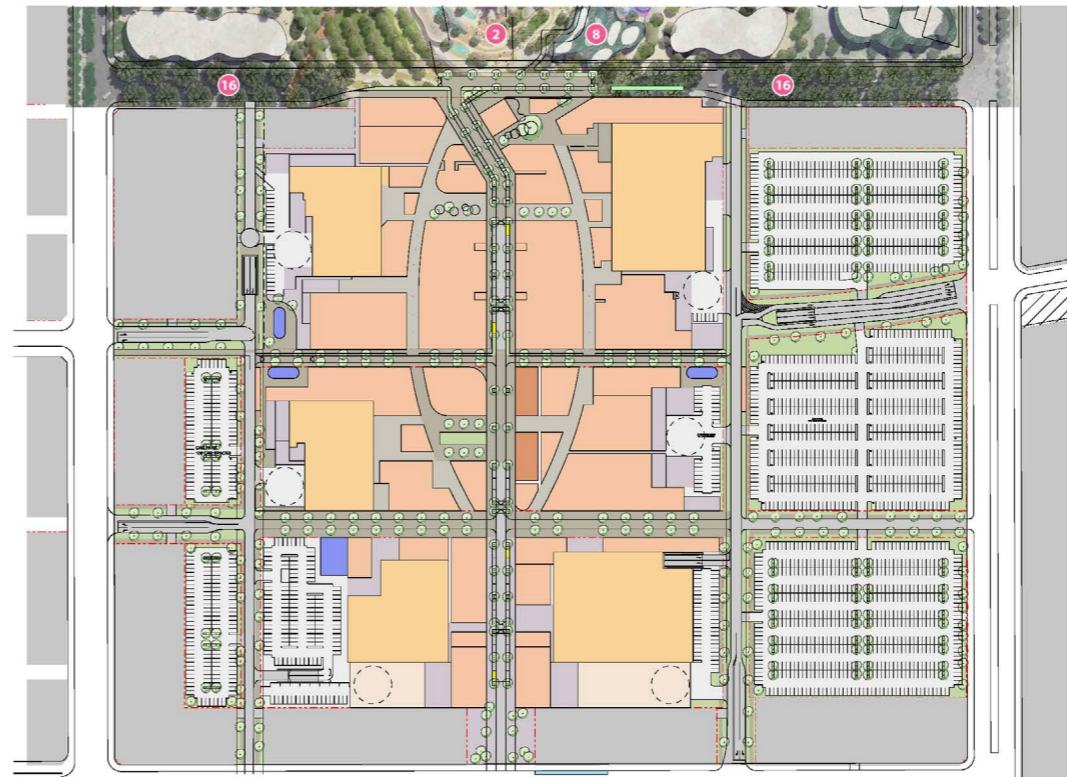
Turning circle (25m diameter)

- NOTES:**
- Landscaping is indicative
  - Parking layouts are subject to refinements through detail design.
  - Bicycle parking will be provided throughout the town centre concentrated around principal nodes of activity.
  - Retail layout subject to refinements through detailed design





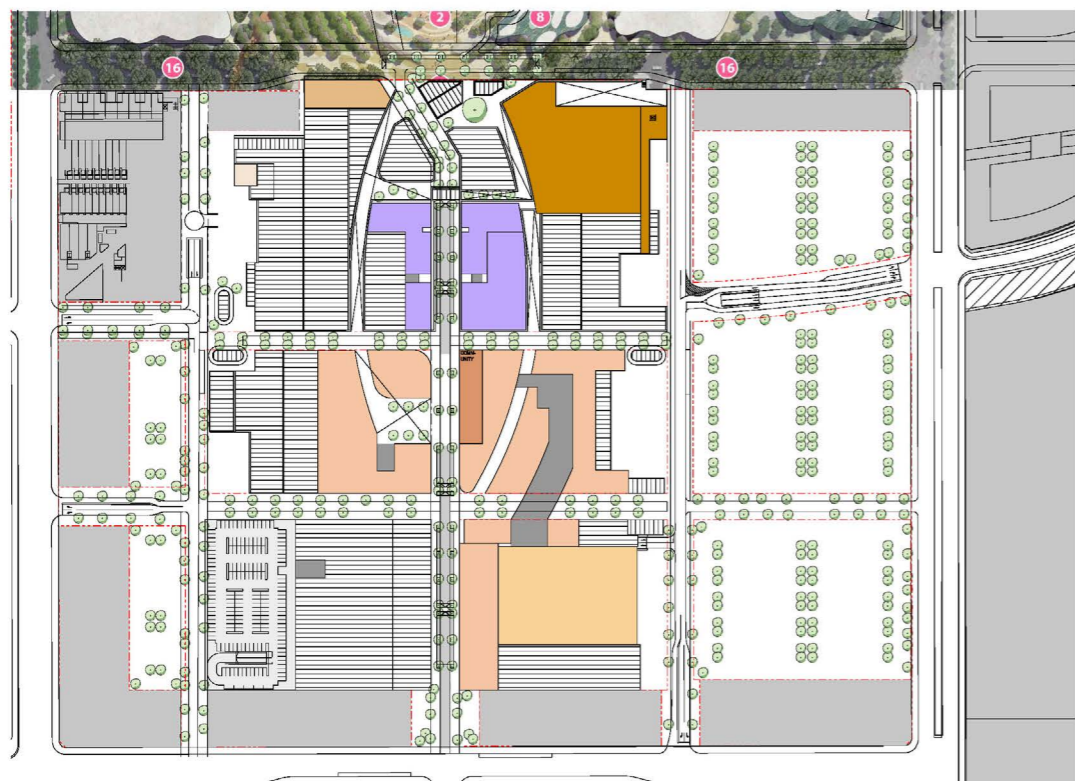
**01 BASEMENT LEVEL - GFA**  
Scale 1:2500



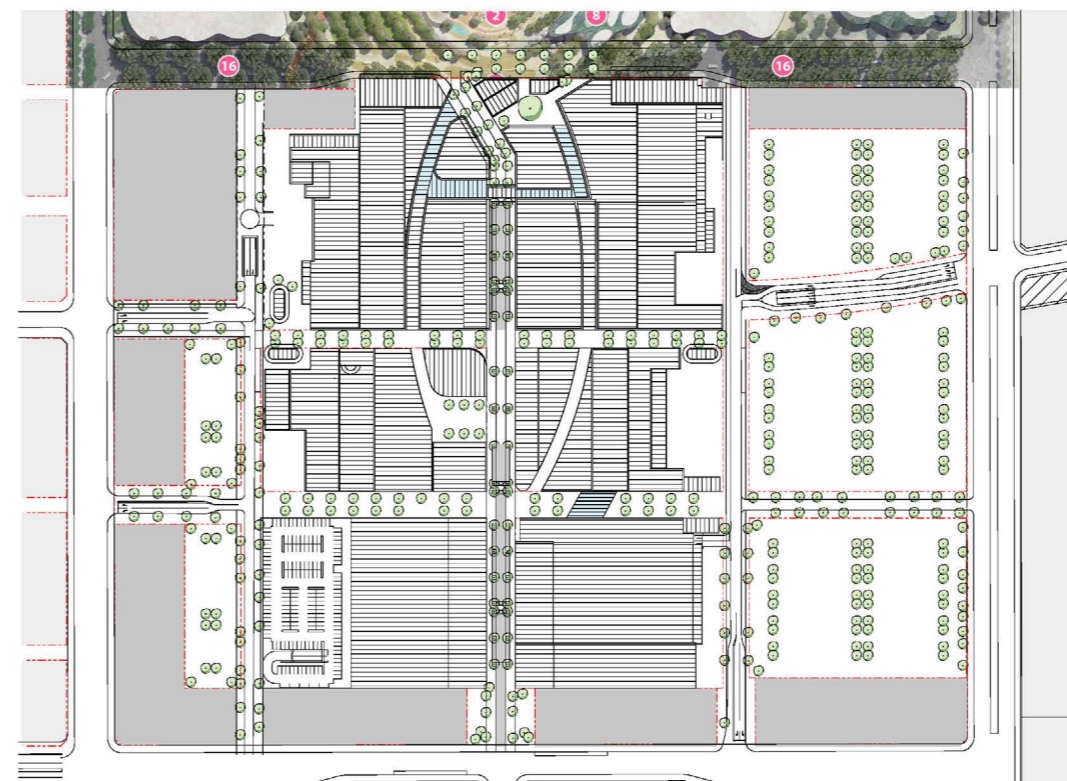
**02 GROUND LEVEL - GFA**  
Scale 1:2500

G.F.A. SCHEDULE	
USE	AREA
COMMERCIAL	5040m <sup>2</sup>
COMMUNITY FACILITY	2783m <sup>2</sup>
END OF TRIP	1196m <sup>2</sup>
RETAIL	86053m <sup>2</sup>
Grand total:	95072m <sup>2</sup>

RETAIL ONLY (G.F.A.)	
USE	AREA
RETAIL	86053m <sup>2</sup>



**03 LEVEL 1 - GFA**  
Scale 1:2500



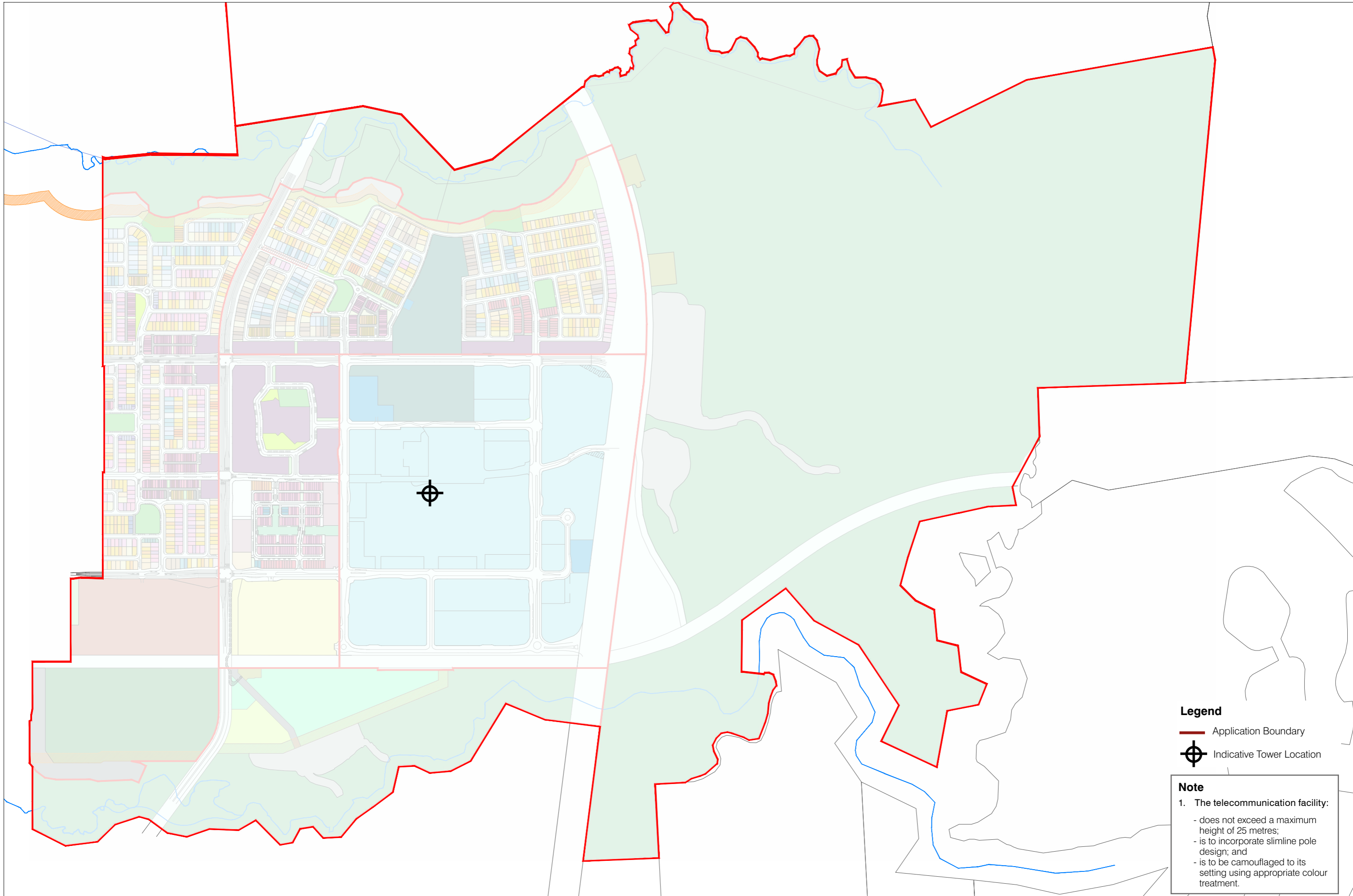
**04 ROOF LEVEL - GFA**  
Scale 1:2500





## APPENDIX G APPROVED TELECOMMUNICATION FACILITY

---

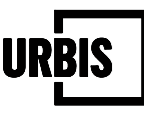


**Legend**

- Application Boundary
- Indicative Tower Location

**Note**

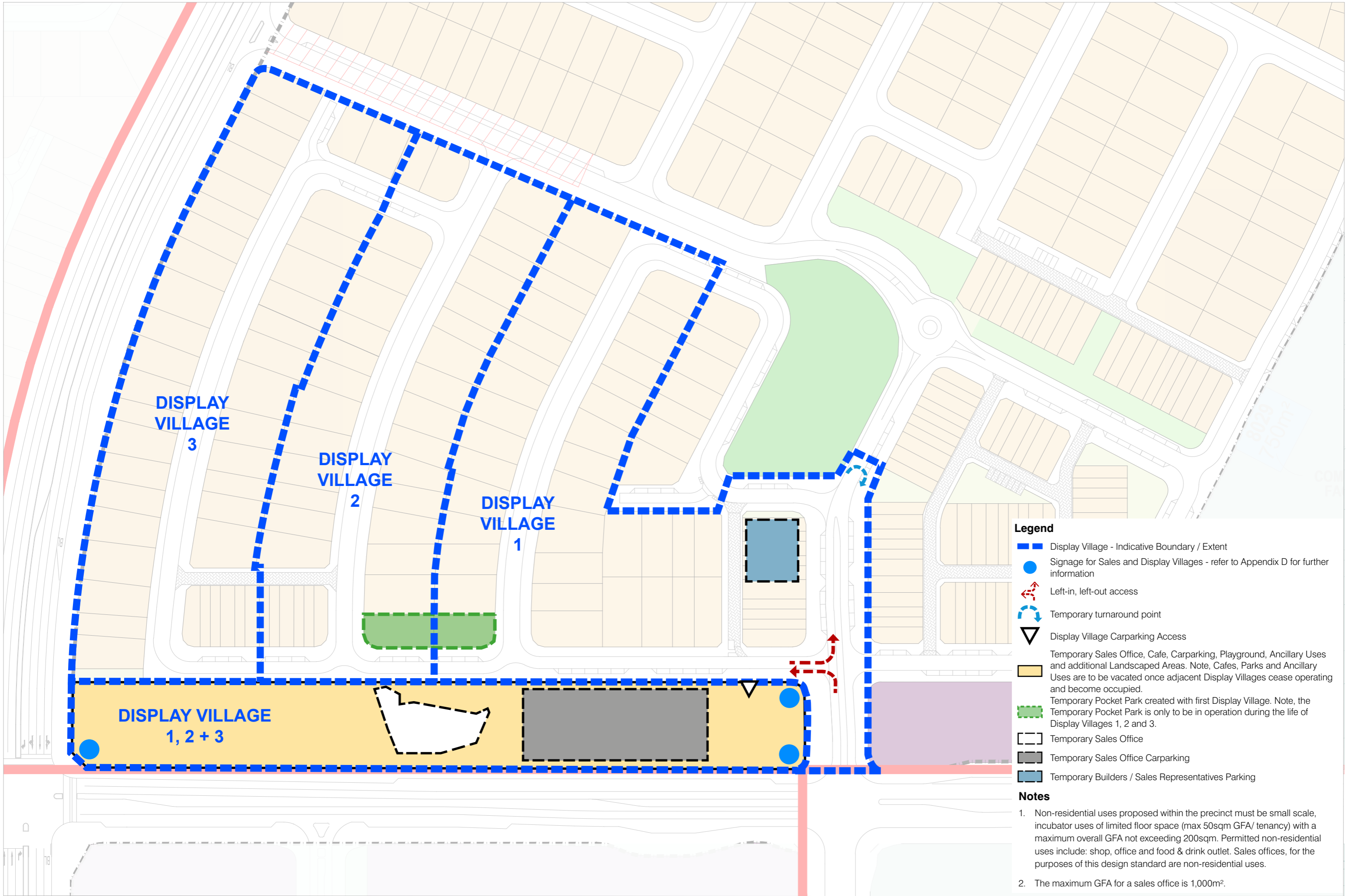
1. The telecommunication facility:
  - does not exceed a maximum height of 25 metres;
  - is to incorporate slimline pole design; and
  - is to be camouflaged to its setting using appropriate colour treatment.





APPENDIX H  
APPROVED DISPLAY VILLAGE  
PLAN OF DEVELOPMENT

---



**Legend**

- Display Village - Indicative Boundary / Extent
- Signage for Sales and Display Villages - refer to Appendix D for further information
- Left-in, left-out access
- Temporary turnaround point
- Display Village Carparking Access
- Temporary Sales Office, Cafe, Carparking, Playground, Ancillary Uses and additional Landscaped Areas. Note, Cafes, Parks and Ancillary Uses are to be vacated once adjacent Display Villages cease operating and become occupied.
- Temporary Pocket Park created with first Display Village. Note, the Temporary Pocket Park is only to be in operation during the life of Display Villages 1, 2 and 3.
- Temporary Sales Office
- Temporary Sales Office Carparking
- Temporary Builders / Sales Representatives Parking

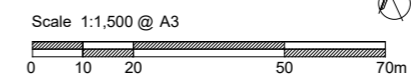
**Notes**

1. Non-residential uses proposed within the precinct must be small scale, incubator uses of limited floor space (max 50sqm GFA/ tenancy) with a maximum overall GFA not exceeding 200sqm. Permitted non-residential uses include: shop, office and food & drink outlet. Sales offices, for the purposes of this design standard are non-residential uses.
2. The maximum GFA for a sales office is 1,000m<sup>2</sup>.



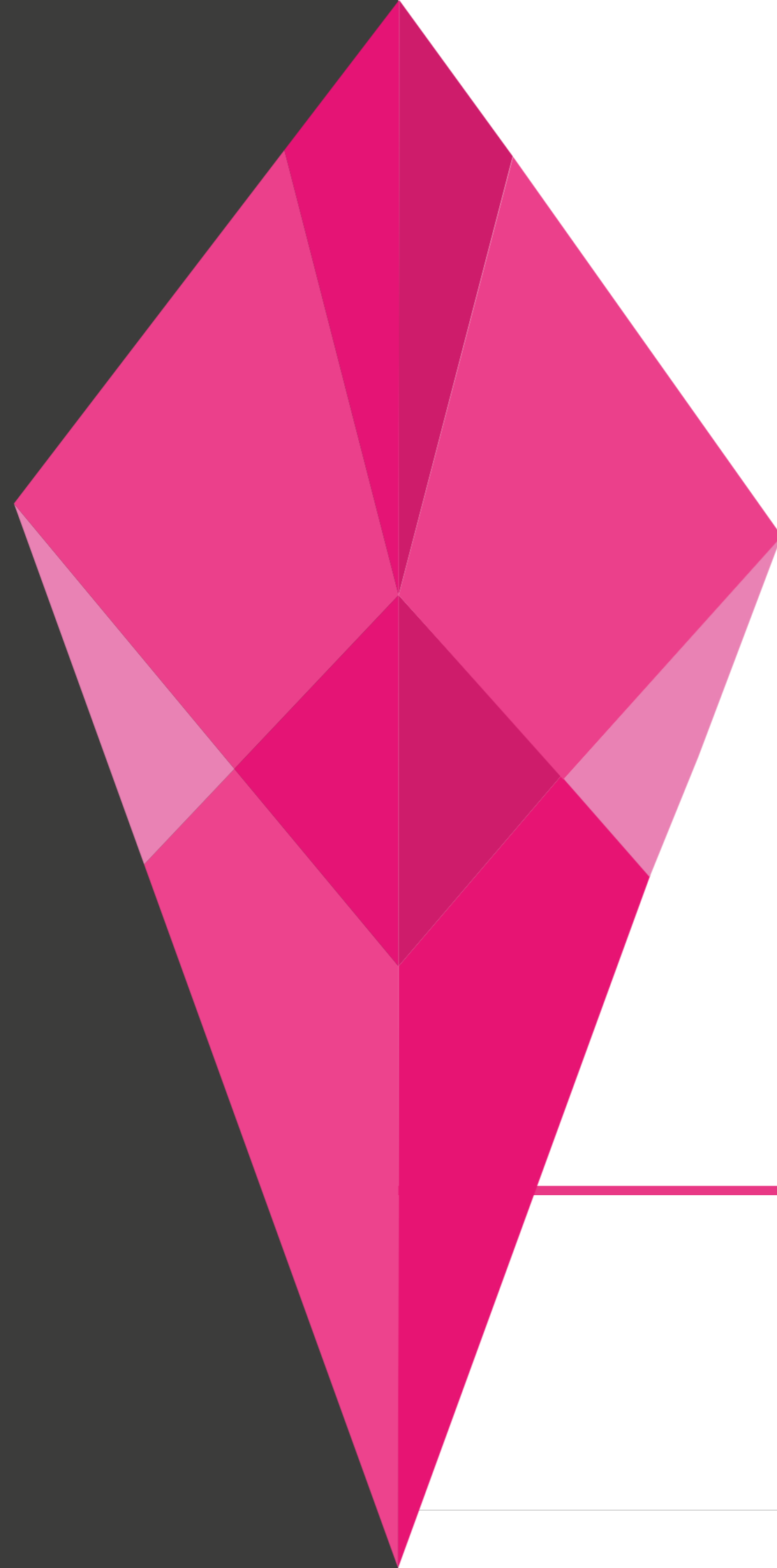
**AURA P7-10**

Plan of Development - TEMPORARY SALES & DISPLAY VILLAGES



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 This plan is conceptual and is for discussion purposes only. Subject to further detail study, Council approval, engineering input, and survey. Cadastral boundaries, areas and dimensions are approximate only. Figured dimensions shall take preference to scaled dimensions. No relevance should be placed on this plan for any financial dealings of the land.

**PROJECT NO:** BA4672  
**DATE:** 01.05.2025  
**DRAWING NO:** DV01  
**REV:** 4



## APPENDIX I CAR/BICYCLE PARKING RATES

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**TABLE 2: USE DEFINITIONS — CAR PARKING RATES**

LAND USE	CAR SPACES	SERVICE VEHICLE SPACES	LAND USE	CAR SPACES	SERVICE VEHICLE SPACES
<b>Agricultural Supply Store</b>	1 space / 20m <sup>2</sup> total use area (where ≤ 100m <sup>2</sup> total use area) + 1 space / 50m <sup>2</sup> total use area (for component > 100m <sup>2</sup> total use area)	<ul style="list-style-type: none"> <li>Where &lt; 200m<sup>2</sup> GFA – SRV</li> <li>Where 201m<sup>2</sup> to 600m<sup>2</sup> GFA – VAN + MRV</li> <li>Where &gt; 600m<sup>2</sup> GFA – 1 VAN + 1 SRV + 1 MRV</li> </ul>	<b>Outdoor Sport and Recreation</b>	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	<ul style="list-style-type: none"> <li>Where requiring access via a road – MRV (Type A Access) + WCV;</li> <li>Where requiring access via a street – MRV (Type B Access) + WCV</li> </ul>
<b>Animal keeping and husbandry</b>	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Not required	<b>Place of Assembly</b>	1 space / 15m <sup>2</sup> GFA	<ul style="list-style-type: none"> <li>Where requiring access via a road – SRV (Type A Access) + occasional access for MRV</li> <li>Where requiring access via a street – SRV (Type B Access) + occasional access for MRV</li> </ul>
<b>Bulk Landscape Supplies</b>	1 space / 100m <sup>2</sup> GFA	<ul style="list-style-type: none"> <li>Where requiring access via a road – HRV (Type A Access) + occasional access for AV</li> <li>Where requiring access via a street –HRV (Type B Access) + occasional access for AV</li> </ul>	<b>Research and Technology Facility</b>	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time.	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time.
<b>Business</b> <sup>1</sup>	1 space / 30m <sup>2</sup> GFA	<ul style="list-style-type: none"> <li>Where &lt; 200m<sup>2</sup> GFA – SRV</li> <li>Where 201m<sup>2</sup> to 600m<sup>2</sup> GFA – VAN + MRV</li> <li>Where &gt; 600m<sup>2</sup> GFA – 1 VAN + 1 SRV + 1 MRV</li> </ul>	<b>Sales Office</b>	2 spaces	Not required
<b>Car Park</b>	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Not required	<b>Service Industry</b>	1 space / 50m <sup>2</sup> GFA (where ≤500m <sup>2</sup> GFA) + 1 space/100m <sup>2</sup> GFA (for component >500m <sup>2</sup> GFA)	<ul style="list-style-type: none"> <li>Where requiring access via a road – AV (Type A Access)</li> <li>Where requiring access via a street – AV (Type B Access)</li> </ul>
<b>Child care centre</b>	1 employee space / employee + 1 customer space / 5 children	<ul style="list-style-type: none"> <li>VAN + WCV (where &gt;200m<sup>2</sup> GFA)</li> </ul>	<b>Service Station</b>	1 space / 20m <sup>2</sup> GFA (when involving sale of goods) + 2 spaces / service bay (min. 4 spaces)	AV
<b>Community Facility</b>	1 space / 20m <sup>2</sup> GFA	VAN + WCV (where >200m <sup>2</sup> GFA)	<b>Shop</b> <sup>1</sup>	1 space / 20m <sup>2</sup> GFA	<ul style="list-style-type: none"> <li>Where &lt; 200m<sup>2</sup> GFA – SRV</li> <li>Where 201m<sup>2</sup> to 600m<sup>2</sup> GFA – VAN + MRV</li> <li>Where &gt; 600m<sup>2</sup> GFA – 1 VAN + 1 SRV + 1 MRV</li> </ul>
<b>Crematorium</b>	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time, including 1 space / 15m <sup>2</sup> GFA for chapel component	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	<b>Shopping centre</b>	1 space / 20m <sup>2</sup> GFA or alternative rate where demonstrated in a Parking Assessment Report.	<ul style="list-style-type: none"> <li>Refer to <b>Table 5</b></li> </ul>
<b>Display home</b>	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Not required	<b>Short-term accommodation</b>	1 space / rooming unit (covered) + 1 visitor space / 10 rooming units	<ul style="list-style-type: none"> <li>Where ≤ 20 rooming units and requiring access via a street – MRV (Type B Access) + VAN</li> <li>Where &gt; 20 rooming units or requiring access via a road – MRV (Type A Access) + VAN + WCV</li> <li>Where &gt; 50 rooming units – sufficient spaces to accommodate number of vehicles likely to be parked at any one time (based on an approved Parking Needs Assessment, with min. MRV (Type A Access) + VAN + WCV)</li> </ul>
<b>Educational Establishment</b>	Sufficient spaces to accommodate the number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 WCV bay)	Note — where the short-term accommodation is in the form of a multiple dwelling, the parking rates specified for multiple dwelling apply.		
<b>Emergency Services</b>	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	<b>Showroom</b>	1 space / 20m <sup>2</sup> GFA (where ≤100m <sup>2</sup> GFA) + 1 space / 50m <sup>2</sup> GFA (for component >100m <sup>2</sup> GFA)	<ul style="list-style-type: none"> <li>Where &lt; 200m<sup>2</sup> GFA – SRV</li> <li>Where 201m<sup>2</sup> to 600m<sup>2</sup> GFA – VAN + MRV</li> <li>Where &gt; 600m<sup>2</sup> GFA – 1 VAN + 1 SRV + 1 MRV</li> </ul>
<b>Fast Food Premises</b> <sup>1</sup>	1 space / 15m <sup>2</sup> GFA where in all other Sub-Precinct/s.	<ul style="list-style-type: none"> <li>Where &lt; 200m<sup>2</sup> GFA – SRV</li> <li>Where 201m<sup>2</sup> to 600m<sup>2</sup> GFA – VAN + MRV</li> <li>Where &gt; 600m<sup>2</sup> GFA – 1 VAN + 1 SRV + 1 MRV</li> </ul>	<b>Telecommunications Facility</b>	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (min. 1 space)	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time
<b>Food Premises</b> <sup>1</sup>			<b>Tourist park</b>	1 space / site + 1 visitor space / 10 sites + 1 manager space (covered) + boat / trailer storage	<ul style="list-style-type: none"> <li>Where ≤ 20 sites and requiring access via a street – HRV (Type B Access) + VAN + WCV</li> <li>Where &gt; 20 sites or requiring access via a road — HRV (Type A Access) + VAN + WCV</li> </ul>
<b>Funeral Parlour</b>	1 space / 30m <sup>2</sup> GFA	WCV	<b>Utility Installation</b>	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time
<b>Garden Centre</b>	1 space / 20m <sup>2</sup> total use area (where ≤ 100m <sup>2</sup> total use area) + 1 space / 50m <sup>2</sup> total use area (for component > 100m <sup>2</sup> total use area)	<ul style="list-style-type: none"> <li>Where requiring access via a street – HRV (Type B Access)</li> <li>Where requiring access via a road – HRV (Type A Access)</li> </ul>	<b>Veterinary Hospital</b>	1 space / 20m <sup>2</sup> GFA	<ul style="list-style-type: none"> <li>Where requiring access via a road – SRV (Type A Access) + occasional access for MRV</li> <li>Where requiring access via a street – SRV (Type B Access) + occasional access for MRV</li> </ul>
<b>Health care services</b>	1 space / 20m <sup>2</sup> GFA	<ul style="list-style-type: none"> <li>Where requiring access via a road – SRV (Type A Access) + occasional access for MRV</li> <li>Where requiring access via a street – SRV (Type B Access) + occasional access for MRV</li> </ul>	<b>Warehouse</b>	1 space / 50m <sup>2</sup> GFA (where ≤ 500m <sup>2</sup> GFA) + 1 space / 100m <sup>2</sup> GFA (for component >500m <sup>2</sup> GFA)	<ul style="list-style-type: none"> <li>Where requiring access via a road – MRV (Type A Access) + WCV;</li> <li>Where requiring access via a street – MRV (Type B Access) + WCV</li> </ul>
<b>Hospital</b>	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 WCV bay)	<b>Wholesale Nursery</b>	<ul style="list-style-type: none"> <li>Where ≤ 100m<sup>2</sup> total use area – 1 space / 20m<sup>2</sup> total use area</li> <li>Where &gt;100m<sup>2</sup> total use area – 1 space / 50m<sup>2</sup> total use area</li> </ul>	<ul style="list-style-type: none"> <li>Where requiring access via a road – AV (Type A Access)</li> <li>Where requiring access via a street – AV (Type B Access)</li> </ul>
<b>Indoor Entertainment (Hotel)</b> <sup>1</sup>	1 space / 20m <sup>2</sup> GFA or alternative rate where demonstrated in a Parking Assessment Report.	<ul style="list-style-type: none"> <li>Where &lt; 200m<sup>2</sup> GFA – SRV</li> <li>Where 201m<sup>2</sup> to 600m<sup>2</sup> GFA – VAN + MRV</li> <li>Where &gt; 600m<sup>2</sup> GFA – 1 VAN + 1 SRV + 1 MRV</li> </ul>			
<b>Indoor Sport and Recreation</b>	Sufficient spaces to accommodate the number of vehicles likely to be parked at any one time.	Sufficient spaces to accommodate number of vehicles likely to be parked at any one time (with min. 1 WCV bay)			
<b>Low Impact Industry</b>	1 space / 50m <sup>2</sup> GFA (where ≤ 500m <sup>2</sup> GFA) + 1 space / 100m <sup>2</sup> GFA (for component >500m <sup>2</sup> GFA)	<ul style="list-style-type: none"> <li>Where requiring access via a road – MRV (Type A Access) + WCV;</li> <li>Where requiring access via a street – MRV (Type B Access) + WCV</li> </ul>			
<b>Multiple dwelling</b>	1 space / dwelling + 1 visitor space / 4 dwellings	<ul style="list-style-type: none"> <li>Where ≤ 20 dwellings and requiring access via a street – MRV (Type B Access) + VAN + ambulance</li> <li>Where &gt; 20 dwellings or requiring access via a road – MRV (Type A Access) + VAN + WCV + ambulance</li> </ul>			
<b>Other Residential</b>	1 space / unit (covered) + 1 visitor space / 5 units	<ul style="list-style-type: none"> <li>Where ≤ 10 dwellings and requiring access via a street – MRV (Type B Access) + VAN</li> <li>Where &gt; 10 dwellings or requiring access via a road – MRV (Type A Access) + VAN + WCV</li> </ul>			
<b>Outdoor Sales</b>	1 space / 20m <sup>2</sup> total use area (where ≤ 200m <sup>2</sup> total use area) + 1 space / 100m <sup>2</sup> total use area (for component > 200m <sup>2</sup> total use area)	<ul style="list-style-type: none"> <li>Where &lt; 200m<sup>2</sup> GFA – SRV</li> <li>Where 201m<sup>2</sup> to 600m<sup>2</sup> GFA – VAN + MRV</li> <li>Where &gt; 600m<sup>2</sup> GFA – 1 VAN + 1 SRV + 1 MRV</li> </ul>			

**REFERENCE:**

1. (a) Where gross floor area exceeds 200m<sup>2</sup>, provision is to be made for on-site refuse collection;
- (b) Where a development has a gross floor area of less than 1,500m<sup>2</sup>, and waste collection will occur not more than twice per week, a WCV parking space provided on site may be considered to satisfy the requirement to provide on-site parking for another service vehicle type that is not larger than the WCV.

**NOTES:**

1. Type A Access — where the design vehicle access must:-
  - i. enable entering and exiting the site in a forward motion;
  - ii. enable travel through the site on circulation roads / aisles to access service areas, without significant impact on external or internal traffic operations; and
  - iii. enable on-site manoeuvring to park and load / unload in a designated service area.
2. Type B Access — where the design vehicle access must:-
  - i. enable standing wholly within the site without occupying any designated queue areas, or blocking access to more than 50% of car parking spaces; and
  - ii. limit any on-street manoeuvring to reversing on or off the site in one movement only.

The swept path of the vehicle may cover the overall width of a two-way undivided driveway.
3. Where a development is for a residential activity or community activity use, and waste collection will occur not more than twice per week, a WCV parking space provided on site may be considered to satisfy the requirement to provide on-site parking for another service vehicle type that is not larger than the WCV.
4. Occasional access (for the maximum size of service vehicle expected less than 20 times per year) is to be provided for vehicles that occasionally service a site as part of its normal operation. Examples of this type of servicing are a furniture removal van at a multiple dwelling or office development and a refuse collection vehicle at a community activity facility. Vehicle access must:-
  - i. enable standing wholly within the site;
  - ii. enable reverse manoeuvres limited to one only, either to or from the site; and
  - iii. enable the swept path of the vehicle to be not greater than the width of the access driveway.

**TABLE 3: USE DEFINITIONS — BICYCLE PARKING RATES**

LAND USE	RECOMMENDED EMPLOYEE PARKING SPACES	RECOMMENDED VISITOR/SHOPPER PARKING SPACES	RECOMMENDED MOTORCYCLE PARKING SPACES
Commercial Use	1 per 190m <sup>2</sup> GFA	1 per 700m <sup>2</sup> GFA	1 per 100m <sup>2</sup> GFA
Shopping Centre	1 per 190m <sup>2</sup> GFA	1 per 475m <sup>2</sup> GFA	1 per 100m <sup>2</sup> GFA
Shopping Centre*	1 per 670m <sup>2</sup> GFA	1 per 170m <sup>2</sup> GFA	2.5 per 100 cars
Multiple Residential	1 per dwelling	1 per 4 dwellings	1 per 10 dwellings

\*Relevant to Sub-Precinct 8.1 only.

**TABLE 4: PRECINCT 8 - BICYCLE END OF TRIP FACILITIES**

	EMPLOYEE BICYCLE PARKING SPACES	PERSONAL LOCKERS	USER GROUP	CHANGE ROOMS	SHOWERS	SANITARY COMPARTMENTS	WASH BASINS
Lockers, change rooms, showers, sanitary compartments and washbasins	1-5	1/space	Female and male	1 of unisex design	2	1 closet pan	1
	6-19	1/space	Female	1	2	1 closet pan	1
			Male	1	2	1 closet pan	1
	20 or more	1 / space	Female	1	3.5, plus 1.75 additional for every 20 bicycle parking spaces thereafter	2 closet pans plus 1 additional for every 60 bicycle parking spaces thereafter	1, plus 1 additional for every 60 bicycle parking spaces thereafter
Male			1	3.5, plus 1.75 additional for every 20 bicycle parking spaces thereafter	2 closet pans plus 1 additional for every 60 bicycle parking spaces thereafter	1, plus 1 additional for every 60 bicycle parking spaces thereafter	

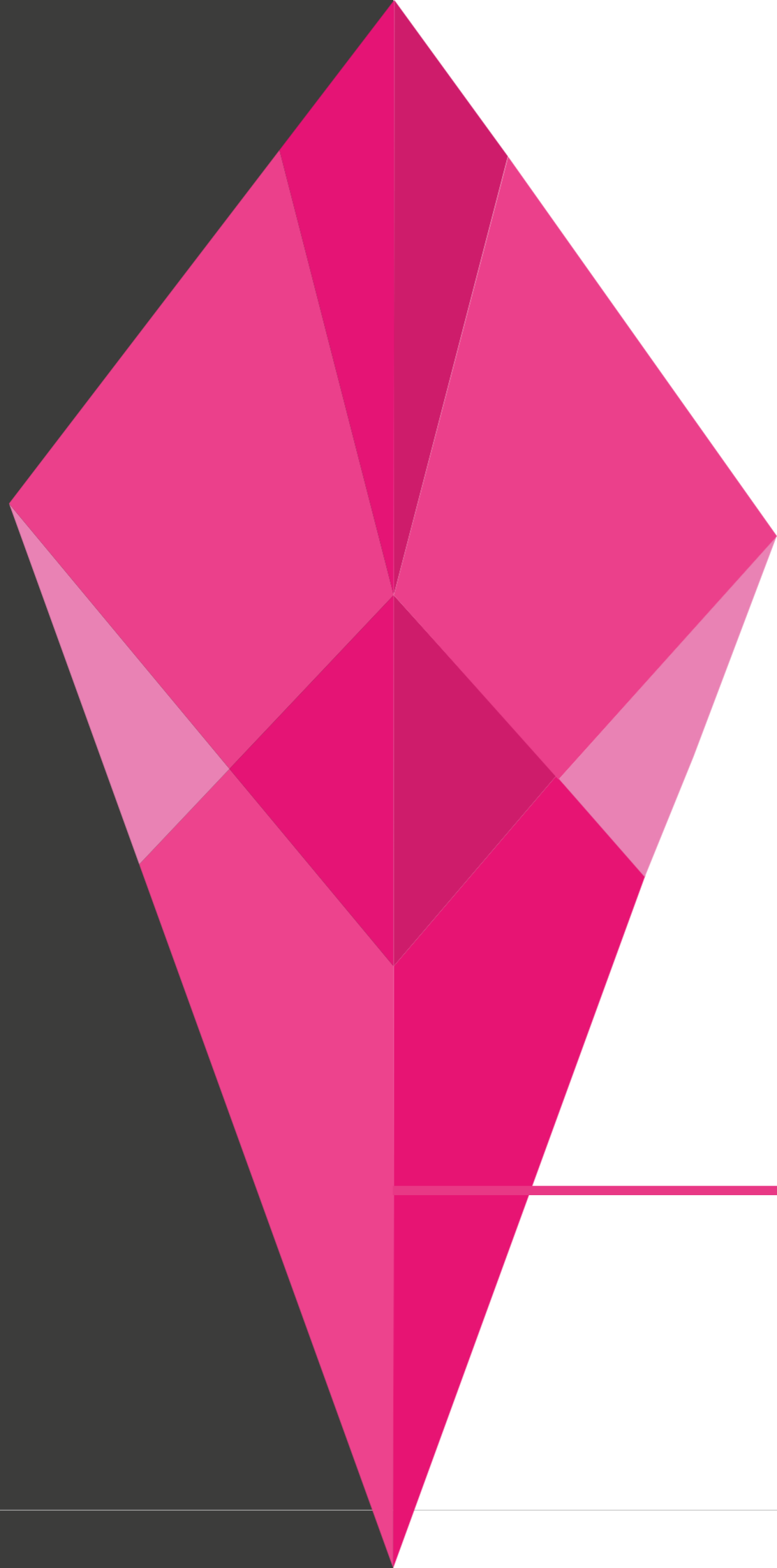
\*The potential provision of gender-neutral facilities should be considered in lieu of gender-specific provisions where possible.

Column 1 GFA (m <sup>2</sup> )	Column 2 Service Bays Required					
	VAN	SRV	MRV	HRV	AV	WCV
0-199		1				
200-599	1		1			1
600-999	1	1	1			1
1,000-1,499	2	1	1			1
1,500-1,999	2	2	1			1
2,000-2,799	2	2	2			1
2,800-3,599	2	2	2	1		1
3,600-4,399	3	2	2	1		1
4,400-6,499	3	2	2	1	1	1
6,500-8,499	4	2	2	1	1	1
8,500-11,499	4	3	2	1	1	1
11,500-14,749	5	3	2	1	1	1
14,750-17,999	5	3	3	1	1	1
18,000-20,999	6	3	3	1	1	1
21,000-23,999	6	3	3	2	1	1
24,000-26,999	6	3	3	2	2	1
27,000-29,999	6	3	3	3	2	1
30,000-32,999	7	3	3	3	2	1
33,000-35,999	7	3	4	3	2	1
36,000-38,999	8	3	4	3	2	1
39,000-41,999	9	3	4	3	2	1
42,000+	10	3	4	3	2	1

**Notes—**

- (1) Design service vehicles are defined in the Planning scheme policy for the transport and parking code.
- (2) Where gross floor area exceeds 200m<sup>2</sup>, provision is to be made for on-site refuse collection.
- (3) Where a development has a gross floor area of less than 1,500m<sup>2</sup>, and waste collection will occur not more than twice per week, a WCV parking space provided on site may be considered to satisfy the requirement to provide on-site parking for another service vehicle type that is not larger than the WCV.
- (4) The following requirements apply to shopping centres:-
  - (i) except as provided for in (ii) below, service bay requirements are to be applied to each individual retail component of the development, with service bays located immediately adjacent to the component;
  - (ii) specialty shops in a shopping centre with a gross floor area of less than 200m<sup>2</sup> are to be grouped together and treated as a single retail component;
  - (iii) specialty shops for this purpose, MRV class vehicles are to be provided for in lieu of HRV and AV class vehicles.





## APPENDIX J RESIDENTIAL DEVELOPMENT CONTROLS

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# 1.1.1 HOUSE & MULTIPLE RESIDENTIAL ALLOTMENTS

## Development Controls

### General

- All development inclusive of Single and Multiple Residential Allotments (Duplex) is to be undertaken in accordance with the Development Approval.
- Building setbacks and built-to-boundary wall locations shown are subject to future proposed easements and/or underground services.
- Maximum building height is 2 storeys (9m) for all dwellings or 3 storeys where identified on a Fixed Elements Plan or Plan of Development. Rooftop terraces are defined as a 'storey'.
- Noise affected allotments are to be developed in accordance with AS3671-1989 'Acoustics - Road Traffic Noise Intrusion - building siting and construction' to achieve the satisfactory internal noise levels stipulated in AS2107-2000 'Acoustics - Recommended design sound levels and reverberation times for building interiors'.

### Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified. In the case of Courtyard and Traditional Corner Lots, an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high. The setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets (connector, access street or access place). This excludes those lots that abut a shared access driveway, a laneway or a pedestrian link / landscape buffer and therefore in these cases a secondary street setback does not apply.
- Corner lots are interpreted as having two front boundaries and two side boundaries for the purposes of determining building setbacks (no rear boundary setback applies).
- Built to Boundary walls are recommended where road frontage widths are less than 12.49m. Built to Boundary walls are optional for lots with road frontage widths equal to, or in excess of 12.5m. Where Built to Boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Built to Boundary walls are to have a maximum length of 15m or 50% of the length of the lot depth (whichever is greater) and a maximum height of 3.5m.
- Boundary setbacks are measured to the wall of the structure. Eaves should not encroach closer than 450mm to the lot boundary except in the case of:
  - The Primary Street Frontage where eaves should not be closer than 1950mm (1.95m);
  - Walls that are Built to Boundary.
- First floor setbacks must not exceed the minimum ground floor setbacks, as documented in the Plan of Development Table.
- Roofed gatehouses and arches are permitted within the front setback (and the secondary frontage for corner lots) provided they meet the requirements of the Queensland development Code, having:
  - a maximum area of 4m<sup>2</sup>; and
  - not more than 2m wide elevation to the street; and
  - not more than 3m in height.

### Site Cover and Amenity

- Site cover for each lot is not to exceed the percentages outlined in the Plan of Development Table.
- Private amenity space, must be provided and is not less than 15m<sup>2</sup> per dwelling with a minimum dimension of 3.0m, and is directly accessible from a ground floor living area.

### Privacy and Overlooking

- Buildings must be sited and designed to provide adequate visual privacy for neighbours:
  - Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5m:
    - a permanent window and a balcony has a window/balcony screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or
    - a window has a sill height more than 1.5m above the adjacent floor level; or
    - a window has obscure glazing below 1.5m;

Where Window and Window/Balcony Screen has the same meaning as in the Queensland Development Code.

### Fencing

For detached lots:

- Fencing along primary street frontages must be either 50% transparent or a maximum of 1.2m in height. Fencing to secondary street frontages may be screen fencing of 1.8m high maximum and extend up to the front building line (main facade). For lots identified as being subject to rear fence controls on the Plan of Development, the fence must be a minimum 1.5m high solid screen fence and may extend up to a maximum 1.8m where the upper 0.3m is 30% transparent.
- For Multiple Residential (Duplex lots): Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fence and may extend up to a maximum 1.8m where the upper 0.3m is 50% transparent.

### Parking and Driveways

For all allotments the following applies:

- Double garages will not be permitted on a single storey dwelling, on a lot less than 10m wide.
- Double garages are permitted:
  - On any Premium Villa, Courtyard, Premium Traditional or Multiple Residential (Duplex) Lot;
  - On any 7.5m wide to less than 12.5m wide where the dwelling is more than one storey in height, and where the garage is setback at least 1m behind the main facade, excluding balconies, of the dwelling;
  - On any corner lot if the garage fronts the secondary street frontage as shown in the setback diagrams for detached corner allotments and minimum garage setbacks can be met;
  - On a single storey dwelling on any Villa Lots where the following design criteria are met:
    - The front facing building wall, which comprises the garage door/s, may not exceed an external width of 5.7m; and
    - The garage door width must not exceed 4.8m; and

- The garage door must have a minimum 450mm eave above it and be setback a minimum of 240mm behind the pillar of the garage door; and
- Must have a sectional, tilt or roller door; and
- The front facade of the dwelling must include the following:
  - A front entrance door and windows with a sidelight.
  - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1.6m forward of the entrance door.
  - The verandah, portico or porch is to include front piers with distinct materials and/or colours
- The garage has one side constructed as a built to boundary wall in a position consistent with the Plan of Development for the lot; and
- The driveway of the garage is to taper from the garage opening down to 3m at the lot boundary. The taper must occur on the central edge of the driveway.
  - Any combination of a 'garage', 'carport' or 'open carport' as defined in the Queensland Development Code (QDC) are taken to be a 'garage' under this POD.
- The mandatory width of a driveway at the lot boundary & where crossing the verge:
  - serving a double garage shall be 4.8m (except where a Villa lot where 3.0m is required); and
  - serving a single garage shall be 3.0m.
- Parking spaces on driveways do not have to comply with gradients in AS2890.
- A maximum of one driveway per dwelling is permitted (2 for Multiple Residential (duplex) allotments).
- Driveways should avoid on-street works such as dedicated on-street parking bays, drainage pits and service pillars.
- The minimum distance of a driveway from an intersection of one street with another street (not a laneway) shall be 6.0 metres.
- The minimum distance between driveways on the same Multiple Residential (including duplex) lot shall be 3.0 metres at the boundary.

### Rainwater Tanks

- All dwellings (including Duplex dwellings) must have:
  - Lots >300m<sup>2</sup> = a 5kL rainwater tank
  - Lots 225-300m<sup>2</sup> = 3kL rainwater tank
  - Lots <225m<sup>2</sup> = no tank required
- All tanks to residential dwellings must collect a minimum 50% roof area capture. All tanks must supply water to toilets, laundry and have a connection for external usage and must have a backup supply from the main potable water system. The tank must be located outside of the minimum area required for private amenity space.

### Definitions

#### Site Cover

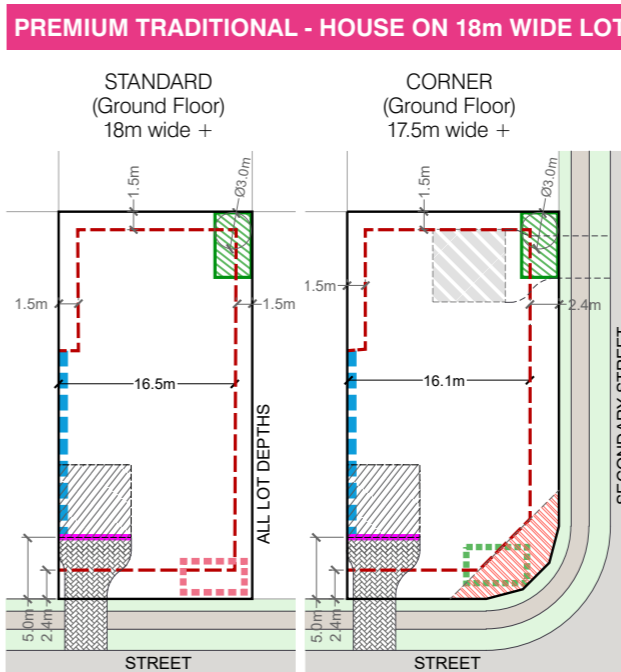
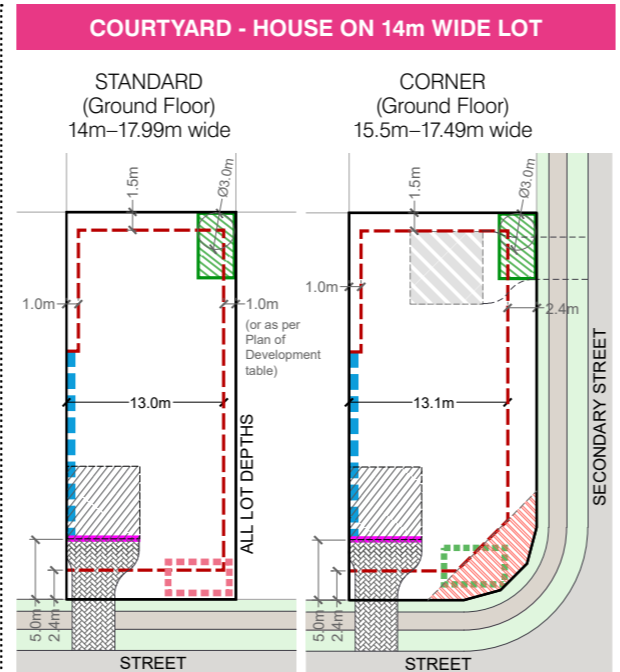
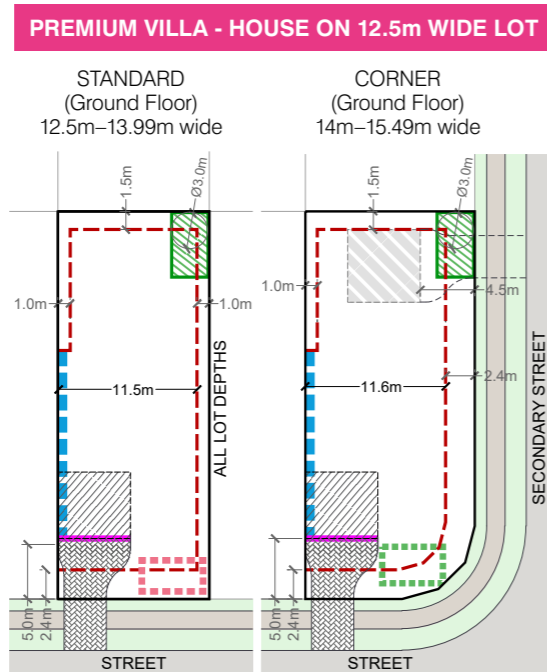
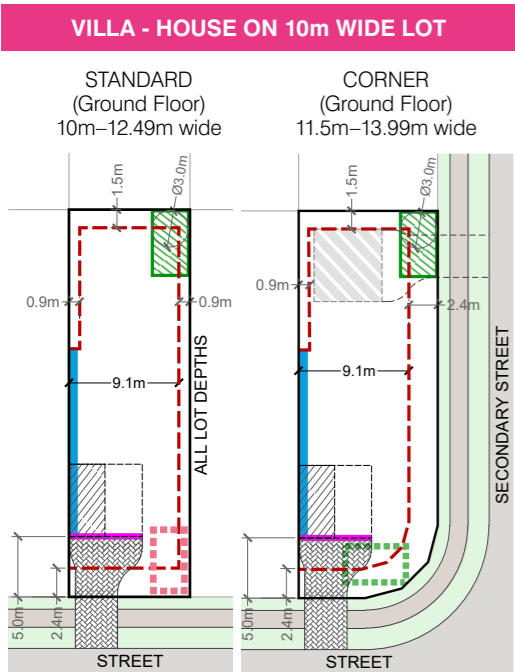
The proportion of the site covered by buildings, including roof overhangs.

## PLAN OF DEVELOPMENT TABLE

	VILLA ALLOTMENTS		PREMIUM VILLA ALLOTMENTS		COURTYARD ALLOTMENTS		PREMIUM TRADITIONAL ALLOTMENTS		MULTIPLE RESIDENTIAL ALLOTMENTS (DUPLEX)		
	10m–12.49m Wide		12.5m–13.99m Wide		14m - 17.99m Wide		18.0m Wide +		Ground Floor	First Floor	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
<b>Front &amp; Rear (metres)</b>											
Front / Primary Frontage	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	
Garage	Single	5.0	n/a	5.0	n/a	5.0	n/a	5.0	n/a	5.0	
	Double	5.0	n/a	5.0	n/a	5.0	n/a	5.0	n/a	5.0	
Rear	1.5	3.0	1.5	3.0	1.5	3.0	1.5	3.0	1.0 <sup>1</sup>	1.0 <sup>1</sup>	
Rear setback for lots adjoining CAMCOS	3.9 <sup>2</sup>	3.9 <sup>2</sup>	3.9 <sup>2</sup>	3.9 <sup>2</sup>	3.9 <sup>2</sup>	3.9 <sup>2</sup>	3.9 <sup>2</sup>	3.9 <sup>2</sup>	3.9 <sup>2</sup>	3.9 <sup>2</sup>	
<b>Side (metres)</b>											
Built to Boundary	0.0	0.9	0.0	1.0	0.0	1.0	0.0	1.5	0.0	1.0	
Non Built to Boundary	0.9	0.9	1.0	1.0	1.0	1.0	1.0	1.5	1.0	1.0	
Corner Lots — Secondary frontage	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4	
<b>Garage and On-site Car Parking</b>											
On site parking requirements (minimum)	1 space to be covered and enclosed. Single garages (up to 3.5m in width) or tandem garages are acceptable. Double garages (greater than 3.5m in width) are permitted for: - 2 storey dwellings; and - single storey dwellings provided note 18 above is met. Double garages must be located on any dwelling with 4 bedrooms or greater.	1 space per dwelling to be covered and enclosed. Single, tandem or double garage acceptable.	1 space to be covered and enclosed. Single, tandem or double garage acceptable. Double garages must be located on any dwelling with 4 bedrooms or greater.	1 space to be covered and enclosed. Single, tandem or double garage acceptable. Double garages must be located on any dwelling with 4 bedrooms or greater.	1 space to be covered and enclosed. Single, tandem or double garage acceptable. Double garages must be located on any dwelling with 4 bedrooms or greater.	1 space per dwelling to be covered and enclosed. Double garages must be located on any dwelling with 4 bedrooms or greater.	1 space per dwelling to be covered and enclosed. Double garages must be located on any dwelling with 4 bedrooms or greater.	1 space per dwelling to be covered and enclosed. Double garages must be located on any dwelling with 4 bedrooms or greater.	1 space per dwelling to be covered and enclosed. Double garages must be located on any dwelling with 4 bedrooms or greater.	1 space per dwelling to be covered and enclosed. Double garages must be located on any dwelling with 4 bedrooms or greater.	1 space per dwelling to be covered and enclosed. Double garages must be located on any dwelling with 4 bedrooms or greater.
Garage location	Garages are to be located along the built to boundary wall.	Garages are to be located along the built to boundary wall.	Garages are to be located along the built to boundary wall.	Garages are to be located along the built to boundary wall.	Garages are to be located along the built to boundary wall.	Garages are to be located along the built to boundary wall.	Garages are to be located along the built to boundary wall.	Garages are to be located along the built to boundary wall.	Garages are to be located along the western or southern boundary where appropriate.	Garages are to be located along the western or southern boundary where appropriate.	
Site Cover (maximum)	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	

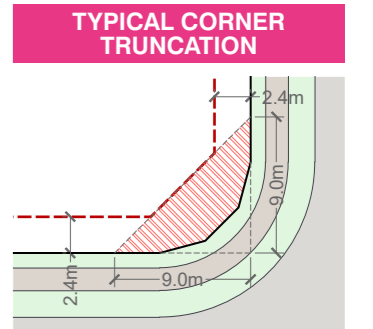
<sup>1</sup> Second side setback as no rear setback applies.

<sup>2</sup> Where a lot adjoins the CAMCOS Corridor and the private open space area is proposed to be at the front of the property, the rear setback may be reduced down to 1.5m at ground floor and 3.0m at first floor.



### LEGEND

- Lot boundary
- - - Maximum building envelope (ground floor)
- 1.0m Minimum building setback dimensions
- Mandatory built to boundary wall
- Optional built to boundary
- Garage setback from front boundary
- Corner setbacks
- Preferred private open space location (min. Dimension of 3.0m)
- Alternative location for private open space
- Alternative location for private open space (for lots adjoining camcos corridor)
- Indicative garage location
- Single garage for single storey dwelling, double garage for double storey dwelling
- Alternative location of garage on corner lots
- Indicative driveway location



# 1.1.2 LANEWAY TERRACE ALLOTMENTS-25M –28M DEEP (INCLUDING SINGLE STOREY TERRACE ALLOTMENTS)

## Development Controls

### General

- All development is to be undertaken in accordance with the Development Approval.
- Building setbacks and built-to-boundary wall locations shown are subject to future proposed easements and/or underground services.
- Maximum building height is 3 storeys for all dwellings where permitted in the Plan of Development, and 2 storeys (9m) otherwise, unless a Single Storey terrace type allotment, to which a 1 storey maximum building height applies. Rooftop terraces are defined as a 'storey'.
- Noise affected allotments are to be developed in accordance with AS3671-1989 'Acoustics - Road Traffic Noise Intrusion - building siting and construction' to achieve the satisfactory internal noise levels stipulated in AS2107-2000 'Acoustics - Recommended design sound levels and reverberation times for building interiors'.

### Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified.
- Built to Boundary Walls:
  - Built to boundary wall dimensions are limited by the applicable building setbacks and building height limit. Building plans and details of appropriate development staging and construction methods must be submitted for approval;
  - where not adopted, the standard setbacks in the Plan of Development Table apply.
- Boundary setbacks are measured to the main wall of the structure. Minor nib walls (required for fire protection purposes only) may encroach into the setback provided they are wholly contained within the property boundary. Eaves should not encroach closer than 450mm to the lot boundary except in the case of:
  - The Primary Street/Park Frontage where eaves should not be closer than 1500mm;
  - The Secondary Street Frontage where eaves should not be closer than 1000mm; and
  - Walls that are Built to Boundary.
- Upper floor setbacks must not exceed the minimum ground floor setbacks (including rooftop terraces).
- For Angled Terrace Allotments, the built form is to be as generally shown in the Angled Terrace Allotment Diagram.
- Roofed gatehouses and arches are permitted within the front setback (and the secondary frontage for corner lots) provided they meet the requirements of the Queensland Development Code, having:
  - a maximum area of 4m<sup>2</sup>; and
  - not more than 2m wide elevation to the street; and
  - not more than 3m in height.

### Privacy and Overlooking:

- Buildings must be sited and designed to provide adequate visual privacy for neighbouring dwellings:
    - Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5m:
      - a permanent window and a balcony has a window/balcony screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or
      - a window has a sill height more than 1.5m above the adjacent floor level; or
      - a window has obscure glazing below 1.5m;
- where: Window and Window/Balcony Screen has the same meaning as in the Queensland Development Code.

### Site Cover and Amenity

- Site cover for each lot is not to exceed that shown in the Plan of Development table.
  - Private open space, must be provided and is not less than 15m<sup>2</sup> with a minimum dimension of 3.0m and is directly accessible from a living area. Where these private open spaces are provided in the form of an upper level balcony, a ground level courtyard must also be provided to assist with cross ventilation and provide space for clothes drying.
- ### Fencing, Letterboxes, Parking and Driveways
- Fencing along street and park frontages must be either 50% transparent or max. 1.2m high. Fencing to the lane may be screen fencing to 1.8m high.
  - Letterboxes for dwellings shall be located on the primary street frontage, or if fronting a park within the laneway.
  - Allotments adjoining a laneway may have their garage fronting the laneway, comply with the setbacks, and have fencing to the laneway in accordance with that shown in the Laneway Terrace Allotment diagram.
  - Parking spaces on driveways do not have to comply with gradients in AS2890.
  - A maximum of one driveway per dwelling is permitted.
  - Driveways should have the minimum width required to facilitate vehicle access in order to maintain space between driveways, pathways and any bin storage areas for amenity planting.
  - Driveways should avoid on-street works such as dedicated on-street parking bays, drainage pits and service pillars.
  - The minimum distance of a driveway from an intersection of one street with another street (not a laneway) shall be 6.0 metres.

### Site Services and Bin Storage

- All dwellings on Laneway Terrace lots with a width of 4.6m or less are to be designed to ensure the following:
  - There are no conflicts between services (electricity/water) and pedestrian access to the front and rear of the lot, or vehicular access to the rear of the lot.

- A dedicated area is provided within the lot to accommodate refuse bin storage. This is preferred to be located outside of the garage, but accessible to, and screened from, the laneway. In the case of 4m wide lots, the bin storage area may be accommodated within the garage, provided the garage is appropriately dimensioned to ensure the bins can be removed whilst the car is parked in the garage.

### Rainwater Tanks

- All dwellings (including Duplex dwellings) must have:
  - Lots >300m<sup>2</sup> = a 5kL rainwater tank
  - Lots 225-300m<sup>2</sup> = 3kL rainwater tank
  - Lots <225m<sup>2</sup> = no tank required

All tanks to residential dwellings must collect a minimum 50% roof area capture. All tanks must supply water to toilets, laundry and have a connection for external usage and must have a backup supply from the main potable water system. The tank must be located outside of the minimum area required for private open space.

### Facade Treatment, Passive Ventilation and Natural Light Provisions

- On all terrace lots the main facade (facing the primary street frontage) must comprise at least two different materials and at least one horizontal or vertical step in the facade;
- Each dwelling unit must not present the same facade design to the street as the immediate adjoining dwellings;
- The design of the dwelling must consider passive ventilation and natural light provision through a combination of the following elements:
  - inclusion of a mid-block courtyard space, light wells or recess that extends into the dwelling to allow multiple rooms to have windows/openings onto that space;
  - each living area that adjoins an external wall (not built to boundary) has an open-able window or door.

### Secondary Dwelling Above Garage

- Secondary Dwellings above Garages are permitted on lots identified in the Plan of Development plans in Appendix E of this document. They shall be generally as shown in the diagram: Typical Diagram for Secondary Dwellings above Garages in this PoD.
- Where secondary dwellings above garages are built adjacent the laneway, the design of windows, balconies and other amenity spaces shall be located and adequately screened to avoid overlooking of, and from, secondary dwellings on the opposite side of the laneway.
- The relationship of garages to the laneway and bin storage areas shall be generally as shown in the diagrams: Typical Laneway Interface and Typical Product for Secondary Dwelling above Garage, in this PoD.
- Secondary Dwellings must also comply with Table 6 in Part 2.6 of this PoD (Section 1) to remain Exempt.

## Definitions

### Site Cover

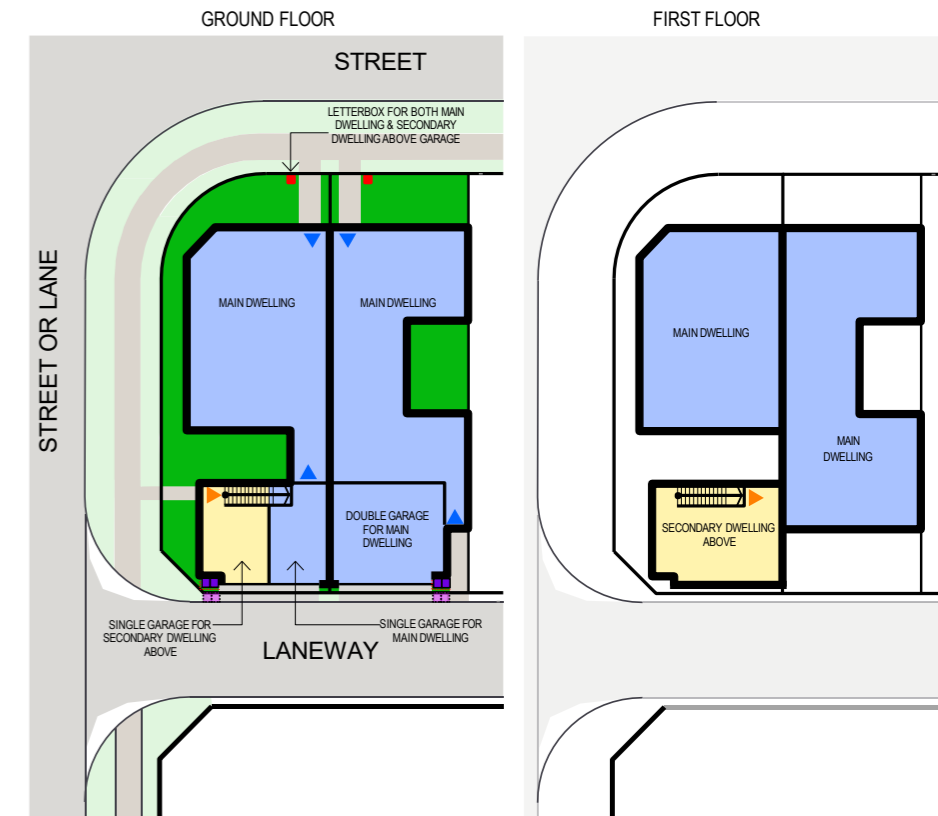
The proportion of the site covered by buildings, including roof overhangs.

## PLAN OF DEVELOPMENT TABLE

	LANEWAY TERRACE ALLOTMENTS 4M- <14M WIDE (REAR LOADED)	
	Ground Floor	First Floor
Front & Rear (metres)		
Front / Primary Frontage	2.0	2.0
Garage	0.5	n/a
Rear	0.5	0.0
Side (metres)		
Built to Boundary	0.0	0.0
Non Built to Boundary <sup>1</sup>	0.9	0.9
Corner Lots — Secondary street frontage	1.5	1.5
Corner Lots where secondary frontage shares a boundary with a laneway or linear open space or ped link	0.9	0.9
Garage and On-site Car Parking		
On site parking requirements (minimum)	1 space to be covered and enclosed. Single, tandem or double garages are acceptable depending on lot width.	
Garage Location	Garages are to be located along the built to boundary wall.	
Site Cover (maximum)	85%	

<sup>1</sup> 1.5m where abutting a laneway as per the Laneway Terrace Allotments Diagram

## TYPICAL PRODUCT SECONDARY DWELLING ABOVE GARAGE



### LEGEND

- Lot boundary
- Indicative built form
- Main dwelling
- Secondary dwelling above garage
- Preferred letterbox locations
- Preferred location of bin storage (and indicative screening)
- Preferred location of bin collection
- Entrance to main dwelling (indicative location)
- Entrance to secondary dwelling (indicative location)
- Indicative private open space / landscaping locations

The above should be read in conjunction with Section 2 of the PoD and comply with the Table 2: Secondary Dwelling Controls.

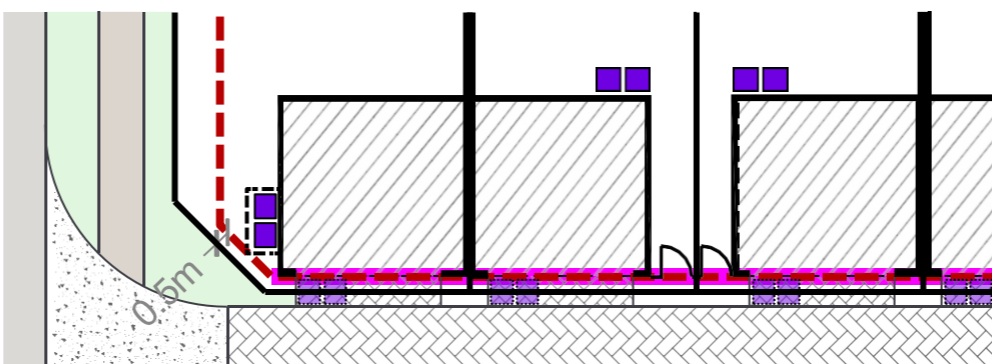
## TYPICAL TERRACE FRONTING PARK OR STREET (REAR LOADED)



### LEGEND

- Lot boundary
- Maximum building envelope (ground floor)
- Building setback dimensions
- Mandatory built to boundary wall
- Garage setback from front boundary
- Preferred private open space location
- Alternate location for private open space
- Garage location
- Letterbox location (if primary frontage is park)
- Letterbox location (if primary frontage is a street)

## TYPICAL LANEWAY INTERFACE



### LEGEND

- Lot boundary
- Building setback dimensions
- Indicative driveway location
- Preferred location of bin storage (main dwelling and loft)
- Preferred location of bin collection (main dwelling and loft)
- Screened bin enclosure

# 1.1.3 FRONT LOADED TERRACE ALLOTMENTS - 7.5M WIDE

## Development Controls

### General

- All development is to be undertaken in accordance with the Development Approval.
- Building setbacks and build-to-boundary wall locations shown are subject to future proposed easements and/or underground services.
- Maximum building height is 3 storeys for all dwellings where permitted in the Plan of Development, and 2 storeys (9m) otherwise. Rooftop terraces are defined as a 'storey'.
- Noise affected allotments are to be developed in accordance with AS3671-1989 Acoustics - Road Traffic Noise Intrusion - building siting and construction<sup>1</sup> to achieve the satisfactory internal noise levels stipulated in AS2107-2000 Acoustics - Recommended design sound levels and reverberation times for building interiors.

### Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified.
- Where Built to Boundary walls are not adopted side setbacks for non-built to boundary walls apply.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets (collector, access street or access place). This excludes those lots that abut a shared access driveway, a laneway, or a pedestrian link landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- Built to Boundary wall shall be no more than 85% of the length of the boundary and may be higher than 3.5m where in accordance with approved house plans and where appropriate building staging and construction techniques are demonstrated.
- Upper floor setbacks must not exceed the minimum ground floor setbacks, including roof top terraces.
- Boundary setbacks are measured to the wall of the structure. Eaves should not encroach closer than 450mm to the lot boundary except in the case of:
  - The Primary Street Frontage where eaves should not be closer than 1500mm; and
  - Walls that are Built to Boundary.
- Roofed gatehouses and arches are permitted within the front setback (and the secondary frontage for corner lots) provided they meet the requirements of the Queensland Development Code, having:
  - a maximum area of 4m<sup>2</sup>; and
  - not more than 2m wide elevation to the street; and
  - not more than 3m height.

### Site Cover and Amenity

- Site cover for each lot is not to exceed that shown in the Plan of Development table.
- Private open space, must be provided and is not less than 15m<sup>2</sup> with a minimum dimension of 3.0m and is directly accessible from a living area.
- On allotments classified as 21m deep, the private open space may be roofed, and may take the form of an upper floor balcony overlooking the primary frontage street.

### Privacy and Overlooking

- Buildings must be sited and designed to provide adequate visual privacy for neighbours:
  - Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5 m:
    - a permanent window and a balcony has a window/balcony screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or
    - a window has a sill height more than 1.5m above the adjacent floor level, or
    - a window has obscure glazing below 1.5m;
  - where Window and Window/Balcony Screen has the same meaning as in the Queensland Development Code.

### Fencing

- Fencing along the primary street frontage must be either 50% transparent or max. 1.2m high. Fencing to secondary street frontages may be screen fencing up to 1.8m high up to the front building line (main facade).

### Parking and Driveways

- For all allotments the following applies:
  - Double garages will not be permitted on a single storey dwelling;
  - Double garages may be permitted where the dwelling is more than one storey in height, and where the garage is setback at least 1m behind the main facade, excluding balconies, of the dwelling;
  - Shared driveways are mandatory where shown on the Plan of Development, except for lots 59, 60, 61, 69, 70 and 71 (where they are optional);
  - The maximum width of a driveway at the lot boundary & where crossing the verge:
    - serving a double garage shall be 4.8m; and
    - serving a single garage shall be 3.0m.

- Parking spaces on driveways do not have to comply with gradients in AS2890.
- A maximum of one driveway per dwelling is permitted.
- Driveways should avoid on-street works such as dedicated on-street parking bays, drainage pits and service pillars.
- The minimum distance of a driveway from an intersection of one street with another street (not a laneway) shall be 6.0 metres.

### Dual Frontage Allotments

- For Front Loaded Terraces that feature a dual frontage (rear boundary adjoining a street or active open space), the following applies:
  - A pedestrian gate must be provided on the rear boundary fence; and
  - A minimum of two (2) or more of the following building articulation measures must be incorporated on the rear façade:
    - verandah / balcony on the upper level;
    - shade structures / hoods over windows;
    - inclusion of window openings / doors with glazing;
    - at least two different materials and at least one horizontal or vertical step in the façade.

### Rainwater Tanks

- All dwellings (including Duplex dwellings) must have:
  - Lots >300m<sup>2</sup> = a 5kL rainwater tank
  - Lots 225-300m<sup>2</sup> = 3kL rainwater tank
  - Lots <225m<sup>2</sup> = no tank required

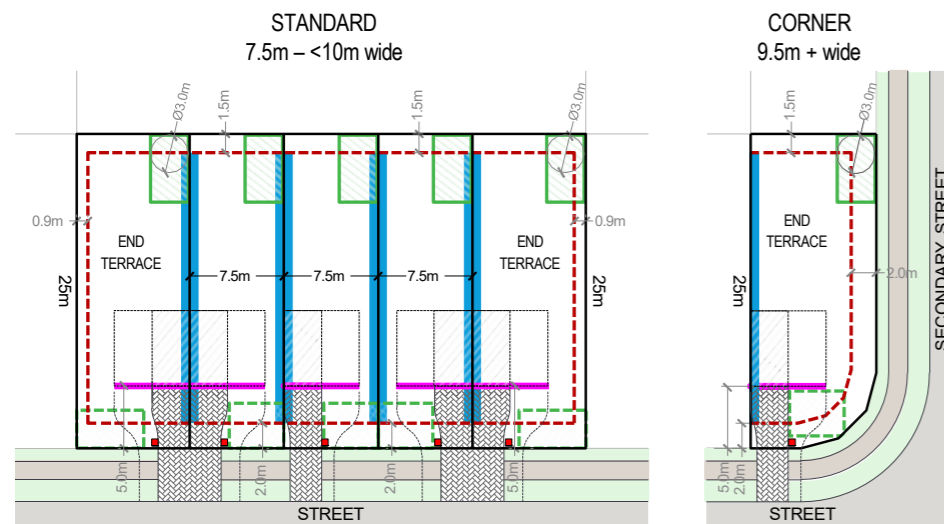
All tanks to residential dwellings must collect a minimum 50% roof area capture. All tanks must supply water to toilets, laundry and have a connection for external usage and must have a backup supply from the main potable water system. The tank must be located outside of the minimum area required for private open space.

## Definitions

### Site Cover

The proportion of the site covered by buildings, including roof overhangs.

## TYPICAL TERRACE ALLOTMENTS (FRONT LOADED)



### LEGEND

- Lot boundary
- Maximum building envelope (ground floor)
- Building setback dimensions
- Mandatory built to boundary wall
- Garage setback from front boundary
- Preferred private open space location
- Alternative location for private open space
- Single garage for single storey dwelling double garage when 2 storey dwelling
- Indicative driveway location
- Preferred letterbox location

## PLAN OF DEVELOPMENT TABLE

	TERRACE ALLOTMENTS 7.5M-<10M WIDE (FRONT LOADED)	
	Ground Floor	First Floor
<b>Front &amp; Rear (metres)</b>		
Front / Primary Frontage	2.0	2.0
Garage	5.0	n/a
Rear	1.5	1.5
<b>Side (metres)</b>		
Built to Boundary	0.0	0.0
Non Built to Boundary <sup>1</sup>	0.9	0.9
Corner Lots — Secondary Frontage	2.0	2.0
<b>Garage and On-site Car Parking</b>		
On site parking requirements (minimum)	1 space to be covered and enclosed. Single or tandem garages are acceptable. Double garages are permitted on two storey dwellings only.	
Garage Location	Garages are to be located along the built to boundary wall.	
Site Cover (maximum)	75%	

<sup>1</sup> 1.5m where abutting a laneway as per the Laneway Terrace Allotments Diagram

# 1.1.4 URBAN ALLOTMENTS

## Development Controls

### General

- All development is to be undertaken in accordance with the Development Approval.
- All building setbacks and built to boundary walls are subject to service easements existing and proposed.
- Maximum building height is 2 storeys (9m) for all dwellings. Rooftop terraces are defined as a 'storey'.

### Setbacks

- Setbacks are as per the Plan of Development Table, unless dimensioned otherwise on plan.
- Setbacks are measured to the wall of the building or structure. Eaves may extend into the side and rear setbacks up to 450mm from the property boundary. Eaves may extend up to the street boundary for Type A and B Urban lots. Eaves may extend up to the street boundary for Type A and B Urban Lots and 1000mm for Type C Urban Lots.
- Upper floor setbacks must be in accordance with minimum ground floor setbacks.
- Built to Boundary Walls:
  - Built to boundary wall dimensions are limited by the boundary setbacks and building height limit. Building plans and details of appropriate development staging and construction methods must be submitted for approval;
  - where not adopted, the setbacks for non built to boundary walls in the Plan of Development Table apply.
- Roofed gatehouses and arches are permitted within the front setback (and the secondary frontage for corner lots) provided they meet the requirements of the Queensland Development Code, having:
  - a maximum area of 4m<sup>2</sup>; and
  - not more than 2m wide elevation to the street; and
  - not more than 3m in height.

- a maximum area of 4m<sup>2</sup>; and
- not more than 2m wide elevation to the street; and
- not more than 3m in height.

### Privacy & Overlooking

- Buildings must be sited and designed to provide adequate visual privacy for neighbours:
  - Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5 m:
    - a permanent window and a balcony has a window/balcony screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or
    - a window has a sill height more than 1.5m above the adjacent floor level, or
    - a window has obscure glazing below 1.5m;

where: Window and Window/Balcony Screen has the same meaning as in the Queensland Development Code.

### Parking and Driveways

- A maximum of one driveway is permitted per lot.
- Driveways are to have the following widths:
  - single driveway: maximum 3.5m;
  - shared double driveways are mandatory where shown on plan.
- Driveways are to avoid on-street works such as: dedicated parking bays, drainage inlets, service pillars, street planting beds and bio-retention areas.

- The minimum distance of a driveway from an intersection of one street with another street (not a laneway) shall be 6.0m.
- Parking spaces and driveways do not have to comply with gradients in AS2890

### Site Cover and Amenity

- Site cover for each lot is not to exceed that shown in the Plan of Development table.
- Private open space may be roofed and must meet the following requirements:
  - Type A: 6m<sup>2</sup> at ground level
  - Type B: 9m<sup>2</sup> at ground level
  - Type C: 12m<sup>2</sup> at ground level

### Fencing

- Fencing to all street and park frontages must not be higher than 1.5m or must be 50% transparent. Terrace and urban lots may have fencing along the street to 1.5m to provide appropriate privacy.

### Rainwater Tanks

- For lots <225m<sup>2</sup>, no tank is required.

### Definitions

#### Site Cover

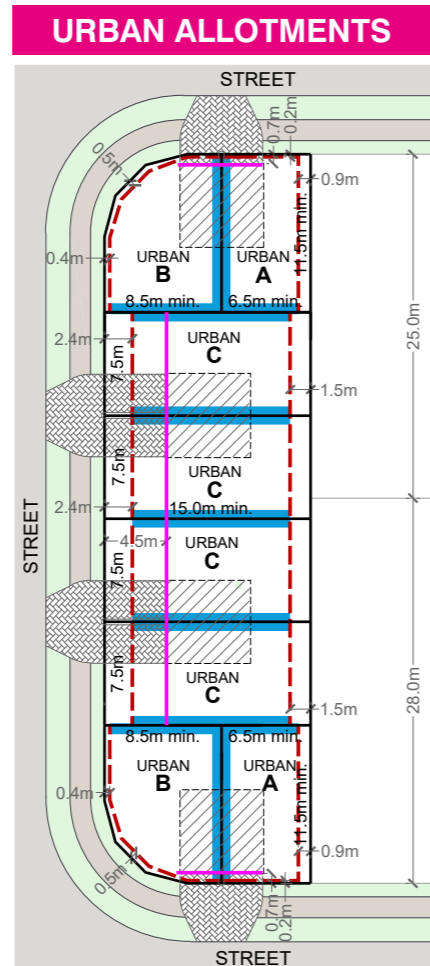
The proportion of the site covered by buildings, including roof overhangs.

## SETBACKS

PLAN OF DEVELOPMENT TABLE	URBAN ALLOTMENTS		URBAN ALLOTMENTS	
	Type A & B		Type C	
	Ground Floor	First Floor	Ground Floor	First Floor
<b>Front &amp; Rear</b>				
Front / Primary Frontage	0.2	0.2	2.4	2.4
Garage	0.7 (mandatory)	n/a	4.5	n/a
Rear	0.0	0.0	1.5	1.5
<b>Side</b>				
Built to Boundary	0.0	0.0	0.0	0.0
Non Built to Boundary	0.9	0.9	0.9	0.9
Corner Lots — Secondary frontage	as shown	as shown	1.5	1.5
<b>Garage and On-site Car Parking</b>				
On site parking requirements (minimum)	1 space to be covered and enclosed. Single or tandem garage acceptable. Double garages not permitted.		1 space to be covered and enclosed. Single or tandem garage acceptable. Double garages not permitted.	
Garage location	Garages are to be located along the built to boundary wall.		Garages are to be located along the built to boundary wall.	
Site Cover (maximum)	85%		85%	

### LEGEND

- Lot boundary
- - - Maximum building envelope (ground floor)
- 1.0m Building setback dimensions
- Mandatory built to boundary wall
- Garage setback from front boundary
- ▨ Indicative garage location
- ▨ Indicative driveway location
- ▨ Preferred private open space location
- ▨ Alternate private open space location
- ▨ Single garage for single storey dwelling double garage when 2 storey dwelling
- Preferred letterbox location



# 1.1.5 TERRACE ALLOTMENTS (ATTACHED) - 6.2M WIDE

## Development Controls

### General

- All development is to be undertaken in accordance with the Development Approval.
- Building setbacks and built to boundary wall locations shown are subject to future proposed easements and/or underground services.
- Maximum building height is 3 storeys for all dwellings where permitted in the Plan of Development, and 2 storeys (9m) otherwise. Rooftop terraces are defined as a 'storey'.

### Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified.
- Where Built to Boundary walls are not adopted side setbacks for non-built to boundary walls apply.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets (collector, access street or access place). This excludes those lots that abut a shared access driveway, a laneway, or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- Built to Boundary Walls:
  - Built to boundary wall dimensions are limited by the boundary setbacks and building height limit. Building plans and details of appropriate development staging and construction methods must be submitted for approval;
  - where not adopted, the setbacks for non built to boundary walls in the Plan of Development Table apply.
- Boundary setbacks are measured to the wall of the structure. Eaves should not encroach closer than 450mm to the lot boundary except in the case of:
  - The Primary Street Frontage where eaves should not be closer than 1950mm;
  - Walls that are Built to Boundary.
- Upper floor setbacks must not exceed the minimum ground floor setbacks, including roof top terraces.
- Roofed gatehouses and arches are permitted within the front setback (and the secondary frontage for corner lots)

- provided they meet the requirements of the Queensland Development Code, having:
  - a maximum area of 4m<sup>2</sup>; and
  - not more than 2m wide elevation to the street; and
  - not more than 3m in height.

### Site Cover and Amenity

- Site cover for each lot is not to exceed that shown in the Plan of Development table.
- Private amenity space, must be provided and is not less than 15m<sup>2</sup> with a minimum dimension of 2.5m and is directly accessible from a ground floor living area.

### Privacy & Overlooking

- Buildings must be sited and designed to provide adequate visual privacy for neighbours:
    - Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5m:
      - a permanent window and a balcony has a window/ balcony screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or
      - a window has a sill height more than 1.5m above the adjacent floor level, or
      - a window has obscure glazing below 1.5m;
- where: Window and Window/Balcony Screen has the same meaning as in the Queensland Development Code.

### Fencing

- Fencing along the primary street frontage must be either 50% transparent or max. 1.2m high. Fencing to secondary street frontages may be screen fencing up to 1.8m high up to the front building line (main facade).

### Parking and Driveways

- For all allotments the following applies:
  - Double garages are permitted on any corner lot if the dwelling is more than one storey and where the garage is setback at least 1m behind the main facade, excluding balconies, of the dwelling;

- The maximum width of a driveway at the lot boundary & where crossing the verge:
  - serving a double garage shall be 4.8m; and
  - serving a single garage shall be 3.0m.
- Shared driveways are mandatory where shown on the Plan of Development.

- Parking spaces on driveways do not have to comply with gradients in AS2890.
- A maximum of one driveway per dwelling is permitted.
- Driveways should avoid on-street works such as dedicated on-street parking bays, drainage pits and service pillars.
- The minimum distance of a driveway from an intersection of one street with another street (not a laneway) shall be 6.0 metres.

### Façade Treatment and Passive Ventilation

- On all terrace lots the main façade (facing the primary street frontage) must comprise at least two different materials and at least one horizontal or vertical step in the façade.
- Each dwelling unit must not present the same façade design to the street as the immediate adjoining dwelling/s.
- The design of the dwelling must consider passive ventilation and natural light provision through a combination of the following elements:
  - inclusion of a mid-block courtyard space, light wells or recess that extends into the dwelling to allow multiple rooms to have windows/openings onto that space;
  - each living area that adjoins an external wall (not built to boundary) has an open-able window or door.

### Rainwater Tanks

- For lots <225m<sup>2</sup>, no tank is required.

### Definitions

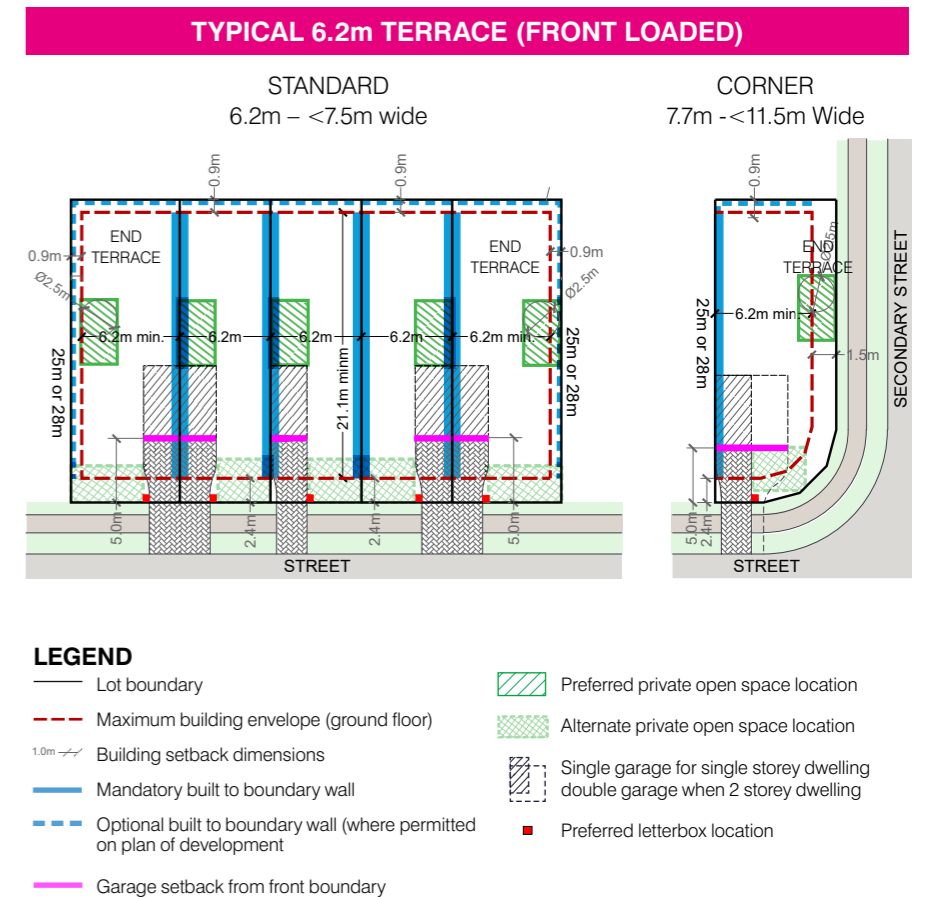
#### Site Cover

The proportion of the site covered by buildings, including roof overhangs.

## SETBACKS

PLAN OF DEVELOPMENT TABLE	TERRACE ALLOTMENTS 6.2M- <7.5M WIDE	
	Ground Floor	First Floor
<b>Front and Rear (metres)</b>		
Front / Primary Frontage	2.4	2.4
Garage	5.0m for single, tandem or double garages	n/a
<b>Rear (metres)</b>		
Built to Boundary	0.0	0.0
Non Built to Boundary	0.9	0.9
<b>Side (metres)</b>		
Built to Boundary	0.0	0.0
Non Built to Boundary <sup>1</sup>	0.9	0.9
Corner Lots — Secondary street frontage	1.5	1.5
Corner Lots where secondary frontage shares a boundary with a laneway or linear open space or ped link	0.9	0.9
<b>Garage and On-site Car Parking</b>		
On site parking requirements (minimum)	1 space to be covered and enclosed. Single or tandem garages acceptable. Double garages are not permitted other than a dwelling of more than 1 storey on a corner lot. Garages are to be located along the built to boundary wall.	
Site Cover (maximum)	85%	

<sup>1</sup> 1.5m where abutting a laneway as per the Laneway Terrace Allotments Diagram



### LEGEND

- Lot boundary
- - - Maximum building envelope (ground floor)
- 1.0m Building setback dimensions
- Mandatory built to boundary wall
- - - Optional built to boundary wall (where permitted on plan of development)
- Garage setback from front boundary
- ▨ Preferred private open space location
- ▨ Alternate private open space location
- ▨ Single garage for single storey dwelling double garage when 2 storey dwelling
- Preferred letterbox location

# 1.1.6 URBAN LOFTS - A, B & C

## Development Controls

### General

- All development is to be undertaken in accordance with the Development Approval.
- All building setbacks and built to boundary walls are subject to service easements existing and proposed.
- Maximum building height is 2 storeys (9m) for all dwellings or 3 storeys where identified on a Fixed Elements Plan or Plan of Development. Rooftop terraces are defined as a 'storey'.

- Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5m:
  - a permanent window and a balcony has a window/balcony screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or
  - a window has a sill height more than 1.5m above the adjacent floor level; or
  - a window has obscure glazing below 1.5m; where: Window and Window/Balcony Screen has the same meaning as in the Queensland Development Code.

### Setbacks

- Setbacks are as per the Plan of Development Table, unless dimensioned otherwise on plan. Setbacks are measured to the wall of the building or structure. Eaves may extend into the front, side and rear setbacks up to 450mm from the property boundary except in the case of:
  - to a laneway: up to the property boundary;
  - where a wall is built to boundary.
- Upper floor setbacks must be in accordance with minimum ground floor setbacks.
- Built to Boundary Walls:
  - built to boundary wall dimensions are limited by the boundary setbacks and building height limit. Building plans and details of appropriate development staging and construction methods must be submitted for approval;
  - where not adopted, the setbacks for non built to boundary walls in the Plan of Development Table apply.

### Privacy & Overlooking

- Buildings must be sited and designed to provide adequate visual privacy for neighbours:

### Parking and Driveways

- Doubles garages are permitted only on Loft type A and C lots and not on Loft type B. On Loft Type A lots a double garage may only front the secondary street and on Loft type C only the laneway.
- A maximum of one driveway is permitted per lot.
- Driveways are to have the following widths:
  - single driveway: maximum 3.0m;
  - double driveway: maximum 4.8m to a secondary street and to a laneway, the minimum width required to facilitate vehicle access.
- Driveways are to avoid on-street works such as: dedicated parking bays, drainage inlets, service pillars, street planting beds and bio-retention areas.
- The minimum distance of a driveway from an intersection of one street with another street (not a laneway) shall be 6.0 metres.
- Parking spaces on driveways do not have to comply with gradients in AS2890.

### Site Cover and Amenity

- Site cover for each lot is not to exceed that shown in the Plan of Development table.
- Private amenity space must be provided and may be roofed and take the form of an upper floor balcony or rooftop terrace that is not less than 8m<sup>2</sup> with a minimum dimension of 2.5m and accessible from an upper floor living area.

### Fencing

- Fencing along the street frontage may be up to 1.2m.

### Facade Treatment and Passive Ventilation

- On all terrace lots the main facade (facing the primary street frontage) must comprise at least two different materials and at least one horizontal or vertical step in the facade.
- Each dwelling unit must not present the same facade design to the street as the immediate adjoining dwelling/s.
- The design of the dwelling must consider passive ventilation. Each living area that adjoins an external wall (not built to boundary) must have an open-able window or door.

### Rainwater Tanks

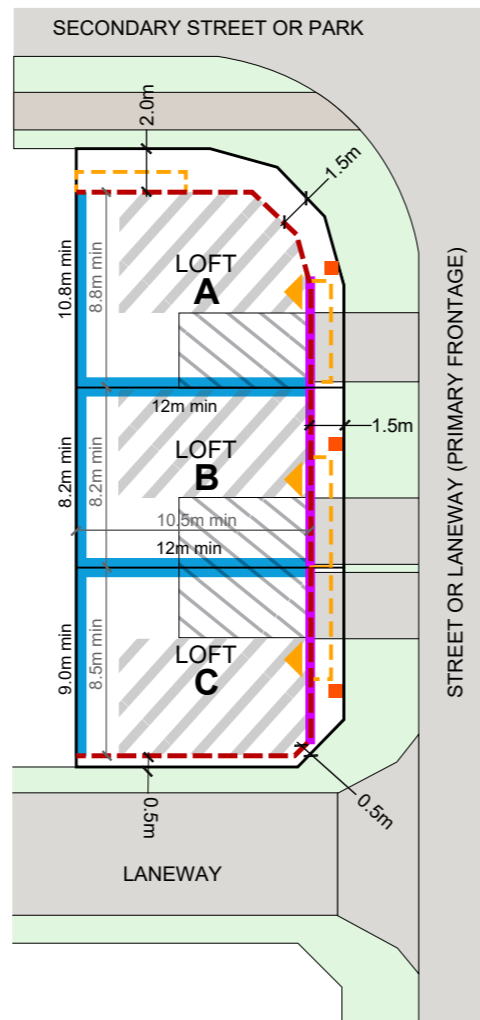
- For lots <225m<sup>2</sup>, no tank is required.

### Definitions

#### Site Cover

The proportion of the site covered by buildings, including roof overhangs.

## URBAN LOFT ALLOTMENTS



### LEGEND

- Lot boundary
- Maximum building envelope
- Protrusion for upper floor balconies and awnings
- Recommended built to boundary wall
- Indicative garage location
- Building envelope dimensions
- Setback dimensions
- Ground floor office/shop - indicative extent
- Combined residential/commercial entrance
- Indicative letterbox location

## SETBACKS

PLAN OF DEVELOPMENT TABLE	URBAN LOFT ALLOTMENTS					
	Type A		Type B		Type C	
	Ground Floor	Upper Floors	Ground Floor	Upper Floors	Ground Floor	Upper Floors
<b>Front / Primary Street Frontage</b>						
Front	1.5	1.5 <sup>1</sup>	1.5	1.5 <sup>1</sup>	1.5	1.5 <sup>1</sup>
Garage	0.7	n/a	0.7	n/a	0.7	0.7
Rear	0.0	0.0	0.0	1.5	0.0	0.0
<b>Side</b>						
Built to Boundary	0.0	0.0	0.0	0.0	0.0	0.0
Non Built to Boundary	n/a	n/a	n/a	n/a	n/a	n/a
Corner Lots — Secondary Street	2.0	2.0 <sup>1</sup>	n/a	n/a	0.5	0.5
<b>Garage and On-site Car Parking</b>						
On site parking requirements (minimum)	1 space to be covered and enclosed. Single garage acceptable. Double garages are permitted only where fronting the secondary street. Garages are to be located along the built to boundary wall.		1 space to be covered and enclosed. Single garage acceptable. Double garages are not permitted. Garages are to be located along the built to boundary wall.		1 space to be covered and enclosed. Single garage acceptable. Double garages permitted only where fronting laneway. Garages are to be located along the built to boundary wall.	
Site Cover (maximum)	90%		95%		95%	

<sup>1</sup> Upper floor balconies and awnings may protrude up to 1.0m into the boundary setback

# 1.1.7 URBAN WAREHOUSE ALLOTMENTS

## Development Controls

### General

- All development is to be undertaken in accordance with the Development Approval.
- All building setbacks and built to boundary walls are subject to service easements existing and proposed.
- Maximum building height is 3 storeys for all dwellings where permitted in the Plan of Development, and 2 storeys (9m) otherwise. Rooftop terraces are defined as a 'storey'.

### Setbacks

- Setbacks are as per the Plan of Development Table, unless dimensioned otherwise on plan. Setbacks are measured to the wall of the building or structure. Eaves may extend into the front, side and rear setbacks up to 450mm from the property boundary except in the case of:
  - to a laneway: up to the property boundary;
  - where a wall is built to boundary.
- Upper floor setbacks must be in accordance with minimum ground floor setbacks.
- Built to Boundary Walls:
  - built to boundary wall dimensions are limited by the boundary setbacks and building height limit. Building plans and details of appropriate development staging and construction methods must be submitted for approval;
  - where not adopted, the setbacks for non built to boundary walls in the Plan of Development Table apply.

- Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5 m:
  - a permanent window and a balcony has a window/balcony screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or
  - a window has a sill height more than 1.5m above the adjacent floor level; or
  - a window has obscure glazing below 1.5m; where: Window and Window/Balcony Screen has the same meaning as in the Queensland Development Code.

### Parking and Driveways

- Doubles garages are permitted on Warehouse Type A and B. A double garage may front the secondary street on Warehouse Type A lots.
- A maximum of one driveway is permitted per lot.
- Driveways are to have the following widths:
  - single driveway: maximum 3.0m;
  - double driveway: maximum 4.8m to a secondary street and to a laneway, the minimum width required to facilitate vehicle access.
- Driveways are to avoid on-street works such as: dedicated parking bays, drainage inlets, service pillars, street planting beds and bio-retention areas.
- The minimum distance of a driveway from an intersection of one street with another street (not a laneway) shall be 6.0 metres.
- Parking spaces on driveways do not have to comply with gradients in AS2890.

### Privacy & Overlooking

- Buildings must be sited and designed to provide adequate visual privacy for neighbours:

### Site Cover and Amenity

- Site cover for each lot is not to exceed that shown in the Plan of Development table.
- Private amenity space must be provided and may be roofed and take the form of an upper floor balcony or rooftop terrace that is not less than 8m<sup>2</sup> with a minimum dimension of 2.5m and accessible from an upper floor living area.

### Fencing

- Fencing along the street frontage may be up to 1.2m.

### Facade Treatment and Passive Ventilation

- On all terrace lots the main facade (facing the primary street frontage) must comprise at least two different materials and at least one horizontal or vertical step in the facade.
- Each dwelling unit must not present the same facade design to the street as the immediate adjoining dwelling/s.
- The design of the dwelling must consider passive ventilation. Each living area that adjoins an external wall (not built to boundary) must have an open-able window or door.

### Rainwater Tanks

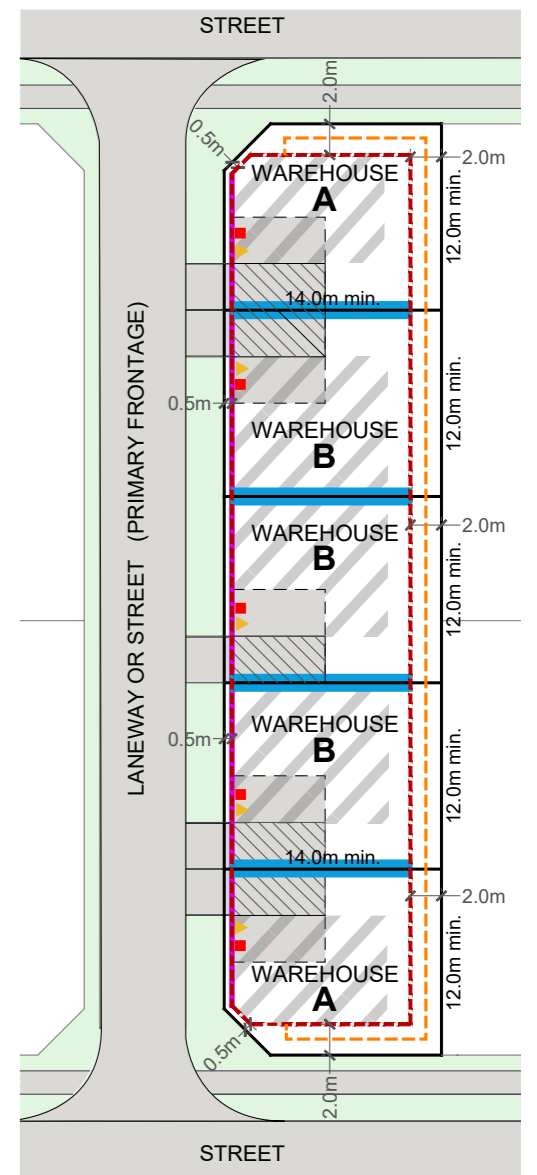
- For lots <225m<sup>2</sup>, no tank is required.

### Definitions

#### Site Cover

The proportion of the site covered by buildings, including roof overhangs.

## URBAN WAREHOUSE ALLOTMENTS



## SETBACKS

PLAN OF DEVELOPMENT TABLE	URBAN WAREHOUSE ALLOTMENTS			
	Type A		Type B	
	Ground Floor	Upper Floors	Ground Floor	Upper Floors
<b>Front / Primary Street Frontage</b>				
Front	0.5	0.5	0.5	0.5
Garage	0.5	n/a	0.5	n/a
Rear	2.0	2.0 <sup>1</sup>	2.0	2.0 <sup>1</sup>
<b>Side</b>				
Built to Boundary	0.0	0.0	0.0	0.0
Non Built to Boundary	n/a	n/a	n/a	n/a
Corner Lots — Secondary Street	2.0	2.0 <sup>1</sup>	n/a	n/a
<b>Garage and On-site Car Parking</b>				
On site parking requirements (minimum)	1 space to be covered and enclosed. Single garage acceptable. Double garages are permitted. Garages are to be located along the built to boundary wall.		1 space to be covered and enclosed. Single garage acceptable. Double garages are permitted. Garages are to be located along the built to boundary wall.	
Site Cover (maximum)	90%		95%	

<sup>1</sup> Upper floor balconies and awnings may protrude up to 1.0m into the boundary setback

### LEGEND

- Lot boundary
- Maximum building envelope
- Protrusion for upper floor balconies and awnings
- Recommended built to boundary wall
- Indicative garage location
- Permittable double garage location
- Setback dimensions
- Ground floor office/shop - indicative extent
- Combined residential/commercial entrance
- Indicative letterbox location

# 1.1.8 URBAN TERRACE & SOHO ALLOTMENTS

## Development Controls

### General

- All development is to be undertaken in accordance with the Development Approval.
- Building setbacks and built to boundary walls are subject to service easements existing and proposed.
- Maximum building height is 11m for all dwellings.

### Setbacks

- Setbacks are as per the Plan of Development Table, unless dimensioned otherwise on plan.
- Built to Boundary Walls:
  - Built to boundary wall dimensions are limited by the boundary setbacks and building height limit. Building plans and details of appropriate development staging and construction methods must be submitted for approval;
  - where not adopted, the setbacks for non built to boundary walls in the Plan of Development Table apply.
- Boundary setbacks are measured to the wall of the building. Eaves should not encroach closer than 450mm to the lot boundary except in the case of:
  - The Primary and Secondary Frontages where eaves should not be closer than 1500mm;
  - Side boundary setback to a street or open space (corner lot) where eaves should not be closer than 550mm; and
  - Walls that are built to boundary.
- Entrance porticoes/porches are permitted to extend up to 1.0m into the Primary and Secondary Frontage setback provided the height of the portico does not exceed 4.5m, the portico remains open and not enclosed and the width of the portico is limited to the front entry area only.
- Upper floor setbacks must not exceed the minimum ground floor setbacks, including roof top terraces.
- Roofed gatehouses and arches are permitted within the boundary setback of the Primary and Secondary frontages of the lot provided they meet the requirements of the Queensland Development Code, having:
  - a maximum area of 4m<sup>2</sup>; and
  - not more than 2m wide elevation to the street; and
  - not more than 3m in height

### Site Cover and Amenity

- Site cover for each lot is not to exceed that shown in the Plan of Development table except where the dwelling is

in accordance with approved house plans and where appropriate building staging and construction techniques have been demonstrated.

- Private open space must be provided, may be roofed, is not less than 9m<sup>2</sup> with a minimum dimension of 2.5m, is directly accessible from a living area of the dwelling, and may be a balcony, veranda or rooftop terrace.

### Privacy & Overlooking

- Buildings must be sited and designed to provide adequate visual privacy for neighbours. Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5m:
  - a permanent window and a balcony has a window/balcony screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or
  - a window has a sill height more than 1.5m above the adjacent floor level, or
  - a window has obscure glazing below 1.5m;
  - where Window and Window/Balcony Screen has the same meaning as in the Queensland Development Code.

### Fencing

- Fencing along street boundaries and boundaries shared with open space must be either 50% transparent or max. 1.2m high.

### Parking and Driveways

- Double garages must be setback at least 0.5m behind the main residential facade, excluding balconies and porches, of the dwelling.
- A maximum of one driveway per dwelling is permitted.
- Shared driveways are mandatory where shown on plan.
- The maximum width of a driveway at the lot boundary & where crossing the verge:
  - serving a double garage shall be 4.8m at the property boundary tapering to 4.0m at the kerb; and
  - when shared between adjoining lots: 7.0m along the property boundary and 4.8m at the kerb.
- Driveways should avoid on-street works such as dedicated on-street parking bays, street trees, drainage pits and service pillars.
- The minimum distance of a driveway from an intersection of one street with another street shall be 6.0 metres.

### SOHO Allotments

- Business uses on-site must address the open space or road.
- The business component may either be operated a Home-Based Business with a maximum GFA for the business use of 50m<sup>2</sup>, or as a business/shop use that can be leased independently of the residential use, in which case the business GFA may not exceed 90m<sup>2</sup> and the premises must comply with applicable requirements for fire separation.
- The area shown on plan for the business use is indicative only and may adopt a different shape or extent (may extend further into the lot or extend over the ground and first floors) provided it addresses the business frontage of the lot directly.
- Business must present a shopfront to open space or a road with:
  - significant glazing into the ground floor;
  - a clearly designated customer entry/shop door;
  - a small awning over the customer entry 1.0m deep and min 1.0m wide; and
  - signage on the face of the building or awning that is integrated into the design of the building and does not visually dominate.
- SOHO lot must provide a minimum of 2 parking spaces on site
  - 1 covered; and
  - 1 may be uncovered and provided in tandem.
- Signage advertising the business is not permitted on the residential frontage of the allotment.
- Signage must be in accordance with the Sunshine Coast Planning Scheme 2014.
- Service areas and bin storage areas must not be visible from the street or open space.

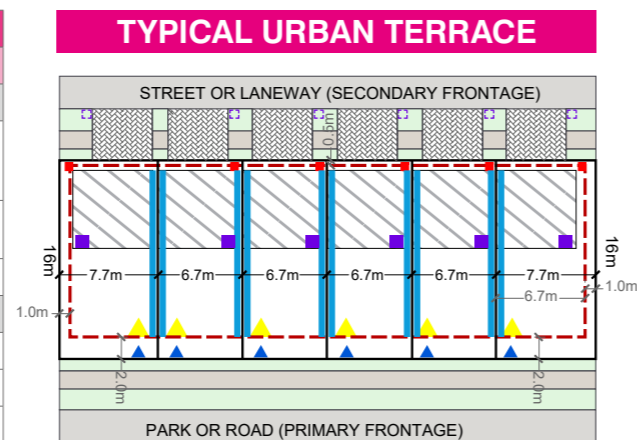
## Definitions

### Site Cover

Site cover – the total area of the roof of the building (dwelling and business/shop premises combined) expressed as a percentage of the lot area, but which includes eave overhangs.

## SETBACKS

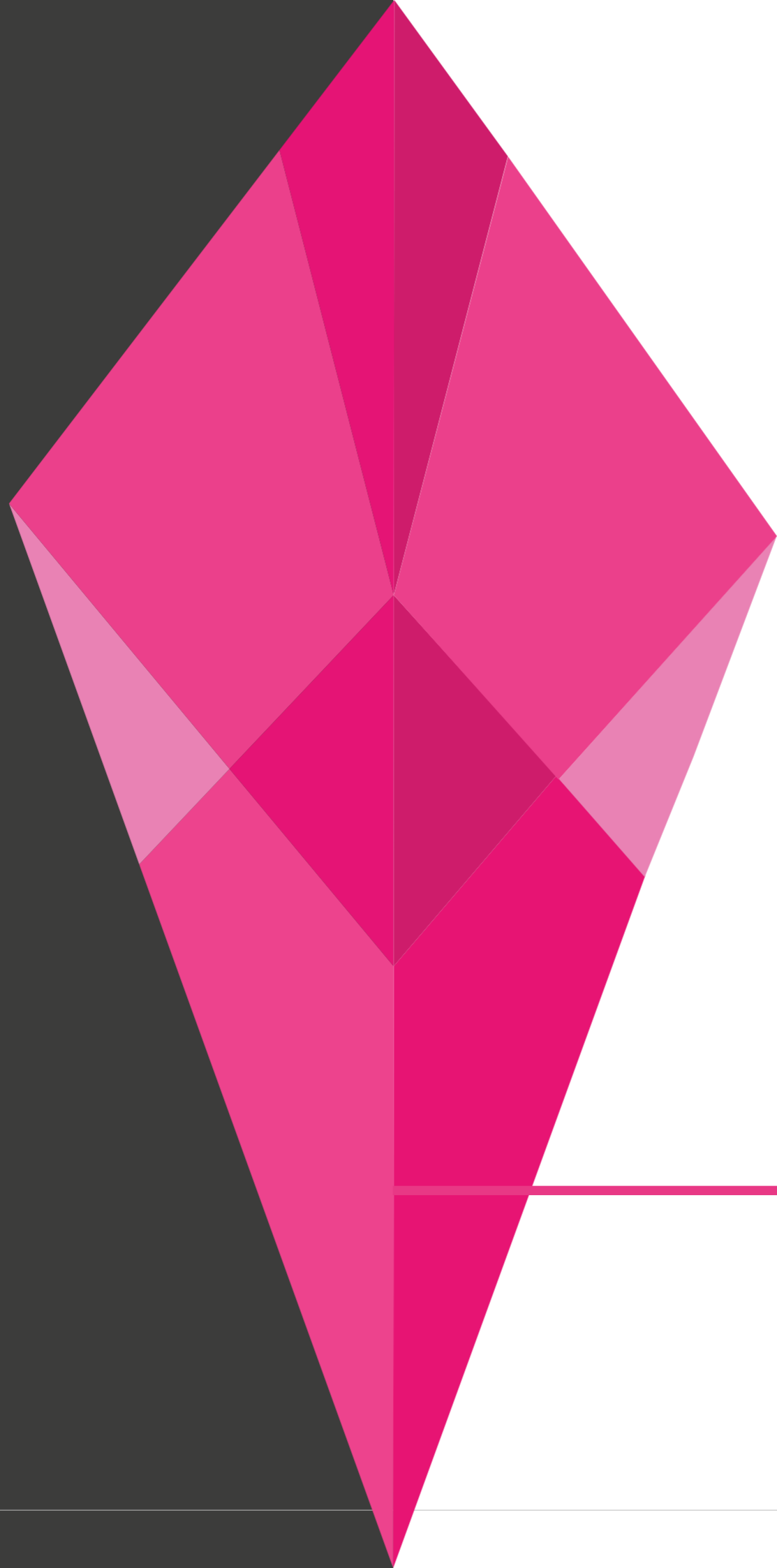
PLAN OF DEVELOPMENT TABLE	SOHO ALLOTMENTS		URBAN ALLOTMENTS	
	Ground Floor	First Floor	Ground Floor	First Floor
<b>Front</b>				
Primary Frontage (Business Frontage for SOHO Lots)	2.0	2.0	2.0	2.0
- Allowable Protrusion into Setback for Front Porches	1.0	n/a	1.0	n/a
Garage	n/a	n/a	n/a	n/a
<b>Side</b>				
Built to Boundary	0.0	0.0	0.0	0.0
Non Built to Boundary	1.0	1.0	1.0	1.0
Corner Lots (to street or open space)	1.5	1.5	1.0	1.0
<b>Rear</b>				
Secondary Frontage (Residential Frontage for SOHO Lots)	2.0	2.0	n/a	n/a
Rear	n/a	n/a	0.5	0.5
Garage	4.5	n/a	1.0	n/a
<b>Garage and On-site Car Parking</b>				
On site parking requirements (minimum)	1 space to be covered and enclosed AND 1 space uncovered (may be in tandem). Single & tandem garages acceptable. Double garages not permitted. Garages are to be located along the built to boundary wall.		1 space to be covered and enclosed. Single, tandem or double garage acceptable. Garages are to be located along the built to boundary wall.	
Site Cover (maximum)	85%		85%	



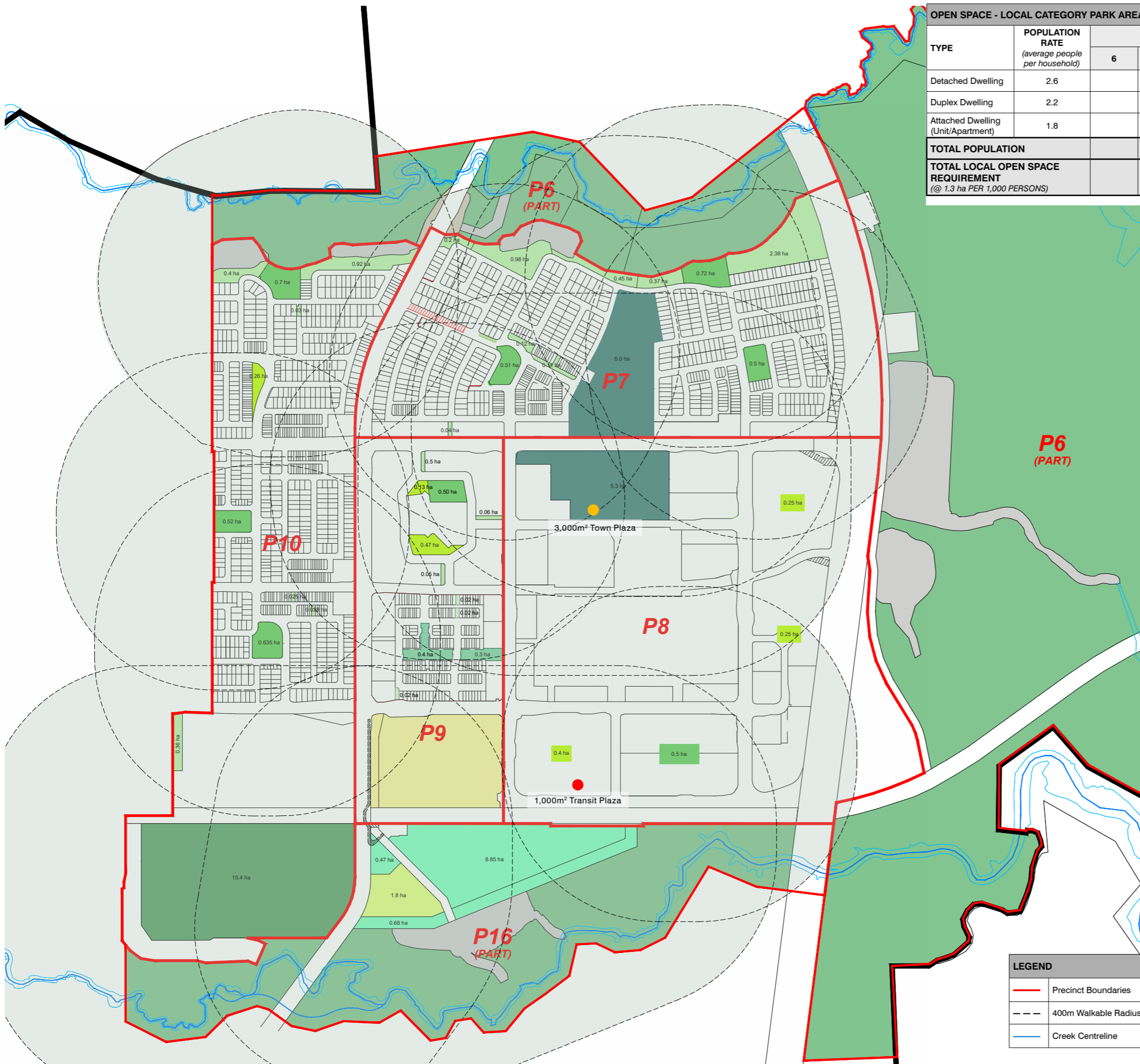
### LEGEND

- Lot boundary
- - - Maximum building envelope
- Mandatory built to boundary wall
- ▨ Required garage location - Double garage
- 1.0m — Setback dimensions
- 1.0m — Setback dimensions
- Indicative letterbox location
- ▲ Residential front door to address street
- ▲ Gated entry onto street or park
- Internal Bin Storage Location - indicative
- Bin Collection location





## APPENDIX K OPEN SPACE NETWORK PLAN



OPEN SPACE - LOCAL CATEGORY PARK AREA REQUIREMENTS											
TYPE	POPULATION RATE (average people per household)	PRECINCT						TOTAL POPULATION			
		6	7	8	9	10	16				
Detached Dwelling	2.6		682 dw	1,773 ppl			175 dw	455 ppl	788 dw	2,049 ppl	4,277 ppl
Duplex Dwelling	2.2		26 dw	57 ppl					36 dw	79 ppl	136 ppl
Attached Dwelling (Unit/Apartment)	1.8		400 dw	720 ppl	1,950 dw	3,510 ppl	896 dw	1,613 ppl	100 dw	180 ppl	6,023 ppl
<b>TOTAL POPULATION</b>			<b>1,108 dw</b>	<b>2,550 ppl</b>	<b>1,950 dw</b>	<b>3,510 ppl</b>	<b>1,071 dw</b>	<b>2,068 ppl</b>	<b>924 dw</b>	<b>2,308 ppl</b>	<b>10,436 ppl</b>
<b>TOTAL LOCAL OPEN SPACE REQUIREMENT (@ 1.3 ha PER 1,000 PERSONS)</b>				<b>3.316 ha</b>	<b>4.563 ha</b>		<b>2.688 ha</b>		<b>3.0 ha</b>		<b>13.567 ha</b>

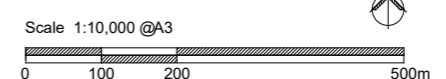
OPEN SPACE - LOCAL CATEGORY PARK AREAS PROVISION							
PARK TYPE	PRECINCT						TOTAL PARK
	6	7	8	9	10	16	
Neighbourhood Park		1.733 ha	0.50 ha	0.500 ha	1.849 ha		4.58 ha
Local Park			0.90 ha	1.376 ha	0.258 ha		2.53 ha
Local Linear Park		4.703 ha		0.253 ha	1.760 ha		6.71 ha
<b>TOTAL</b>		<b>6.436 ha</b>	<b>1.40 ha</b>	<b>2.129 ha</b>	<b>3.867 ha</b>		<b>13.82 ha</b>

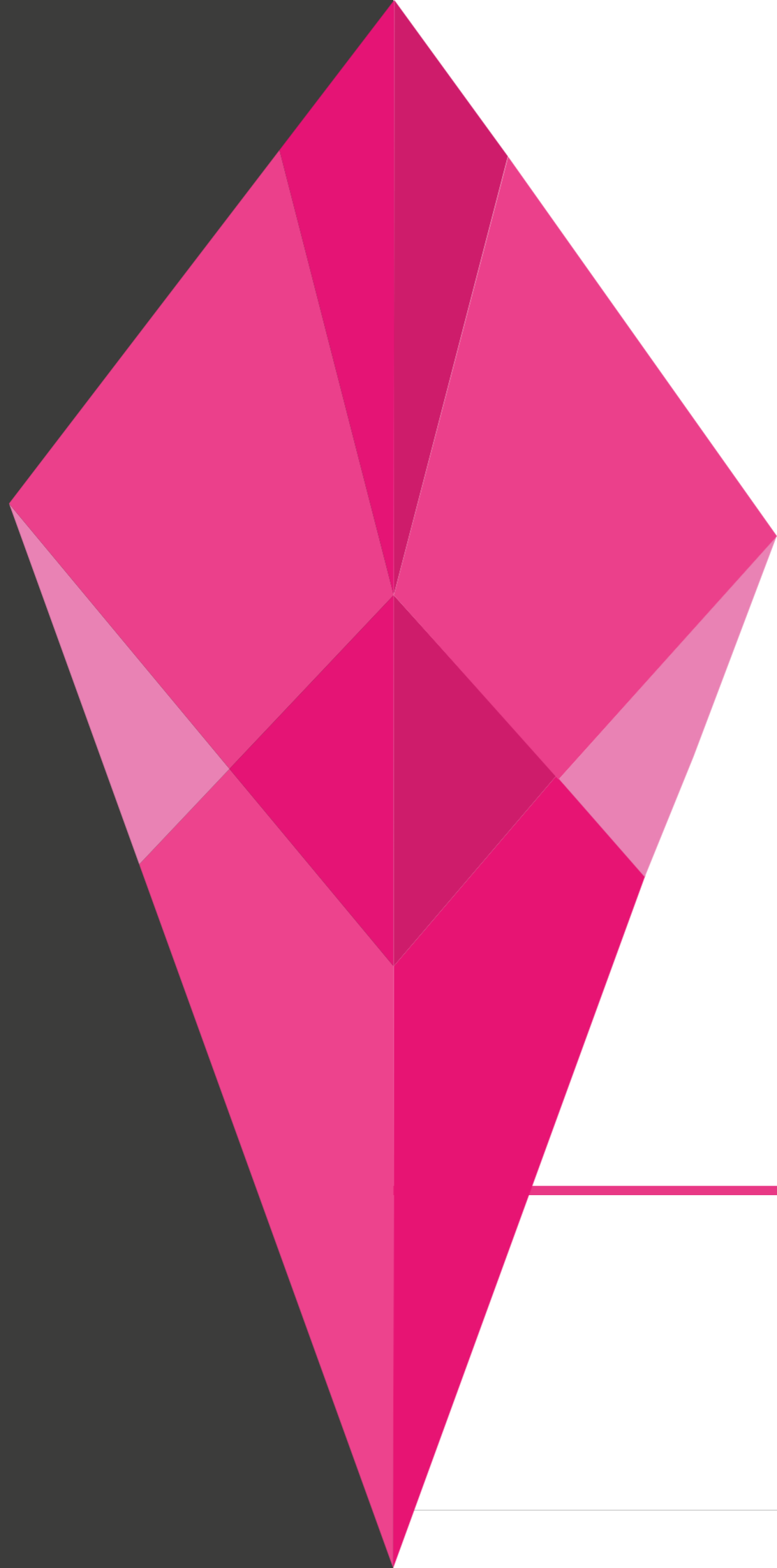
- LOCAL PARK ALLOCATION NOTES:**
- The local park provision is calculated at 1.3 hectares per 1,000 population.
  - All residential precincts comply with the minimum Neighbourhood Park provision requirement inclusive of 400m catchment.
  - The Other Residential (Retirement Facility / Resort operated under the Manufactured Homes (Residential Parks) Act 2003) Site in Sub-Precinct 10.1 will be required to meet its own private open space requirements.
  - District Linear Park areas will be captured in future development precincts.

OPEN SPACE - MAJOR AND DISTRICT CATEGORY PARK AREAS PROVISION							
PARK TYPE	PRECINCT						TOTAL
	6	7	8	9	10	16	
Major Sports Park					15.4 ha		15.4 ha
Major Recreation Park						10.0 ha	10.0 ha
Major Sports Facility						1.8 ha	1.8 ha
People's Place		6.0 ha	5.0 ha				11.0 ha
<b>TOTAL</b>		<b>6.0 ha</b>	<b>5.0 ha</b>		<b>15.4 ha</b>	<b>11.8 ha</b>	<b>38.2 ha</b>

OPEN SPACE - OTHER							
PARK TYPE	PRECINCT						TOTAL
	6	7	8	9	10	16	
Town Centre Plaza (Public)			3000m <sup>2</sup>				3000m <sup>2</sup>
Transit Plaza			1000m <sup>2</sup>				1000m <sup>2</sup>
<b>TOTAL</b>			<b>4000m<sup>2</sup></b>				<b>4000m<sup>2</sup></b>

LEGEND	
	Precinct Boundaries
	400m Walkable Radius
	Creek Centreline





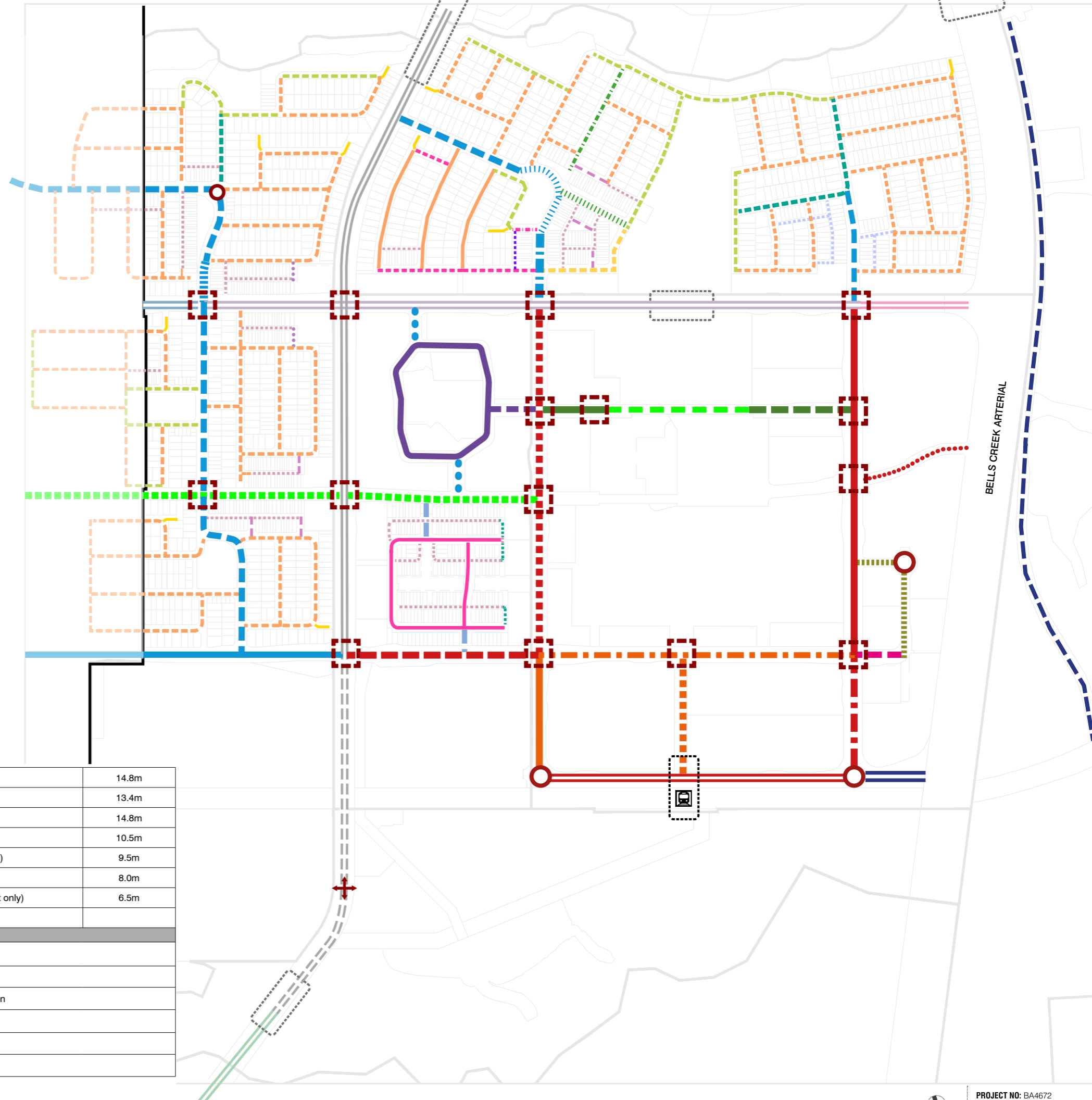
## APPENDIX L ROAD HIERARCHY & CROSS-SECTIONS

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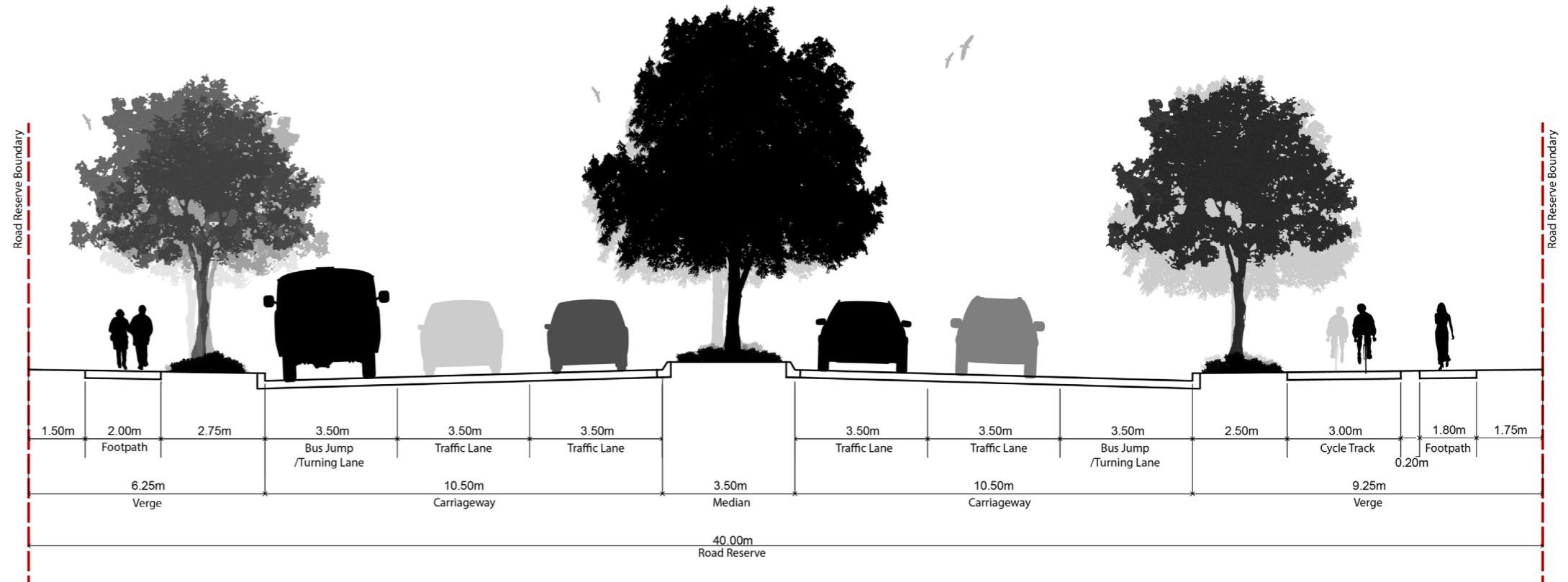
**LEGEND**

SUB-ARTERIAL ROADS		
	Sub-Arterial 1	40.0m
	Sub-Arterial 1 (2 Lanes)	40.0m
	Sub-Arterial 1	27.5m
	Sub-Arterial 2A	29.0m (30.72m reserve for bus bay widening)
	Sub-Arterial 2B	34.0m
	Sub-Arterial 2 (parking both sides)	34.0m
CONNECTOR ROADS		
TRUNK		
	Trunk Connector	24.0m
	Green Street	24.0m
NEIGHBOURHOOD		
	Neighbourhood Connector with 3.5m Median	28.4m
	Neighbourhood Connector with 2.5m Median	25.0m
	Neighbourhood Connector with 3.5m Median	22.5m
	Neighbourhood Connector Esplanade	16.5m
	Neighbourhood Connector	22.5m (24.0m in Precinct 7.1B only)
	Neighbourhood Connector F	24.0m
CENTRE		
	Centre Connector — One Way	20.8m
	Centre Connector (CC1A)	31.0m
	Centre Connector (CC1B)	34.0m
	Centre Connector (CC1C)	36.0m
	Centre Connector (CC1D)	36.0m
	Centre Connector (CC2)	24.0m
	Centre Connector (CC2A)	24.0m
	Centre Connector (CC2B)	24.0m - 31.0m
	Centre Connector (CC3)	21.0m
	Centre Connector (CC3A)	25.3m
	Centre Connector (CC3B)	28.8m
	Centre Connector — Transit Esplanade	30.0m
	BCA Southern Connection	Varies
ACCESS STREETS		
	Local Access with Median (Precinct 9 south only)	22.5m
	Service Road	20.0m
	Access Street - Green Link	17.5m
	Access Street - Green Link B	17.8m
	Access Street - Urban	17.5m
	Access Street - Display Village (7.5m wide carriageway)	16.5m
	Access Street - Standard (7.5m wide carriageway)	15.5m / 16.0m (16.0m wide in Precinct 7 only)
	Access Street E	22.65m
	Green Link - Wider Reserve for Existing Sewer Easement (7.5m wide carriageway)	18.75m
	Access Street A - No Residential Access (6.5m wide carriageway)	16.0m
	Access Street B - Residential Access (5.5m wide carriageway)	16.0m
	Urban Access Street (A3)	19m
	Centre Access Street	16.75m
	Seamless Connection	18.0m (min.)
	Access Street - Esplanade (6.5m wide carriageway)	13.5m

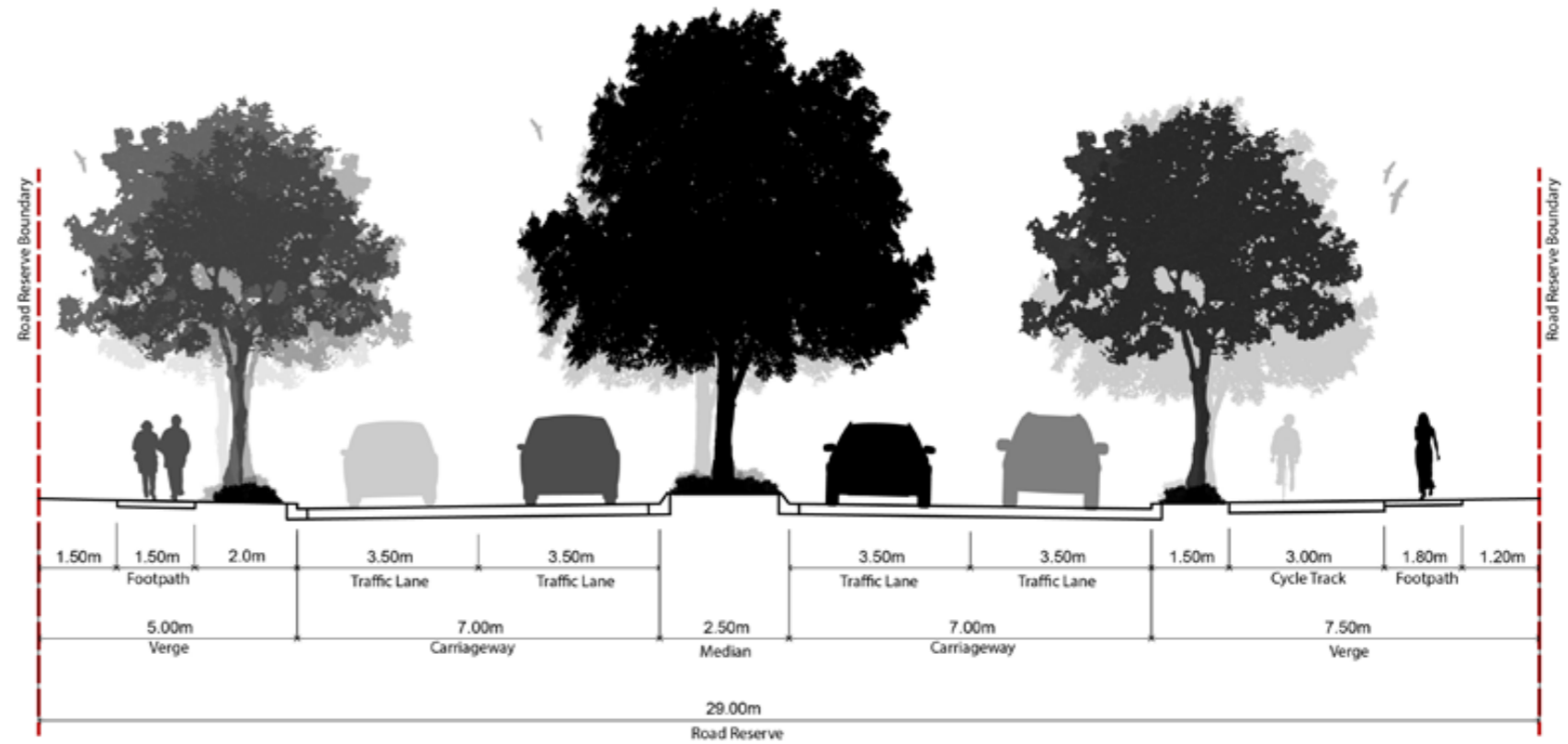
	Laneway Link 1 (Parking)	14.8m
	Laneway Link 2 (Parking)	13.4m
	Laneway Link 3 (Parking)	14.8m
	Laneway 10.5m	10.5m
	Laneway 9.5m (Display Village)	9.5m
	Laneway 8.0m	8.0m
	Laneway 6.5m (Precinct 7 east only)	6.5m
	4.5m Concrete Driveway	
INTERSECTIONS		
	Signalised Intersection	
	Roundabout	
	Unsignalised 4-way Intersection	
	Transit Hub	
	Train station	
	Pedestrian Underpass	



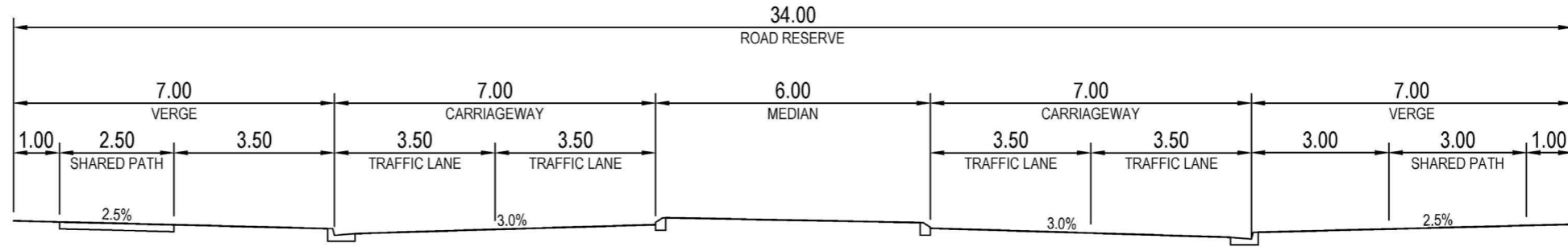
# SUB-ARTERIAL 1 40.0M



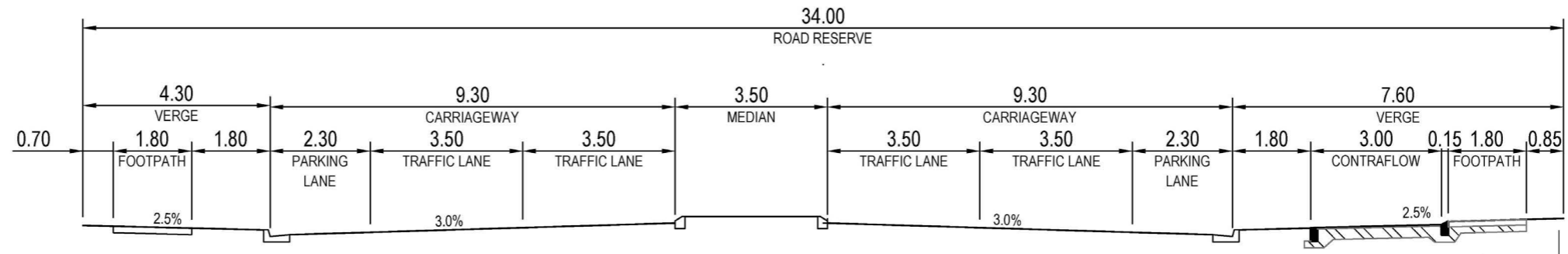
# SUB-ARTERIAL 2A 29.0M



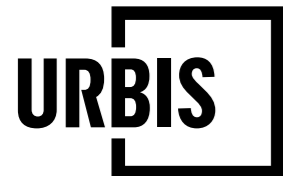
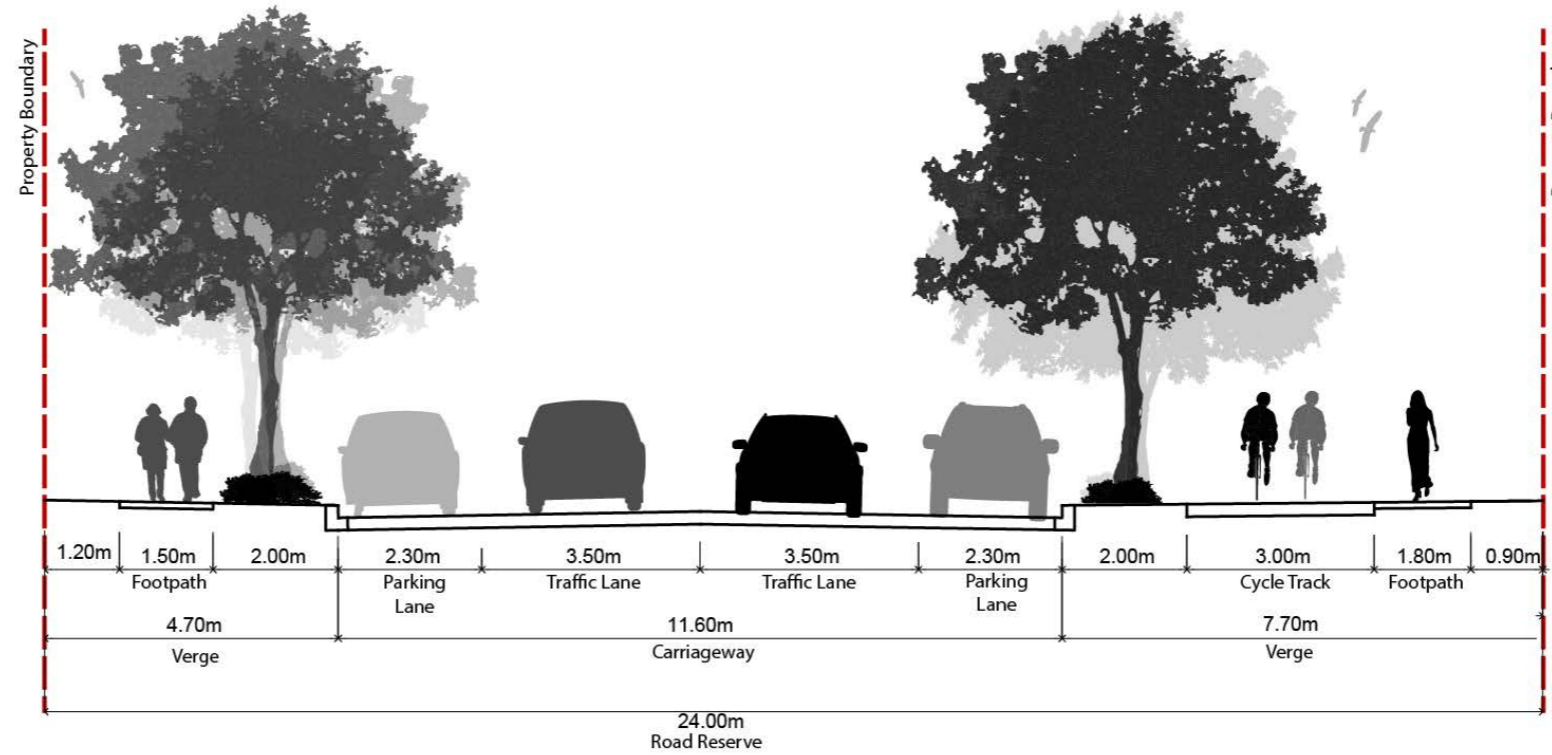
# SUB-ARTERIAL 2B 34.0M



# SUB-ARTERIAL 2 34.0M

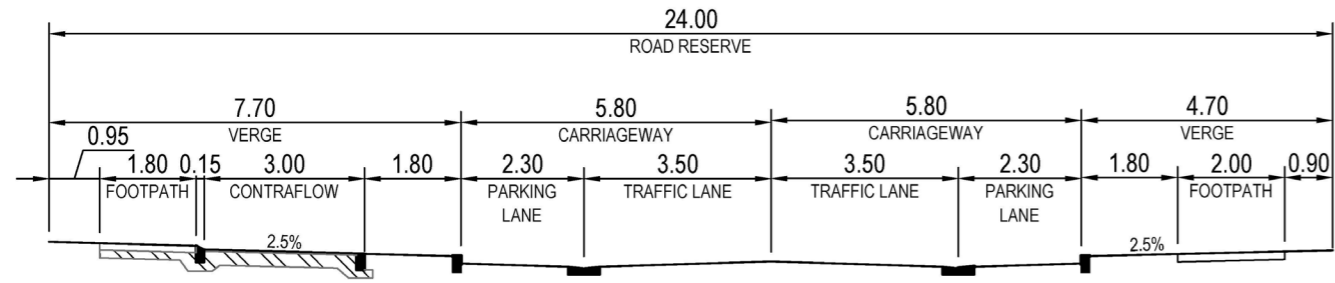


# TRUNK CONNECTOR 24.0M

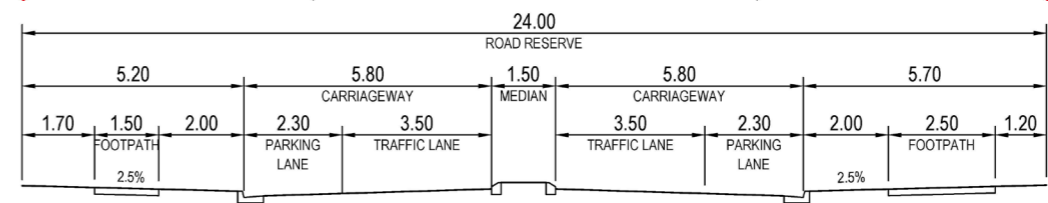
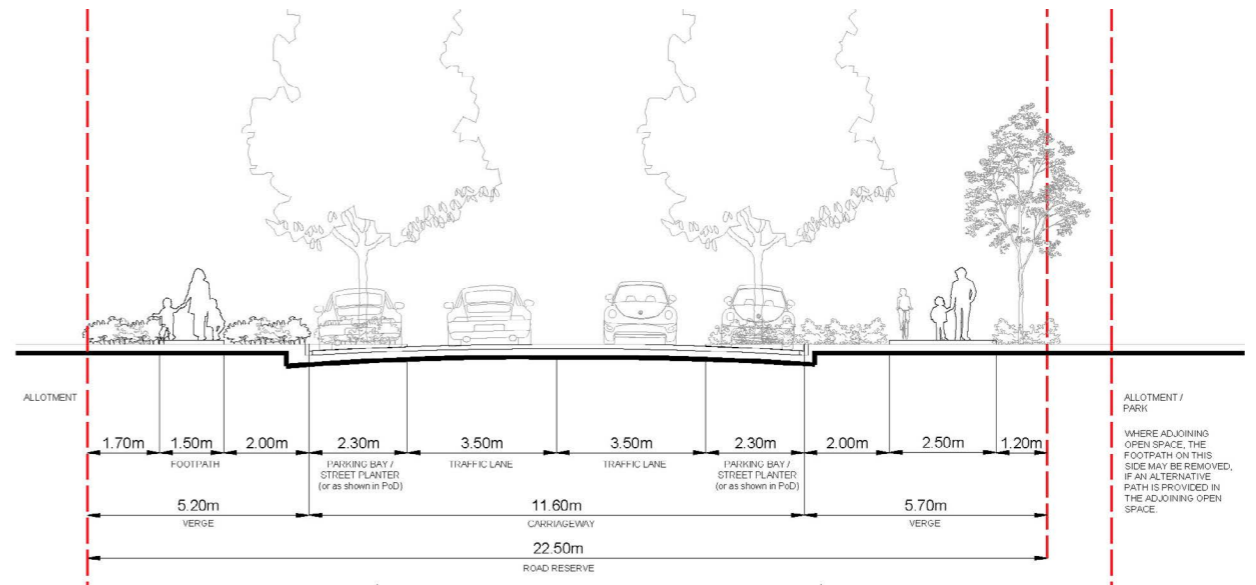


**AURA**  
ROAD CROSS SECTIONS

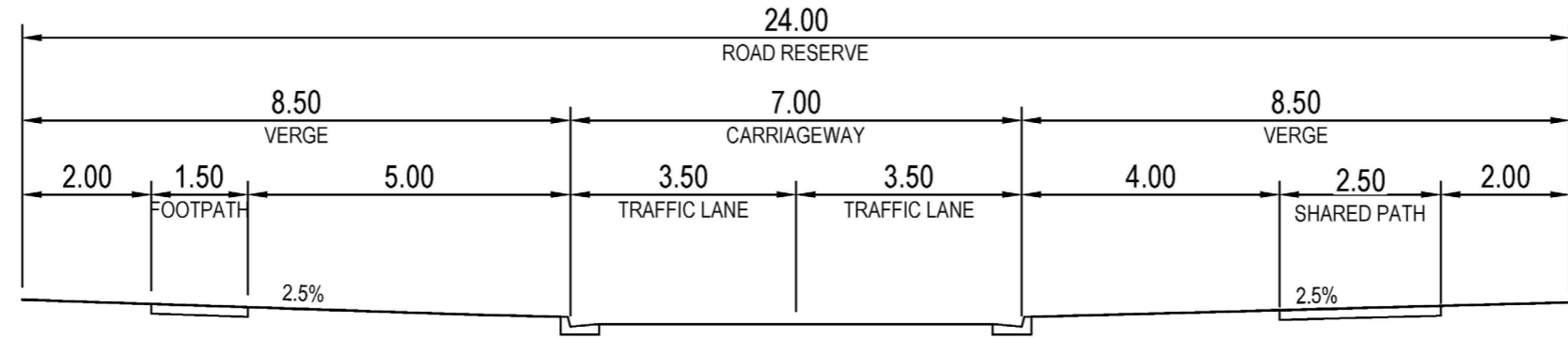
# GREEN STREET - 24.0M



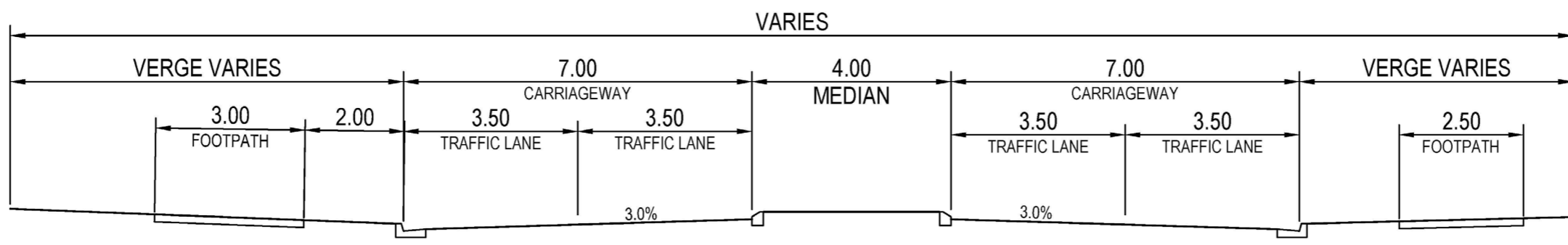
# NEIGHBOURHOOD CONNECTOR - 22.5M (24M IN PRECINCT 7.1B)



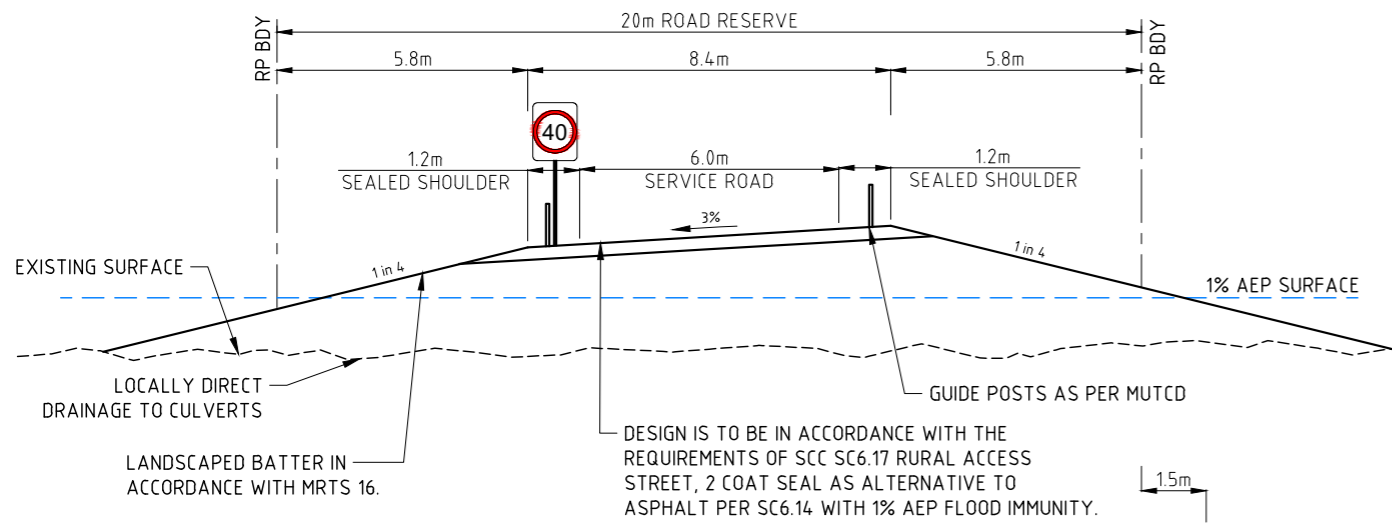
# NEIGHBOURHOOD CONNECTOR F - 24.0M



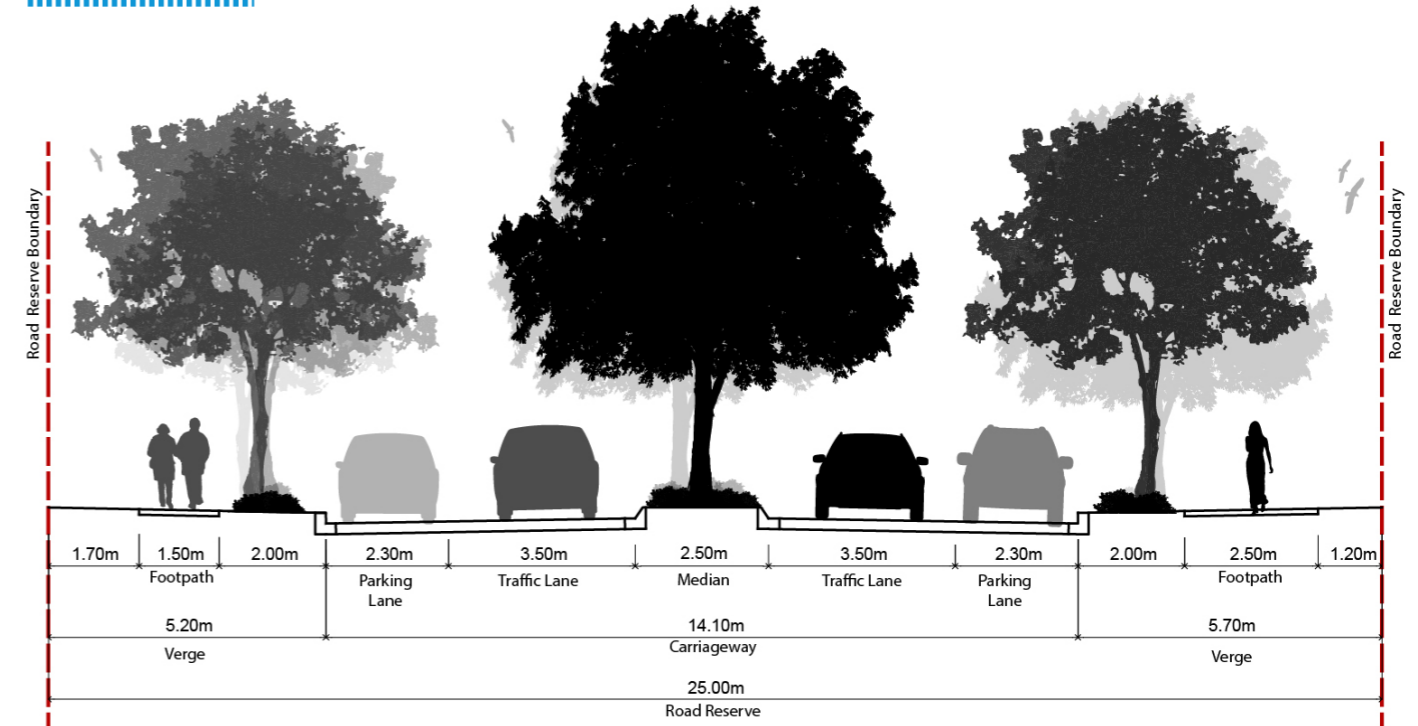
# BCA SOUTHERN CONNECTOR - VARIES



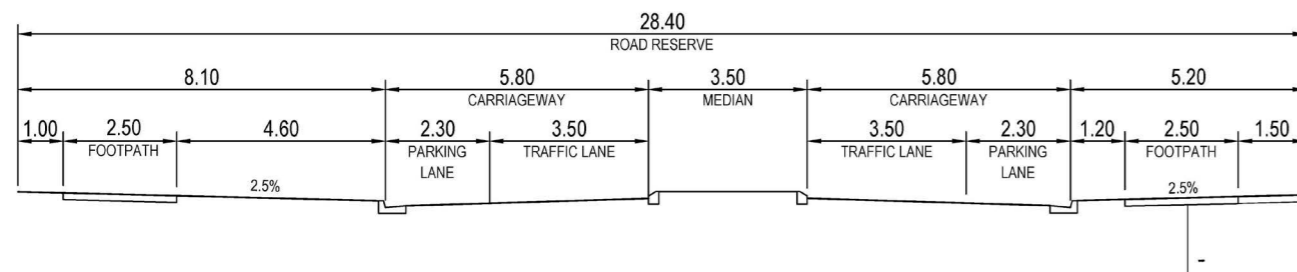
# SERVICE ROAD 20.0M



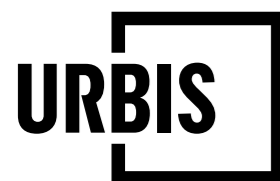
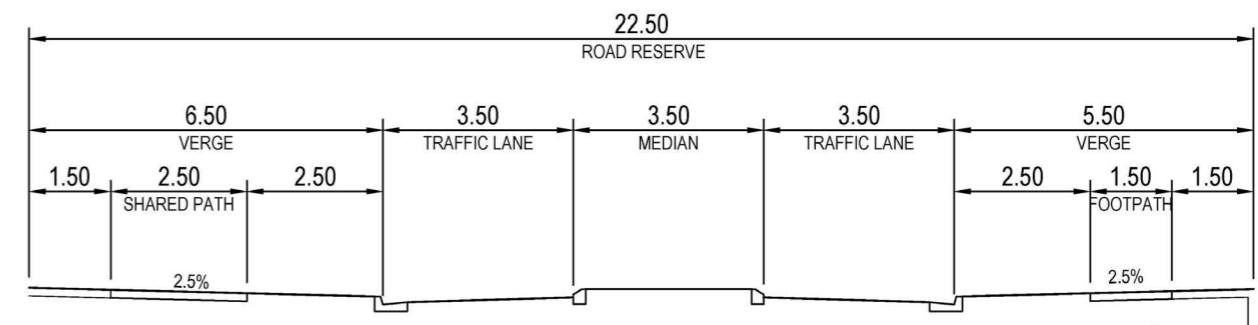
# NEIGHBOURHOOD CONNECTOR WITH 2.5M MEDIAN - 25.0M



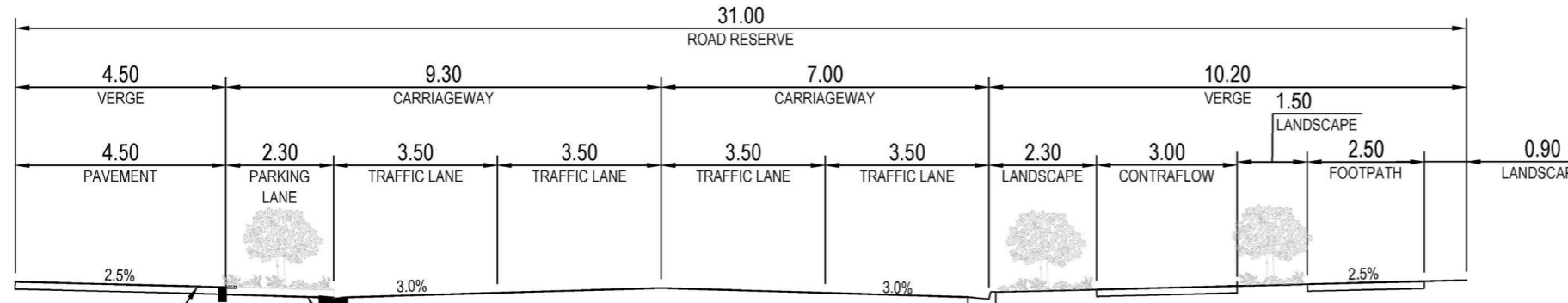
# NEIGHBOURHOOD CONNECTOR WITH 3.5M MEDIAN - 28.4M



# NEIGHBOURHOOD CONNECTOR WITH 3.5M MEDIAN - 22.5M



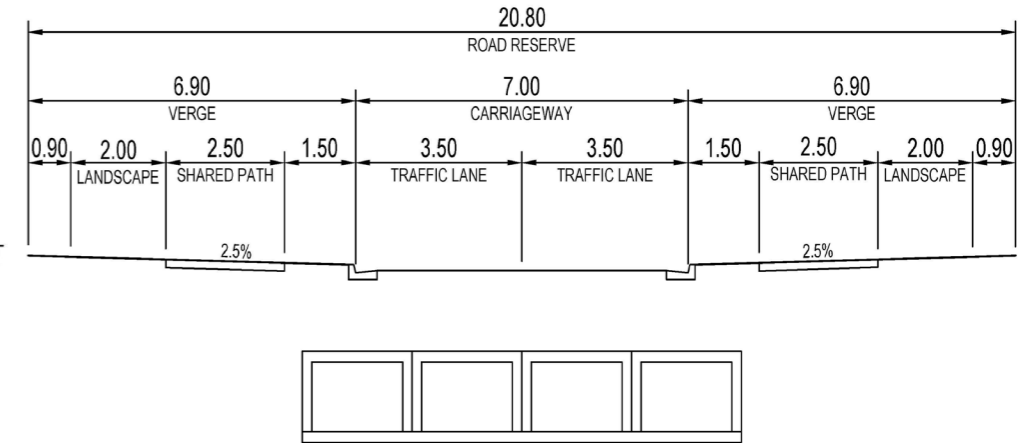
# CENTRE CONNECTOR (CC1A) 31.0M



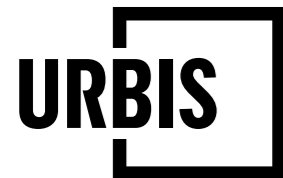
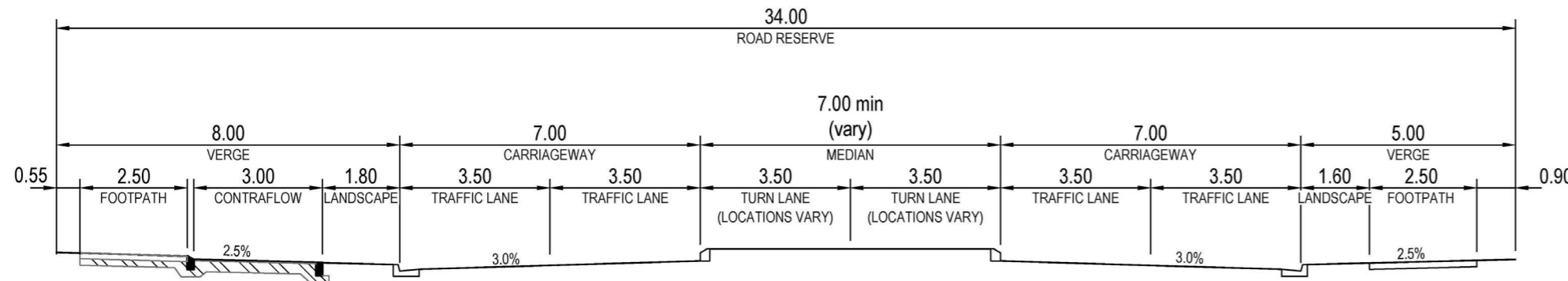
AREAS TO BE PROVIDED WITHIN FOOTPATH TO ALLOW FOR STREET TREE PLANTER BEDS OR FURNITURE

STREET PLANTER BUILD OUTS TO BE PROVIDED BETWEEN PARKING BAYS

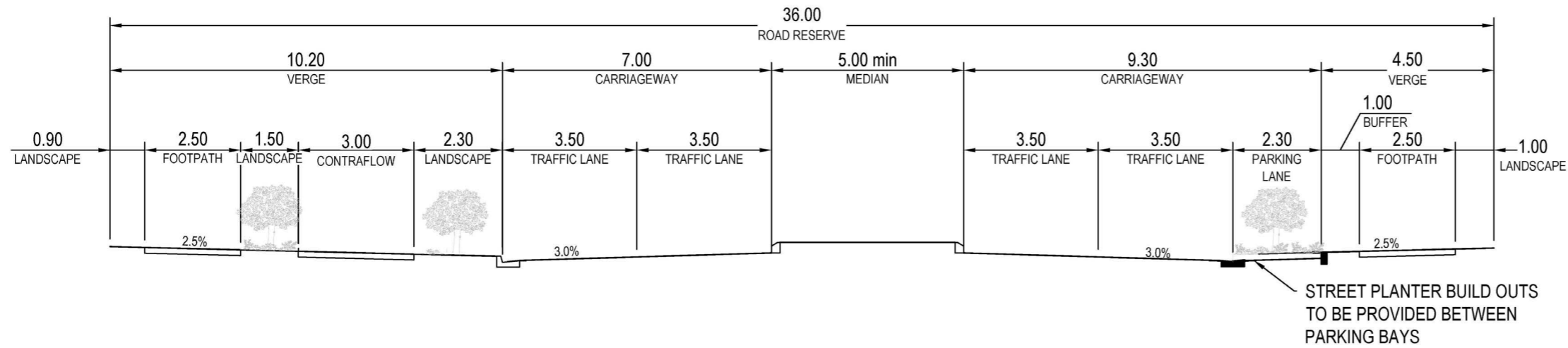
# CENTRE CONNECTOR (ONE WAY) 20.8M



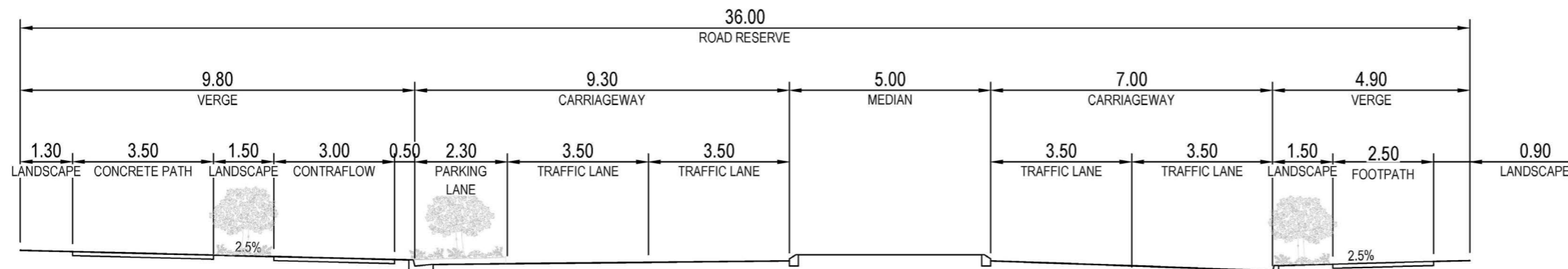
# CENTRE CONNECTOR (CC1B) 34.0M



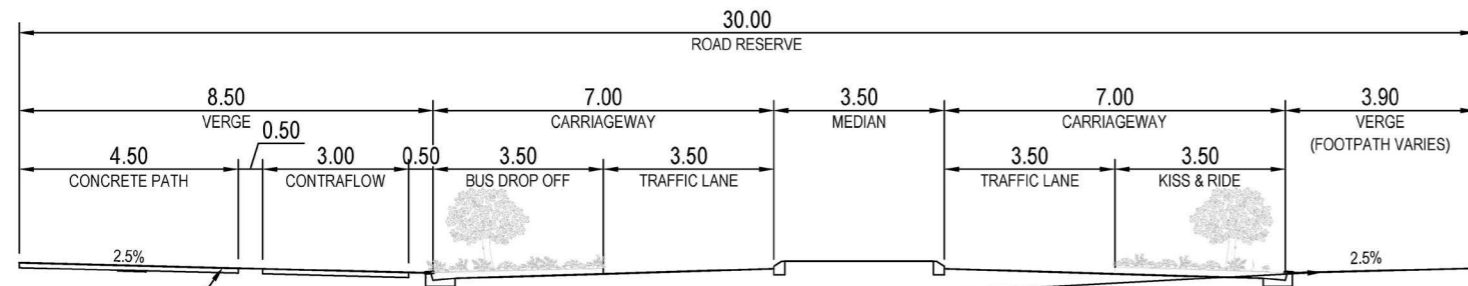
# CENTRE CONNECTOR (CC1C) 36.0M



# CENTRE CONNECTOR (CC1D) 36.0M

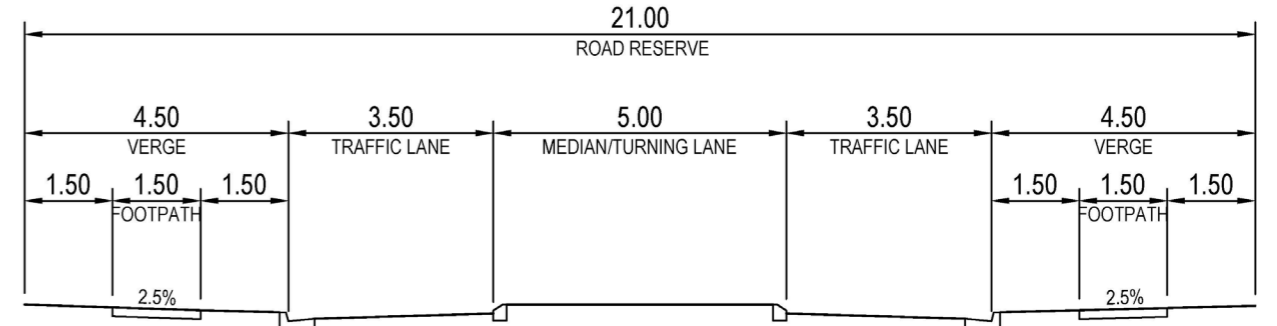


# CENTRE CONNECTOR - TRANSIT ESPLANADE 30.0M

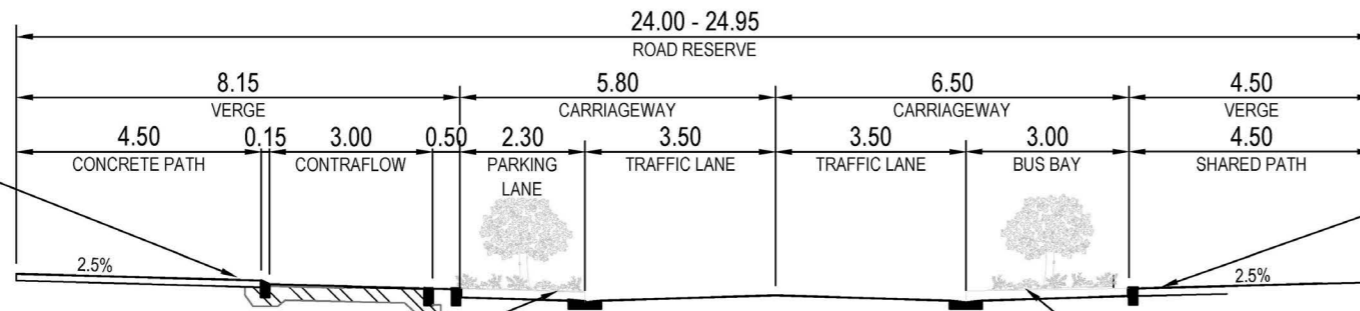


AREAS TO BE PROVIDED WITHIN FOOTPATH TO ALLOW FOR STREET TREE PLANTER BEDS OR FURNITURE

# CENTRE CONNECTOR (CC3) - 21.0M



# CENTRE CONNECTOR (CC2) 24.0M

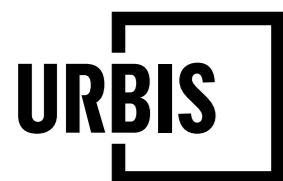


AREAS TO BE PROVIDED WITHIN FOOTPATH TO ALLOW FOR STREET TREE PLANTER BEDS OR FURNITURE

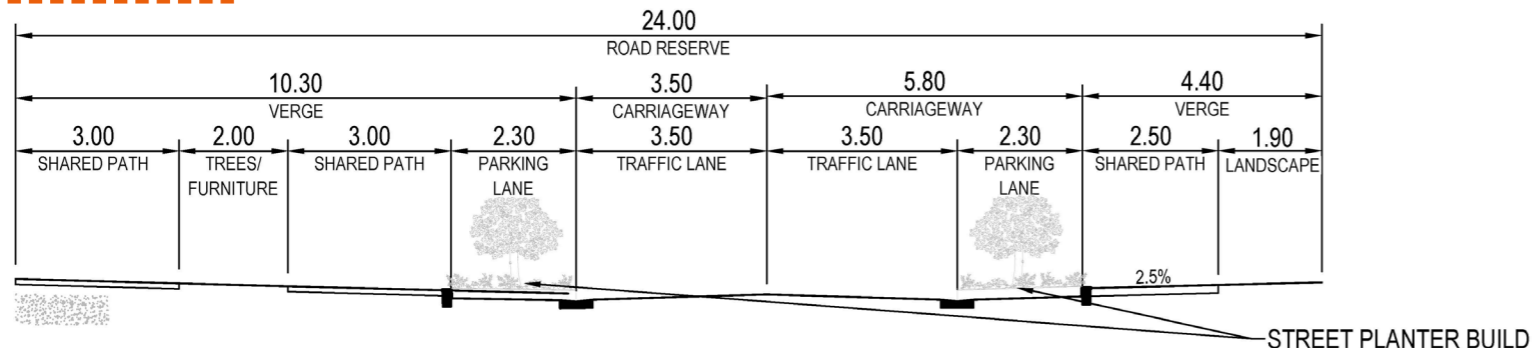
AREAS TO BE PROVIDED WITHIN FOOTPATH TO ALLOW FOR STREET TREE PLANTER BEDS OR FURNITURE

STREET PLANTER BUILD-OUTS TO BE PROVIDED BETWEEN PARKING BAYS

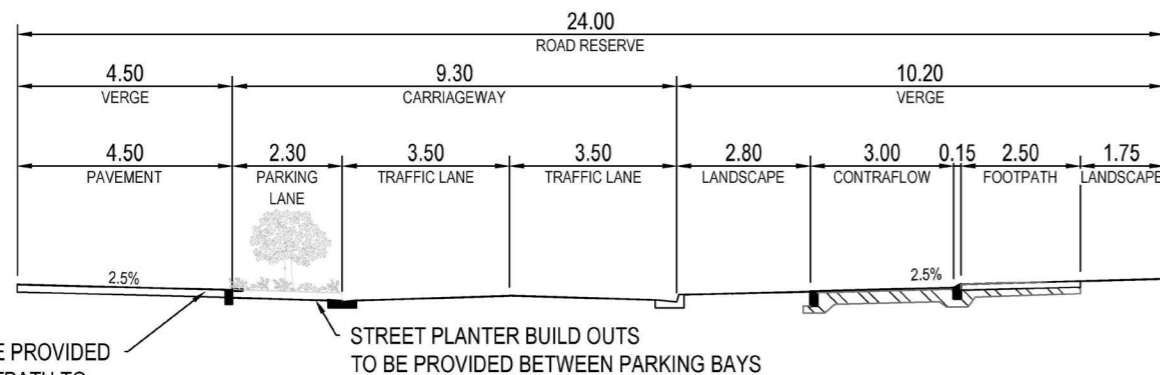
PLANTING AREA TO BE REDUCED TO 2.05m WIDTH TO SUIT 24m ROAD RESERVE



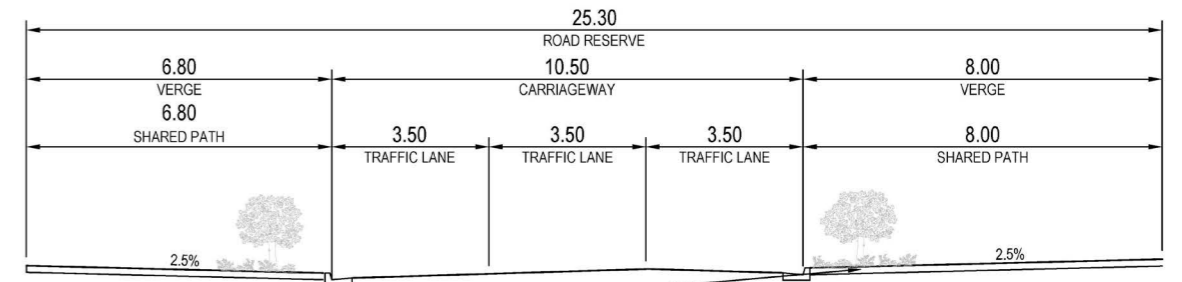
# CENTRE CONNECTOR (CC2A) 24.0M



# CENTRE CONNECTOR (CC2B) 24.0M - 31.0M

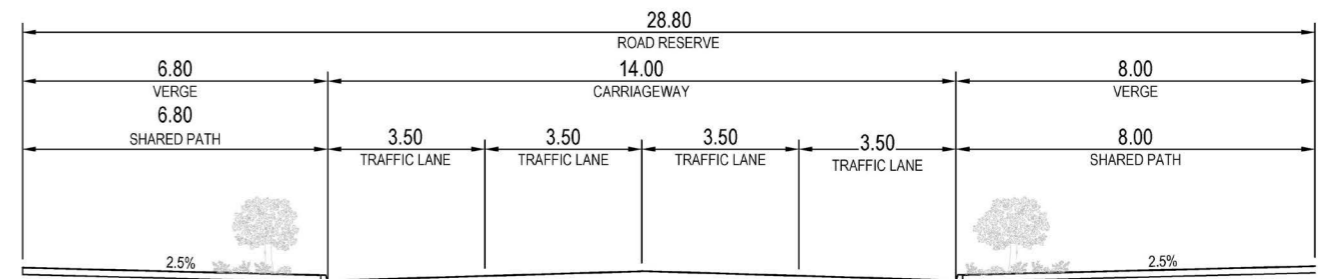


# CENTRE CONNECTOR (CC3A) 25.3M



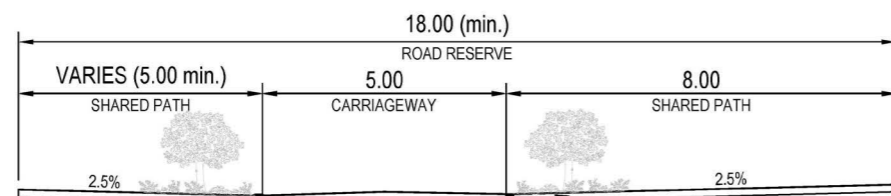
AREAS TO BE PROVIDED WITHIN FOOTPATH TO ALLOW FOR STREET TREE PLANTER BEDS OR FURNITURE. MINIMUM 3.0m PATHWAY WIDTH TO BE MAINTAINED IN ALL AREAS

# CENTRE CONNECTOR (CC3B) 28.8M

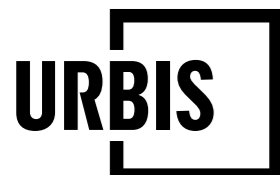


AREAS TO BE PROVIDED WITHIN FOOTPATH TO ALLOW FOR STREET TREE PLANTER BEDS OR FURNITURE. MINIMUM 3.0m PATHWAY WIDTH TO BE MAINTAINED IN ALL AREAS

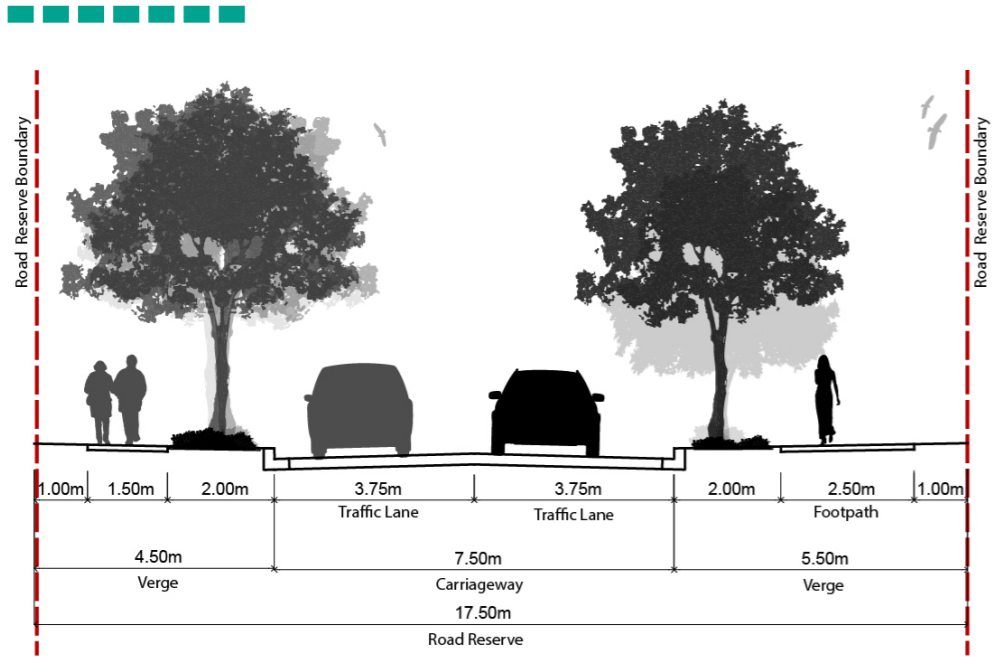
# SEAMLESS CONNECTION 18.0M (MIN.)



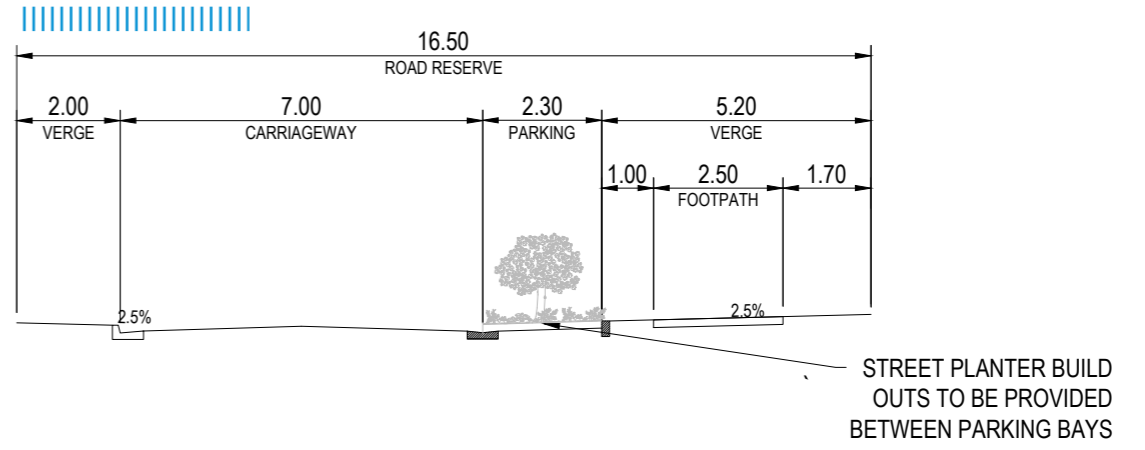
AREAS TO BE PROVIDED WITHIN FOOTPATH TO ALLOW FOR STREET TREE PLANTER BEDS OR FURNITURE. MINIMUM 3.0m PATHWAY WIDTH TO BE MAINTAINED IN ALL AREAS



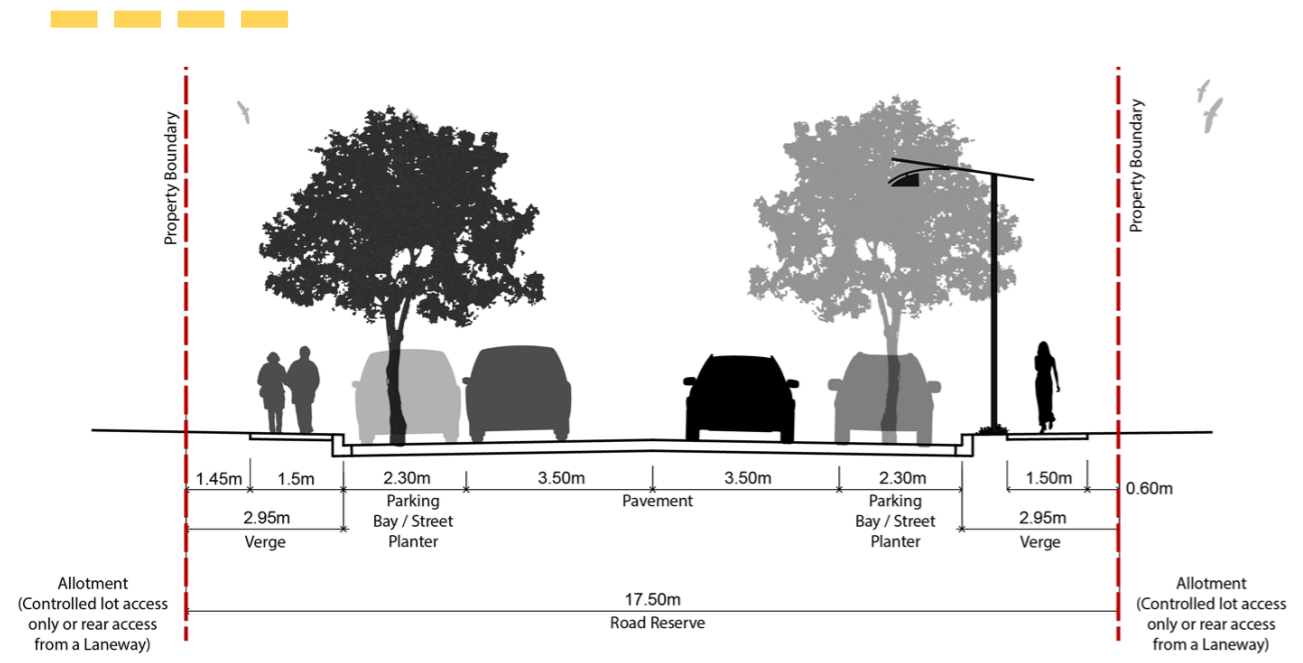
# ACCESS STREET GREEN LINK - 17.5M



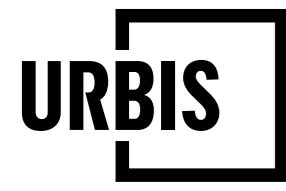
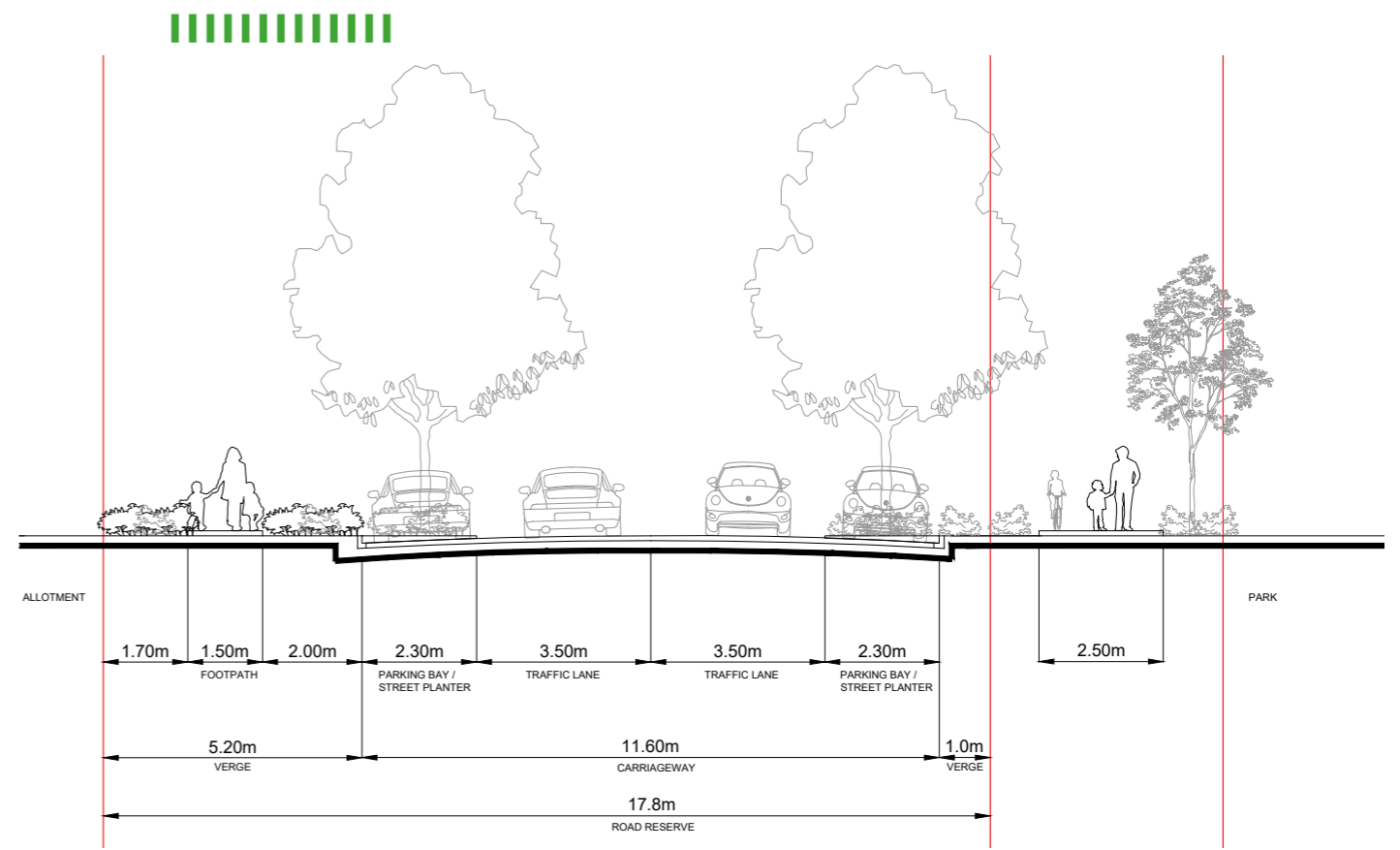
# NEIGHBOURHOOD CONNECTOR ESPLANADE - 16.5M



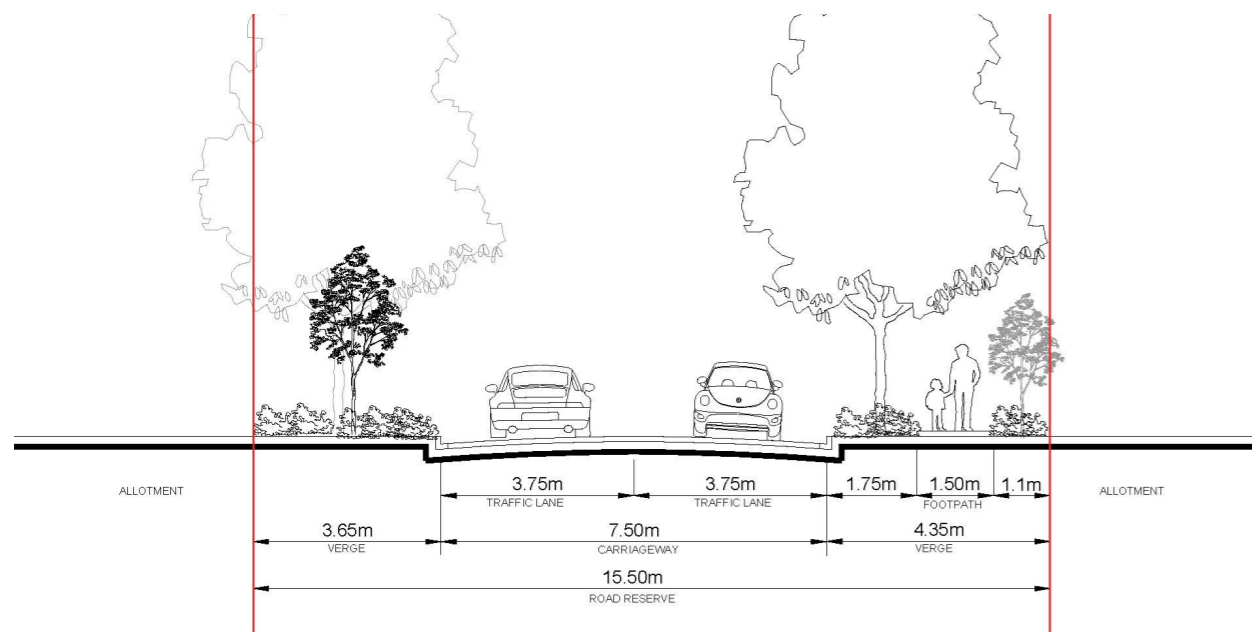
# ACCESS STREET URBAN - 17.5M



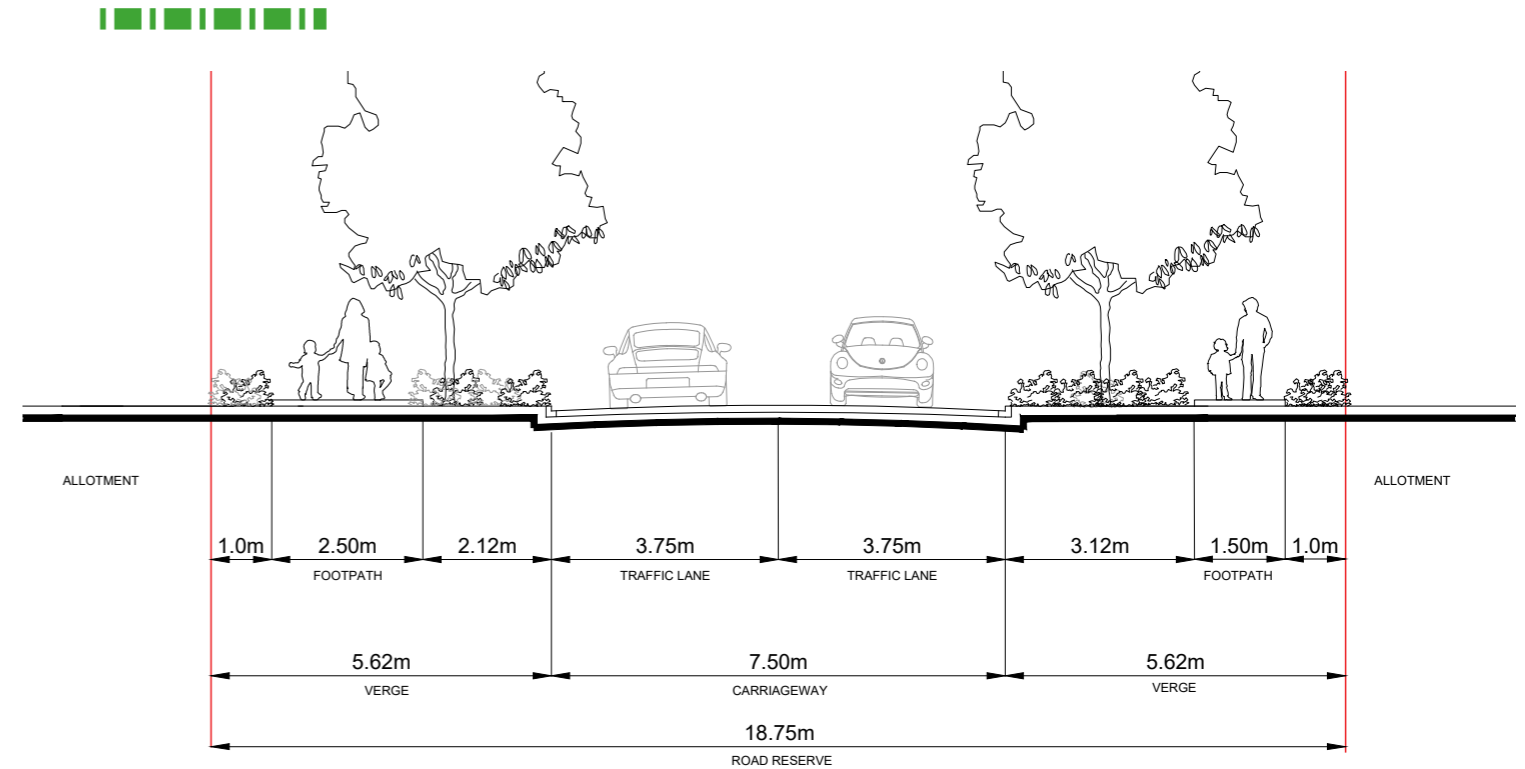
# ACCESS STREET GREEN LINK B - 17.8M



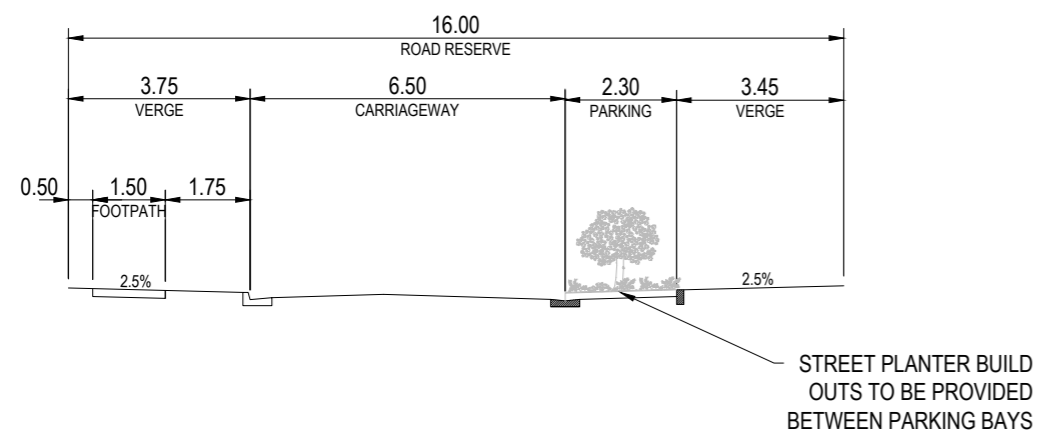
# ACCESS STREET STANDARD - 15.5M



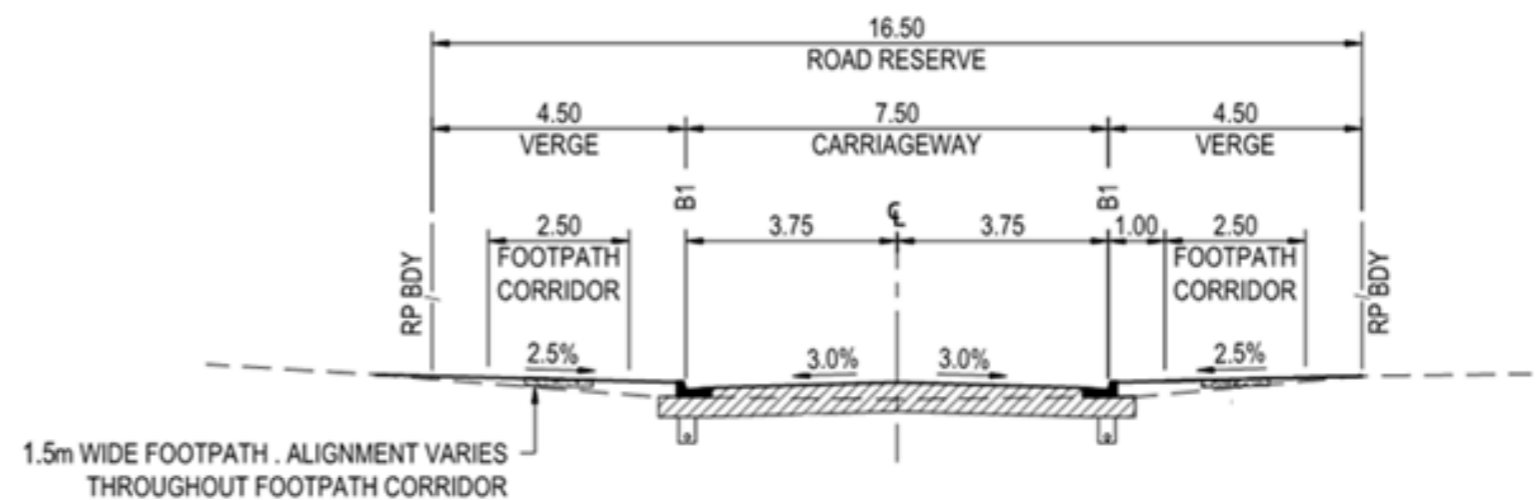
# GREEN LINK (WIDER RESERVE FOR EXISTING SEWER EASEMENT) - 18.75M



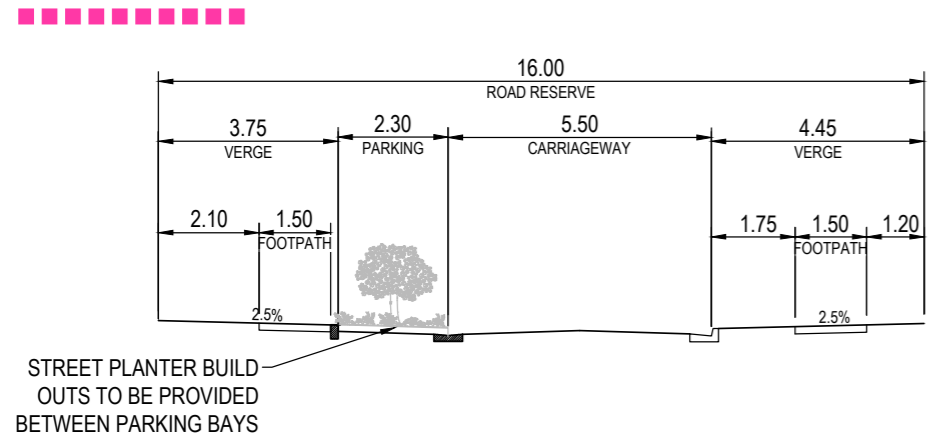
# ACCESS STREET A (NO RESIDENTIAL ACCESS) - 16.0M



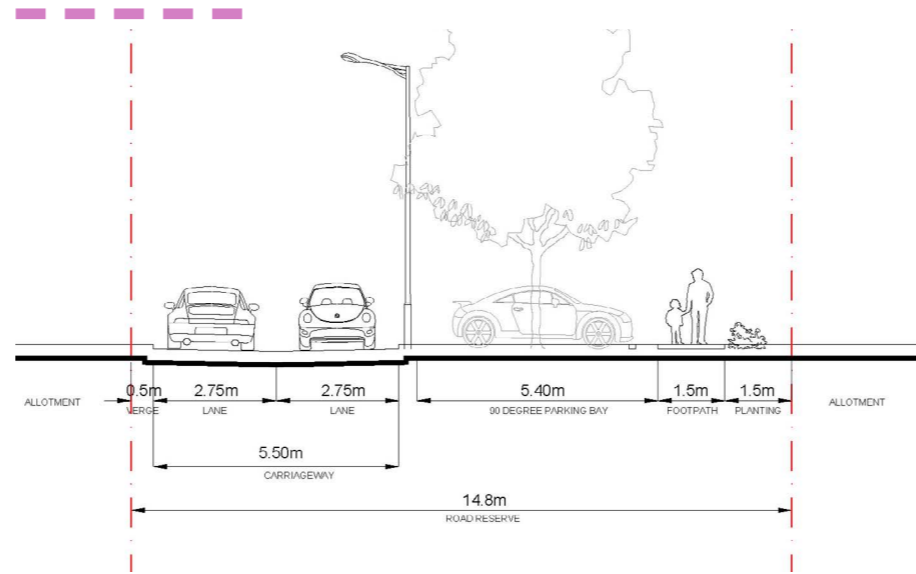
# ACCESS STREET (DISPLAY VILLAGE) - 16.5M



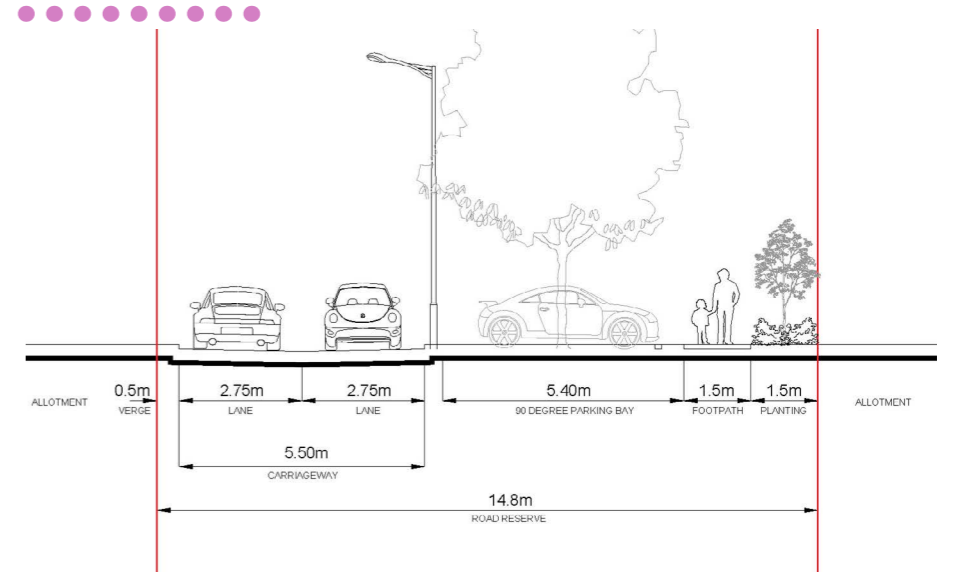
# ACCESS STREET B (RESIDENTIAL ACCESS) - 16.0M



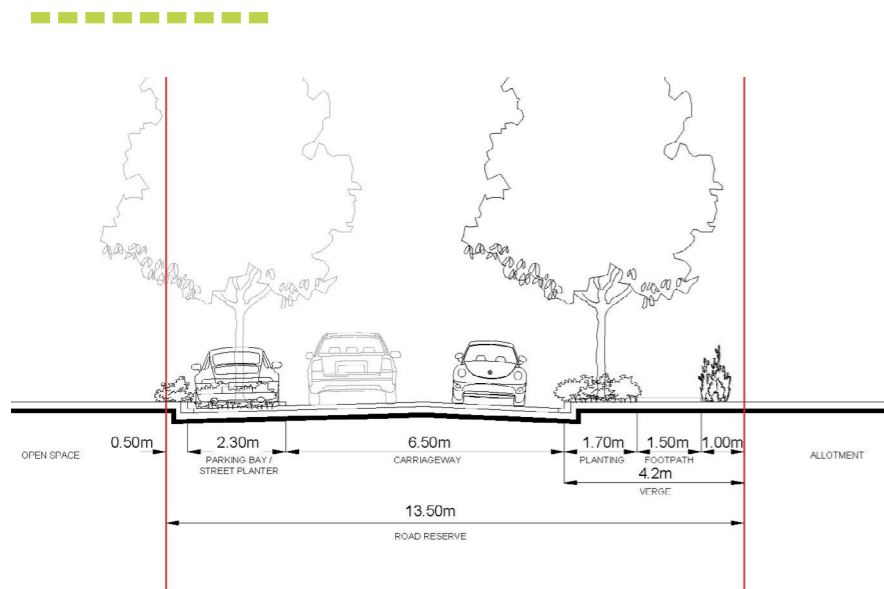
# LANEWAY LINK 1 14.8M



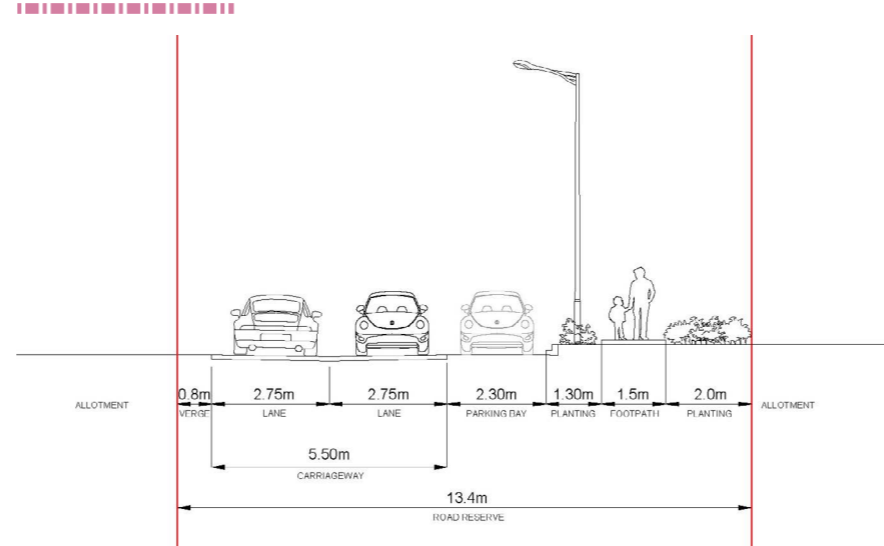
# LANEWAY LINK 3 14.8M



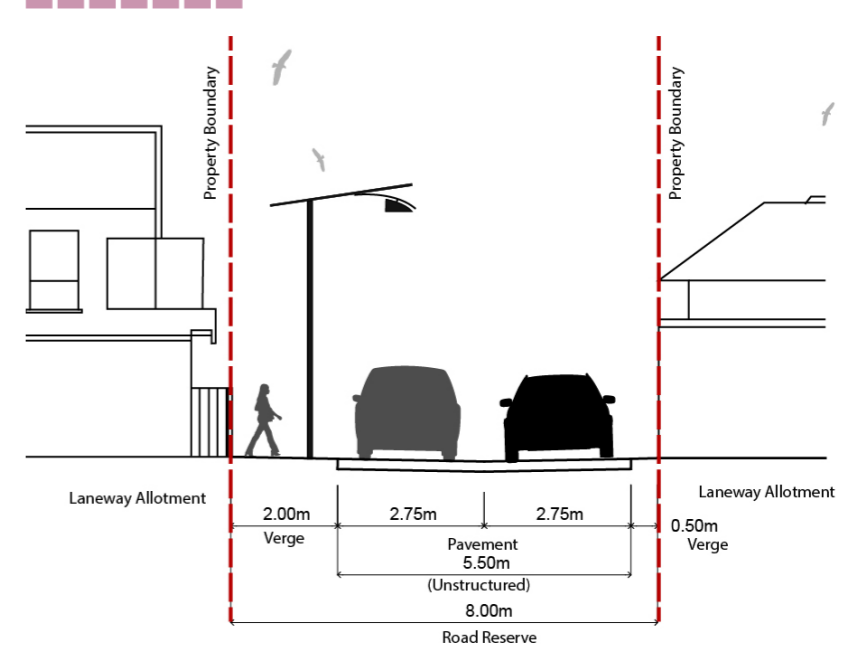
# ACCESS STREET ESPLANADE - 13.5M



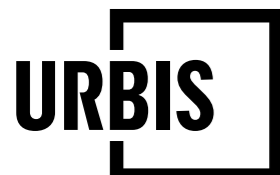
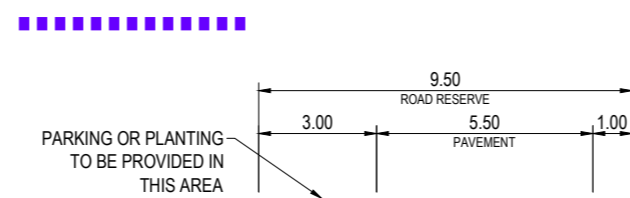
# LANEWAY LINK 2 13.4M



# LANEWAY 8.0M

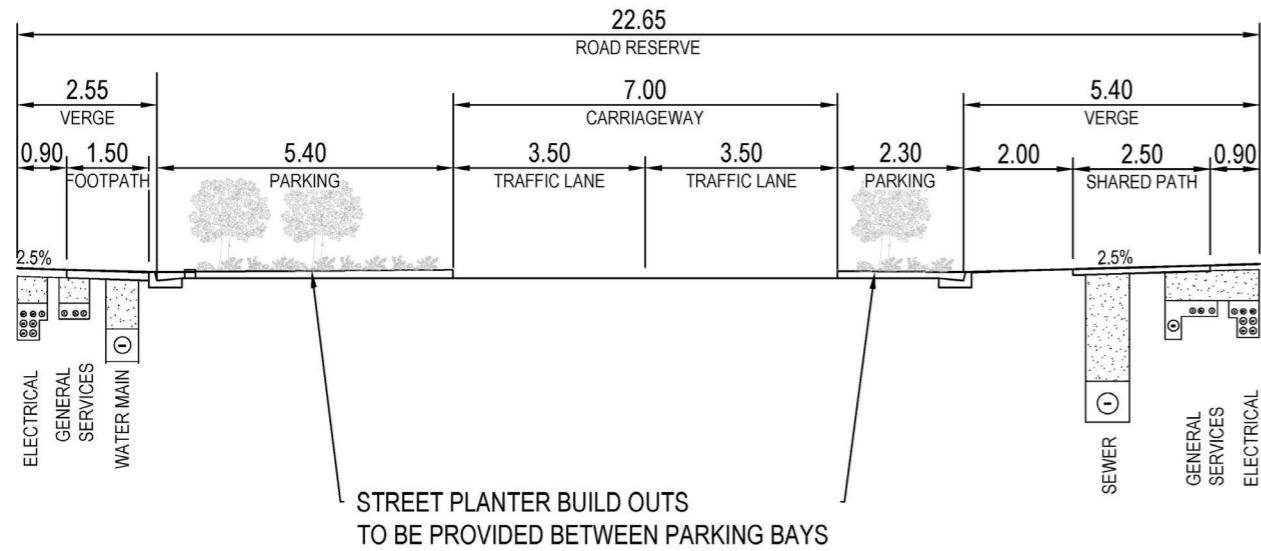


# LANEWAY (DISPLAY VILLAGE) 9.5M

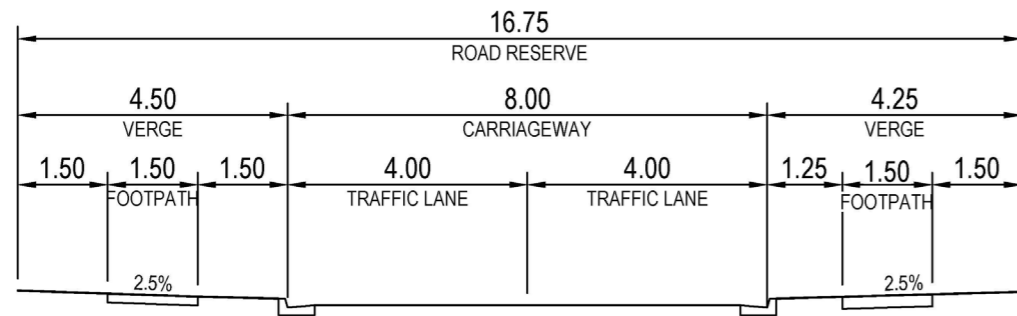


**AURA**  
ROAD CROSS SECTIONS

# ACCESS STREET E - 22.65M

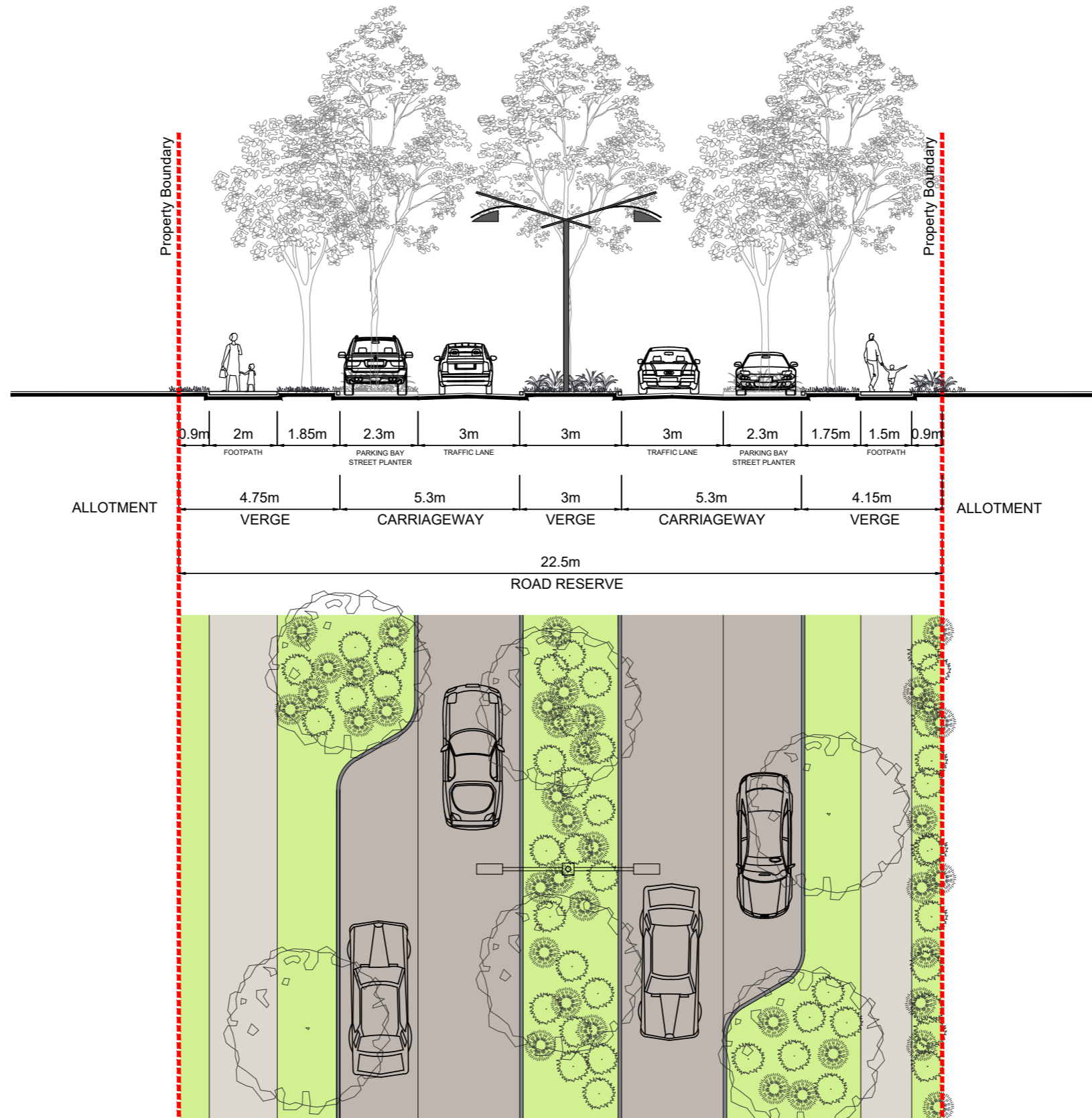


# CENTRE ACCESS STREET - 16.75M



# LOCAL ACCESS WITH MEDIAN

## 22.5



### NOTES

\* Road cross section where road crosses culvert to be reviewed in detailed design.

### DISCLAIMER

The contents of this plan are conceptual and for discussion purposes only. All areas and dimensions are approximate and subject to relevant studies, survey, engineering and Council approval.

PLAN REF: **AU11260 - 014**  
 DATE: 23 OCTOBER 2024  
 CLIENT: STOCKLAND  
 DRAWN BY: SE/MM  
 CHECKED BY: CC

## AURA - PRECINCT 9 ROAD CROSS SECTIONS

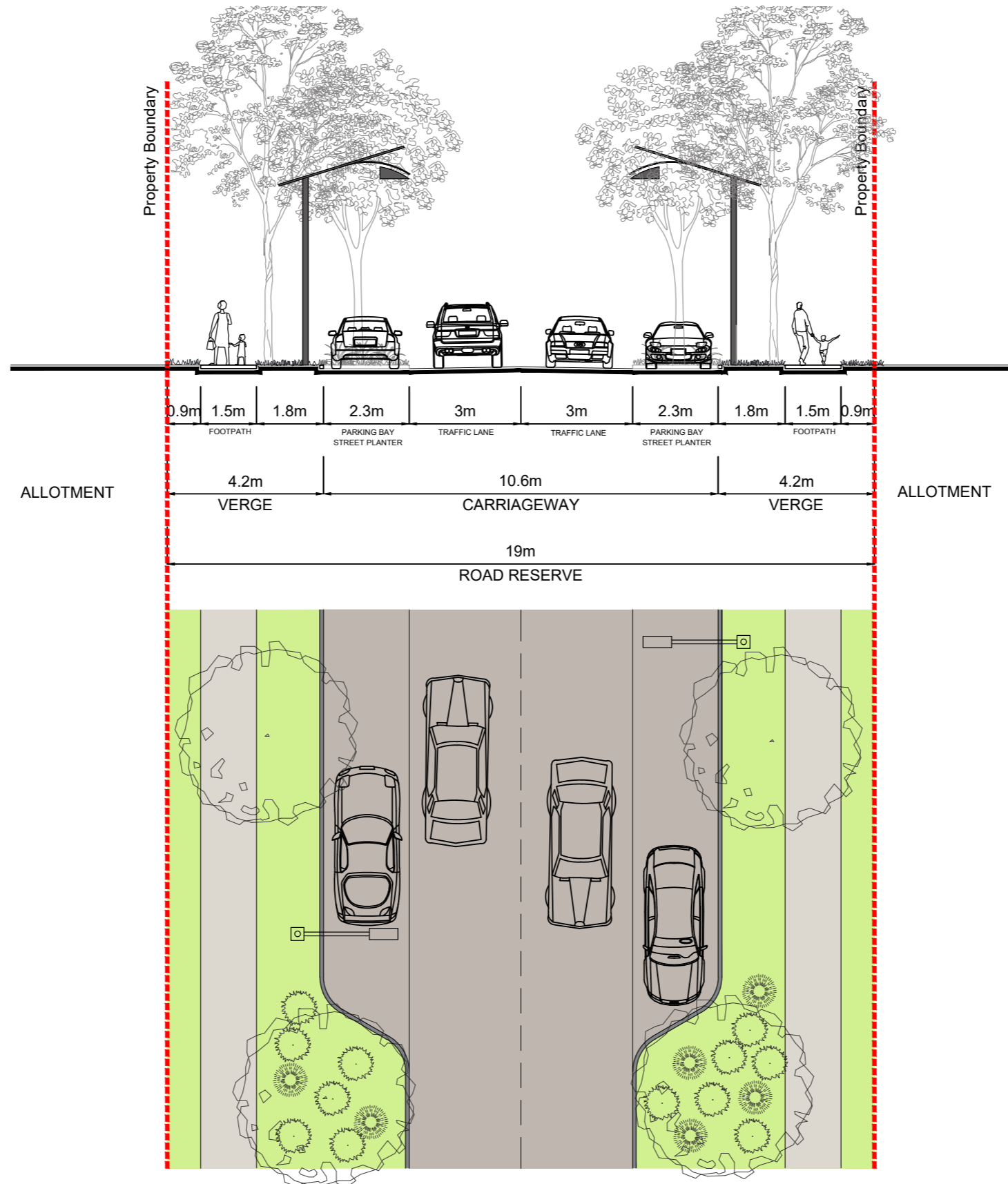
URBAN DESIGN  
 Level 8  
 31 Duncan Street  
 PO Box 1559  
 Fortitude Valley QLD 4006  
 T +61 7 3539 9500  
[www.rpsgroup.com.au](http://www.rpsgroup.com.au)



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# URBAN ACCESS A3

19m



## NOTES

\* Where road cross section is adopted adjoining open space, verge width may be reduced / footpath may be located within open space.

## DISCLAIMER

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PLAN REF: AU11260 - 015  
 DATE: 23 OCTOBER 2024  
 CLIENT: STOCKLAND  
 DRAWN BY: SE/MM  
 CHECKED BY: CC

## AURA - PRECINCT 9 ROAD CROSS SECTIONS

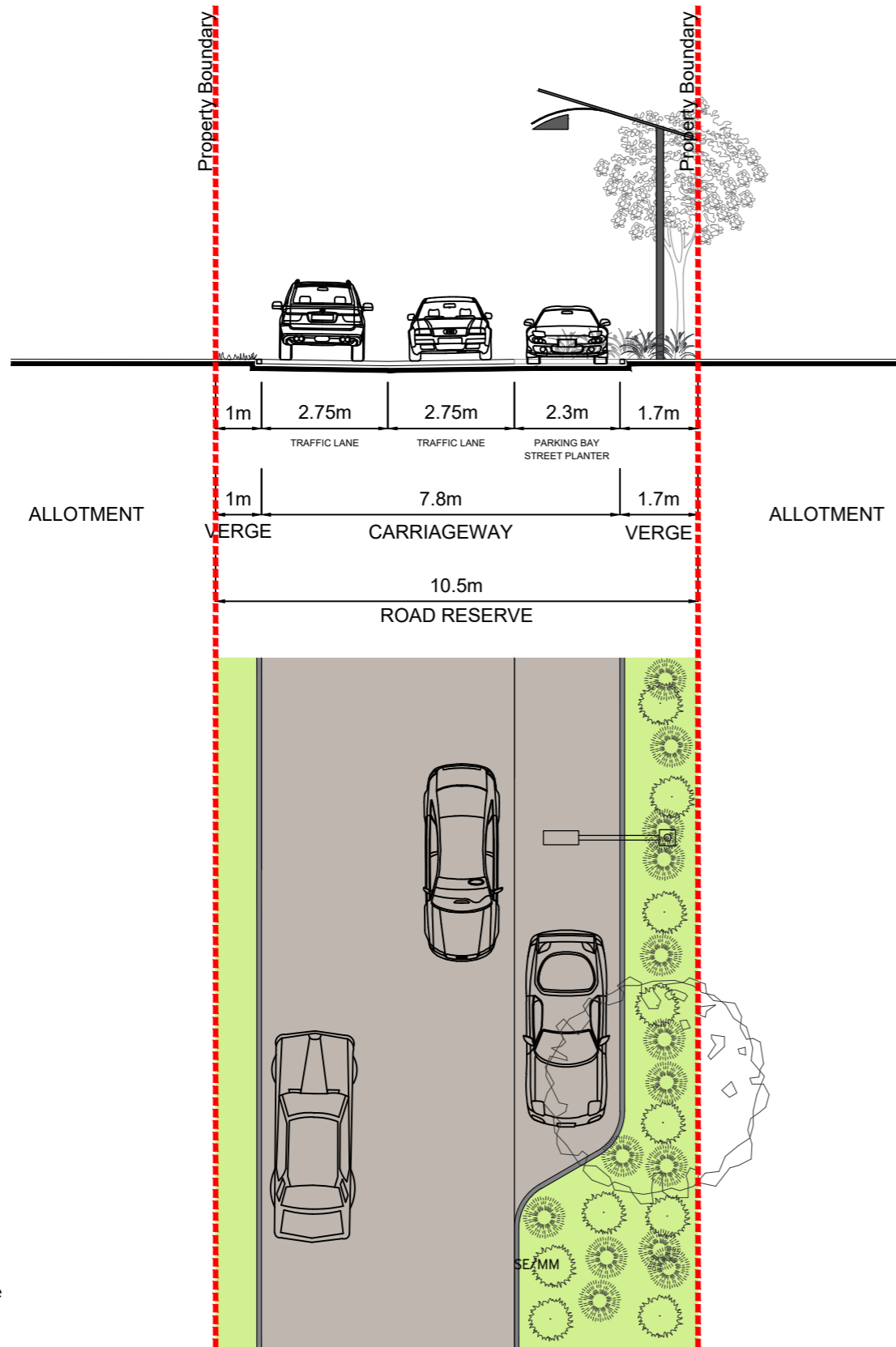
URBAN DESIGN  
 Level 8  
 31 Duncan Street  
 PO Box 1559  
 Fortitude Valley QLD 4006  
 T +61 7 3539 9500  
[www.rpsgroup.com.au](http://www.rpsgroup.com.au)



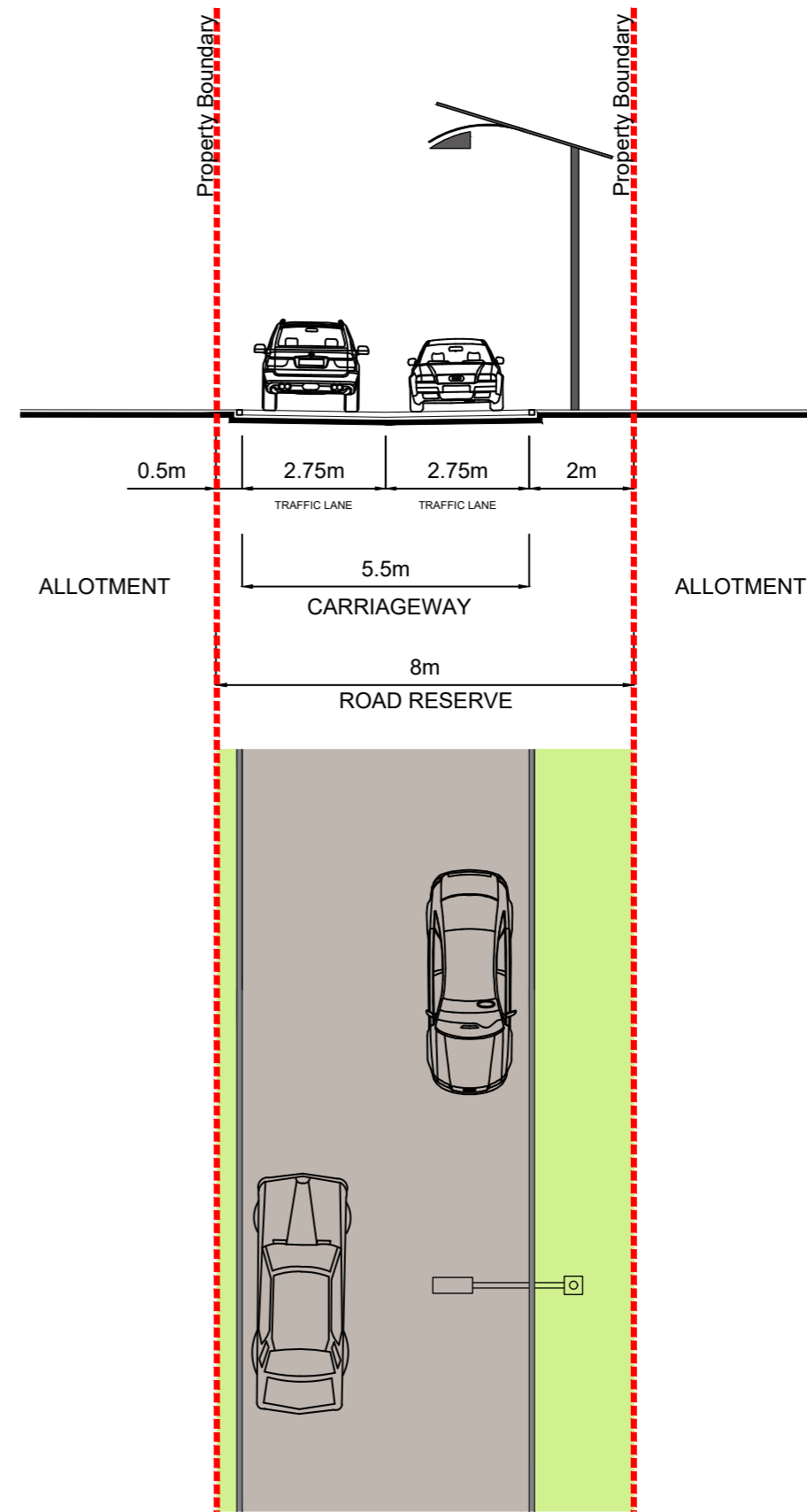
A TETRA TECH COMPANY

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# LANEWAY 10.5m



# LANEWAY 8m



**DISCLAIMER**  
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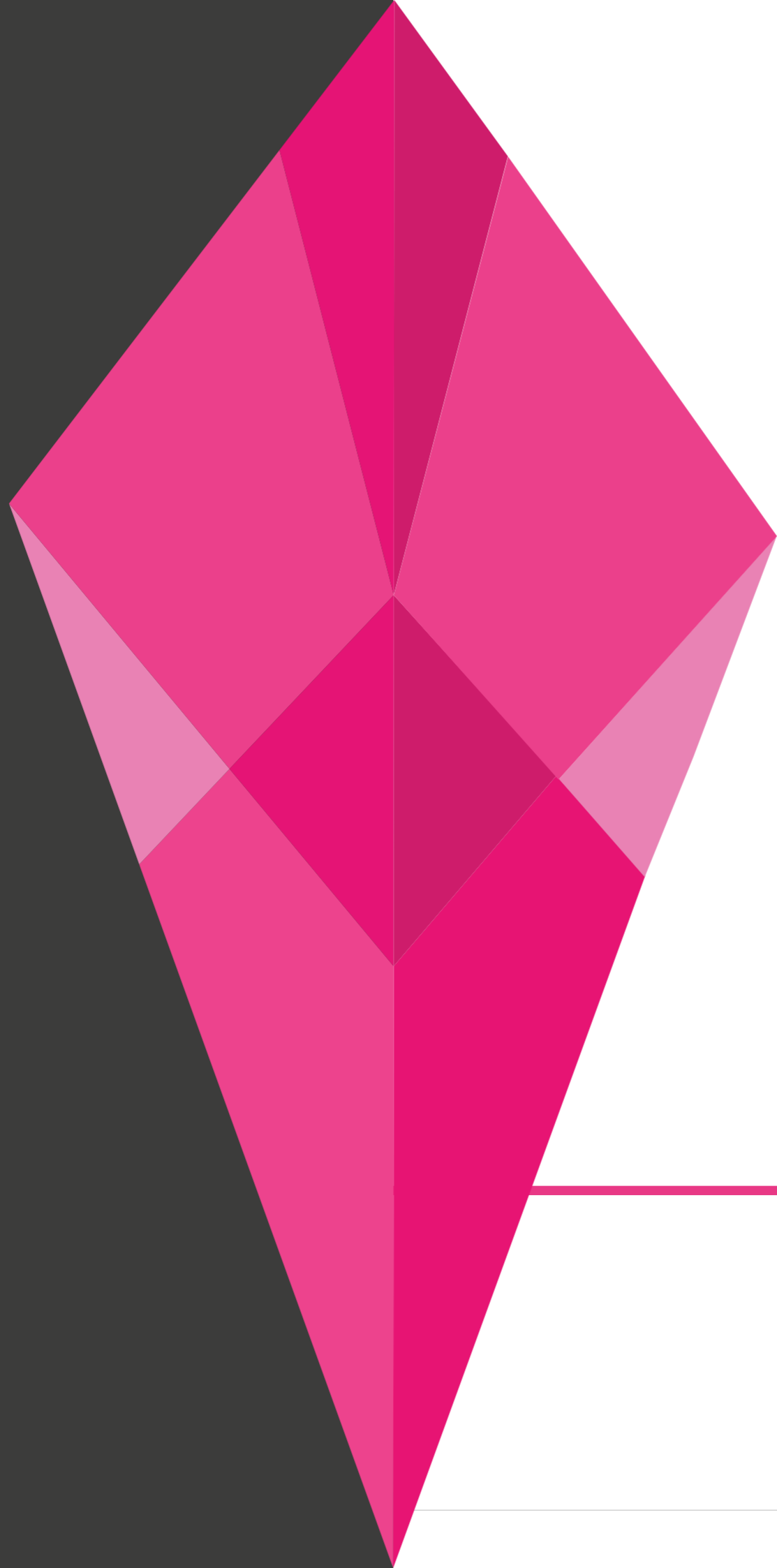
PLAN REF: **AU11260 - 016**  
DATE: 23 OCTOBER 2024  
CLIENT: STOCKLAND  
DRAWN BY: SE/MM  
CHECKED BY: CC

## AURA - PRECINCT 9 ROAD CROSS SECTIONS

**URBAN DESIGN**  
Level 8  
31 Duncan Street  
PO Box 1559  
Fortitude Valley QLD 4006  
T +61 7 3539 9500  
[www.rpsgroup.com.au](http://www.rpsgroup.com.au)
























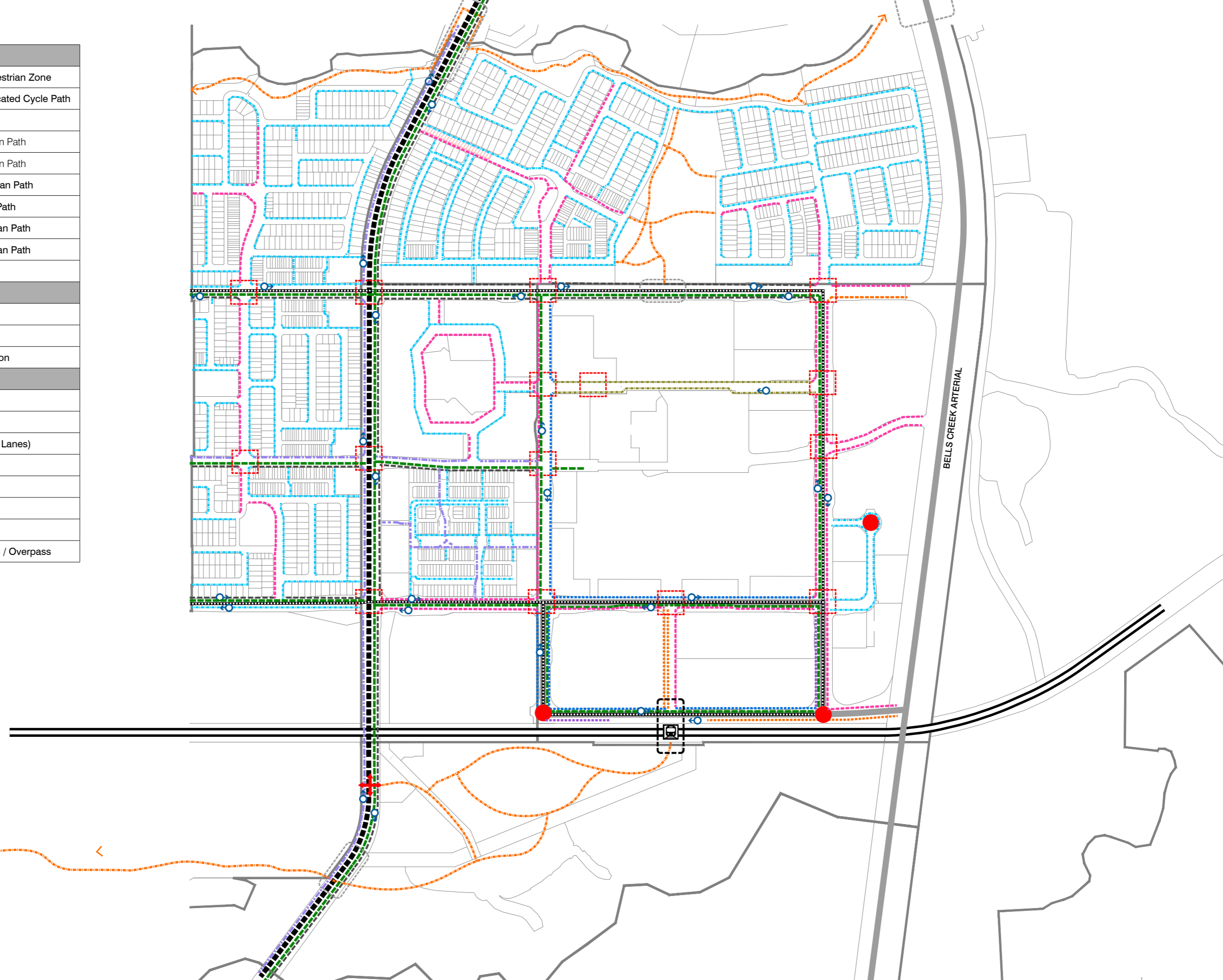
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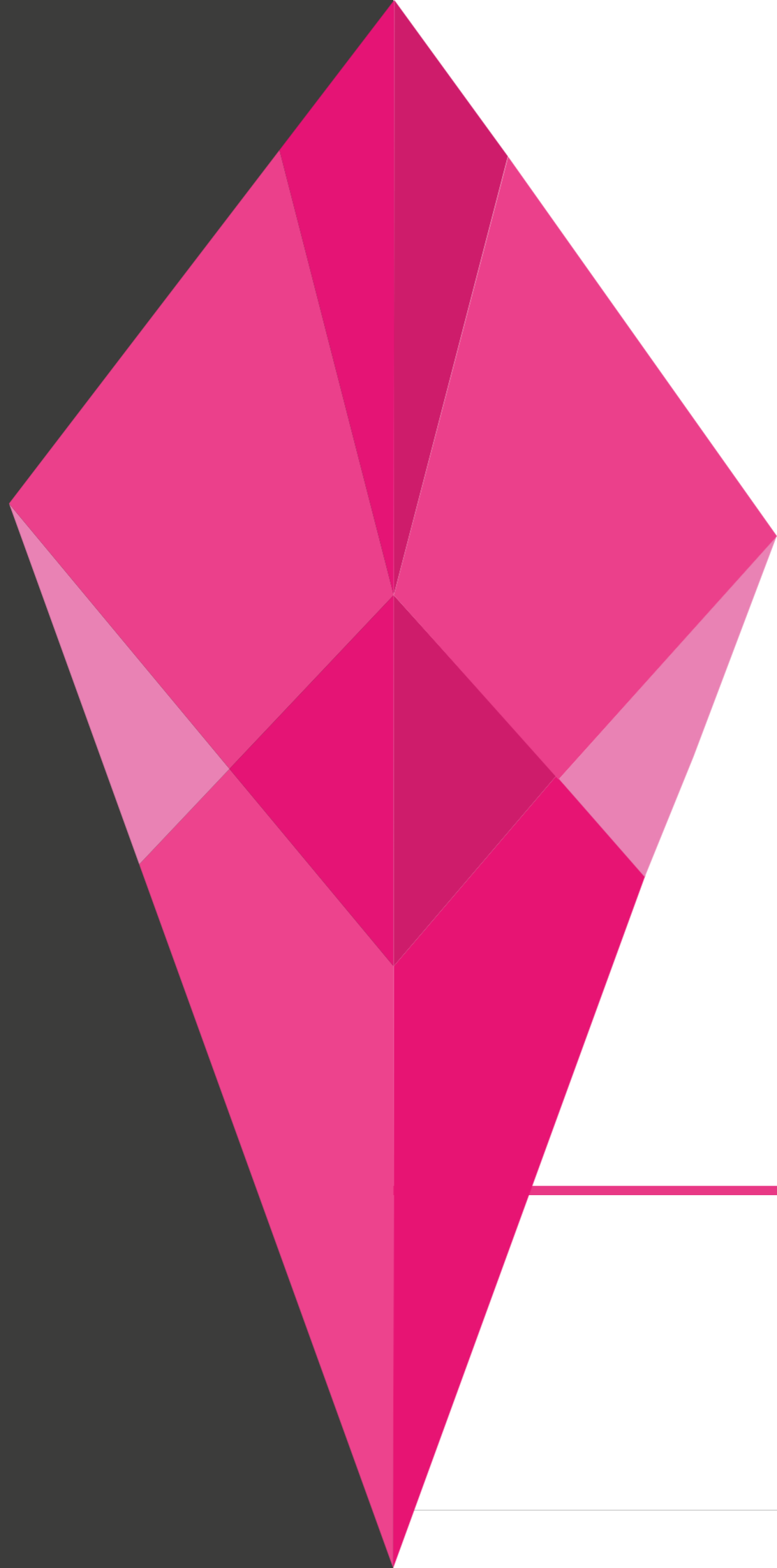


## APPENDIX M CONNECTIVITY PLAN

**LEGEND**

PEDESTRIAN / CYCLE MOVEMENT	
	Full Verge Width Shared Pedestrian Zone
	3.0m Wide Contraflow / Dedicated Cycle Path
	3.0m Wide Recreation Trail
	3.0m Wide Off-Road Pedestrian Path
	3.5m Wide Off-Road Pedestrian Path
	4.5m Wide Off-Street Pedestrian Path
	2.5m Wide Off-Road Shared Path
	2.0m Wide Off-Road Pedestrian Path
	1.8m Wide Off-Road Pedestrian Path
	1.5m Wide Pedestrian Path
INTERSECTIONS	
	Signalized Intersection
	Roundabout
	Unsignalised 4-way Intersection
PUBLIC TRANSPORT	
	Transit Hub
	Train station
	Regional Express Route (Bus Lanes)
	Regional Routes (Bus Lanes)
	Local Routes
	Railway Line
	Indicative Bus Stop Location
	Pedestrian / Cycle Underpass / Overpass





## APPENDIX N ACID FROG MANAGEMENT CODE

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## Caloundra South Priority Development Area

### Things to note for engineers, planners and landscape architects in reference to the Wallum Sedge Frog

1. With the exception of creek areas that adjoin the Environmental Protection Zone (EPZ, see Figure 1 over leaf), any design work south of Lamerough Creek and north or south of Bells Creek North and Bells Creek South will generally need to accommodate (on each side of the creek, see Figure 1):
  - a. 25m Riparian Buffer Zone,
  - b. 50m Frog Zone
  - c. 50m Frog Buffer,
  - d. 30m Lifestyle Buffer

The required setbacks / zones / buffers are measured from the high bank.

2. WSUD is permissible in the Frog Buffer
3. Sports related facilities are permissible in the Lifestyle Buffer
4. A total of 152ha of Wallum Sedge Frog Habitat is allowed to be removed based on surveys conducted in 2012 (see grey areas on Figure 2 overleaf, consistent with development consent),
5. A total of 152ha of created compensatory Wallum Sedge Frog Habitat must be established (in stages) across the development site (outside of EPZ) – i.e. Frog Zone.
6. Key documents (more recent than the PER)
  - a. 2013 Caloundra South Wallum Sedge Frog Management Plan (Stockland, December 2013)
  - b. 2014 Construction Environmental Management Plan Precinct 1/ Part Precinct 3/4 (Browns, June 2014)

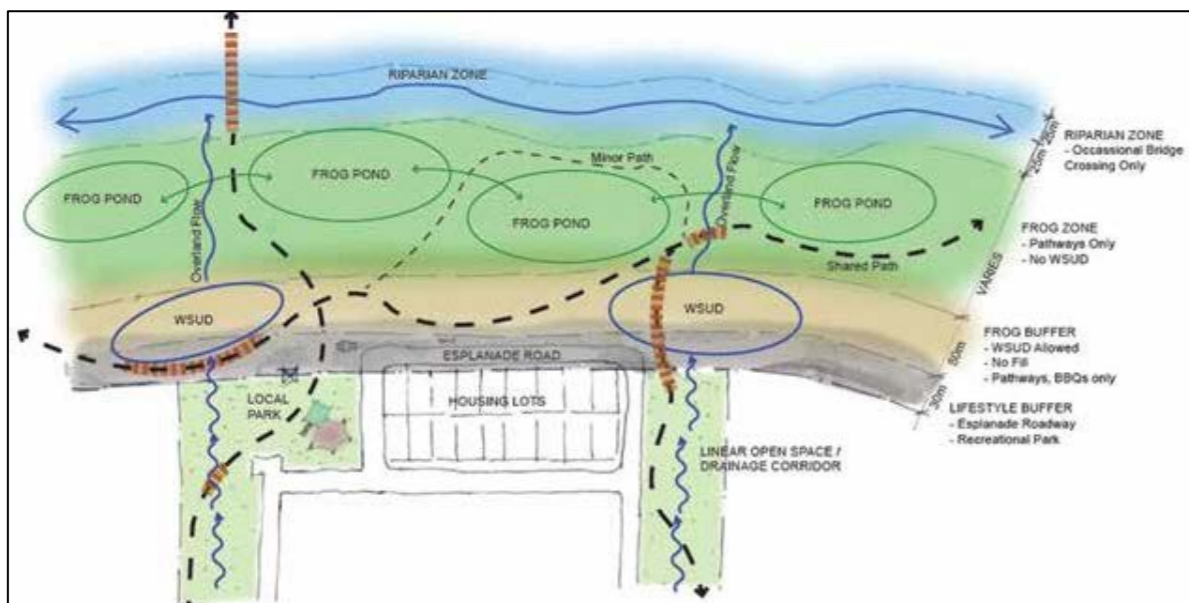


Figure 1 : Diagrammatic representation of riparian zone, development and interaction with Wallum Sedge Frog requirements

Table 2: Activities Compatible within Conservation and Other Zones

Re-creation opportunity	Riparian Corridor	Frog Zone	Frog Buffer	Lifestyle Buffer	Sports/Rec/Urban Zones	Comments
Boardwalks	✓	✓	✓	✓	✓	Acceptable in Frog Zones, boardwalks have been constructed in areas of sensitive frog habitat without any obvious significant impact on frogs. Boardwalks in the riparian corridor would be sensitively designed and would not enable direct access to the creek.
Pedestrian paths	✓	✓	✓	✓	✓	Acceptable in Frog Protection Zones provided works do not affect hydrology/topography and/or involve importation of fill. Use of fertilisers and exotic plants to be avoided in frog Protection Zones. Paths in the riparian corridor would be sensitively designed and would not enable direct access to the creek.
Seating and interpretive /educational signage	✓	✓	✓	✓	✓	Acceptable in Frog Protection Zones provided works do not affect hydrology/topography and/or involve importation of fill. Use of fertilisers and exotic plants to be avoided in frog Protection Zones.
Cycleways	✓	✓	✓	✓	✓	Acceptable, provided works do not affect hydrology/topography and/or involve importation of fill. Use of fertilisers and exotic plants to be avoided in Frog Protection Zones (inc. Frog Buffer). Cycleways in the riparian corridor would be sensitively designed and would not enable direct access to the creek.
Water Sensitive Urban Design (WSUD)	✗	✗	✓	✓	✓	WSUD within wallum frog breeding areas is considered inappropriate as this benefits competitive species. As earthworks are likely to be required, location in Frog Buffer should be minimised. All WSUD should be off-line from frog breeding habitat to ensure no mixing of water chemistry/hydrology.
BBQ site/table and chairs	✗	✗	✗	✓	✓	Acceptable within Frog Buffer, provided works do not affect hydrology/topography and/or involve importation of fill. Use of fertilisers and exotic plants to be avoided.
End of trip cycle facilities	✗	✗	✗	✓	✓	Acceptable, within Lifestyle Buffer and beyond. Hydrology/topography to not be substantially altered and use of fertilisers and exotic plants to be avoided.
Toilets	✗	✗	✗	✓	✓	Acceptable (if not in-ground infiltration systems), within Lifestyle Buffer and beyond. Hydrology/topography to not be substantially altered and use of fertilisers and exotic plants to be avoided
Playgrounds	✗	✗	✗	✓	✓	Acceptable, within Lifestyle Buffer and beyond. Hydrology/topography to not be substantially altered and use of fertilisers and exotic plants to be avoided.
Lakes	✗	✗	✗	✓	✓	Acceptable within Lifestyle Buffer and beyond. Should be placed as far from frog habitat as possible. Hydrology/topography to not be substantially altered and use of fertilisers and exotic plants to be avoided.
Informal spaces/kick a bout	✗	✗	✗	✓	✓	Acceptable, within Frog Buffer and beyond. Hydrology/topography to not be substantially altered and use of fertilisers and exotic plants to be avoided. For use in Frog Buffer minimum 30m buffer is required from frog breeding areas.
Community Event Spaces	✗	✗	✗	✓	✓	Acceptable, within Lifestyle Buffer and beyond. Hydrology/topography to not be substantially altered and use of fertilisers and exotic plants to be avoided.
Bowls Club	✗	✗	✗	✓	✓	Assumed location within lifestyle and sport and recreational buffer as likely to require fill to meet the requirements in the Master Plan.
Tennis Court/Hard Court	✗	✗	✗	✓	✓	Assumed location within lifestyle and sport & recreational buffer as likely to require fill to meet the requirements in the Master Plan.
Car park	✗	✗	✗	✓	✓	Assumed location within lifestyle and sport and recreational buffer as likely to require fill to meet the requirements in the Master Plan. Drainage should be off-line from frog habitat given potential for hydrocarbons in run-off.
Clubhouse	✗	✗	✗	✓	✓	Assume location within lifestyle and sport and recreational buffer as likely to require fill to meet the requirements in the Master Plan.
Sports Oval	✗	✗	✗	✓	✓	Assume location within lifestyle and sport and recreational buffer as likely to require fill to meet the requirements in the Master Plan.
Sports Centre	✗	✗	✗	✓	✓	Assume location within lifestyle and sport and recreational buffer as likely to require fill to meet the requirements in the Master Plan.
Fertilized and maintained playing surfaces and lakes associated with a golf course	✗	✗	✗	✓	✓	Fill and direct application of fertiliser for greens and fairways are inappropriate within frog core habitat and buffer due to the risk of adverse run-off and weed infestation. Permanent water features, which may provide habitat and source populations for competitive species and predatory fish, will be restricted to the Lifestyle Buffer and beyond and be offline (including during flood events) to frog ponds. Assume sustainably designed (and certified) golf course.





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