

BROADWAY HOTEL & RESIDENTIAL DEVELOPMENT

BUILDINGS THAT BREATHE ASSESSMENT

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INTRODUCTION

VISION STATEMENT

Context

Located in the heart of Woolloongabba, the site is home to the heritage listed Broadway Hotel. Situated on a prominent corner of Logan and Balaclava Street, prior to its downturn, the Broadway Hotel offered its truly stunning old charm of late Victorian architecture in Brisbane. The proposed design will aim to restore and revitalise the hotel bringing it back to its glory and engaging the local community.

Opportunity

Broadway Hotel is an iconic heritage building engraved into the rich history of Brisbane. The site presents a great opportunity to not only restore but add new meaning and purpose to the Broadway Hotel by integrating the two built identities and creating open communal spaces. Most importantly, 44 Balaclava Street can serve as an opportunity to inspire the restoration, preservation and adaptive re-use of heritage buildings all over Queensland.

Strategy

The development of the residential tower offering a mix of residential units, podium communal mixed-use spaces and a ground level laneway with hospitality components. The design aims to activate the street front by creating new recreation and dining areas, blurring the lines between public and private spaces. Whilst respecting the architectural language of the existing hotel, the new designs offer visual contrast between new and old, attracting multiple members of the community to the site.

DESIGN RESPONSE

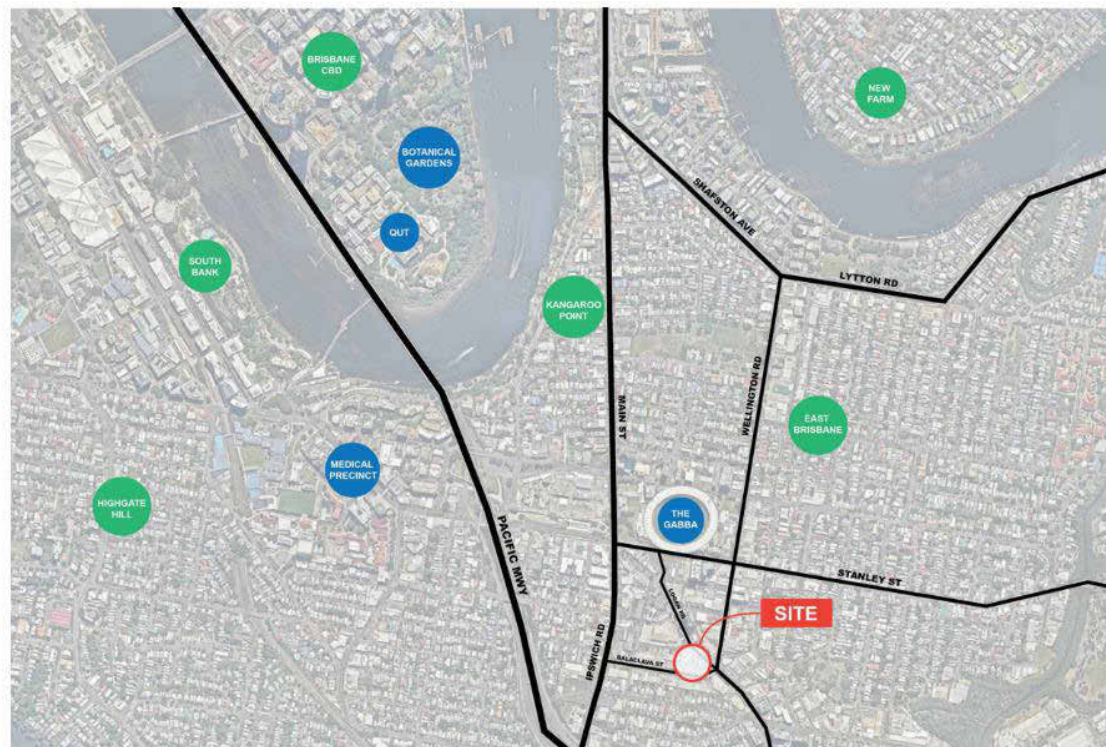
The proposed development will see the full restoration and revitalisation of the Broadway Hotel, breathing new life and meaning into this iconic 19th-century Brisbane landmark.

Juxtaposed against the heritage hotel is a contemporary three-wing residential tower offering high-end apartments with expansive city views, generous outdoor recreation spaces, and premium shared amenities. These include a gym, games room, private dining areas, a business centre, cinema, sauna, and a rooftop terrace.

The tower features a continuous, wave-like façade that delivers a dynamic and visually engaging presence for passersby. A carefully curated palette of neutral materials and abundant greenery throughout the building fosters a thoughtful dialogue between the historic and the new, enhancing the sense of cohesion across the site.

At ground level, an internal laneway will connect the restored hotel to the residential tower, lined with a bar, café, and casual dining options. This activated laneway precinct will energise the ground plane, foster community engagement, and further reinvigorate the Broadway Hotel.

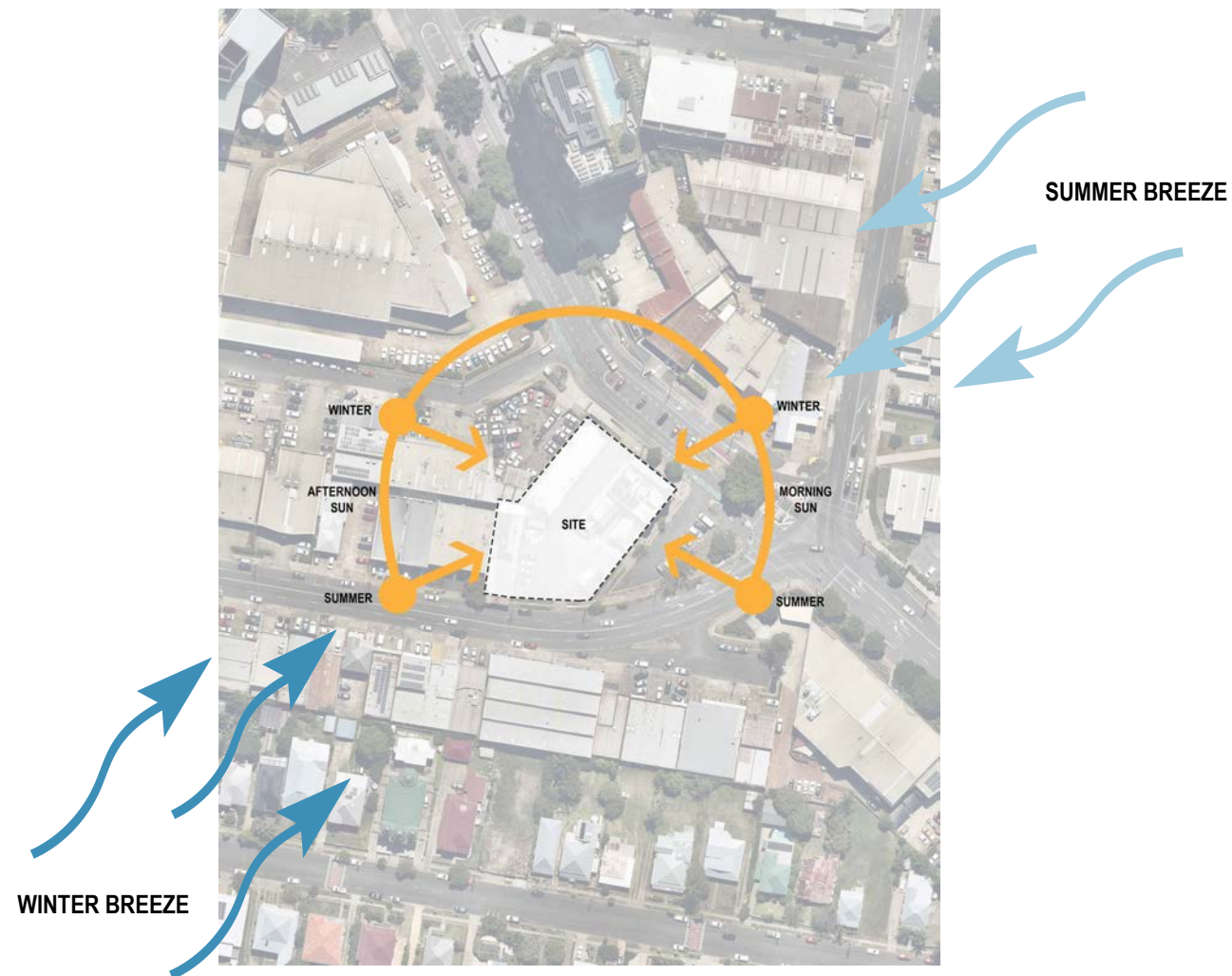
CITY CONTEXT MAP



SITE CONTEXT MAP



ORIENTATE YOURSELF



LOCATION & ORIENTATION

44 Balaclava Street leverages Brisbane's subtropical climate to optimise solar access and ventilation. Northern orientation captures winter sun, while shading reduces summer heat.

Operable façades harness easterly and southeasterly breezes, limiting mechanical cooling. A slender form improves daylight and airflow, with varied heights enhancing the skyline. Flat topography supports flexible placement for passive performance.

MASSING & INTERNAL LAYOUT

The building design prioritises residential comfort, energy efficiency, and internal amenity. Living are designed to capture natural light and maximise views, North facing where possible, while service zones and corridors are positioned on less favourable façades to reduce heat gain.

Lift cores occupy low-light areas, preserving daylight for units, and materials are selected for thermal performance, acoustic comfort, and durability. The integrated design ensures efficient, sustainable, and high-quality living environments.

VIEWS

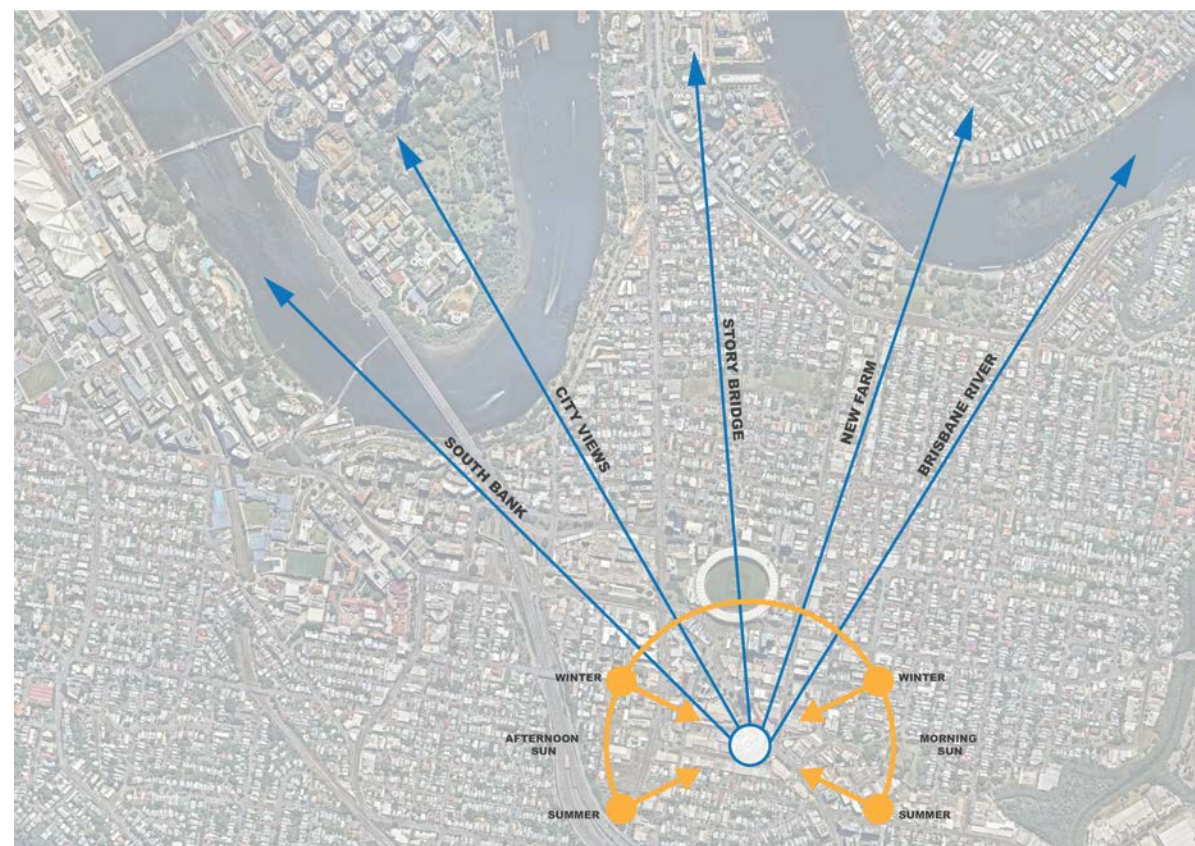
The development maximises views by orienting apartments and living areas toward surrounding landscapes, urban activity, and city skylines. Lift cores are centrally located, allowing most units to enjoy façades with natural light.

Generous balconies with integrated planter boxes connect residents to greenery, enhancing amenity and wellbeing. Ground-level and podium spaces overlook landscaped communal areas, while upper levels capture long-range views across Woolloongabba, creating a high-quality living environment.

STREET ACTIVATION

44 Balaclava Street enhances street activation by integrating active frontages at ground level. Commercial spaces with direct entries from the street encourage pedestrian engagement and a lively public interface.

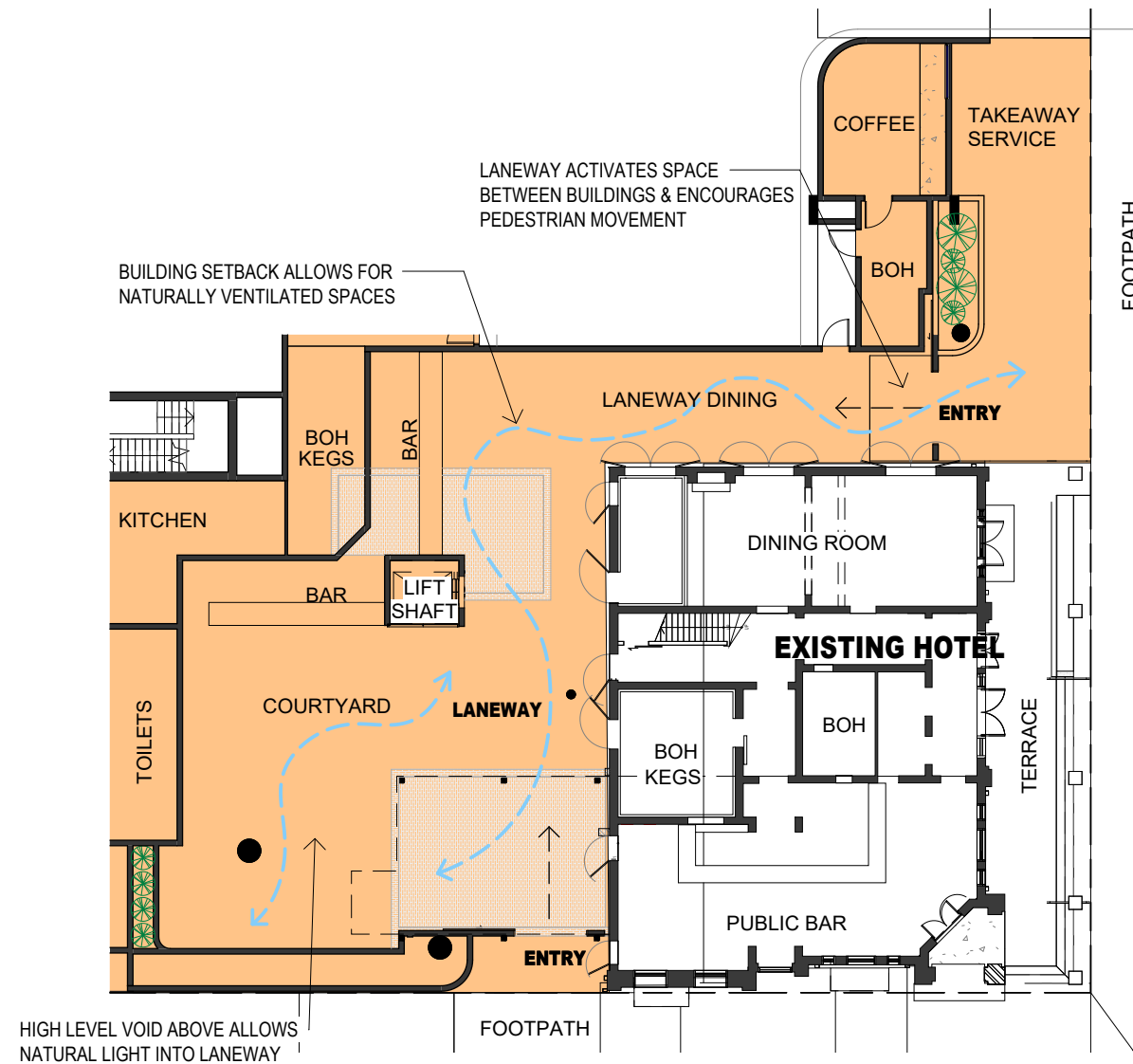
Generous glazing, awnings, and landscaping provide visual connection, shelter, and comfort. Street trees, and shaded seating support social interaction, while multiple access points strengthen connectivity and create a vibrant, human-scaled streetscape.



OCCUPY OUTDOOR SPACES

LANEWAYS

The laneway between the heritage building and proposed development creates a valuable outdoor space that encourages pedestrian movement, social interaction, and passive cooling. A cafe at the laneway entrance activates the street edge, inviting people in, while an outdoor bar and courtyard between the old and new buildings fosters a lively, shaded gathering space. This design encourages outdoor living, creating a welcoming, human-scaled environment that celebrates both heritage and contemporary architecture.



GROUND FLOOR - LANEWAY 1:250

BALCONIES

The building emphasises outdoor living and passive comfort through balconies, terraces, and landscaped spaces. Apartments feature generous balconies with shading to reduce heat gain and enhancing amenity.

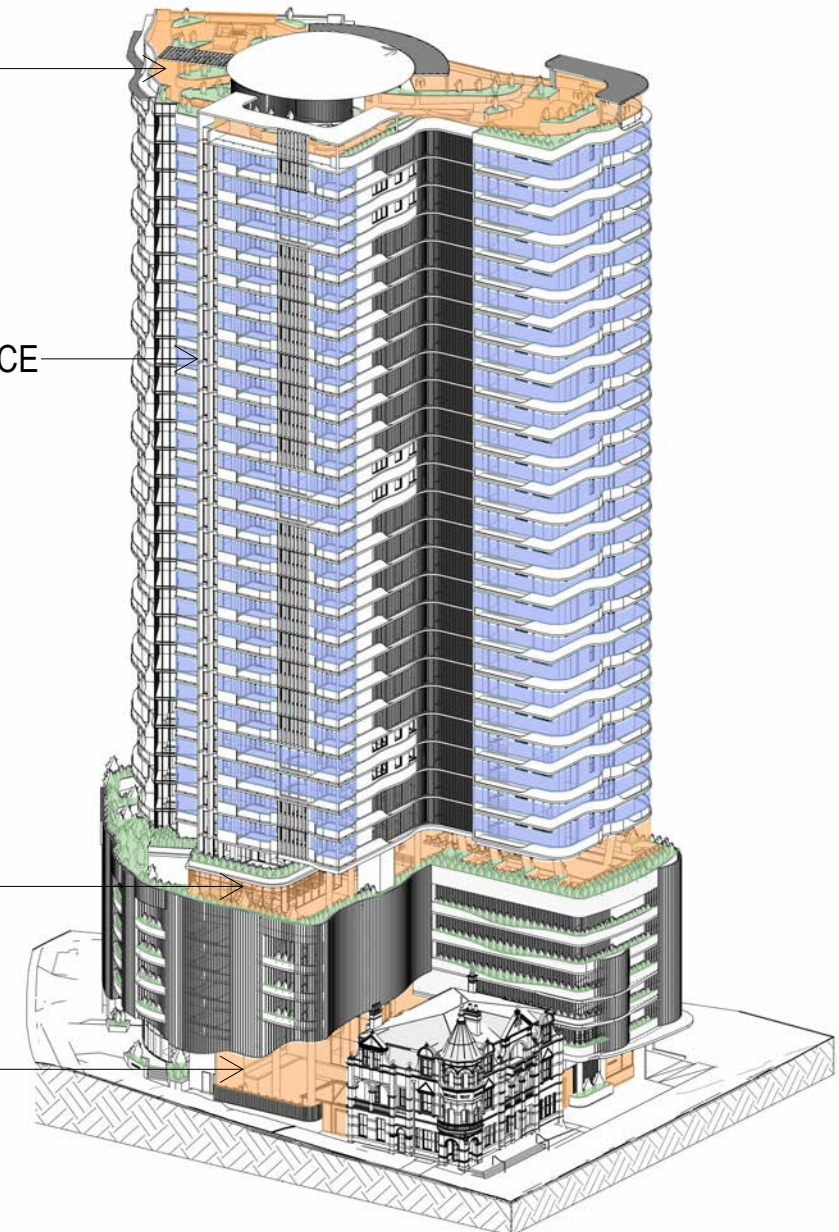
Stepped terraces at upper levels provide private and shared outdoor areas that maximise views, sunlight, and natural ventilation, creating a sustainable, comfortable, and engaging living environment.

COMMUNAL
OUTDOOR SPACE

PRIVATE OUTDOOR SPACE

COMMUNAL
OUTDOOR SPACE

PUBLIC
ZONE

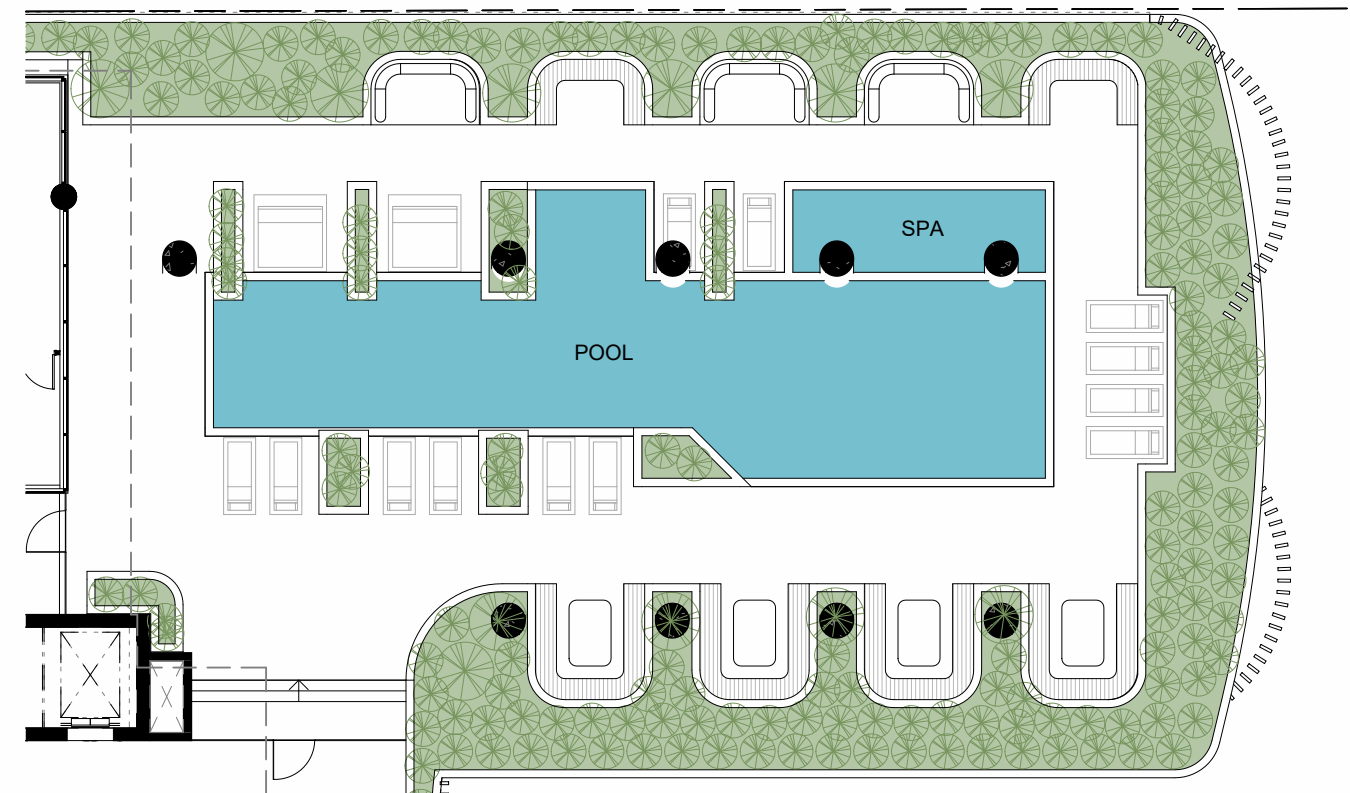


OUTDOOR SPACES - 3D VIEW

OCCUPY OUTDOOR SPACES

OUTDOOR RECREATION

The communal pool area contributes to the building's outdoor spaces and greenery by providing a usable, subtropical open-air environment that enhances resident wellbeing. The pool is surrounded by planting creating a well-protected area that softens the built form. This shared space promotes social interaction and recreational activity that enhances user's connection with nature through vertical living environments.



LEVEL 7 - COMMUNAL AREA FLOOR PLAN - 1:180



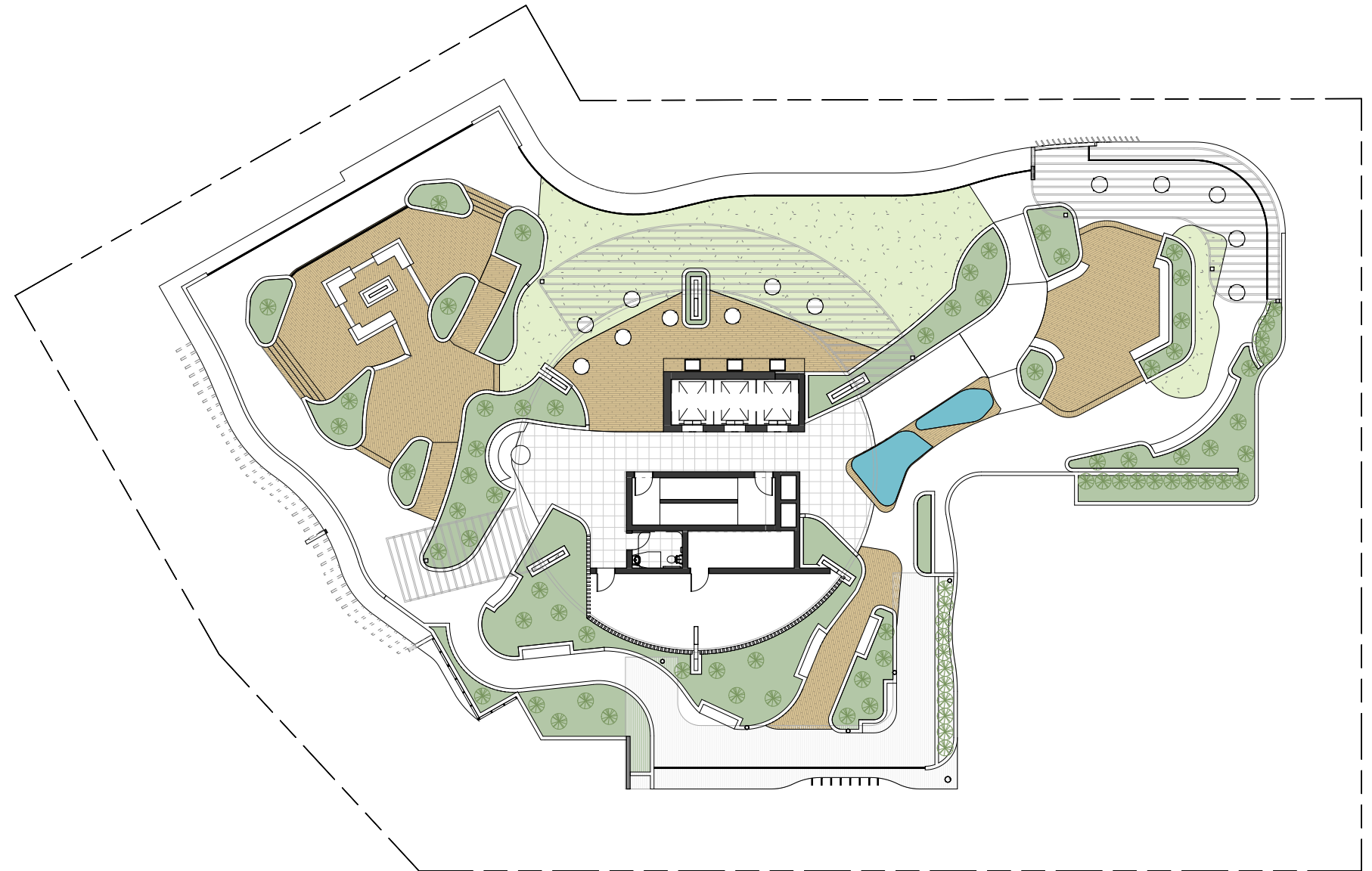
SOUTH EAST ELEVATION - 1:1000



OCCUPY OUTDOOR SPACES

ROOFTOP WELLNESS DESIGN

The proposed rooftop terrace features elevated outdoor decks, BBQ areas, and landscaped green spaces, promoting outdoor living, passive cooling, and urban greening. These spaces encourage social interaction, and support Brisbane's subtropical lifestyle. Positioned high above the city, the terrace offers residents a comfortable, shaded environment and a unique opportunity to relax and enjoy panoramic views of the urban skyline.



ROOFTOP TERRACE - COMMUNAL AREA FLOOR PLAN - 1:300

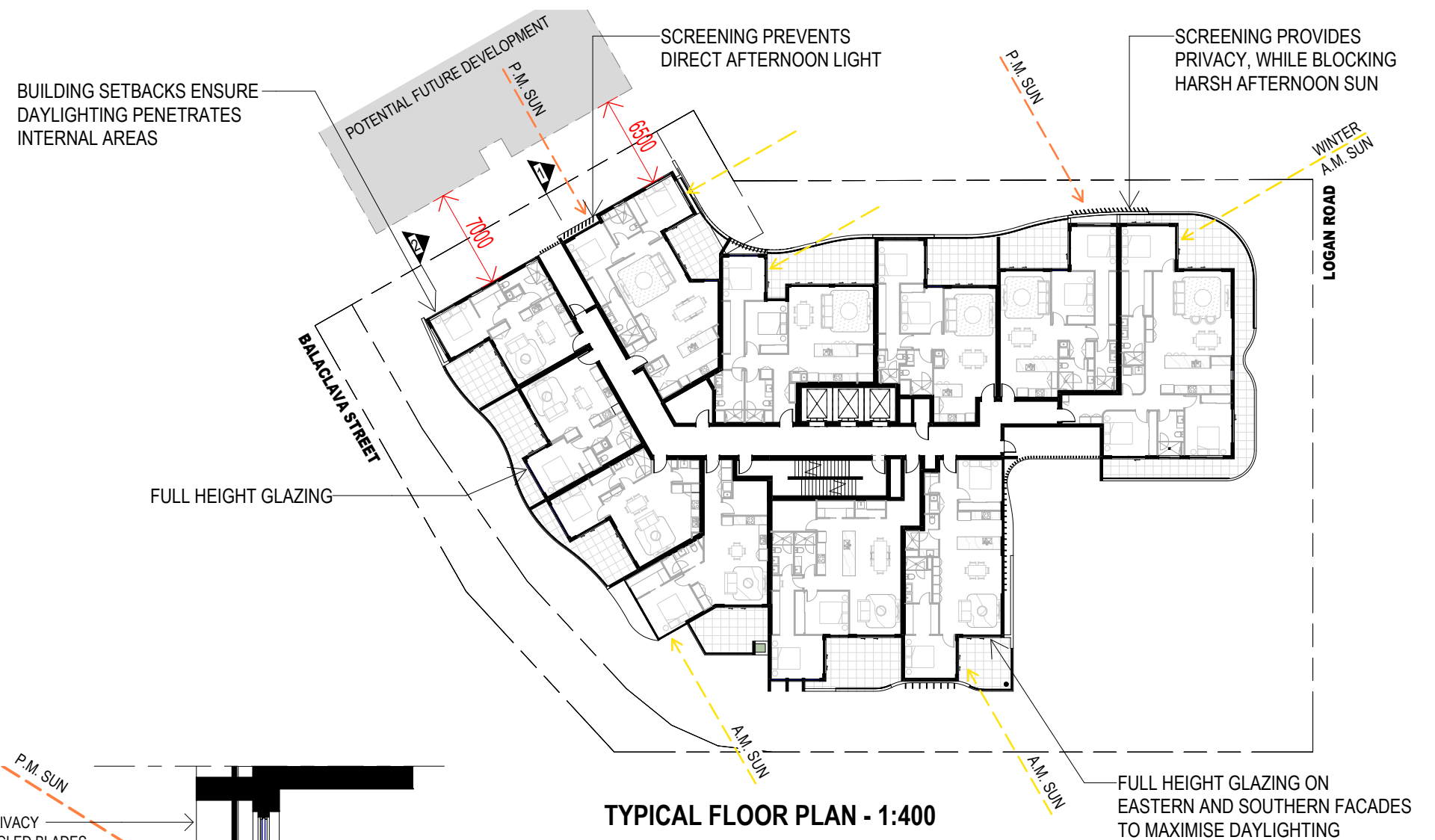


ILLUMINATE WITH DAYLIGHT

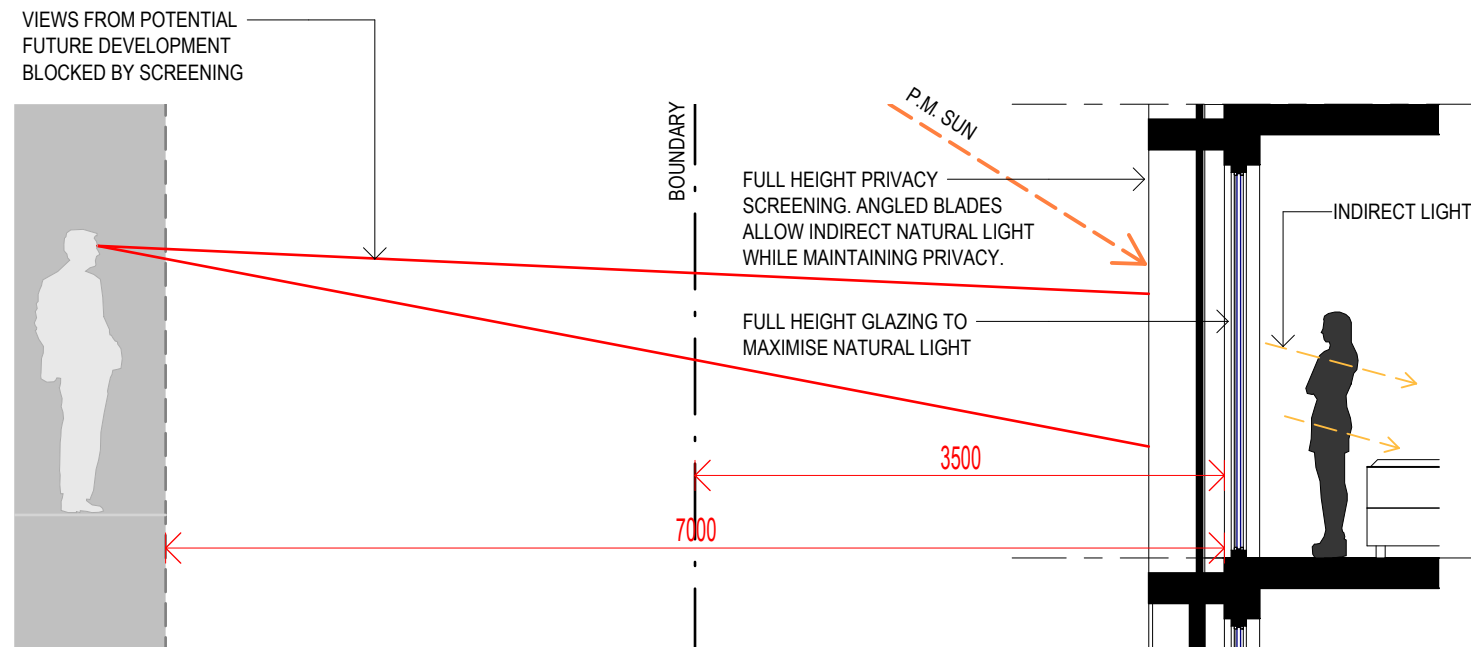
DAYLIGHTING DESIGN

The building design of 44 Balaclava Street incorporates high-performance glazing and façade treatments to optimise natural light, views, and thermal comfort. Apartments feature floor-to-ceiling heights of approximately 2.8 m, with podium levels providing generous floor-to-floor heights for daylight and openness.

Full-height glazing on eastern and southern façades maximises light and views, while privacy screens and angled blades filter harsh sun, block sightlines, and maintain comfort. Setbacks further enhance daylight penetration, creating a bright, comfortable, and subtropical-optimised living environment.



TYPICAL FLOOR PLAN - 1:400



TYPICAL NORTH-WEST - GLAZING SECTION - 1:50

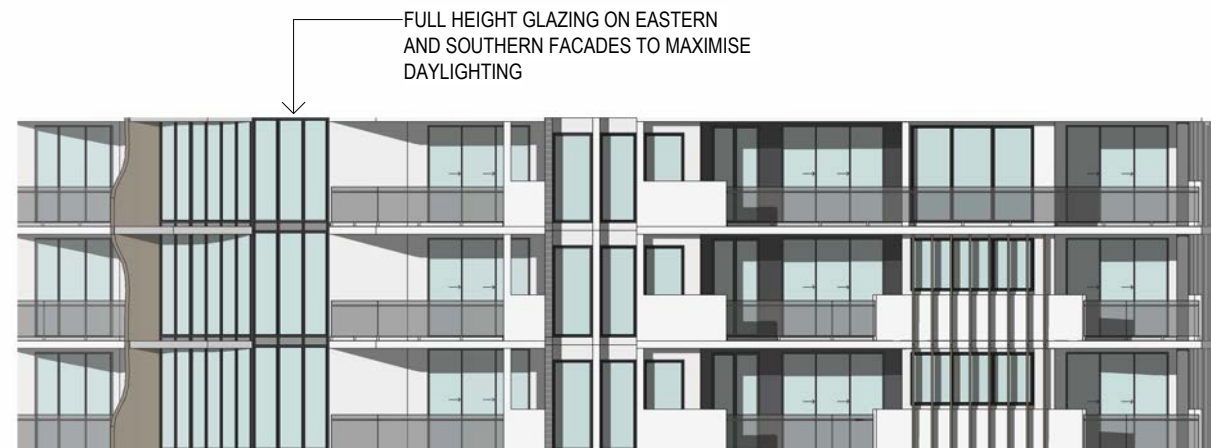


ILLUMINATE WITH DAYLIGHT

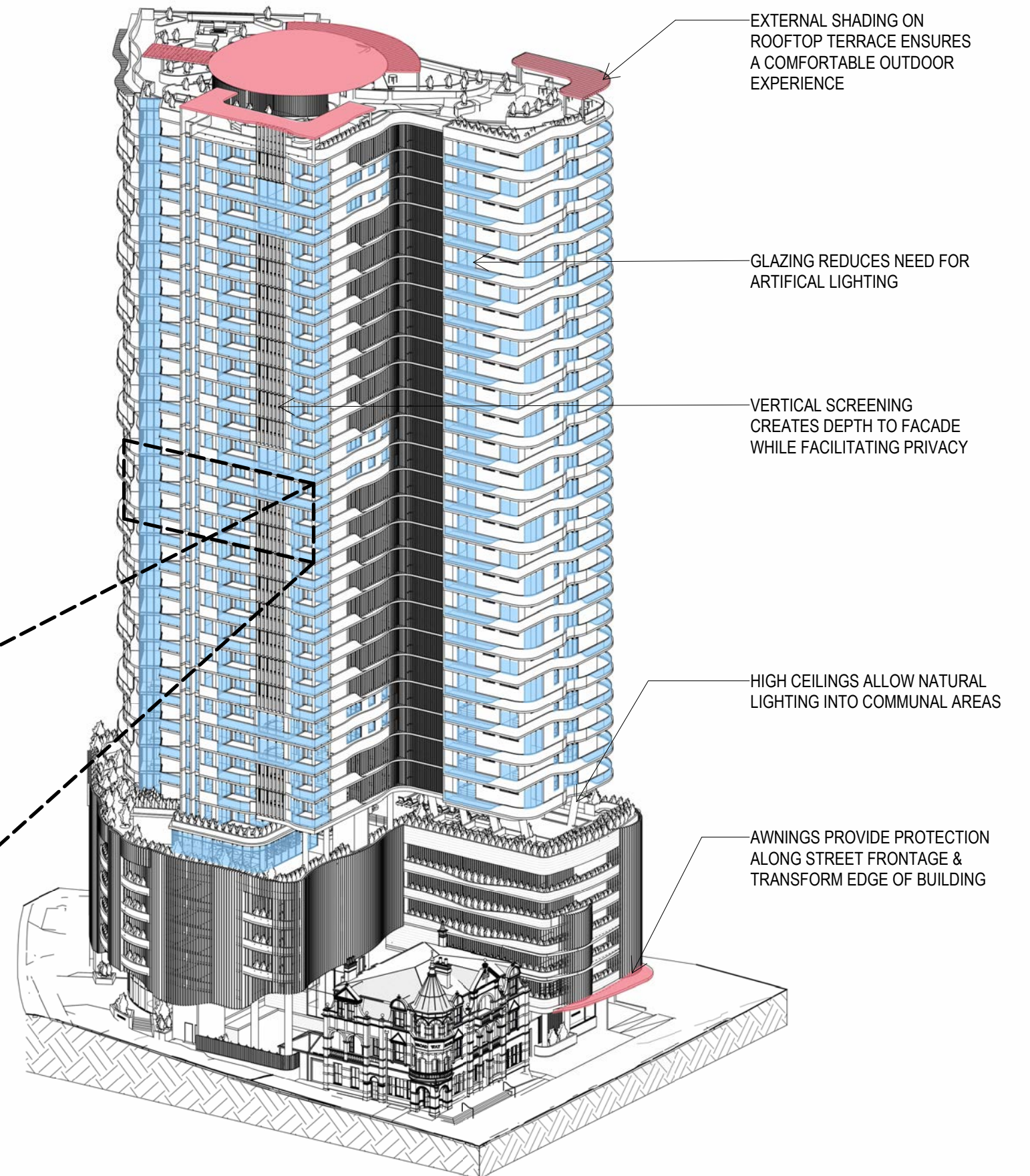
DAYLIGHTING DESIGN

The design incorporates glazing and shading elements to enhance comfort, daylighting, and visual quality. Full-height glazing on eastern and southern façades maximises natural light and views, reducing reliance on artificial lighting and connecting residents to the external environment. Vertical screening adds depth to the façade, provides privacy, and filters sunlight to improve thermal performance throughout the day.

High ceilings in communal areas allow natural light to penetrate deeply into interior spaces, creating bright and inviting environments. Awnings along the street frontage provide weather protection while activating the building edge for a pedestrian-friendly interface. On the rooftop terrace, external shading ensures a comfortable outdoor experience year-round, supporting subtropical design principles and enhancing resident amenity.



SOUTH EAST ELEVATION - CALLOUT - 1:200



DAYLIGHTING DESIGN - 3D VIEW

ILLUMINATE WITH DAYLIGHT

DAYLIGHTING DESIGN

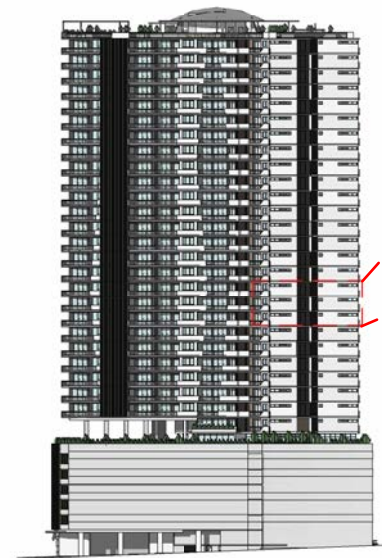
Minimal glazing is provided on the west-facing façade to reduce heat gain and protect interiors from harsh afternoon sunlight. High-level windows are incorporated to maintain privacy, prevent overlooking, and filter soft natural light into internal spaces.

Angled vertical screening allows indirect afternoon sun to enter while enhancing privacy and limiting views from potential future developments. These elements create a balance between light penetration, shading, and visual comfort.

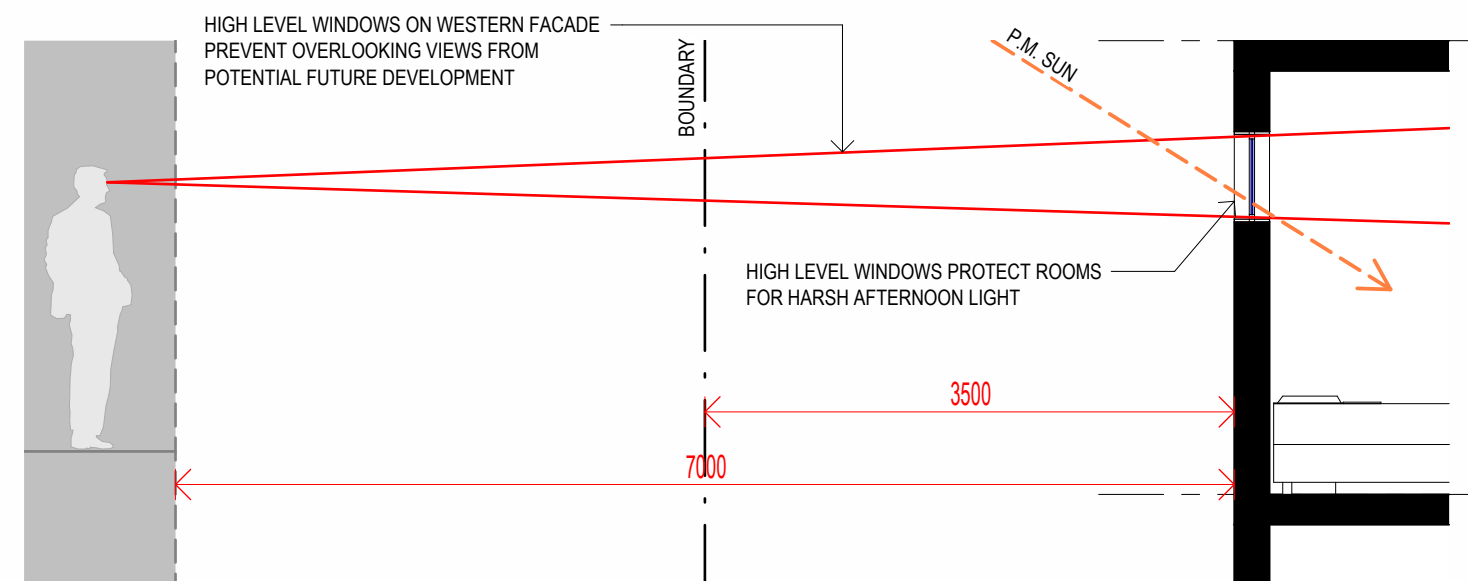
Full-height glazing on the southern façade maximises daylight access and views, ensuring bright, energy-efficient living environments while maintaining privacy from adjacent properties.



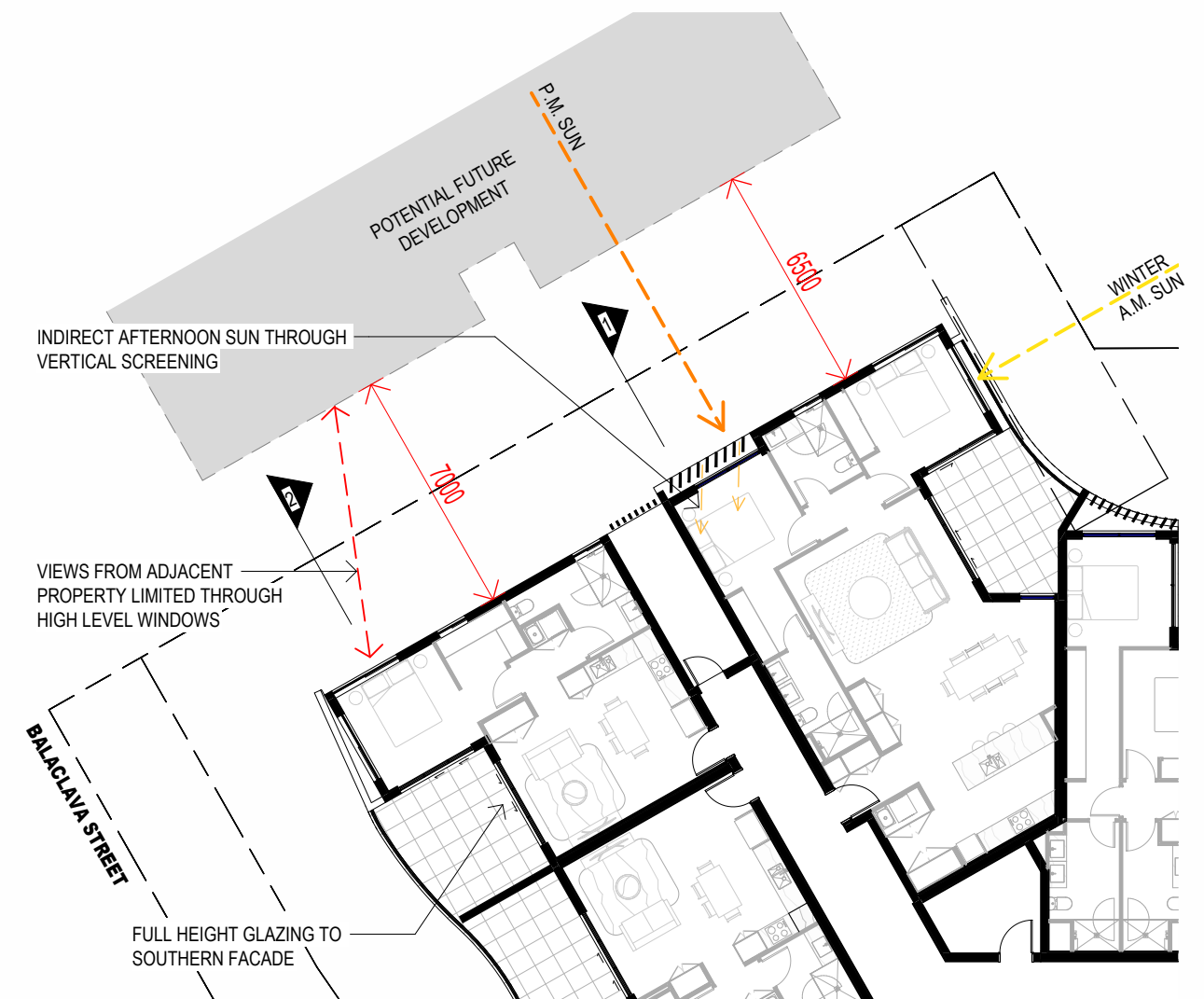
NORTH WEST ELEVATION - CALLOUT - 1:200



NORTH WEST ELEVATION - 1:1000



TYPICAL NORTH-WEST - GLAZING SECTION - 1:50



TYPICAL FLOOR PLAN - 1:200

NATURAL AIR & VENTILATION

NATURAL VENTILATION DESIGN

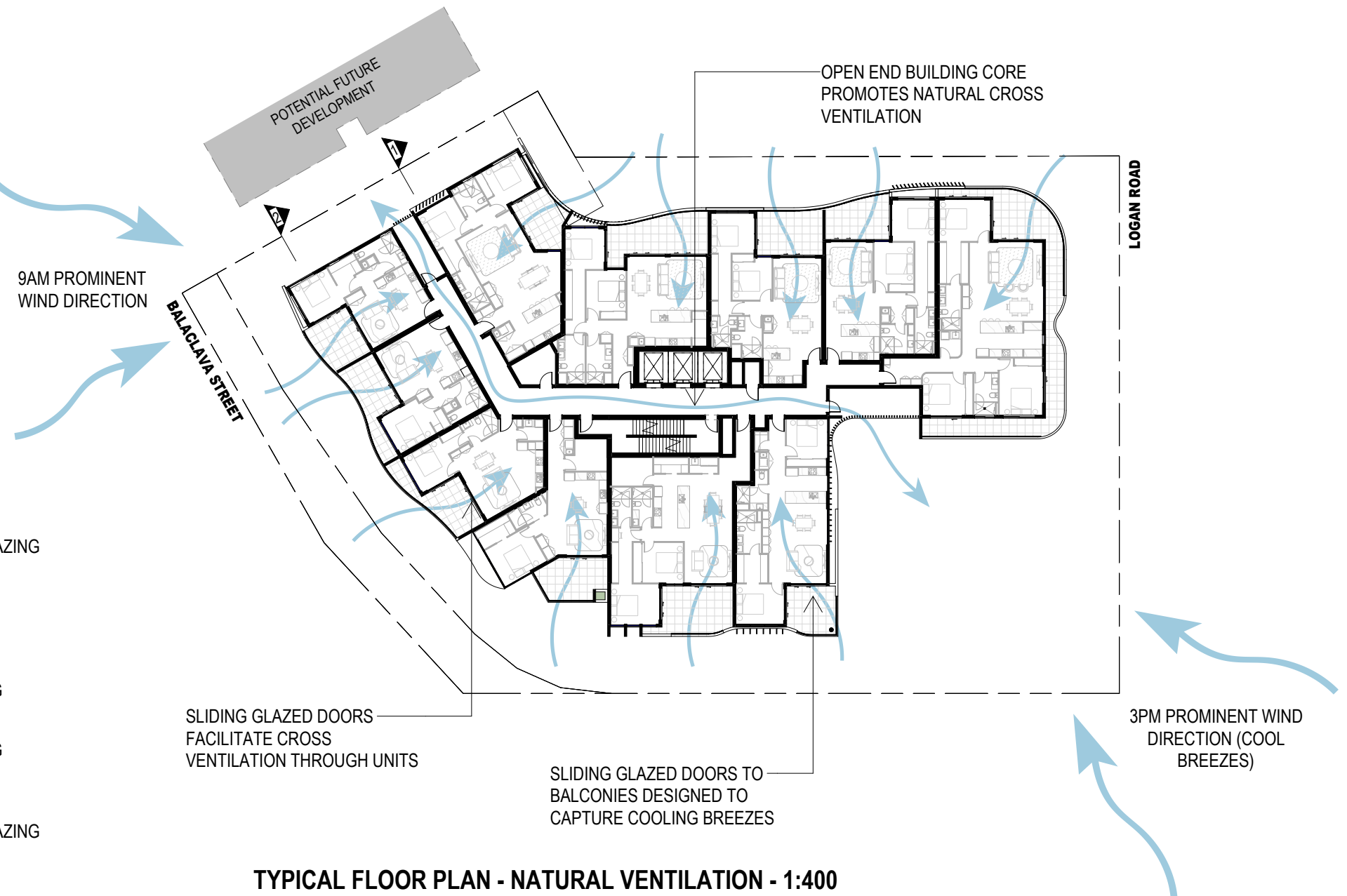
Implement natural ventilation systems to reduce energy use by capturing prevailing breezes at key times of day and facilitating cross-flow through internal spaces.

Apartments incorporate operable glazing and sliding glazed doors to encourage cross ventilation and improve airflow. Sliding doors to balconies are designed to capture cooling breezes, particularly from the prominent 9am and 3pm wind directions.

An open-ended building core further enhances natural ventilation, drawing fresh air through communal areas and individual units. Fixed glazing is applied where airflow is less critical, maintaining thermal performance while complementing ventilation strategies.



NATURAL VENTILATION DESIGN - 3D VIEW



TYPICAL FLOOR PLAN - NATURAL VENTILATION - 1:400

SHADE & PROTECT

VERTICAL SCREENING INCREASES
PRIVACY AND SHADING WHILST
PROVIDING CHARACTER AND
TEXTURE TO THE FACADE

FRAMELESS GLASS BALUSTRADE TO
INCREASE VISIBILITY OF SOUTHERN
VIEWS

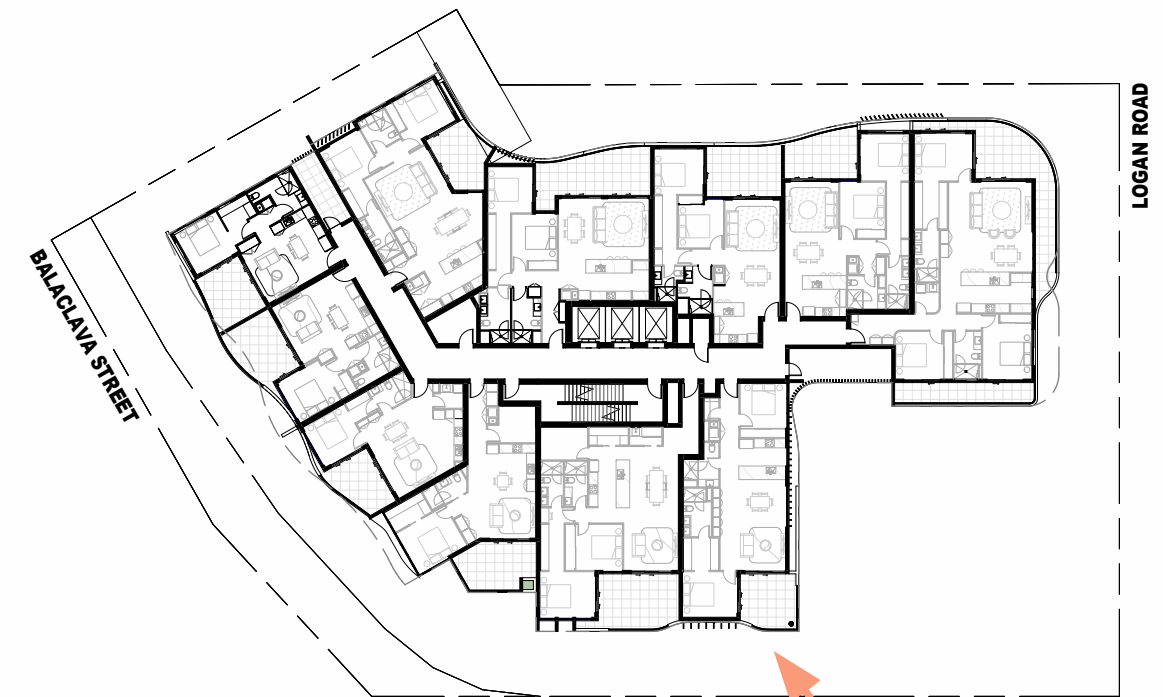
CHANGE IN THE FORM OF BALCONIES
TO CREATE A DYNAMIC FACADE

RECESS IN FACADE TO CREATE
FACADE ATRICULATION

SCREENING SPACES - 3D VIEW



SOUTH EAST ELEVATION - 1:1000



TYPICAL FLOOR PLAN - 1:500



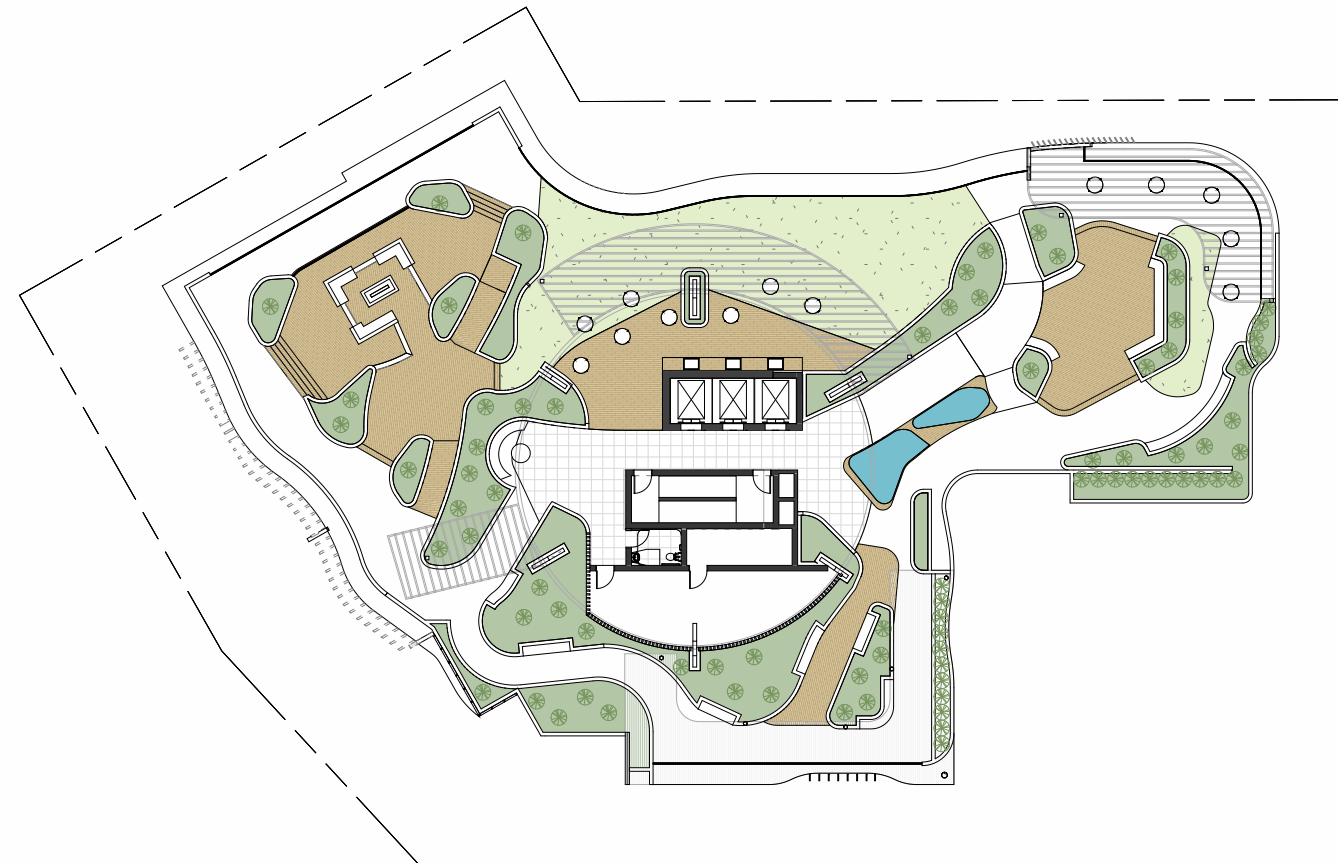
LIVING GREENERY

COMMUNAL AREA PLANTING

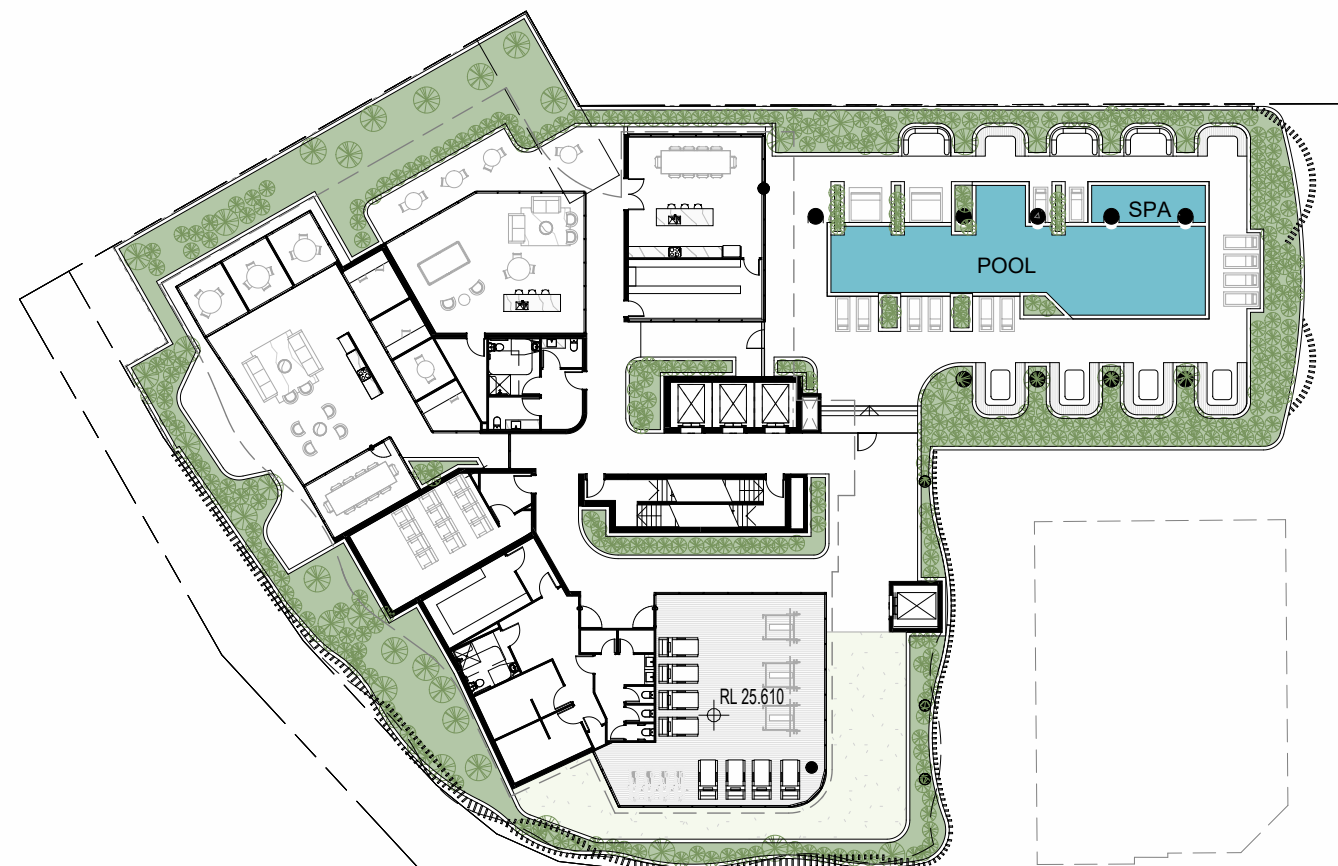
Living greenery is integrated across podium and rooftop levels to enhance resident amenity, improve environmental performance, and strengthen the building's connection to nature.

Podium-level communal areas feature raised planting, providing natural spaces for relaxation, social interaction, and visual interest. Landscaped edges and cascading greenery soften the built form while contributing to a cooler microclimate.

On rooftop levels, planting is combined with shaded outdoor areas to create comfortable recreation spaces with access to views and natural breezes. These elevated green zones promote well-being, reduce heat loads, and add ecological value to the development.



ROOFTOP TERRACE - COMMUNAL AREA FLOOR PLAN - 1:400



LEVEL 7 - COMMUNAL AREA FLOOR PLAN - 1:400



NORTH EAST ELEVATION - 1:750



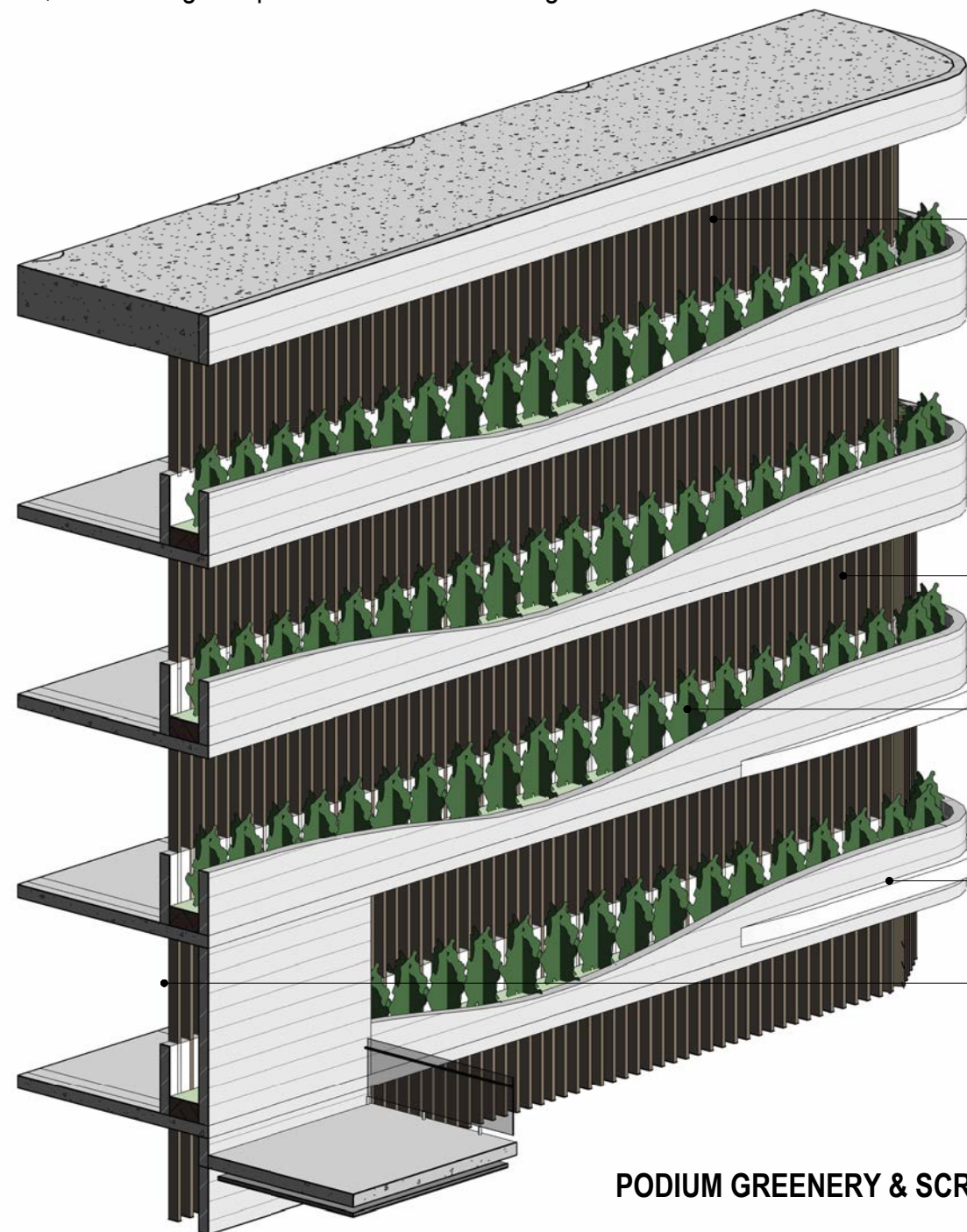
LIVING GREENERY

ELEVATED GARDENS

Incorporating living greenery enhances visual appeal, improves environmental performance, and provides natural outdoor spaces for residents.

Raised planting is integrated into communal areas at the podium level, creating landscaped zones for relaxation and recreation. Vertical batten screening obscures views of the car park while allowing natural light and airflow to penetrate, maintaining an open and breathable design.

Cascading planting along external edges softens the building's appearance and strengthens its connection to nature. Horizontal grooves in concrete panels and solid walls behind screening on lower levels further assist in eliminating noise and emissions, ensuring a comfortable and tranquil living environment.



RAISED PLANTING ENCOMPASSES THE COMMUNAL AREAS ON THE PODIUM LEVEL PROVIDING A NATURAL OUTDOOR SPACE FOR OCCUPANTS

VERTICAL BATTEN SCREENING TO OBSCURE VISION OF CAR PARK WHILST MAINTAINING NATURAL LIGHT AND AIR FLOW

CASCADING PLANTING TO EXTERNAL EDGES PROVIDE A SOFT EDGE TO THE BUILDING

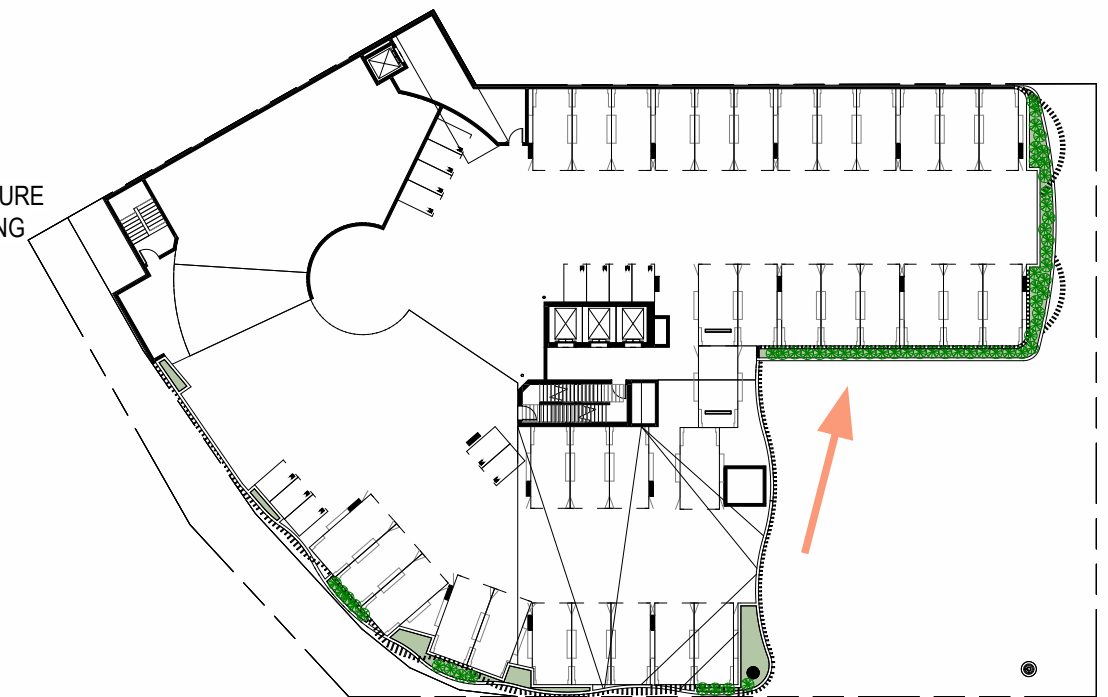
HORIZONTAL GROOVES IN CONCRETE PANELS

SOLID WALLS BEHIND SCREENING ON LOWER LEVELS TO ELIMINATE NOISE AND EMISSIONS TO OCCUPIED AREAS

PODIUM GREENERY & SCREENING - 3D VIEW



SOUTH EAST ELEVATION - 1:1000



LEVEL 6 - PARKING & PODIUM FLOOR PLAN - 1:500

IDENTITY MATTERS

CHOICE OF MATERIALS

The materials for 44 Balaclava Street respond to Brisbane's subtropical climate, Woolloongabba's local character, and the site's history. High-quality, durable, and locally sourced finishes create a textured, breathable, and visually engaging architectural identity.

Full-height glazed curtain walls maximise daylight and views, while powder-coated aluminium vertical blades and façade screening provide shading, privacy, and depth. Laneways, lobbies, and podiums incorporate aluminium-framed glazing, exposed concrete columns, smooth concrete floors and walls, timber batten ceilings, planter walls, and salvaged bricks that reference the site's historical footprint.

Podium and north-facing façades include horizontal grooves, hanging planters, concrete balcony walls, frameless glass balustrades, and rendered block walls for durability and comfort. Carpark screening and painted or aluminium-clad walls provide cohesion and articulation. The palette delivers a sustainable, high-quality development that celebrates local character, climate, and cultural heritage.

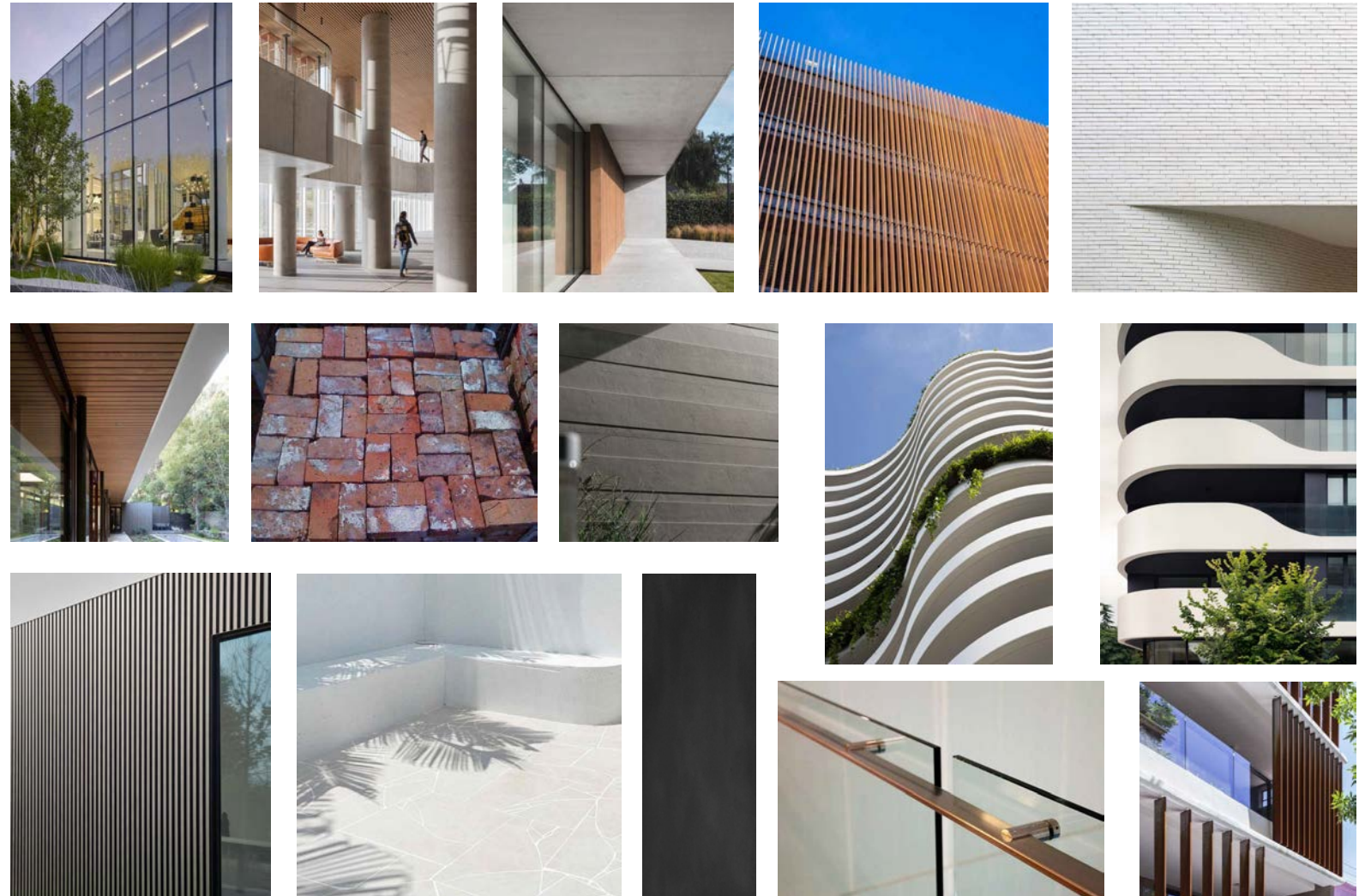
BUILT FORM

The built form of the project is designed to respond to its urban context, optimise residential amenity, and maximise solar access and natural ventilation. A slender, articulated form allows north-facing living areas to capture sunlight and views, while service cores and circulation zones are positioned on less favourable façades to reduce heat gain.

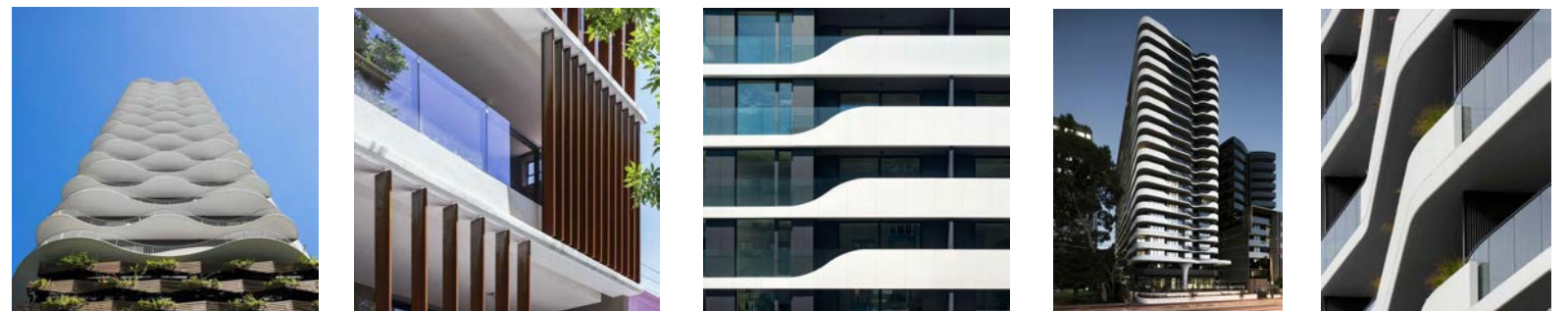
Podium levels are set back to create human-scale interfaces with the street and communal outdoor spaces, while upper levels step back to enhance daylight penetration and long-range views. Varied heights and façade modulation provide visual interest and contribute to the local skyline.

The building's massing integrates balconies, terraces, and landscaped areas to support passive cooling, outdoor amenity, and subtropical comfort. Lift cores, vertical circulation, and structural elements are carefully placed to preserve daylight access and maintain functional efficiency throughout the development.

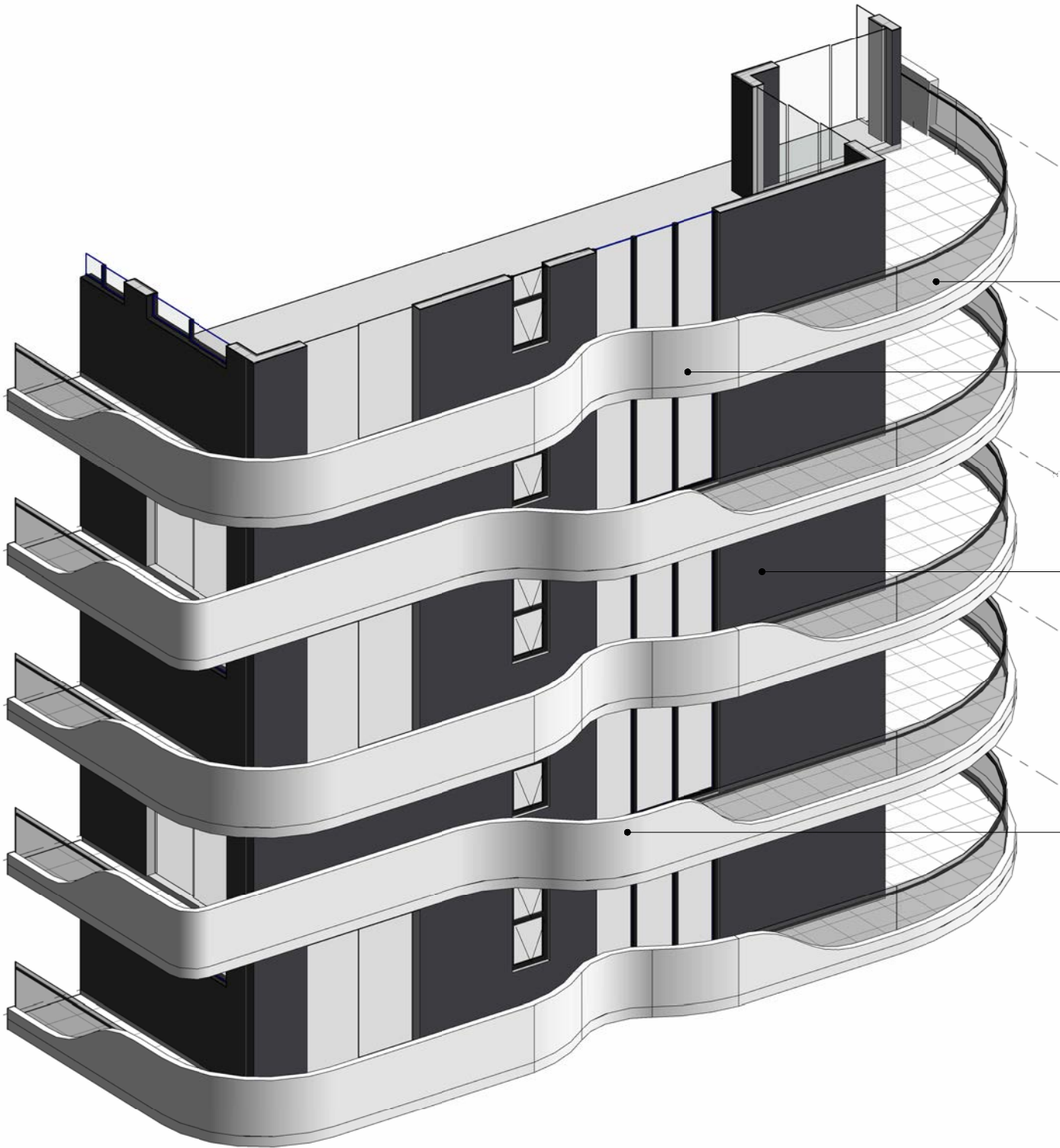
MATERIALS



FORM



BUILT FORM



FRAMELESS GLASS BALUSTRADE TO
INCREASE VISIBILITY OF CITY VIEWS

SWEEPING BALCONIES CREATE A
CURVILINEAR EXTERIOR FORM

LIGHT AND DARK PAINT FINISHES
CREATE CONTRAST TO EMPHASISE
CURVILINEAR FORM

CHANGE IN THE FORM OF SWEEPING
BALCONIES OCCUR AT EVERY LEVEL
TO CREATE A DYNAMIC FACADE

OUTDOOR SPACES FACADE FORM - 3D VIEW - 1:100



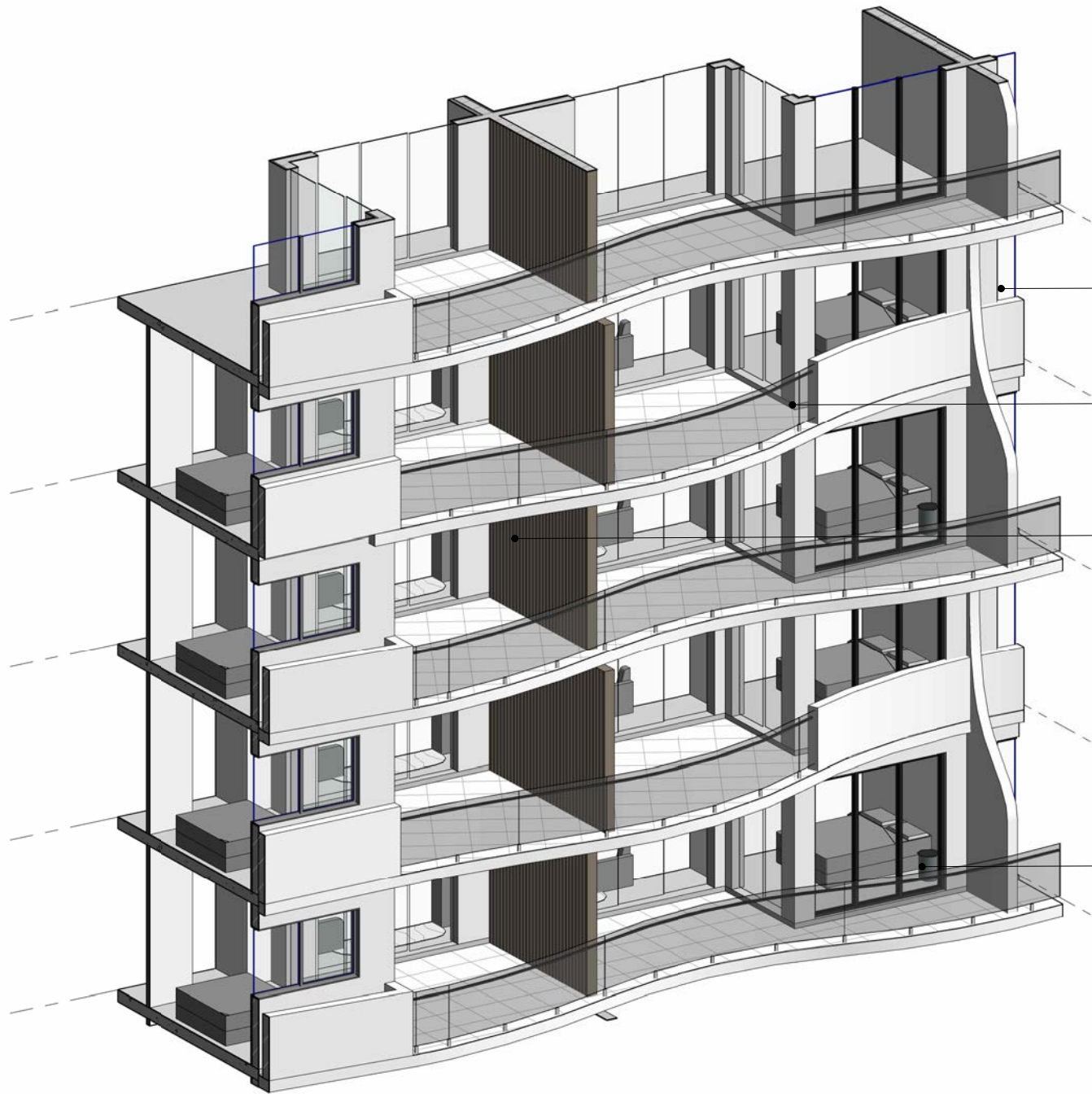
NORTH EAST ELEVATION - 1:1000



TYPICAL FLOOR PLAN - 1:500



BUILT FORM



VERTICAL ELEMENTS EXTRUDE
OUT TO SEPARATE ADJACENT
BALCONIES

FRAMELESS GLASS BALUSTRADE
FOLLOWS CURVED FORM

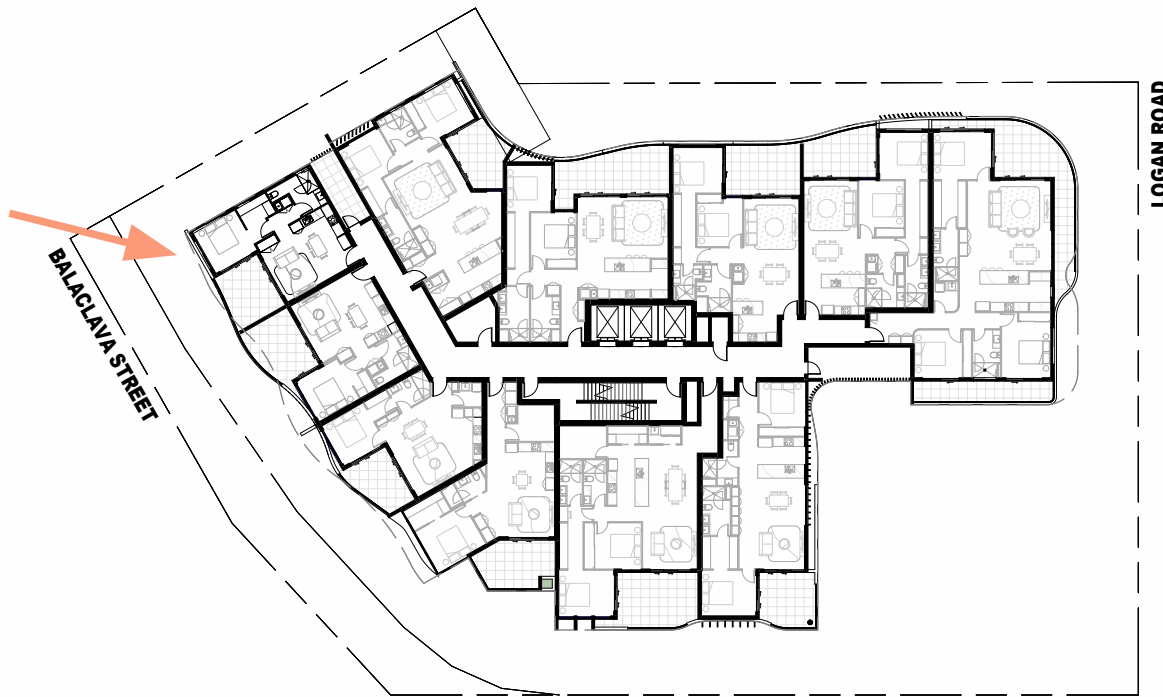
BLOCK WALLS WITH TIMBER
CLADDING TO SEPARATE
ADJACENT BALCONIES

CHANGE IN THE FORM OF SWEEPING
BALCONIES OCCUR AT EVERY LEVEL
TO CREATE A DYNAMIC FACADE

OUTDOOR SPACES FACADE FORM - 3D VIEW - 1:100



SOUTH ELEVATION - 1:1000



TYPICAL FLOOR PLAN - 1:500

