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DEVELOPMENT APPLICATION ENGINEERING CODES

Proposed High-Rise Residential Development
93 Logan Road, Woolloongabba (Stage 2)
Carbone Developments Pty Ltd

LOCAL AUTHORITY: Brisbane City Council
REPORT NUMBER: 23-198 Code Compliance V2
DATE PREPARED: September 2025
APPLICATION No: TBC

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INFRASTRUCTURE DESIGN CODE

CODE COMPLIANCE

The below information is an extract from Brisbane City Council (BCC) City Plan 2014, Part 9 Development Codes, 9.4 Other Development Codes, 9.4.4 Infrastructure Design Code. Table 9.4.4.3.A – Performance Outcomes and acceptable Outcomes.

PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		COMPLIANCE ASSESSMENT
PO1	Development provides roads, pavement, edging and landscaping which: (a) Are designed and constructed in accordance with the road hierarchy; (b) Provide for safe travel for pedestrians, cyclists and vehicles; (c) Provide access to properties for all modes; (d) Provide utilities; (e) Provide high levels of aesthetics and amenity, improved liveability and future growth; (f) Provide for the amelioration of noise and other pollution; (g) Provide a high-quality streetscape; (h) Provide a low-maintenance asset with a minimal whole-of-life cost.	AO1	Development provides roads and associated pavement, edging and landscaping which are designed and constructed in compliance with the road corridor design standards in the <u>Infrastructure design planning scheme policy</u>.	The development is currently located within an area where Council owned infrastructure is provided. Access roads to the development are existing. Any works required in the road reserve along the development frontage will be undertaken in accordance with Council's Infrastructure Design Planning Scheme Policy during the Operational Works phase.
PO2	Development provides road pavement surfaces which: (a) Are well designed and constructed; (b) Durable enough to carry the wheel loads of the intended types and numbers of travelling and parked vehicles; (c) Ensures the safe passage of vehicles, pedestrians and cyclists, the discharge of stormwater run-off and the preservation of all-weather access;	AO2	Development provides road pavement surfaces which are designed and constructed in compliance with the road corridor design standards in the <u>Infrastructure design planning scheme policy</u>.	Any works required to the road reserve will be carried out in accordance with the standards in the Infrastructure Design Planning Scheme Policy. Any damages caused during the construction of the proposed development is to be rectified to Brisbane City Council specifications and standard drawings.

PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		COMPLIANCE ASSESSMENT
	(d) Allows for reasonable travel comfort.			
PO3	Development provides a pavement edge which is designed and constructed to: (a) Control vehicle movements by delineating the carriageway for all users; (b) Provide for people with disabilities by allowing safe passage of wheelchairs and other mobility aids.	AO3	Development provides pavement edges which are designed and constructed in compliance with the road corridor design standards in the <u>Infrastructure design planning scheme policy</u> .	Will Comply. Works for the development and/or Removal of any redundant driveway/crossover/s if required will be carried out in accordance with the Infrastructure Design Planning Scheme Policy.
PO4	Development provides verges which are designed and constructed to: (a) Provide safe access for pedestrians clear of obstructions and access areas for vehicles onto properties; (b) Provide a sufficient area for public utility services; (c) Be maintainable by the Council.	AO4	Development provides verges which are designed and constructed in compliance with the road corridor design and streetscape locality advice standards in the <u>Infrastructure design planning scheme policy</u> .	Removal of existing driveway/s, existing footpath/s, construction of new driveway/s and any footpath/s and verge works if required will be carried out in accordance with the Infrastructure Design Planning Scheme Policy.

PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		COMPLIANCE ASSESSMENT
PO5	Development provides a lane or laneway identified in a neighbourhood plan which: (a) Allows equitable access for all modes; (b) Is safe and secure; (c) Has 24-hour access; (d) Is a low-speed shared zone environment; (e) Has a high-quality streetscape.	AO5	Development provides a lane or laneway identified in a neighbourhood plan which is embellished in compliance with the streetscape locality advice standards in the <u>Infrastructure design planning scheme policy</u>.	Not Applicable to this development. No public laneways are proposed.
PO6	Development of an existing premises provides at the frontage to the site, if not already provided, the following infrastructure to an appropriate urban standard: (a) An effective, high-quality paved roadway; (b) An effective, high-quality roadway kerb and channel; (c) Safe, high-quality vehicle crossings over channels and verges; (d) Safe, accessible, high-quality verges compatible and integrated with the surrounding environment; (e) Safe vehicle access to the site that enables ingress and egress in a forward gear; (f) Provision of and required alterations to public utilities; (g) Effective drainage; (h) Appropriate conduits to facilitate the provision of required street-lighting systems and traffic signals.	AO6	Development of an existing premises provides at the frontage of the site, if not already existing, the following infrastructure to the standard that would have applied if the development involved new premises as stated in the road corridor design standards in the Infrastructure design planning scheme policy: (a) Concrete kerb and channel; (b) Forming and grading to verges; (c) Crossings over channels and verges; (d) A constructed bikeway; (e) A constructed verge or reconstruction of any damaged verge; (f) Construction of the carriageway; (g) Payment of costs for required alterations to public utility mains, services or installations; (h) Construction of and required alterations to public utility mains, services or installations; (i) Drainage works; (j) Installation of electrical conduits	The existing roads fronting the site are fully formed roads consisting of an asphalt road pavement, kerb and channel and formed road verges. All works required for the proposed development will be carried out to Local Council guidelines and standards. Where public utility alterations may be required, appropriate contact will be made to the provider prior to commencement of works on site.

PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		COMPLIANCE ASSESSMENT
PO7	Development provides both cycle and walking routes which: (a) Are located, designed and constructed to their network classification (where applicable); (b) Provide safe and attractive travel routes for pedestrians and cyclists for commuter and recreational purposes; (c) Provide safe and comfortable access to properties for pedestrians and cyclists; (d) Incorporate water sensitive urban design into stormwater drainage; (e) Provide for utilities; (f) Provide for a high level of aesthetics and amenity, improved liveability and future growth; (g) Are a low-maintenance asset with a minimal whole-of-life cost; (h) Minimise the clearing of significant native vegetation.	AO7	Development provides cycle and walking routes which are located, designed and constructed in compliance with the road corridor design and off-road pathway design standards in the Infrastructure design planning scheme policy.	Will comply. Appropriate consultants will be engaged to ensure pedestrian management is undertaken and maintained (permits and traffic management to be undertaken if deemed necessary). Any damage caused by the development will be rectified with Council's Infrastructure Design Planning Scheme Policy.
PO8	Development provides refuse and recycling collection, separation and storage facilities that are located and managed so that adverse impacts on building occupants, neighbouring properties and the public realm are minimised.	AO8.1	Development provides refuse and recycling collection and storage facilities in accordance with the <u>Refuse planning scheme policy</u> .	An area for the storage of the Bins is to be provided by the Architect. A Waste Management Consultant will be engaged to detail the Refuse and Recycling collection.
		AO8.2	Development ensures that refuse and recycling collection and storage location and design do not have any adverse impact including odour, noise or visual impacts on the amenity of land uses within or adjoining the development.	An area for the storage of the Bins is to be provided by the Architect. A Waste Management Consultant will be engaged to detail the Refuse and Recycling collection.

PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		COMPLIANCE ASSESSMENT
PO9	Development ensures that: (a) Land used for an urban purpose is serviced adequately with regard to water supply and waste disposal; (b) The water supply meets the stated standard of service for the intended use and fire-fighting purposes.	AO9.1	Development ensures that the reticulated water and sewerage distribution system for all services is in place before the first use is commenced.	Will comply. The proposed development is an 'infill' development. All necessary infrastructure with regards to accessing sewer and water networks are all readily accessible. Concept services to be addressed during detailed design.

		AO9.2	Development provides the lot with reticulated water supply and sewerage to a standard acceptable to the distributor–retailer.	<u>Water</u> <u>Lot 76 on RP11846</u> An existing Ø150mm Water Main (RS208105) exists along Balaclava Street. There is currently a 20mm Water Service (WS255164) currently servicing the development site. This water service is currently connected to the above mentioned main. It is proposed that the Water meter be returned to UU and the service to be capped and abandoned at the main. <u>Lot 50 on RP217072</u> An existing Ø225 Water Main (RS208102) exists along Logan Road. There is an existing 40mm Water Service (WS255192) currently servicing the development site. The water service is currently connected to the above mentioned main. It is proposed that the water meter be returned to UU and the service will be capped and abandoned at the main. It is envisaged that a new suitability sized water service and meter will be installed and connected to the above mentioned main. The size and location will be determined by the hydraulic consultant during the Operational Works phase of this development. <u>Sewer</u> <u>Lot 76 on RP11846</u> There is an existing Ø150 Sewer Main Traversing the North-Western Corner of Lot 76 on RP11846 currently servicing the development site. Connected to the above mentioned main is an Existing Type G900 Sewer Manhole (MH164074) and two (2) Ø100mm Property Connections (PC301333 and PC301334). It is proposed that the above mentioned manhole and property connections will be capped, abandoned and removed. It is also proposed that the above mentioned main will be capped and abandoned at the North-Western Boundary of the development site. <u>Lot 50 on RP217072</u> An existing Ø450mm Sewer Main (LS165968) exists along Logan Road.
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				There is an existing Ø100mm Sewer Property Connection (PC303649) and an existing Ø150mm Sewer Property Connection (PC303647) currently servicing the development site. It is proposed that the existing property connections will be capped and abandoned at the main. It is envisaged that a new suitably sized property connection will be installed and connected to the above mentioned main. The size and location will be determined by the hydraulic consultant during the Operational Works phase of this development. A submission to Urban Utilities will be made at the appropriate time. Refer Appendix C for eBiMAP2 records and Refer Appendix D for Concept Design Plans.
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PO10	Development provides public utilities and street lighting which are the best current or alternative technology and facilitate accessibility, easy maintenance, minimal whole-of-life costs, and minimal adverse environmental impacts.	AO10.1	Development provides public utilities and street lighting which are located and aligned to: (a) Avoid significant native vegetation and areas identified within the <u>Biodiversity areas overlay map</u>; (b) Minimise earthworks; (c) Avoid crossing waterways, waterway corridors and wetlands or if a crossing is unavoidable, tunnel-boring techniques are used to minimise disturbance, and a disturbed area is reinstated and restored on completion of the work.	Will Comply. Public utility connections will be located to minimise impact on surrounding environment.
		AO10.2	Development provides compatible public utility services and street-lighting services which are co-located in common trenching for underground services.	Street lighting and public utility services exist within both Balaclava Street and Logan Road Frontages.
		AO10.3	Development provides public utilities and street lighting which are designed and constructed in compliance with the public utilities standards in the <u>Infrastructure design planning scheme policy</u> .	Street lighting and public utility services exist within both Balaclava Street and Logan Road Frontages.
PO11	Development ensures that land used for urban purposes is serviced adequately with telecommunications and energy supply.	AO11	Development provides land with the following services to the standards of the approved supplier: (a) Electricity; (b) Telecommunications services; (c) Gas service where practicable.	Electrical Engineer & Hydraulic Consultants will comply with relevant standards of practice. Electricity, Telecommunication and Gas utility services exist within both Balaclava Street and Logan Road Frontages.
PO12	Development ensures that major public projects promote the provision of affordable, high-bandwidth telecommunications services throughout the city.	AO12	Development provides conduits which are provided in all major Council and government works projects to enable the future provision of fibre optic cabling, if: (a) The additional expense is unlikely to be prohibitive; or (b) Further major work is unlikely or disruption would be a major concern, such as where there is a limited capacity road; or (c) There is a clear gap in the telecommunications network; or	Not applicable. Proposed development is not a major public project.

			(d) There is a clear gap in the bandwidth available to the area.	
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PO13	Development provides public art identified in a neighbourhood plan or park concept plan which: (a) Is provided commensurate with the status and scale of the proposed development; (b) Is sited and designed: (i) As an integrated part of the project design; (ii) As conceptually relevant to the context of the location; (iii) To reflect and respond to the cultural values of the community; (iv) To promote local character in a planned and informed manner.	AO13	Development provides public art identified in a neighbourhood plan or <u>park concept plan</u> which is sited and designed in compliance with the public art standards in the <u>Infrastructure design planning scheme policy</u>.	Not Applicable to this development.
PO14	Development provides signage of buildings and spaces which promote legibility to help users find their way.	AO14	Development provides public signage: (a) At public transport interchanges and stops, key destinations, public spaces, pedestrian linkages and at entries to centre developments; (b) Which details the location of the key destinations, public spaces and pedestrian linkages in the vicinity, the services available within the development and where they are located.	Not Applicable to this development.
PO15	Development that provides community facilities which form part of the development is functional, safe, low maintenance, and fit for purpose.	AO15	Development that provides community facilities which form part of the development is designed in compliance with the community facilities standards in the <u>Infrastructure design planning scheme policy</u>.	Not Applicable to this development.

PO16	Development provides public toilets which: (a) Are required as part of a community facility or park; (b) Are located, designed and constructed to be: (i) Safe; (ii) Durable; (iii) Resistant to vandalism; (iv) Able to service expected demand; (v) Fit for purpose.	AO16	Development that provides public toilets is designed and constructed in compliance with the public toilets standards in the <u>Infrastructure design planning scheme policy</u>.	Not Applicable. No public toilets are proposed.
PO17	Development provides bridges, tunnels, elevated structures and water access structures that are designed and constructed using proven methods, materials and technology to provide for: (a) Safe movement of intended users; (b) An attractive appearance appropriate to the general surroundings and any adjacent structures; (c) functionality and easy maintenance; (d) Minimal whole-of-life cost; (e) Longevity; (f) Current and future services.	AO17	Development that provides bridges, tunnels, elevated structures and water access structures is designed and constructed in compliance with the standards in the <u>Infrastructure design planning scheme policy</u>.	Not Applicable to this development.

PO18	Development provides culverts which are designed and constructed using proven methods, materials and technology to provide for: (i) Safety; (ii) An attractive appearance appropriate to the general surroundings; (iii) Functionality and easy maintenance; (iv) Minimal whole-of-life cost; (v) Longevity; (vi) Future widening; (vii) Current and future services; (viii) Minimal adverse impacts, such as increase in water levels or flow velocities, and significant change of flood patterns	AO18	Development that provides culverts is designed and constructed in compliance with the structures standards in the <u>Infrastructure design planning scheme policy</u>.	Not Applicable.
PO19	Development provides batters, retaining walls, and seawalls and river walls which are designed and constructed using proven methods, materials and technology to provide for: (a) Safety; (b) An attractive appearance appropriate to the surrounding area; (c) Easy maintenance; (d) Minimal whole-of-life cost; (e) Longevity; (f) Minimal water seepage.	AO19	Development that provides batters, retaining walls, seawalls and river walls is designed and constructed in compliance with the structures standards in the <u>Infrastructure design planning scheme policy</u>.	Will Comply. Any free-standing retaining walls (if required) over 1.0 metre in height will be designed and approved by a suitably qualified RPEQ Engineer. Earthwork batter angles will be designed and constructed to Geotechnical Engineers specifications.

If for development with a gross floor area greater than 1,000m ²				
PO20	Development ensures that construction is managed so that use of public spaces and movement on pedestrian, cyclist and other traffic routes is not unreasonably disrupted and existing landscaping is adequately protected from short- and long-term impacts.	AO20	Development ensures that during construction: (a) The ongoing use of adjoining and surrounding parks and public spaces, such as malls and outdoor dining, is not compromised; (b) Adjoining and surrounding landscaping is protected from damage; (c) Safe, legible, efficient and sufficient pedestrian, cyclist and vehicular accessibility and connectivity to the wider network are maintained.	Will comply. This is to be managed by the Contractor during Operational Works.
PO21	Development ensures that construction and demolition activities are guided by measures that prevent or minimise adverse impacts including sleep disturbance at a sensitive use, due to noise and dust, including dust from construction vehicles entering and leaving the site.	AO21.1	Development ensures that demolition and construction: (a) Only occur between 6:30am and 6:30pm Monday to Saturday, excluding public holidays; (b) Do not occur over periods greater than 12 months.	Will Comply. The appointed Builder/Contractor will provide a compliant Construction Management Plan to Council prior to receiving Operational Works Approval.
		AO21.2	Development including construction and demolition does not release dust emissions beyond the boundary of the site.	Will Comply. The appointed Builder/Contractor will provide a compliant Construction Management Plan to Council prior to receiving Operational Works Approval. Erosion and Sediment Control plans will be implemented to control of dust and air emissions during the earthwork's operations period and until such time as the site is rehabilitated.
		AO21.3	Development construction and demolition does not involve asbestos-containing materials.	Will Comply. Any materials containing asbestos will be professionally removed and disposed of as part of the Work Health and Safety act.

PO22	Development ensures that: (a) Construction and demolition do not result in damage to surrounding property as a result of vibration; (b) Vibration levels achieve the vibration criteria in Table 9.4.4.3.B, Table 9.4.4.3.C, Table 9.4.4.3.D and Table 9.4.4.3.E.	AO22	Development ensures that the nature and scale of construction and demolition do not generate noticeable levels of vibration.	Will Comply. Contractor to ensure Council vibration criteria is met throughout all stages of construction.
If for a material change of use or reconfiguring a lot in an urban area (as defined in the Regulation) involving premises that is, or will be, accessed by common private title, where involving buildings, either attached or detached, that are not covered by other legislation mandating fire hydrants.				
PO23	Development ensures that fire hydrants are: (a) installed and located to enable fire services to access water safely, effectively and efficiently; (b) suitably identified so that fire services can locate them at all hours.	AO23.1	Above or below ground fire hydrants are provided on residential, commercial and industrial streets and private roads, at not more than 90m intervals, and at each street intersection. <i>Note—On residential streets, above ground fire hydrants may be single outlet. On commercial and industrial streets above ground fire hydrants should have dual valved outlets.</i>	Will Comply. There are Existing Fire Hydrants located around the proposed development site. An existing Fire Hydrant (RHY32142) is located South West of the Development Site within Balaclava Street. An existing Fire Hydrant (RHY32140) is located East of the development site within Short Street. An existing Fire Hydrant (RHY32102) is located North-West of the development site within Logan Road. Refer Appendix C for eBiMAP2 records.
		AO23.2	Fire hydrants are identified by: (a) raised reflectorised pavement markers (RRPM) on sealed roads; marker posts at the fence line where on an unsealed road, as road (HR) or path (HP) hydrants.	Will Comply. If additional Fire Hydrants are required as part of the development, they will be installed to current Urban Utilities standards and guidelines.

PO24	Development ensures road widths and construction within the development, are adequate for refuse vehicles and for fire emergency vehicles to gain access to a safe working area close to buildings and near water supplies whether or not on-street parking spaces are occupied.	AO24	Internal private roads have a minimum roadway clearance between obstructions of 3.5m wide and 4.8m high in addition to any width required for on-street parking.	Will Comply. Refer to Traffic Consultants Report for further details.
Development for major electricity infrastructure and bulk water supply infrastructure identified on the State Planning Policy Interactive Mapping System where not in the Utility services zone precinct of the Special purpose zone.				
PO25	Development avoids or otherwise minimises adverse impacts on surrounding land uses through the use of buffers and setbacks and the appropriate design and location of plant and operational areas within the site.	AO25	No acceptable outcome is prescribed.	Not applicable to this development.
Development potentially impacting on major electricity infrastructure and bulk water supply infrastructure identified on the State Planning Policy Interactive Mapping System where the infrastructure is not in the Utility services zone precinct of the Special purpose zone.				
PO26	Development is sited and designed to: (a) avoid safety risks to people or property; (b) minimise noise and visual impacts to people and property; (c) ensure the physical integrity and operation, maintenance and expansion of the infrastructure is not compromised.	AO26	No acceptable outcome is prescribed.	Not applicable to this development.

FILLING & EXCAVATION

CODE COMPLIANCE

The below information is an extract from Brisbane City Council (BCC) City Plan 2014, Part 9 Development Codes, 9.4 Other Development Codes, 9.4.3 Filling and excavation code. Table 9.4.3.3.A – Performance Outcomes and acceptable Outcomes.

PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		COMPLIANCE ASSESSMENT
PO1	Development for <u>filling or excavation</u> minimises visual impacts from retaining walls and earthworks.	AO1	Development ensures that the total height of any cut and fill, whether or not retained, does not exceed: (a) 2.5m in a zone in the Industry zones category; (b) 1m in all other zones, or if adjoining a sensitive zone.	It is envisaged that the depth of cut is in the order of 13.5m in depth. Refer to Appendix D for Concept Design Plans.
PO2	Development of a retaining wall proposed as a result of <u>filling or excavation</u>: (a) Is designed and constructed to be fit for purpose; (b) Does not impact adversely on significant vegetation; (c) Is capable of easy maintenance.	AO2.1	Development of a retaining structure, including footings, surface drainage and subsoil drainage: (a) Is wholly contained within the site; (b) If the total height to be retained is greater than 1m, then: (i) The retaining wall at the property boundary is no greater than 1m above the ground level; (ii) All further terracing from the 1m high boundary retaining wall is 1 vertical unit:1 horizontal unit; (iii) The distance between each successive retaining wall (back of lower wall to face of higher wall) is no less than 1m horizontally to incorporate planting areas.	It is envisaged that the depth of cut is in the order of 13.5m in depth. Detailed design of all filling and excavation works will be finalised and documented via a Bulk Earthworks Plan during the Operational Works phase. Any retaining walls required as part of the bulk earthworks will be set back from the boundary to allow for subsoil drainage to be contained wholly within the development site. All retaining walls over 1m in retained height will be designed by a RPEQ Geotechnical/Structural Engineer. Refer Appendix D for Concept Design Plans.
		AO2.2	Development of a retaining wall over 1m in height protects significant vegetation on the site and on adjoining land and is designed and constructed in accordance with the structures standards in the <u>Infrastructure design planning scheme policy</u> and certified by a <u>Registered Professional Engineer Queensland</u> .	Will comply. All walls over 1m in retained height will be designed by a RPEQ Geotechnical/Structural Engineer.
		AO2.3	Development provides a retaining wall finish that presents to adjoining land that is	Will comply.

PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		COMPLIANCE ASSESSMENT
			maintenance free if the setback is less than 750mm from the boundary.	
		AO2.4	Development for filling only uses clean fill that does not include any construction rubble or debris.	Will Comply. Any fill required on site will be sourced from clean external sources. Compaction certificates to Level 1 are to be signed off by a Geotechnical Engineer.
P03	Development ensures that a rock anchor is designed and constructed to be fit for purpose.	AO3	Development ensures that a rock anchor: (a) Is constructed in accordance with the standards in the <u>Infrastructure design planning scheme policy</u>; (b) Where it extends beyond the property boundary, is supported by a letter of consent from the adjoining land and building owners.	Not Applicable to this development. No Rock Anchors are currently proposed for this Development.
P04	Development protects all services and public utilities.	AO4	Development protects services and public utilities and ensures that any alteration or relocation of services or public utilities meets the standard design specifications of the responsible service authorities.	Will Comply.
P05	Development provides surface and sub-surface drainage to prevent water seepage, concentration of run-off or ponding of stormwater on adjacent land.	AO5	Development ensures all flows and subsoil drainage are directed to a lawful point of discharge of a surface water diversion drain, including to the top or toe of a retaining wall in accordance with the stormwater drainage section of the Infrastructure design planning scheme policy.	Will Comply.

PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		COMPLIANCE ASSESSMENT
PO6	Development ensures that the design and construction of all open drainage works is undertaken in accordance with natural channel design principles, being the development of a stormwater conveyance system for major flows, by using a vegetated open channel or drain that approximates the features and functions of a natural waterway to enhance or improve riparian values of those stormwater conveyance systems.	AO6	No acceptable outcome is prescribed.	Not Applicable. No open drainage work is proposed for the development.
PO7	Development for <u>filling or excavation</u> : (a) Does not degrade water quality or adversely affect environmental values in receiving waters; (b) Ensures site sediment and erosion control standards are best practice.	AO7.1	Development for filling or excavation provides water quality treatment that complies with the stormwater drainage section of the <u>Infrastructure design planning scheme policy</u> .	Will Comply. Appropriate erosion and sediment control measures will be implemented prior to undertaking filling and excavation on site. These measures will be detailed during the Operational Works phase.
		AO7.2	Development provides erosion and sediment control standards that are in accordance with the stormwater drainage section of the Infrastructure design planning scheme policy.	Will Comply. An acceptable solution will be achieved through implementation of an Erosion and Sediment Control Program that requires the establishment and maintenance of controls in accordance with Council's guidelines.
PO8	Development for <u>filling or excavation</u> is conducted such that adverse impacts at a sensitive use due to noise and dust are prevented or minimised.	AO8.1	Development ensures that no dust emissions extend beyond the boundary of the site, including dust from construction vehicles entering and leaving the site.	Will Comply. The appointed Builder/Contractor will provide a compliant Construction Management Plan to Council prior to receiving Operational Works Approval. Erosion and Sediment Control plans will be implemented to control of dust and air emissions during the earthwork's operations period and until such time as the site is rehabilitated.
		AO8.2	Development for <u>filling or excavation</u> activity only occurs between the hours of 6:30am and	Will Comply. Contractor to comply with the standard work hours as set by Brisbane City Council. Any

PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		COMPLIANCE ASSESSMENT
			6:30pm Monday to Saturday, excluding public holidays.	works required outside these hours will require additional permits or written approval from Council.
PO9	Development ensures that vibration generated by the <u>filling or excavation</u> operation does not exceed the vibration criteria in <u>Table 9.4.3.3.D, Table 9.4.3.3.E, Table 9.4.3.3.F and Table 9.4.3.3.G.</u>	AO9	Development involving <u>filling or excavation</u> does not cause a ground-borne vibration beyond the boundary of the site.	Will Comply. Contractor to ensure the filling or excavation works does not cause a ground-borne vibration beyond the boundary as per Council policies.
PO10	Development ensures that heavy trucks hauling material to and from the site do not affect the <u>amenity</u> of established areas and limits environmental nuisance impact on adjacent land.	AO10	Development ensures that heavy trucks hauling material to and from the site: (a) Occur for a maximum of 3 weeks; (b) Use a major road to access the site; (c) Only use a minor road for the shortest-most-direct route that has the least amount of environmental nuisance if there is no major road alternative.	Will Comply. All trucks utilised for the import / export of earth for the development can be conditioned to use a haul route acceptable by Council.
PO11	Development for filling or excavation protects the environment and community health and wellbeing from exposure to contaminated land and contaminated material.	AO11	Development does not involve: (a) Excavation on land previously occupied by a notifiable activity or on land listed on the <u>Environmental Management Register</u> or the <u>Contaminated Land Register</u> ; (b) Filling with material containing a contaminant.	Not Applicable for this development. The site is NOT currently listed on EPA's Environmental Management Register or contaminated land register. All fill on site can be conditioned to not contain any contaminated material. Any contaminated material encountered during construction is to be removed from site to a suitable disposal facility.
PO12	Development provides for: (a) Landscaping for water conservation purposes; (b) Water sensitive urban design measures which are employed	AO12.1	Development provides landscaping which is designed using the standards in the <u>Landscape design guidelines for water conservation planning scheme policy.</u>	Will Comply. Water Sensitive Urban Design will be incorporated where possible to enhance the environmental values of the development.

PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		COMPLIANCE ASSESSMENT
	within the landscape design to maximise stormwater use and to reduce any adverse impacts on the landscape; (c) Stormwater harvesting to be maximised and any adverse impacts of stormwater minimised.	AO12.2	Development ensures that the design and requirements for irrigation are in compliance with the standards in the <u>Landscape design guidelines for water conservation planning scheme policy</u> .	Will Comply. Water Sensitive Urban Design will be incorporated where possible to enhance the environmental values of the development.
		AO12.3	Development provides areas of pavement, turf and mulched garden beds which are drained.	Will comply. All internal drainage will be detailed during the Operational Works Design phase of the development by the hydraulic consultant.
P013	Development ensures cutting and filling for the development of canals or artificial waterways avoids adverse impacts on coastal resources and processes.	AO13	Development does not involve the creation of canals or artificial waterways.	Not Applicable to this development.

STORMWATER CODE

CODE COMPLIANCE

The below information is an extract from Brisbane City Council (BCC) City Plan 2014, Part 9 Development Codes, 9.4 Other Development Codes, 9.4.9 Stormwater Code. Table 9.4.9.3.A – Performance Outcomes and acceptable Outcomes.

PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		COMPLIANCE ASSESSMENT
Section A—If for a material change of use, reconfiguring a lot, operational work or building work				
PO1	Development provides a stormwater management system which achieves the integrated management of stormwater to: (a) Minimise flooding; (b) Protect environmental values of receiving waters; (c) Maximise the use of water sensitive urban design; (d) Minimise safety risk to all persons; (e) Maximise the use of natural waterway corridors and natural channel design principles.	AO1	Development provides a stormwater management system designed in compliance with the <u>Infrastructure design planning scheme policy</u> .	Will Comply. The existing site stormwater discharges to the existing Ø1.575m stormwater pipe (I15000190) traversing the site from North-East to South-West. It is proposed to discharge the stormwater from the proposed development into the existing Ø1.575m stormwater pipe (I15000190). Refer to Site Based Stormwater Management Plan prepared by Naxos Engineers and Appendix D for the Concept Plans.
PO2	Development ensures that the stormwater management system and site work does not adversely impact flooding or drainage characteristics of premises which are up slope, down slope or adjacent to the site.	AO2.1	Development does not result in an increase in flood level or flood hazard on up slope, down slope or adjacent premises.	Will comply. The Development Site is subject to flooding from Brisbane River FPA5 and Creek/Waterway flooding FPA4 and FPA5. Refer to Appendix F for FloodWise Property Report and Appendix G for Brisbane City Council (BCC) Interactive Mapping. A Risk assessment is to be prepared during the Operational Works Phase of the development.
		AO2.2	Development provides a stormwater management system which is designed in compliance with the standards in the <u>Infrastructure design planning scheme policy</u> .	Will Comply. Refer to Site Based Stormwater Management Plan prepared by Naxos Engineers and Appendix D for the Concept Plans.

PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		COMPLIANCE ASSESSMENT
PO3	Development ensures that the stormwater management system does not direct stormwater run-off through existing or proposed lots and property where it is likely to adversely affect the safety of, or cause nuisance to properties.	AO3.1	Development ensures that the location of the stormwater drainage system is contained within a road reserve, drainage reserve, public pathway, and park or waterway corridor.	Will Comply. Refer Appendix D for Concept Design Plans which nominate the location of the proposed stormwater drainage outlets.
		AO3.2	Development provides a stormwater management system which is designed in compliance with the standards in the <u>Infrastructure design planning scheme policy</u> .	Will Comply. Refer to Site Based Stormwater Management Plan prepared by Naxos Engineers and Appendix D for the Concept Plans.
		AO3.3	Development obtains a lawful point of discharge in compliance with the standards in the <u>Infrastructure design planning scheme policy</u> .	Will Comply. Refer to Site Based Stormwater Management Plan prepared by Naxos Engineers and Appendix D for the Concept Plans.
		AO3.4	Where on private land, all underground stormwater infrastructure is secured by a drainage easement.	Will Comply. Refer Appendix D for Concept Design Plans.
PO4	Development provides a stormwater management system which has sufficient capacity to safely convey run-off taking into account increased run-off from impervious surfaces and flooding in local catchments.	AO4.1	Development provides a stormwater conveyance system which is designed to safely convey flows in compliance with the standards in the <u>Infrastructure design planning scheme policy</u> .	Will Comply. Refer to the attached Concept Design Plans in Appendix D which nominate the location of the proposed stormwater drainage infrastructure.
		AO4.2	Development provides sufficient area to convey run-off which will comply with the standards in the <u>Infrastructure design planning scheme policy</u> .	Will Comply. Refer to the attached Concept Design Plans in Appendix D, which nominate the location of the proposed stormwater drainage infrastructure.
PO5	Development designs stormwater channels, creek modification works, bridges, culverts and major drains to protect and enhance the value of the waterway corridor or drainage path for fauna movement.	AO5	Development ensures the design of stormwater channels, creek modifications or other infrastructure, permits terrestrial and aquatic fauna movement.	Not applicable.

PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		COMPLIANCE ASSESSMENT
PO6	Development ensures that location and design of stormwater detention and water quality treatment: (a) Minimises risk to people and property; (b) Provides for safe access and maintenance; (c) Minimises ecological impacts to creeks and waterways.	AO6.1	Development locates stormwater detention and water quality treatment: (a) Outside of a waterway corridor; (b) Offline to any catchment not contained within the development.	Will Comply. No stormwater detention is proposed for the Development Site. Refer to the Site Based Stormwater Management Plan prepared by Naxos Engineers for additional information. Refer to the Concept Design Plans in Appendix D.
		AO6.2	Development providing for stormwater detention and water quality treatment devices are designed in compliance with the standards in the <u>Infrastructure design planning scheme policy</u> .	Will Comply. No stormwater detention is proposed for the Development. Refer to the Site Based Stormwater Management Plan prepared by Naxos Engineers for additional information. Refer to the Concept Design Plans in Appendix D.
PO7	Development is designed, including any car parking areas and channel works to: (a) Reduce property damage; (b) Provide safe access to the site during the <u>defined flood event</u> .	AO7.1	Development (including any ancillary structures and car parking areas) is located above minimum flood immunity levels in <u>Table 9.4.9.3.B, Table 9.4.9.3.C, Table 9.4.9.3.D, Table 9.4.9.3.E and Table 9.4.9.3.F</u> .	Will Comply. The Development Site is subject to flooding from Brisbane River FPA5 and Creek/Waterway flooding FPA4 and FPA5. Refer to Appendix F for FloodWise Property Report and Appendix G for Brisbane City Council (BCC) Interactive Mapping. A Risk assessment is to be prepared during the Operational Works Phase of the development.
		AO7.2	Development including the road network provides a stormwater management system that provides safe pedestrian and vehicle access in accordance with the standards in the <u>Infrastructure design planning scheme policy</u> .	Will Comply. The development will comply to the standards in the Infrastructure Design Planning Scheme Policy.
PO8	Development designs stormwater channels, creek modification works and the drainage network to protect and enhance the environmental values of the waterway corridor or drainage path.	AO8.1	Development ensures natural waterway corridors and drainage paths are retained.	Will Comply. The development will comply to the standards in the Infrastructure Design Planning Scheme Policy.
		AO8.2	Development provides the required hydraulic conveyance of the drainage channel and floodway, while maximising its potential to	Will Comply.

PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		COMPLIANCE ASSESSMENT
			maximise environmental benefits and minimise scour.	
		A08.3	Development provides stormwater outlets into waterways, creeks, wetlands and overland flow paths with energy dissipation to minimise scour in compliance with the standards in the <u>Infrastructure design planning scheme policy</u> .	Will Comply.
		A08.4	Development ensures that the design of modifications to the existing design of new stormwater channels, creeks and major drains is in compliance with the standards in the <u>Infrastructure design planning scheme policy</u> .	No modifications of existing channels, creeks or major drains are proposed.
PO9	Development is designed to manage run-off and peak flows by minimising large areas of impervious material and maximising opportunities for capture and re-use.	A09	No acceptable outcome is prescribed.	Will Comply.

PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		COMPLIANCE ASSESSMENT
PO10	Development ensures that there is sufficient site area to accommodate an effective stormwater management system.	AO10	No acceptable outcome is prescribed.	Will Comply. Refer to the Appendix D for Concept Design Plans which nominate the location of the proposed stormwater drainage infrastructure.
PO11	Development provides for the orderly development of stormwater infrastructure within a catchment, having regard to the:	AO11.1	Development with up-slope external catchment areas provides a drainage connection sized for ultimate catchment conditions that is directed to a lawful point of discharge.	No up-slope external catchment has been identified.
	(a) Existing capacity of stormwater infrastructure within and external to the site, and any planned stormwater infrastructure upgrades; (b) Safe management of stormwater discharge from existing and future up-slope development; (c) Implication for adjacent and down-slope development.	AO11.2	Development ensures that existing stormwater infrastructure that is undersized is upgraded in compliance with the <u>Priority infrastructure plan</u> and the standards in the <u>Infrastructure design planning scheme policy</u> .	Will Comply.
PO12	Development provides stormwater infrastructure which:	AO12.1	The stormwater management system is designed in compliance with the <u>Infrastructure design planning scheme policy</u> .	Will Comply.
	(a) Remains fit for purpose for the life of the development and maintains full functionality in the design flood event; (b) Can be safely accessed and maintained cost effectively; (c) Ensures no structural damage to existing stormwater infrastructure.	AO12.2	Development provides a clear area with a minimum of 2m radius from the centre of an existing manhole cover and with a minimum height clearance of 2.5m.	Will Comply.
PO13	Development ensures that all reasonable and practicable measures are taken to manage the impacts of erosion, turbidity and sedimentation, both within and external to the development site from construction activities, including vegetation clearing, earthworks, civil construction, installation of services, rehabilitation,	AO13	No acceptable outcome is prescribed.	Will Comply. The Builder / Contractor to comply with the Construction Management Plan and Erosion and Sediment Control Plan during construction.

PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		COMPLIANCE ASSESSMENT
	revegetation and landscaping to protect: (a) The environmental values and water quality objectives of waters; (b) Waterway hydrology; (c) The maintenance and serviceability of stormwater infrastructure.			
PO14	Development ensures that: (a) Unnecessary disturbance to soil, waterways or drainage channels is avoided; (b) All soil surfaces remain effectively stabilised against erosion in the short and long term.	AO14	No acceptable outcome is prescribed.	Will Comply. The Builder / Contractor to comply with the Construction Management Plan and comply with the code compliance during implementation.
PO15	Development does not increase: (a) The concentration of total suspended solids or other contaminants in stormwater flows during site construction; (b) Run-off which causes erosion either on site or off site.	AO15	No acceptable outcome is prescribed.	Will Comply. The Builder / Contractor to comply with the Construction Management Plan and comply with the code compliance during implementation.
Section B—Additional criteria which apply to high-risk development, being one or more of the following: (a) A material change of use for an urban purpose which involves greater than 2,500m ² of land that: (i) Will result in an impervious area greater than 25% of the net developable area; or (ii) Will result in 6 or more dwellings. (b) Reconfiguring a lot for an urban purpose that involves greater than 2,500m ² of land and will result in 6 or more lots; (c) Operational work for an urban purpose which involves disturbing greater than 2,500m ² of land.				

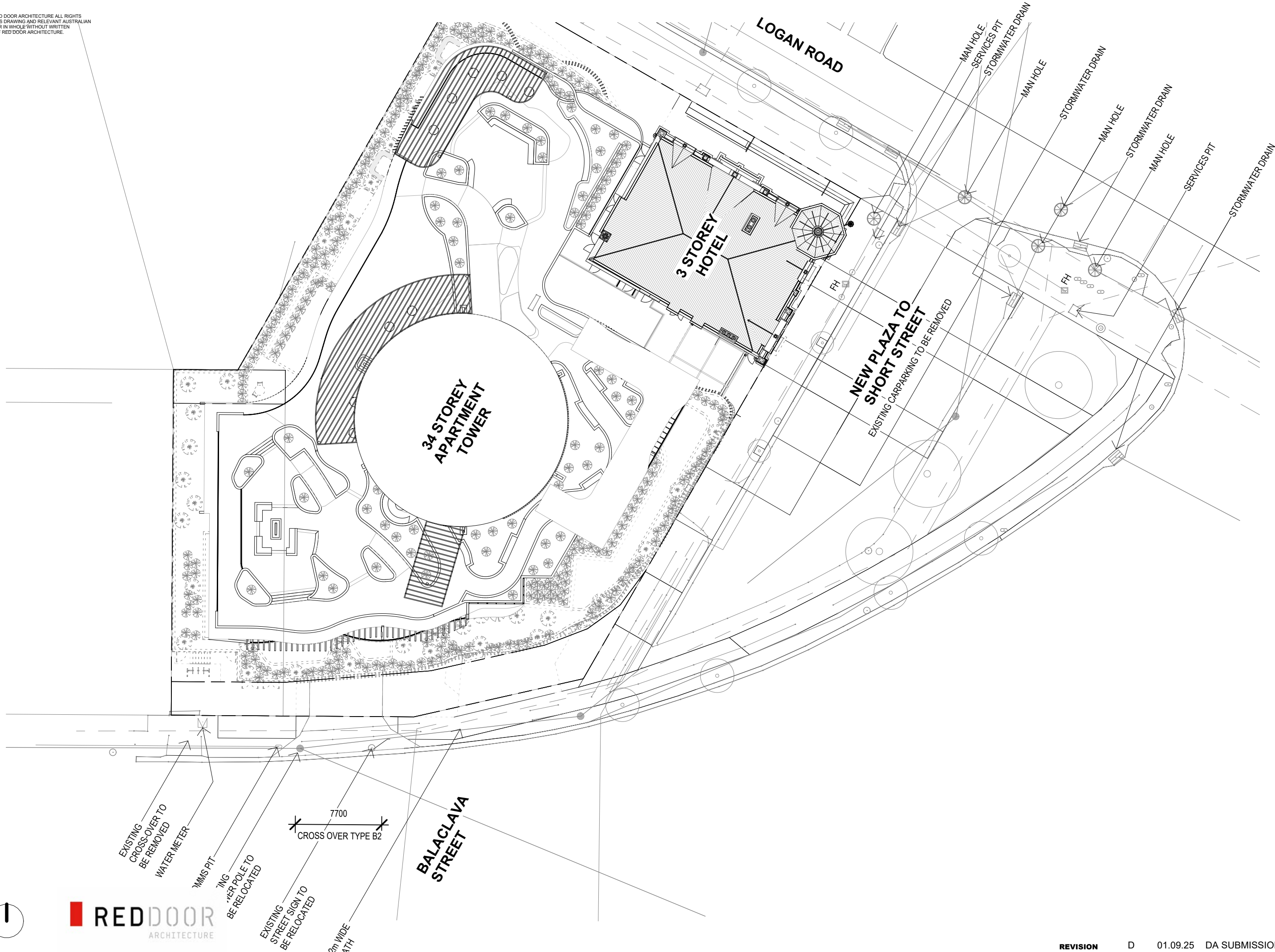
PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		COMPLIANCE ASSESSMENT
PO16	Development ensures that the entry and transport of contaminants into stormwater is avoided or minimised to protect receiving water environmental values.	AO16	Development provides a stormwater management system which is designed in compliance with the standards in the <u>Infrastructure design planning scheme policy</u> .	Not Applicable for the proposed development site.
PO17	Development ensures that: (a) The discharge of wastewater to a waterway or external to the site is avoided; or (b) If the discharge cannot practicably be avoided, the development minimises wastewater discharge through re-use, recycling, recovery and treatment.	AO17	No acceptable outcome is prescribed.	Not Applicable for the proposed development site.
Section C—Additional performance outcomes and acceptable outcomes for assessable development for a material change of use or reconfiguring a lot				
PO18	(c) Development protects stormwater infrastructure to ensure the following are not compromised: (d) the long term infrastructure for the stormwater network in the Long term infrastructure plans; (e) the existing and planned infrastructure for the stormwater network in the Local government infrastructure plan; (f) the provision of long term, existing and planned infrastructure for the stormwater network which: (i) is required to service the development or an existing and future urban	AO18	Development protects stormwater infrastructure in compliance with the following: (a) for long term infrastructure for the stormwater network, the Long term infrastructure plans; (b) for existing and planned infrastructure for the stormwater network, the Local government infrastructure plan; (c) the standards for stormwater drainage in the Infrastructure design planning scheme policy.	Will Comply.

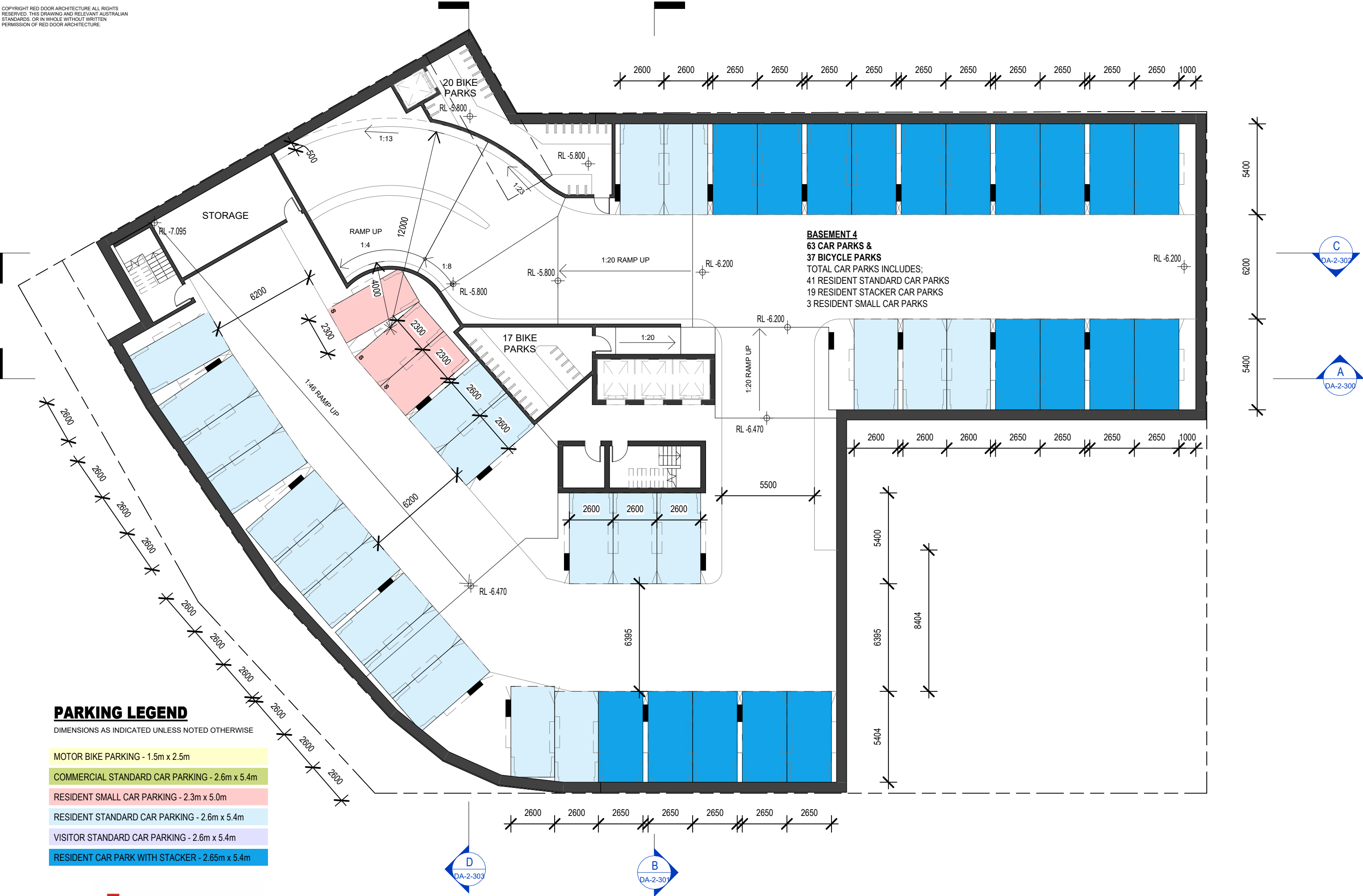
PERFORMANCE OUTCOMES		ACCEPTABLE OUTCOMES		COMPLIANCE ASSESSMENT
	development in the planning scheme area; or (ii) is in the interests of rational development or the efficient and orderly planning of the general area in which the site is situated.			
PO19	Development provides for the payment of extra trunk infrastructure costs for the following: (a) for development completely or partly outside the priority infrastructure area in the Local government infrastructure plan; (b) for development completely inside the priority infrastructure area in the Local government infrastructure plan involving: (i) trunk infrastructure that is to be provided earlier than planned in the Local government infrastructure plan; (ii) long term infrastructure for the stormwater network which is made necessary by development that is not assumed future urban development; (iii) other infrastructure for the stormwater network associated with development that is not assumed future urban development which is made necessary by the development.	AO19	No acceptable outcome is prescribed.	No Trunk Infrastructure works is proposed as part of this development.

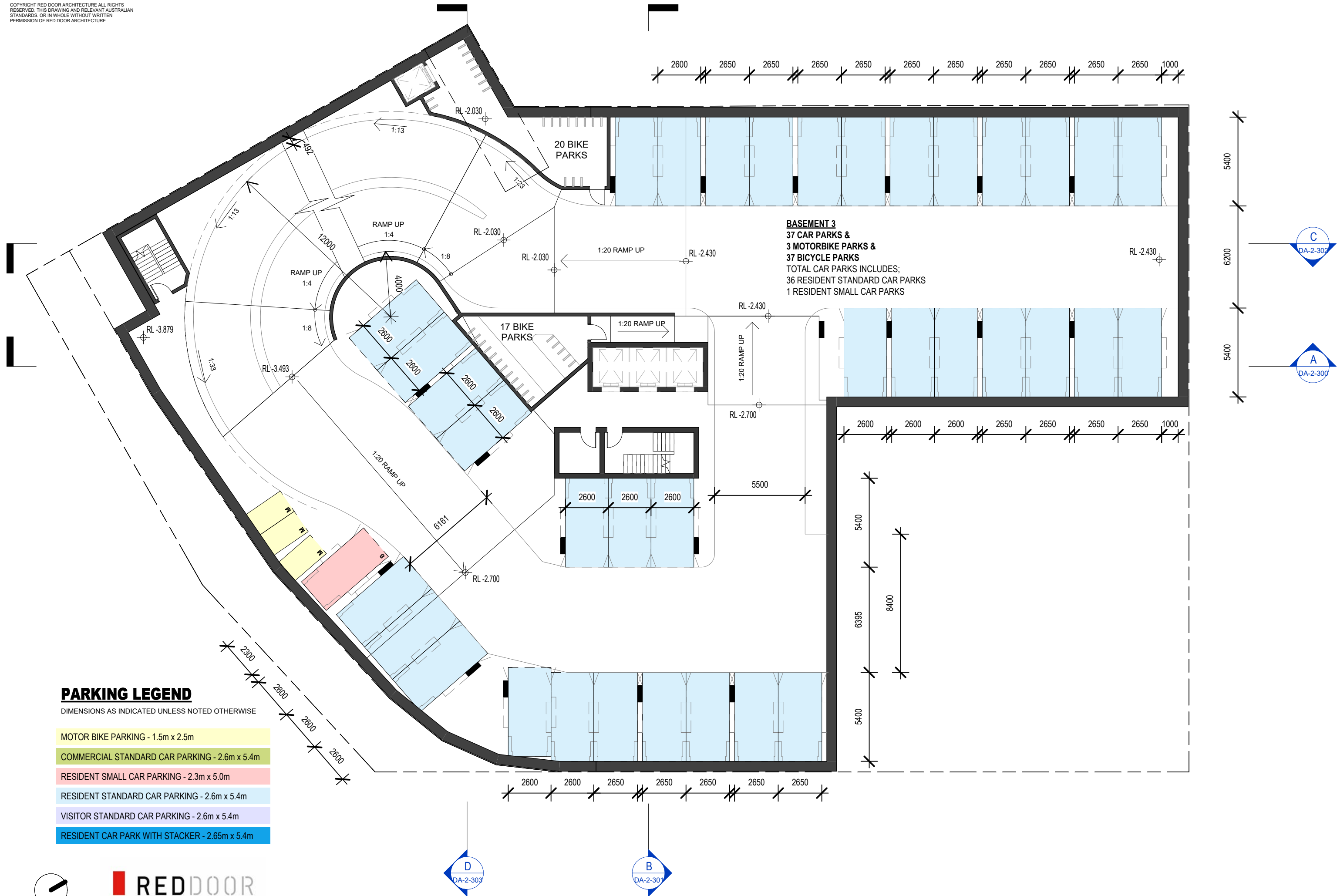
Appendix A – ARCHITECTURAL PLANS

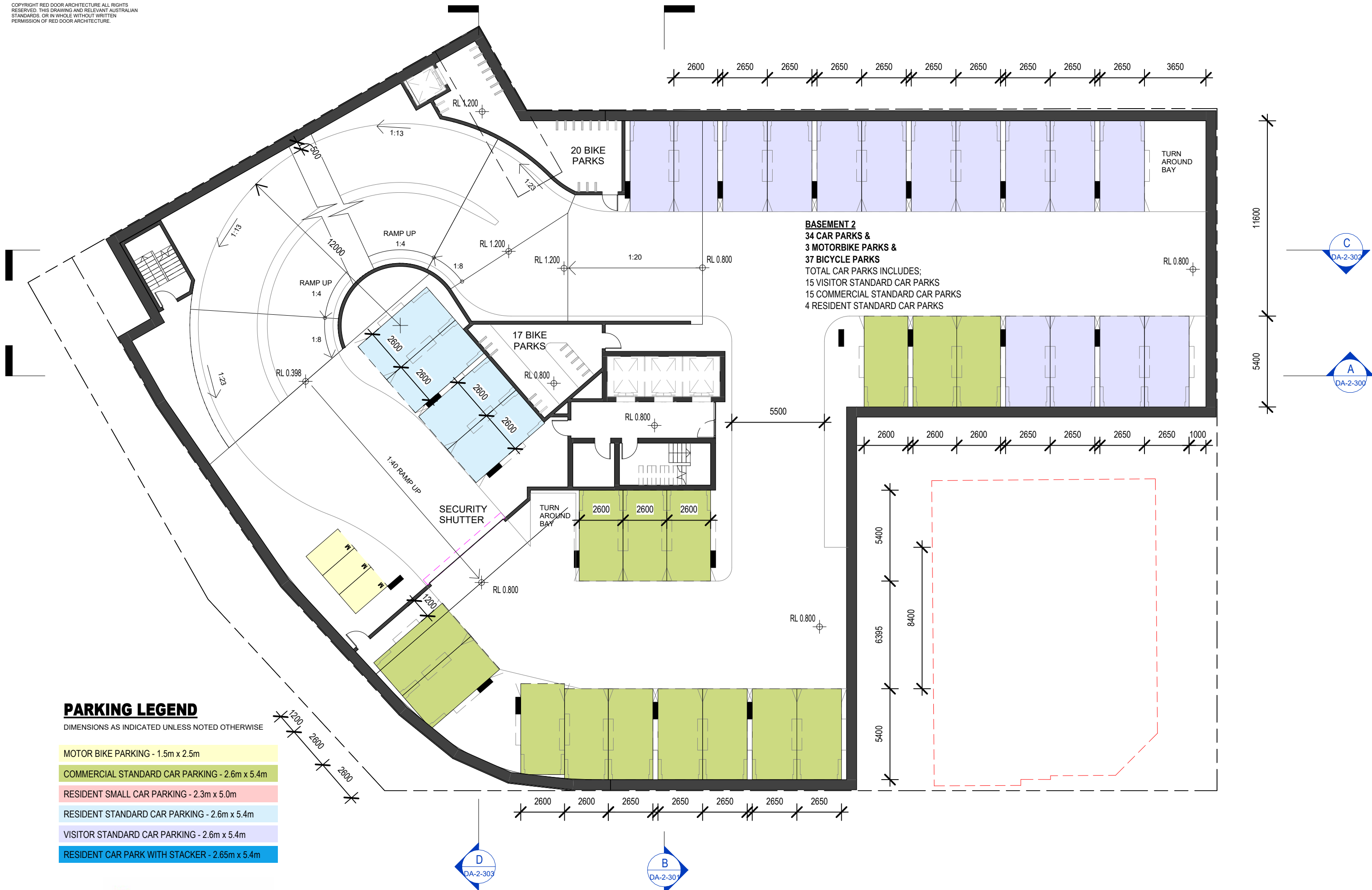
BROADWAY HOTEL HERITAGE WORKS

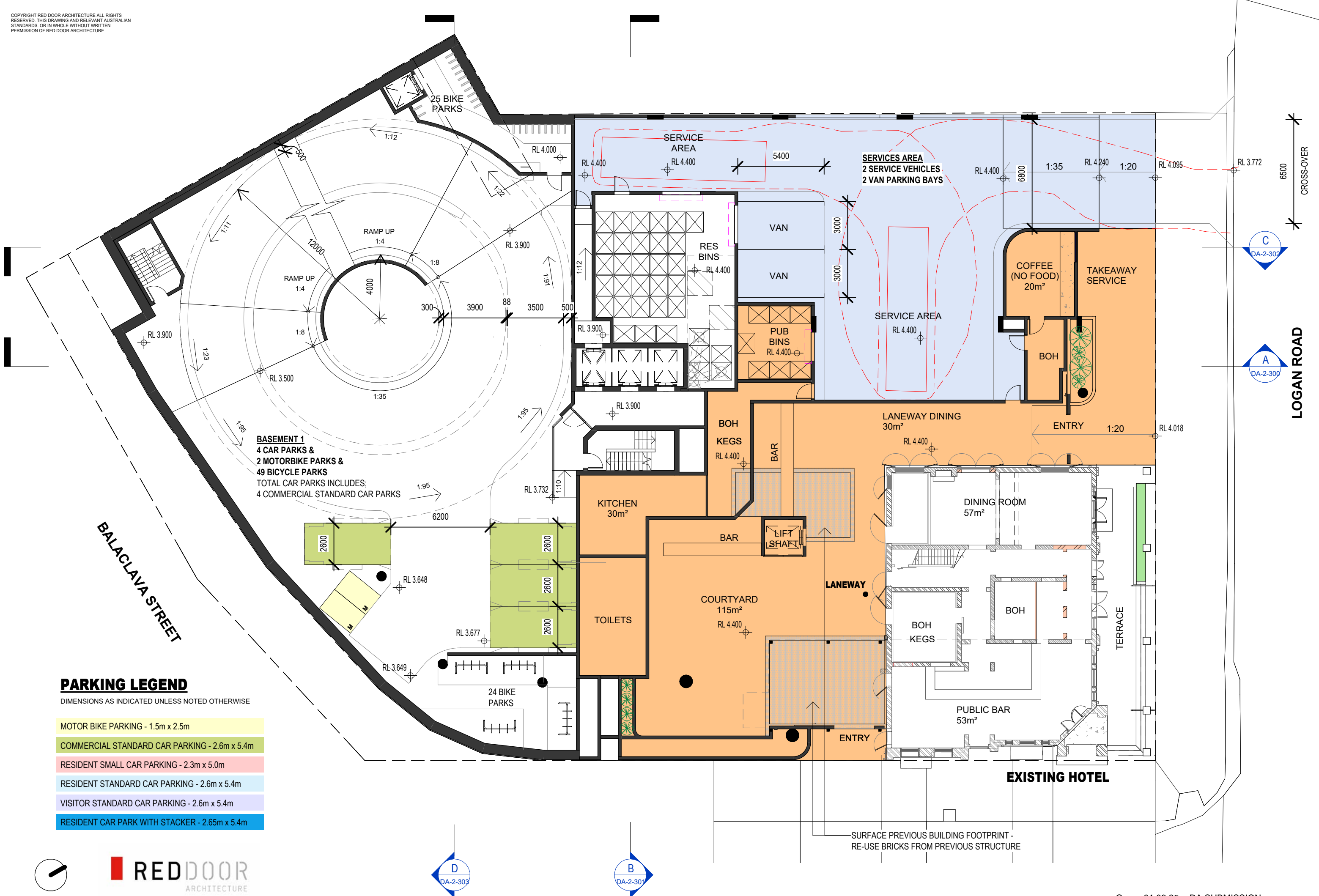


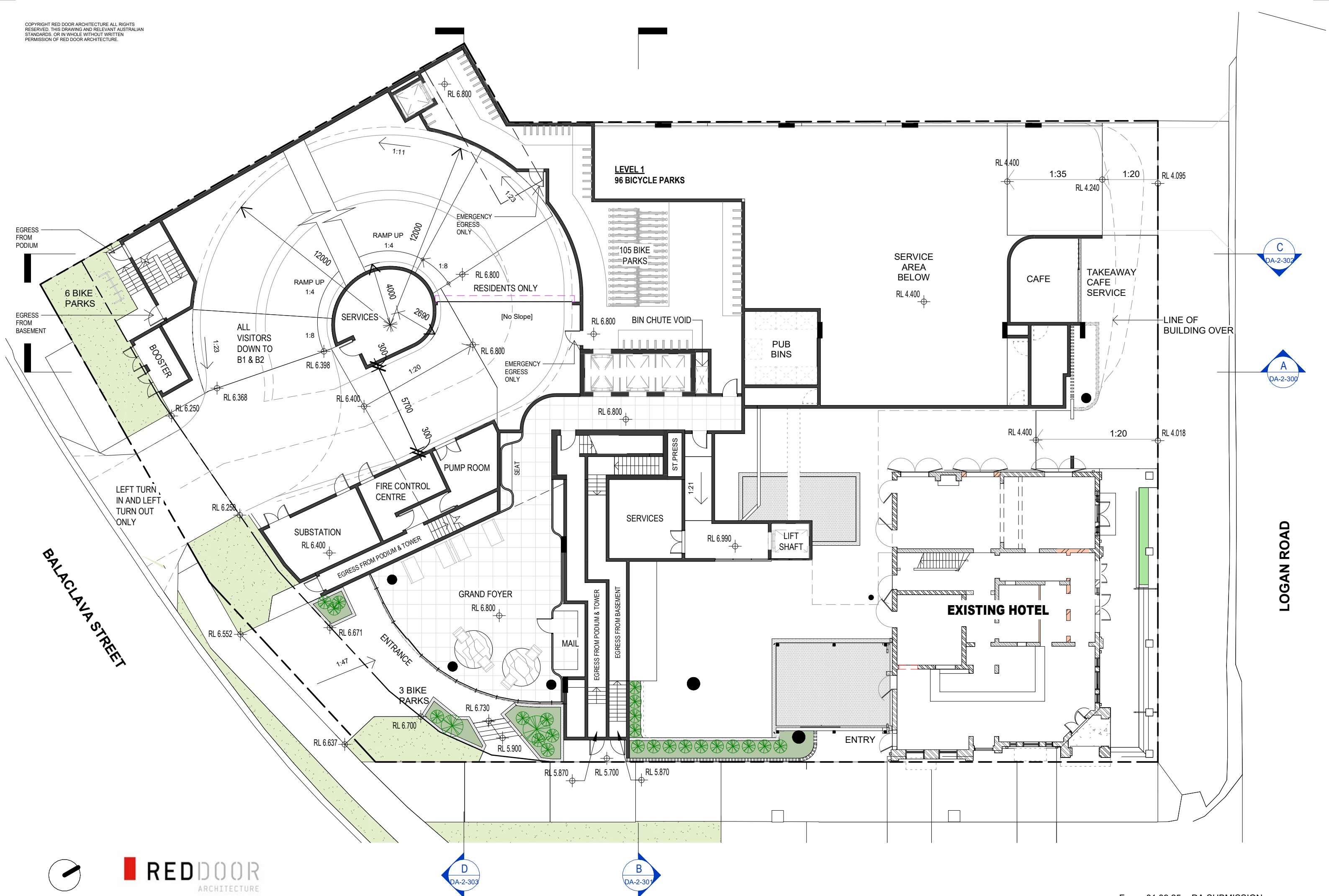




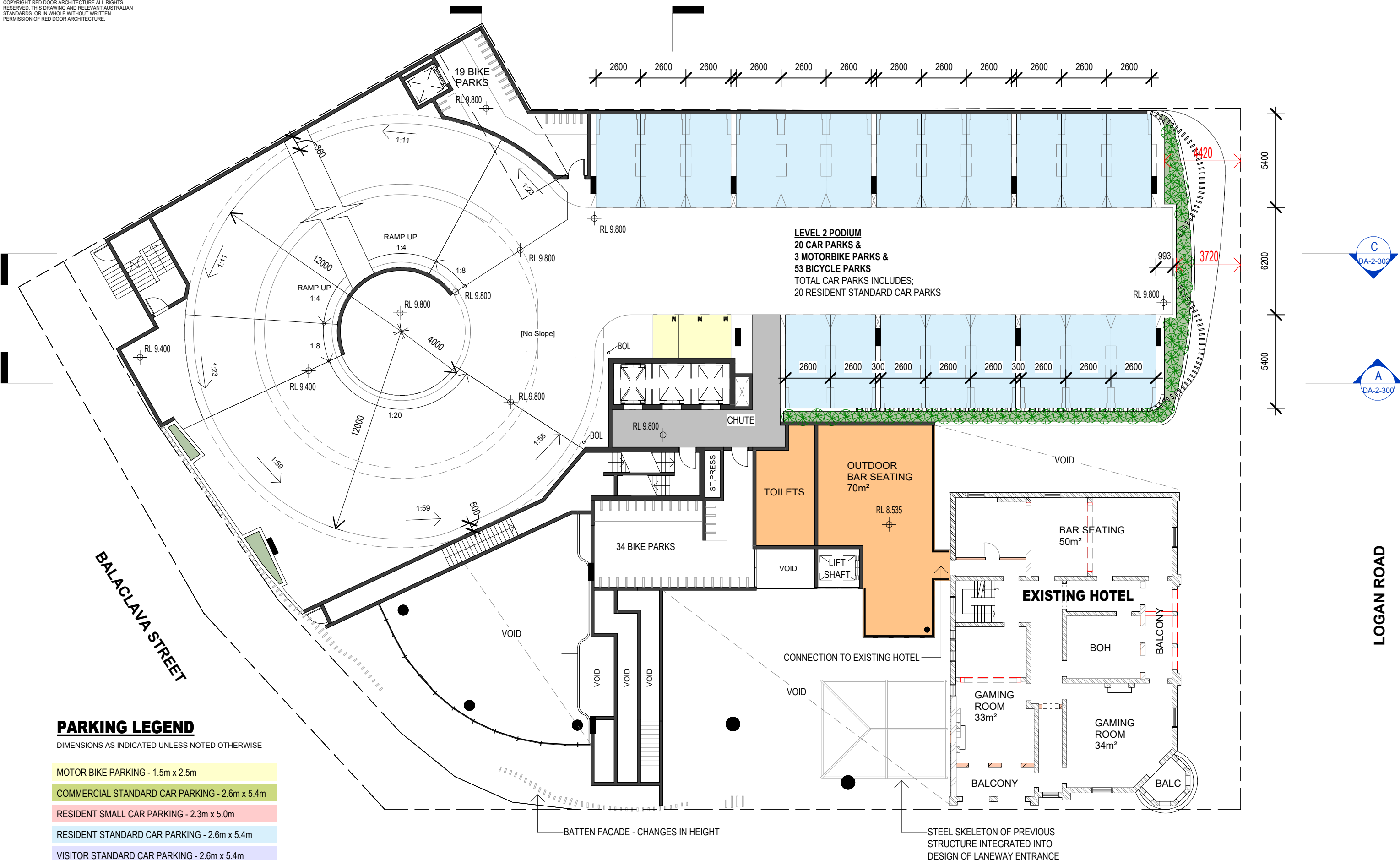


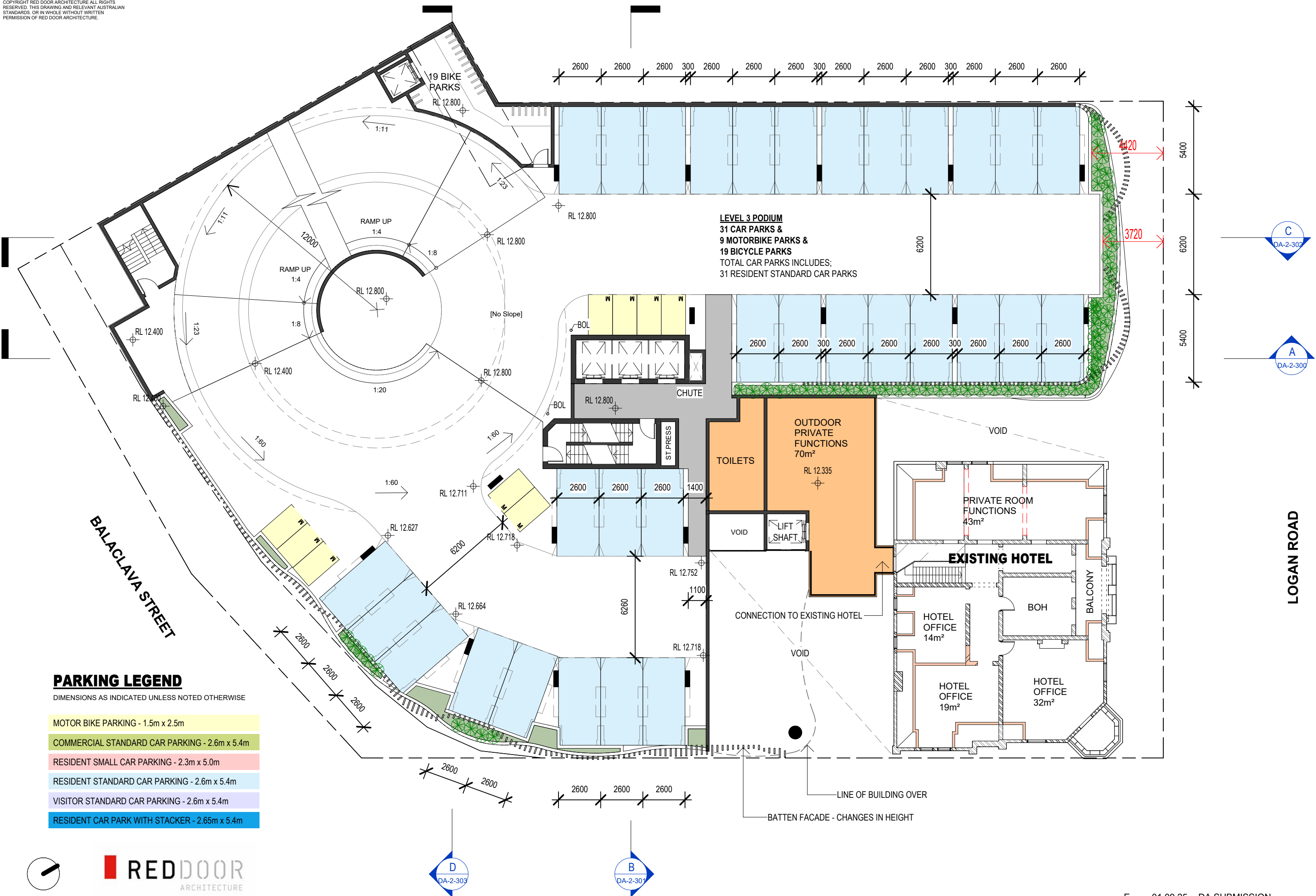


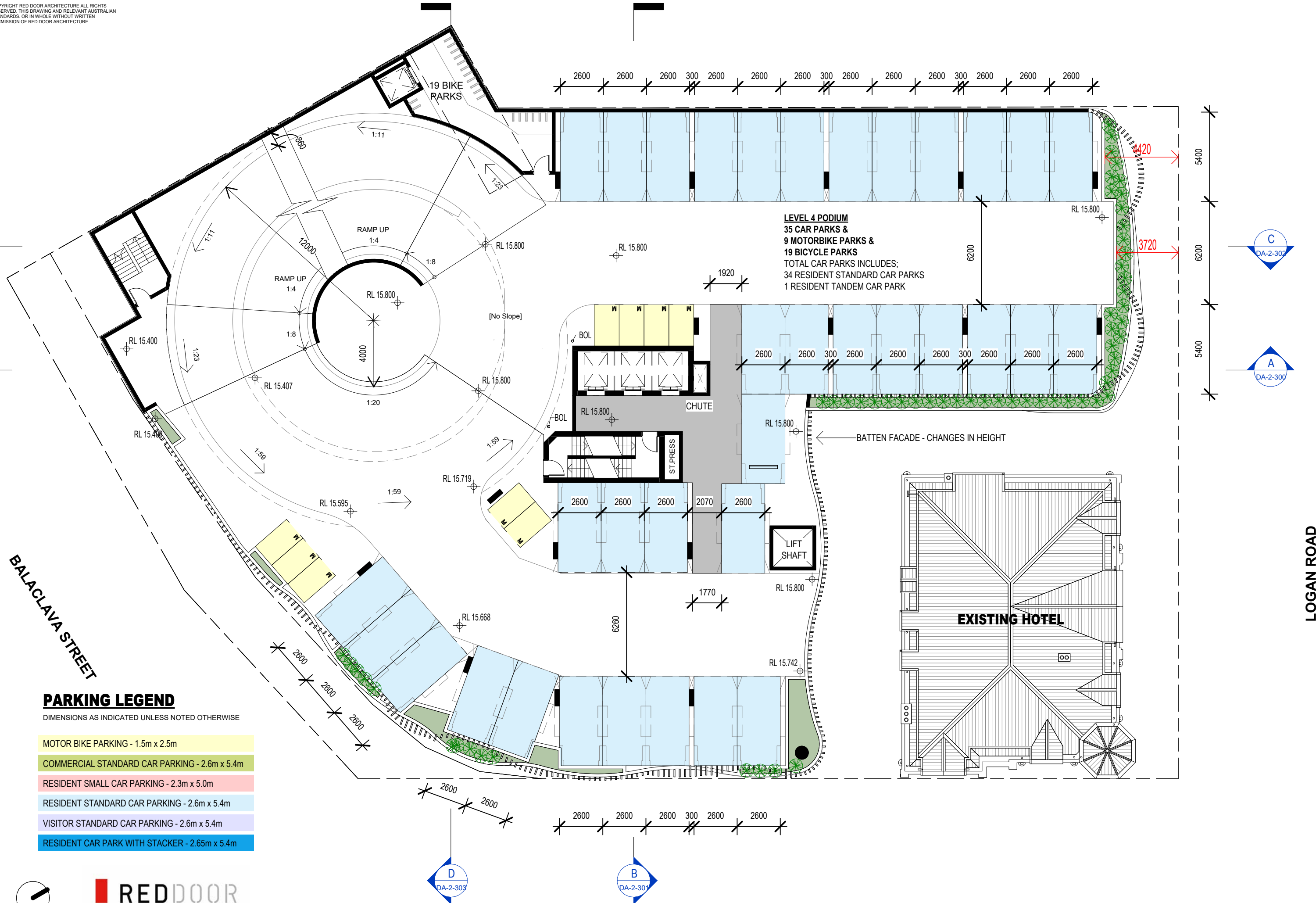




REDDOOR
ARCHITECTURE







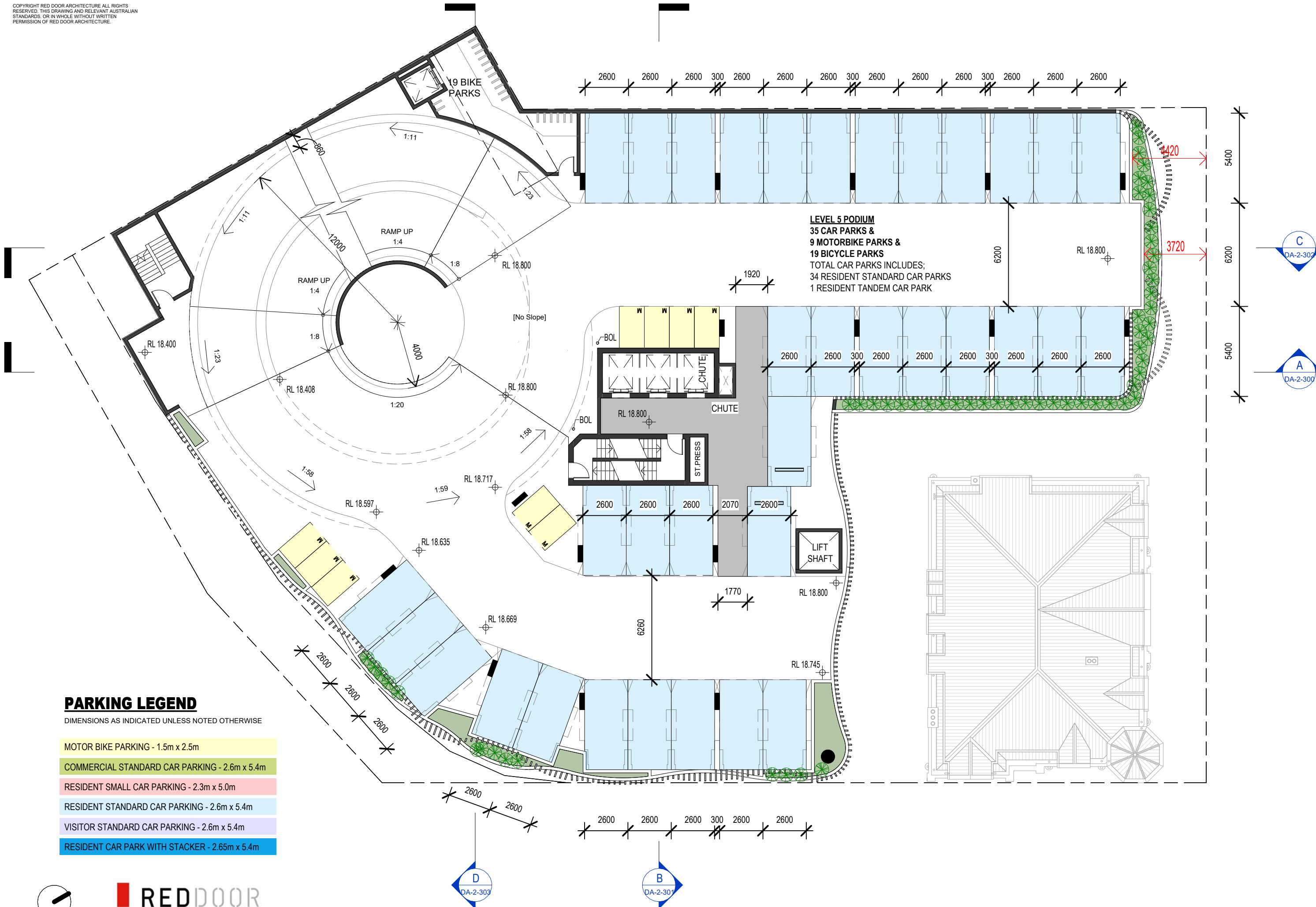
PARKING LEGEND

DIMENSIONS AS INDICATED UNLESS NOTED OTHERWISE

- MOTOR BIKE PARKING - 1.5m x 2.5m
- COMMERCIAL STANDARD CAR PARKING - 2.6m x 5.4m
- RESIDENT SMALL CAR PARKING - 2.3m x 5.0m
- RESIDENT STANDARD CAR PARKING - 2.6m x 5.4m
- VISITOR STANDARD CAR PARKING - 2.6m x 5.4m
- RESIDENT CAR PARK WITH STACKER - 2.65m x 5.4m



REDDOOR
ARCHITECTURE





LOGAN ROAD

**DA-2-115 LEVEL 6 - PODIUM PARKING**



POTENTIAL FUTURE DEVELOPMENT

DASHED LINE INDICATES LEVEL ABOVE

COMMUNAL SPACE BELOW SHOWN DASHED

HOTEL BELOW SHOWN DASHED

BALACLAVA STREET

LOGAN ROAD



REDDOOR
ARCHITECTURE

WWW.RDARCH.COM.AU

210078

SCALE 1 : 200

01.09.25

93 LOGAN ROAD, WOOLLOONGABBA, QLD. 4102

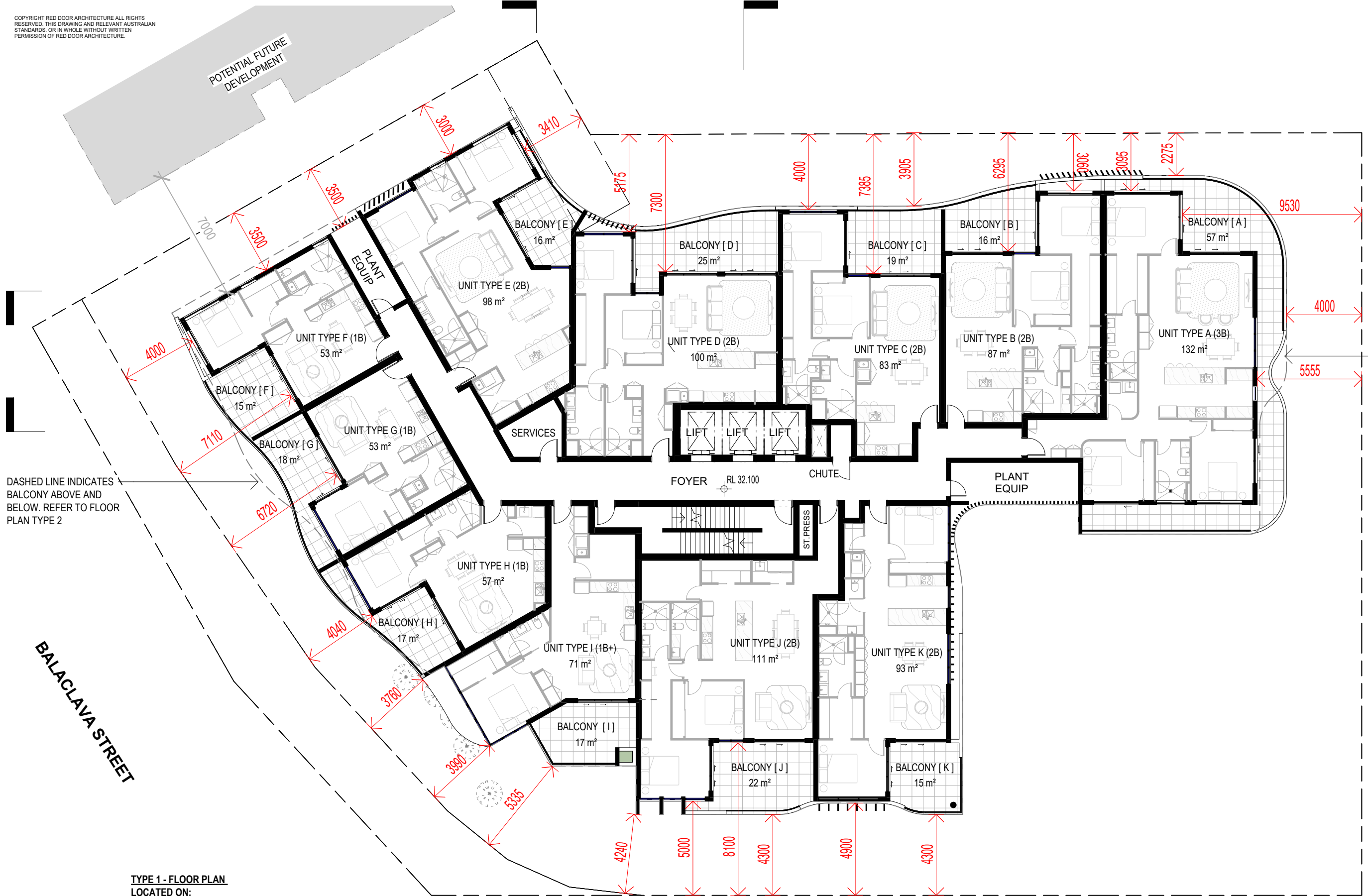
MIXED USE DEVELOPMENT

REVISION E 01.09.25 DA SUBMISSION

DA-2-117 LEVEL 8 FLOOR PLAN



POTENTIAL FUTURE DEVELOPMENT



DASHED LINE INDICATES BALCONY ABOVE AND BELOW. REFER TO FLOOR PLAN TYPE 2

DASHED LINE INDICATES BALCONY ABOVE AND BELOW. REFER TO FLOOR PLAN TYPE 2

BALACLAVA STREET

LOGAN ROAD

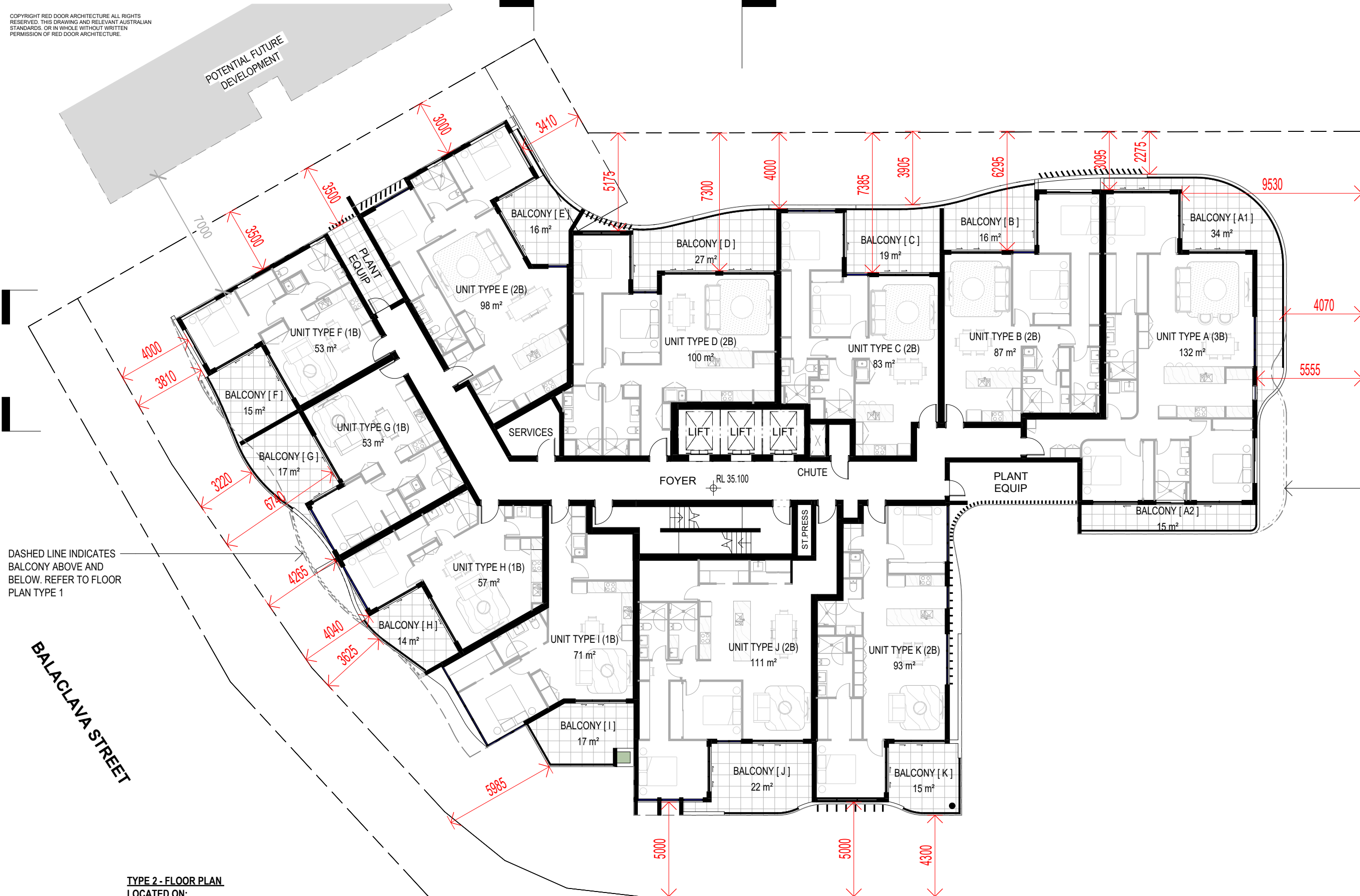
**TYPE 1 - FLOOR PLAN
LOCATED ON:**

LEVEL 9	LEVEL 23
LEVEL 13	LEVEL 25
LEVEL 15	LEVEL 27
LEVEL 17	LEVEL 29
LEVEL 19	LEVEL 33



REDDOOR
ARCHITECTURE

POTENTIAL FUTURE DEVELOPMENT



DASHED LINE INDICATES BALCONY ABOVE AND BELOW. REFER TO FLOOR PLAN TYPE 1

DASHED LINE INDICATES BALCONY ABOVE AND BELOW. REFER TO FLOOR PLAN TYPE 1

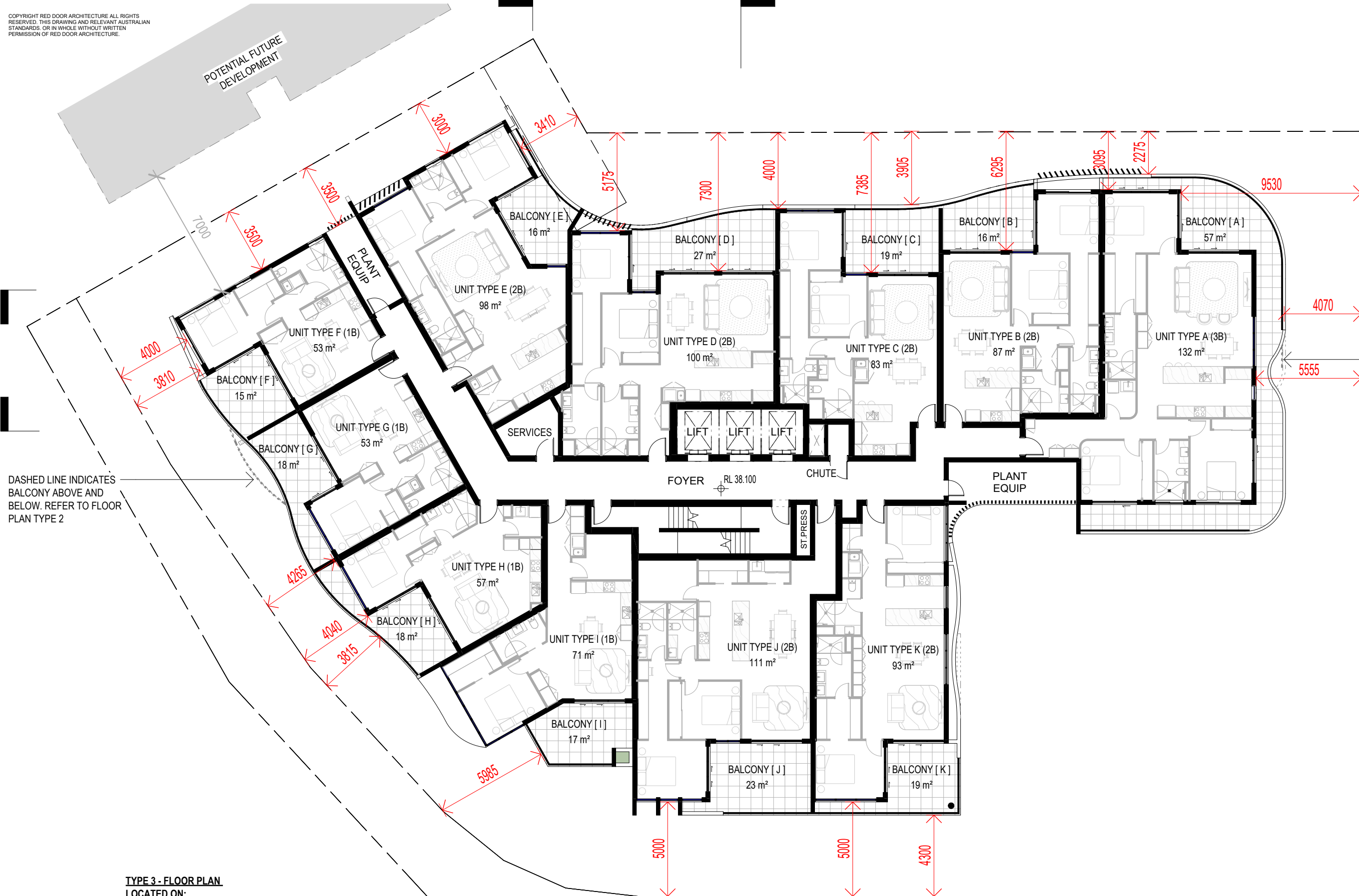
TYPE 2 - FLOOR PLAN LOCATED ON:

- | | |
|----------|----------|
| LEVEL 10 | LEVEL 24 |
| LEVEL 14 | LEVEL 26 |
| LEVEL 16 | LEVEL 28 |
| LEVEL 18 | LEVEL 30 |
| LEVEL 20 | |



REDDOOR
ARCHITECTURE

POTENTIAL FUTURE DEVELOPMENT



DASHED LINE INDICATES BALCONY ABOVE AND BELOW. REFER TO FLOOR PLAN TYPE 2

DASHED LINE INDICATES BALCONY ABOVE AND BELOW. REFER TO FLOOR PLAN TYPE 2

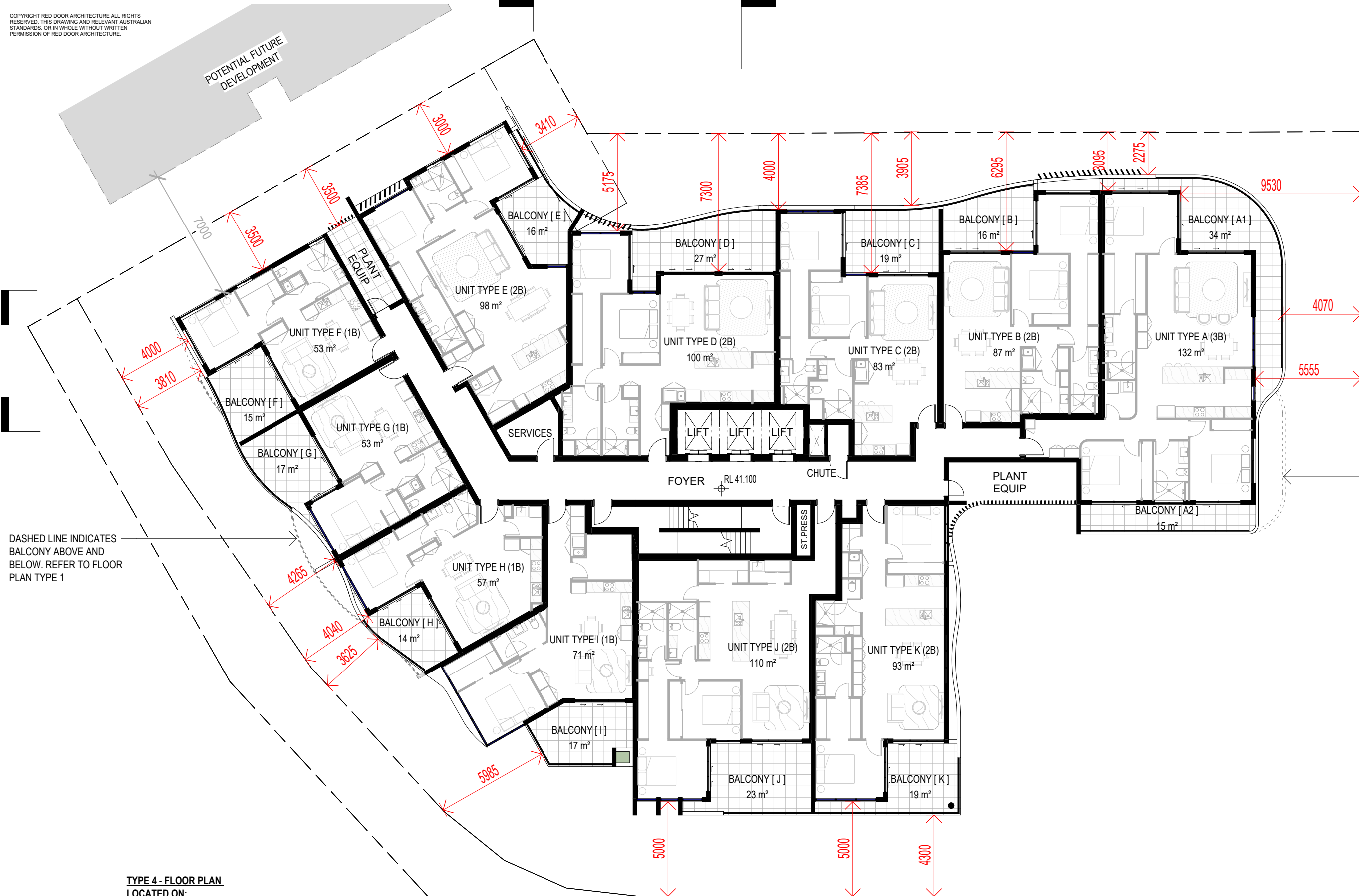
**TYPE 3 - FLOOR PLAN
LOCATED ON:**

LEVEL 11
LEVEL 21
LEVEL 31



REDDOOR
ARCHITECTURE

POTENTIAL FUTURE DEVELOPMENT

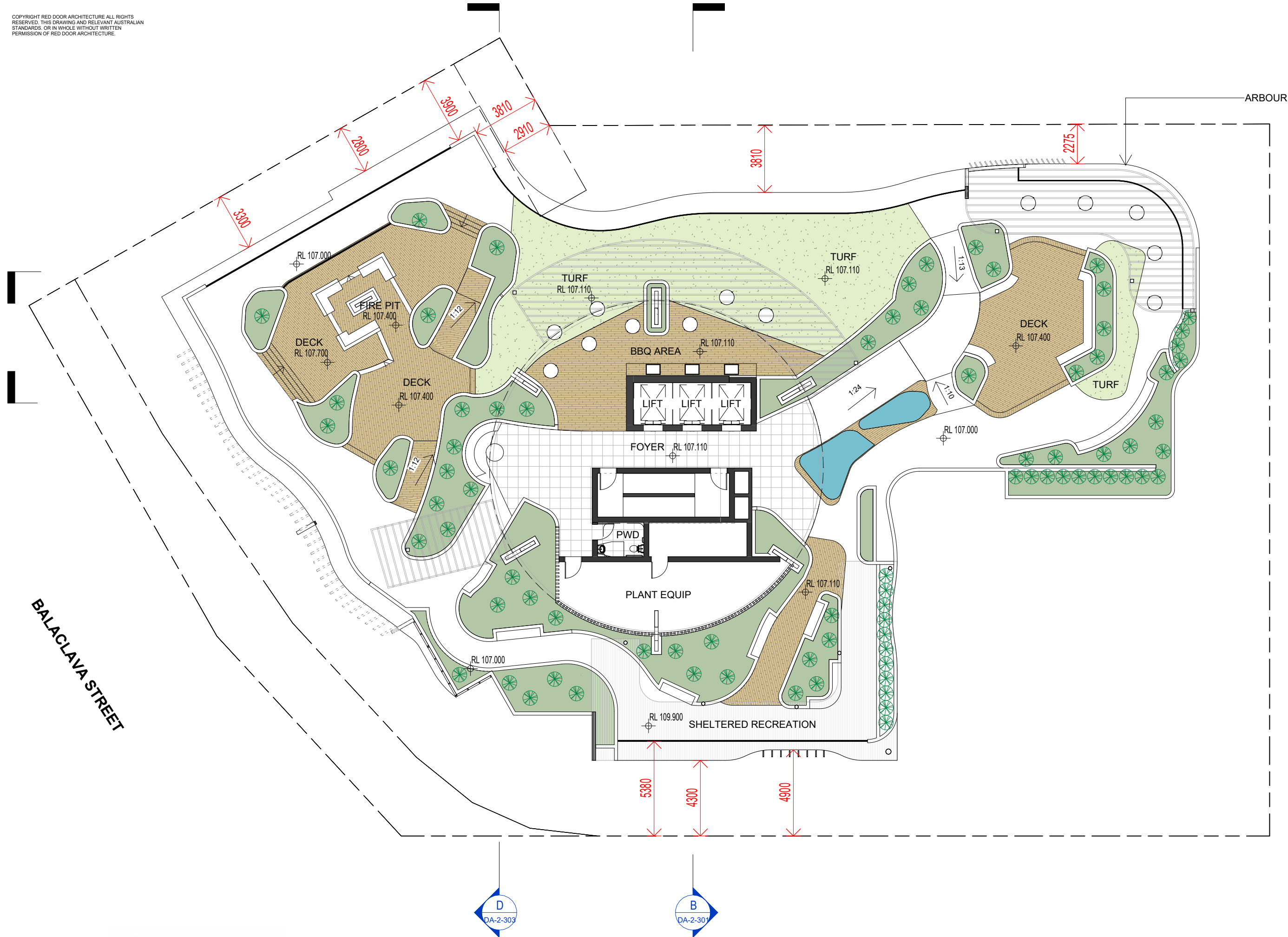


**TYPE 4 - FLOOR PLAN
LOCATED ON:**

LEVEL 12
LEVEL 22
LEVEL 32



REDDOOR
ARCHITECTURE



ROOF TERRACE					
107100					
LEVEL 33					
104100					
LEVEL 32					
101100					
LEVEL 31					
98100					
LEVEL 30					
95100					
LEVEL 29					
92100					
LEVEL 28					
89100					
LEVEL 27					
86100					
LEVEL 26					
83100					
LEVEL 25					
80100					
LEVEL 24					
77100					
LEVEL 23					
74100					
LEVEL 22					
71100					
LEVEL 21					
68100					
LEVEL 20					
65100					
LEVEL 19					
62100					
LEVEL 18					
59100					
LEVEL 17					
56100					
LEVEL 16					
53100					
LEVEL 15					
50100					
LEVEL 14					
47100					
LEVEL 13					
44100					
LEVEL 12					
41100					
LEVEL 11					
38100					
LEVEL 10					
35100					
LEVEL 9					
32100					
LEVEL 8					
29100					
LEVEL 7					
25600					
LEVEL 6					
21800					
LEVEL 5					
18800					
LEVEL 4					
15800					
LEVEL 3					
12800					
LEVEL 2					
9800					
LEVEL 1 (GF)					
6800					
BASEMENT 1					
3500					



MATERIAL & FINISHES LEGEND

CODE	DESCRIPTION	COLOUR
AR1 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	ANODIC BRONZE
AR2 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	WHITE
BAL1 -	FRAMELESS GLASS BALUSTRADE	CLEAR
BAL2 -	AFS TYPE - CONCRETE UPSTAND BALUSTRADE - PAINTED	WHITE
COL1 -	CIRCULAR CONCRETE COLUMN - PAINTED	WHITE
COL2 -	RECTANGULAR CONCRETE COLUMN - PAINTED	WHITE
CR1 -	CONCRETE ROOF - PAINTED	WHITE
DR1 -	METAL DOME ROOF - COLORBOND	SHALE GREY
GS1 -	TINTED GLAZING, AL. WINDOW SYSTEM - POWDER COATED	MONUMENT
GS2 -	CURTAIN WALL WINDOW SYSTEM - POWDER COATED	MONUMENT
GS3 -	SHOPFRONT WINDOW SYSTEM - POWDER COATED	MONUMENT
SC1 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	ANODIC BRONZE
SC2 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	WHITE
WA1 -	RENDER - PAINTED FINISH	WHITE
WA2 -	RENDER - PAINTED FINISH	MONUMENT
WA3 -	AL. TIMBER LOOK CLADDING	JARRAH
WA4 -	PRE-CAST PANELS - HORIZONTAL LINES	FLOODED GUM
WA5 -	BRICK FINISH	WHITE

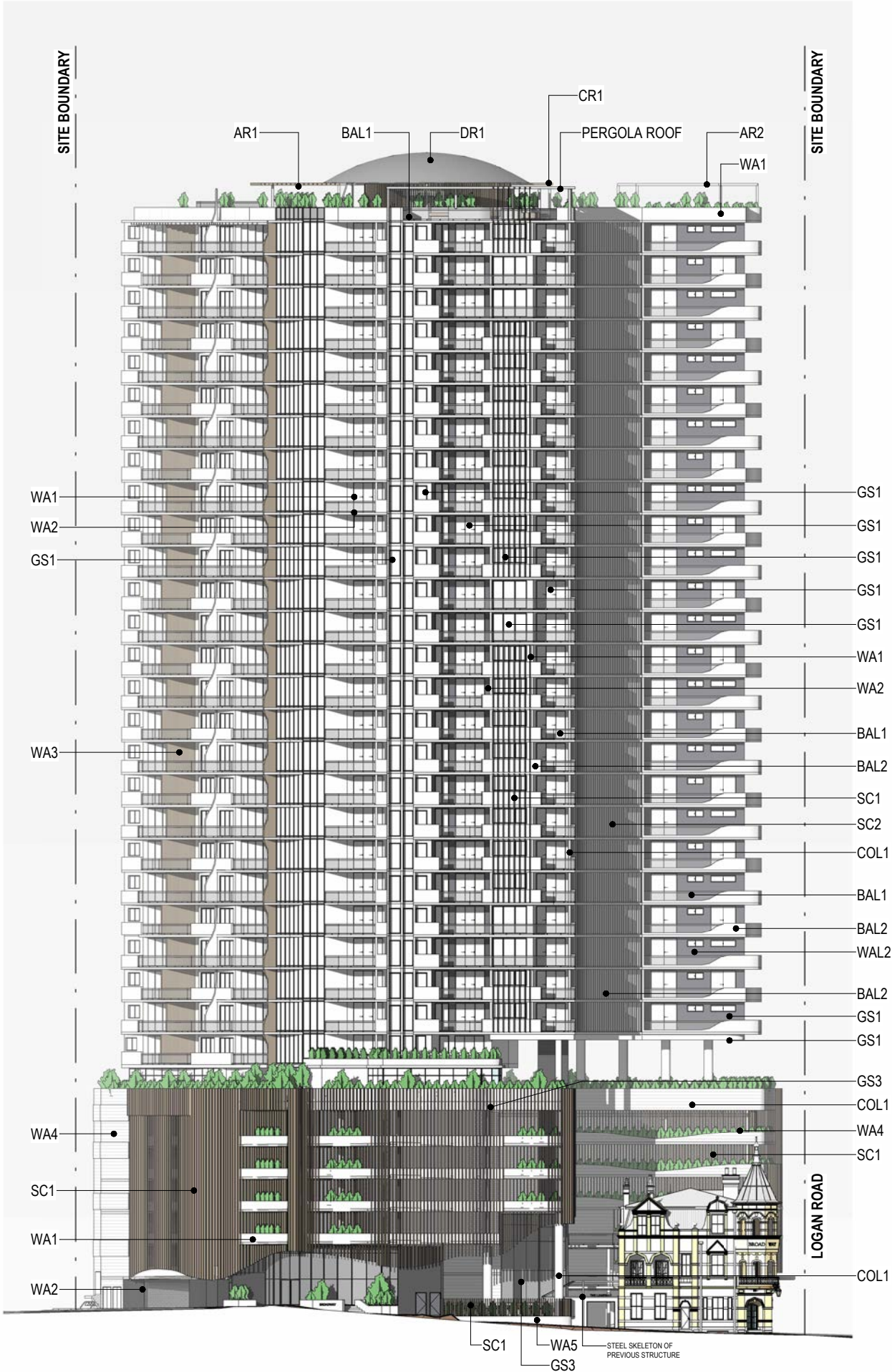
ROOF TERRACE				
107100				
LEVEL 33				
104100				
LEVEL 32				
101100				
LEVEL 31				
98100				
LEVEL 30				
95100				
LEVEL 29				
92100				
LEVEL 28				
89100				
LEVEL 27				
86100				
LEVEL 26				
83100				
LEVEL 25				
80100				
LEVEL 24				
77100				
LEVEL 23				
74100				
LEVEL 22				
71100				
LEVEL 21				
68100				
LEVEL 20				
65100				
LEVEL 19				
62100				
LEVEL 18				
59100				
LEVEL 17				
56100				
LEVEL 16				
53100				
LEVEL 15				
50100				
LEVEL 14				
47100				
LEVEL 13				
44100				
LEVEL 12				
41100				
LEVEL 11				
38100				
LEVEL 10				
35100				
LEVEL 9				
32100				
LEVEL 8				
29100				
LEVEL 7				
25600				
LEVEL 6				
21800				
LEVEL 5				
18800				
LEVEL 4				
15800				
LEVEL 3				
12800				
LEVEL 2				
9800				
LEVEL 1 (GF)				
6800				
BASEMENT 1				
3500				



MATERIAL & FINISHES LEGEND

CODE	DESCRIPTION	COLOUR
AR1 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	ANODIC BRONZE
AR2 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	WHITE
BAL1 -	FRAMELESS GLASS BALUSTRADE	CLEAR
BAL2 -	AFS TYPE - CONCRETE UPSTAND BALUSTRADE - PAINTED	WHITE
COL1 -	CIRCULAR CONCRETE COLUMN - PAINTED	WHITE
COL2 -	RECTANGULAR CONCRETE COLUMN - PAINTED	WHITE
CR1 -	CONCRETE ROOF - PAINTED	WHITE
DR1 -	METAL DOME ROOF - COLORBOND	SHALE GREY
GS1 -	TINTED GLAZING, AL. WINDOW SYSTEM - POWDER COATED	MONUMENT
GS2 -	CURTAIN WALL WINDOW SYSTEM - POWDER COATED	MONUMENT
GS3 -	SHOPFRONT WINDOW SYSTEM - POWDER COATED	MONUMENT
SC1 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	ANODIC BRONZE
SC2 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	WHITE
WA1 -	RENDER - PAINTED FINISH	WHITE
WA2 -	RENDER - PAINTED FINISH	MONUMENT
WA3 -	AL. TIMBER LOOK CLADDING	JARRAH
WA4 -	PRE-CAST PANELS - HORIZONTAL LINES	FLOODED GUM
WA5 -	BRICK FINISH	WHITE

ROOF TERRACE	107100				
LEVEL 33	104100				
LEVEL 32	101100				
LEVEL 31	98100				
LEVEL 30	95100				
LEVEL 29	92100				
LEVEL 28	89100				
LEVEL 27	86100				
LEVEL 26	83100				
LEVEL 25	80100				
LEVEL 24	77100				
LEVEL 23	74100				
LEVEL 22	71100				
LEVEL 21	68100				
LEVEL 20	65100				
LEVEL 19	62100				
LEVEL 18	59100				
LEVEL 17	56100				
LEVEL 16	53100				
LEVEL 15	50100				
LEVEL 14	47100				
LEVEL 13	44100				
LEVEL 12	41100				
LEVEL 11	38100				
LEVEL 10	35100				
LEVEL 9	32100				
LEVEL 8	29100				
LEVEL 7	25600				
LEVEL 6	21800				
LEVEL 5	18800				
LEVEL 4	15800				
LEVEL 3	12800				
LEVEL 2	9800				
LEVEL 1 (GF)	6800				
BASEMENT 1	3500				



MATERIAL & FINISHES LEGEND

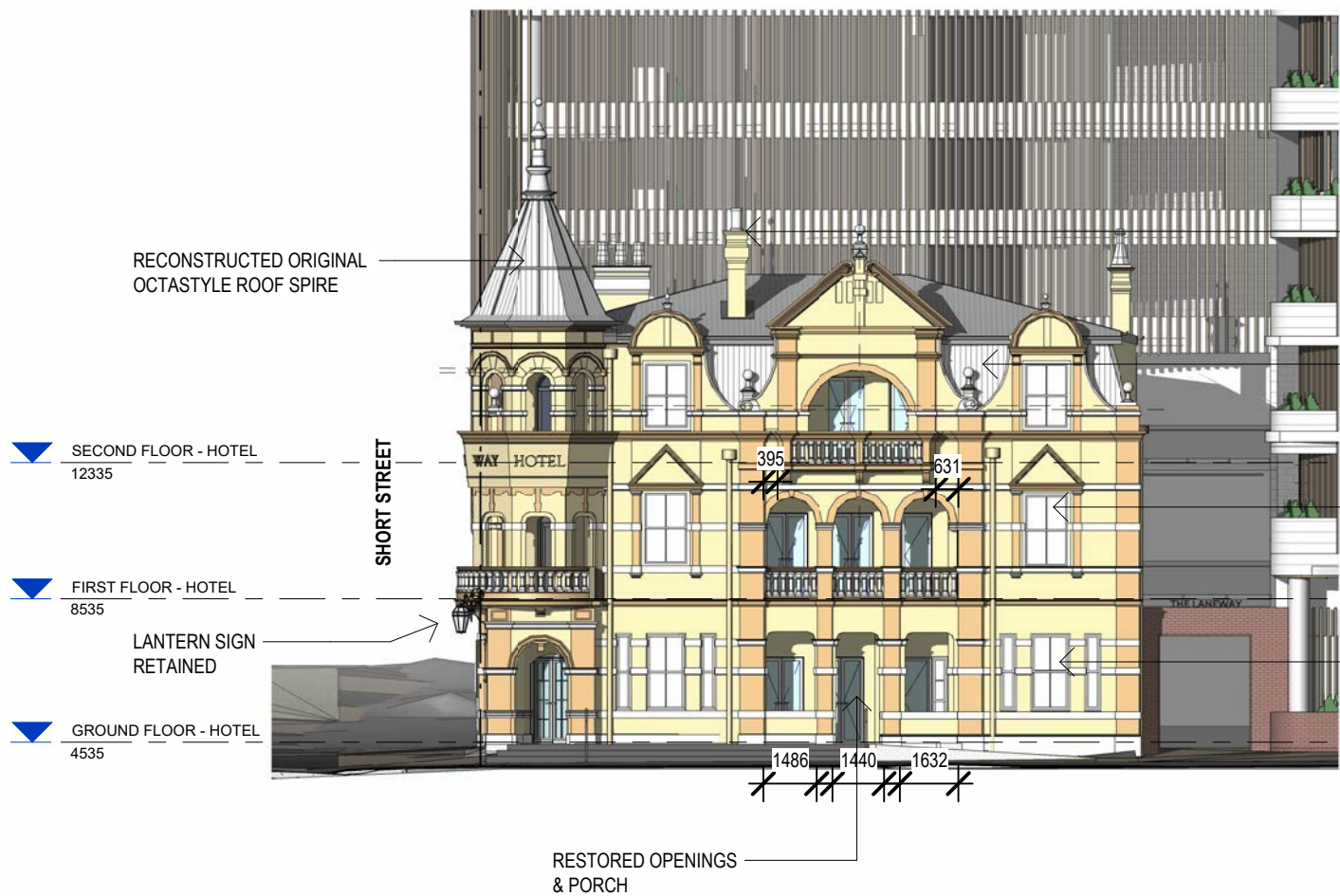
CODE	DESCRIPTION	COLOUR
AR1 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	ANODIC BRONZE
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CR1 -	CONCRETE ROOF - PAINTED	WHITE
DR1 -	METAL DOME ROOF - COLORBOND	SHALE GREY
GS1 -	TINTED GLAZING, AL. WINDOW SYSTEM - POWDER COATED	MONUMENT
GS2 -	CURTAIN WALL WINDOW SYSTEM - POWDER COATED	MONUMENT
GS3 -	SHOPFRONT WINDOW SYSTEM - POWDER COATED	MONUMENT
SC1 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	ANODIC BRONZE
SC2 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	WHITE
WA1 -	RENDER - PAINTED FINISH	WHITE
WA2 -	RENDER - PAINTED FINISH	MONUMENT
WA3 -	AL. TIMBER LOOK CLADDING	JARRAH
WA4 -	PRE-CAST PANELS - HORIZONTAL LINES	FLOODED GUM
WA5 -	BRICK FINISH	WHITE

ROOF TERRACE				
107100				
LEVEL 33				
104100				
LEVEL 32				
101100				
LEVEL 31				
98100				
LEVEL 30				
95100				
LEVEL 29				
92100				
LEVEL 28				
89100				
LEVEL 27				
86100				
LEVEL 26				
83100				
LEVEL 25				
80100				
LEVEL 24				
77100				
LEVEL 23				
74100				
LEVEL 22				
71100				
LEVEL 21				
68100				
LEVEL 20				
65100				
LEVEL 19				
62100				
LEVEL 18				
59100				
LEVEL 17				
56100				
LEVEL 16				
53100				
LEVEL 15				
50100				
LEVEL 14				
47100				
LEVEL 13				
44100				
LEVEL 12				
41100				
LEVEL 11				
38100				
LEVEL 10				
35100				
LEVEL 9				
32100				
LEVEL 8				
29100				
LEVEL 7				
25600				
LEVEL 6				
21800				
LEVEL 5				
18800				
LEVEL 4				
15800				
LEVEL 3				
12800				
LEVEL 2				
9800				
LEVEL 1 (GF)				
6800				
BASEMENT 1				
3500				

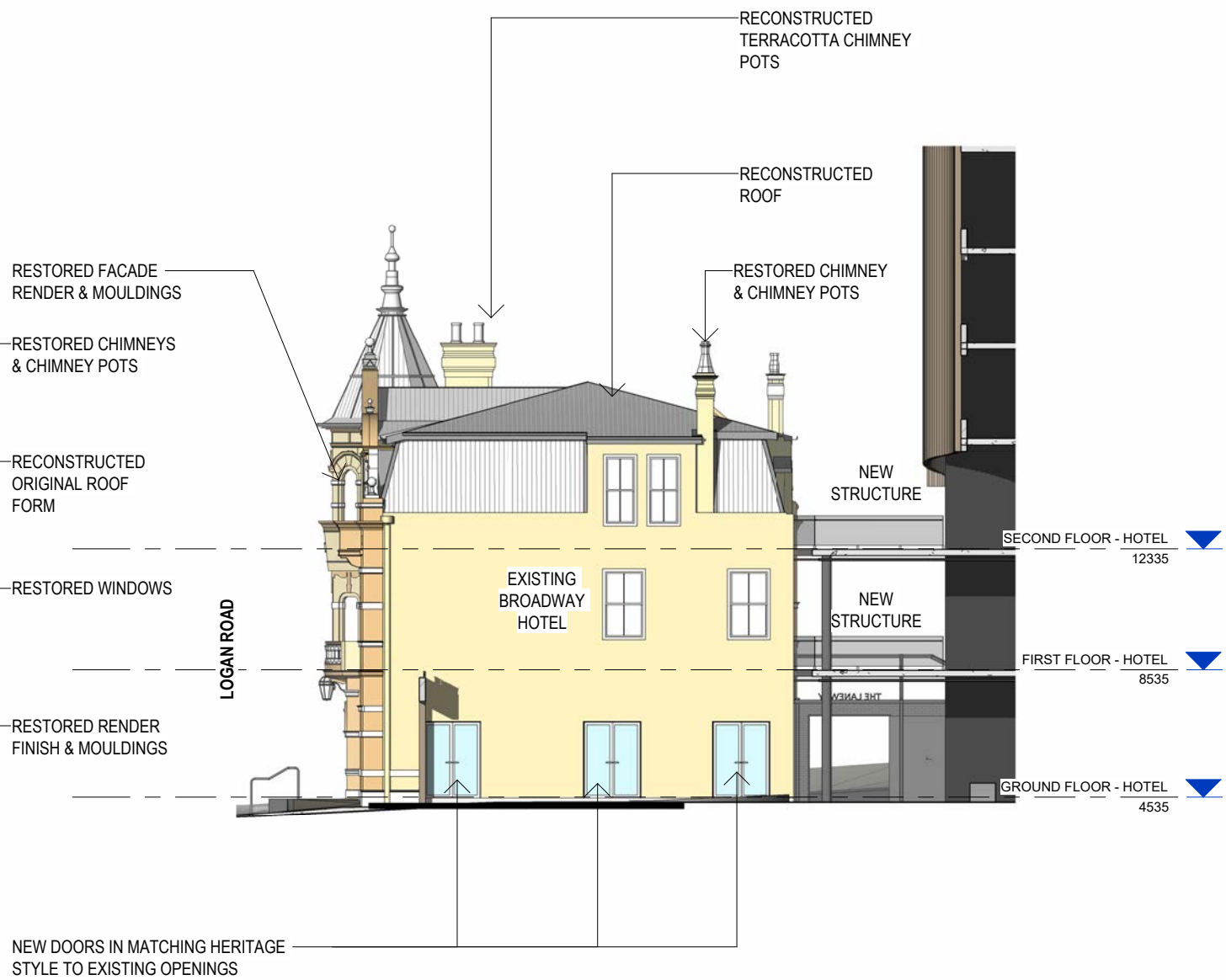


MATERIAL & FINISHES LEGEND

CODE	DESCRIPTION	COLOUR
AR1 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	ANODIC BRONZE
AR2 -	ARBOUR STRUCTURE - ALUMINIUM POWDERCOAT	WHITE
BAL1 -	FRAMELESS GLASS BALUSTRADE	CLEAR
BAL2 -	AFS TYPE - CONCRETE UPSTAND BALUSTRADE - PAINTED	WHITE
COL1 -	CIRCULAR CONCRETE COLUMN - PAINTED	WHITE
COL2 -	RECTANGULAR CONCRETE COLUMN - PAINTED	WHITE
CR1 -	CONCRETE ROOF - PAINTED	WHITE
DR1 -	METAL DOME ROOF - COLORBOND	SHALE GREY
GS1 -	TINTED GLAZING, AL. WINDOW SYSTEM - POWDER COATED	MONUMENT
GS2 -	CURTAIN WALL WINDOW SYSTEM - POWDER COATED	MONUMENT
GS3 -	SHOPFRONT WINDOW SYSTEM - POWDER COATED	MONUMENT
SC1 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	ANODIC BRONZE
SC2 -	VERTICAL AL. BATTEN SCREENING - POWDER COATED	WHITE
WA1 -	RENDER - PAINTED FINISH	WHITE
WA2 -	RENDER - PAINTED FINISH	MONUMENT
WA3 -	AL. TIMBER LOOK CLADDING	JARRAH
WA4 -	PRE-CAST PANELS - HORIZONTAL LINES	FLOODED GUM
WA5 -	BRICK FINISH	WHITE



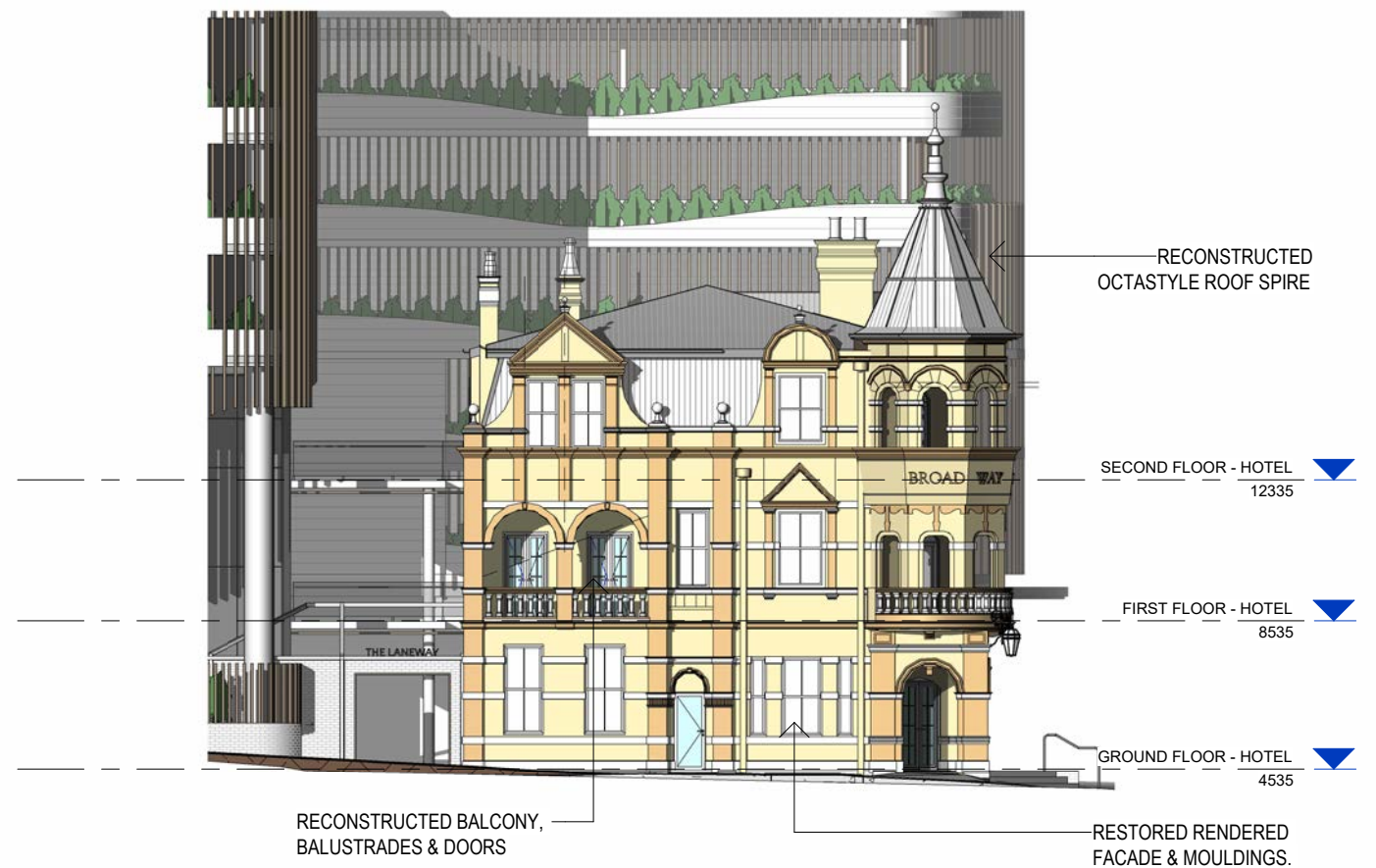
1 HOTEL - NORTH EAST ELEVATION
1 : 200@A3



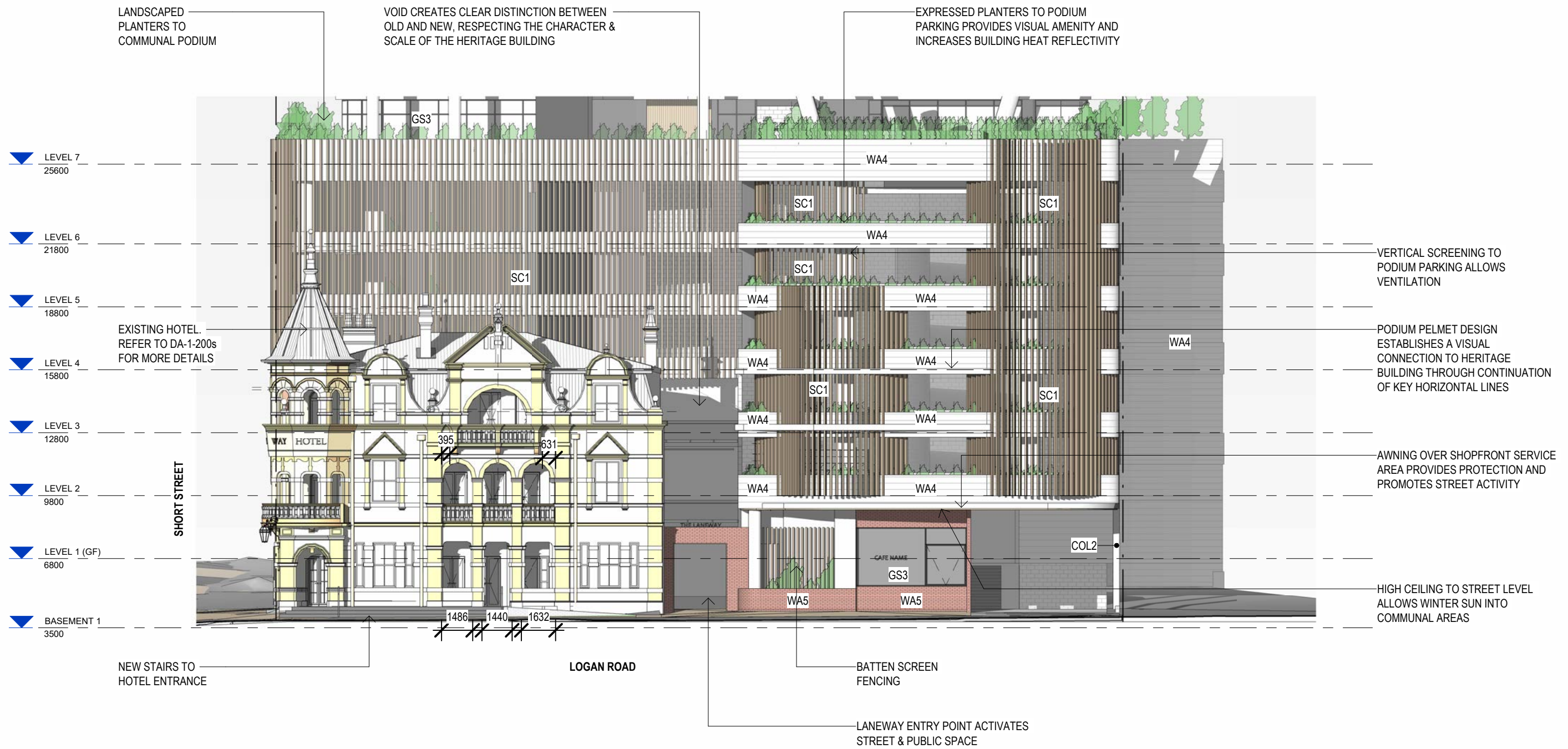
2 HOTEL - NORTH WEST ELEVATION
1 : 200@A3



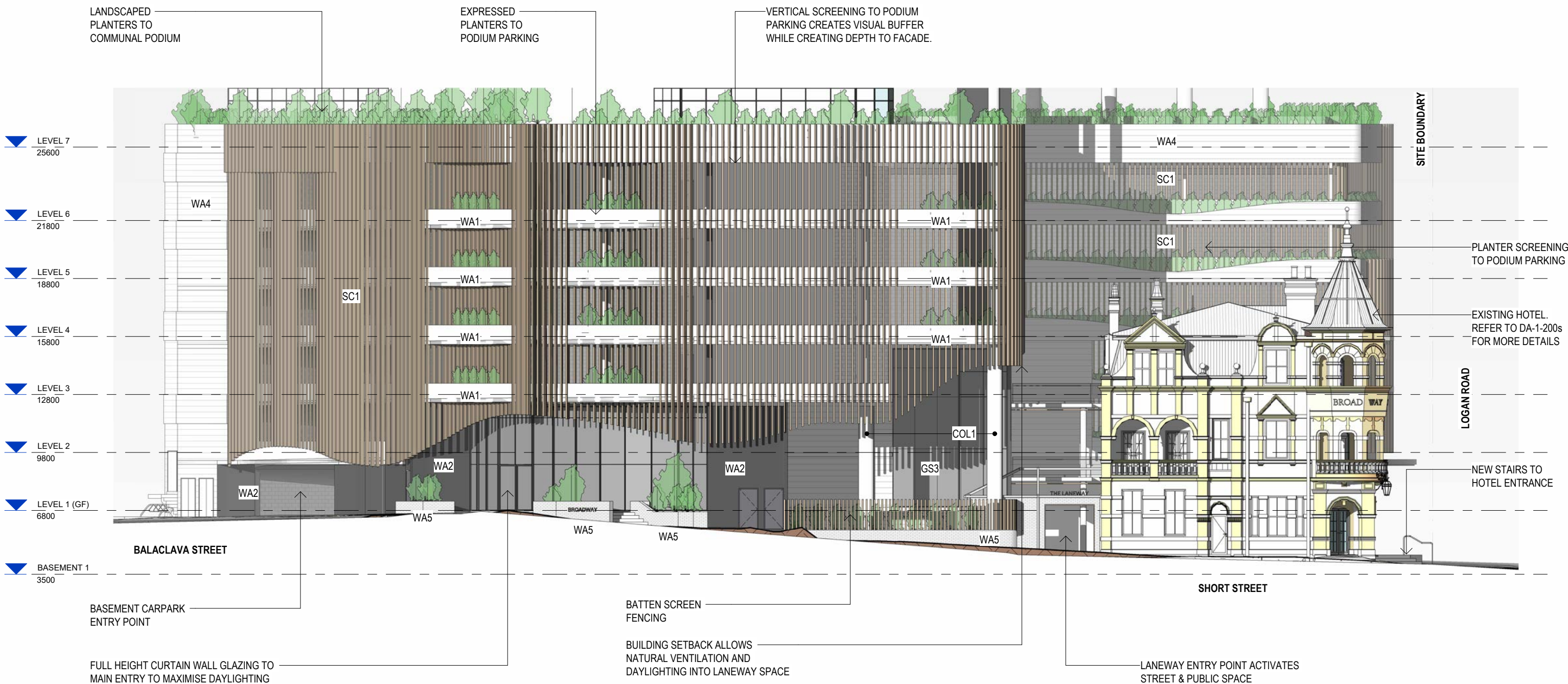
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1 : 200@A3



2 HOTEL - SOUTH EAST ELEVATION
1 : 200@A3

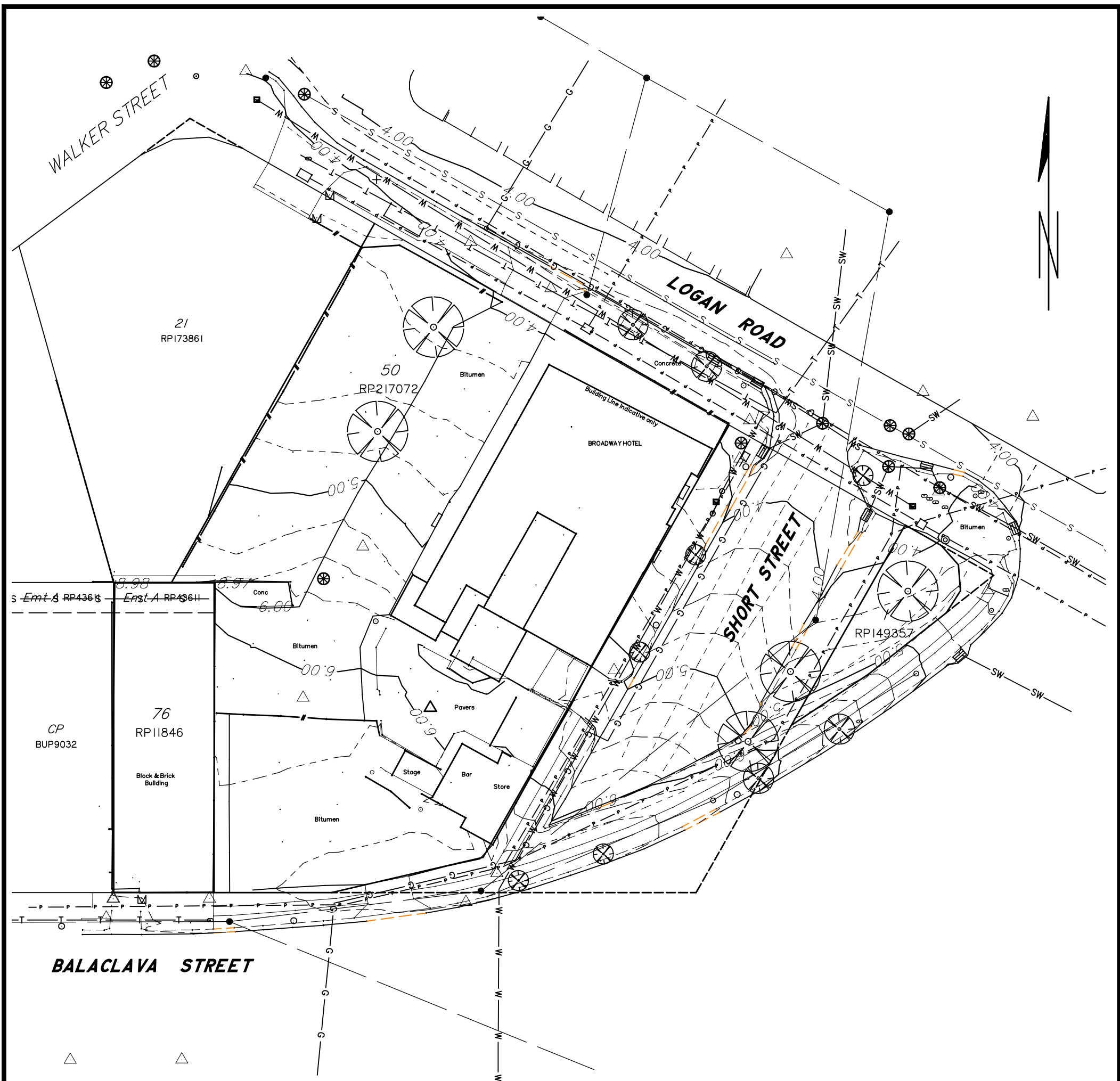


1 NORTH-EAST ELEVATION - LOGAN ROAD
- 1 : 200@A3



1 SOUTH-EAST ELEVATION - SHORT STREET
1:200@A3

Appendix B – DETAILED SURVEY



TREE DESCRIPTIONS

Tree types noted are the interpretation of WM Surveys staff. Tree species should be confirmed by a qualified Arborist/Botanist.

MAXIMUM BUILDING HEIGHT

As per Brisbane City Council City Plan 2014 the contours shown on this plan cannot be used to determine maximum building height. For further information contact WM SURVEYS

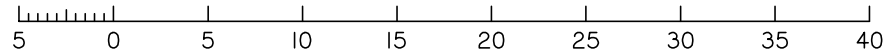
SERVICES BY RECORDS

WM SURVEYS take no responsibility for the location of non visible services. They are plotted from existing records. A Service Locator should be engaged to determine the exact location of underground services if required.

ALL SERVICES ARE BY RECORDS ONLY.

R – Roofline Level
G – Guttering Level

Scale 1: 400 – Lengths are in Metres.



— P — P — POWER
— T — T — U/G TELSTRA
— G — G — U/G GAS
— S — S — U/G SEWERAGE
— W — W — U/G WATERMAIN
— SW — SW — U/G STORMWATER

CONTOUR & DETAIL SURVEY

Description LAND at 93 & 97 LOGAN ROAD
WOOLLOONGABBA
LOT 50 on RP217072,
LOT 1 on RP149357
and LOT 76 on RP11846
Brisbane City Council

Datum

Datum for Levels AHD
Levelled from PSM No.44566.....RL4.071m AHD

Scale in Metres

1: 400 at A3

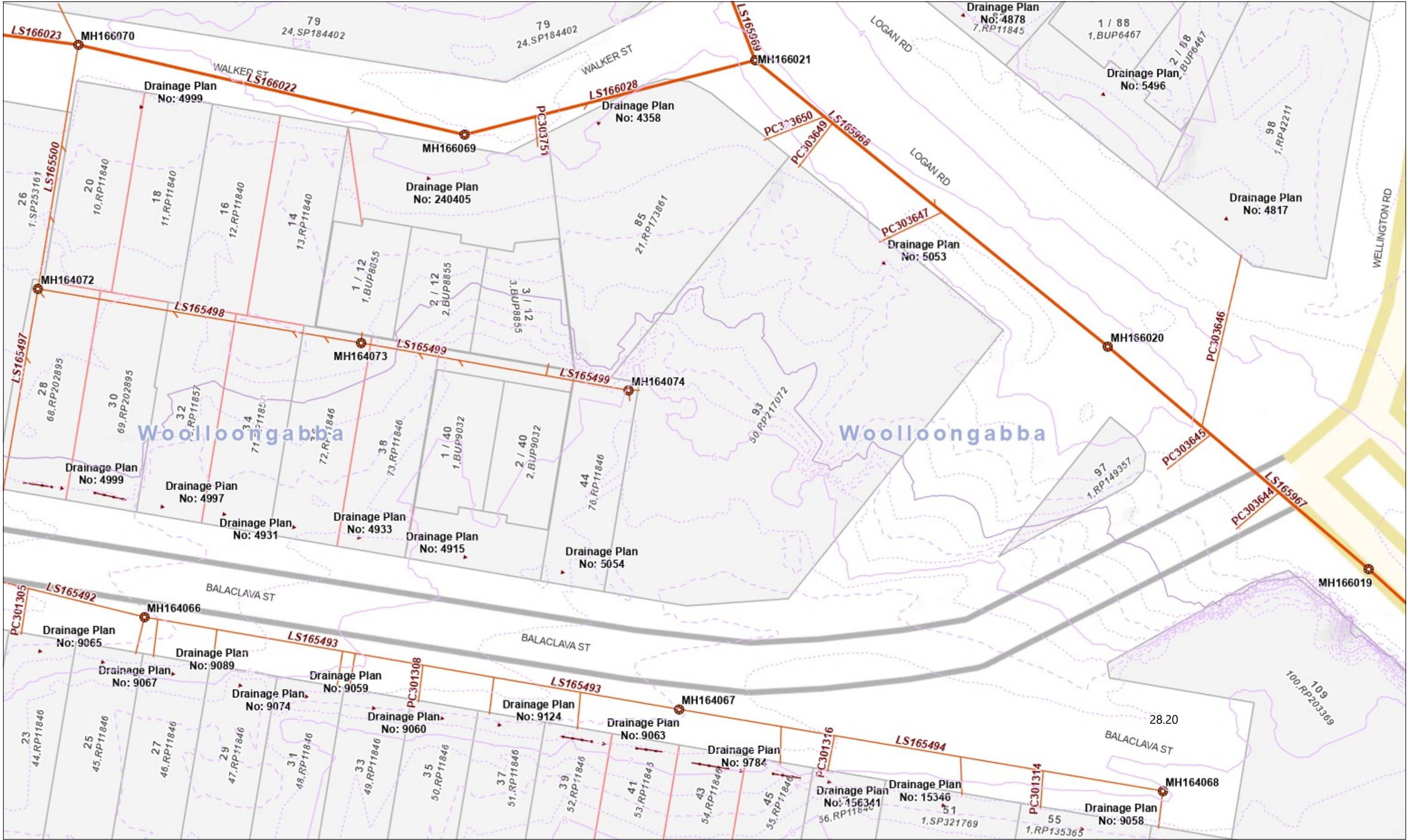
WM SURVEYS PTY LTD

P.O.Box 7220
Brendale QLD. 4500
warwick@wmsurveys.com.au
Ph 0419 685 538 Fax 07 3882 5168
ACN 133 397 065 ABN 91 133 397 065

NOTE:
This plan has been prepared from a combination of field survey and existing records for the purpose of designing new constructions on the property, and should not be used for any other purpose. The property boundaries have not been marked at the time of survey and have been determined from a combination of field and plan measurements. Further survey work may need to be undertaken to determine the exact boundary position. All visible services and features have been located by field measurements. If unable to have been located, services have been plotted by records and noted accordingly. Prior to any construction or to determine exact location, the relevant Authority should be contacted for detailed locations. This note forms an integral part of this plan.

A	ORIGINAL ISSUE	30/8/21	WM
ISSUE:	DESCRIPTION	DATE	SIGNED
FILE REF. 2643DT-A.DWG			ISSUE: A
Date	30/08/2021	Ref.	2643DT

Appendix C - BRISBANE CITY COUNCIL eBiMAP2



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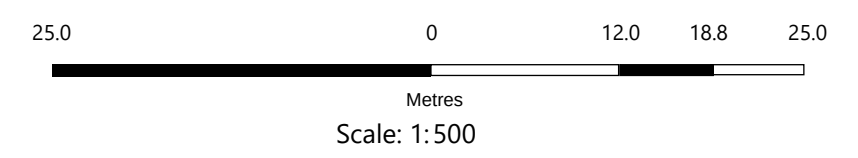
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Notes:



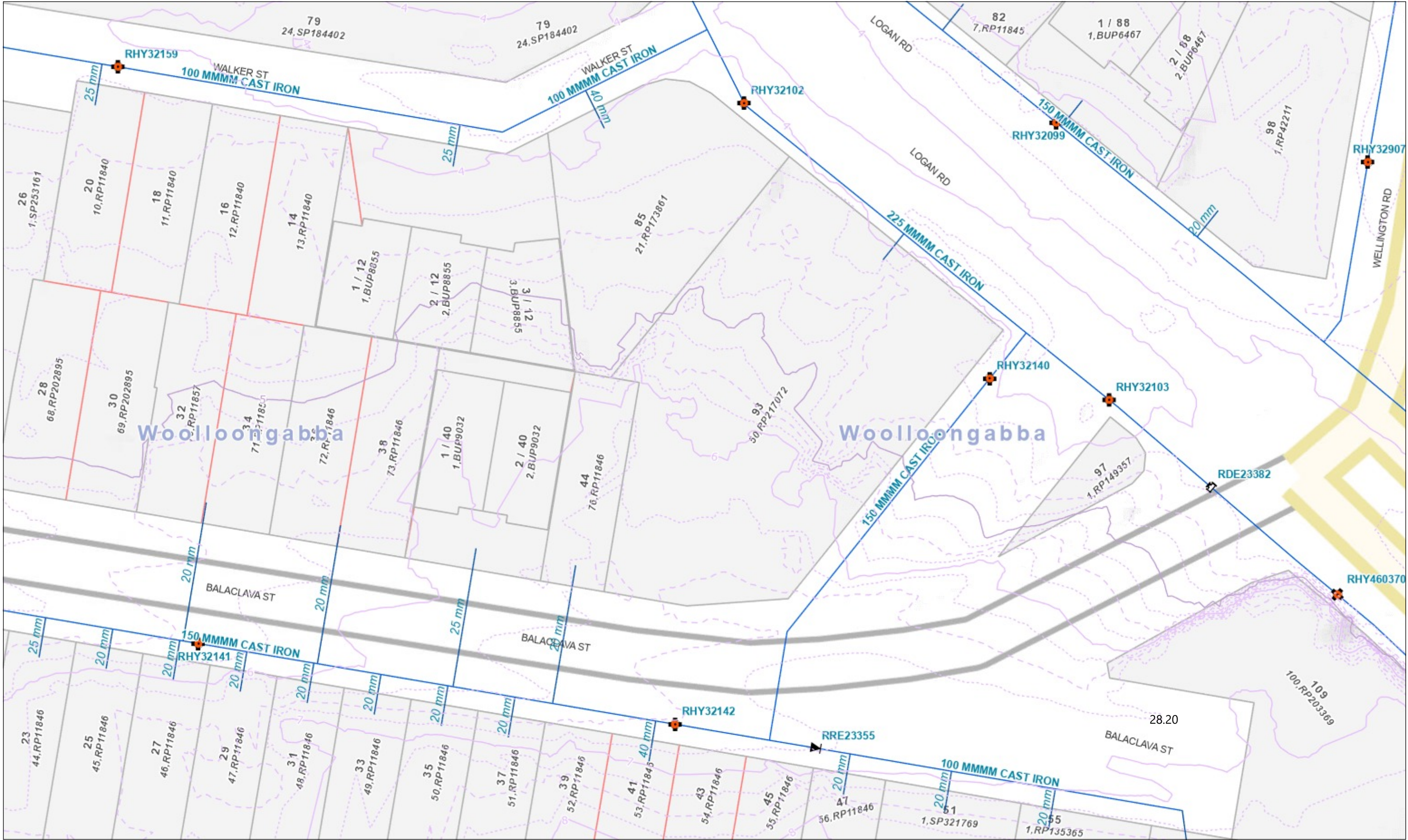
Dedicated to a better Brisbane

Sewer



Legend

1m Contour (2019)	50m Contour	10m Contour	5m Contour	1m Contour
50cm Contour (2019)	25cm Contour (2019)	Sewer Chamber	CHAMBER	CHAMBER - OFFLINE
Sewer Fitting - Main Fittings	END FLUSHING POINT	INLINE FLUSHING POINT	OUTLET	VACUUM LIFT
Sewer Fitting - All Other Fittings	JOINT	RODDING JOINT	PROPERTY CONNECTION BOUNDARY	JUNCTION
END CAP	BEND	WYE	TEE	REDUCER
GIBAULT JOINT	CROSS	INLET	OUTLET	<all other values>
Sewer Structure - by Type	CONCRETE STOP	PIPE BRIDGE	ANCHOR BLOCK	HEAD WALL
PIER	Sewer Support Structure Boundary	Sewer Manholes	MANHOLE	MANHOLE - OFFLINE
<all other values>	Sewer Manhole -All Other Types	End	Flume Pit	Sewer Manhole Stub
Sewer Control Valve - by Type	AIR	SCOUR	VACCUM, AS CONSTRUCTED	REFLUX
AIR - OFFLINE	SCOUR - OFFLINE	VACCUM - OFFLINE	REFLUX - OFFLINE	Sewer System Valve - by Type
SEWER DOOR	GATE	BUTTERFLY	SEWER DOOR - OFFLINE	GATE - OFFLINE
BUTTERFLY - OFFLINE	<all other values>	Sewer Network Structure -Treatment	TREATMENT PLANT, AS CONSTRUCTED	TREATMENT PLANT - OFFLINE
Sewer Network Structure - All Features	STORAGE FACILITY	ODOUR CONTROL	WET WELL	STORAGE FACILITY - OFFLINE
WET WELL - OFFLINE	ODOUR CONTROL - OFFLINE	Sewer Pump Station	PUMP STATION	PUMP STATION - OFFLINE
Sewer Network Structure Boundary	Sewer Vertical Gravity Main	Sewer Vertical Pressure Main	Sewer Service	Model Link
Service	<all other values>	Sewer Gravity Main - by Type	SYPHON	DISCHARGE
TRUNK MAIN	RETICULATION MAIN	OVERFLOW MAIN	MODEL LINK	SYPHON - OFFLINE
DISCHARGE - OFFLINE	TRUNK MAIN - OFFLINE	RETICULATION MAIN - OFFLINE	OVERFLOW MAIN - OFFLINE	MODEL LINK - OFFLINE
<all other values>	Sewer Pressure Main - by Type	MODEL LINK	LOW PRESSURE MAIN	RISING MAIN
VACUUM MAIN	MODEL LINK - OFFLINE	LOW PRESSURE MAIN - OFFLINE	RISING MAIN - OFFLINE	VACUUM MAIN - OFFLINE
Sewer Drainage Plan	Sewer Drainage Plan Joiner	Sewer Drainage Plan Extension	Property Holding	Sealed Plan
Parcel	Parcel - Outside Brisbane			



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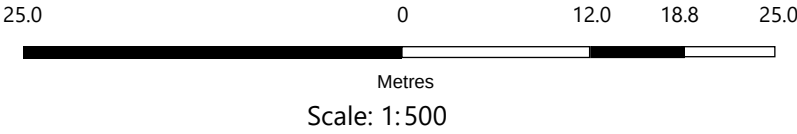
Projection:
Web Mercator Auxiliary Sphere

Notes:



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Water



Legend

1m Contour (2019)

50cm Contour (2019)

LEVEL SENSOR

Water Fitting

JOINT

WYE

CHEMICAL INJECTION POINT

PIPE BRIDGE

Water Chamber

Water Service Valve

SEQWATER

QUU - OFFLINE

QUU

PRIVATE - OFFLINE

BORE PUMP

Water Vertical Pressure Main

Trunk Main

COMMON SERVICE

50m Contour

25cm Contour (2019)

FLOW METER - OFFLINE

BEND

GIBAULT JOINT

TEE

SAMPLING STATION

CONCRETE STOP

Water Hydrant

Service Valve, CLOSED

PRIVATE

SEQ - OFFLINE

SEQWATER

<all other values>

LIFT PUMP

Water Pressure Main - by Type

Scour Main

Property Holding

10m Contour

Water Device - All Other Assets

PRESSURE GAUGE - OFFLINE

PIGGING POINT

TAPPING BAND

RESERVOIR INLET

<all other values>

HEADWALL

PILLAR HYDRANT

Service Valve, OPEN

QUU - NON POT

PRIV - OFFLINE

PRIVATE

Water Sampling Point

BOOSTER PUMP - OFFLINE

Water - Model Link

Water Service

Sealed Plan

5m Contour

FLOW METER

LEVEL SENSOR - OFFLINE

END CAP

TAPPING

RESERVOIR OUTLET

Water Structures

PIER

INGROUND HYDRANT

Water Network Structure - Reser

SEQ - NON POT

Water Network Structure Boun

QUU - OFFLINE

Water Pumps

BORE PUMP - OFFLINE

Raw Water Main

SERVICE

Parcel

1m Contour

PRESSURE GAUGE

<all other values>

CROSS

REDUCER

SCOUR OUTLET

ANCHOR BLOCK

<all other values>

QUU

PRIVATE - NON POT

Water Pump Stations

SEQWATER - OFFLINE

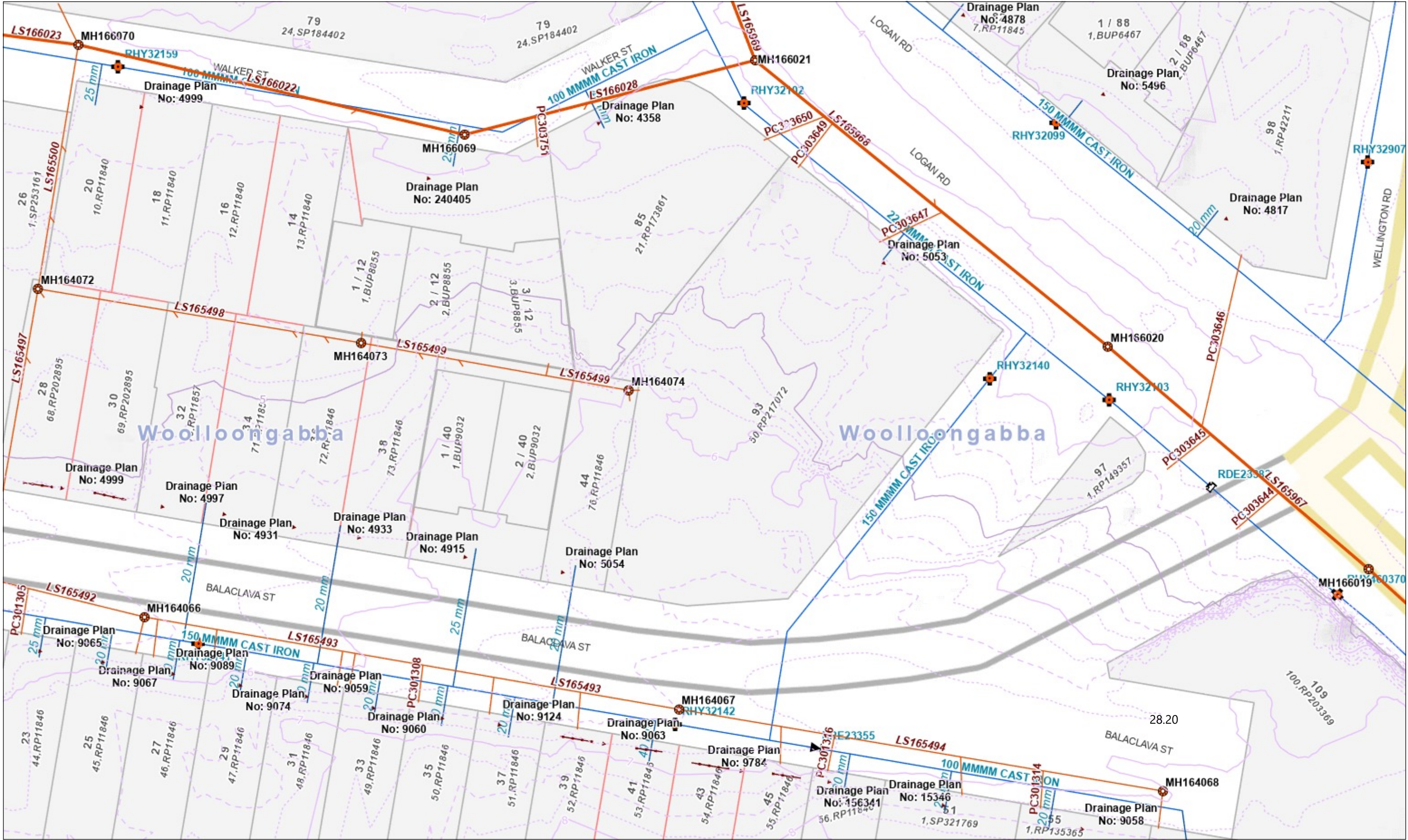
BOOSTER PUMP

LIFT PUMP - OFFLINE

Reticulation Main

MODEL LINK

Parcel - Outside Brisbane



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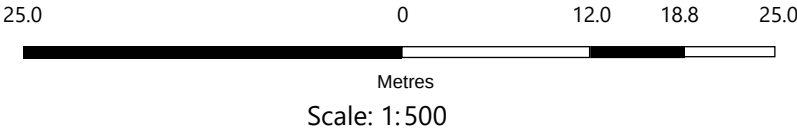
Projection:
Web Mercator Auxiliary Sphere

Notes:



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Sewer-Water



Legend

1m Contour (2019)

50cm Contour (2019)

Sewer Fitting - Main Fittings

Sewer Fitting - All Other Fittings

END CAP

GIBAULT JOINT

Sewer Structure - by Type

PIER

<all other values>

Sewer Control Valve - by Type

AIR - OFFLINE

SEWER DOOR

BUTTERFLY - OFFLINE

Sewer Network Structure - All Fe

WET WELL - OFFLINE

Sewer Network Structure Bound

Service

TRUNK MAIN

DISCHARGE - OFFLINE

<all other values>

VACUUM MAIN

Sewer Drainage Plan

PRESSURE GAUGE

<all other values>

CROSS

REDUCER

SCOUR OUTLET

ANCHOR BLOCK

<all other values>

<all other values>

QUU

PRIVATE - NON POT

Water Pump Stations

SEQWATER - OFFLINE

BOOSTER PUMP

LIFT PUMP - OFFLINE

Reticulation Main

MODEL LINK

Parcel - Outside Brisbane

50m Contour

25cm Contour (2019)

END FLUSHING POINT

JOINT

BEND

CROSS

CONCRETE STOP

Sewer Support Structure Bound

Sewer Manhole -All Other Types

AIR

SCOUR - OFFLINE

GATE

<all other values>

STORAGE FACILITY

ODOUR CONTROL - OFFLINE

Sewer Vertical Gravity Main

<all other values>

RETICULATION MAIN

TRUNK MAIN - OFFLINE

Sewer Pressure Main - by Type

MODEL LINK - OFFLINE

Sewer Drainage Plan Joiner

LEVEL SENSOR

Water Fitting

JOINT

WYE

CHEMICAL INJECTION POINT

PIPE BRIDGE

Water Chamber

Water Service Valve

SEQWATER

QUU - OFFLINE

QUU

PRIVATE - OFFLINE

BORE PUMP

Water Vertical Pressure Main

Trunk Main

COMMON SERVICE

10m Contour

Sewer Chamber

INLINE FLUSHING POINT

RODDING JOINT

WYE

INLET

PIPE BRIDGE

Sewer Manholes

End

SCOUR

VACCUM - OFFLINE

BUTTERFLY

Sewer Network Structure -Treatn

ODOUR CONTROL

Sewer Pump Station

Sewer Gravity Main - by Type

OVERFLOW MAIN

RETICULATION MAIN - OFFLINE

MODEL LINK

LOW PRESSURE MAIN - OFFLINE

Sewer Drainage Plan Extension

FLOW METER - OFFLINE

BEND

GIBAULT JOINT

TEE

SAMPLING STATION

CONCRETE STOP

Water Hydrant

Service Valve, CLOSED

PRIVATE

SEQ - OFFLINE

SEQWATER

<all other values>

LIFT PUMP

Water Pressure Main - by Type

Scour Main

Property Holding

5m Contour

CHAMBER

OUTLET

PROPERTY CONNECTION BOUNDA

TEE

OUTLET

ANCHOR BLOCK

MANHOLE

Flume Pit

VACCUM, AS CONSTRUCTED

REFLUX - OFFLINE

SEWER DOOR - OFFLINE

TREATMENT PLANT, AS CONSTRUI

WET WELL

PUMP STATION

Sewer Service

SYPHON

MODEL LINK

OVERFLOW MAIN - OFFLINE

LOW PRESSURE MAIN

RISING MAIN - OFFLINE

Water Device - All Other Assets

PRESSURE GAUGE - OFFLINE

PIGGING POINT

TAPPING BAND

RESERVOIR INLET

<all other values>

HEADWALL

PILLAR HYDRANT

Service Valve, OPEN

QUU - NON POT

PRIV - OFFLINE

PRIVATE

Water Sampling Point

BOOSTER PUMP - OFFLINE

Water - Model Link

Water Service

Sealed Plan

1m Contour

CHAMBER - OFFLINE

VACUUM LIFT

JUNCTION

REDUCER

<all other values>

HEAD WALL

MANHOLE - OFFLINE

Sewer Manhole Stub

REFLUX

Sewer System Valve - by Type

GATE - OFFLINE

TREATMENT PLANT - OFFLINE

STORAGE FACILITY - OFFLINE

PUMP STATION - OFFLINE

Model Link

DISCHARGE

SYPHON - OFFLINE

MODEL LINK - OFFLINE

RISING MAIN

VACUUM MAIN - OFFLINE

FLOW METER

LEVEL SENSOR - OFFLINE

END CAP

TAPPING

RESERVOIR OUTLET

Water Structures

PIER

INGROUND HYDRANT

Water Network Structure - Reser

SEQ - NON POT

Water Network Structure Bounde

QUU - OFFLINE

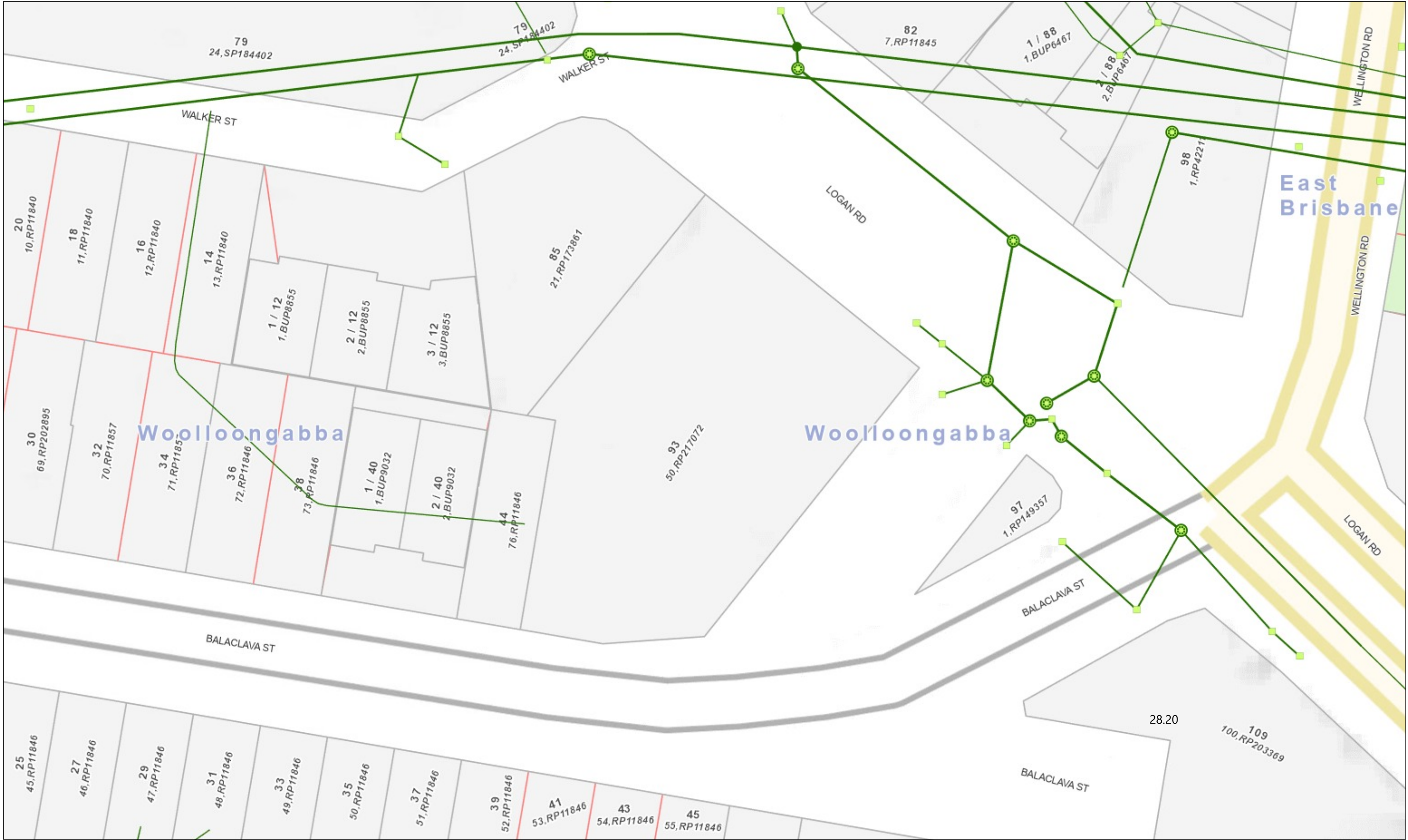
Water Pumps

BORE PUMP - OFFLINE

Raw Water Main

SERVICE

Parcel



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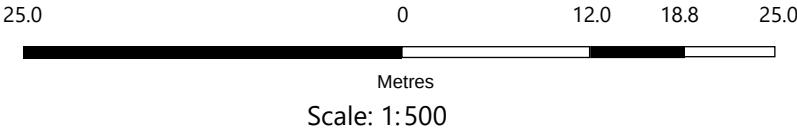
Projection:
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Notes:



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Stormwater



Legend

-  Culvert
-  Gully
-  Foul Water and Roof Water
-  Detention Basin
-  Parcel - Outside Brisbane
- End Structure

 Junction

 SQID

 Lake
-  End cap

 Manhole

 Surface Drain

 Property Holding
-  Flood Gate

 Drain

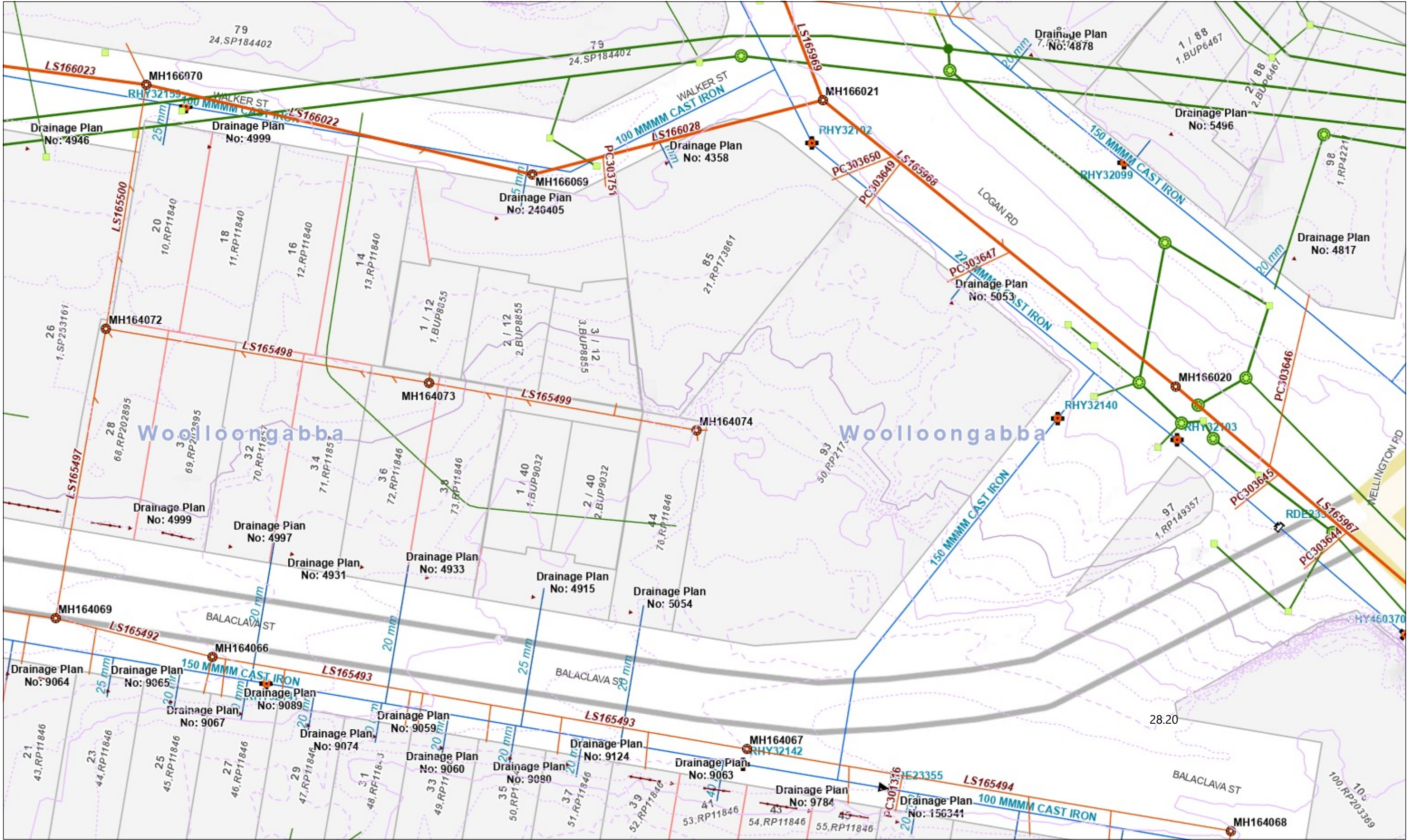
 Waterbody

 Sealed Plan
-  Pipe End Outlet

 Gully Connect

 Artesian Well

 Parcel



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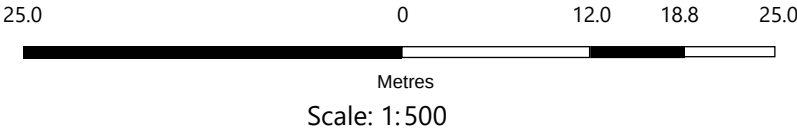
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Notes:

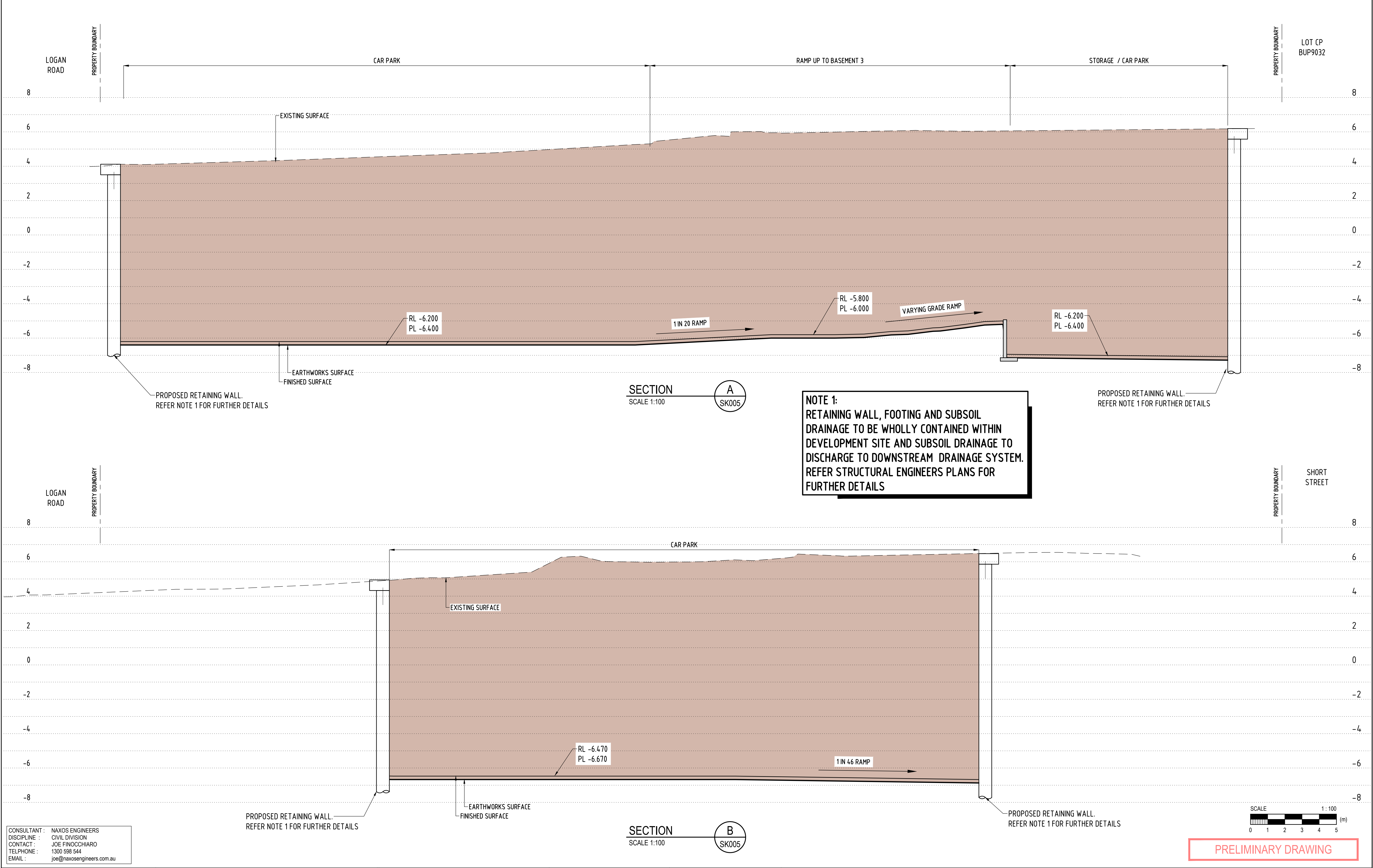
Sewer-Water-Stormwater



Legend

1m Contour (2019)	50m Contour	10m Contour	5m Contour	1m Contour
50cm Contour (2019)	25cm Contour (2019)	Sewer Chamber	CHAMBER	CHAMBER - OFFLINE
Sewer Fitting - Main Fittings	END FLUSHING POINT	INLINE FLUSHING POINT	OUTLET	VACUUM LIFT
Sewer Fitting - All Other Fittings	JOINT	RODDING JOINT	PROPERTY CONNECTION BOUNDARY	JUNCTION
END CAP	BEND	WYE	TEE	REDUCER
GIBAULT JOINT	CROSS	INLET	OUTLET	<all other values>
Sewer Structure - by Type	CONCRETE STOP	PIPE BRIDGE	ANCHOR BLOCK	HEAD WALL
PIER	Sewer Support Structure Boundary	Sewer Manholes	MANHOLE	MANHOLE - OFFLINE
<all other values>	Sewer Manhole -All Other Types	End	Flume Pit	Sewer Manhole Stub
Sewer Control Valve - by Type	AIR	SCOUR	VACCUM, AS CONSTRUCTED	REFLUX
AIR - OFFLINE	SCOUR - OFFLINE	VACCUM - OFFLINE	REFLUX - OFFLINE	Sewer System Valve - by Type
SEWER DOOR	GATE	BUTTERFLY	SEWER DOOR - OFFLINE	GATE - OFFLINE
BUTTERFLY - OFFLINE	<all other values>	Sewer Network Structure -Treatment	TREATMENT PLANT, AS CONSTRUCTED	TREATMENT PLANT - OFFLINE
Sewer Network Structure - All Features	STORAGE FACILITY	ODOUR CONTROL	WET WELL	STORAGE FACILITY - OFFLINE
WET WELL - OFFLINE	ODOUR CONTROL - OFFLINE	Sewer Pump Station	PUMP STATION	PUMP STATION - OFFLINE
Sewer Network Structure Boundary	Sewer Vertical Gravity Main	Sewer Vertical Pressure Main	Sewer Service	Model Link
Service	<all other values>	Sewer Gravity Main - by Type	SYPHON	DISCHARGE
TRUNK MAIN	RETICULATION MAIN	OVERFLOW MAIN	MODEL LINK	SYPHON - OFFLINE
DISCHARGE - OFFLINE	TRUNK MAIN - OFFLINE	RETICULATION MAIN - OFFLINE	OVERFLOW MAIN - OFFLINE	MODEL LINK - OFFLINE
<all other values>	Sewer Pressure Main - by Type	MODEL LINK	LOW PRESSURE MAIN	RISING MAIN
VACUUM MAIN	MODEL LINK - OFFLINE	LOW PRESSURE MAIN - OFFLINE	RISING MAIN - OFFLINE	VACUUM MAIN - OFFLINE
Sewer Drainage Plan	Sewer Drainage Plan Joiner	Sewer Drainage Plan Extension	Culvert	End Structure
End cap	Flood Gate	Pipe End Outlet	Gully	Junction
Manhole	Drain	Gully Connect	Foul Water and Roof Water	SQID
Surface Drain	Waterbody	Artesian Well	Detention Basin	Lake
Water Device - All Other Assets	FLOW METER	PRESSURE GAUGE	LEVEL SENSOR	FLOW METER - OFFLINE
PRESSURE GAUGE - OFFLINE	LEVEL SENSOR - OFFLINE	<all other values>	Water Fitting	BEND
PIGGING POINT	END CAP	CROSS	JOINT	GIBAULT JOINT
TAPPING BAND	TAPPING	REDUCER	WYE	TEE
RESERVOIR INLET	RESERVOIR OUTLET	SCOUR OUTLET	CHEMICAL INJECTION POINT	SAMPLING STATION
<all other values>	Water Structures	ANCHOR BLOCK	PIPE BRIDGE	CONCRETE STOP
HEADWALL	PIER	<all other values>	Water Chamber	Water Hydrant
PILLAR HYDRANT	INGROUND HYDRANT	<all other values>	Water Service Valve	Service Valve, CLOSED
Service Valve, OPEN	Water Network Structure - Reservoir	QUU	SEQWATER	PRIVATE
QUU - NON POT	SEQ - NON POT	PRIVATE - NON POT	QUU - OFFLINE	SEQ - OFFLINE
PRIV - OFFLINE	Water Network Structure Boundary	Water Pump Stations	QUU	SEQWATER
PRIVATE	QUU - OFFLINE	SEQWATER - OFFLINE	PRIVATE - OFFLINE	<all other values>
Water Sampling Point	Water Pumps	BOOSTER PUMP	BORE PUMP	LIFT PUMP
BOOSTER PUMP - OFFLINE	BORE PUMP - OFFLINE	LIFT PUMP - OFFLINE	Water Vertical Pressure Main	Water Pressure Main - by Type
Water - Model Link	Raw Water Main	RETICULATION MAIN	Trunk Main	Scour Main
Water Service	SERVICE	MODEL LINK	COMMON SERVICE	Property Holding
Sealed Plan	Parcel	Parcel - Outside Brisbane		

Appendix D - CONCEPT DESIGN PLANS



CONSULTANT : NAXOS ENGINEERS
DISCIPLINE : CIVIL DIVISION
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AMENDMENTS			
No.	DATE	DESCRIPTION	DRAWN
A	26.06.2023	PRELIMINARY ISSUE	SD
B	06.09.2023	PRELIMINARY ISSUE	NP
C	16.07.2025	PRELIMINARY ISSUE	NP

Associated Consultant: RED DOOR ARCHITECTURE			
Approved: GREGG TYQUIN		Drawn: NP	Design: NP
RPEQ. 1528 Date:		Checked: GT	Supervisor: GF

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North:

Size of Land:
2374M²

Client:
CARBONE DEVELOPMENTS PTY LTD

Scale:
AS SHOWN

Project:
PROPOSED MULTI-USE DEVELOPMENT
93 LOGAN ROAD, WOOLLOONGABBA, QLD 4102

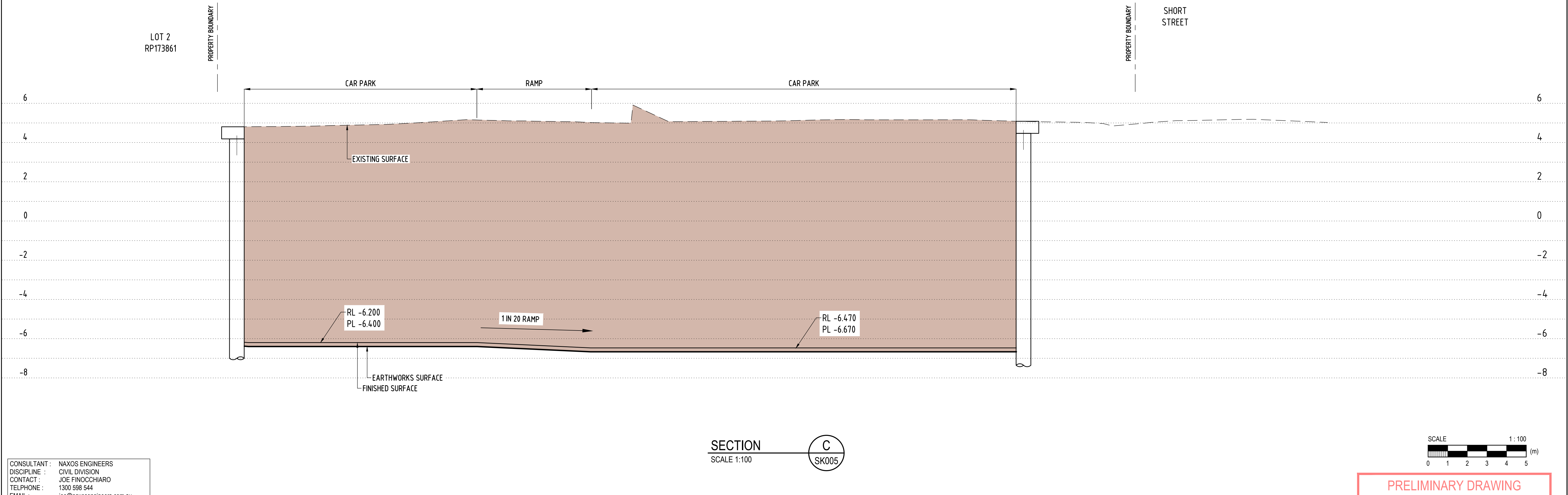
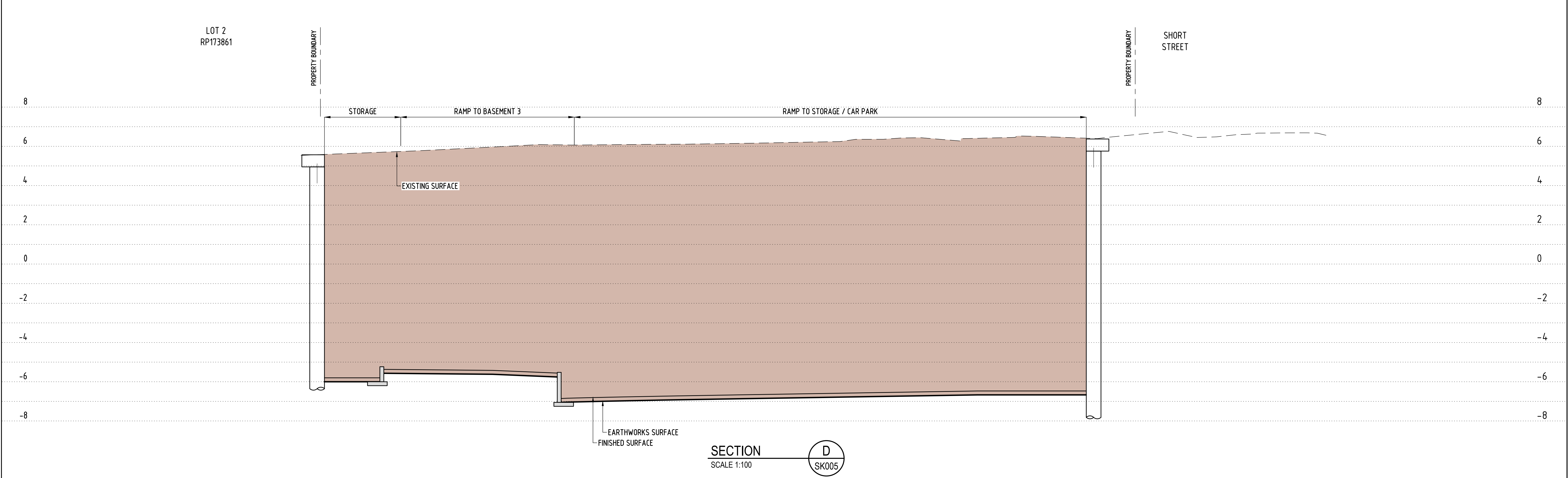
Job No.
23-198

Drawing No.
SK006

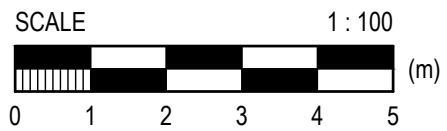
Revision:
C

CONCEPT EARTHWORKS SECTIONS (SHEET 1 OF 2)

PRELIMINARY DRAWING



CONSULTANT : NAXOS ENGINEERS
DISCIPLINE : CIVIL DIVISION
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PRELIMINARY DRAWING

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AMENDMENTS			
No.	DATE	DESCRIPTION	DRAWN
A	06.09.2023	PRELIMINARY ISSUE	NP
B	06.09.2023	PRELIMINARY ISSUE	NP
C	16.07.2025	PRELIMINARY ISSUE	NP

Associated Consultant:
RED DOOR ARCHITECTURE

Approved: GREGG TYQUIN	Drawn: NP	Design: NP
RPEQ. 1528	Checked: GT	Supervisor: GF
Date:		

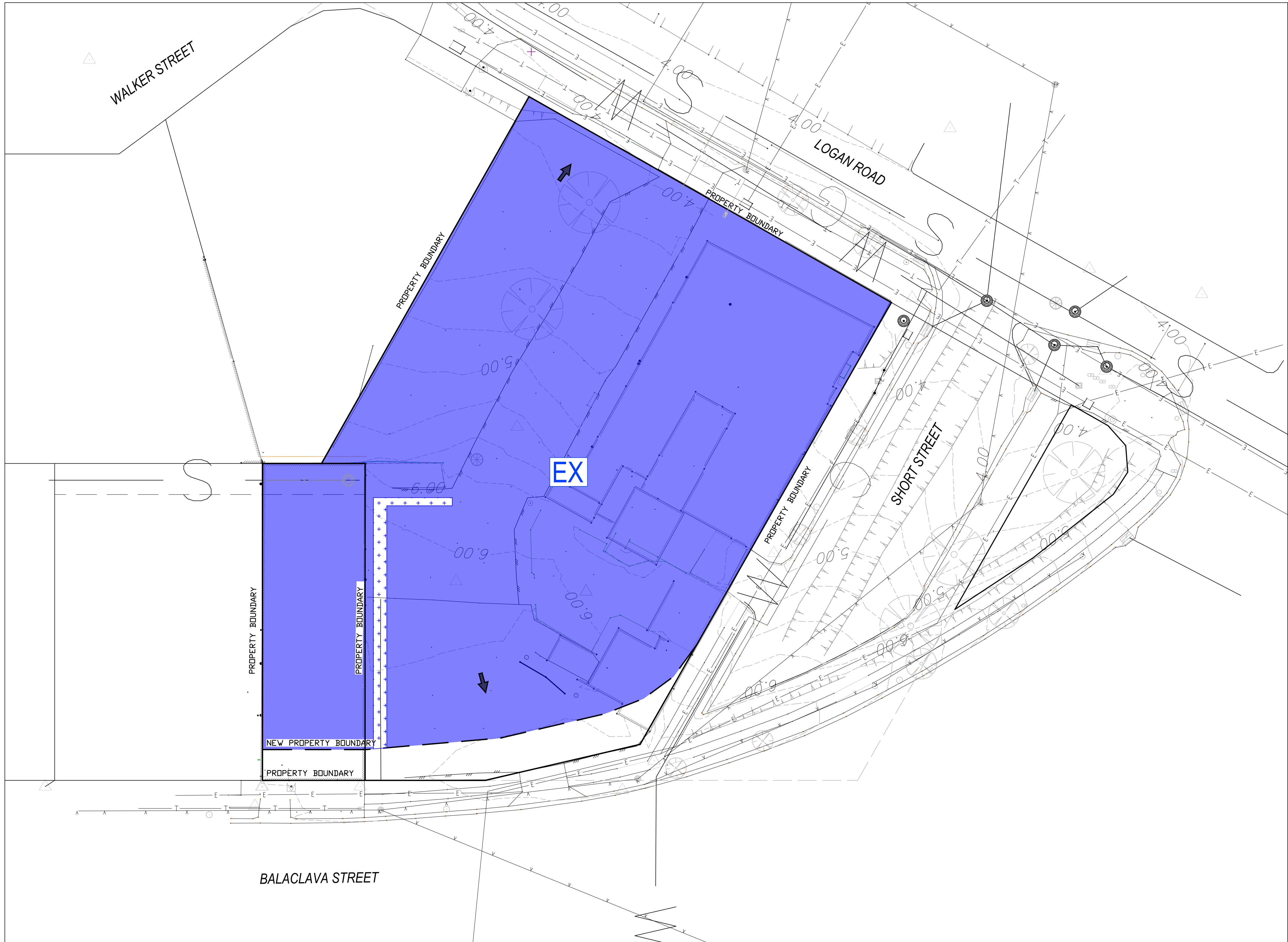
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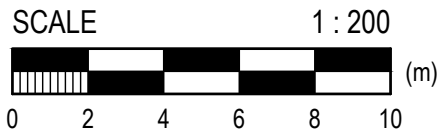
North:	Size of Land: 2374M²	Client: CARBONE DEVELOPMENTS PTY LTD	Job No. 23-198	Revision: C
Scale: 1:100	Project: PROPOSED MULTI-USE DEVELOPMENT 93 LOGAN ROAD, WOOLLOONGABBA, QLD 4102	Drawing No. SK007		
Orig. Dwg. Size A1				



STORMWATER CATCHMENT TABLE							
CATCHMENT NAME	CATCHMENT AREA (m²)	MINOR COEFFICIENT (ARI 10 YEAR)	MAJOR COEFFICIENT (ARI 100 YEAR)	IMPERVIOUS CATCHMENT AREA (m²)	PERVIOUS CATCHMENT AREA (m²)	IMPERVIOUS AREA (%)	PERVIOUS AREA (%)
EX	2374	0.900	1.000	2333	41	98.3	1.7

- NOTES:
1. SITE EXTENTS BASED OFF NEAR MAP IMAGERY.
2. SUBJECT TO DETAILED DESIGN AND SITE SURVEY.

LEGEND	
	PROPERTY BOUNDARY
	NEW PROPERTY BOUNDARY
	OVERLAND FLOW DIRECTION
	IMPERVIOUS AREA
	PERVIOUS AREA
	CATCHMENT LABEL
	EXISTING KERB AND CHANNEL
	EXISTING CROWN OF ROAD
	EXISTING CONTOUR
	EXISTING STORMWATER DRAINAGE
	EXISTING WATER
	EXISTING SEWER
	EXISTING TELSTRA
	EXISTING GAS
	EXISTING TREE



PRELIMINARY DRAWING

CONSULTANT : NAXOS ENGINEERS
DISCIPLINE : CIVIL DIVISION
CONTACT : JOE FINOCCHIARO
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AMENDMENTS			
No.	DATE	DESCRIPTION	DRAWN
A	26.06.2023	PRELIMINARY ISSUE	SD
B	16.07.2025	PRELIMINARY ISSUE	NP

Associated Consultant:
RED DOOR ARCHITECTURE

Approved: GREGG TYQUIN

RPEQ 1528

Date:

Drawn: SD

Design: SD

Checked: GT

Supervisor: GF

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North:



Orig. Dwg. Size A1

Size of Land:

2374M²

Scale:

1:200

Client:

CARBONE DEVELOPMENTS PTY LTD

Project:

PROPOSED MULTI-USE DEVELOPMENT
93 LOGAN ROAD, WOOLLOONGABBA, QLD 4102

Job No.

23-198

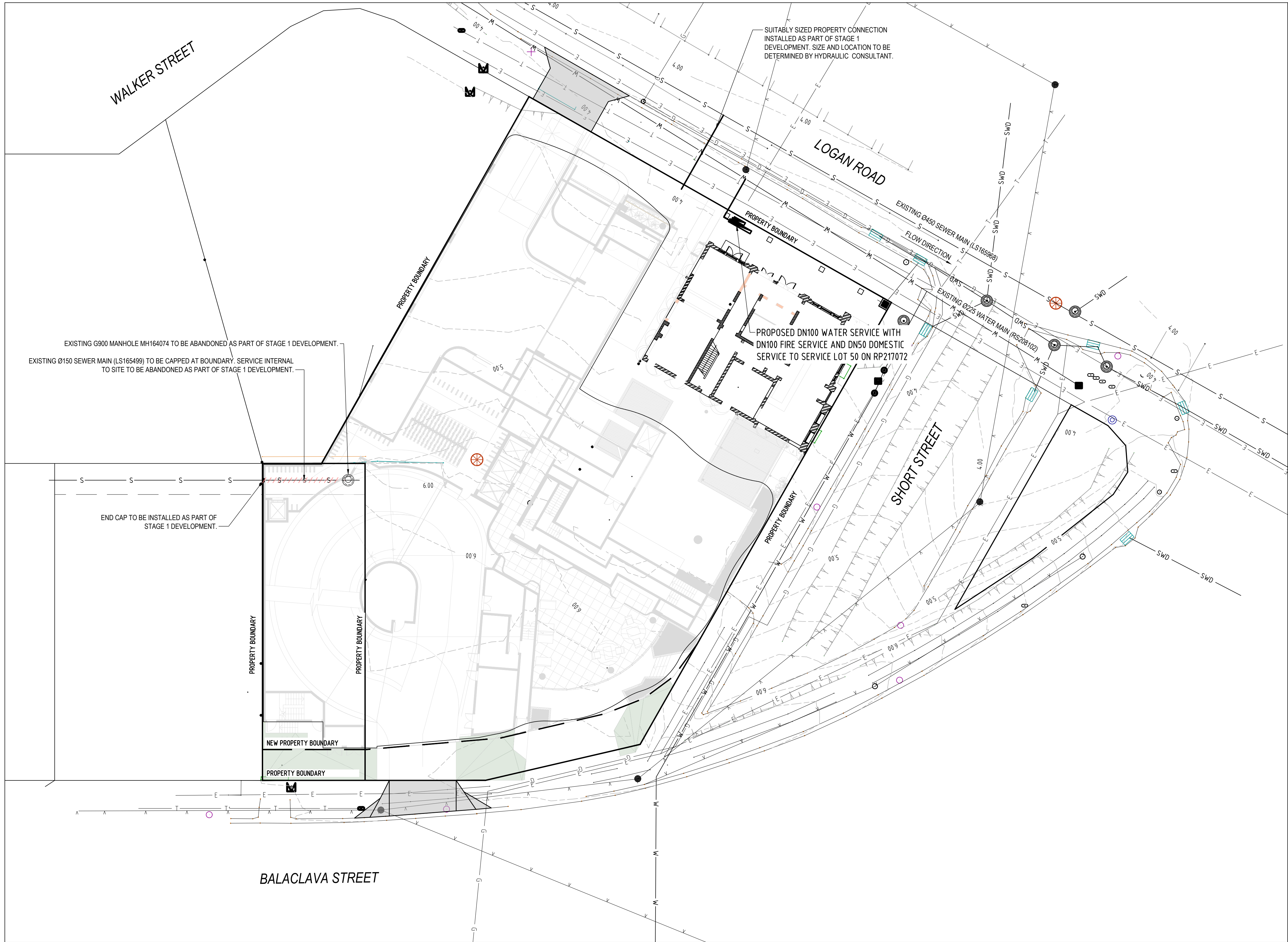
Drawing No.

SK001

Revision:

B

PRE-DEVELOPMENT STORMWATER CATCHMENT PLAN



SERVICES LEGEND		
EXISTING	PROPOSED	ITEM DESCRIPTION
		WATER RETICULATION MAIN - POTABLE
		WATER METER (SMALL / LARGE)
		WATER SERVICE ABANDONED
		GRAVITY MAIN
		SEWER MAIN ABANDONED
		SEWER PROPERTY CONNECTION
		SEWER MANHOLE STRUCTURE (MH)
		SEWER MAINTENANCE STRUCTURE
		STORMWATER DRAINAGE PIPE
		STORMWATER FIELD INLET WITH GRATE
		STORMWATER MANHOLE STRUCTURE (MH)
		KERB AND CHANNEL
		CROWN OF ROAD
		CONTOUR MAJOR
		CONTOUR MINOR
		TELSTRA
		GAS
		TREE
		PROPERTY BOUNDARY

NOTES:

1. THIS IS A GENERIC LEGEND. NOT ALL ITEMS WITHIN THIS LEGEND MAY BE PRESENT ON THIS PLAN AND THE SCALE OF THE ITEMS MAY BE DIFFERENT TO THE ITEMS PRESENTED ON THIS PLAN.

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AMENDMENTS			
No.	DATE	DESCRIPTION	DRAWN
A	26.06.2023	PRELIMINARY ISSUE	SD
B	16.07.2025	PRELIMINARY ISSUE	NP

Associated Consultant:
RED DOOR ARCHITECTURE

Approved: GREGG TYQUIN

RPEQ. 1528 Date:

Drawn: SD

Design: SD

Checked: GT

Supervisor: GF

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North:

Size of Land:
2374M²

Scale:
1:200

Orig. Dwg. Size
A1

Client:

Project:

CONCEPT SERVICES LAYOUT PLAN

CARBONE DEVELOPMENTS PTY LTD

PROPOSED MULTI-USE DEVELOPMENT
93 LOGAN ROAD, WOOLLOONGABBA, QLD 4102

Job No.

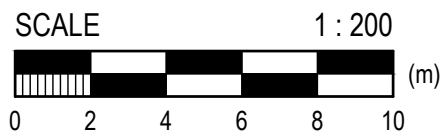
23-198

Drawing No.

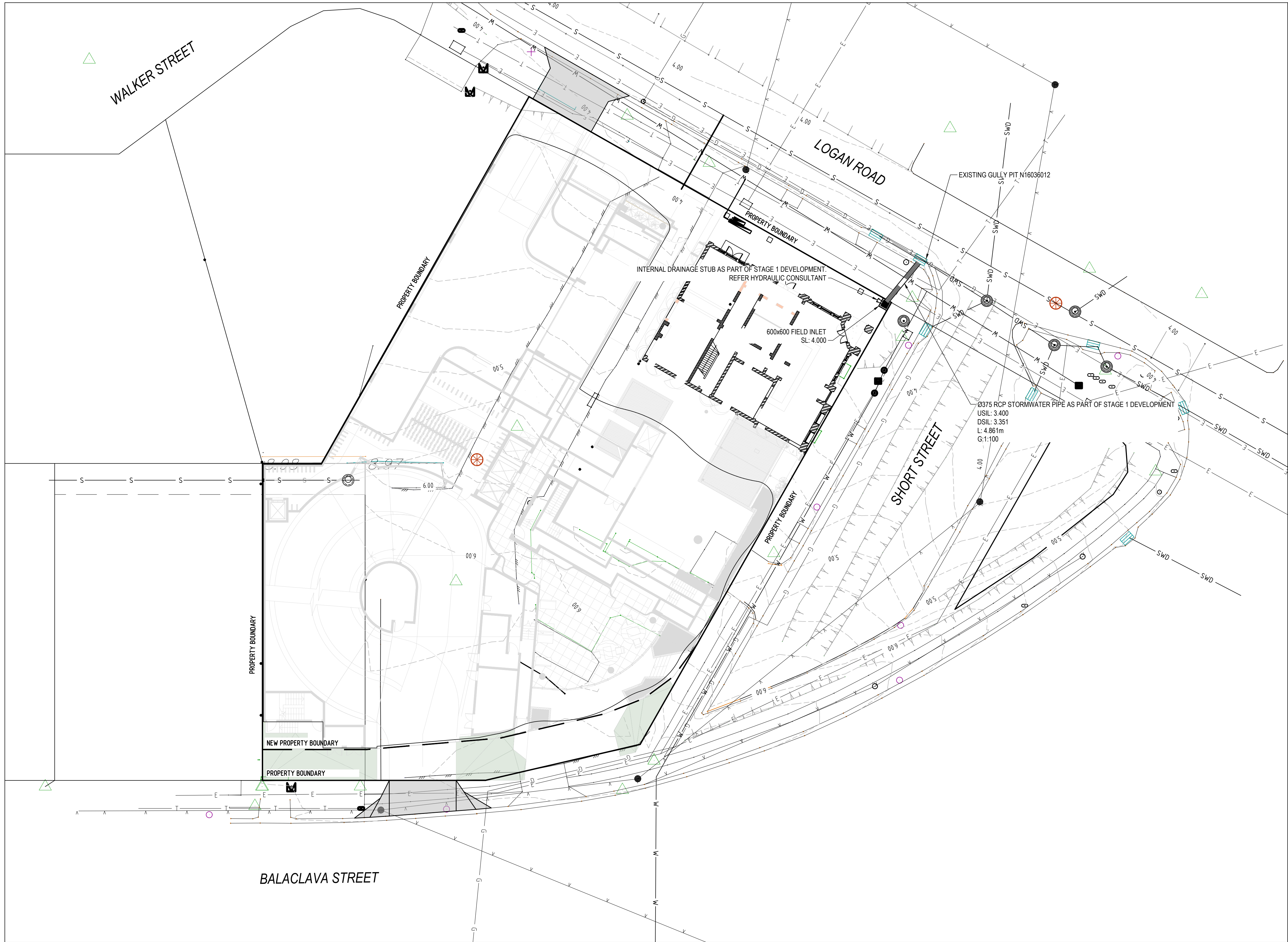
SK003

Revision:

B

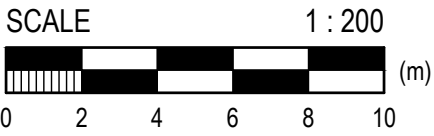


PRELIMINARY DRAWING



SERVICES LEGEND		
EXISTING	PROPOSED	ITEM DESCRIPTION
		WATER RETICULATION MAIN - POTABLE
		WATER METER (SMALL / LARGE)
		WATER SERVICE ABANDONED
		GRAVITY MAIN
		SEWER MAIN ABANDONED
		SEWER PROPERTY CONNECTION
		SEWER MANHOLE STRUCTURE (MH)
		SEWER MAINTENANCE STRUCTURE
		STORMWATER DRAINAGE PIPE
		STORMWATER FIELD INLET WITH GRATE
		STORMWATER MANHOLE STRUCTURE (MH)
		KERB AND CHANNEL
		CROWN OF ROAD
		CONTOUR MAJOR
		CONTOUR MINOR
		TELSTRA
		GAS
		TREE
		PROPERTY BOUNDARY

NOTES:
1. THIS IS A GENERIC LEGEND. NOT ALL ITEMS WITHIN THIS LEGEND MAY BE PRESENT ON THIS PLAN AND THE SCALE OF THE ITEMS MAY BE DIFFERENT TO THE ITEMS PRESENTED ON THIS PLAN.



PRELIMINARY DRAWING

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DISCIPLINE : CIVIL DIVISION
CONTACT : JOE FINOCCHIARO
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PO Box 224, Spring Hill QLD 4004
NAXOSENGINEERS.COM.AU

AMENDMENTS			
No.	DATE	DESCRIPTION	DRAWN
A	26.06.2023	PRELIMINARY ISSUE	SD
B	16.07.2025	PRELIMINARY ISSUE	NP

Associated Consultant:
MIRVAC DESIGN

Approved: GREGG TYQUIN

RPEQ 1528

Date:

Drawn: SD

Design: SD

Checked: GT

Supervisor: GF

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North:



Orig. Dwg. Size A1

Size of Land:

LAND SIZE

Scale:

1:200

Client:

Project:

CONCEPT STORMWATER LAYOUT PLAN

MIRVAC

SKYRING TERRACE
57 SKYRING TERRACE, NEWSTEAD, QLD-4006

Job No.

23-096

Drawing No.

SK004

Revision:

B

Appendix E - EROSION HAZARD ASSESSMENT



Erosion Hazard Assessment - June 2014

Brisbane City Council (BCC), *Erosion Hazard Assessment* form must be read in conjunction with the *Erosion Hazard Assessment- Supporting Technical Notes* (June 2014 or later version) for explanatory terms and Certification information.

What is an Erosion Hazard Assessment?

Soil erosion and sediment from urban development, particularly during construction activities, is a significant source of sediment pollution in Brisbane's waterways. The Erosion Hazard Assessment determines whether the risk of soil erosion and sediment pollution to the environment is 'low', 'medium' or 'high'.

When is the EHA required?

An *Erosion Hazard Assessment* form must be completed and lodged with BCC for any Development Application (ie MCU or ROL) that will result in soil disturbance OR Operational Works or Compliance Assessment Application for 'Filling' or Excavation.

Failure to submit this form during lodgement of an application may result in assessment delays or refusal of the application.

Privacy Statement

The personal information collected on this form will be used by Brisbane City Council for the purposes of fulfilling your request and undertaking associated Council functions and services. Your personal information will not be disclosed to any third party without your consent, unless this is required or permitted by law.

Assessment Details

1 Please turn over and complete the erosion hazard assessment.

2 Based on the erosion hazard assessment overleaf, is the site:

☐ A 'low' risk site

Best practice erosion and sediment control (ESC) must be implemented but no erosion and sediment control plans need to be submitted with the development application. Factsheets outlining best practice ESC can be found at <http://www.waterbydesign.com.au/factsheets>

☒ A 'medium' risk site

If the development is approved, the applicant will need to engage a Registered Professional Engineer (RPEQ) or Certified Professional in Erosion and Sediment Control (CPESC) to prepare an ESC Program and Plan and supporting documentation — in accordance with the requirements of the Infrastructure Design Planning Scheme Policy.

☐ A 'high' risk site

If the development is approved, the applicant will need to engage a RPEQ and CPESC to prepare an ESC Program and Plan and supporting documentation — in accordance with the requirements of the Infrastructure Design Planning Scheme Policy. The plans and program will need to be certified by a CPESC.

3 Site Information and Certification

Application number (if known)

Site address

93 Logan Road

Woolloongabba

QLD

Postcode 4102

I certify that:

- ☒ I have made all relevant enquiries and am satisfied no matters of significance have been withheld from the assessment manager.
- ☒ I am a person with suitable qualifications and/or experience in erosion and sediment control.
- ☒ The Erosion Hazard Assessment was completed in accordance with the Erosion Hazard Assessment Supporting Technical Notes and the BCC Infrastructure Design Planning Scheme Policy.
- ☒ The Erosion Hazard Assessment accurately reflects the site's overall risk of soil erosion and sediment pollution to the environment.
- ☒ I acknowledge and accept that the BCC, as assessment manager, relies, in good faith, on this certification as part of its development assessment process and the provision of false or misleading information to the BCC constitutes an offence for which BCC may take punitive steps/ action against me/ enforcement action against me.

Certified by *Print name*

Sarah Donohoe

Certifier's signature

Date

26 / 06 / 2023

Table 1: Low Risk Test

		Yes	No
1.1	is the area of land disturbance > 1000 m ²	☒	☐
1.2	does any land disturbance occur in a BCC mapped waterway corridor	☒	☐
1.3	is there any slope on site (longer than three metres in length) before, during or after construction that is steeper than 5%	☐	☒
1.4	does any land disturbance occur below 5 m AHD	☒	☐
1.5	does development involve endorsement of a staging plan	☒	☐
1.6	is there an upstream catchment passing through the site > 1 hectare	☐	☒

Have you answered 'yes' to any of the questions in Table 1?

Yes	No
☒	☐

If 'No' then site is low risk with respect to erosion and sediment control

If 'Yes' then proceed to Table 2

Table 2: Medium Risk Test

		Yes	No
2.1	is the area of land disturbance > 1 hectare	☐	☒

If 'No' then site is medium risk with respect to erosion and sediment control

If 'Yes' then proceed to Table 3

Table 3: High Risk Test

3.1	is there an upstream catchment passing through the site > 1 hectare	☐	☐
3.2	does any land disturbance occurs in a BCC mapped waterway corridor	☐	☐
3.3	is there any slope on site (longer than three metres in length) before, during or after construction that is steeper than 15%	☐	☐

Have you answered 'yes' to any of the questions in Table 3?

Yes	No
☐	☐

If 'No' then site is medium risk with respect to erosion and sediment control

If 'Yes' then site is high risk with respect to erosion and sediment control

Appendix F - FLOODWISE PROPERTY REPORT

FloodWise Property Report

93 LOGAN RD, WOOLLOONGABBA 4102
Lot 50 on RP217072

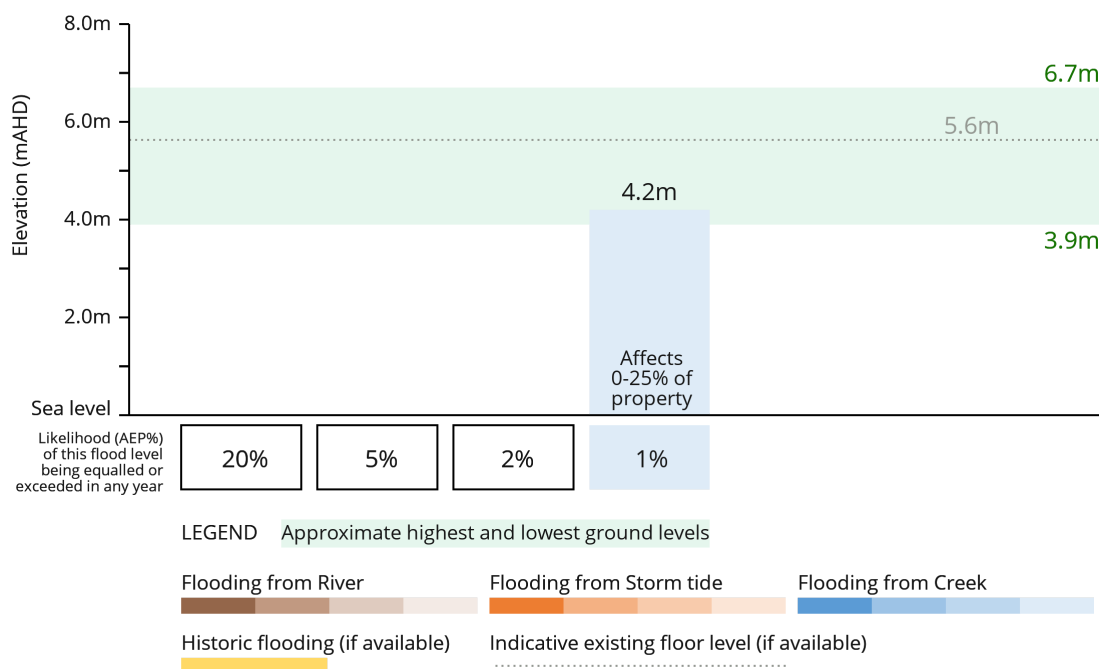


Dedicated to a better Brisbane

THE PURPOSE OF THIS REPORT IS FOR BUILDING AND DEVELOPMENT

Brisbane City Council's FloodWise Property Report provides technical flood planning information including estimated flood levels, habitable floor level requirements and more. This report uses the adopted flood planning information in CityPlan, that guides how land in Brisbane is used and developed for the future. Find out more about [planning and building](#). To understand how to be resilient and prepare for floods, visit Council's [Be Prepared](#) webpage. Find more information about [how to read a FloodWise Property Report](#).

Graph showing only the highest source/type of flooding for 1%, 2%, 5% and 20% likelihoods. Also shows historic flood levels. Other flood types and levels may be present and will be listed in the Flood Planning Information table below. This graph does not include overland flow flooding. If applicable, overland flow information is shown in the Planning and Development Information section below. **NOTE:** See Useful Definitions section to explain terminology.



Combined 1% AEP for river, creek and storm tide flood extent (if applicable). Aerial map shows river and creek flooding extent from the adopted CityPlan. Read more about [CityPlan](#).



Department of Resources and Brisbane City Council | Brisbane City Council | © Brisbane City Council... Powered by Esri

Are you resilient and ready for flood?

- Sign up to the Brisbane Severe Weather Alert at brisbane.qld.gov.au/beprepared
- Visit bom.gov.au for the latest weather updates.
- Have an evacuation plan, emergency kit and important phone numbers ready.
- Observe where water flows from and to during heavy rain.
- Consider how flood-resilient building techniques will have you home faster and with less damage.

Life threatening emergencies
000 Police/fire/ambulance
(mobiles **000** and **112**)

State Emergency Service (SES) **132 500**
Energex **13 19 62**
Brisbane City Council **3403 8888**

Technical Summary

This section of the FloodWise Property Report contains more detailed flood information for this property so **surveyors, builders, certifiers, architects, and engineers can plan and build** in accordance with Council's planning scheme.

Find more information about [planning and building](#) in Brisbane or talk to a Development Services Planning Information Officer via Council's Contact Centre on (07) 3403 8888.

Property Information Summary

The following table provides a summary of flood information for this property. More detailed flood level information is provided in the following sections of this report.

Property Summary	Level (mAHD) / Comment	Data Quality Code
Minimum ground level	3.9	C
Maximum ground level	6.7	C
Indicative existing floor level	5.6	C
Source of highest flooding	Creek/Waterway	

Flood Planning Information

The table below displays the peak estimated flood levels by probability for this property. Estimated flood level data should be used in conjunction with applicable planning scheme requirements - Refer to Flood Planning and Development Information section below for further information.

Note this table does not include overland flow. If overland flow is applicable to this property, refer to the Flood Planning and Development section below for further information.

Likelihood / Description	Level (mAHD)	Source
20%	N/A*	
5%	N/A*	
2%	N/A*	
1%	3.5	River (Brisbane River)
1%	4.2	Creek/Waterway (NORMAN CREEK)
0.2%	5.1	River (Brisbane River)
0.2%	4.1	Creek/Waterway (NORMAN CREEK)
Defined Flood Level (DFL)	3.2	Brisbane River and Creek/Waterway
Residential Flood Level (RFL)	3.5	Brisbane River and Creek/Waterway
Minimum Habitable Floor Level (dwelling house)	N/A*	

* Council does not have this data available. Customers are recommended to engage a Registered Professional Engineer of QLD for further advice.

Flood Planning and Development Information

This section of the FloodWise Property Report contains information about Council's planning scheme overlays. Overlays identify areas within the planning scheme that reflect distinct themes that may include constrained land and/or areas sensitive to the effects of development.

Flood overlay code

The Flood overlay code of Council's planning scheme uses the following information to provide guidelines when developing properties. The table below summarises the flood planning areas (FPAs) that apply to this property. Development guidelines for the FPAs are explained in [Council's planning scheme](#).

Flood planning areas (FPA)		
River	Creek / waterway	Overland flow
FPA5	FPA4	Not Applicable
	FPA5	

To find more information about Council's flood planning areas (FPAs) for Brisbane River and Creek/waterway flooding to guide future building and development in flood prone areas, please review [Council's Flood Planning Provisions](#).

Coastal hazard overlay code

The Coastal hazard overlay code of Council's planning scheme uses the following information to provide guidelines when conducting new developments. The table below summarises the coastal hazard categories that apply to this property. Development guidelines for the following Coastal hazard overlay sub-categories are explained in Council's [planning scheme](#).

Coastal hazard overlay sub-categories
There are currently no Coastal hazard overlay sub-categories that apply to this property.

Note: Where land is identified within one for more flood planning areas on the Flood overlay or is identified within one of the Storm tide inundation area sub-categories on the Coastal hazard overlay, the assessment criteria that provides the highest level of protection from any source of flooding applies.

Property development flags

Large allotment - This property is either a Large Allotment of over 1000 square metres or is located within a Large Allotment. Flood levels may vary significantly across allotments of this size. Further investigations may be warranted in determining the variation in flood levels and the minimum habitable floor level across the site.

For more information or advice, please consult a Registered Professional Engineer of Queensland (RPEQ).

Useful Flood Information Definitions

Australian Height Datum (AHD) - The reference level for defining ground levels in Australia. The level of 0.0m AHD is approximately mean sea level.

Annual Exceedance Probability (AEP) - The probability of a flood event of a given size occurring in any one year, usually expressed as a percentage annual chance.

- **0.2% AEP** - A flood event of this size is considered rare but may still occur. A flood of size or larger has a 1 in 500 chance or a 0.2% probability of occurring in any year.
- **1% AEP** - A flood of this size or larger has a 1 in 100 chance or a 1% probability of occurring in any year.
- **2% AEP** - A flood of this size or larger has a 1 in 50 chance or a 2% probability of occurring in any year.
- **5% AEP** - A flood of this size or larger has a 1 in 20 chance or a 5% probability of occurring in any year.
- **20% AEP** - A flood of this size or larger has a 1 in 5 chance or a 20% probability of occurring in any year.

Data quality

- **Data Quality Code A** - Level data based on recent surveyor report or approved as-constructed drawings.
- **Data Quality Code B** - Level data based on ground-based mobile survey or similar.
- **Data Quality Code C** - Level data derived from Airborne Laser Scanning or LiDAR information.

Defined Flood Level (DFL) - The DFL is used for commercial and industrial development. The Defined flood level (DFL) for Brisbane River flooding is a level of 3.7m AHD at the Brisbane City Gauge based on a flow of 6,800 m³/s. DFL is only applicable for non-residential uses affected by Brisbane River flooding.

Flood planning area (FPA) - Council has developed five Flood planning areas (FPAs) as part of City Plan Flood overlay mapping for Brisbane River, Creek/waterway flooding and Overland flow to guide future building and development in flood prone areas. Storm tide flooding is mapped separately. The FPAs are designed to recognise the flood hazard for different flooding types. Flood hazard is a combination of frequency of flooding, the flood depth, and the speed at which the water is travelling. [Find more information here.](#)

Maximum and minimum ground level - Highest and lowest ground levels on the property based on available ground level information. A Registered Surveyor can confirm exact ground levels.

Minimum habitable floor level (dwelling house) - The minimum level in metres AHD at which habitable areas of development (generally including bedrooms, living rooms, kitchen, study, family, and rumpus rooms) must be constructed as required by the Brisbane City Plan.

Indicative existing floor level - The approximate level in metres AHD of the lowest habitable floor in the existing building. This data is sourced from a range of sources with varying accuracy levels.

Property - A property will contain 1 or more lots. The multiple lot warning is shown if you have selected a property that contains multiple lots.

Residential flood level (RFL) - This flood level for the Brisbane River equates to the 1% annual exceedance probability (AEP) flood level.

To learn more, visit [Brisbane City Council's Flood Information Hub](#)

Brisbane City Council's Online Flood Tools

Council provides several online flood tools:

- to guide planning and development
- to help residents and businesses understand their flood risk and prepare for flooding.

Council's online flood tools for planning and development purposes include:

- **FloodWise Property Report**
- **Flood Overlay Code**

For more information on Council's planning scheme and online flood tools for planning and development:

- phone (07) 3403 8888 and ask to talk to a Development Services Planning Information Officer

- visit brisbane.qld.gov.au/planning-building

Council's Planning Scheme - The City Plan (planning scheme) has been prepared in accordance with the Sustainable Planning Act as a framework for managing development in a way that advances the purpose of the Act. In seeking to achieve this purpose, the planning scheme sets out the Council's intention for future development in the planning scheme area, over the next 20 years.

Disclaimer

1. Defined flood levels and residential flood levels, minimum habitable floor levels and indicative existing floor levels are determined from the best available information to Council at the date of issue. These levels, for a particular property, may change if more detailed information becomes available or changes are made in the method of calculating levels.
2. Council makes no warranty or representation regarding the accuracy or completeness of a FloodWise Property Report. Council disclaims any responsibility or liability in relation to the use or reliance by any person on a FloodWise Property Report.



Planning to build or renovate?

For information, guidelines, tools and resources to help you track, plan or apply for your development visit brisbane.qld.gov.au/planning-building

You can also find the Brisbane City Plan 2014 and Neighbourhood Plans as well as other information and training videos to help, with your building and development plans.

Appendix G – BRISBANE CITY COUNCIL (BCC) INTERACTIVE MAPPING



Users of the information recorded in this document (the Information) accept all responsibility and risk associated with the use of the Information and acknowledge that regard must be had to the planning scheme provisions in interpreting the Information. The Digital Cadastre Database (supplied by Queensland State Government) is subject to change without notice. Council gives no warranty in relation to the Information (including accuracy, reliability, completeness, currency or suitability) and accepts no liability (including without limitation, liability in negligence) for any loss, damage or costs (including consequential damage), relating to any use of this Information.

Please refer to CityPlan.Brisbane.qld.gov.au for full terms and conditions.

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Brisbane River flood planning area

Brisbane River flood planning area 1



Brisbane River flood planning area 2a



Brisbane River flood planning area 2b



Brisbane River flood planning area 3



Brisbane River flood planning area 4



Brisbane River flood planning area 5

Local Government Authorities

LGA boundary

Property boundaries holding

Property Holding



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Creek/waterway flood planning area

Creek/waterway flood planning area 1



Creek/waterway flood planning area 2



Creek/waterway flood planning area 3



Creek/waterway flood planning area 4



Creek/waterway flood planning area 5

Local Government Authorities

LGA boundary

Property boundaries holding

Property Holding



Users of the information recorded in this document (the Information) accept all responsibility and risk associated with the use of the Information and acknowledge that regard must be had to the planning scheme provisions in interpreting the Information. The Digital Cadastre Database (supplied by Queensland State Government) is subject to change without notice. Council gives no warranty in relation to the Information (including accuracy, reliability, completeness, currency or suitability) and accepts no liability (including without limitation, liability in negligence) for any loss, damage or costs (including consequential damage), relating to any use of this Information.

Please refer to CityPlan.Brisbane.qld.gov.au for full terms and conditions.

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Overland flow flood planning area



Overland flow flood planning area

Local Government Authorities



LGA boundary

Property boundaries holding



Property Holding

Appendix H – DIAL BEFORE YOU DIG (DBYD)

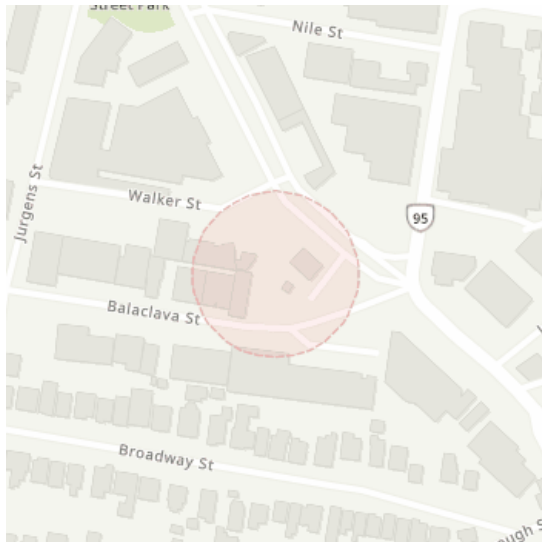
Caller Details

Contact: Naxos Engineers
Company: Not supplied
Address: PO BOX 224
Spring Hill QLD 4004

Caller Id: 3148962
Phone: 1300 598 544
Email: rhani@naxosengineers.com.au

Dig Site and Enquiry Details

WARNING: The map below only displays the location of the proposed dig site and does not display any asset owners' pipe or cables. The area highlighted has been used only to identify the participating asset owners, who will send information to you directly.



User Reference: 23-197 & 23-198
Working on Behalf of: Private
Enquiry Date: 21/06/2023
Start Date: 05/07/2023
End Date: 07/08/2024

Address:
93 Logan Road
Woolloongabba QLD 4102

Job Purpose:
Excavation

Location of Workplace:
Both

Onsite Activities:
Subdivision

Location in Road:
Road, Nature Strip, Footpath

- Check that the location of the dig site is correct. If not you must submit a new enquiry.
- Should the scope of works change, or plan validity dates expire, you must submit a new enquiry.
- Do NOT dig without plans. Safe excavation is your responsibility. If you do not understand the plans or how to proceed safely, please contact the relevant asset owners.

Notes/Description of Works:
Not supplied

Your Responsibilities and Duty of Care

- The lodgement of an enquiry does not authorise the project to commence. You must obtain all necessary information from any and all likely impacted asset owners prior to excavation.
- If plans are not received within 2 working days, contact the asset owners directly & quote their Sequence No.
- ALWAYS perform an onsite inspection for the presence of assets. Should you require an onsite location, contact the asset owners directly. Please remember, plans do not detail the exact location of assets.
- Pothole to establish the exact location of all underground assets using a hand shovel, before using heavy machinery.
- Ensure you adhere to any State legislative requirements regarding Duty of Care and safe digging requirements.
- If you damage an underground asset you MUST advise the asset owner immediately.
- By using this service, you agree to Privacy Policy and the terms and disclaimers set out at www.byda.com.au
- For more information on safe excavation practices, visit www.byda.com.au

Asset Owner Details

The assets owners listed below have been requested to contact you with information about their asset locations within 2 working days. Additional time should be allowed for information issued by post. It is **your responsibility** to identify the presence of any underground assets in and around your proposed dig site. Please be aware, that not all asset owners are registered with the Before You Dig service, so it is **your responsibility** to identify and contact any asset owners not listed here directly.

** Asset owners highlighted by asterisks ** require that you visit their offices to collect plans.

Asset owners highlighted with a hash # require that you call them to discuss your enquiry or to obtain plans.

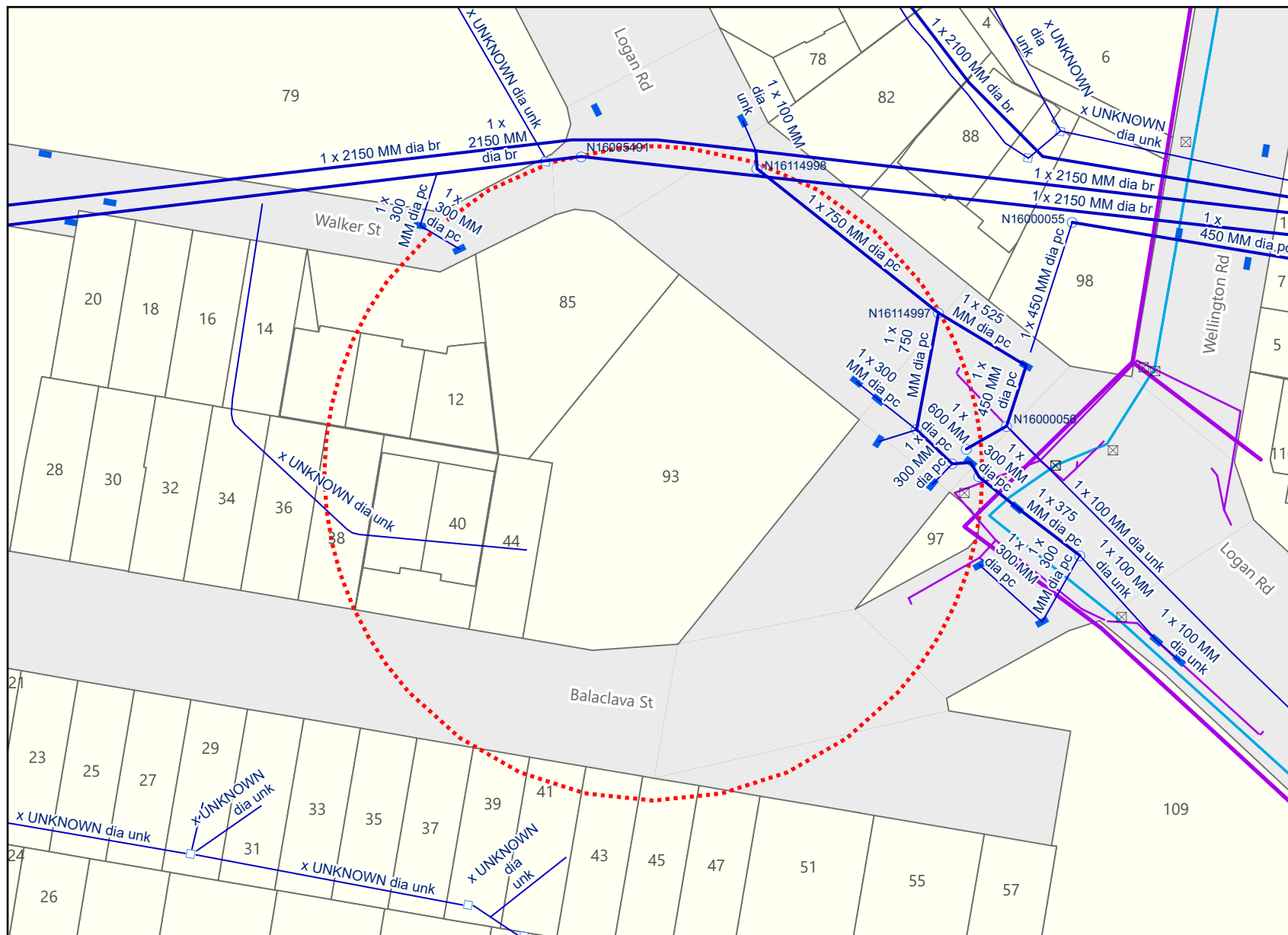
Seq. No.	Authority Name	Phone	Status
226092653	APT Management Services Pty Ltd (Allgas)	1800 085 628	NOTIFIED
226092647	Brisbane City Council	(07) 3403 8888	NOTIFIED
226092650	Energex QLD	13 12 53	NOTIFIED
226092652	NBN Co Qld	1800 687 626	NOTIFIED
226092649	Nextgen NCC - QLD	1800 262 663	NOTIFIED
226092648	Optus and or Uecomm Qld	1800 505 777	NOTIFIED
226092656	Queensland Urban Utilities	13 23 64	NOTIFIED
226092654	Telstra QLD South East	1800 653 935	NOTIFIED

Seq. No.	Authority Name	Phone	Status
226092655	TPG Telecom (QLD)	1800 786 306	NOTIFIED
226092646	Transurban	(07) 3182 2421	NOTIFIED
226092651	Vocus Communications 2	1800 262 663	NOTIFIED

END OF UTILITIES LIST



Job # 34454336
Seq # 226092647
Provider: Brisbane City Council
Telephone: 07 3403 8888



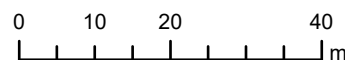
- Legend**
- BYDA Enquiry
- Stormwater Network**
- Stormwater Drain
 - Stormwater Gully / Roofwater Connection
 - Stormwater Maintenance Hole
 - Stormwater Roofwater Pit
 - Stormwater Gully Pit
- BCC Cable Network**
- Fibre Optic Pit Location
 - Traffic System Cable
 - Traffic Signal Ducting
 - Fibre Optic Cable Location

Disclaimer:
© Brisbane City Council [2020]
In consideration of Council, and the copyright owners listed below, permitting the use of this data, you acknowledge and agree that Council, and the copyright owners, give no warranty in relation to the data (including accuracy, reliability, completeness, currency or suitability) and accept no liability (including without limitation, liability in negligence) for any loss, damage or costs (including consequential damage), relating to any use of this data.
Data must not be used for direct marketing or be used in breach of the privacy laws.

Copyright of data is as follows:
Cadastre and Street Names © 2020 State of Queensland (Department of Natural Resources, Mines and Energy)

Caution: This map may contain the locations of abandoned underground asbestos pipes. Council gives no warranty to the completeness or accuracy of these records. Appropriate care needs to be taken in all cases.

In an emergency contact Brisbane City Council on 07 3403 8888
21/06/23 (valid for 30 days)



Scale 1:1,000



Plans generated by
SmarterWX™ Automate

APA Group
PO Box 6014 Halifax Street
South Australia 5000



For your immediate information **THERE IS A CRITICAL GAS PIPELINE AND/OR ASSOCIATED INFRASTRUCTURE** in the area of your works.

21/06/2023

Company:
Naxos Engineers
PO BOX 224
Spring Hill
QLD 4004
rhani@naxosengineers.com.au

Dear Naxos Engineers

Sequence Number: 226092653
Worksite Address: 93 Logan Road
Woolloongabba
QLD 4102

Thank you for your Dial Before You Dig enquiry regarding the location of Gas Assets. We can confirm that the APA Group has **Critical Gas Assets** in the vicinity of the above location.

You are hereby notified that **before you commence any works** you are required to complete the attached **'Work In The Vicinity Of Critical Gas Assets'** request form and forward this to APA as soon as practicable.

As laid out in the **Duty of Care** requirements supplied, any activity in the vicinity of Critical Gas Assets operated by APA requires an Authority to Work Permit and potentially attendance on site by an APA representative during any work. Please ensure you read and comply with all the relevant requirements. Should you have any questions with regards to the attached information please contact our Qld Planning & Scheduling Officer - (07) 3215 6644.

Caution - Damage to gas assets could result in possible explosion and fire with the risk of personal injury.
For Gas Emergencies please call 1800 GAS LEAK (1800 427 532)

Please find enclosed the following information:-

- APA's Duty of Care, If you are unclear of your obligations under these requirements please contact the APA Representative listed above immediately
- An overview map with your requested area highlighted to assist in locating APA's Gas Assets
- A map(s) showing APA's Gas Assets in the requested area, this information is valid for 30 days from the date of this response, **please check this represents the area you requested**, if it does not, please contact the APA Representative listed above immediately
- A 'Work In The Vicinity Of Critical Gas Assets' request form, please complete and forward to APA as soon as practicable via PermitsQld@apa.com.au, or the address above. A minimum of **5 business days** advance notification is required to process Authority To Work Request applications

The outcome of this request may be that a qualified APA Group Representative will be required on site when you undertake your proposed works, if this is the case, this will need to be arranged dependent on their availability. Whilst we will aim to facilitate this within 5 business days from a decision, **this cannot be guaranteed.**

Please Note: For some DBYD enquiries, you might receive 2 responses from the APA Group. Please read both responses carefully as they will relate to different assets. It is your responsibility to action all requirements set out in APA Group responses.

Please take some time to review the entire response document and check the information supplied and please let us have any feedback by sending an email to DBYDNetworksAPA@apa.com.au or contacting us direct on 1800 085 628.

Duty of Care - Working Around Gas Assets

General Conditions

- This location enquiry is valid for 30 days from the enquiry date
- Expired locations, i.e., over 30 days from the date of this response, require a new Dial Before You Dig request to validate location information
- The location information supplied in this document shall be used as a guide only. APA Group shall not be liable or responsible for the accuracy of any such information supplied pursuant to this request
- It is the responsibility of the excavator to expose all Gas Assets, including Gas Service pipes (see below), **by hand**. Gas Asset depths may vary according to ground conditions
- Gas Services (inlet service) connecting Gas Assets in the street to the gas meter on the property are typically **not** marked on the map
- Some Gas Assets are installed inside of a casing. The locations where a Gas Asset changes from inserted to direct burial are not marked on the map unless otherwise stated
- This information has been generated by an automated system based on the area highlighted in your DBYD request and has not been independently verified. It is your responsibility to ensure that the information supplied in this response matches the dig site you defined when submitting your Dial Before You Dig enquiry. If the information does not match the dig site or you have any question, please contact APA immediately using the details listed on the first page and / or please resubmit your enquiry
- For **Gas Emergencies** please call **1800 GAS LEAK (1800 427 532)**

Critical Gas Assets - Conditions

It is your responsibility to follow these important conditions when working in the vicinity of Critical Gas Assets

- A 'Work In The Vicinity Of Critical Gas Assets' request form must be submitted to APA Group PRIOR to any work commencing, a minimum of **5 business days** are required to arrange attendance by an APA Group representative
- Whilst we will aim to facilitate this within **5 business days** from a decision, **this cannot be guaranteed**. Charges for APA Group supervision may apply
- Any works in the vicinity of Critical Gas Assets requires approval from APA via **APA's 'Authority to work' permit** and supervision by an APA Group representative unless expressed otherwise on the "Authority to work" permit.
- Penalties apply to excavators commencing work in the vicinity of Critical Gas Assets **prior to receiving an APA Group 'Authority to Work' permit and an APA Group representative is present**

Rates applicable to APA on-site representation for supervision or location

Item	Rate
Site Watch - Normal Hours	\$143.42 (hr)
Site Watch - After Hours	\$175.06 (hr)
Electronic Locate – Normal Hours	\$143.42 (hr)
Electronic Locate – After Hours	\$175.06 (hr)
Cancellation	2 hrs (where less than 1 business day notice is provided)
Mains Proving	As quoted by APA

Notes:

- All prices are exclusive of GST
- All partial hours will be charged at a full hour rate for the first hour, 1hr minimum charge.
- Cancellations must be received 1 business day prior to the booked supervision otherwise a 2hr charge will be incurred.
- Contact us for State specific hours of business.

APA CHANGE NOTIFICATION

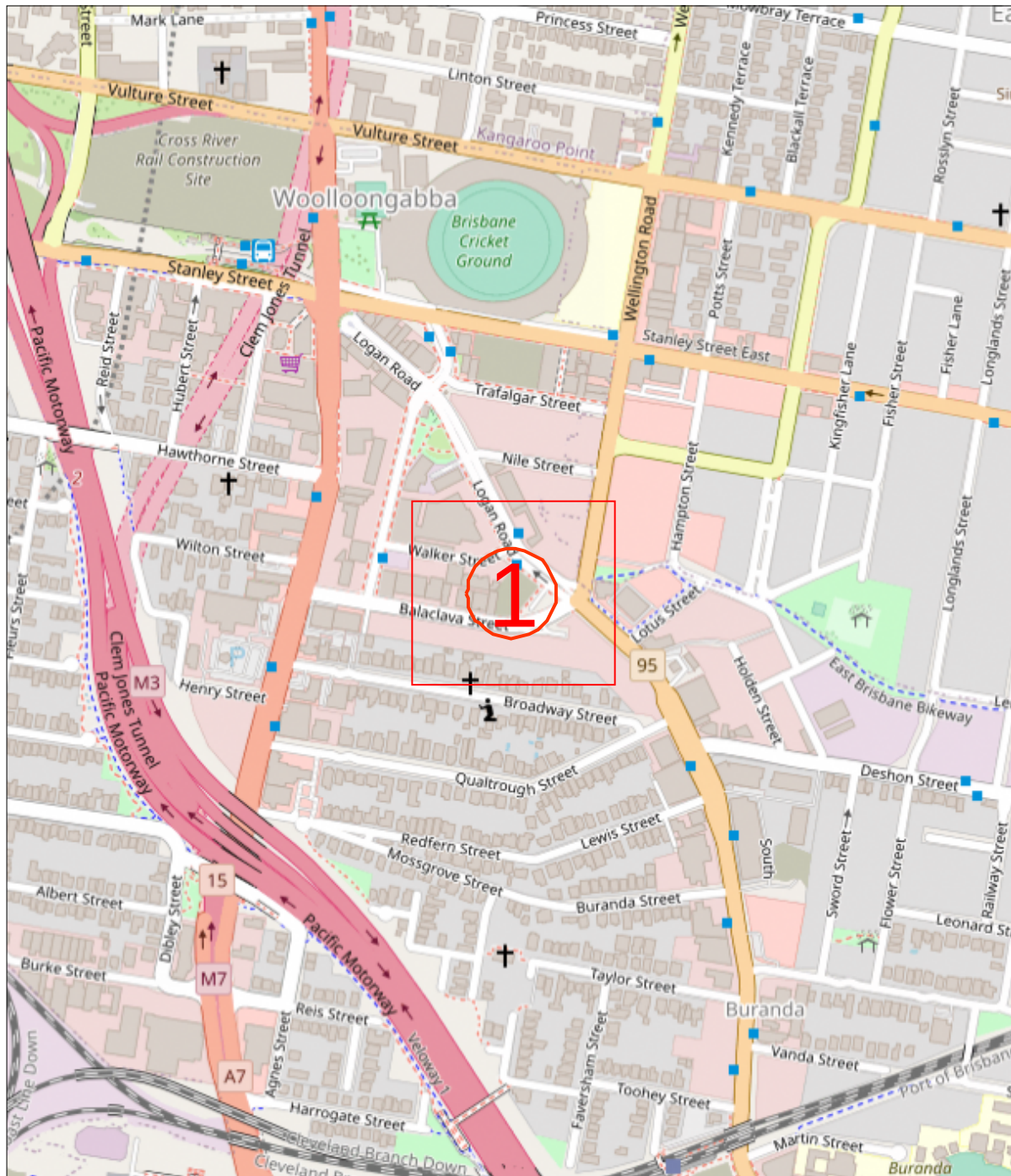
The map below may have different symbols to those you are familiar with.

APA recently upgraded the asset mapping software utilised for Dial Before You Dig requests.

To avoid confusion, please carefully review the legend along with the map.

Please direct any questions to DBYDNetworksAPA@apa.com.au

Site Address	93 Logan Road Woolloongabba 4102	Sequence No	226092653
Name	Naxos Engineers		
Email	rhani@naxosengineers.com.au		



Scale 1: 6000



Enquiry Area



Map Key Area



APA Group does not guarantee the accuracy or completeness of the map and does not make any warranty about the data. APA Group is not under any liability to the user for any loss or damage (including consequential loss or damage) which the user may suffer resulting from the use of this map.

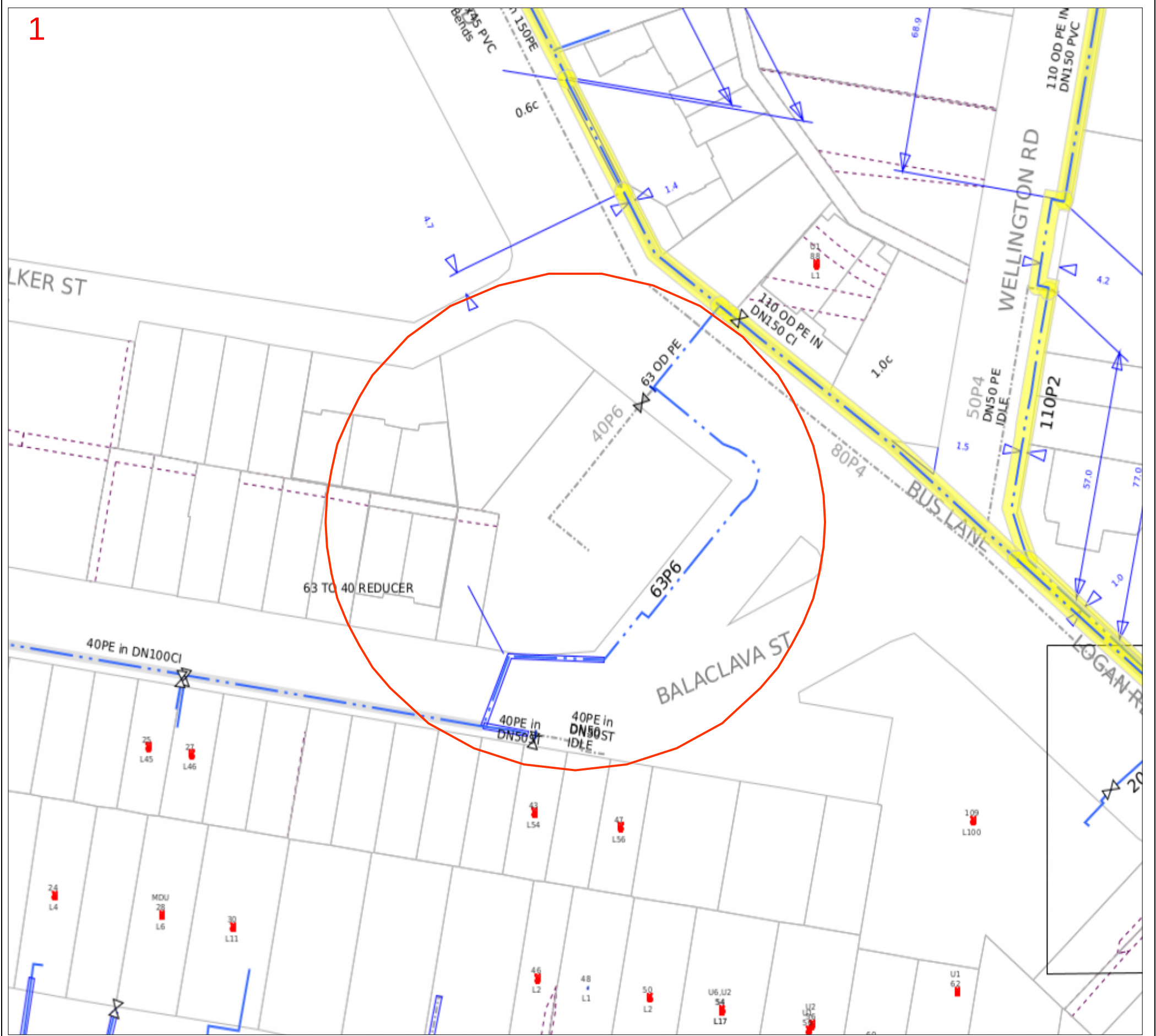
Mapping information is provided as AS5488-2013 Quality Level D

APA Group • PO Box 6014 Halifax Street SA 5000 • Email: DBYDNetworksAPA@apa.com.au • Template: QLD Critical Jan 2022

Page 4 of 8 • 21/06/2023

Site Address	93 Logan Road Woolloongabba 4102	Sequence No	226092653
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Before you commence any works you are required to complete the attached 'Work In The Vicinity Of Critical Gas Assets' request form and forward this to APA as soon as practicable.



PIPE AND BOUNDARIES		PIPE CODE / MATERIALS		OBJECTS or TERMS		Map Key
SERVICE (COLOUR BY PRESSURE)		C2, CI	Cast Iron	VALVES		
LOW PRESSURES		CU	Copper	BURIED VALVES		
MEDIUM PRESSURES		N2, NY, NY11	Nylon	GATE / REGULATORS		
HIGH PRESSURES		P# (e.g. P6)	Polyethylene (PE)	GAS SUPPLIED = YES		
TRANSMISSION PRESSURES		P6,P7,P9-P12	Medium Density PE	CP RECTIFIER UNIT		
PRIORITY MAIN (BEHIND PIPE)		P2,P4,P8	High Density PE	CP TEST POINT/ ANODE		
PROPOSED (COLOUR BY PRESSURE)		ST or S#	Steel	SYPHON		
LPG (COLOUR BY PRESSURE)		S6# (e.g. S61)	Steel Class 600	TRACE WIRE POINT		
ABANDONED		S3# (e.g. S33)	Steel Class 300	PIPELINE MARKER		
IDLE		W2 or GAL	Wrought Galv. Iron	NOT TIED IN	N.T.I.	
SLEEVE		W3 or PGAL	Poly Coat Wrought Galv. Iron	COUPLING & END CAP	or	
CASING / SPLIT (BEHIND PIPE)		Pipe diameter in millimetres is shown before pipe code e.g. 40P6 = 40mm nominal diameter		DEPTH OF COVER	C	
UNKNOWN						
EASEMENT/ JURISDICTION						
EXAMPLES						
		40P6 in 80C2 40mm High Pressure Medium Density Polyethylene in an 80mm Cast Iron Casing				
		63S8 63mm Medium Pressure Steel				
Line / Polygon Request						
This map is created in colour and shall be printed in colour						

Scale 1:700	0 0.008km	
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APA Group does not guarantee the accuracy or completeness of the map and does not make any warranty about the data. APA Group is not under any liability to the user for any loss or damage (including consequential loss or damage) which the user may suffer resulting from the use of this map.

WORK IN THE VICINITY OF CRITICAL GAS ASSETS

It is your responsibility to read and complete this request form

1. This request form must be received by the APA Group via the options below at least **5 business days prior to excavation or site location work commencement**
2. Excavation / works must not commence on site until you have received a 'Authority to Work Permit' from the APA Group
3. This request form must be accompanied by a detailed schedule of works
4. Penalties apply to excavators commencing work in the vicinity of Critical Gas Assets **prior to receiving an APA Group 'Authority to Work Permit'**

For further information refer to:-

- NSW Gas Supply Act 1996 – Sec 64 C, Requirements in relation to carrying out of certain excavation work
- Victoria: Pipelines Act 2005 – Section 118, Digging near pipelines and Section 119, Interference with pipeline
- South Australia: Gas Industry Act 1997 – Section 83, Notice of work that may affect gas infrastructure.
- Northern Territory: Energy Pipelines Act as in force at 8 March 2007 – Section 66, Threat to pipeline.

Return to: PermitsQld@apa.com.au

Enquiries:

Should you have any questions with regards to the attached information please contact our Qld Planning & Scheduling Officer - (07) 3215 6644.

Work / Excavation Site Details:

Number:	Street:		
Suburb:		State:	
Sequence Number: 226092653			
Requestors Name:			
Company Name:			
Name of Authorised Company Site Representative:			
Email:			
Phone:		Mobile:	

Signature:	
------------	--

Description of Work / Excavation:

Activity/Excavation Details:			
Tick Applicable Box			
Excavation		Change to surface level	
Service crossing		Boring	
Proving		Other (provide details)	
Earthworks			
Excavator Size, Tooth Type & Tooth Size (provide details)			

Work / Excavation Drawings Attached (circle): Yes No

Proposed Dates and Times:

From			To	
	Date	Time	Date	Time
Excavation	/ /	am/pm	/ /	am/pm
Backfill	Date	Time	Date	Time
	/ /	am/pm	/ /	am/pm

Work is as- sessed as:	Class 1 Works crossing a critical gas asset	Class 2 Works within 3m of a critical gas asset	Class 3 Works involving large excavations, vibrations or blasting beyond 3m of the critical gas asset	
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Insurer and Policy Details

Policy Number		Policy Expiry Date	
Insurance Cover – Current Level (\$amount)			

Third Party Works Authorisation requested by (mandatory fields required for invoicing):

Company/Biller Name:	
Billing Address:	
Purchase Order:	Billing Email:
Biller Phone:	
Requestors Name:	Requesters Signature:

NOTES

5. This Authority to Work applies only to work in the vicinity of the Gas Mains. It does not authorise work near or on the Gas Mains itself
6. A minimum of 2 business days must be allowed between receipt by APA Group of this Request and a response. However, more time for notification may be necessary
7. For any gas leak related work this application must be accompanied by a detailed sequence of events, outlining all aspects of work involved and work is not permitted until an Authority to Work is issued
8. For class 1 and 2 Dial Before You Dig, APA Group will arrange for an inspector to be on site as necessary during the work. An inspector must be present at all times for works involving excavation within 1m of the Gas Mains. APA Group will advise the requirement for an inspector for other works within 3m of the Gas Mains
9. The applicant is responsible for any damage resulting from the work and all consequential damages and losses arising from such damage and therefore must insure against every liability of the contractor in respect of or arising out of any loss of life, loss of or damage to property of person (both real and personal), arising out of or in any way connected to this permit.
10. Rates applicable to APA on-site representation for supervision or location exclude GST.

All underground cables shall be treated as being energised. Where a cable is located that is not represented on the ENERGEX BYDA map, then ENERGEX shall be contacted immediately.

For Emergency Situations
please call 13 19 62



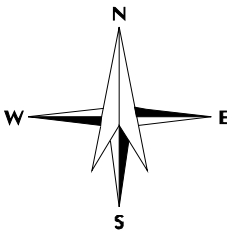
BYDA

Sequence: 226092650
Date: 23/06/2023

Scale: 1:1025
OVERVIEW

For a full list of Map
Symbols, please
refer to the supplied
BYDA Symbology
Legend page

AS5488 Category "D" Plan



DISCLAIMER: While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Energex nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

This output provides details of the ENERGEX electrical network. As variations map exist no responsibility is incurred by ENERGEX for the accuracy or completeness of the information provided. Exact positions of cables and electrical connectivity should be confirmed on site.

All underground cables shall be treated as being energised. Where a cable is located that is not represented on the ENERGEX BYDA map, then ENERGEX shall be contacted immediately.

For Emergency Situations
please call 13 19 62

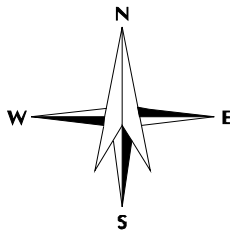


BYDA

Sequence: 226092650
Date: 23/06/2023
Scale: 1:500
Tile No: 1

For a full list of Map
Symbols, please
refer to the supplied
BYDA Symbology
Legend page

AS5488 Category “D” Plan



DISCLAIMER: While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Energex nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

This output provides details of the ENERGEX electrical network. As variations map exist no responsibility is incurred by ENERGEX for the accuracy or completeness of the information provided. Exact positions of cables and electrical connectivity should be confirmed on site.

All underground cables shall be treated as being energised. Where a cable is located that is not represented on the ENERGEX BYDA map, then ENERGEX shall be contacted immediately.

For Emergency Situations
please call 13 19 62



BYDA

Sequence: 226092650

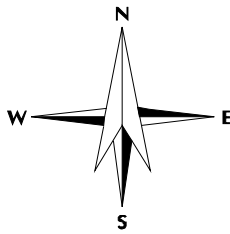
Date: 23/06/2023

Scale: 1:500

Tile No: 2

For a full list of Map
Symbols, please
refer to the supplied
BYDA Symbology
Legend page

AS5488 Category “D” Plan



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For Emergency Situations
please call 13 19 62

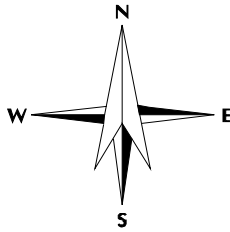


BYDA

Sequence: 226092650
Date: 23/06/2023
Scale: 1:500
Tile No: 3

For a full list of Map
Symbols, please
refer to the supplied
BYDA Symbology
Legend page

AS5488 Category “D” Plan



DISCLAIMER: While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Energex nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

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All underground cables shall be treated as being energised. Where a cable is located that is not represented on the ENERGEX BYDA map, then ENERGEX shall be contacted immediately.

For Emergency Situations
please call 13 19 62

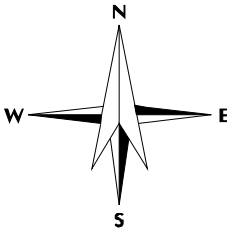


BYDA

Sequence: 226092650
Date: 23/06/2023
Scale: 1:500
Tile No: 4

For a full list of Map
Symbols, please
refer to the supplied
BYDA Symbology
Legend page

AS5488 Category “D” Plan



DISCLAIMER: While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Energex nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

This output provides details of the ENERGEX electrical network. As variations map exist no responsibility is incurred by ENERGEX for the accuracy or completeness of the information provided. Exact positions of cables and electrical connectivity should be confirmed on site.



BYDA SYMBOLLOGY LEGEND

	Cross Bonding Link Box - Critical		Planned Cross Bonding Link Box - New/Updated
	Disconnect Box - Critical		Planned Cross Bonding Link Box - Remove
	Ring Main Unit		Planned Disconnect Box - New/Updated
	Distribution Pad Substation		Planned Disconnect Box - Remove
	Earth		Planned Distribution Pad Substation - New/Updated
	Remote Earth		Planned Distribution Pad Substation - Remove
	Cable Marker		Planned Distribution Ground Substation - New/Updated
	Handhole		Planned Distribution Ground Substation - Remove
	Manhole		Planned Ring Main Unit - New/Updated
	Commercial Industrial Pillar		Planned Ring Main Unit - Remove
	Distribution Cabinet		Planned Earth - New/Updated
	Link Pillar		Planned Earth - Remove
	Service Pillar		Planned Cable Marker - New/Updated
	Feeder Pillar		Planned Cable Marker - Remove
	Pole		Planned Remote Earth - New/Updated
	Streetlight Column		Planned Remote Earth - Remove
	Communication Junction Pillar		Planned Underground Warning Post - New/Updated
	Communication Pit		Planned Underground Warning Post - Remove
	Fibre Patch Panel		Planned Pilot Cubicle - New/Updated
	Pilot Cubicle		Planned Pilot Cubicle - Remove
	Underground Asset 33kV and above		Planned Fibre Patch Panel - New/Updated
	Underground Asset below 33kV		Planned Fibre Patch Panel - Remove
	Underground Conduit with or without cable		Planned Commercial Industrial Pillar - New/Updated
	Pit		Planned Commercial Industrial Pillar - Remove
	Communication Boundary		Planned Distribution Cabinet - New/Updated
	Reserve (RE)		Planned Distribution Cabinet - Remove
	Water Resource (WR)		Planned Link Pillar - New/Updated
	Cadastral Parcels		Planned Link Pillar - Remove
	Planned Jointing Pit - New/Updated		Planned Service Pillar - New/Updated
	Planned Jointing Pit - Remove		Planned Service Pillar - Remove
	Planned Communication Boundary - New/Updated		Planned Pole - New/Updated
	Planned Communication Boundary - Remove		Planned Pole - Remove
	Planned Tunnel/Trench/Bore - New/Updated		Planned Manhole - New/Updated
	Planned Tunnel/Trench/Bore - Remove		Planned Manhole - Remove
			Planned Streetlight Column - New/Updated
			Planned Streetlight Column - Remove
			Planned Handhole - New/Updated
			Planned Handhole - Remove
			Planned Communication Junction Pillar - New/Updated
			Planned Communication Junction Pillar - Remove

BYDA terms and conditions

Duty of care for everyone



Responsibilities – (When Working in the Vicinity of Energex Electrical Equipment)

Extreme care must be taken during non-mechanical or mechanical excavation as damage to Energex underground electrical equipment can lead to injury or death of workers or members of the public. Electrical equipment includes underground cables, conduits and other associated underground electrical equipment used for controlling, generating, supplying, transforming or transmitting electricity.

A person conducting a business or undertaking (PCBU) must ensure the person's business or undertaking is conducted in a way that is electrically safe. This includes:

- a) ensuring that all electrical equipment used in the conduct of the person's business or undertaking is electrically safe;
- b) if the person's business or undertaking includes the performance of electrical work, ensuring the electrical safety of all persons and property likely to be affected by the electrical work; and
- c) if the person's business or undertaking includes the performance of work, whether or not electrical work, involving contact with, or being near to, exposed parts, ensuring persons performing the work are electrically safe.

In addition, a PCBU at a workplace must ensure, so far as is reasonably practicable, that no person, plant or thing at the workplace comes within an unsafe distance of an underground electric line.

Workers and other persons must also take reasonable care for their own and other person's electrical safety. This includes complying, so far as is reasonably able, with any reasonable instructions given by Energex to ensure compliance with the [Electrical Safety Act 2002](#)

BYDA terms and conditions

Duty of care for everyone

The following matters must be considered when working near Energex electrical equipment:

The PCBU must ensure, so far as is reasonably practicable, that no person, plant or thing at the workplace comes within an unsafe distance of an underground electric line (see section 68 of the [Electrical Safety Regulation 2013](#))

1. It is the responsibility of the architect, consulting engineer, developer, and head contractor in the project planning stages to design for minimal impact and protection of Energex electrical equipment.
2. It is the constructor's responsibility to:
 - a) Anticipate and request plans of Energex electrical equipment for a location at a reasonable time before construction begins.
 - b) Visually locate Energex electrical equipment by hand or vacuum excavation where construction activities may damage or interfere with Energex electrical equipment.
 - c) To notify Energex if the information provided is found to be not accurate or assets are found on site that are not recorded on the Energex BYDA plans.
 - d) Read and understand all the information and disclaimers provided.

Note: A constructor may include but not limited to a PCBU, Designer, Project Manager, Installer, Contractor or a Civil Contractor

3. Comply with applicable work health and safety and electrical safety codes of practice including but not limited to:
 - a) Working near overhead and underground electric lines – [Electrical safety codes of practice 2020](#)
 - b) Managing electrical risk in the workplace – [Electrical safety code of practice 2013](#)
 - c) Managing the risks of plant in the workplace – [Electrical safety code of practice 2013](#)
 - d) Excavation work – [Electrical safety code of practice 2013](#)

IMPORTANT NOTES:

- As the alignment and boundaries of roadways with other properties (and roads within roadways) frequently change, the alignments and boundaries contained within Energex plans and maps will frequently differ from present alignments and boundaries "on the ground". Accordingly, in every case where it appears that alignments and boundaries have shifted, or new roadways have been added, the constructor should obtain confirmation of the actual position of Energex cables and pipelines under the roadways. In no case should the constructor rely on statements of third parties in relation to the position of Energex cables and pipelines. It is the applicant's responsibility to accurately locate all services as part of the design and/or prior to excavation.
- Energex does not provide information on private underground installations, including consumers' mains that may run from Energex mains onto private property. Assets located on private property are the responsibility of the owner for identification and location.
- Energex plans are circuit diagrams or pipe indication diagrams only and indicate the presence of plant in the general vicinity of the geographical area shown. Exact ground cover and alignments cannot be given with any certainty; as such levels can change over time.
- All underground conduits are presumed to contain asbestos. Refer to "Code of Practice for the Management and Control of Asbestos in Workplaces [NOHSC: 2018 (2005)] - https://www.safeworkaustralia.gov.au/system/files/documents/1702/codeofpracticeformanagementcontrolofasbestosintheworkplace_nohsc2018-2005
- Plans provided by Energex do not show the presence of any Overhead Network
- In addition to underground cables marked on attached plan there maybe underground Earth Conductors in the vicinity of the nominated work area(s) that are not marked on the plans.
- There may also be other buried assets such as tanks for fluid filled cables that do not appear on GIS plots but are shown on detailed as constructed drawings.
- Being aware of your obligations in [s 304] Excavation work— underground essential services information under the [Work Health and Safety Regulation 2011](#) , Chapter 6 Construction work, Part 6.3 Duties of person conducting business or undertaking. This includes but is not limited to taking reasonable steps to obtain the current information & providing this information to persons engaged to carry out the excavation work. For further information please refer to: - <http://www.legislation.qld.gov.au/LEGISLTN/SL/S/2011/11SL240.pdf>
- Energex plans are designed to be printed in colour and as an A4 Landscape orientation

BYDA terms and conditions

Duty of care for everyone

Conditions – (When Working in the Vicinity of Energex Electrical Equipment)

Records:

The first step before any excavation commences is to obtain records of Energex plant in the vicinity of the work. For new work, records should be obtained during the planning and design stage. The records provided by Energex must be made available to all construction groups on site. Where plant information is transferred to plans for the proposed work, care must be exercised to ensure that important detail is not lost in the process.

Plans and or details provided by Energex are current for four weeks from the date of dispatch and should be disposed of by shredding or any other secure disposal method after use. A new BYDA enquiry must be made for proposed works/activities to be undertaken outside of the four-week period.

Energex retains copyright of all plans and details provided in connection with your request. Energex plans or other details are provided for the use of the applicant, its servants, or agents, and shall not be used for any unauthorised purpose. On receipt of BYDA plans and before commencing excavation work or similar activities near Energex's plant, check to see that it relates to the area you have requested and carefully locate this plant first to avoid damage. If you are unclear about any information contained in the plan, please contact Energex on the General Enquiries number listed above for further advice.

Energex, its servants or agents shall not be liable for any loss or damage caused or occasioned by the use of plans and or details so supplied to the applicant, its servants and agents, and the applicant agrees to indemnify Energex against any claim or demand for any such loss or damage.

The constructor is responsible for all plant damages when works commence prior to obtaining Energex plans, or failure to follow agreed instructions, or failure to demonstrate all reasonable measures were taken to prevent the damage once plans were received from Energex. Energex reserves all rights to recover compensation for loss or damage caused by interference or damage, including consequential loss and damages to its cable network, or other property.

NOTE: Where your proposed work location contains Energex 33kV or greater Underground cables please access the [Energex Working Near Underground Cables 33kV or Higher web page](#) for more information.

Location of Cables:

Examining the records is not sufficient, as reference points may change from the time of installation. Records must also be physically proven when working in close proximity to them. The exact location of plant likely to be affected shall be confirmed by use of an electronic cable and pipe locator followed by **careful hand or vacuum excavation to the level of cable protection cover strips or conduits**. When conducting locations, please be aware that **no** unauthorised access is permitted to Energex Assets– including Pits, Low Voltage Disconnection Boxes, Low Voltage Pillars or High Voltage Link Boxes.

Hand or vacuum excavation must be used in advance of excavators. In any case, where any doubt exists with respect to interpretation of cable records, contact Energex on the General Enquires number listed above for further advice.

If the constructor is unable to locate Energex underground assets within 5 metres of nominal plan locations, they should contact the Energex General Enquires number listed above for further advice.

If unknown cables or conduits (i.e. not shown on issued BYDA plans) are located during excavation:

1. Call the ELECTRICITY EMERGENCIES number listed above
2. Treat cables as if alive, post a person to keep all others clear of the excavation until Energex crew attend to make safe.
3. All work in the vicinity of damaged plant should cease and the area should be vacated until a clearance to continue work has been obtained from an Energex officer.

Electrical Cable Installation Methods:

Energex cables are installed with a variety of protection devices including:

- | | |
|---|---------------------------------------|
| 1. Clay paving bricks or tiles marked "Electricity" or similar (also unmarked) | 2. Concrete or PVC cover slabs |
| 3. PVC, A/C or fibro conduit, fibre reinforced concrete, iron or steel pipe | 4. Concrete encased PVC or steel pipe |
| 5. Thin plastic marker tape | 6. Large pipes housing multiple ducts |
| 7. Multiple duct systems, including earthenware or concrete 2-, 4-, and 6-way ducts and shamrocks | |

Note: Some cables are known to be buried without covers and cables may change depth or alignment along the route.

Excavating Near Cables:

For all work within 2.5 m of nominal location, the constructor is required to hand or vacuum excavate (pothole) and expose the plant, hence proving its exact location before work can commence.

Cable protection cover strips shall not be disturbed. Excavation below these cover strips, or into the surrounding backfill material is not permitted.

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Excavating Parallel to Cables:

If construction work is parallel to Energex cables, then hand or vacuum excavation (potholing) at least every 4 m is required to establish the location of all cables, hence confirming nominal locations before work can commence. *Generally, there is no restriction to excavations parallel to Energex cables to a depth not exceeding that of the cable. **Note: Cable depths & alignment may change suddenly.***

Separation from Cables:

Any service(s) must be located at the minimum separation as per the tables below:

Table 1. Minimum Separation Requirements for Underground Services Running Parallel with Energex Assets

(Minimum Separation required in mm)							
Voltage Level	Gas	Communication or TV	Water		Sanitary drainage		Storm Water
			≤DN 200	>DN200	≤DN 200	>DN 200	
LV	250	100	500	*1000	500	1000	500
HV		300					
*Contact Energex/council to obtain specific separation distances							

Table 2. Minimum Separation Requirements for Underground Services Crossing Energex Assets

(Minimum Separation required in mm)					
Voltage Level	Gas	Communication or TV	Water	Sanitary drainage	Storm Water
LV & HV	100	100	300	300	100

Where the above table does not list a separation requirement for a particular underground service then 300mm shall be used.

Excavating Across Cables:

The standard clearance between services shall be maintained as set down in Table 2 above. If the width or depth of the excavation is such that the cables will be exposed or unsupported, then Energex shall be contacted to determine whether the cables should be taken out of service, or whether they need to be protected or supported. In no case shall a cable cover be removed without approval. A cable cover may only be removed under the supervision of an Energex authorised representative. Protective cover strips when removed must be replaced under Energex supervision. Under no circumstances shall they be omitted to allow separation between Energex cables and other services.

Heavy Machinery Operation Over Cables:

Where heavy "Crawler" or "Vibration" type machinery is operated over the top of cables, a minimum cover of 450 mm to the cable protective cover mains must be maintained using load bearing protection whilst the machinery is in operation. For sensitive cables (i.e. 33 and 110kV fluid and gas filled cables), there may be additional constraints placed on vibration and settlement by Energex.

Directional Boring Near Cables:

When boring parallel to cables, it is essential that trial holes are carefully hand or vacuum excavated at regular intervals to prove the actual location of the conduits/cables before using boring machinery. Where it is required to bore across the line of cables, the actual location of the cables shall first be proven by hand or vacuum excavation. A trench shall be excavated one metre from the side of the cables where the auger will approach to ensure a minimum clearance of 500mm above and below all LV, 11kV, 33kV & 110/132kV cables shall be maintained.

Explosives:

Explosives must not be used within 10 metres of cables, unless an engineering report is provided indicating that no damage will be sustained. Clearances should be obtained from Energex's Planning Engineer for use of explosives in the vicinity of Energex cables.

Damage Reporting:

All damage to cables, conduits and pipes must be reported no matter how insignificant the damage appears to be. Even very minor damage to cable protective coverings can lead to eventual failure of cables through corrosion of metal sheaths and moisture ingress.

If any Damaged conductor is found:

1. Call the ELECTRICITY EMERGENCIES number listed above
2. Treat cables as if alive, post a person to keep all others clear of the excavation until Energex crew attend to make safe.
3. All work in the vicinity of damaged plant should cease and the area should be vacated until a clearance to continue work has been obtained from an Energex officer.

BYDA terms and conditions

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Plant Solutions and Assistance:

If plant location plans or visual location of Energex plant by hand or vacuum excavation reveals that the location of Energex plant is situated wholly or partly where the developer or constructor plans to work, then Energex shall be contacted to assist with your development of possible engineering solutions.

If Energex relocation or protection works are part of the agreed solution, then payment to Energex for the cost of this work shall be the responsibility of the principal developer or constructor. Energex will provide an estimated quotation for work on receipt of the developer's or constructor's order number before work proceeds.

It will be necessary for the developer or constructor to provide Energex with a written Work Method Statement for all works in the vicinity of or involving Energex plant. This Work Method Statement should form part of the tendering documentation and work instruction.

Vacuum Excavations (Hydro Vac)

When operating hydro vac equipment to excavate in vicinity of underground electrical assets (cables/conduits):

Fitted with:

- Nonconductive (neoprene rubber or equivalent) vacuum (suction) hose.
- Oscillating nozzle on pressure wand with water pressure adjusted to not exceeding 2000 psi.

Maintain a minimum distance of 200mm between end of pressure wand and underground electrical assets. DO NOT insert the pressure wand jet directly into subsoil.

Ensure pressure wand is not directly aimed at underground electrical assets (cables/conduits).

Safety Notices (Underground Work)

There is no exclusion zone applicable for underground electrical assets – conduits, cables (unless cable is damaged, or conductors or terminations have been exposed) therefore there is **no requirement for a written Safety Advice** to be obtained provided the work location does not contain overhead electric lines or other exposed live parts.

Further information on Working Safely around Energex assets:

https://www.energex.com.au/_data/assets/pdf_file/0010/211231/Working-near-OH-UG-lines-BS001405R107ver2.pdf

Thank you for your interest in maintaining a safe and secure Electricity Distribution network. Energex welcomes your feedback on this document via email to dbyd@energex.com.au.

General enquiries (7am - 5pm Mon to Fri)

13 12 53

Life threatening emergencies only triple zero (000) or

13 19 62

E: custserve@energex.com.au

W: energex.com.au/lualmap

E: dbyd@energex.com.au

ABN: 40 078 849 055

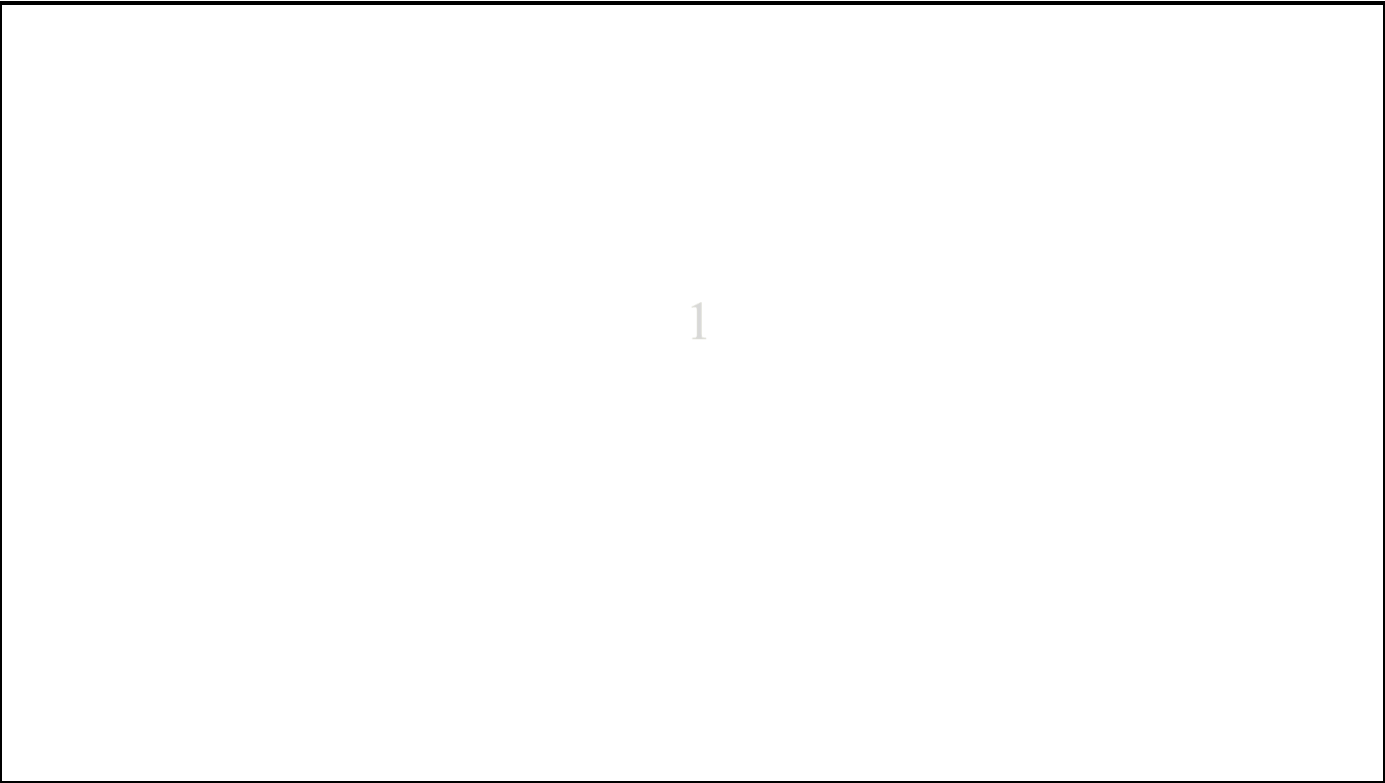
To re-submit or change the nominated search area please visit www.BYDA.com.au



To: Naxos Engineers
Phone: Not Supplied
Fax: Not Supplied
Email: rhani@naxosengineers.com.au

Dial before you dig Job #:	34454336	 DIAL BEFORE YOU DIG www.1100.com.au
Sequence #	226092652	
Issue Date:	20/06/2023	
Location:	93 Logan Road , Woolloongabba , QLD , 4102	

Indicative Plans

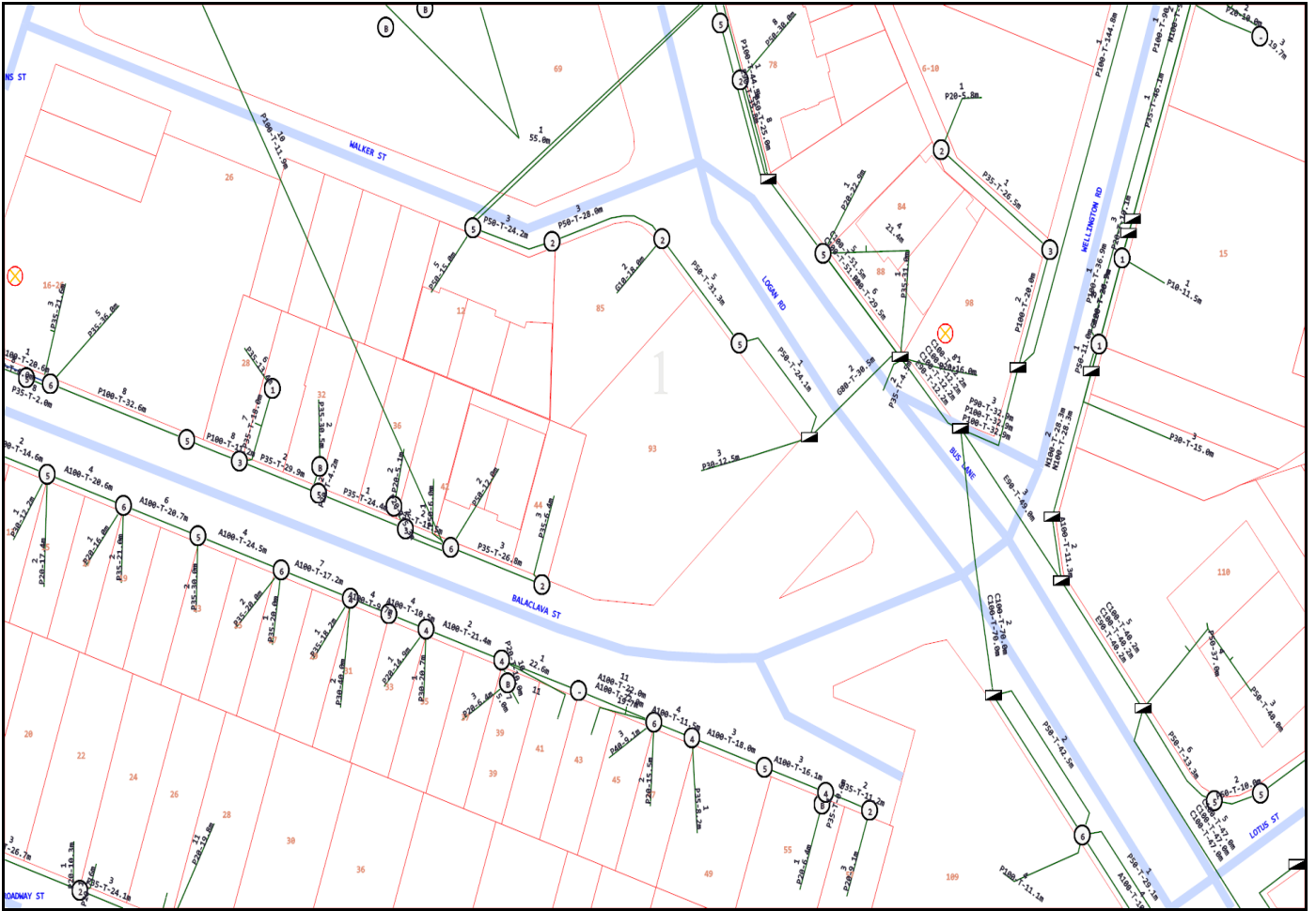




LEGEND



	Parcel and the location
	Pit with size "5"
	Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null.
	Manhole
	Pillar
	Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart.
	2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart.
	Trench containing any INSERVICE/CONSTRUCTED (Copper/RF/Fibre) cables.
	Trench containing only DESIGNED/PLANNED (Copper/RF/Fibre/Power) cables.
	Trench containing any INSERVICE/CONSTRUCTED (Power) cables.
	Road and the street name "Broadway ST"
Scale	0 20 40 60 Meters 1:2000 1 cm equals 20 m



Emergency Contacts

You must immediately report any damage to the **nbn™** network that you are/become aware of. Notification may be by telephone - 1800 626 329.

To: Naxos Engineers
Phone: Not Supplied
Fax: Not Supplied
Email: rhani@naxosengineers.com.au

Dial before you dig Job #:	34454336	 DIAL BEFORE YOU DIG www.1100.com.au
Sequence #	226092652	
Issue Date:	20/06/2023	
Location:	93 Logan Road , Woolloongabba , QLD , 4102	

Information

The area of interest requested by you contains one or more assets.

nbn™ Assets	Search Results
Communications	Asset identified
Electricity	No assets

In this notice **nbn™ Facilities** means *underground fibre optic, telecommunications and/or power facilities, including but not limited to cables, owned and controlled by nbn™*

Location of nbn™ Underground Assets

We thank you for your enquiry. In relation to your enquiry at the above address:

- **nbn's** records indicate that there **ARE nbn™** Facilities in the vicinity of the location identified above ("Location").
- **nbn** indicative plan/s are attached with this notice ("Indicative Plans").
- The Indicative Plan/s show general depth and alignment information only and are not an exact, scale or accurate depiction of the location, depth and alignment of **nbn™** Facilities shown on the Plan/s.
- In particular, the fact that the Indicative Plans show that a facility is installed in a straight line, or at uniform depth along its length cannot be relied upon as evidence that the facility is, in fact, installed in a straight line or at uniform depth.
- You should read the Indicative Plans in conjunction with this notice and in particular, the notes below.
- You should note that, at the present time, the Indicative Plans are likely to be more accurate in showing location of fibre optics and telecommunications cables than power cables. There may be a variation between the line depicted on the Indicative Plans and the location of any power cables. As such, consistent with the notes below, particular care must be taken by you to make your own enquiries and investigations to precisely locate any power cables and manage the risk arising from such cables accordingly.
- The information contained in the Indicative Plan/s is valid for 28 days from the date of issue set out above. You are expected to make your own inquiries and perform your own investigations (including engaging appropriately qualified plant locators, e.g DBYD Certified Locators, at your cost to locate **nbn™**

Facilities during any activities you carry out on site).

We thank you for your enquiry and appreciate your continued use of the Dial Before You Dig Service. For any enquiries related to moving assets or Planning and Design activities, please visit the **nbn** [Commercial Works](#) website to complete the online application form. If you are planning to excavate and require further information, please email dbyd@nbnco.com.au or call 1800 626 329.

Notes:

1. You are now aware that there are **nbn**TM Facilities in the vicinity of the above property that could be damaged as a result activities carried out (or proposed to be carried out) by you in the vicinity of the Location.
2. You should have regard to section 474.6 and 474.7 of the *Criminal Code Act 1995* (CoA) which deals with the consequences of interfering or tampering with a telecommunications facility. Only persons authorised by **nbn** can interact with **nbn's** network facilities.
3. Any information provided is valid only for **28 days** from the date of issue set out above.

Referral Conditions

The following are conditions on which **nbn** provides you with the Indicative Plans. By accepting the plans, you are agreeing to these conditions. These conditions are in addition, and not in replacement of, any duties and obligations you have under applicable law.

1. **nbn** does not accept any responsibility for any inaccuracies of its plans including the Indicative Plans. You are expected to make your own inquiries and perform your own investigations (including engaging appropriately qualified plant locators, e.g DBYD Certified Locators, at your cost to locate **nbn**TM Facilities during any activities you carry out on site).
2. You acknowledge that **nbn** has specifically notified you above that the Indicative Plans are likely to be more accurate in showing location of fibre optics and telecommunications cables than power cables. There may be a variation between the line depicted on the Indicative Plans and the location of any power cables.
3. You should not assume that **nbn**TM Facilities follow straight lines or are installed at uniformed depths along their lengths, even if they are indicated on plans provided to you. Careful onsite investigations are essential to locate the exact position of cables.
4. In carrying out any works in the vicinity of **nbn**TM Facilities, you must maintain the following minimum clearances:
 - 300mm when laying assets inline, horizontally or vertically.
 - 500mm when operating vibrating equipment, for example: jackhammers or vibrating plates.
 - 1000mm when operating mechanical excavators.
 - Adherence to clearances as directed by other asset owner's instructions and take into account any uncertainty for power cables.
5. You are aware that there are inherent risks and dangers associated with carrying out work in the vicinity of underground facilities (such as **nbn**TM fibre optic, copper and coaxial cables, and power cable feed to **nbn**TM assets). Damage to underground electric cables may result in:
 - Injury from electric shock or severe burns, with the possibility of death.
 - Interruption of the electricity supply to wide areas of the city.
 - Damage to your excavating plant.
 - Responsibility for the cost of repairs.
6. You must take all reasonable precautions to avoid damaging **nbn**TM Facilities. These precautions may include but not limited to the following:
 - All excavation sites should be examined for underground cables by careful hand excavation. Cable cover slabs if present must not be disturbed. Hand excavation needs to be undertaken with extreme care to minimise the likelihood of damage to the cable, for example: the blades of hand equipment should be aligned parallel to the line of the cable rather than digging across the cable.
 - If any undisclosed underground cables are located, notify **nbn** immediately.

- All personnel must be properly briefed, particularly those associated with the use of earth-moving equipment, trenching, boring and pneumatic equipment.
 - The safety of the public and other workers must be ensured.
 - All excavations must be undertaken in accordance with all relevant legislation and regulations.
7. You will be responsible for all damage to **nbn**TM Facilities that are connected whether directly, or indirectly with work you carry out (or work that is carried out for you or on your behalf) at the Location. This will include, without limitation, all losses expenses incurred by **nbn** as a result of any such damage.
 8. You must immediately report any damage to the **nbn**TM network that you are/become aware of. Notification may be by telephone - 1800 626 329.
 9. Except to the extent that liability may not be capable of lawful exclusion, **nbn** and its servants and agents and the related bodies corporate of **nbn** and their servants and agents shall be under no liability whatsoever to any person for any loss or damage (including indirect or consequential loss or damage) however caused (including, without limitation, breach of contract negligence and/or breach of statute) which may be suffered or incurred from or in connection with this information sheet or any plans(including Indicative Plans) attached hereto. Except as expressly provided to the contrary in this information sheet or the attached plans(including Indicative Plans), all terms, conditions, warranties, undertakings or representations (whether expressed or implied) are excluded to the fullest extent permitted by law.

All works undertaken shall be in accordance with all relevant legislations, acts and regulations applicable to the particular state or territory of the Location. The following table lists all relevant documents that shall be considered and adhered to.

State/Territory	Documents
National	Work Health and Safety Act 2011
	Work Health and Safety Regulations 2011
	Safe Work Australia - Working in the Vicinity of Overhead and Underground Electric Lines (Draft)
	Occupational Health and Safety Act 1991
NSW	Electricity Supply Act 1995
	Work Cover NSW - Work Near Underground Assets Guide
	Work Cover NSW - Excavation Work: Code of Practice
VIC	Electricity Safety Act 1998
	Electricity Safety (Network Asset) Regulations 1999
QLD	Electrical Safety Act 2002
	Code of Practice for Working Near Exposed Live Parts
SA	Electricity Act 1996
TAS	Tasmanian Electricity Supply Industry Act 1995
WA	Electricity Act 1945
	Electricity Regulations 1947
NT	Electricity Reform Act 2005
	Electricity Reform (Safety and Technical) Regulations 2005
ACT	Electricity Act 1971

Thank You,

nbn DBYD

Date: 20/06/2023

This document is provided for information purposes only. This document is subject to the information classification set out on this page. If no information classification has been included, this document must be treated as UNCLASSIFIED, SENSITIVE and must not be disclosed other than with the consent of nbn co. The recipient (including third parties) must make and rely on their own inquiries as to the currency, accuracy and completeness of the information contained herein and must not use this document other than with the consent of nbn co.

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Working near **nbn**TM cables

nbn has partnered with Dial Before You Dig to give you a single point of contact to get information about **nbn** underground services owned by **nbn** and other utility/service providers in your area including communications, electricity, gas and other services. Contact with underground power cables and gas services can result in serious injury to the worker, and damage and costly repairs. You must familiarise yourself with all of the Referral Conditions (meaning the referral conditions referred to in the DBYD Notice provided by **nbn**).

Practice safe work habits

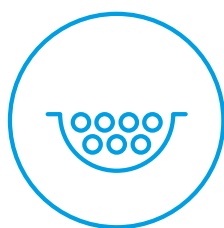
Once the DBYD plans are reviewed, the Five P's of Excavation should be adopted in conjunction with your safe work practices (which must be compliant with the relevant state Electrical Safety Act and Safe Work Australia "Excavation Work Code of Practice", as a minimum) to ensure the risk of any contact with underground **nbn** assets are minimised.



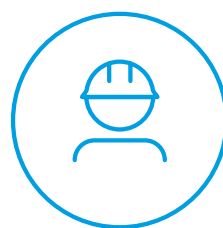
Plan: Plan your job by ensuring the plans received are current and apply to the work to be performed. Also check for any visual cues that may indicate the presence of services not covered in the DBYD plans.



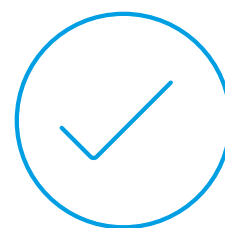
Prepare: Prepare for your job by engaging a DBYD Certified Plant Locator to help interpret plans and identify on-site assets. Contact **nbn** should you require further assistance.



Pothole: Non-destructive potholing (i.e. hand digging or hydro excavation) should be used to positively locate **nbn** underground assets with minimal risk of contact and service damage.

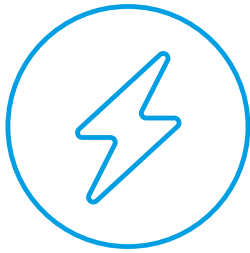


Protect: Protecting and supporting the exposed **nbn** underground asset is the responsibility of the worker. Exclusion zones for **nbn** assets are clearly stated in the plan and appropriate controls must be implemented to ensure that encroachment into the exclusion zone by machinery or activities with the potential to damage the asset is prevented.

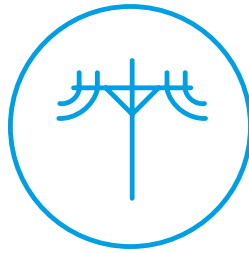


Proceed: Proceed only when the appropriate planning, preparation, potholing and protective measures are in place.

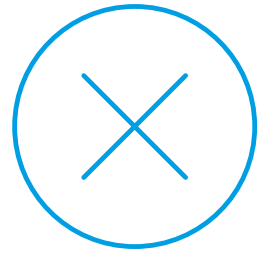
Working near **nbn**[™] cables



Identify all electrical hazards, assess the risks and establish control measures.



When using excavators and other machinery, also check the location of overhead power lines.



Workers and equipment must maintain safety exclusion zones around power lines.

Once all work is completed, the excavation should be re-instated with the same type of excavated material unless specified by **nbn**. Please note:

- Construction Partners of **nbn** may require additional controls to be in place when performing excavation activities.
- The information contained within this pamphlet must be used in conjunction with other material supplied as part of this request for information to adequately control the risk of potential asset damage.

Contact

All **nbn**[™] network facility damages must be reported online [here](#).
For enquiries related to your DBYD request please call 1800 626 329.

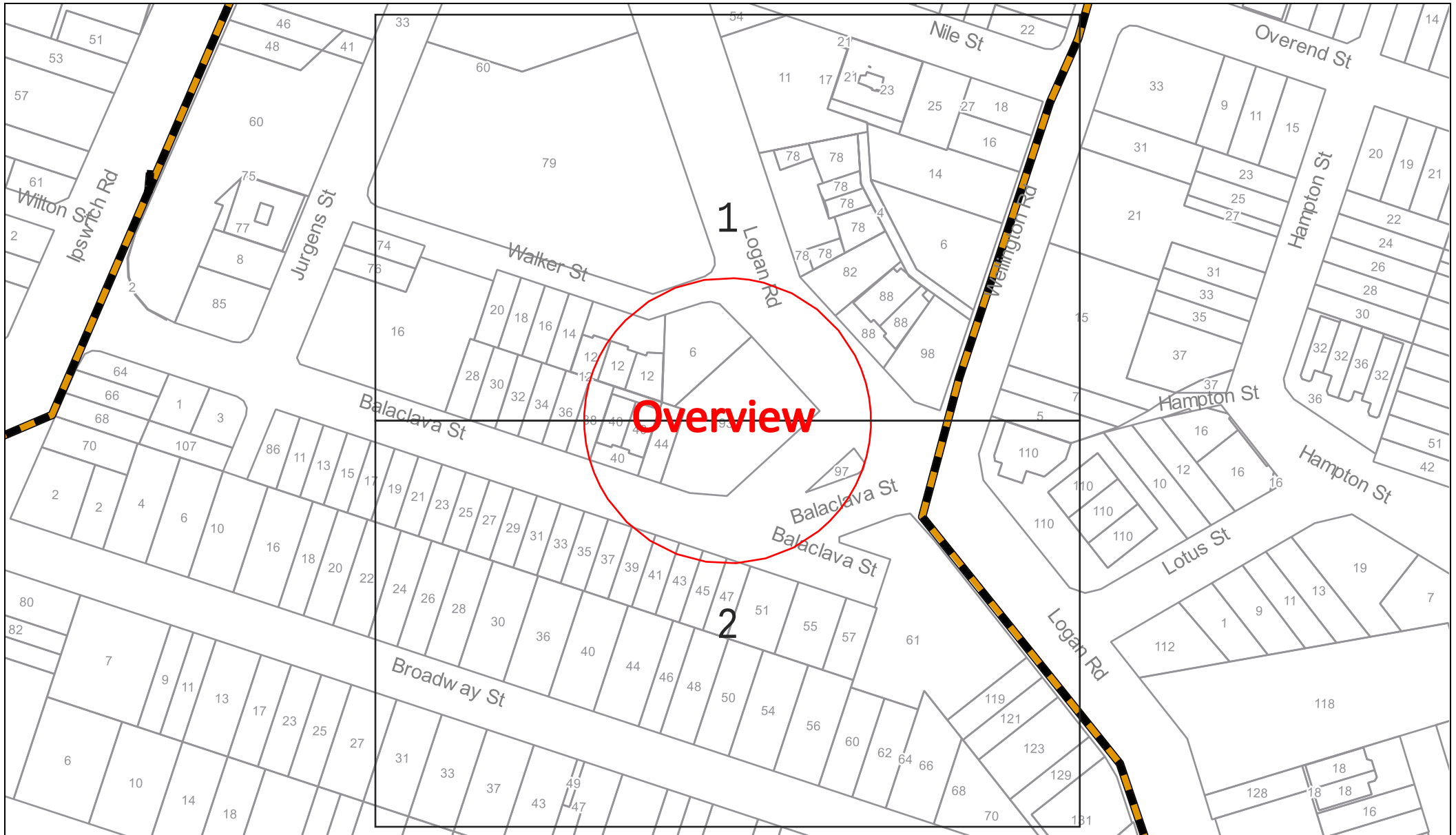
Disclaimer

This brochure is a guide only. It does not address all the matters you need to consider when working near our cables. You must familiarise yourself with other material provided (including the Referral Conditions) and make your own inquiries as appropriate.

nbn will not be liable or responsible for any loss, damage or costs incurred as a result of reliance on this brochure.

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Sequence Number: 226092649

Date: 21/06/2023

DISCLAIMER: THIS DRAWING SHOULD NOT BE SCALED TO LOCATE CABLES. NO WARRANTY IS GIVEN THAT THE INFORMATION IS ACCURATE OR COMPLETE. IF YOU REQUIRE INFORMATION REGARDING LOCATING THE CABLE PLEASE CALL NEXTGEN. THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR DIAL BEFORE YOU DIG USE. THIS PLAN CONTAINS COMMERCIAL SENSITIVE INFORMATION AND IS TO BE TREATED ACCORDINGLY. NO SUCH INFORMATION IS TO BE PASSED ONTO OTHER PARTIES WITHOUT WRITTEN CONSENT FROM NEXTGEN PTY LTD.



LEGEND

Digsite



Area

Assets



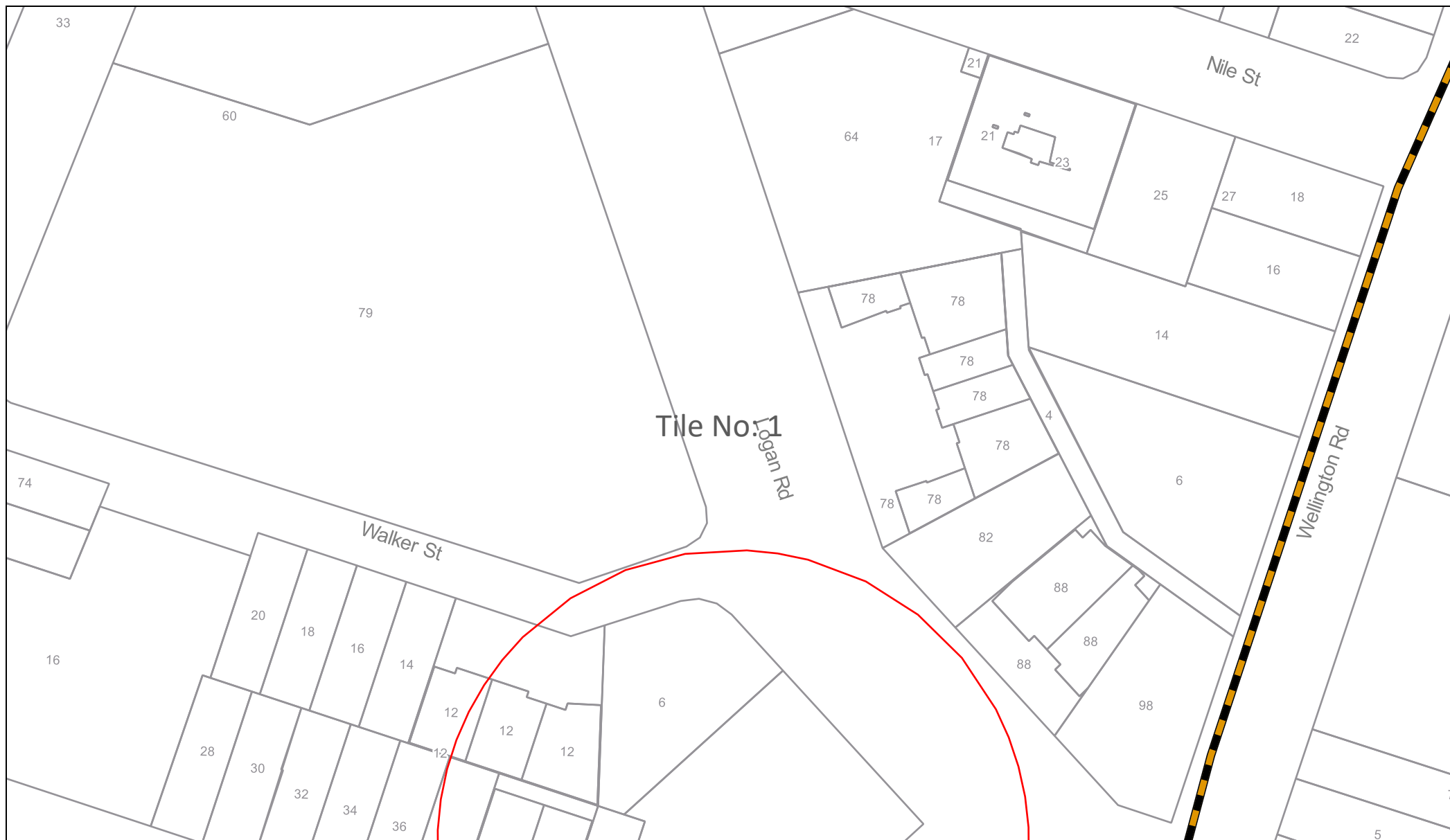
Cable



3rd Party Duct



Marker Post



Sequence Number: 226092649

Date: 21/06/2023

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LEGEND

Digsite



Area

Assets



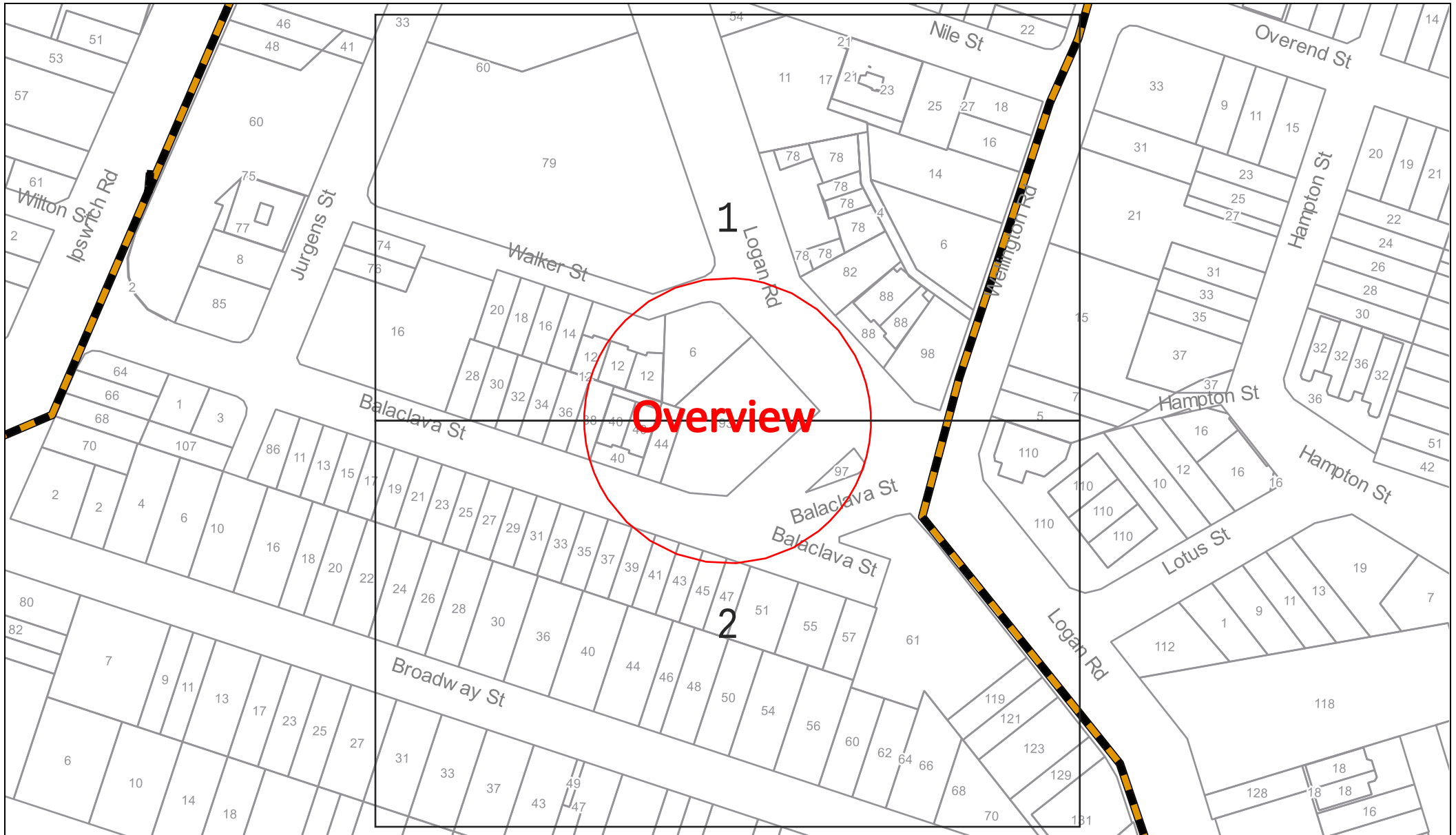
Cable



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Marker Post



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LEGEND

Digsite



Area

Assets



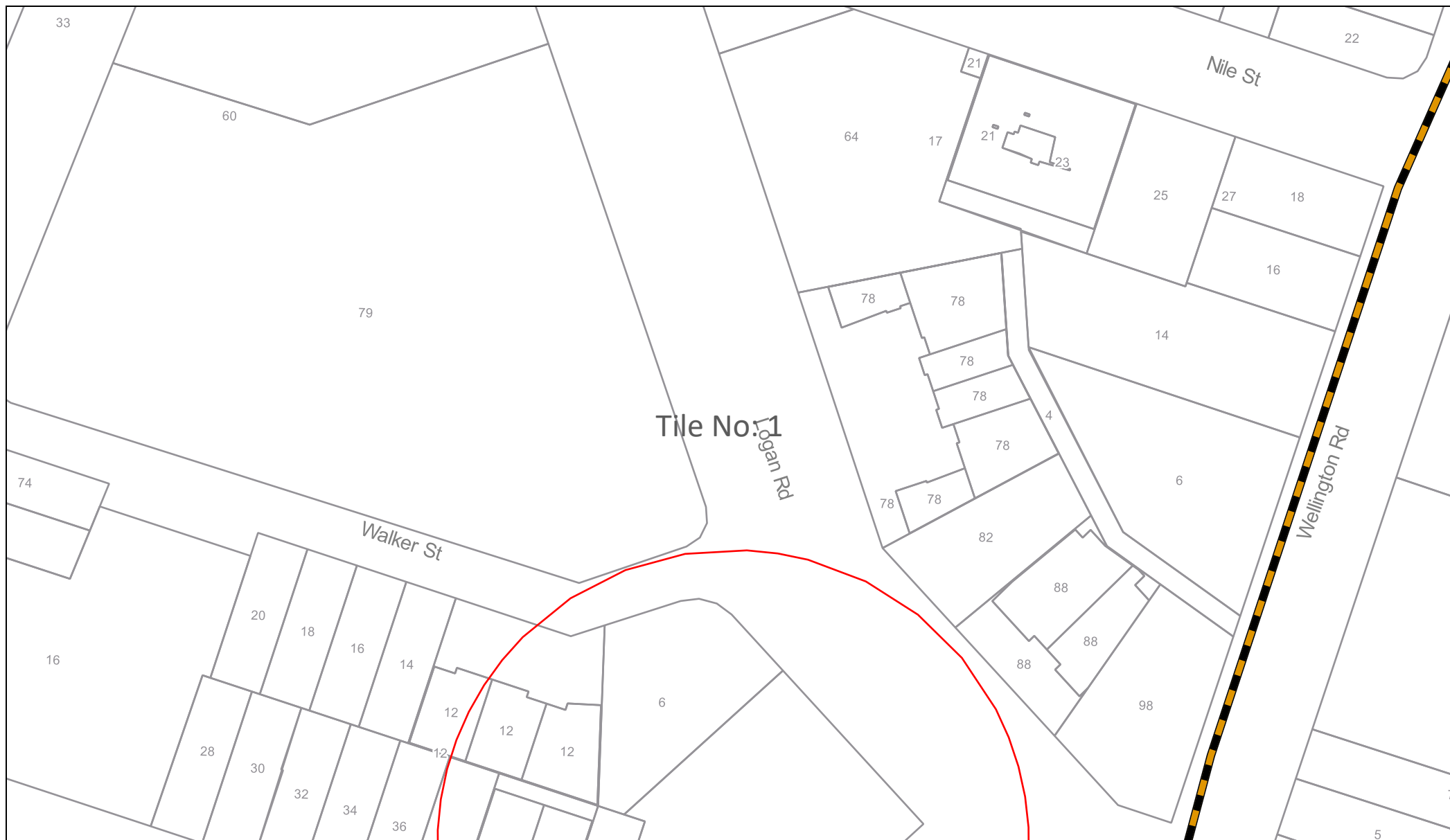
Cable



3rd Party Duct



Marker Post



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LEGEND

Digsite



Area

Assets



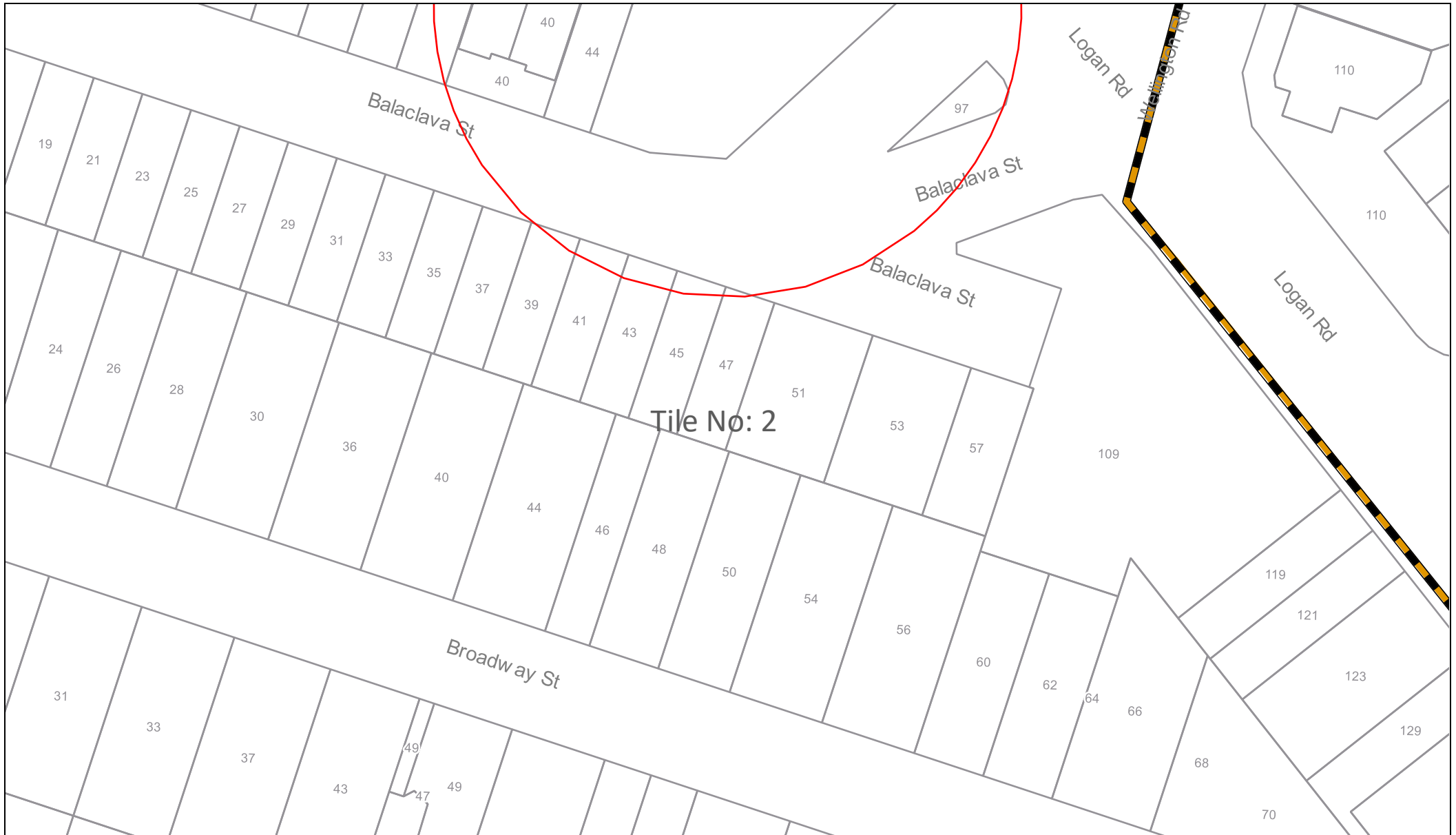
Cable



3rd Party Duct



Marker Post



Sequence Number: 226092649

Date: 21/06/2023

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LEGEND

Digsite



Area

Assets



Cable



3rd Party Duct



Marker Post

Plant Location Details



20/06/2023

Naxos Engineers
Not Supplied
PO BOX 224
Spring Hill QLD 4004
Phone: +611300598544

Nextgen Networks Pty Ltd
Level 6, 333 Collins Street
Melbourne VIC 3000
T 1800 032 532
E Damage.Relocations@vocus.com.au

Dear Naxos Engineers

The following is a response to your Dial Before You Dig enquiry

Assets Affected:

Nextgen Assets

Sequence No:

226092649

Location:

93 Logan Road, Woolloongabba QLD 4102

IMPORTANT:

- Please read and understand all the information and disclaimers provided below
- Sketches and Plans provided by Nextgen Networks are circuit diagrams only and indicate the presence of telecommunications plant in the general vicinity of the geographical area shown; exact ground cover and alignments cannot be given with any certainty and cover may alter over time. Telecommunications plant seldom follow straight lines and careful on site investigation is essential to uncover and reveal its exact position
- The accuracy and/or completeness of the information in the plans can not be guaranteed often due to changes in the surrounding land subsequent to Nextgen's deployment and, accordingly the plans are intended to be indicative only

"DUTY OF CARE"

When working in the vicinity of telecommunications plant you have a legal "Duty of Care" that must be observed. The following points must be considered:

1. It is the responsibility of the owner and any consultant engaged by the owner, including an architect, consulting engineer, developer, and head contractor to design for minimal impact and protection of Nextgen Networks plant. Nextgen Networks will provide free plans and sketches showing the presence of its network to assist at this design stage.
2. It is the owner's (or constructor's) responsibility to:
 - a) Request plans of Nextgen Networks plant for a particular location at a reasonable time before construction begins
 - b) Visually locate Nextgen Networks plant by vacuum excavation (pot-holing) where construction activities may damage or interfere with Nextgen Networks plant (see "Essential Precautions and Approach Distances" section for more information)
 - c) Contact Nextgen Networks Network (see below for details) if Nextgen Networks plant is wholly or partly located near planned construction activities

DAMAGE

ANY DAMAGE TO Nextgen Networks NETWORK MUST BE REPORTED TO 1800 032 532 IMMEDIATELY

- The owner is responsible for all plant damage when works commence prior to obtaining Nextgen Networks plans, or failure to follow agreed instructions
- Nextgen Networks reserves all rights to recover compensation for loss or damage to its cable network or other property including consequential losses

CONCERNING NEXTGEN NETWORK PLANS

- Phone 1100. Dial Before You Dig for free plans of Nextgen Networks plant locations. Please give at least 2 business days notice
- Nextgen Networks plans and information provided are valid for 30 days from the date of issue
- Nextgen Networks retains copyright in all plans and details provided in conjunction with your request. These plans and or details should be disposed of by shredding or any other secure disposal method after use
- Nextgen Networks plans or other details are provided for the use of the applicant, its servants, or agents, and shall not be used for any unauthorised purpose
- Please contact the Network Help Desk (see below for details) immediately should you locate Nextgen Networks assets not indicated on these plans
- Nextgen Networks, its servants or agents shall not be liable for any loss or damage caused or occasioned by the use of plans and or details so supplied to the applicant, its servants and agents, and the applicant agrees to indemnify Nextgen Networks against any claim or demand for any such loss or damage
- Please ensure Nextgen Networks plans and information provided remains on-site at all times throughout your construction phase

ESSENTIAL PRECAUTION AND APPROACH DISTANCE

NOTE: If the following clearances cannot be maintained, please contact the Nextgen Network Help Desk (see below for details) for advice on how best to resolve this situation

1. On receipt of plans and sketches and before commencing excavation work or similar activities near Nextgen Networks plant, carefully locate this plant first to avoid damage. Undertake prior exposure (vacuum excavation) such as potholing when intending to excavate or work closer to Nextgen Networks plant than the following approach distances:
 - Where Nextgen Networks plant is in an area where road and footpaths are well defined by kerbs or other features a minimum clear distance of 600mm must be maintained from where it could be reasonably presumed that plant would reside
 - In non established or unformed reserves and terrain, this approach distance must be at least 1.5 metres
 - In country/rural areas which may have wider variations in reasonably presumed plant presence, the following minimum approach distances apply:
 - d) Parallel to major plant: 10 metres (for optic fibre cable)
 - e) Parallel to other plant: 5 metres

Note: Even pot-holing needs to be undertaken with extreme care, common sense and employing techniques least likely to damage cables. For example - vacuum excavation.

 - If construction work is parallel to Nextgen Networks plant, then careful pot-holing at least every 5m is required to establish the location of all plant, hence continuing nominal locations before work can commence
2. Maintain the following minimum clearance between construction activity and actual location of Nextgen Networks Plant.

Jackhammers/Pneumatic Breakers	<i>Not within 1.0m of actual locations</i>
Vibrating Plate or Wackers Packer Compactors	<i>Not within 0.5m of Nextgen Networks ducts 300mm compact clearance cover before compactor can be used across Nextgen Networks ducts, and 600mm clearance across Nextgen Networks cables in the solid</i>
Boring Equipment (in-line, horizontal and vertical)	<i>Not within 2.0m of actual location Constructor to check depth via vacuum excavation (pot-hole)</i>
Heavy Vehicle Traffic (over 3 tonnes)	<i>Not to be driven across Nextgen Networks ducts with less than 600mm cover. Not to be driven across Nextgen Networks fibre with less than 1.2m cover Constructor to vacuum excavate (pot-hole) and expose plant</i>
Mechanical Excavators, Boring and Tree Removal	<i>Not within 1.0m of actual location Constructor to vacuum excavate (pot-hole) and expose plant</i>

- All Nextgen Networks pits and manholes should be a minimum of 1.2m in from the back of kerb after the completion of your work
- All Nextgen Networks conduit should have the following minimum depth of cover after the completion of your work:

Footway 450mm

Roadway 450mm at drain invert and 600mm below the pavement subgrade level invert

- All Nextgen Networks fibre in the solid should have the following minimum depth of cover after the completion of your work:

Footway 600mm

Roadway 1200mm at drain invert and 1200mm below the pavement subgrade level invert

- For clearance distances relating to Nextgen Networks above ground infrastructure please contact the Network Help Desk (see below for details)

FURTHER ASSISTANCE

Over-the-phone assistance can be obtained by calling the Network Help Desk below.

Nextgen require 5 clear business days notice to conduct an on-site location. The initial on site location visit will not normally incur a charge, but at the discretion of Nextgen subsequent site visits may incur a charge to be applied at an hourly rate.

Where an on-site location is provided, the owner is responsible for all vacuum excavation work (pot-holing) to visually locate and expose Nextgen Networks plant.

If plant location plans or visual location of Nextgen Networks plant by vacuum excavation reveals that the location of Nextgen Networks plan is situated wholly or partly where the owner plans to work, then **Nextgen Networks** must be contacted through the **Network Help Desk** to discuss possible engineering solutions.

The contact number for the **Network Help Desk** is 1800 032 532.

NOTE:

If Nextgen Networks relocation or protection works are part of the agreed solution, then payment to Nextgen Networks for the cost of this work shall be the responsibility of the principal developer. The principal developer will be required to provide Nextgen Networks with the details of their proposed work showing how Nextgen Networks plant is to be accommodated and these details must be approved by the Nextgen National Operations Manager prior to the commencement of site works.

RURAL LANDOWNER - IMPORTANT INFORMATION

Where Nextgen Networks owned cable crosses agricultural land Nextgen Networks will provide a one off free-on-site electronic cable location. Please note that the exact location of cables can only be verified by visual proving by pot holing, which is not covered by this service. The Network Integrity HelpDesk Officer will provide assistance in determining whether a free-on-site location is required. Please ring the Nextgen Network Help Desk as listed above.

PRIVACY NOTE

Your information has been provided to Nextgen Networks by DBYD to enable Nextgen Networks to respond to your DBYD request. Nextgen Networks keeps your information in accordance with its privacy statement entitled 'Protecting Your Privacy' which can be obtained from Nextgen Networks either by calling 1800 032 532 or visiting our website www.nextgengroup.com.au

Warning: Nextgen Networks plans show only the presence of cables and plant. They only show their position relative to road boundaries, property fences etc, at the time of installation and Nextgen Networks does not warrant or hold out that such plans are accurate thereafter due to changes that may occur over time.

DO NOT ASSUME DEPTH OR ALIGNMENT of cables or plant as these vary significantly.

The customer has A DUTY OF CARE when excavating near Nextgen Networks cables and plant. Before using machine excavators NEXTGEN PLANT MUST FIRST BE PHYSICALLY EXPOSED BY VACUUM EXCAVATION (potholing) to identify its location.

Nextgen Networks will seek compensation for damages caused to its property and losses caused to Nextgen Networks and its customers.

EXPERIENCED PLANT LOCATORS (for your area)

On-site assistance should be sought from an Experienced Plant Locator if the telecommunications plant cannot be located within 2.5 metres of the locations indicated on the drawings provided. On-site advice should be obtained from a suitably qualified contractor highly skilled in locating Nextgen Networks plant. If there is any doubt whatsoever about the actual location of the telecommunications plant, the best method for locating the telecommunications plant or the correct interpretation of the drawings provided. In the case where Nextgen Networks plant is outside a recognised road reserve Nextgen Networks recommends that the **Network Help Desk** is contacted for assistance prior to engaging an Experienced Plant Locator.

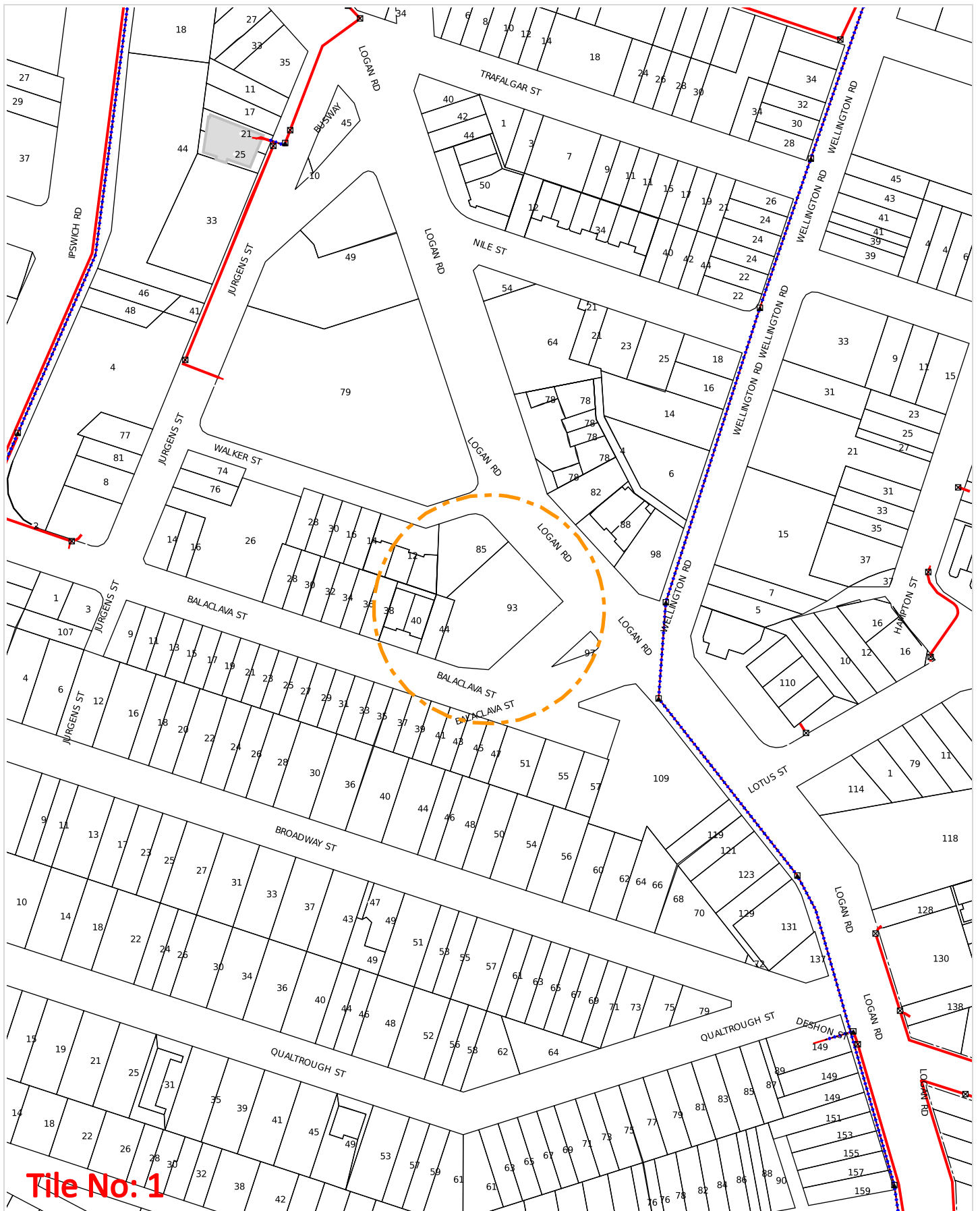
For the assistance of customers Nextgen Networks has established strict criteria to assess the skill of contractors that may be engaged by owners requiring Nextgen Networks plant locating services to perform any of the following activities if requested to do so by the owner:

- Review Nextgen Networks plans to assess the approximate location of Nextgen Networks plant
- Advise owners of the approximate location of Nextgen Networks plant according to the plans
- Advise the owners of the best method for locating Nextgen Networks plant
- Advise owners of the hazard of unqualified persons attempting to find the exact location of Nextgen Networks plant and working in the vicinity of Nextgen Networks plant without first locating its exact position
- Perform trial hole explorations by vacuum excavation (pot-holing) to expose Nextgen Networks plant with a high degree of skill, competence and efficiency and utilising all necessary safety equipment

Nextgen Networks does not accept any liability or responsibility for the performance of or advice given by any Plant Locator engaged by you but we will, if requested, recommend suitably qualified plant locators.

GENERAL DISCLAIMER

While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Nexgen or PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.



WARNING: This document is confidential and may also be privileged. Confidentiality nor privilege is not waived or destroyed by virtue of it being transmitted to an incorrect addressee. Unauthorised use of the contents is therefore strictly prohibited. Any information contained in this document that has been extracted from our records is believed to be accurate, but no responsibility is assumed for any error or omission. Optus Plans and information supplied are valid for 30 days from the date of issue. If this timeline has elapsed, please raise a new enquiry.

Sequence Number: 226092648

Date Generated: 21 Jun 2023



For all Optus DBYD plan enquiries –
 Email: Fibre.Locations@optus.net.au
 For urgent onsite assistance contact 1800 505 777
 Optus Limited ACN 052 833 208



Date: 21 Jun 2023
To: Naxos Engineers
Company: Not Supplied
Address: PO BOX 224
Spring Hill, QLD 4004

ENQUIRY DETAILS

Location: 93 Logan Road, Woolloongabba, QLD 4102
Sequence No.: 226092648
BYDA Reference: 34454336

In relation to your enquiry concerning the above location, Optus advises as follows:

Optus records indicate that there ARE underground Optus FIBRE OPTIC TELECOMMUNICATIONS ASSETS in the vicinity of the above location as per the attached drawing(s).

PLEASE NOTE that any interference with these assets may be considered an offence under the Criminal Code Act 1995 (Cth). Optus reserves the right to seek compensation for loss or damage to its assets including consequential loss.

This reply is valid for a period of 30 days from the date above.

IMPORTANT INFORMATION

Asset location drawings provided by Optus are reference diagrams and are provided as a guide only. The completeness of the information in these drawings cannot be guaranteed. Exact ground cover and alignments cannot be provided with any certainty as these may have altered over time. Depths of telecommunications assets vary considerably as do alignments. It is essential to identify the location of any Optus assets in the vicinity prior to engaging in any works.

All Optus assets in the vicinity of any planned works will need to be electronically located to ascertain their general location. Depending on the scope of planned works in the vicinity, the assets may also need to be physically located.

YOU MUST ENGAGE THE SERVICES OF ONE OF THE OPTUS ASSET ACCREDITED LOCATORS TO CARRY OUT ASSET LOCATION (REFER LIST OF ACCREDITED LOCATORS AT THE END OF THIS OPTUS RESPONSE).

Unless otherwise agreed with Optus, where an on-site asset location is required, the requestor is responsible for all costs associated with the locating service including (where required) physically exposing the Optus asset.

DUTY OF CARE

When working in the vicinity of telecommunications assets you have a legal "Duty of Care" and non-interference that must be observed.

It is your responsibility as the requesting party (as a landowner or any other party involved in the planned works) to design for minimal impact to any existing Optus asset. Optus can assist at the design stage through consultation.

It is also your, as the requesting party (or your representative's), responsibility to:

- Obtain location drawings (through the Dial Before You Dig process) of any existing Optus assets at a reasonable time before any planned works begin;
- Have an Optus Accredited Asset Locator identify the general location of the Optus asset and physically locate the asset where planned works may encroach on its alignment; and
- Contact Optus for further advice where requested to do so by this letter.

DAMAGE TO ANY OPTUS ASSET MUST BE REPORTED TO 1800 500 253 IMMEDIATELY

You, your head contractor and any relevant subcontractor are all responsible for any Optus asset damage as a result of planned activities in the vicinity of Optus assets.

This applies where works commence prior to obtaining Optus drawings, where there is failure to follow instructions or during any construction activities.

Optus reserves the right to recover compensation for loss or damage to its assets including consequential loss. Also, you, your head contractor and any relevant subcontractor may also be liable for prosecution under the Criminal Code Act 1995 (Cth).

ASSET RELOCATIONS

You are not permitted by law to relocate, alter or interfere with any Optus asset under any circumstance. Any unauthorised interference with an Optus asset may lead to prosecution under the Criminal Code Act 1995 (Cth). Enquiries relating to the relocation of Optus assets must be referred to the relevant Optus Damages and Relocations Team (refer to "FURTHER ASSISTANCE").

APPROACH DISTANCES

On receipt of Optus asset location drawings and prior to commencing any planned works near an Optus asset, engage an Optus Accredited Locator to undertake a general location of the Optus asset.

Physical location of the Optus asset by an Optus Accredited Locator will also be required where planned works are within the following approach distances of the general location of the Optus asset:

- In built up metropolitan areas where road and footpaths are well defined by kerbs or other features a minimum clear distance of 1 meter must be maintained from the general location of the Optus asset.
- In non-established or unformed metropolitan areas, a minimum clear distance of 3 meters must be maintained from the general location of the Optus asset.
- In country or rural areas where wider variations may exist between the general and actual location of an Optus asset may exist, then a minimum clear distance of 5 meters must be maintained from the general location of the Optus asset.

If planned works are parallel to the Optus asset, then the Optus asset must be physically located by an Optus Accredited Locator at a minimum of 5 meter intervals along the length of the parallel works prior to work commencing.

Under no circumstances is crossing of any Optus asset permitted without physical location of the asset being carried out by an Optus Accredited Locator. Depending on the asset involved an Optus representative may be required onsite.

The minimum clearances to the physical location of Optus assets for the following specific types of works must be maintained at all times.

Note: Where the clearances in the following table cannot be maintained or where the type of work differs from those listed then advice must be sought from the relevant Optus Damages and Relocations Team (refer to "FURTHER ASSISTANCE").

Type of Works	Clearance to Physical Location of Optus Asset
Jackhammers / Pneumatic Breakers	Not within 1 meter.
Light duty Vibrating Plate or Wacker Packer type compactors (not heavy road construction vibrating rollers etc.)	500mm compact clearance cover before a light duty compactor can be used over any Optus conduit. No compaction permitted over Optus direct buried cable without prior approval from Optus.
Boring Equipment (in-line, horizontal and vertical)	Not within 5 meters parallel of the Optus asset location without an Accredited Optus Asset Locator physically exposing the Optus asset and with an Optus representative onsite. Not to cross the Optus asset without an Accredited Optus Asset Locator physically exposing the Optus asset and with an Optus representative onsite.

Type of Works	Clearance to Physical Location of Optus Asset
Heavy vehicle Traffic (over 3 tonnes)	Not to be driven across Optus conduits with less than 600mm of cover. Not to be driven across Optus direct buried cable with less than 1.2 meters of cover. Once off crossings permitted, multiple crossing (e.g. road construction or logging) will require Optus approval. Accredited Optus Asset Locator to physically expose the Optus asset to verify actual depth.
Mechanical Excavators, Farm Ploughing, Vertical Hole installation for water bore or fencing etc.	Not within 1 meter. Accredited Optus Asset Locator to physically expose the Optus asset to verify actual location.

ASSET CLEARANCES AFTER COMPLETION OF WORKS

All Optus pits and manholes must be a minimum of 1 meter from the back of any kerb, 3.5 meters of the road surface without a kerb or not within 15 meters of street intersection.

In urban areas Optus conduit must have the following minimum depth of cover:

- Footway 600mm;
- Roadway 1 meter at drain invert and at road centre crown.

In rural areas Optus conduit must have a minimum depth of cover of 1 meter and direct buried cable 1.2 meters.

In cases where it is considered that the above clearances cannot be maintained at the completion of works, advice must be sought from the relevant Optus Damages and Relocations Team (refer "Further Assistance").

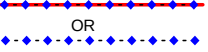
FURTHER ASSISTANCE

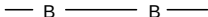
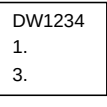
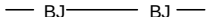
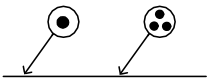
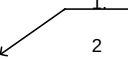
Further assistance on asset clearances, protection works or relocation requirements can be obtained by contacting the relevant Optus Damages and Relocations Team on the following email address:

NFODamages&RelocationsDropbox@optus.com.au

Further assistance relating to asset location drawings etc. can be obtained by contacting the Optus Network Operations Asset Analysis Team on 1800 505 777.

OPTUS ENGINEERING DRAWING SYMBOLS

	Optus underground cable		Optus manhole/pit
	Optus underground IOF cable		Other Utility manhole/pit
	Optus conduit		Optus marker post
	Optus cable in Other Utility conduit		Railway / Tram line
	Southern Cross conduit		Highway / Major Road
	Indigo conduit		Arterial Road
	Uecomm conduit		Council Road - minor
	Optus aerial fibre cable		

	Optus underground cable		Optus marker post number 1. Depth of Optus cable 3. Offset to Optus cable
	Optus cable buried jointly with third party utility		
	Optus cable in conduit with subducts		1. Optus cable depth (approx) 2. Optus cable offset (approx)



Optus Accredited Asset Locators

Name	Company Name	Phone	Email	State	Region/Service Area
Alan Cordner	Alcom Fibre Services Pty Ltd	0400 300 337	alcomfibre@bigpond.com	NSW/ACT	Sydney
Brad McCorkindale	Bradmac Locating Services	0434 157 409	brad.mac@bigpond.com	NSW/ACT	All
Troy Redden	On Point Utility Locating	1300 6676 468	troy@onpointlocating.com.au	NSW	Sydney Only
Shane Buckley	Cable & Pipe Locations	0408 730 430	sabuckley@bigpond.com	NSW/QLD	Armidale, Casino, Coffs Harbour, Dorrigo, Glenn Innes, Grafton, Inverell, Kempsey, Lismore, Nambucca, Port Macquarie, Tamworth, Taree, Tenterfield, Yamba
Philip Pegler	Down Under Detection Services (DUDS)	0418 267 964	apegler@duds.net.au	NSW	All
Tina Stanhope	SureSearch Underground Services	1300 884 520 0418 920 245	tina.stanhope@suresearch.com.au	NSW/ACT QLD	NSW, Sydney, Northern NSW, Canberra, QLD, South East QLD.
Leonard McGowan	Pipesure Australia	1300 411 811	len@pipesure.com.au	NSW	Sydney
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Darryl Smith	Darryl Smith Electrical	02 6642 3731	office@dsmithelectrical.com.au	NSW	Grafton
George Koenig	Downunder Locations NSW Pty	0438 243 856	Downunderlocations@gmail.com	NSW	Tweed Heads, Gold Coast, Brisbane
Michael Grant	M&K Grant Bega Bobcats Pty Ltd	0427 260 423	zzbobcat@bigpond.net.au	NSW	Bega, Far South Coast
Antony Critcher	Geotrace Pty Ltd	0417 147 945	antony@geotrace.com.au	NSW	All Areas, Sydney, Wollongong, Newcastle, ACT
Anthony Lane	Hydro Digga	0447 774 000	locator@hydrodigga.com	NSW	All of NSW, ACT & South East Qld
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Nathan Ellis	Utility Locating Services	0404 087 555	nathan@utilitylocatingservices.com.au	NSW	Sydney
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Rodney Pullen	One Find Cables	0451 268 012	rod@provac.net.au	NSW /QLD	South East QLD, Northern NSW
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Damien Black	Mid North Coast Hydro Digging	0418 409 465	dblack1@bigpond.com	NSW	Newcastle- foster-Taree-Wauchope - Port Macquarie -Kempsey -Coffs harbour
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Danny Carter	Online Pipe & Cable Locating	1300 665 384	danny@onlinepipe.com.au	NSW	Sydney, Newcastle, Canberra, Blue Mountains
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Donna Wullaert	Commence Communications Pty Ltd	02 6226 3869 0428 595 620	admin@commencecomms.com.au	NSW	Canberra, Yass, Bungendore, Goulburn and Surrounding regional Areas

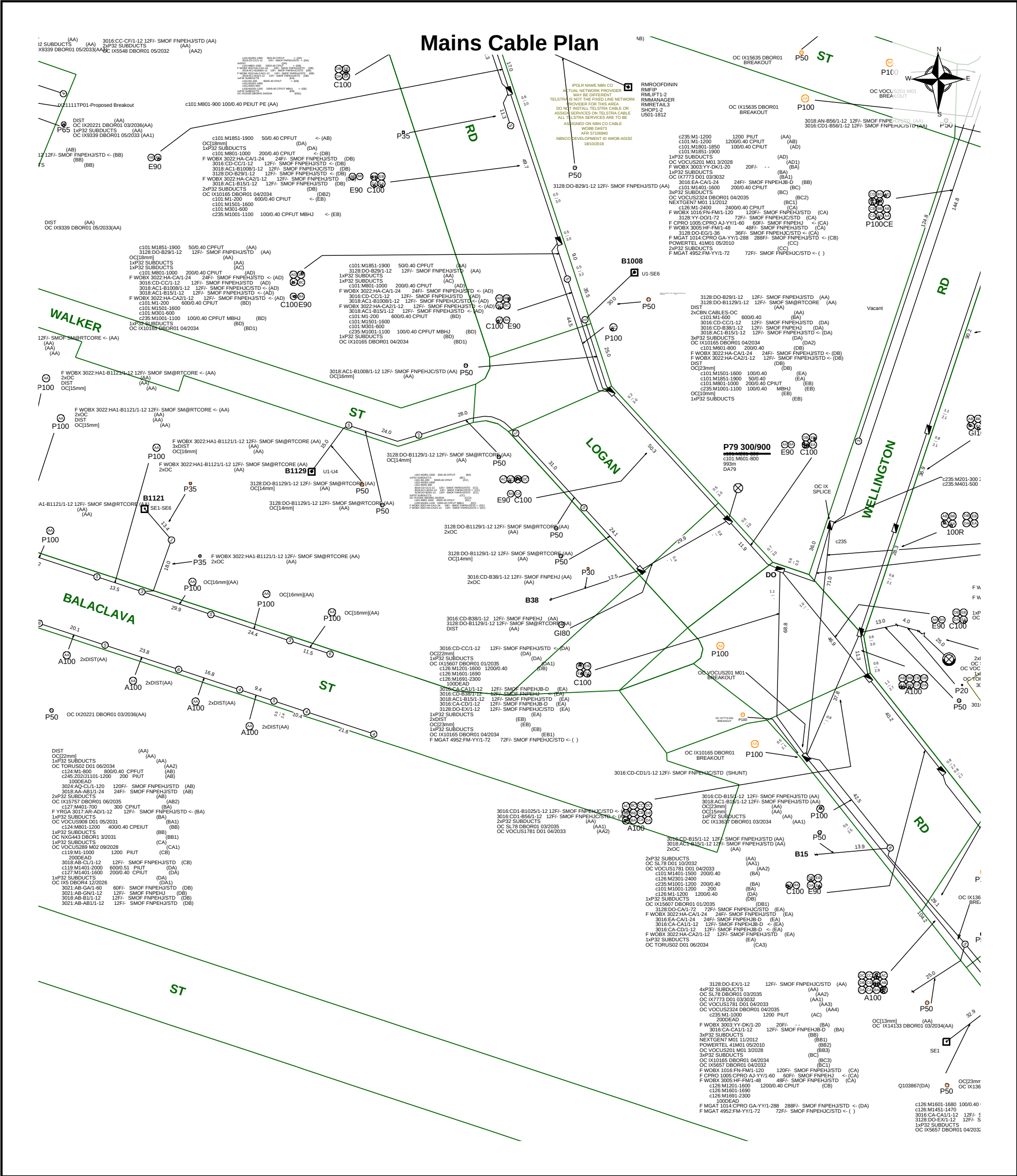
Grant Pearson	Warrabinya Services	0423 651 615	sales@warrabinya.com.au	NSW	Sydney Metro & Surrounding Areas
Stephen Fraser	Advanced Ground Locations	02 4930 3195 0412 497 488	steve_agl@hotmail.com	NSW	Newcastle, Hunter Valley, Central Coast, Taree & Surrounding Areas
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Laurence Mead	Astrea Pty Ltd	0413 849 666	admin@astrea.com.au	NSW	Sydney Metro & Surrounding Areas
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Bobby Friesz	VAC Group Operations (T/A Earth Radar)	0447 837 267	Bobby.Friesz@vacgroup.com.au	NSW	Sydney
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Jeff Trackson	J.R & L.M Trackson Pty Ltd	0417 600 978	jtrackson@tracavoid.com.au	QLD	All
Benji Lee	LADS	0478 915 237	benji@ladsqld.com.au	QLD	South East QLD
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Col Greville	Bsure Locators	0488 520 688	admin@bsurelocators.com.au	QLD	Wide Bay Burnett and Central Qld
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Simon Griffin	Pensar Utilities	458800267	sgriffin@pensar.com.au	QLD	Brisbane, Gold Coast, Sunshine Coast
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Robert Reed	All Asset Locations Pty Ltd	0478 846 025	allassetlocations@gmail.com	QLD	Sunshine Coast
Jenny Dziduch	1300 Locate Pty Ltd	1300 562 283	admin@1300locate.com.au	QLD	All Queensland, Northern NSW
Sam Hazel	Utility ID Underground Service Locators	0401 202 515	sam@utilityid.com.au	QLD	Southern QLD
Bruce Normyle	Dynamic Hydro Excavations	434731933	admin@dynamicexcavation.com.au	QLD	QLD, NSW, VIC
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Josh Taylor	Advanced Locations Victoria	0427 846 716	josh@advancedlocationsvic.com.au	VIC	All
Ben Minutoli	Geelong Cable Locations	1800 449 543	ben@geelongcablelocations.com.au	VIC	Melbourne, Geelong, Country Victoria
Mick McGoldrick	Cavan Constructions	0404 241 679	mick@locatecables.com	VIC	Western Victoria
David Kelleher	Construction Sciences	03 9553 7236	utilities@constructionsciences.net	VIC	Victoria
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Alex Jones	Utility Mapping Pty Ltd	0417 413 353	ajones@utilitymapping.com.au	VIC	Victoria
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Bernie Acabal	Taylors Development Strategists	03 9501 2800 0419 758 794	b.acabal@taylorsds.com.au	VIC	Victoria
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Nathan Kelleher	Seeker Utility Engineering	0439 691 840	nathan.kelleher@seekerutility.com.au	VIC	Melbourne
Jeffrey Ramos	VAC Group Operations (T/A Earth Radar)	0436 635 011	Jeffrey.ramos@earthradar.com.au	VIC	All
Ben Zurak	Veris Australia	03 7019 8400	melbourne@veris.com.au	VIC	All
Courtney Marson	CSA Specialised Service Pty Ltd	1300 859 829	courtney@csasepcialised.com.au	VIC/SA/TAS	All
Paul Murray	Able Pipe, Cable & Leak Location Services	0418 318 186	paul.murray6@bigpond.com	VIC	All
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Cameron Swift	Mikcomm Communication	08 9337 1125	cswift@mikcomm.com.au	WA	All
Lisa Scofield	Abaxa	08 9256 0100	accounts@abaxa.com.au	WA	All
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Elizabeth Young	Archers Underground Services Locations (AUS Locations)	03 6245 1298	admin@auslocations.com.au auslocations@bigpond.com	TAS	All
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Scott Richardson	AJ Water & Leak Detection	0457 710 680	admin@ajwater.com.au	TAS	All





Report Damage: <https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment>
Ph - 13 22 03
Email - Telstra.Plans@team.telstra.com
Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries

Sequence Number: 226092654

CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.

TELSTRA LIMITED A.C.N. 086 174 781

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WARNING

Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.

See the Steps- Telstra Duty of Care that was provided in the email response.



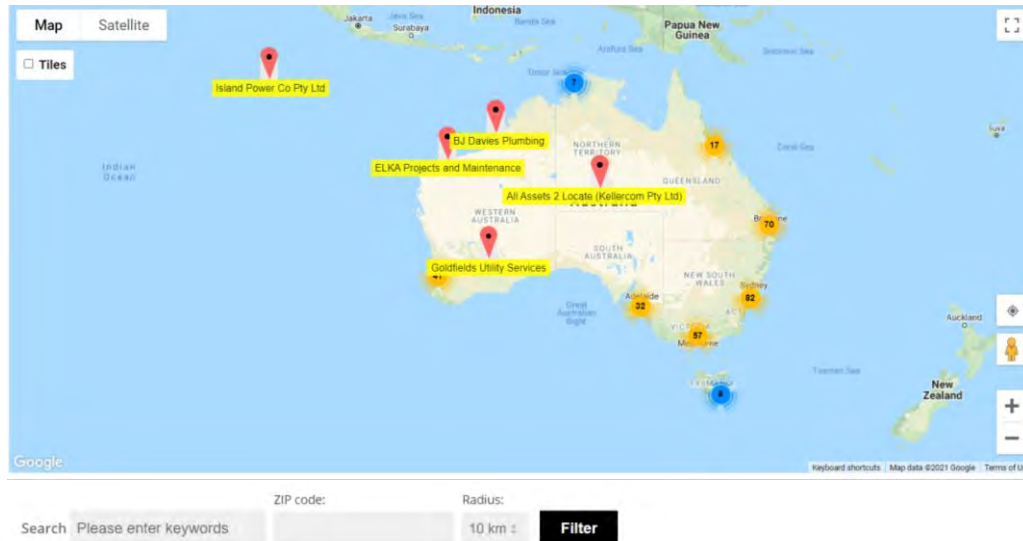
Certified Locating Organisations (CLO)

Find the closest CLO to your worksite on: <https://dbydlocator.com/certified-locating-organisation/>

Read the disclaimer and click:

Accept and Search Now

A national map and an A-Z list of Certified Locating Organisations is displayed.



Use the map to zoom to your work area and choose the closest  Locator indicated.

OR search by entering the **postcode** of your work area.

1. Enter the post/zip code
2. Choose your search radius
3. Click filter (If there is no result, you may have to increase the search radius)
4. Click on the closest  for CLO details or view the results displayed below the map



Locator skills have been tested, and the Organisation has calibrated location and safety equipment.

Telstra is aware of each Certified Locating Organisation and their employee locators.

Only a DBYD Certified Locator registered with a Certified Locating Organisation is authorised to access Telstra network for locating purposes.

Each Certified Locator working for a CLO is issued with a photo ID Card, authorising them to access Telstra pits and manholes for the purpose of cable and plant locations.

Please ask to see your Locators' CLO ID Card.

Before You Dig Australia

Think before you dig

This document has been sent to you because you requested plans of the Telstra network through Before You Dig Australia (BYDA).

If you are working or excavating near telecommunications cables, or there is a chance that cables are located near your site, you are responsible to avoid causing damage to the Telstra network.

Please read this document carefully. Taking your time now and following the steps below can help you avoid damaging our network, interrupting services, and potentially incurring civil and criminal penalties.

Our network is complex and working near it requires expert knowledge. Do not attempt these activities if you are not qualified to do so.



1. Plan

Plan your work with the latest plans of our network.

Plans provided through the BYDA process are indicative only*.

This means the actual location of our asset may differ substantially from that shown on the plans.

Refer to steps 2 and 3 to determine actual location prior to proceeding with construction.



2. Prepare

Engage a DBYD Certified Locating Organisation (CLO) via dbydlocator.com to identify, validate and protect Telstra assets before you commence work.



3. Pothole

Validate underground assets by potholing by hand or using non-destructive vacuum extraction methods.

Electronic detection alone (step 2) is not deemed to validate underground assets and must not be used for construction purposes.

If you cannot validate the Telstra network, you must not proceed with construction.



4. Protect

Protect our network by maintaining the following distances from our assets:

- › 1.0m Mechanical Excavators, Farm Ploughing, Tree Removal
- › 500mm Vibrating Plate or Wacker Packer Compactor
- › 600mm Heavy Vehicle Traffic (over 3 tonnes) not to be driven across Telstra ducts or plant
- › 1.0m Jackhammers/Pneumatic Breakers
- › 2.0m Boring Equipment (in-line, horizontal and vertical)



5. Proceed

You can proceed with your work only once you have completed all the appropriate preparation, potholing and protection.

Report any damage immediately



<https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment>



13 22 03

If you receive a message asking for an account or phone number say "I Don't have one" Then say "Report Damage" then press 1 to speak to an operator.

Relocating assets

If your project requires the relocation of a Telstra asset, please contact the Telstra Network Integrity Group:



[Request Asset Relocation Or Commercial Works \(telstra.com.au\)](https://telstra.com.au)



NetworkIntegrity@team.telstra.com



1800 810 443 (AEST business hours only)

Never try to move or alter our network infrastructure without authorisation. By law, only authorised people can work on our assets or enter a facility owned or operated by us. Any interference, including unauthorised entry or tampering, may result in legal action.

Further information

Plan enquiries



1800 653 935 (AEST business hours only)



Telstra.Plans@team.telstra.com

Information on how to find cables and request asset relocations:

<https://www.telstra.com.au/consumer-advice/digging-construction>

Asset Plan Readers

PDF [Adobe Acrobat Reader DC Install for all versions](#)

DWF [Download Design Review](#) | [DWF Viewer](#) | [Autodesk](#)

Disclaimer and legal details



*Telstra advises that the accuracy of the information provided by Telstra conforms to Quality Level D as defined in AS5488-2013.

It is a criminal offence under the Criminal Code Act 1995 (Cth) to tamper or interfere with telecommunications infrastructure.

Telstra will also take action to recover costs and damages from persons who damage assets or interfere with the operation of Telstra's networks.

By receiving this information including the indicative plans that are provided as part of this information package you confirm that you understand and accept the risks of working near Telstra's network and the importance of taking all of the necessary steps to confirm the presence, alignments and various depths of Telstra's network. This in addition to, and not in replacement of, any duties and obligations you have under applicable law.

When working in the vicinity of a telecommunications plant you have a "Duty of Care" that must be observed. Please read and understand all the information and disclaimers provided below.

The Telstra network is complex and requires expert knowledge to interpret information, to identify and locate components, to pothole underground assets for validation and to safely work around assets without causing damage. If you are not an expert and/or qualified in these areas, then you must not attempt these activities. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers. The 5 P's to prevent damage to Telstra assets are listed above. Construction activities and/or any activities that potentially may impact on Telstra's assets must not commence without first undertaking these steps. Construction activities can include anything that involves breaking ground, potentially affecting Telstra assets.

If you are designing a project, it is recommended that you also undertake these steps to validate underground assets prior to committing to your design.

This Notice has been provided as a guide only and may not provide you with all the information that is required for you to determine what assets are on or near your site of interest. You will also need to collate and understand all of the information received from other Utilities and understand that some Utilities are not a part of the BYDA program and make your own enquiries as appropriate. It is the responsibility of the entities undertaking the works to protect Telstra's network during excavation / construction works.

Telstra owns and retains the copyright in all plans and details provided in conjunction with the applicant's request. The applicant is authorised to use the plans and details only for the purpose indicated in the applicant's request. The applicant must not use the plans or details for any other purpose.

Telstra plans or other details are provided only for the use of the applicant, its servants, agents, or Certified Locating Organisation. The applicant must not give the plans or details to any parties other than these and must not generate profit from commercialising the plans or details.

Telstra, its servants or agents shall not be liable for any loss or damage caused or occasioned by the use of plans and or details so supplied to the applicant, its servants and agents, and the applicant agrees to indemnify Telstra against any claim or demand for any such loss or damage.

Please ensure Telstra plans and information provided always remains on-site throughout the inspection, location, and construction phase of any works.

Telstra plans are valid for 60 days after issue and must be replaced if required after the 60 days.

Data Extraction Fees

In some instances, a data extraction fee may be applicable for the supply of Telstra information. Typically, a data extraction fee may apply to large projects, planning and design requests or requests to be supplied in non-standard formats. For further details contact Telstra Planned Services.

Telstra does not accept any liability or responsibility for the performance of or advice given by a Certified Locating Organisation. Certification is an initiative taken by Telstra towards the establishment and maintenance of competency standards. However, performance and the advice given will always depend on the nature of the individual engagement.

Neither the Certified Locating Organisation nor any of its employees are an employee or agent for Telstra. Telstra is not liable for any damage or loss caused by the Certified Locating Organisation or its employees.

Once all work is completed, the excavation should be reinstated with the same type of excavated material unless specified by Telstra

The information contained within this pamphlet must be used in conjunction with other material supplied as part of this request for information to adequately control the risk of potential asset damage.

When using excavators and other machinery, also check the location of overhead power lines.

Workers and equipment must maintain safety exclusion zones around power lines

WARNING: Telstra plans and location information conform to Quality Level 'D' of the Australian Standard AS 5488 - Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans. **FURTHER ON SITE INVESTIGATION IS REQUIRED TO VALIDATE THE EXACT LOCATION OF TELSTRA PLANT PRIOR TO COMMENCING CONSTRUCTION WORK.** A plant location service is an essential part of the process to validate the exact location of Telstra assets and to ensure the assets are protected during construction works. The exact position of Telstra assets can only be validated by physically exposing them. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers.

Privacy Note

Your information has been provided to Telstra by BYDA to enable Telstra to respond to your BYDA request. Telstra keeps your information in accordance with its privacy statement. You can obtain a copy at www.telstra.com.au/privacy or by calling us at 1800 039 059 (business hours only).



OPENING ELECTRONIC MAP ATTACHMENTS -

Telstra Cable Plans are generated automatically in either PDF or DWF file types dependant on the site address and the size of area selected. You may need to download and install free viewing software from the internet e.g.



PDF Map Files (max size A3)

Adobe Acrobat Reader (<http://get.adobe.com/reader/>),



DWF Map Files (all sizes over A3)

Autodesk Viewer (Browser) (<https://viewer.autodesk.com/>) or

Autodesk Design Review (<http://usa.autodesk.com/design-review/>) for DWF files.
(Windows)



Telstra DBYD map related enquiries

email - Telstra.Plans@team.telstra.com

1800 653 935 (AEST Business Hours only)



REPORT ANY DAMAGE TO THE TELSTRA NETWORK IMMEDIATELY

Report online - <https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment>

Ph: 13 22 03

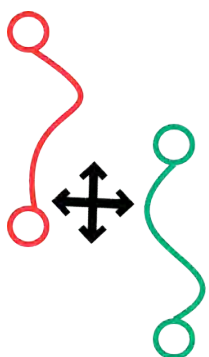
If you receive a message asking for a phone or account number say:

"I don't have one" then say "Report Damage" then press 1 to speak to an operator.



Telstra New Connections / Disconnections

13 22 00



Telstra asset relocation enquiries: 1800 810 443 (AEST business hours only).

NetworkIntegrity@team.telstra.com

<https://www.telstra.com.au/consumer-advice/digging-construction>

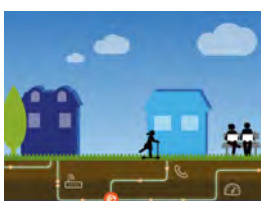
Certified Locating Organisation (CLO)

<https://dbydlocator.com/certified-locating-organisation/>



DBYDCertification

Please refer to attached Accredited Plant Locator.pdf



Telstra Smart Communities

Information for new developments (developers, builders, homeowners)

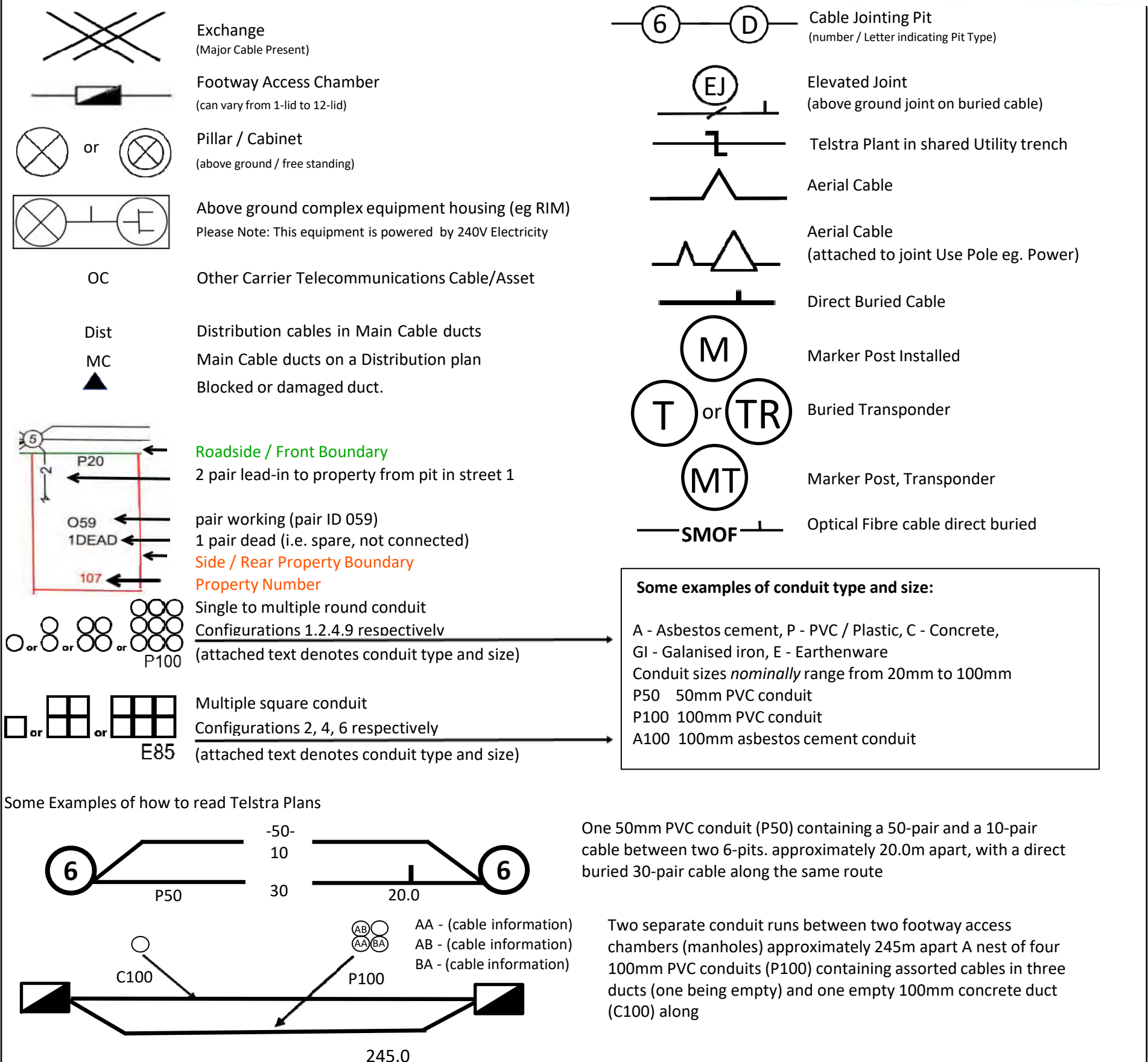
<https://www.telstra.com.au/smart-community>

LEGEND

IT'S HOW
WE CONNECT



For more info contact a [Certified Locating Organisation](#) or Telstra Plan Services 1800 653 935



WARNING: Telstra plans and location information conform to Quality Level 'D' of the Australian Standard AS 5488 - Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans. FURTHER ON SITE INVESTIGATION IS REQUIRED TO VALIDATE THE EXACT LOCATION OF TELSTRA PLANT PRIOR TO COMMENCING CONSTRUCTION WORK. A plant location service is an essential part of the process to validate the exact location of Telstra assets and to ensure the assets are protected during construction works. The exact position of Telstra assets can only be validated by physically exposing them. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers.

Date: 21/06/2023

Enquirer Name: Naxos Engineers
Enquirer Address: PO BOX 224
Email: rhani@naxosengineers.com.au
Phone: +611300598544

Dear Naxos Engineers

The following is our response on behalf of each of the TPG carriers (listed below) to your Before You Dig Australia enquiry – Sequence 226092655

It is provided to you on a confidential basis under the following conditions and must be shredded or securely disposed of after use.

Assets Affected: 93 Logan Road Woolloongabba

Carriers (each a “TPG carrier”) and assets affected:

AAPT/PowerTel

Location:

According to our records, the underground assets in the vicinity of the location stated in your enquiry are **AFFECTED**. Please read the below information and disclaimers in addition to the any attached plans provided prior to any construction activities.

IMPORTANT INFORMATION

- The information provided is valid for 30 days from the date of this response. If your work site area changes or your construction activity is beyond 30 days please contact Before You Dig Australia on 1100 or www.1100.com.au to re-submit a new enquiry.
- Due to the nature of underground assets and the age of some assets and records, our plans are indicative of the general location only and may not show all assets in the location. You should not solely rely on these plans when undertaking construction works. It is also inaccurate to assume depth or that underground network conduit and cables follow straight lines, and careful on-site investigations are essential to locate an asset's exact position prior to excavation. It is your responsibility to locate and confirm the exact location of our infrastructure using non-destructive techniques. We make no warranty or guarantee that our plans are complete, current or error free, and to the maximum extent permitted by law we exclude all liability to you, your employees, agents and contractors for any loss, damage or claim arising out of or in connection with using our plans.
- Please note that some of our conduits carry electrical cables and gas pipes. Please exercise extreme care when working within the vicinity of these conduit and take into account the minimum clearance distances under Duty Of Care below.
- You (and your employee and contractors) must not open, move, interfere, alter or relocate any of our assets without our prior approval.
- **Note** It is a criminal offence under the *Criminal Code Act 1995 (Cth)* to tamper or interfere with communication facilities owned by a carrier. Heavy penalties may apply for breach of this prohibition, and any damages suffered, or costs incurred by us as a result of such unauthorised works may be claimed against you.

DAMAGE

- You must report immediately any damage to our network on **1800 786 306** (24hrs). We will hold you liable and seek compensation for any loss or damage to our network, our property and our customers that is caused by or arises out of your activities.

DUTY OF CARE

You have a duty of care to carefully locate, validate and protect our assets when carrying out works near our infrastructure. For construction activities that may impact on or interfere with our network, you will need to call us on **1800 786 306** to discuss a suitable engineering solution, lead time and cost involved. The below precautions must be taken when working in the vicinity of our network:

- Contact us on **1800 786 306** to discuss and obtain relevant information and plans on our infrastructure in a particular location if the information provided in this response is insufficient.
- Physically locate and mark on-site our network infrastructure using non-destructive techniques i.e. pot holing or hand digging every 5 metres prior to commencing any construction activities. Assets located must be marked to AS5488 standard. **NO CONSTRUCTION WORK IS ALLOWED UNTIL THIS STEP IS COMPLETED.** You must use an approved telecommunications accredited locator, or we can provide a locator for you at your expense. If we provide you with a locator, and this locator attended the site and is proven to be grossly negligent in physically locating and marking our infrastructure, then to the extent any TPG carrier is liable for this locator's negligence, acts and omissions, the total liability aggregated for all TPG carriers is limited, at our option, to attend the site and re-mark the infrastructure or to pay for a third party to re-mark the infrastructure.
- If you require us to locate or monitor our infrastructure, please allow five business days' notice for us to respond.
- Ensure all information, including our network requirements and any associated plans provided by us are kept confidential and remain on-site throughout your construction works.

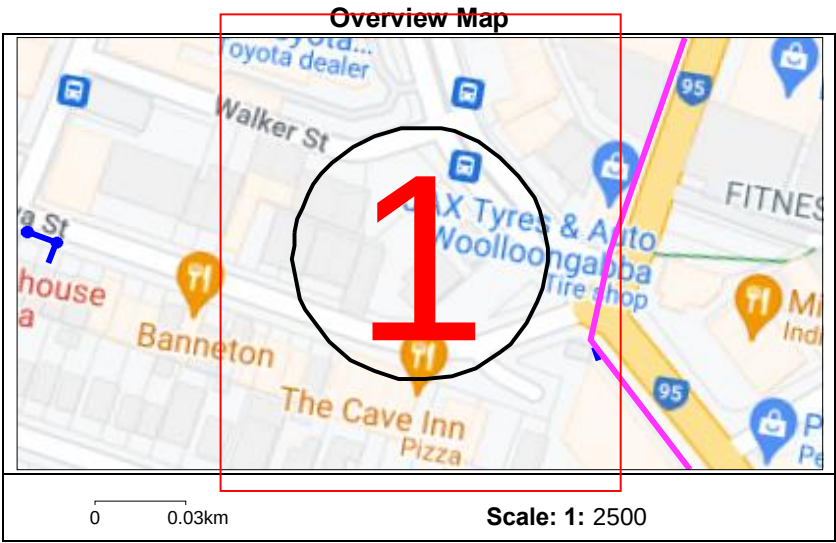
- Use suitably qualified and supervised professionals, particularly if you are working near assets that contain electricity cables or gas pipes.
- Ensure the below minimum clearance distances between the construction activities and the actual location of our assets are met. If you need clearance distances for our above ground assets, or if the below distances cannot be met, call **1800 786 306** to discuss.

Minimum assets clearance distances.

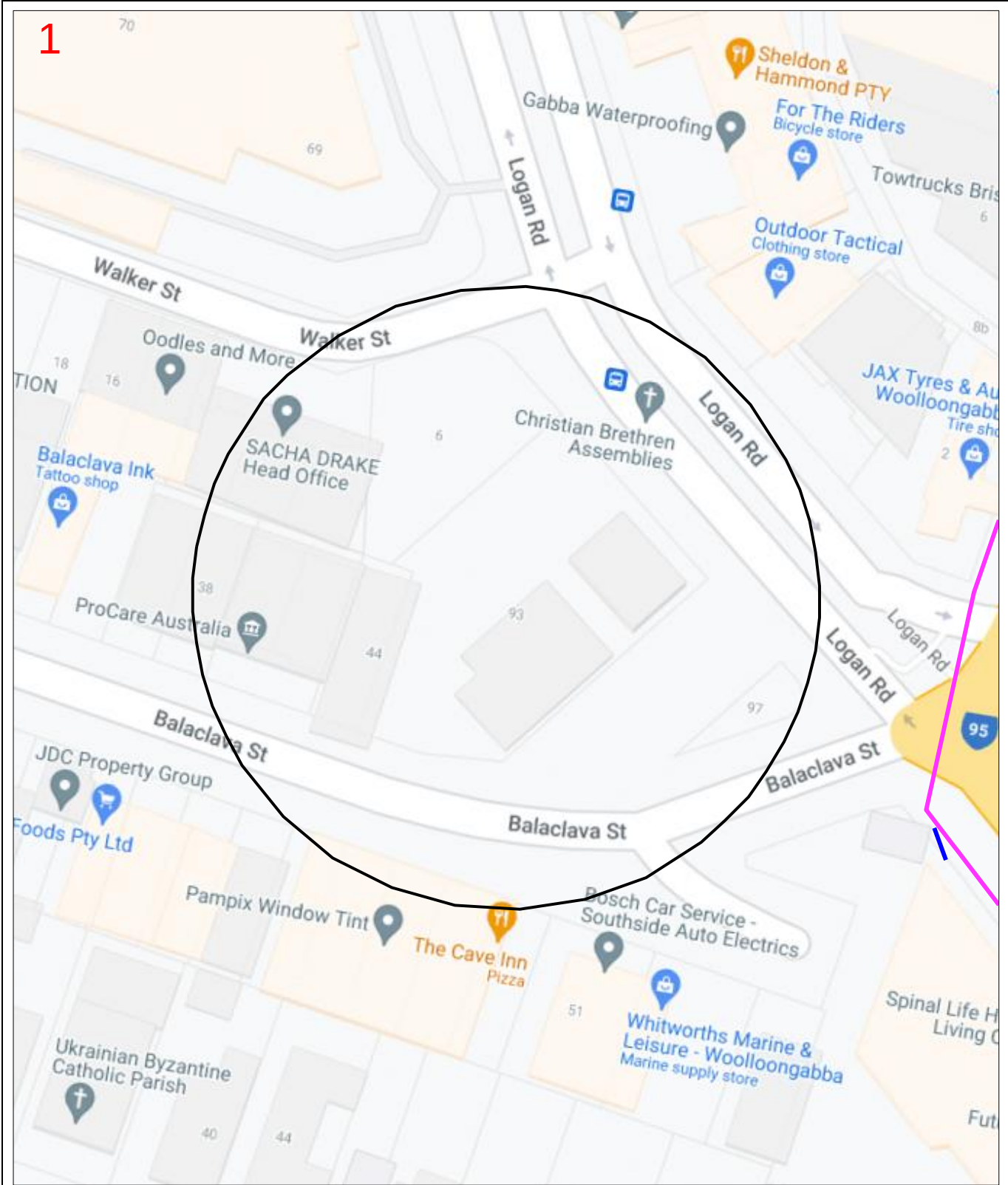
- 300mm when laying asset inline, horizontal or vertical.
 - 1000mm when operating vibrating equipment. Eg: vibrating plates. No vibrating equipment on top of asset.
 - 1000mm when operating mechanical excavators or jackhammers/pneumatic breakers.
 - 2000mm when performing directional bore in-line, horizontal and vertical.
 - No heavy vehicle over 3 tonnes to be driven over asset with less than 600mm of cover.
- Reinstate exposed TPG network infrastructure back to original state.

PRIVACY & CONFIDENTIALITY

- Privacy Notice – Your information has been provided to us by Before You Dig Australia to respond to your Before You Dig Australia enquiry. We will keep your personal information in accordance with TPG’s privacy policy, see www.tpg.com.au/about/privacy.
- Confidentiality – The information we have provided to you is confidential and is to be used only for planning and designing purposes in connection with your Before You Dig Australia enquiry. Please dispose of the information by shredding or other secure disposal method after use. We retain all intellectual property rights (including copyrights) in all our documents and plans.



TPG Telecom Limited



Enquiry Number: 226092655

Map Sheet: 1

Scale: 1: 750

0 0.008km

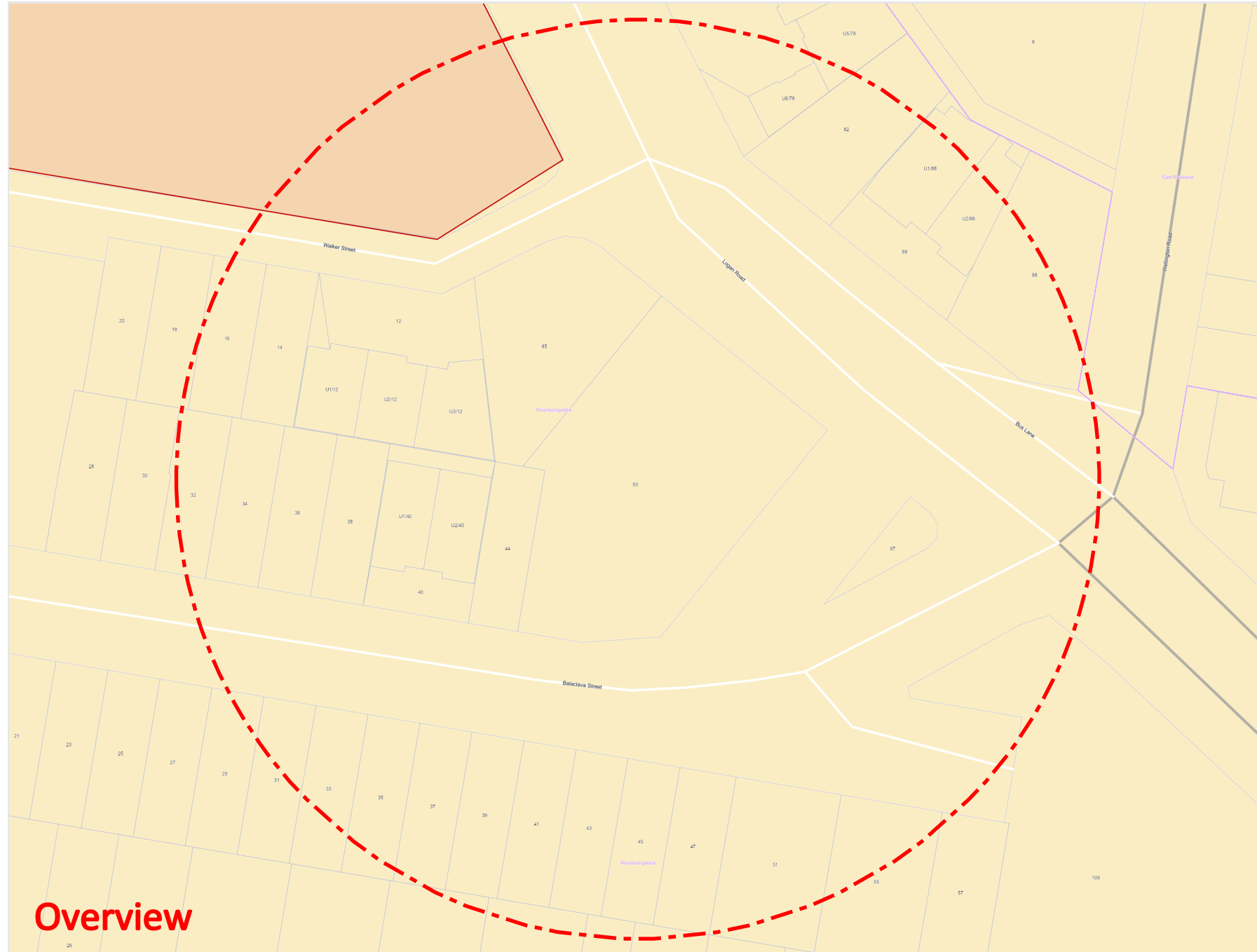
N

LEGEND

BYDA Work Area

AAPT/PowerTel Pit	●	TransACT Pit	●
AAPT/PowerTel Duct	—	TransACT Duct	—
DDA Pit	●	SOUL Pattinson Telecoms Pit	●
DDA Duct	—	SOUL Pattinson Telecoms Duct	—
Agile/Adam Pit	●	PIPE Networks Pit	●
Agile/Adam Duct	—	PIPE Networks Duct	—

DISCLAIMER: No responsibility/liability is taken by TPG Telecom Limited for any inaccuracy, error, omission or action based on the information supplied in this correspondence. © 2022 TPG Telecom Limited.



Legend

-  Transurban Asset Area
-  DBYD Search Area



© State of Queensland (Department of Natural Resources, Mines and Energy) 2020

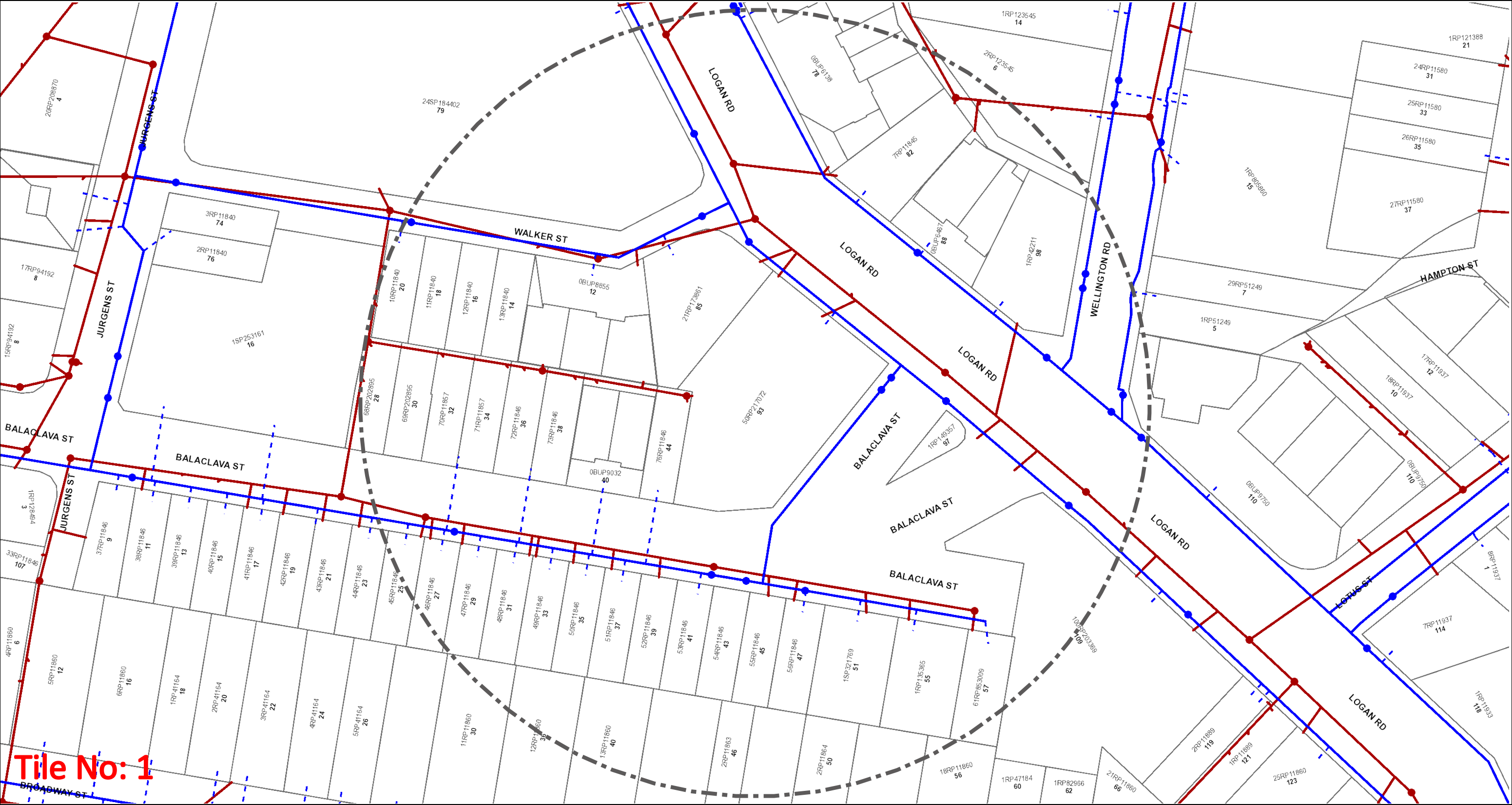


Scale: 1:1000
Expires: 19 Jul 2023

DISCLAIMER: While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Transurban Queensland nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

Overview

Urban Utilities - Water, Recycled Water and Sewer Infrastructure





Dial Before You Dig - Urban Utilities Water, Recycled Water and Sewer Infrastructure

DBYD Reference No: 226092656

Date DBYD Ref Received: 21/06/2023

Date DBYD Job to Commence: 05/07/2023

Date DBYD Map Produced: 21/06/2023

This Map is valid for 30 days

Produced By: Urban Utilities

Sewer

- Infrastructure
- ◆ Major Infrastructure
- Network Pipelines
- ▨ Network Structures

Water

- Infrastructure
- ◆ Major Infrastructure
- Network Pipelines
- ▨ Network Structures
- - - Water Service (Indicative only)



Map Scale

1:1000

While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Urban Utilities nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

The plans are indicative and approximate only and provided without warranties of any kind, express or implied including in relation to accuracy, completeness, correctness, currency or fitness for purpose.

Urban Utilities takes no responsibility and accepts no liability for any loss, damage, costs or liability that may be incurred by any person acting in reliance on the information provided on the plans.

This plan should be used as guide only. Any dimensions should be confirmed on site by the relevant authority.

Based on or contains data provided by the State of Queensland (Department of Natural Resources and Mines) [2020]. In consideration of the State permitting the use of this data you acknowledge and agree that the State gives no warranty in relation to the data (including accuracy, liability in negligence) for any loss, damage or costs (including consequential damage) relating to any use of the data. Data must not be used for direct marketing or be used in breach of the privacy laws. © State of Queensland Department of Natural Resources and Mines [2020]

For further information, please call Urban Utilities on 13 26 57 (8am-6pm weekdays). Faults and emergencies 13 23 64 (24/7).

www.urbanutilities.com.au

ABN 86 673 835 011

Plans generated [21 Jun 2023] by PelicanCorp TicketAccess Software | www.pelicancorp.com

AU.Urban Utilities (QLD) - Response Plan.docx (2020)

Important Information

Disclaimer

All Urban Utilities' records, data and information supplied via DBYD ("Data") is **indicative** only. You agree that any Data supplied to you has been or will be provided only for your convenience and has not been and will not be relied upon by you for any purpose.

You also agree that Urban Utilities does not assume any responsibility or duty of care in respect of, or warrant, guarantee or make any representation as to the Data (including its accuracy, reliability, currency or suitability).

Because the location of Urban Utilities' infrastructure shown on the Data is approximate only, you must first physically locate the infrastructure by utilising relevant site detection methodologies prior to performing any works or undertaking any activities near or adjacent to infrastructure. Possible site detection methodologies include hand digging, potholing, trenching and/or probing. You are solely responsible for the selection of appropriate site detection methodologies at all times.

To the fullest extent permitted by law, Urban Utilities will not be liable to you in contract, tort, equity, under statute or otherwise arising from or in connection with the provision of any Data to you via DBYD.

Compliance with laws

There may be both indicated and unmarked hazards, dangers or encumbrances, including underground asbestos pipes and abandoned mains within your nominated search area. You are solely responsible for ensuring that appropriate care is taken at all times and that you comply with all mandatory requirements relating to such matters, including in relation to workplace health and safety.

Damaged Infrastructure

Please note that it is an offence under Section 192 of the *Water Supply (Safety and Reliability) Act 2008* to interfere with our infrastructure without Urban Utilities' written consent.

You may be liable to Urban Utilities for any loss of or damage to our infrastructure, together with any consequential or indirect loss or damage (including without limitation, loss of use, loss of profits or loss of revenue) arising from or in connection with any interference with Urban Utilities' infrastructure by you or any other person for which you are legally responsible.

Any damage to Urban Utilities' Infrastructure must be reported immediately to the (24 Hours) Faults and Emergencies Team on 13 23 64.

Links

Technical Standards: <https://urbanutilities.com.au/development/help-and-advice/standards-and-guidelines>

Copyright

All Data is copyright.

21/06/2023

Naxos Engineers
Not Supplied
PO BOX 224
Spring Hill QLD 4004

Dear Naxos Engineers

DIAL BEFORE YOU DIG - JOB: 34454336 SEQ: 226092651

Thank you for your enquiry regarding the below mentioned area.

Enquiry Date: 21/06/2023
Address: 93 Logan Road
Suburb: Woolloongabba
State: QLD, 4102

Additional Information:

YES – We can confirm, the Vocus Group has Fibre Optic Services within the vicinity.

Please find attached a copy of the services plan for the location you have specified. These plans are valid for 30 days from the date requested.

IMPORTANT INFORMATION

Drawings and plans provided by the Vocus Group are reference diagrams which were correct at the time the asset was built. Exact ground cover and alignments cannot be provided with any certainty, as these may alter over time. Depth of the Telecommunications asset can vary considerably as can alignments. The plans provided are to be used as a guide only.

Identifying the Vocus Group asset visually is critical. Information on how this can be arranged is provided in this document.

Please email Damage.Relocations@vocus.com.au for general enquiries about the information provided within this response.

Yours sincerely,
Vocus Group DBYD Team

EMERGENCY CONTACT: 1800 262 663

Vocus Group
Level 12, 60 Miller Street
NORTH SYDNEY NSW 2060
T: 1300 88 99 88 E: info@vocus.com.au

DUTY OF CARE

The Constructor has a legal “Duty of Care” that must be observed when working in the vicinity of any Vocus Group asset.

It is the responsibility of the Constructor to design their works with no impact to the Vocus Group asset.

The Constructor must;

- a. Obtain and review plans for a specified area through Dial Before You Dig within a reasonable timeframe before construction begins.
- b. Visually locate the Vocus Group asset, using a Vocus Group Accredited Locator who will vacuum excavate (potholing) where construction activities may damage or interfere with the Vocus Group asset. Refer to ***“Clearances for Work in the Vicinity of the Vocus Group Asset”*** section below for more information.
- c. Contact the Vocus Group if the Vocus Group asset is wholly or partly located near planned construction activities.

NOTE: Plans are provided free of charge from DBYD. Request for plans of a larger area may incur a cost.

DAMAGE

The Constructor will be held responsible for all asset damage when work commences prior to obtaining the Vocus Group plans, or failure to follow instructions.

ANY DAMAGE TO THE VOCUS GROUP ASSET MUST BE REPORTED TO 1800 262 663 IMMEDIATELY

The Vocus Group reserves all rights to recover compensation for loss or damage to its cable network or other property including consequential losses.

ASSET RELOCATIONS

The Constructor is not permitted to relocate or alter any Vocus Group asset or network under any circumstance.

For all enquiries relating to the relocation of a Vocus Group asset please email Damage.Relocations@vocus.com.au

RESOLUTION OF POINTS OF CONFLICT

Should asset location and potholing reveal points of conflict between the Constructors planned works and the existing Vocus Group asset, the Constructor should contact the Vocus Group for advice and to discuss possible solutions.

Please contact the Fibre Assurance Team

Phone: 1800 262 663

Email: Damage.Relocations@vocus.com.au

ASSESSMENT OF RISK AND PROTECTIVE ACTIONS

Where “Protective works” are required around existing the Vocus Group asset, a solution will be confirmed on a case by case basis. The cost of the Protective works are the responsibility of the Constructor and the works will be carried out by a Vocus Group Accredited Contractor.

Where “Relocation works” of the Vocus Group asset is part of an agreed solution, a Project Manager will be assigned to work with the Constructor. The cost of the Relocation works are the responsibility of the Constructor and the works will be carried out by a Vocus Group Accredited Contractor.

Region	Onsite Locations Contact	Phone	Mobile	Fax	After Hours
Sydney, NSW	QC Communications	(02) 9620 2407		(08) 9620 1701	
Alice Springs, NT	Chambers Engineering	(08) 8955 5022	0418 837 833 0427 971 931	(08) 8955 5322	
Darwin, NT	Anywair Electrics		0418 890 071		0418 890 071
Darwin, NT	Northern Comm.'s		0407 904 319		0407 904 319
Brisbane, QLD	Optilinx	(07) 3901 7353	A/Hours or Emergency 0404 010 658	(07) 3901 7352	
Adelaide, SA	TPC	(08) 8376 5911		(08) 8376 5944	
Melbourne, VIC	Linktech	(03) 8805 0300			
Perth, WA	Abaxa	1300 369 642	A/Hours or Emergency 0411 746 657	(08) 9256 2922	

**If any of the above numbers are uncontactable and your call is urgent,
please call the Vocus National Service Desk on 1800 262 663**

The Vocus Group accepts no liability for the information provided to the Constructor by the Locators listed above.

Further to this, the Constructor acknowledges that the Locator is the agent of the Constructor and that the Vocus Group takes no responsibility for the Locators' acts or omissions.

- For all work within 2.5 metres of nominal location, the Constructor is required to prove the actual location of the asset by potholing and exposing before commencing work.
- Potholing to expose and locate the Vocus Group asset is required before work commences and every 3 metres where the Constructors works are parallel to the Vocus Group asset.
- The Constructor is responsible for all asset damages when works commence without the Vocus Group plans or by failure to follow advice and/or instructions from the Vocus Group.

NOTE: No machinery shall be used within 1 metre of the Vocus Group asset until the actual location has been determined by potholing using hand tools.

NOTE: No heavy earth working machinery shall be used within 5 metres of the Vocus Group asset until the actual location has been determined by potholing using hand tools.

CLEARANCES FOR WORK IN THE VICINITY OF THE VOCUS GROUP ASSET

These figures represent the minimum clearance cover to be maintained over the Vocus Group asset. Please note that the actual cover over existing asset may be greater or less than recommended figures. Exact alignment and depths cannot be given with certainty as such levels can change over time.

Footpath and Verge Areas	450mm
Roadways	600mm

These figures represent the minimum clearance between construction and actual location of the Vocus Group asset.

Jackhammers / Pneumatic Breakers	Not within 2.5 metres of actual location
Vibrating Plate or Wacker Packer Compactors	Not within 500mm of actual location
Heavy Vehicle Traffic	Not to be driven across the Vocus Group asset with less than 600mm cover. The Constructor is to check the depth by potholing using hand tools.
Mechanical Excavators	Not within 1 metre of actual location. The Constructor is to pothole and expose the asset using hand tools.
Boring Equipment (in-line, horizontal and vertical)	Not within 2.5 metres of actual location. The Constructor is to pothole and expose the asset.

Access to the Vocus Group pits must remain accessible and at ground level at all times.

Any information provided is valid for 30 days only from the date of issue of this document. If the works extend beyond this period, or if the designs are altered in any way, you are requested to re-submit your proposal for re-assessment by contacting Dial Before You Dig.

Phone 1100 or check the website for more details <http://www.1100.com.au>

Schedule	The Criminal Code
Chapter 10	National infrastructure
Part 10.6	Telecommunications Services
Division 474	Telecommunications offences

474.6 Interference with facilities

(1) A person is guilty of an offence if the person tampers with, or interferes with, a facility owned or operated by:

- (a) a carrier; or
- (b) a carriage service provider; or
- (c) a nominated carrier.

Penalty: Imprisonment for 1 year.

(2) For the purposes of an offence against subsection (1), absolute liability applies to the physical element of circumstance of the offence, that the facility is owned or operated by a carrier, a carriage service provider or a nominated carrier.

(3) A person is guilty of an offence if:

(a) the person tampers with, or interferes with, a facility owned or operated by:

- (i) a carrier; or
- (ii) a carriage service provider; or
- (iii) a nominated carrier; and

(b) this conduct results in hindering the normal operation of a carriage service supplied by a carriage service provider.

Penalty: Imprisonment for 2 years.

(4) For the purposes of an offence against subsection (3), absolute liability applies to the following physical elements of circumstance of the offence:

- (a) that the facility is owned or operated by a carrier, a carriage service provider or a nominated carrier;
- (b) that the carriage service is supplied by a carriage service provider.

(5) A person is guilty of an offence if:

(a) the person uses or operates any apparatus or device (whether or not it is comprised in, connected to or used in connection with a telecommunications network); and

(b) this conduct results in hindering the normal operation of a carriage service supplied by a carriage service provider.

Penalty: Imprisonment for 2 years.



SEQUENCE NUMBER: 226092651
JOB NUMBER: 34454336
ADDRESS: 93 Logan Road, Woolloongabba, QLD 4102

LEGEND



Vocus Group Pit



Vocus Group Conduit

SCALE: 1:1000