

ATTACHMENT 4

Revised Landscape Report

Prepared by:
Lat Studios

AMENDED

By: Jennifer Davison

Date: 24-Sep-25



**PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL**

Approval no: DEV2024/1507

Date: 25/09/2025



332-334 WATER STREET PRECINCT

LANDSCAPE DA REPORT
05.08.25 | REVISION C



DOCUMENT REGISTER

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ACKNOWLEDGEMENT FOR COUNTRY

LatStudios commit to supporting the health and wellbeing of Country, by respecting, valuing and being guided by First Nations people.

Engaging and Respectful Consultation

LatStudios are currently engaged on several projects working with different traditional custodians, working in line with the protocols established by the Australian Institute of Landscape Architects' Reconciliation Action Plan. We work with experienced engagement consultants to facilitate a respectful dialogue with a focus on listening and being open to guidance.

AILA Reconciliation Action Plan summary:

- Acknowledge and respect traditional owners across Australia as the traditional custodians of Country.
 - To honour Elders past, present and emerging and ensure the continuation of culture and traditional practices
 - A 'Connection to Country' approach to landscape planning, design and management
 - A collaborative journey to better understand and engage with Country in a respectful and consultative way and to build ongoing relationships with traditional owners
 - Four (4) key areas for development - each area has a number of actions and deliverables which aim to:
 - actively monitor progress of actions
 - build internal and external relationships
 - participate in and celebrate NAIDOC Week
 - raise RAP awareness
 - increase employment and supplier diversity
 - increase educational opportunities
1. Relationships
 2. Respect
 3. Opportunities
 4. Governance and Tracking

Link to AILA's RAP:
<https://www.aila.org.au/documents/AILA%20Reflect%20RAP%202018-19%20-%20RA%20endorsed.pdf>

QUALIFICATION

LatStudios has been commissioned to provide the landscape concept package for the Development Application submission to EDQ, for the proposed development at 332-334 Water Street, Fortitude Valley, Brisbane.

This submission has been prepared with consideration for the requirements detailed within:

- EDQ Bowen Hills PDA Development Scheme
- Brisbane City Plan 2014
- Critical Infrastructure and Movement Network Overlay Code
- Streetscape Hierarchy Overlay Code

This report provides advice on the public realm, the streetscape and common landscape zones within the proposed development and how they will deliver best practice design that responds to context, climate and function of space.

This report should be read in conjunction with Architectural, Town Planning, Heritage, Traffic, Civil and Stormwater Management Reports.

Please also refer to the architectural design report for development application by Woods Bagot for more detail related to the building, public plaza spaces and intermediate landscape levels within the building.



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01

CONTEXT

SITE & LOCATION

LatStudios have been commissioned by Pellicano to prepare a Development Application Landscape Concept Report for their 332-334 Water Street project.

This report provides advice on the public realm, the streetscapes, elevated roof terrace spaces within the proposed development and how they will deliver on best practice design that responds both to public realm benefits for the precinct and occupant amenity.

This report should be read in conjunction with Architectural, Civil Engineering, Traffic and Town Planning Reports.

Address	332-334 Water Street, Fortitude Valley
Site Area	4,819m ²
Local Area Plan	Bowen Hills Priority Development Area
Traditional Place Name/Owners	Turrbal & Jagera

332-334 Water Street, Fortitude Valley is located approximately 1.5km from the city centre and is afforded close proximity to Victoria Park, local public and active transport and the Valley commercial and entertainment precinct. The site lies within the Bowen Hills PDA area under the jurisdiction of EDQ. The site will also enjoy expansive views of the city and Story Bridge from the upper levels of the building.

The site enjoys a northerly aspect and will gain long views in all directions from the upper levels of the two towers.

The site is adjacent the Cottage, Drill Hall and Orderly Room, all Local Heritage buildings, located to the upper north east side of the site with entry off Diggles Close and Trinity Street. The heritage places will form part of the overall design fabric and will link back to the central focus within the proposed development's landscape and public realm.

KEY

- 1 Lady Gowrie Child Centre
- 2 Lloyd's General Store
- 3 Oxford Tower's Cafe
- 4 Old Museum Brisbane
- 5 Royal International Convention Centre
- 6 Manny's Music
- 7 Oxford Towers (Apartments)
- 8 BackDock Arts
- 9 Brisbane Showgrounds Parking
- Local & State Heritage Places
- Bus stops
- 01 Site Survey views (See p.6-7 for images)



Figure 01: Site Context Map (Image courtesy of Nearmap)

CHARACTER OF PLACE

The City Centre Neighbourhood Plan locates the site within the EDQ Bowen Hills Priority Development Area, transitioning from medium and high density built form in Fortitude Valley to low and medium scale toward Spring Hill and Bowen Hills.

Water Street sits on the cusp of the Bowen Hills Priority Development Area and the city’s northern suburbs. The site’s fringe location is rich with opportunity to create a portal from the inner north into the city centre.

Proximity to Victoria Park, Brisbane Showgrounds and Brisbane City brings a myriad of lifestyle opportunities and affords iconic views to and from the site, with long views towards the city centre to the south and Mt Coot-tha to the west. The site is also within walking distance of several major cultural, entertainment and employment hubs in and around the northern fringes of the city, including:

- + Brunswick Street Mall & Chinatown, Fortitude Valley
- + King Street, Bowen Hills & Brisbane Showgrounds
- + Victoria Park/Barrambin
- + Royal Brisbane & Women’s Hospital
- + St Pauls Terrace, Spring Hill & Fortitude Valley
- + Gregory Terrace, Spring Hill & Bowen Hills

Importantly, and worthy of note is the proximity of this proposed development to the BNE 2032 Olympic Games event venues and Athlete’s Village. The Water Street site will be within walking distance of the proposed stadium at Victoria Park, Athlete’s Village at the Brisbane Showgrounds and the proposed aquatic centre at Spring Hill. This is an exciting addition to the urban fabric of the local area and heightens the need of this proposed development to support the projected growth.

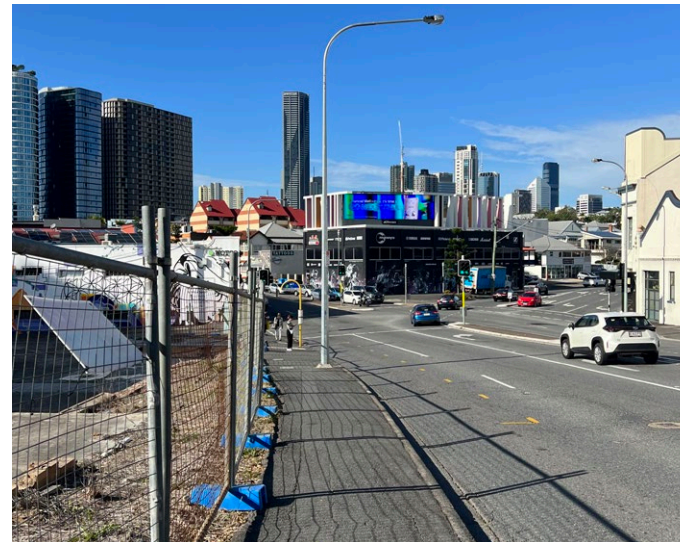


01 CONTEXT

SITE SURVEY



01 Brunswick Street frontage facing south towards Water Street



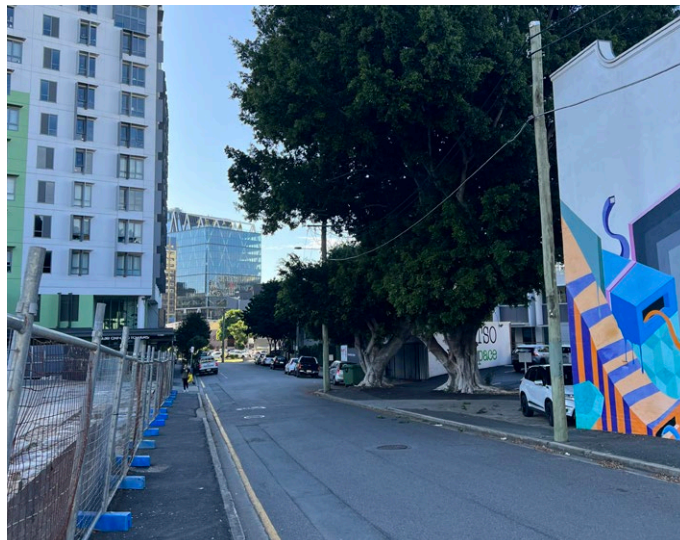
02 Brunswick Street frontage adjacent site facing Water Street intersection



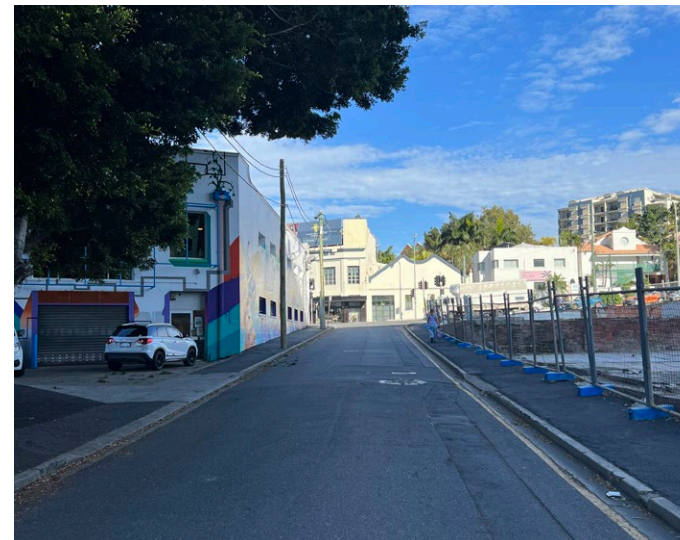
03 Water Street intersection facing north west



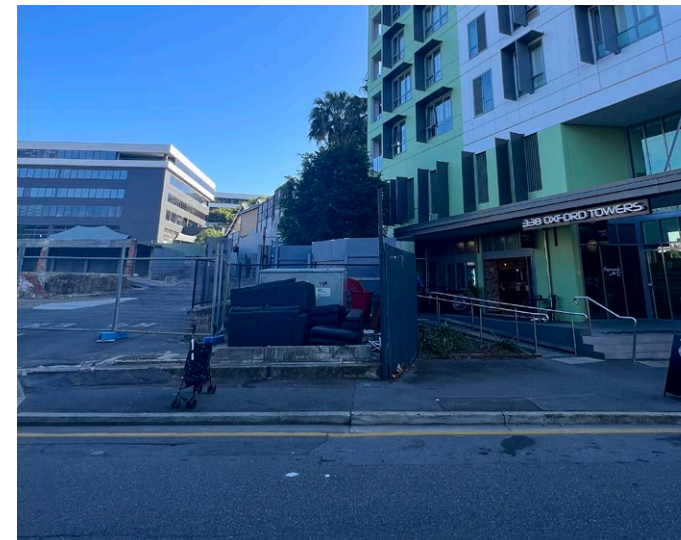
04 Water Street facing north west towards Brunswick Street



05 Water Street facing south east towards Trinity Street and Baxter Street intersection



06 Water Street facing towards Brunswick Street intersection

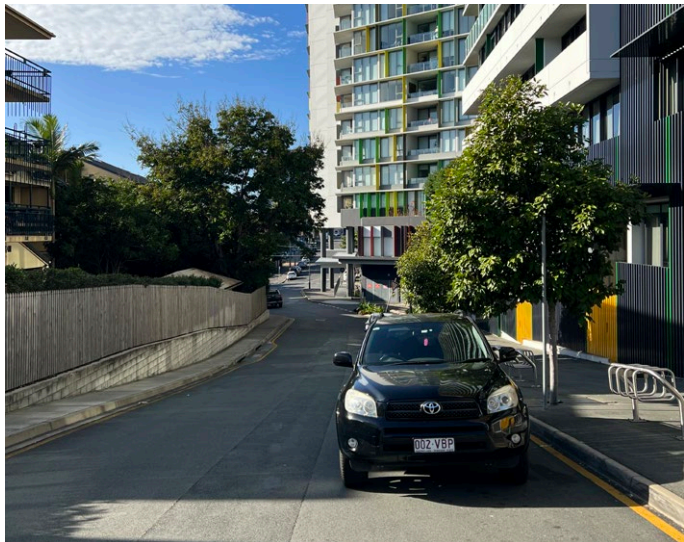


07 Intersection between site and adjacent Oxford Towers building



08 Water Street facing towards Brunswick Street intersection and streetscape interfaces

SITE SURVEY



09 Trinity Street facing south east towards Water Street and Baxter Street intersection



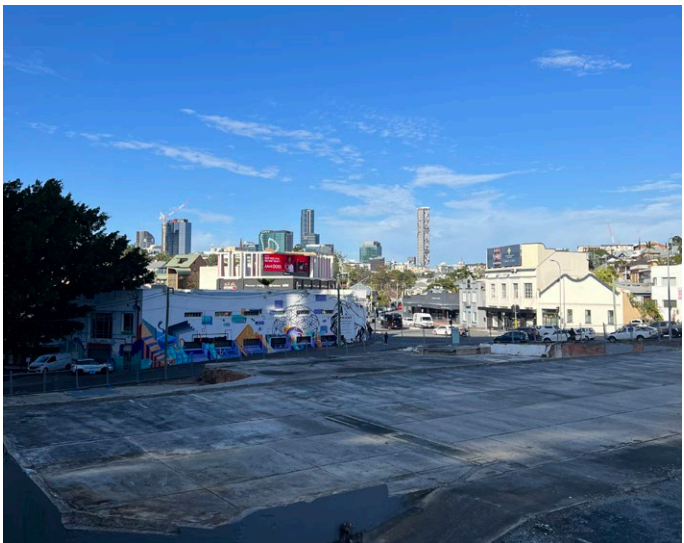
10 Corner of Trinity Street and Diggles Close facing south east towards Oxford Towers buildings



11 Corner of Trinity Street and Diggles Close facing south west towards Local Heritage listed buildings



12 Facing south west towards the Orderly Room, a Local Heritage listed building



13 City view facing south west from adjacent the Orderly Room, a Local Heritage listed building



14 Facing corner of Diggles Close and Trinity Street adjacent Drill Hall, Local Heritage listed building, and Oxford Towers



15 Water Street and Brunswick Street intersection facing north towards site



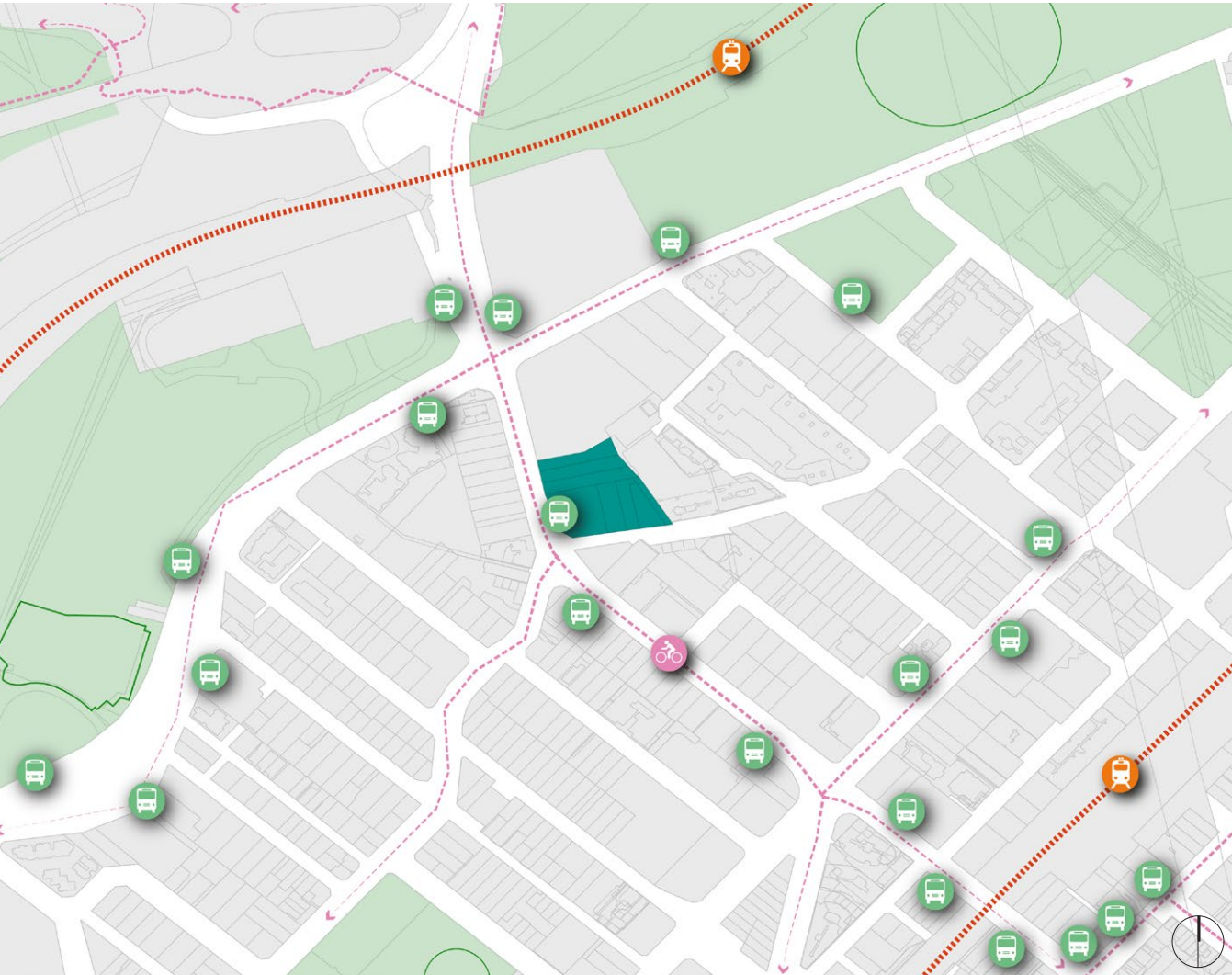
16 Water Street facing south east towards site and Brunswick Street intersection

01

CONTEXT

SITE ANALYSIS

The following diagrams identify potential links and connections to the site precinct



TRANSPORT

KEY

QLD Rail station/corridor

Cycle routes

Bus stations

Site

Community facilities



CENTRES & NODES

KEY

Landmark

Significant corner

Plaza

Arterial road

Suburban road

Neighbourhood road

Inner City Bypass

Major city node

Medium city node

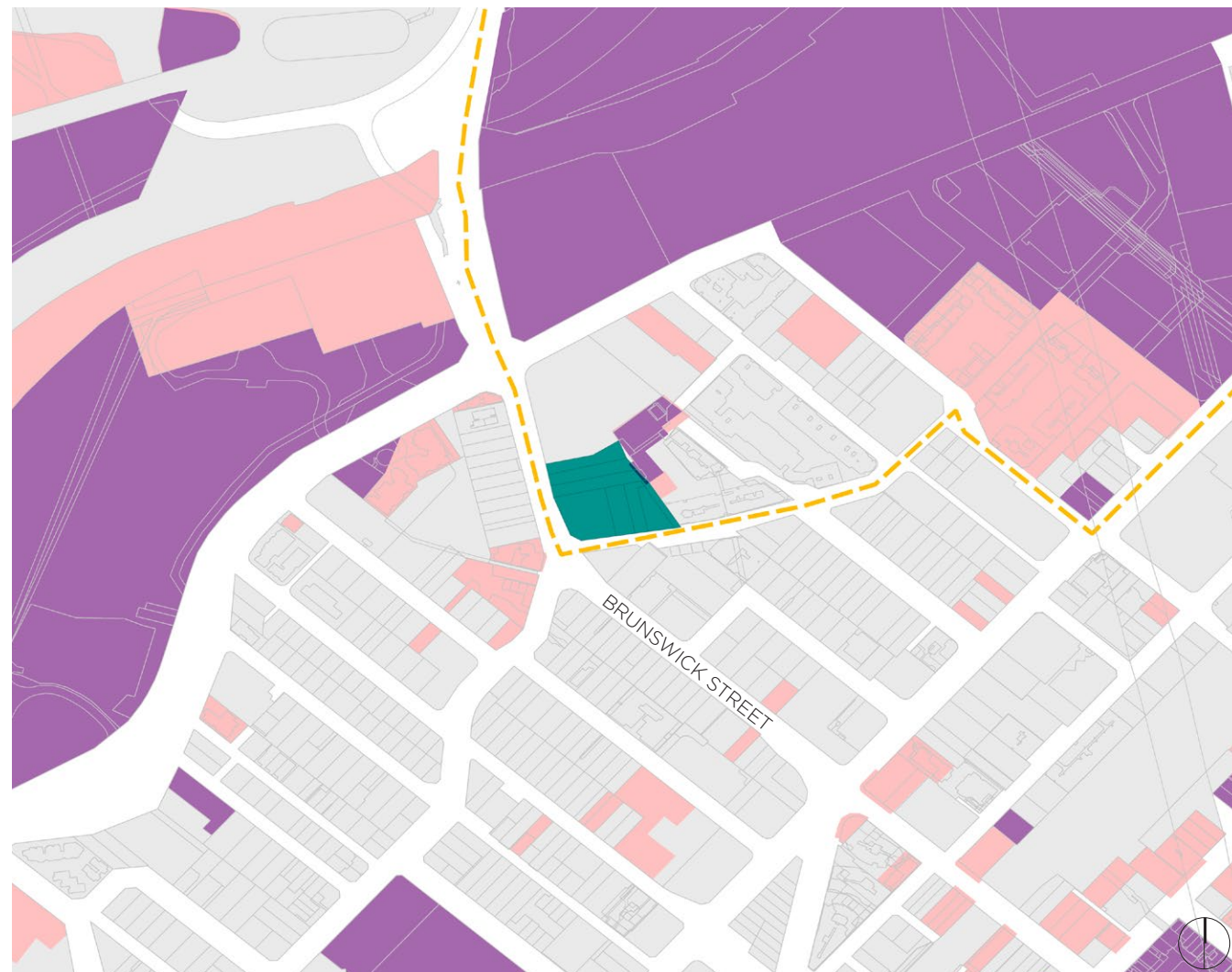
Cross block link

Subtropical boulevard - in centre verge width 3.75m/4.25m

Centre street - minor

Site

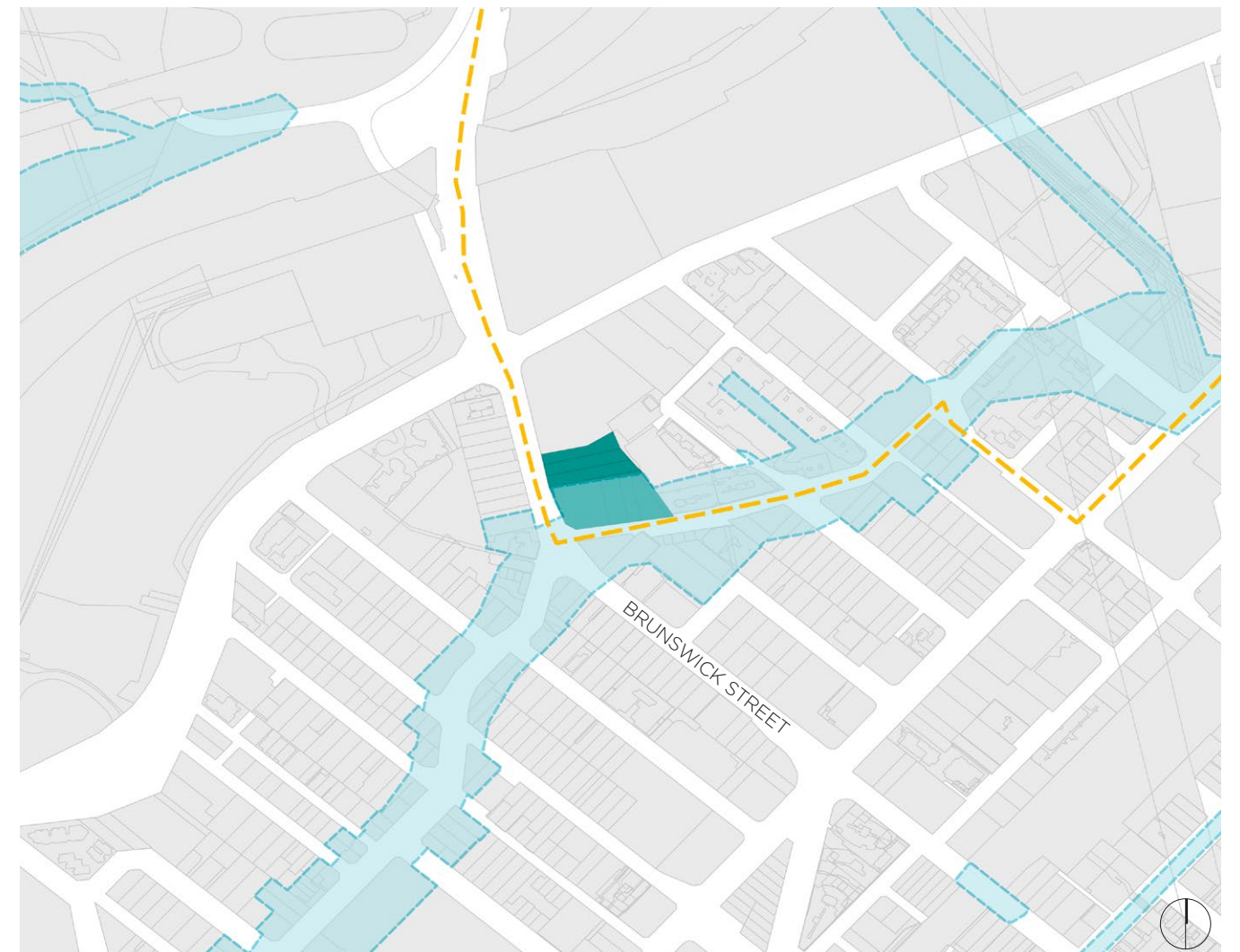
Community facilities



HERITAGE

KEY

- State heritage place
- Local heritage place
- Site
- EDQ's Bowen Hills PDA Boundary



FLOODING

KEY

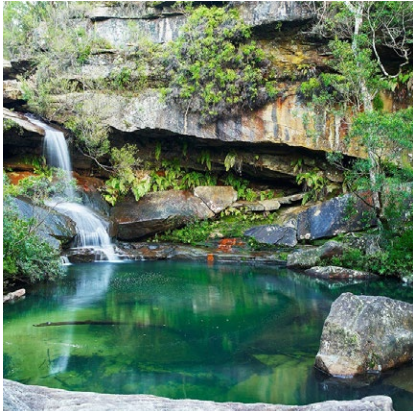
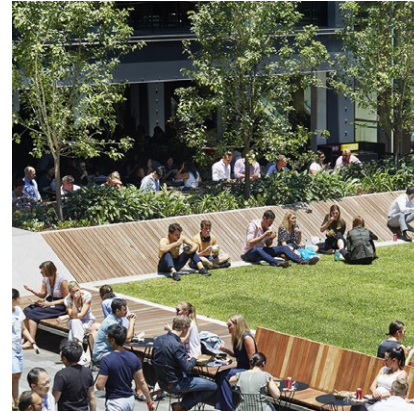
- Overland flow flood planning area
- Site
- EDQ's Bowen Hills PDA Boundary

02

DESIGN STRATEGY

KEY CONTEXTUAL PRINCIPLES

Six key principles have been used to guide the approach at 332-334 Water Street.

1 PEOPLE COME FIRST  COMFORT - SHADE + SHELTER AMENITY - SEATING + SPACES FOR ALL VARIETY + SCALE - LOCAL VIBRANCY + CHARACTER CONNECTIVITY - PEOPLE WATCHING + GATHERING	2 SENSE OF PLACE  CELEBRATE - CELEBRATE SITE HISTORY VIA ARTWORK + CULTURAL EVENTS UNIQUE FEATURES - ELEMENTS OF DELIGHT + SURPRISE CLIMATE - TAKE ADVANTAGE OF LOCAL CLIMATIC CONDITIONS RESOURCES - NATURALLY + LOCALLY SOURCED MATERIALS LIFESTYLE - ENJOYING THE LOCAL ENVIRONMENT	3 CONNECTIVITY  LEGIBILITY - RECOGNISABLE DESTINATIONS (IE EXITS + ENTRIES) SIGHT LINES - CLEAR SIGHT LINES + MINIMAL SIGNAGE CLUTTER PERMEABILITY - DIVERSE CONNECTIONS, DESIRE LINES + ACTIVE FRONTAGES CONNECTION TO NATURE - INTEGRATE + ABSTRACT THE NATURAL ENVIRONMENT	4 ADAPTABLE + COMPLEX  DIVERSITY - ACCOMMODATE DIVERSE RANGE OF SPACES + ACTIVITIES ADAPTABLE - TECHNICAL + FUNCTIONAL STRATEGIES ACTIVE FRONTAGES - RESPONSIVE TO DIFFERENT MODES + CLIMATES SPECIFICITY - PUBLIC REALM REFLECTS SITE CHARACTER, MATERIALS + PROGRAM FUTURE PROOFING - ROOM FOR ONGOING DEVELOPMENT	5 EPHEMERA  EXTENDED HOURS - SPACE FUNCTIONALITY ACROSS DAY + NIGHT UNIQUE OVERLAY - EVENT/PROGRAM OVERLAY RELATED TO SITE, SEASON AND/OR USERS LIGHTING - LIGHTING RESPONDS TO EVENTS/MODES CREATING EXPERIENCE MOVEABLE - MOVABLE ELEMENTS ENSURE PLACE FLEXIBILITY	6 MULTIPLE BENEFITS  USABILITY - DINING, ENTERTAINMENT, RECREATION, TRANSPORT + SHELTER OUTDOOR LIFESTYLE - PROVIDE OPTIONS FOR INDOOR/OUTDOOR SPACES ACTIVITY - OFFER AN ARRAY OF PASSIVE + PHYSICAL ACTIVITIES
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SITE SPECIFIC DESIGN STRATEGIES

CREATIVE LIGHTING (AESTHETICS, PERCEPTION + SAFETY)

The creative lighting strategy across the site will focus on highlighting key design elements through subtle integration of fittings into wall recesses, uplighting and overhead catenary lights. Opportunities also exist for in-ground directional lighting in plaza spaces or entries, utilising the numerous building columns and tree canopies. A coloured lighting sequence can also be developed for ephemeral effects to ensure there is change over time and the lighting experience changes with each visit.



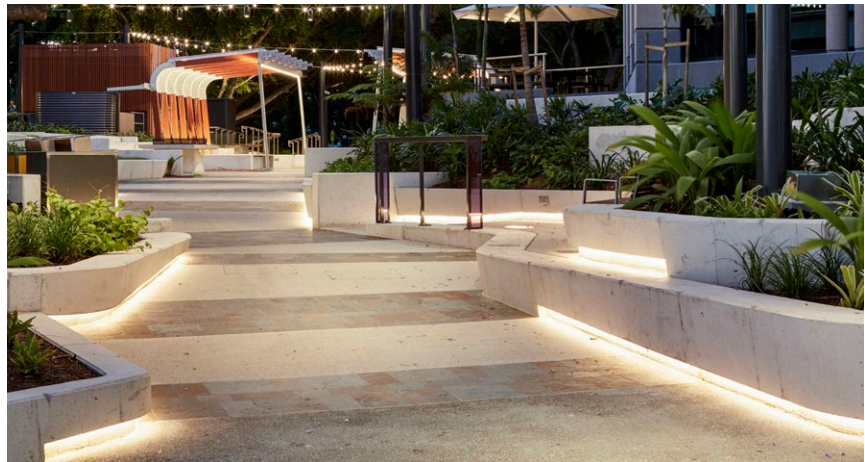
Overhead lighting on tensile structures using building columns to help define space or draw pedestrians into site



Opportunities for coloured lighting to water features site wide lighting strategy



In-ground lighting to highlight plaza spaces and fairy lighting in tree canopies



Strip lighting recessed into walls & bench seats to highlight nodes

INTEGRATED PUBLIC ART, HERITAGE INTERPRETATION & WAYFINDING

The site offers a rich canvas for integrated public art and heritage interpretation to physically illustrate the site's heritage including the adjacent heritage listed buildings and the 'water story' component of the landscape narrative. These elements may be integrated into water features, seat walls and pavements at key nodes where optimum benefit and exposure will be received. Way-finding will also be a critical element in the landscape to assist in navigation through the site with connections to key building entries and communal gathering and recreation areas.



Cascading water feature and water bodies connecting street to common



Feature brick detailing in walls with signage



Story telling panels integrated into key landscape features



Etched and inlaid story telling into pavements



Vertical trellis & tensile structures to connect levels or span between void spaces

02
DESIGN STRATEGY

EXPLORATION OF HERITAGE - THE WATER STREET STORY

“In the 1860s before Water Street had been established and named, a stream of fresh water flowed through this valley. (BCC, 2015).”



01 Hill Street running down to Water Street, ca 1915. State Library of Queensland, Negative No. 90327

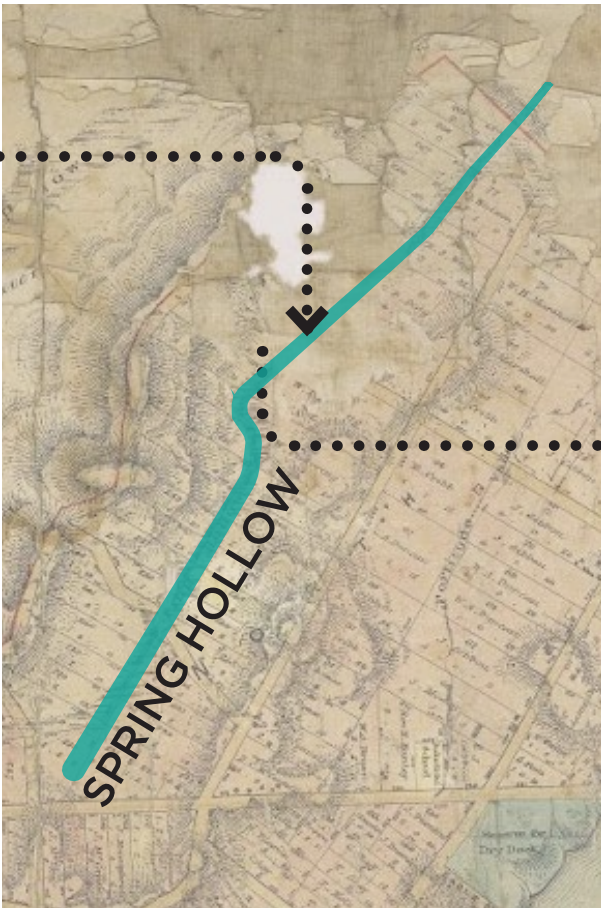


02 Municipal Baths, Spring Hill, 1910, Brisbane City Council, Negative No. BCC-B54-A1082

“It was known as Spring Hollow and followed the same alignment as today’s Water Street (BCC, 2015).”



03 Map of Brisbane development in 1858 (BCC Archives)



04 Zoomed in area of Spring Hollow on map of Brisbane development in 1858 (BCC Archives)

“The stream helped to provide the early settlement with a supply of fresh water (BCC, 2015).”



05 Aerial of Water Street and surrounding context (Nearmap, 2022)

**HONOURING THE HISTORY OF WATER STREET
USING CONTEMPORARY LANDSCAPE ELEMENTS**

- + interpretative signage
- + fluid and organic forms
- + layered planting to soften edges
- + cascading water and white noise
- + water story journey by connecting finishes in the precinct



02 DESIGN STRATEGY

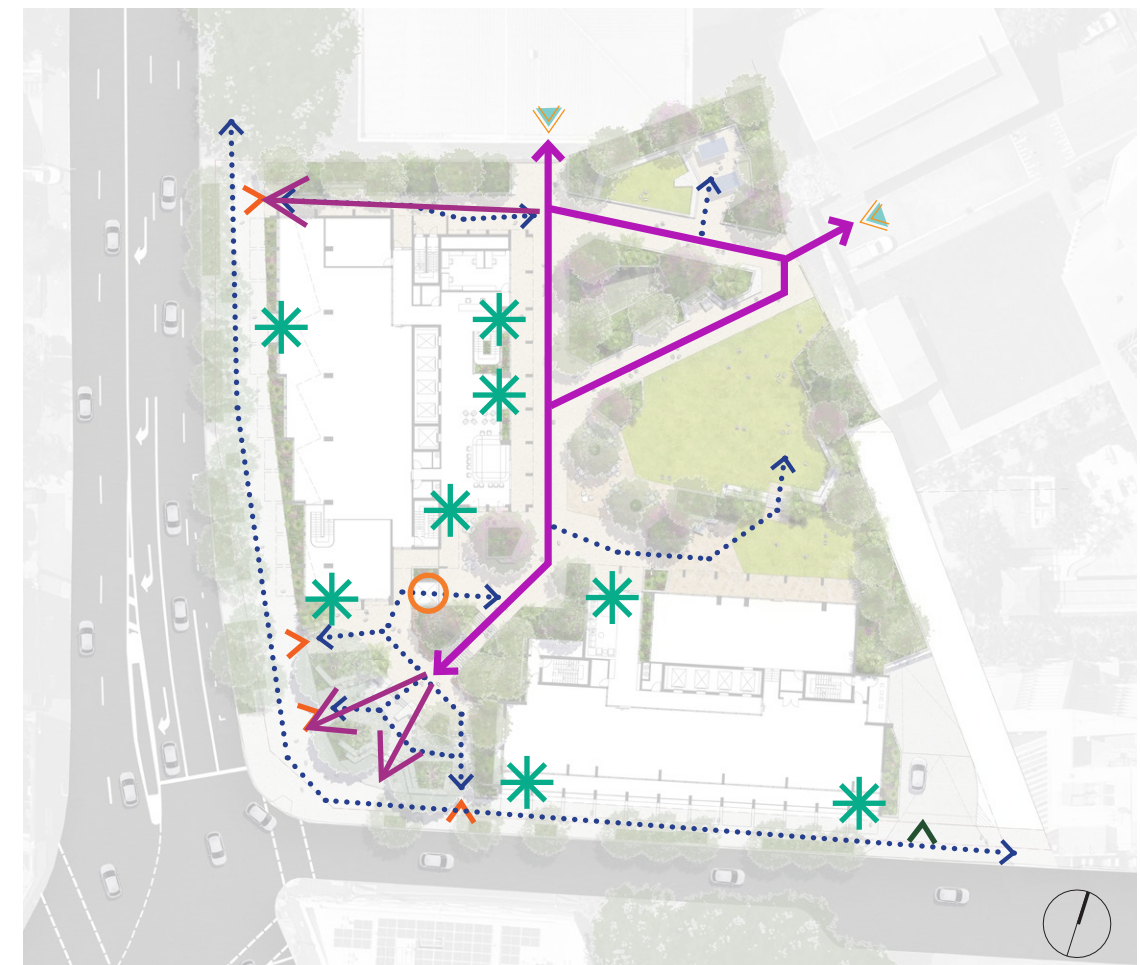
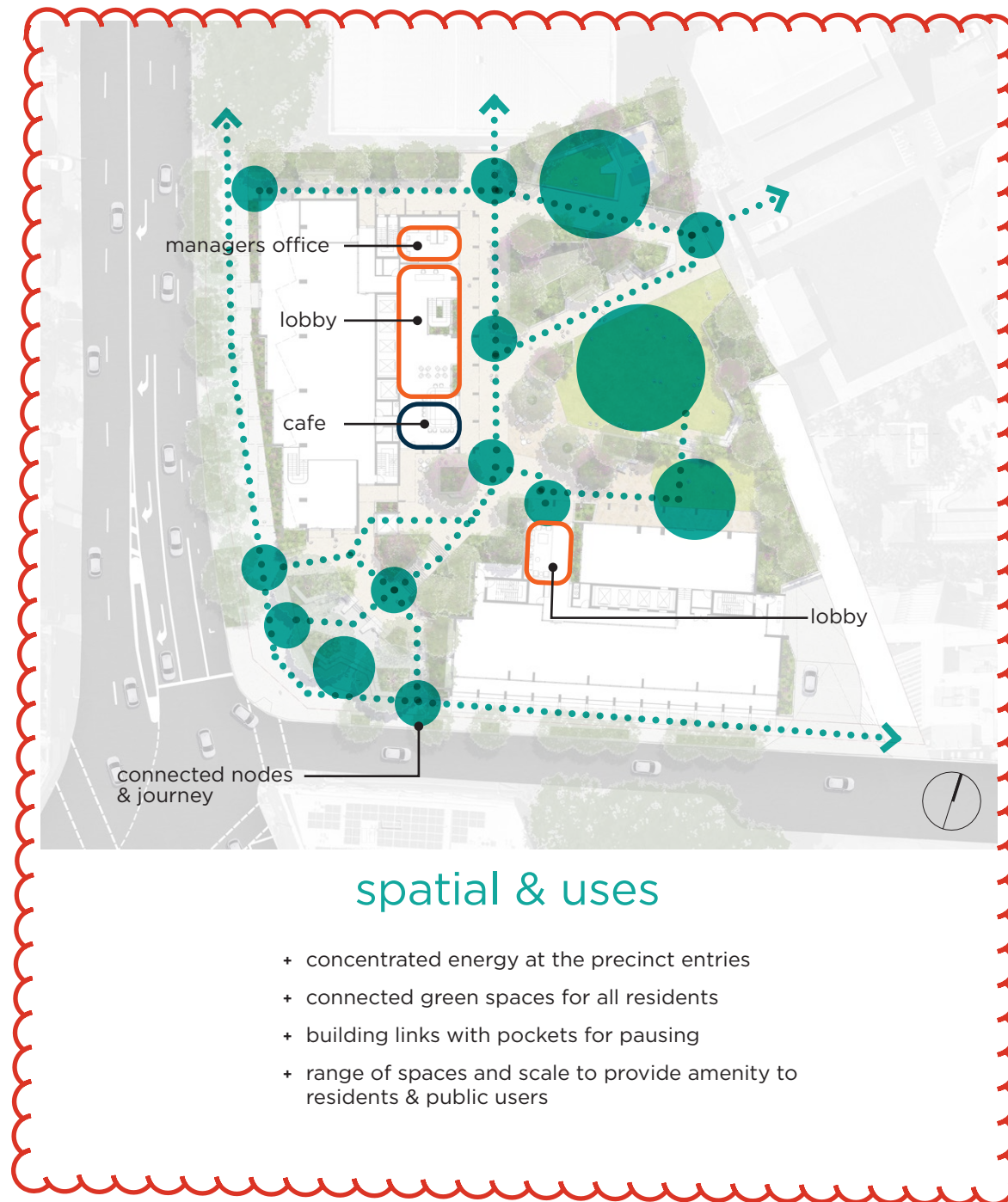
AMENDED

By: Jennifer Davison

Date: 24-Sep-25



DESIGN DIAGRAMS





landscape structure

-  + primary feature trees (large canopy)
-  + secondary feature trees (striking form/flower)
-  + BCC streetscapes
-  + Open lawn area (public)
-  + buffer planting
-  + key view line - planting to allow views through



landscape experiences

-  + node (includes feature landscape elements)
-  + Open lawn area (public)
-  + topography transition (terrace level change)
-  + heritage interpretation opportunities
-  + feature lighting (catenary)

03 CONCEPT DESIGN

AMENDED

By: Jennifer Davison

Date: 24-Sep-25



LANDSCAPE SCOPE

KEY

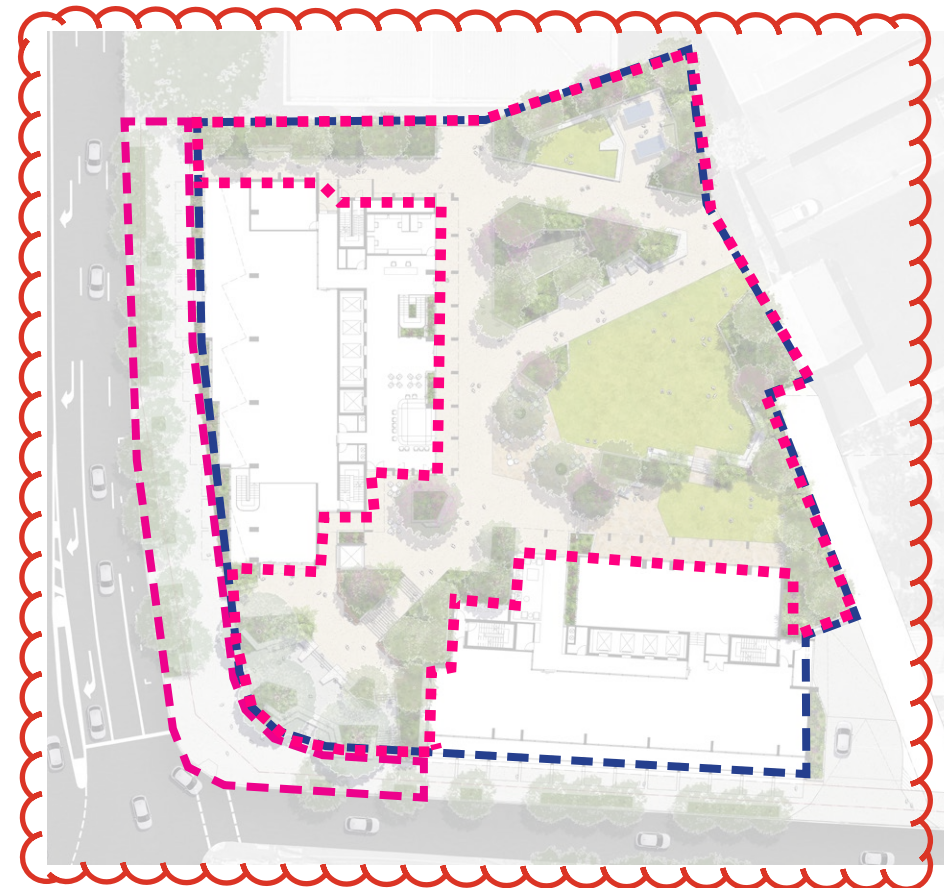
- Public
- Communal
- Private



upper/lower ground

landscape scope for this level includes:

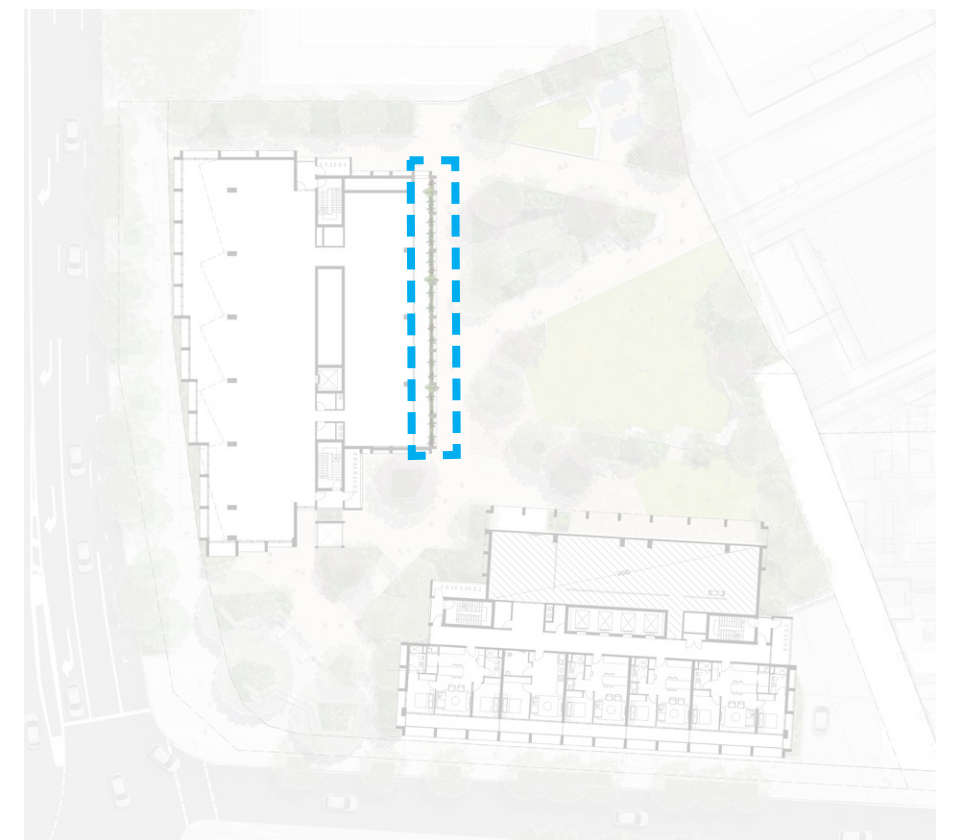
- + porte cochere
- + tower 2 streetscape interface landscape planters
- + vehicle basement entry/exit landscape
- + Water Street BCC streetscape



plaza level

landscape scope for this level includes:

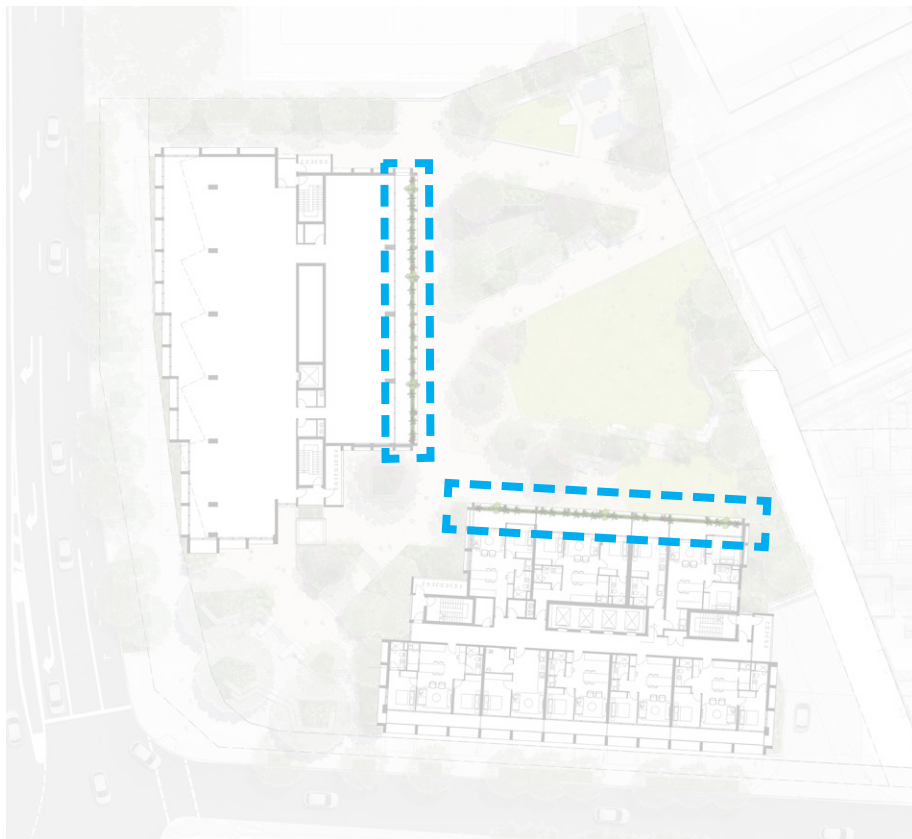
- + lower plaza to streetscape
- + tower 1 landscaped interface with brunswick street
- + public plaza
- + tower 2 building facade planters



level 03

landscape scope for this level includes:

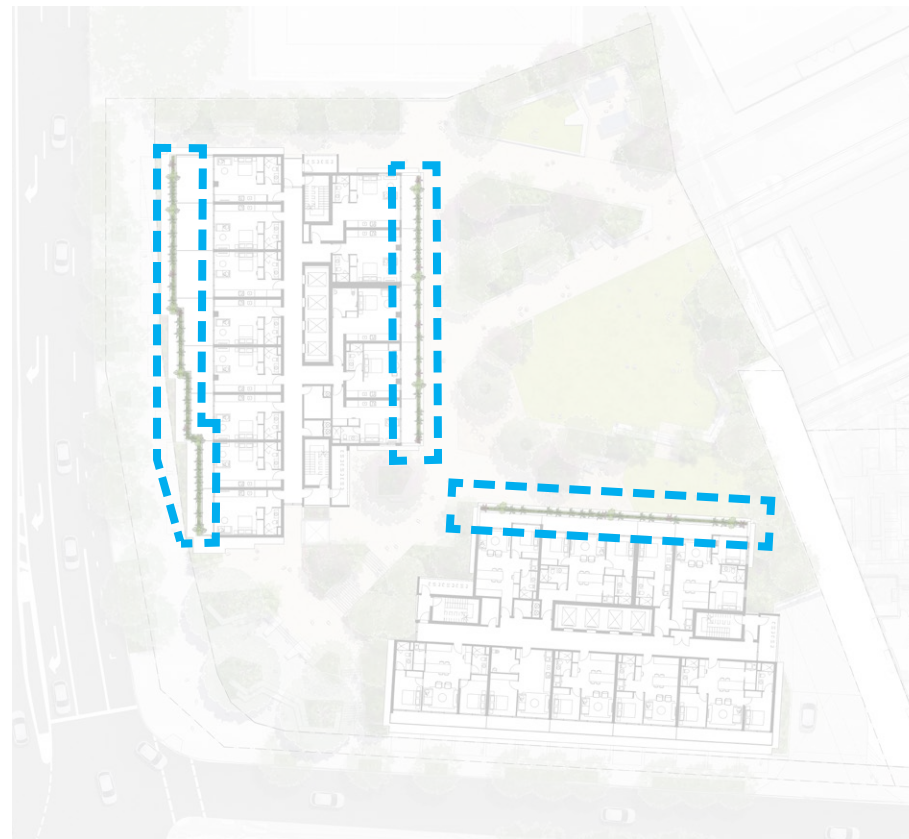
- + tower 01 facade planters (800mm depth)
- + tower 01 balcony planters (800mm depth)



level 04

landscape scope for this level includes:

- + tower 01 facade planters (800mm depth)
- + tower 01 balcony planters (800mm depth)
- + tower 02 facade planters (800mm depth)
- + tower 02 balcony planters (800mm depth)



level 05

landscape scope for this level includes:

- + tower 01 balcony planters (800mm depth)
- + tower 02 facade planters (800mm depth)
- + tower 02 balcony planters (800mm depth)



rooftops

landscape scope for this level includes:

- + tower rooftop landscaped communal recreation space

03 CONCEPT DESIGN

UPPER GROUND & LOWER GROUND CONCEPT PLAN

KEY

- 1 Stair access from street
 - 2 Raised planter
 - 3 BCC exposed aggregate finish
 - 4 Driveway crossover
 - 5 Street trees in planting areas
 - 6 Streetscape plaza - refer p.19
 - 7 Brunswick St streetscape - refer p.19
 - 8 Vehicle stopping bay
 - 9 Ramp to basement access
 - 10 Feature tree in raised planter through void
 - 11 Void extents to plaza level above
- Break line between Lower Ground & Upper Ground

Streetscape Notes:

- Water Street is categorised as a BCC Centre Street - Minor with an asphalt finish. With Brunswick Street having a concrete finish the exposed aggregate finish will continue along Water Street up to the driveway crossover.



SCALE 1:400 0 10 20m

PLAZA LEVEL & BRUNSWICK STREET CONCEPT PLAN

KEY

- 1 Stair access from street
 - 2 Direct access from street
 - 3 BCC exposed aggregate finish
 - 4 Driveway crossover
 - 5 Street trees in planting areas
 - 6 Street trees in tree grates
 - 7 Streetscape furniture (bench seats or bins)
 - 8 Building edge planting at streetscape level
 - 9 Heritage Building
 - 10 Trees in deep planting
 - 11 Bench seating
-  Basement Extends Below



03
CONCEPT DESIGN

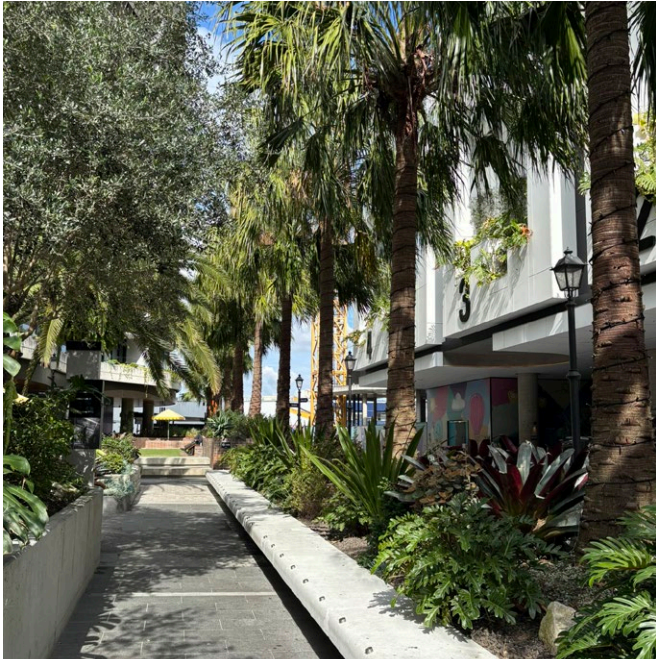
DETAIL PLAN 01 - STREETScape LEVEL & PLAZA



dense layered subtropical planting



planting integrated with level changes & steps



feature palms & trees to frame views



suspended artwork & lighting



active edges & informal outdoor dining

PLAN KEY

- 1 Feature large canopy tree
- 2 Landscape seating terraces
- 3 Tall columnar trees to frame view
- 4 Informal outdoor dining / cafe
- 5 Open lawn area (public)
- 6 Plaza link between towers
- 7 Bench seating
- 8 Landscape stairs
- 9 BCC pavement finish
- 10 Feature pavement finish
- 11 Streetscape tree in tree grate
- 12 Streetscape tree in planting area
- 13 Dense layered planting
- 14 Open lawn / spill out from commercial area

Falls protection



SCALE 1:200 0 5 10m

03
CONCEPT DESIGN

DETAIL PLAN 02 - PLAZA (PUBLIC)



generous turf breakout spaces & integrated seating



terraces and shaded seating edges



outdoor table tennis for group activity



shaded seating benches to edges



open lawn area for flexible use and programming



open lawn framed with dense buffer planting

PLAN KEY

- 1 Feature large canopy tree
- 2 Landscape seating benches
- 3 Heritage buildings
- 4 Informal outdoor dining / cafe
- 5 Tall columnar trees to frame view
- 6 Plaza link between towers
- 7 Outdoor table tennis w/ seating
- 8 Bench seating w/ tables
- 9 Terraced seating to frame lawn
- 10 Feature pavement finish
- 11 Open lawn (public) flush w/ pavement
- 12 Main open lawn area (public)
- 13 Upper lawn - extension from wellness & gym
- 14 Steps to upper plaza level
- 15 Void to level below w/ feature planting
- 16 Building awning extents
- 17 Dense planting buffer to neighbouring property
- 18 Lawn connection to adjacent property lawn area

— — — Basement extents below

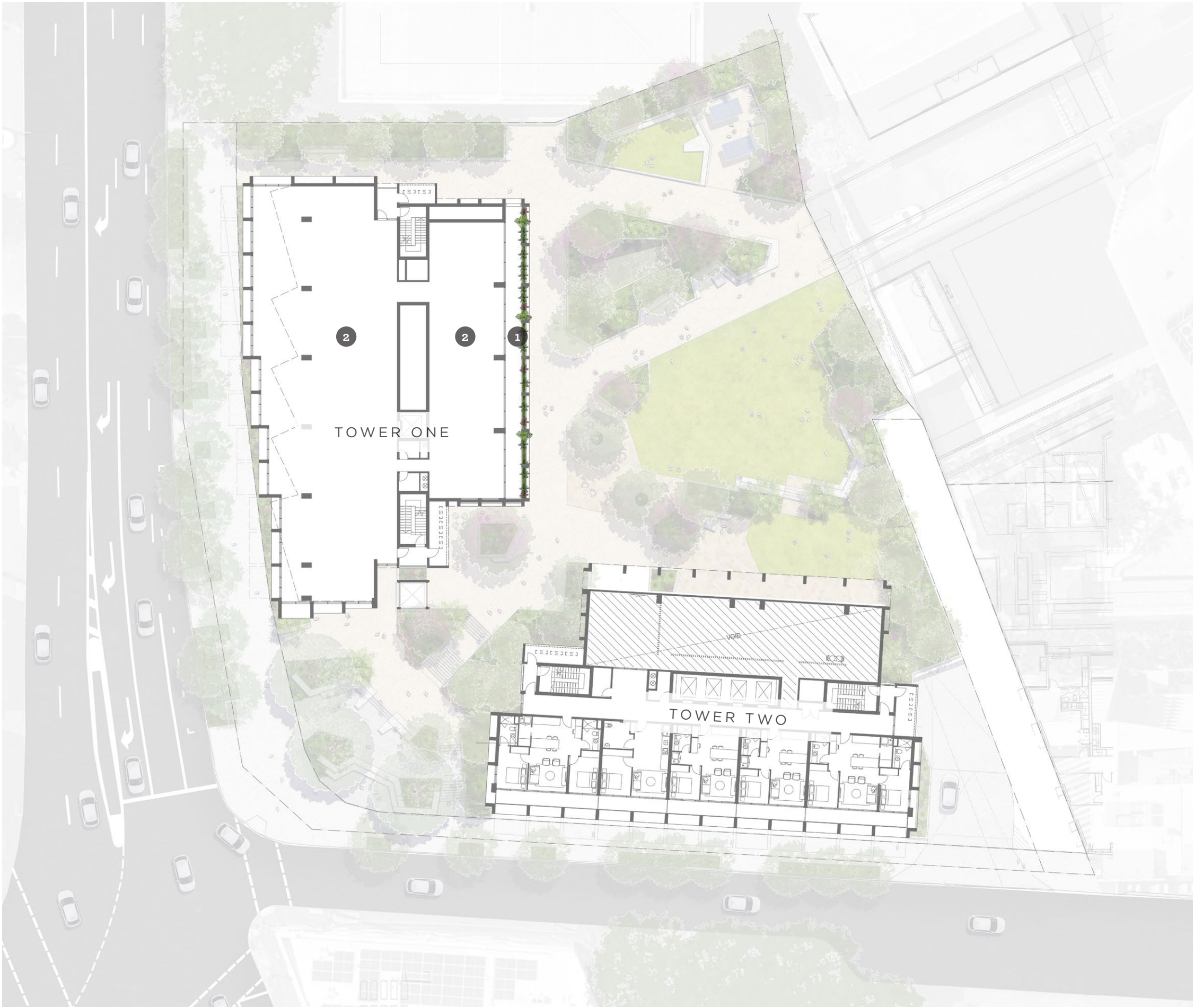


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03
CONCEPT DESIGN

LEVEL 3 CONCEPT PLAN

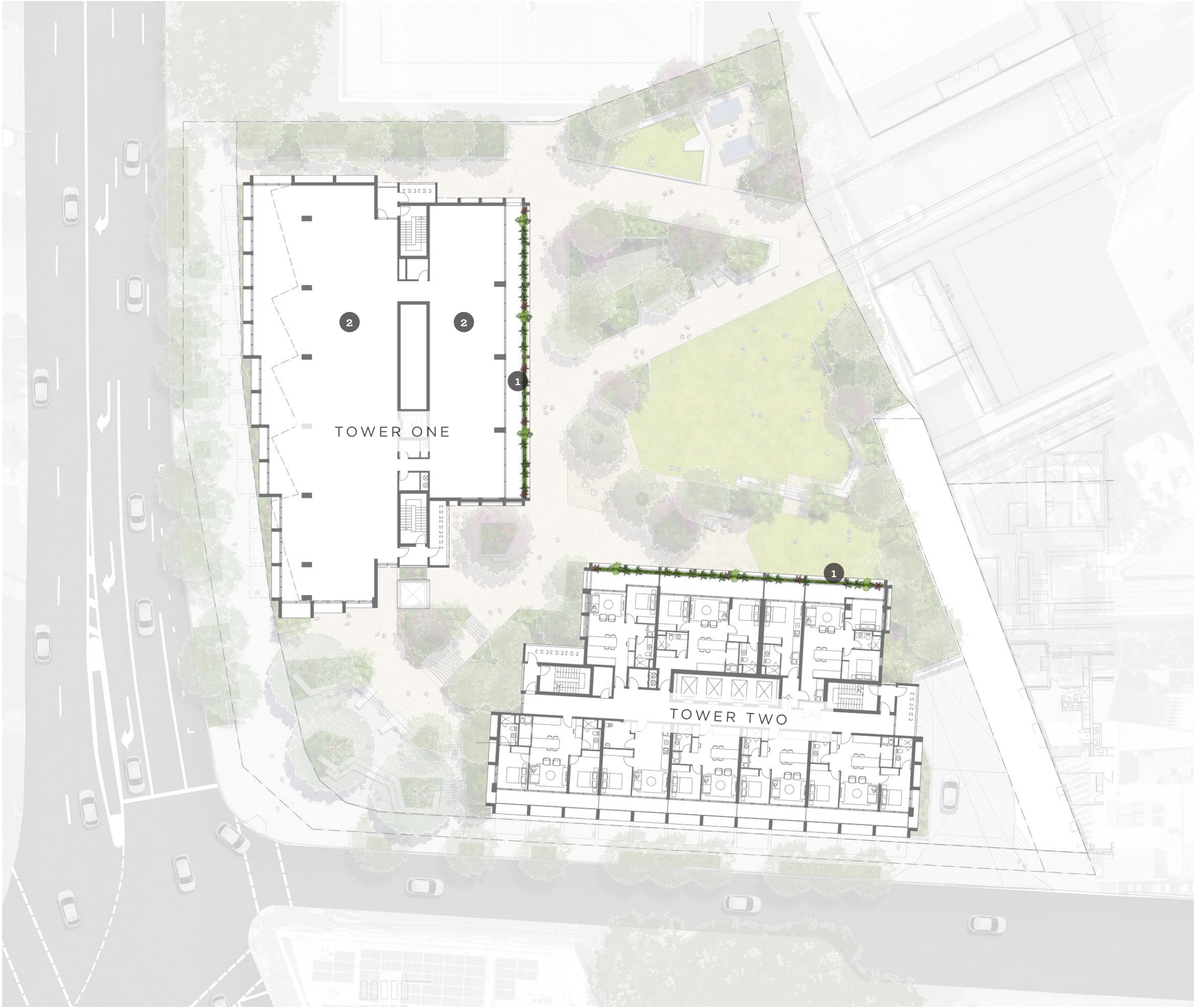
- KEY
- 1 Podium planting building edge
 - 2 Commercial floor



LEVEL 4 CONCEPT PLAN

KEY

- 1 Podium planting building edge
- 2 Commercial floor



SCALE 1:400 0 10 20m

03
CONCEPT DESIGN

LEVEL 5 CONCEPT PLAN

KEY

- 1 Podium planting building edge



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03
CONCEPT DESIGN

DETAIL PLAN 04 - TOWER 1 ROOFTOP



integrated seating & shelters for year round gathering



poolside cabanas and sun lounges with panoramic views



rooftop gathering & dining opportunities



hot & cold plunge pools for wellness



Diverse & rich planting for interest & delight

PLAN KEY

- 1 Swimming pool (20m lap + wading shelves)
- 2 In-pool bench with panoramic views
- 3 Wading shelf to each end
- 4 Pool steps
- 5 Wet edge to pool with lower trough
- 6 Cabanas (x3)
- 7 Kiosk
- 8 Informal seating for kiosk
- 9 Arbour structure over sun lounges
- 10 WC (x2)
- 11 Steam room
- 12 Sauna
- 13 Ice plunge pool
- 14 Heated spa pool
- 15 Outdoor shower w/ bucket pour option
- 16 Day bed with feature tree
- 17 Formal dining (x2)
- 18 Outdoor booth seating w/ tables and shade structure over
- 19 Outdoor dining for groups w/ shade structure over
- 20 Feature palms to frame views
- 21 Shade trees to frame formal dining areas
- 22 Outdoor kitchen w/ BBQ



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03
CONCEPT DESIGN

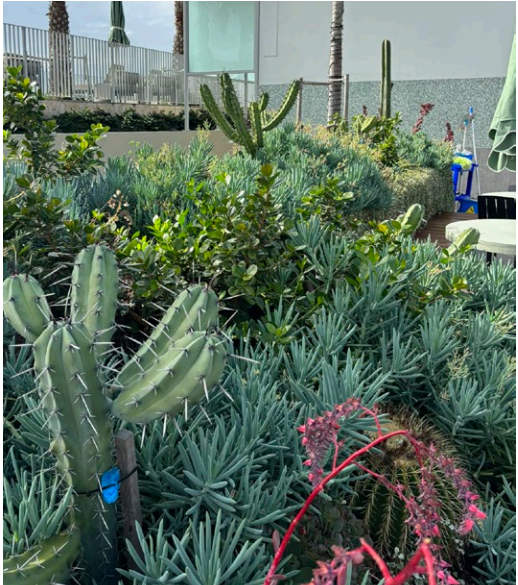
DETAIL PLAN 05 - TOWER 2 ROOFTOP



wet edge infinity pool framed with feature palms



generous nooks and esttings for gathering & viewing



unique & intriguing planting



ornamental shade structures



plunge pools for health & wellness

PLAN KEY

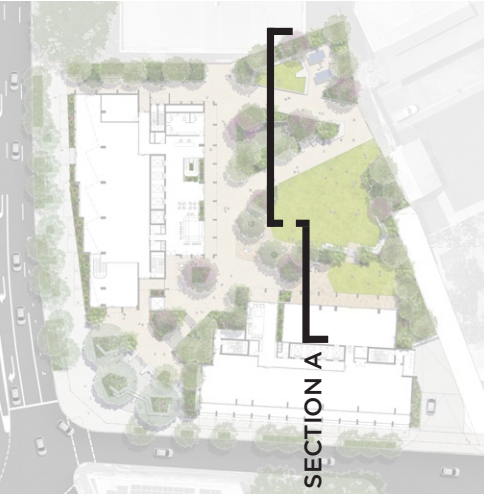
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- 21 Shade trees to frame formal dining areas
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SCALE 1:200 0 5 10m

04
SECTIONS

SECTION A



KEY

- 1 Feature tree in raised planter through void
- 2 Void to level below w/ feature planting
- 3 Tall columnar trees/palms to frame view
- 4 Dense planting buffer to neighbouring property
- 5 Terraced seating to frame lawn
- 6 Feature large canopy tree
- 7 Landscape seating benches
- 8 Dense feature planting behind
- 9 Podium planting



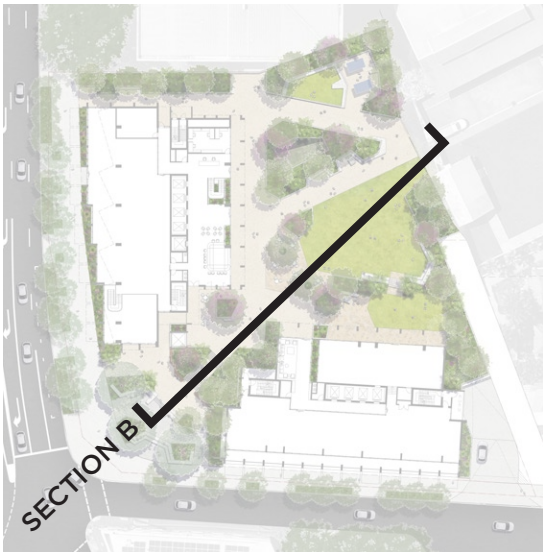
SCALE 1:100 0 1 5m



SCALE 1:100 0 1 5m

04
SECTIONS

SECTION B



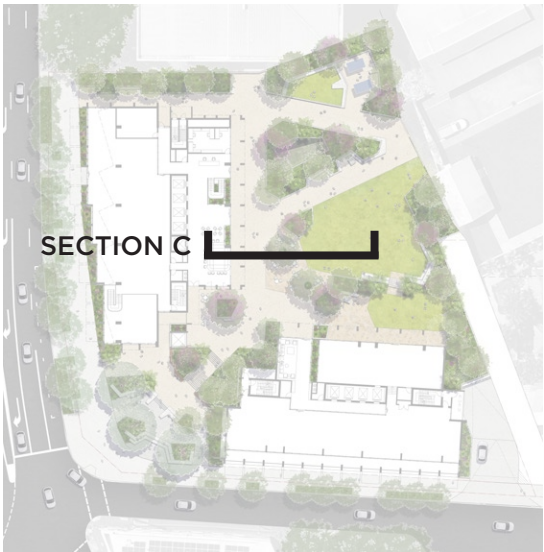
- KEY
- 1 Feature large canopy tree
 - 2 Main open lawn area (public)
 - 3 Feature shade trees to frame view
 - 4 Bench seating
 - 5 Landscape stairs
 - 6 Dense layered planting





04
SECTIONS

SECTION C

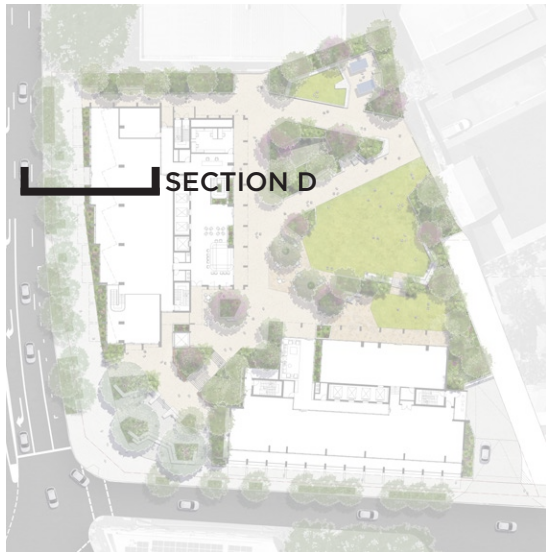


- KEY
- 1 Feature shade tree to frame view
 - 2 Landscape seating benches
 - 3 Informal seating
 - 4 Plaza link between towers
 - 5 Main open lawn area (public)
 - 6 Podium planting to building edge
 - 7 Indoor feature planting behind



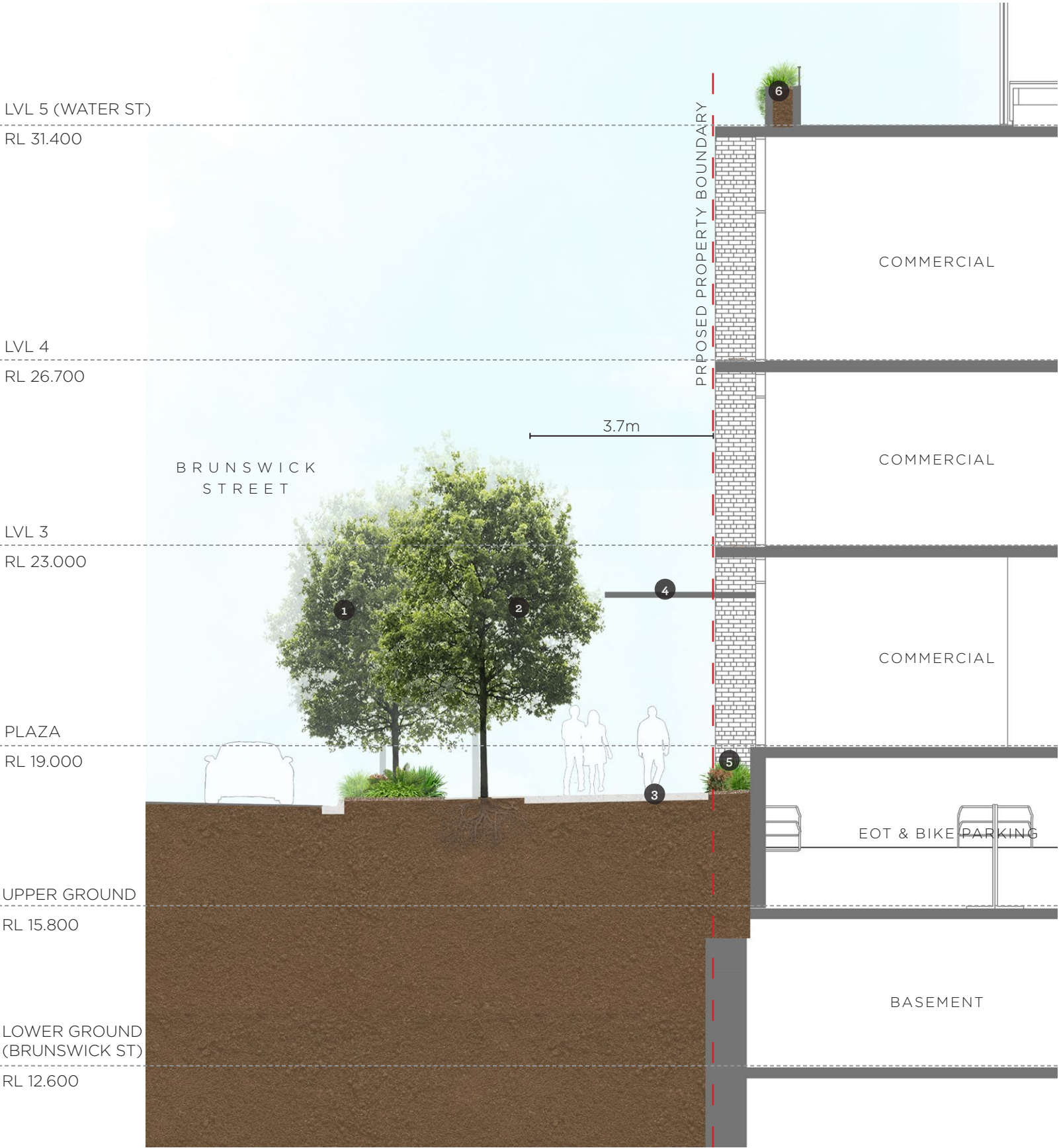
SCALE 1:100 0 1 5m

SECTION D



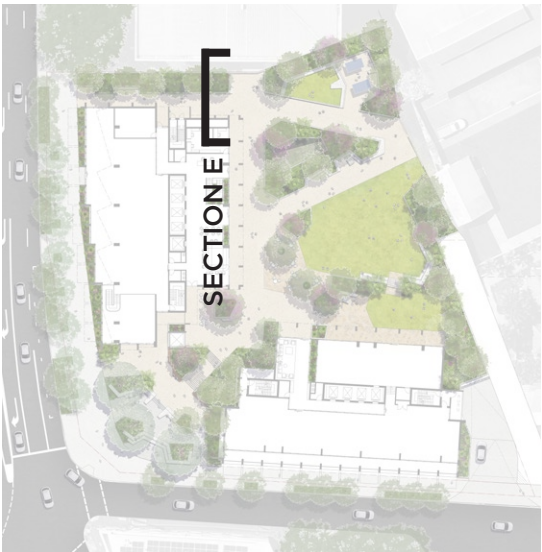
- KEY**
- 1 Proposed street tree with planting
 - 2 Proposed street tree in tree grate
 - 3 Streetscape footpath plain concrete 3.7m wide
 - 4 Awning behind
 - 5 Streetscape planting in ground
 - 6 Podium planting

SCALE 1:100 0 1 5m

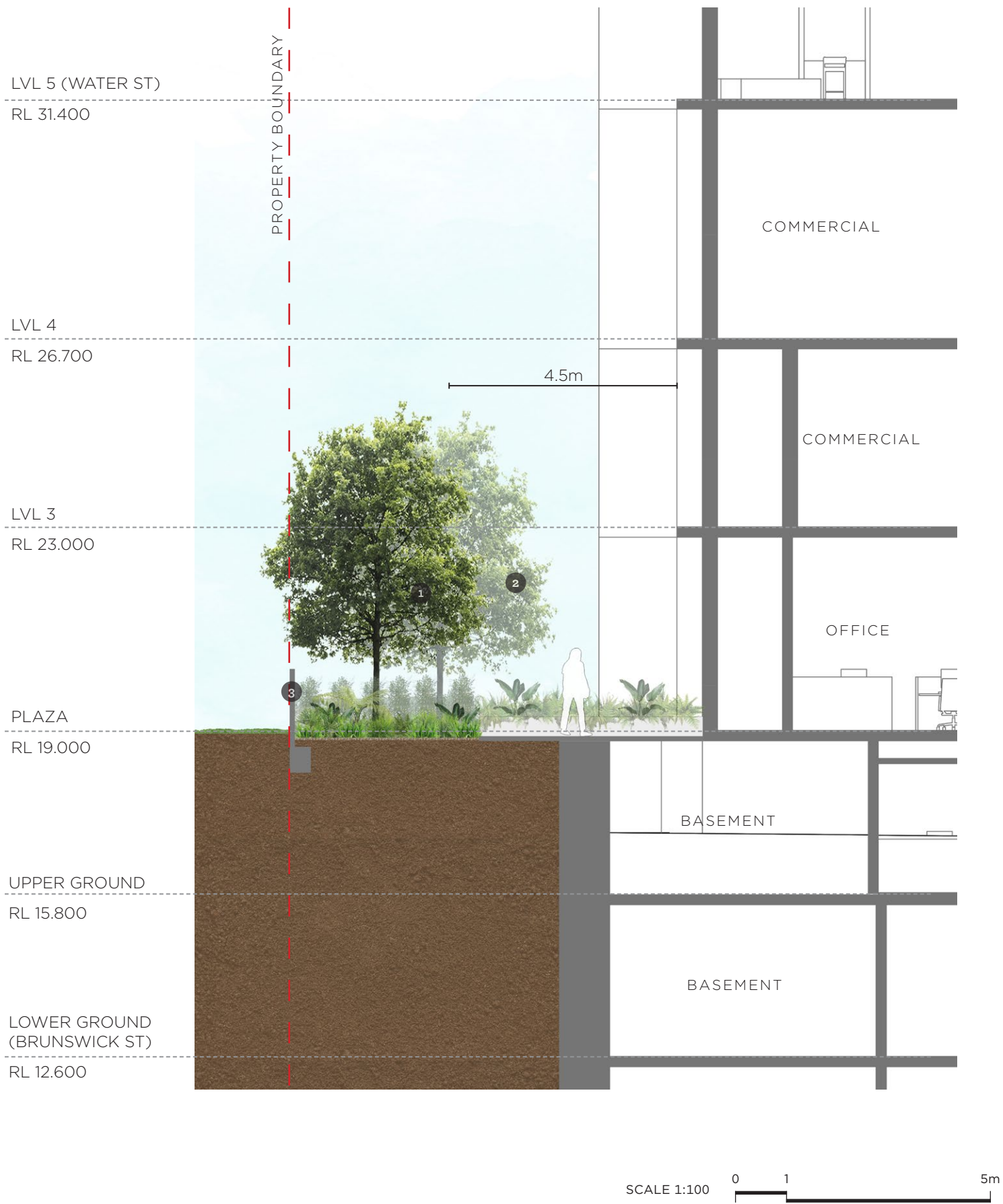


04
SECTIONS

SECTION E



- KEY
- 1 Feature tree
 - 2 Feature trees behind
 - 3 Boundary fence

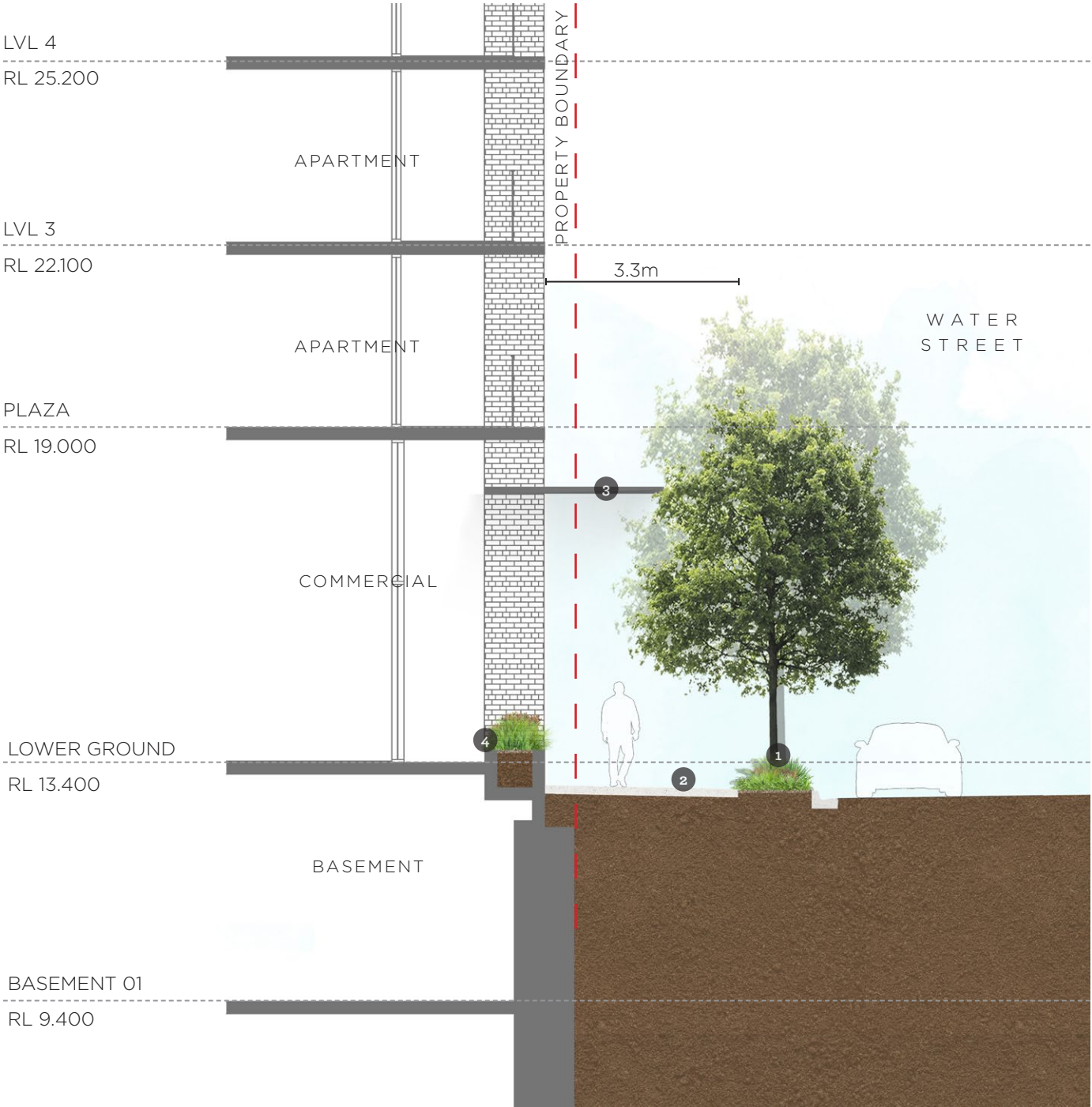


SECTION F



- KEY**
- 1 Proposed street tree with planting
 - 2 Streetscape footpath plain concrete 3.7m wide
 - 3 Awning behind
 - 4 Podium planting

SCALE 1:100 0 1 5m



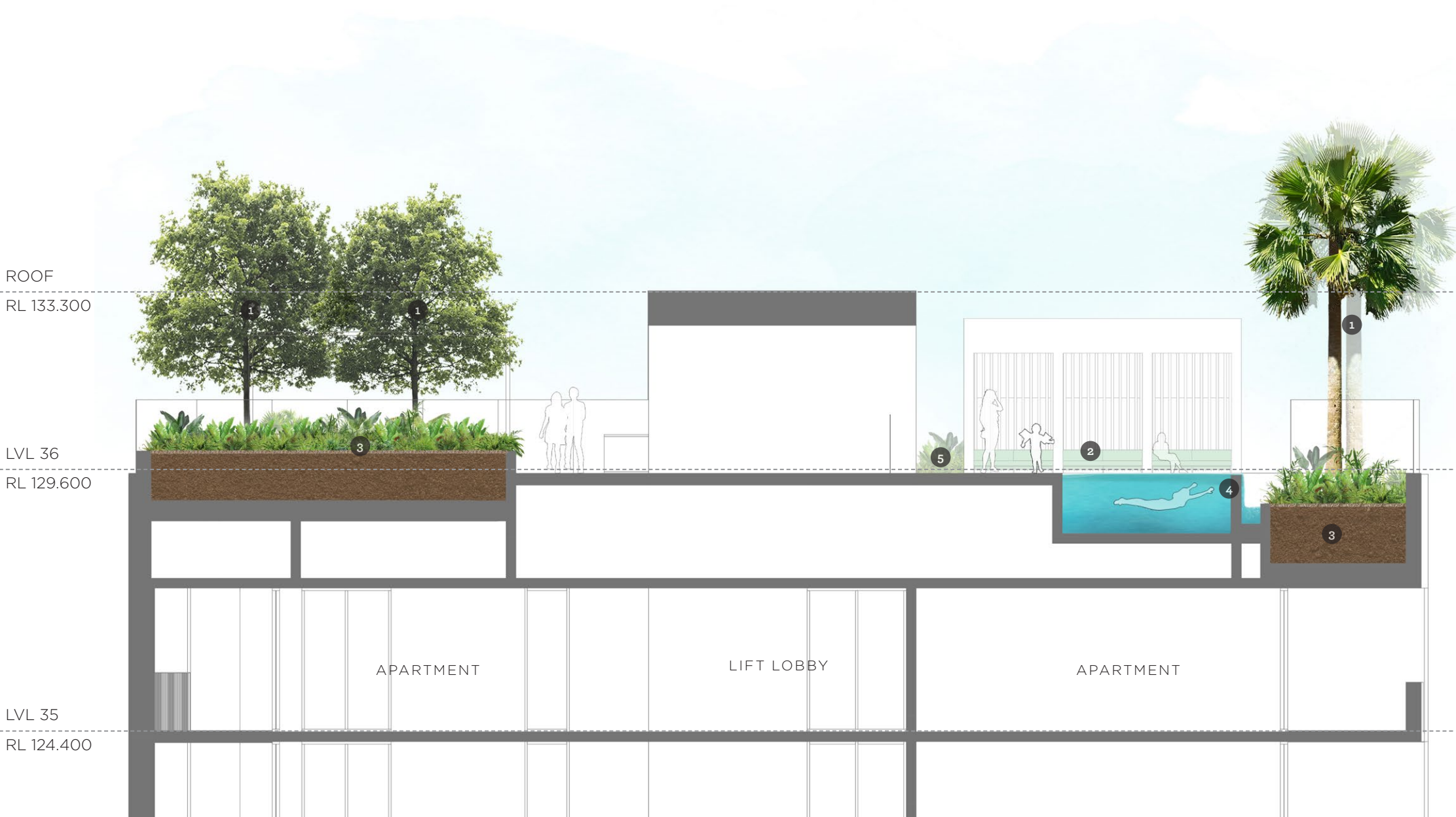
04
SECTIONS

SECTION G



KEY

- 1 Feature trees/palms
- 2 Cabanas behind
- 3 Podium planting
- 4 Pool with infinity edge
- 5 Feature planting behind



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05

PLANT PALETTE

SUNNY MIX

FULL SUN / PART SUN PLANTING INTENT
(4-8hrs sunlight)

Planting areas will feature a mix of native and exotic plants and shrubs to provide a seamless transition from the residential complex to the surrounding local area.

The plants selected as part of this planting palette respond to the varied micro climates created by the built form, ranging from broad leafy shrubs, to more open plants which can withstand sun exposure and windy conditions.

As part of LatStudios Guiding Design Principles, we commit to being guided by sustainable processes and principles on each project. The principle below is marked on plant species that bring a wide range of positive biodiversity impacts to 332-334 Water Street, Fortitude Valley.

Connected to Country

Support the health and well-being of Country and First Nations people.

- Acknowledge culturally significant flora, fauna, and landscapes

Healthy & resilient

Enhance our urban and natural environments.

- Maximise native plant species diversity with consideration of local flora and fauna

TREES & PALMS



Tucker
Cupaniopsis anacardioides



Flame Tree
Brachychiton acerifolius



Brush box
Lophostemon confertus



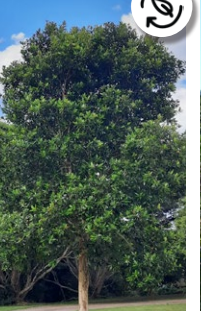
Lemon-scented Gum
Corymbia citriodora



Broad-leaved Paperbark
Melaleuca quinquenervia



Brush Box
Lophostemon confertus



Water Gum
Tristania laurina



Blueberry Ash
Elaeocarpus 'Prima Donna'



River cherry,
Syzygium tirmeyanum



Crow's Ash,
Flindersia australis



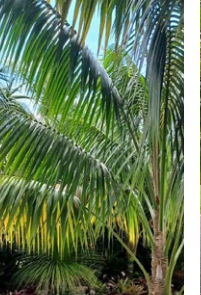
Queensland Maple
Flindersia brayleyana



Tulipwood,
Harpullia pendula



Cabbage-tree Palm
Livistona australis



Kentia Palm
Howea forsteriana



Queensland Fan Palm
Licuala ramsayi



Giant Dioon
Dioon spinulosum

UNDERSTOREY, FEATURE PLANTING & GRASSES



Coastal Boobialla
Myoporum boninense subsp. australe



Blue Chalksticks
Senecio serpens



Liriope 'Emerald Cascade'



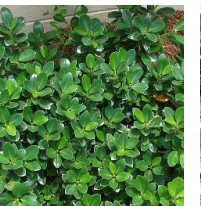
Lomandra 'Verday'
Lomandra longifolia 'Verday'



Lomandra 'Little Con'
Lomandra confertifolia



Heartleaf philodendron
Philodendron hederaceum



Ficus 'Green Island'
Ficus microcarpa



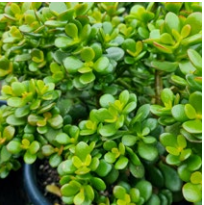
Agave 'Blue Glow'



Kangaroo Fern
Microsorium diversifolium



Kalanchoe 'Silver Spoons'



Jade Plant
Crassula ovata 'Minima'



Raphiolepis 'Snow Maiden'



Westringia Grey Box



Banksia 'Roller Coaster'



Spear lily
Doryanthes palmeri



Blue Flax Lily
Dianella caerulea



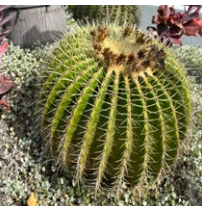
Florida Arrowroot
Zamia integrifolia



Creeping Myoporum
Myoporum parvifolium



Aloe 'Always Red'



Golden Barrel Cactus
Echinocactus grusonii



Agave Americana



Echinopsis cuzcoensis
Cuzco Cactus



Echeveria Hercules

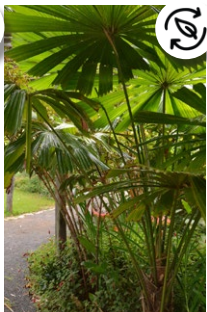
SHADY MIX

PART SHADE / FULL SHADE PLANTING INTENT
(3-6hrs sunlight)

TREES, PALMS & FERNS



Tree Fern
Cyathea cooperi



Queensland Fan Palm
Licuala ramsayi



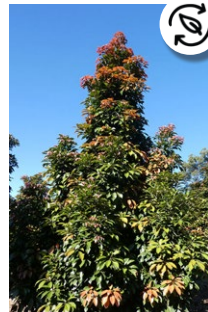
Native Gardenia
Randia fitzailanii



Kentia palm
Howea forsteriana



Elegant Fan Palm
Licuala elegans



Emundi quandong
Elaeocarpus eumundii



Riberry
Syzygium luehmannii



Macarthur palm
Ptychosperma macarthurii

UNDERSTOREY



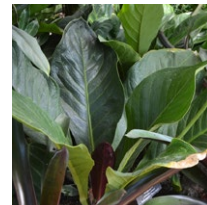
Broad leaved palm lily
Cordyline petiolaris



Glorious Philodendron
Philododron gloriosum



Fruit Salad Plant
Monstera deliciosa



Red Flag
Anthurium jenmanii



Fat Boy
Philododron martianum



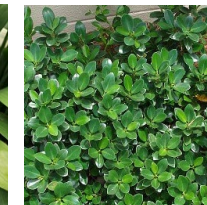
Burle Marx
Philodendron



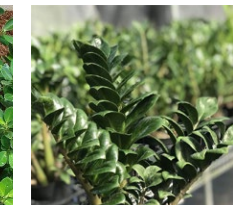
Cunjevoi
Alocasia brisbanensis



Cast Iron Plant
Aspidistra elatior



Ficus 'Green Island'



Zenzi
Zamioculcas zamiifolia 'Zenzi'



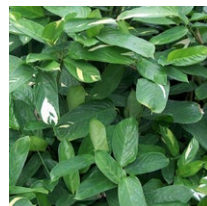
Narrow-leaved palm lily
Cordyline congesta



Dwarf Tree Fern
Blechnum gibbum



Dinner Plate Aralia
Polyscias scutellaria



Golden Mosaic
Ctenathe lubbersiana



Maggie
Homalomena rubescens



Kangaroo Fern
Microsorium diversifolium



Native ginger
Alpinia caerulea



Fishtail fern
Microsorium punctatum



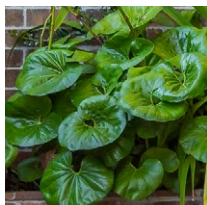
Birds Nest fern
Asplenium nidus



Swedish Ivy
Plectranthus verticalis



Little Jess
Dianella caerulea



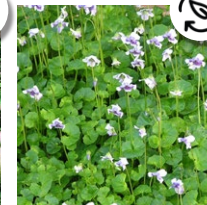
Parasol Plant
Farfugium japonicum



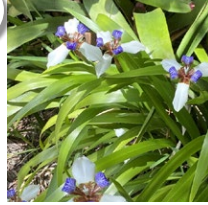
King Bromeliad
Vriesea hieroglyphica



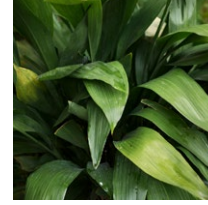
Prickly rasp fern
Doodia aspera



Native Violet
Viola hederacea



Walking Iris
Neomarica gracilis



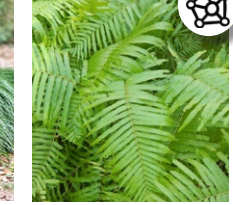
Cast Iron Plant
Aspidistra elatior



Baby rubberplant
Peperomia obtusifolia



Liriope 'Emerald Cascade'



Bungwall
Blechnum indicum

CLIMBERS AND CASCADING PLANTS



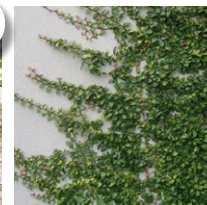
Palm Grass
Curculigo capitulata



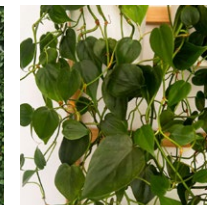
Rough maidenhair fern
Adiantum hispidulum



Burrawang
Macrozamia communis



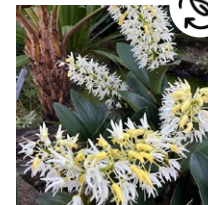
Ficus pumila
Climbing Fig



Green Heart Leaf
Philododron hederaceum



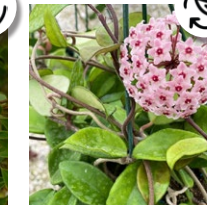
Climbing frangipani
Chonemorpho fragrans



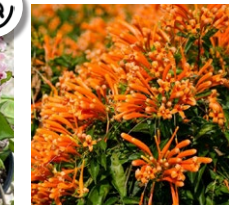
Rock Orchid
Dendrobium speciosum



Bower Plant
Pandorea Pandorea



Wax Vine
Hoya australis



Orange Trumpet Vine
Pyrostegia venusta

06

TECHNICAL NOTES

Planting Depths

Landscape works on podium will include containerised planting in ‘raised planters’ and or recesses in podium construction. Planting on podium will comply to the following minimum depths;

Trees - 1000mm (achieved generally by mounding from edge of planter walls towards centre of planter);

Large shrubs - 800mm;

Small shrubs and ground covers - 500mm

‘Green roof’ awnings & building edges - 300-400mm

Turf - only proposed at grade to streetscape

Irrigation

Podium landscape works is to include a reticulated drip irrigation system to all containerised planting areas, with drainage connected to the storm water system.

Specification Notes

All plants shall be true to scheduled nomenclature, well formed, and hardened off nursery stock. Form and habit shall be normal for the plant as scheduled.

Standards

Conform to the following referenced documents:

- + AS 4419-2003 Soils for landscaping and garden use
- + AS 3743-2003 Potting Mixes
- + AS 4454-2003 Composts, soil conditioners and mulches
- + NATSPEC Guide: Specifying Trees - a guide to assessment of tree quality (Clark, R. 2003)
- + AS 4373-2007 Pruning of amenity trees

Maintenance Regime

Within the boundaries on private the property the contractor will maintain the landscape, upon receipt of ‘On Maintenance’, for a period of three months. The maintenance responsibilities will then be handed over to the body corporate caretaker.

Summary of Work includes but is not limited to:

- + Watering of garden beds and trees
- + Weeding of garden beds, trees and pavements
- + Supply and installation of mulch to maintain minimum depths as specified
- + Pruning, trimming and tree surgery
- + Pest and disease control of garden beds, planting and trees
- + Replacement of dead, failed or significantly diseased (50% of foliage) plants and trees
- + Removal of rubbish and debris from garden areas
- + Keeping of log book

Watering: Coordinate the water supply and confirm the watering regime against State and Local Government legislation and restrictions at time of maintenance period. Program of watering shall ensure health and vigour of all vegetation is maintained. Without restrictions the contractor shall provide a minimum water application of 30mm per week to each area of vegetation.

Weeding: Spray or hand removal of all broad leaf plants and grasses considered invasive to the locality. Spray treatment is by non-residual Glyphosate.

Fertilising: Application of the approved slow release fertilisers shall be strictly in accordance to manufacturer’s specifications and rates, to ensure health and vigor of all vegetation is maintained.

Beyond the time frame of a standard maintenance period (12 months) the

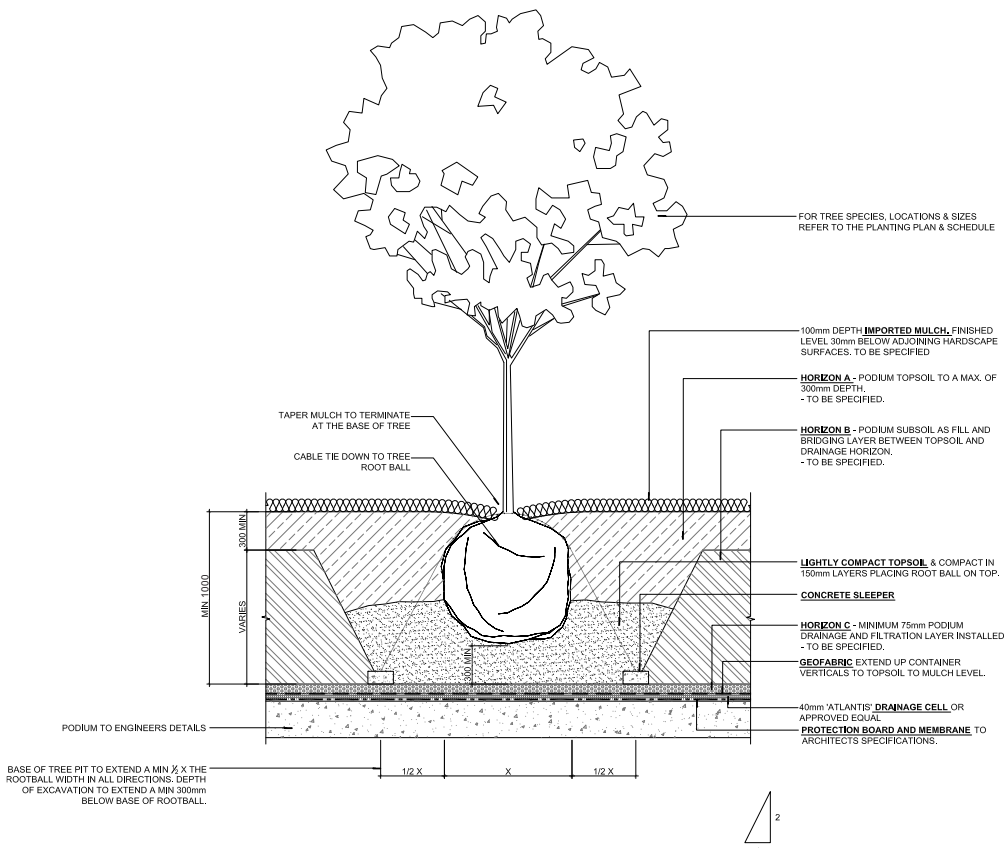
landscape works will require replenishment of planting to maintain its high levels of health and appearance.

Typical Details

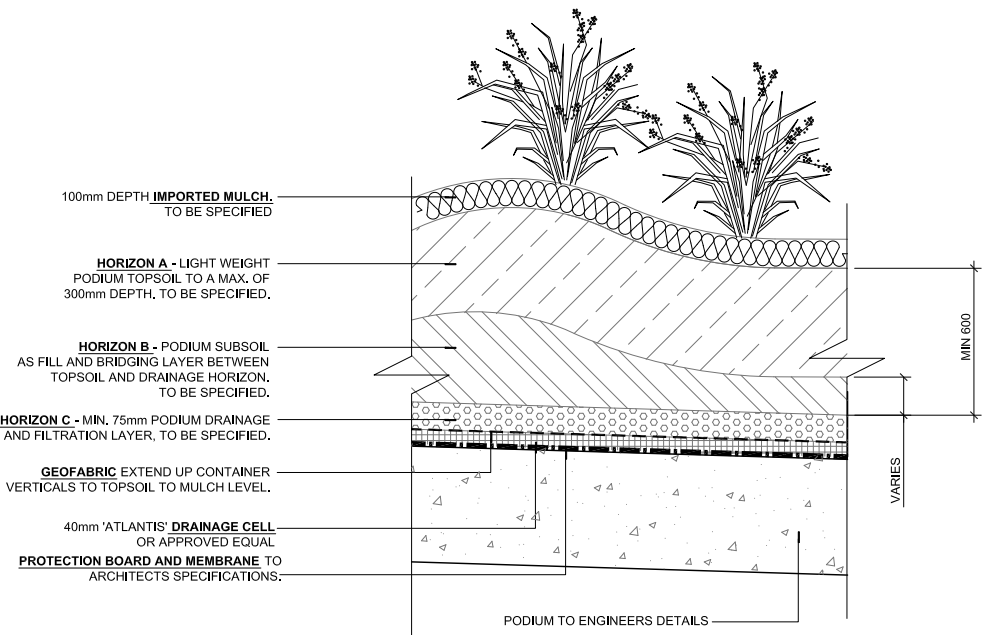
The following typical construction details are to be used where shrub and tree / palm planting occurs on podium. These are to be reviewed and coordinated with SCC standard details and specifications in detail design stage of works.

Planting to building edges & facades

Maintenance access to all planters is to meet the appropriate standards and fall protection requirements and is to be designed and certified as part of future phases of work in consultation with the contractor, certifier and maintenance access specialist. All notes for maintenance access in this document are indicative and require further review and resolution prior to certification and construction.



TYPICAL DETAIL A - TREE PLANTING GENERAL



TYPICAL DETAIL B - PLANTING GENERAL

MAINTENANCE CONSIDERATIONS

Maintenance of podium & facade planters

The landscape design has been coordinated with the architectural design to deliver a landscape design outcome commensurate to this high quality inner city location. The landscape design also considers access, CPTED, maintenance and long term landscape design objectives. We acknowledge that maintenance is key to the long term success of any landscape and have provided detailed preliminary notes regarding access to all planted areas throughout the proposed development.

For reference only (detail to be confirmed in the next design stage) the street, ground and plaza level landscape areas are directly accessible from adjacent paved areas. Balcony planters up to Level 5 may be accessed via abseil or through the commercial tenancies or private rooms. Beyond this there are no planters until the rooftop communal recreation areas that have extensive planting. This area is typically directly accessible from adjacent paved areas and within the balustrade line of the rooftop.

Planters with constrained access or height implications have the ability to incorporate an integrated fall arrest system to ensure safe access for maintenance.

The fall arrest system, to be developed as required with the builder, certifier and specialist consultant in the detailed design phase, will be designed in accordance with AS1981 Selection, Use and Maintenance of Industrial Fall Arrest Systems and Devices. Further to this, a detailed maintenance schedule may be developed with the landscape contractor to guide future maintenance to ensure positive long term landscape outcomes are achieved.

This schedule will consider plant maintenance, access, pruning, watering requirements, fertilising and plant replacement. It is also intended for all landscape areas to be irrigated by an automatic irrigation system. Species selection will also play a critical role in

long term success. We understand the implications of the foreshore setting and will create a plant palette that responds to the high salt and wind conditions in exposed areas. Where possible, when protection is provided we may vary the plant palette to the respond to the variety of micro-climates created across the proposed development through aspect and building form.

Maintenance schedule and design intent

The maintenance schedule provided is indicative of the minimum works required to maintain all planting areas throughout the proposed development. Key maintenance activities will require to be undertaken year round and adjusted to suit seasonal conditions as required. Further refinement will also be required to address the specific and varied micro-climates and mix of plant species across the site. A more detailed maintenance schedule may be undertaken by the contractor in the detailed design phase of the project and provided to the future building manager to ensure the landscape areas are well maintained and continue to thrive and remain aesthetically appropriate for the life of the project.

It is intended the landscape planting areas, in particular, the climbing and spilling species, will be maintained to the following minimum standards:

- + topsoil levels monitored and replenished to remain in accordance with the typical construction details
- + mulch levels monitored and replenished to remain in accordance with the typical construction details
- + tree & palm staking and guying monitored and adjusted accordingly to ensure plant stock establishes appropriately
- + Failed plant species replaced as required with species selection adjusted to suit ongoing changes to the landscape
- + Spilling plants intended to spill approximately 1.0-2.5m down the adjacent facade. Length to be adjusted to suit specific locations and safety requirements
- + The climbing plants are to be maintained regularly to ensure dense leaf foliage is maintained from the lower portions of the plant to the top. Regular trimming will required, as noted, to maintain vigorous growth and compact form. Planned application of fertiliser, topsoil and mulch will also be critical to long term success.

	Summer		Autumn			Winter			Spring			Summer
Activity	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Irrigation - check system & soil moisture content												
Weeding & removal of debris												
Mulch check and replenish (if required)												
Topsoil check and replenish (if required)												
Pruning and trimming												
Pest and disease control												
Replacement of failed species (if required)												
Fertilising												
Log book - photograph progress / record												

Indicative Maintenance Schedule