



LOCATION PLAN
1 : 500 @ A1

DEVELOPMENT SUMMARY

SITE ADDRESS

EDISON COURT
YARRABILBA QLD 4207

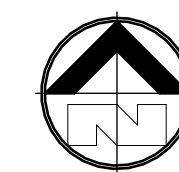
PARCEL INFORMATION

AUTHORITY
LOGAN CITY COUNCIL

RP DESCRIPTION
LOT 17 & 18 on SP333769

DRAWING LIST

DWG No	SHEET TITLE
10	LOCATION PLAN
20	SITE PLAN
21	WAREHOUSE FLOOR PLAN
22	DETAIL FLOOR PLANS
23	ELEVATIONS
24	ELEVATIONS & SECTIONS
25	ROOF PLAN
70	LANDSCAPING PLAN



LOCATION PLAN
PRO-KIT
41-47 EDISON CRESCENT
YARRABILBA QLD 4207
DWG N° 11665-10-10 by HAL
DATE 16/09/2025

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2025/1671
Date: 16 September 2025



Queensland
Government

- GENERAL NOTES
- UNLESS NOTED OTHERWISE:
1.

INDUSTRIAL CROSSOVERS TO BE CONSTRUCTED AS PER LOCAL AUTHORITY STANDARD DETAIL DRAWINGS.
2.

150mm WIDE CONCRETE KERBING TO CARPARK AND DRIVEWAY PERIMETER - WHERE SHOWN.
3.

PROVIDE DISABLED ACCESS FROM CARPARK TO BUILDING RAMPS TO BE MAXIMUM GRADES OF 1:20 ACROSS CAR TURNING AREA WITH MAXIMUM 3mm STEP UP FROM RAMP TO FLOOR TO COMPLY WITH AS1428.1:2001.
4.

ALL RAMPS FROM CARPARK TO TENANCY ENTRY DOORS TO BE 1:14 MAXIMUM GRADIENT.

KEY

E — E

EXISTING ELECTRICAL

// — //

EXISTING FENCING

G — G

EXISTING GAS

S — S

EXISTING SEWER

D — D

EXISTING STORMWATER

T — T

EXISTING TELECOM

W — W

EXISTING WATER LINE

FENCING - TYPE 1

1.8m HIGH BLACK P.V.C COATED
CHAINWIRE WITH 3x ROWS BARBED
WIRE

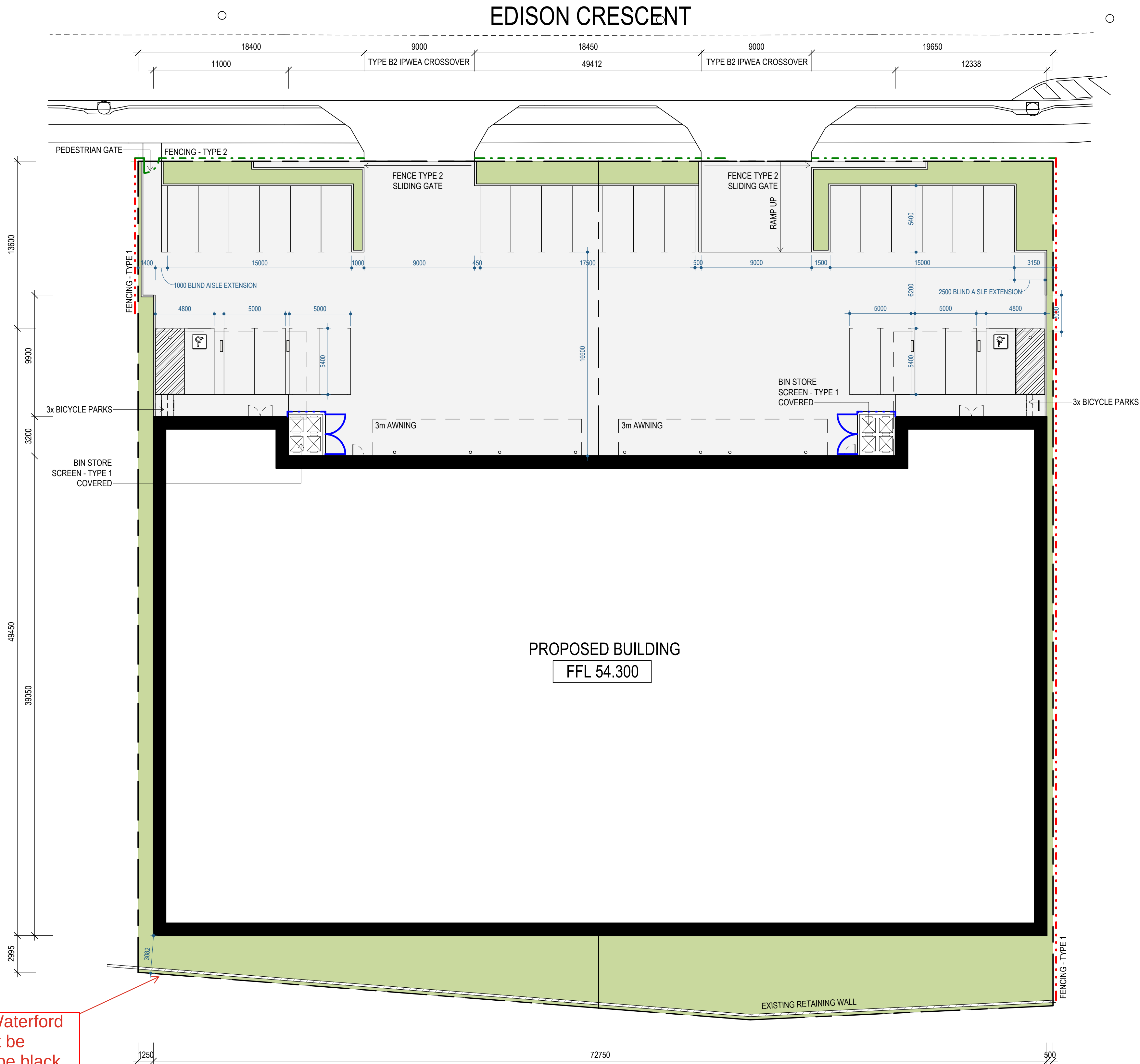
FENCING - TYPE 2

1.8m HIGH SPEARTOP, BLACK
POWDERCOATED.

SCREEN - TYPE 1

2.1m HIGH EZ SLAT, BLACK
POWDERCOATED.

Chainwire / Barbwire fencing not permitted. All side and rear boundary fencing to be black tubular palisade style fencing with a minimum height of 1.8m



Rear boundary to Waterford Tamborine Rd must be fenced. Fencing to be black tubular palisade style fencing with a minimum height of 1.8m.

SITE PLAN
1 : 200 @ A1

AMENDED IN RED

By: Ali Rizayee
Date: 16 September 2025



SITE PLAN

PRO-KIT

41-47 EDISON CRESCENT
VARRABILBA QLD 4207

DLUG N° 11565-20-12 by HAL
DATE 16/09/2025

SITE INFORMATION

SITE AREA

LOT 17 & 18 on SP333769	5,098 m ²
SITE COVERAGE	64% 3,231 m ²
LANDSCAPING	12% 611 m ²

FLOOR AREA

TOTAL	3,221 m ²
PRO-KIT	
GROUND FLOOR	
OFFICE	39 m ²
RETAIL DISPLAY AREA	63 m ²
WAREHOUSE	1,356 m ²
FIRST FLOOR	
OFFICE	115 m ²
RETAIL DISPLAY AREA	82 m ²
	1,655 m ²

TENANCY 2

GROUND FLOOR

OFFICE	35 m ²
WAREHOUSE	1,420 m ²
FIRST FLOOR	
OFFICE	111 m ²
	1,566 m ²

PARKING

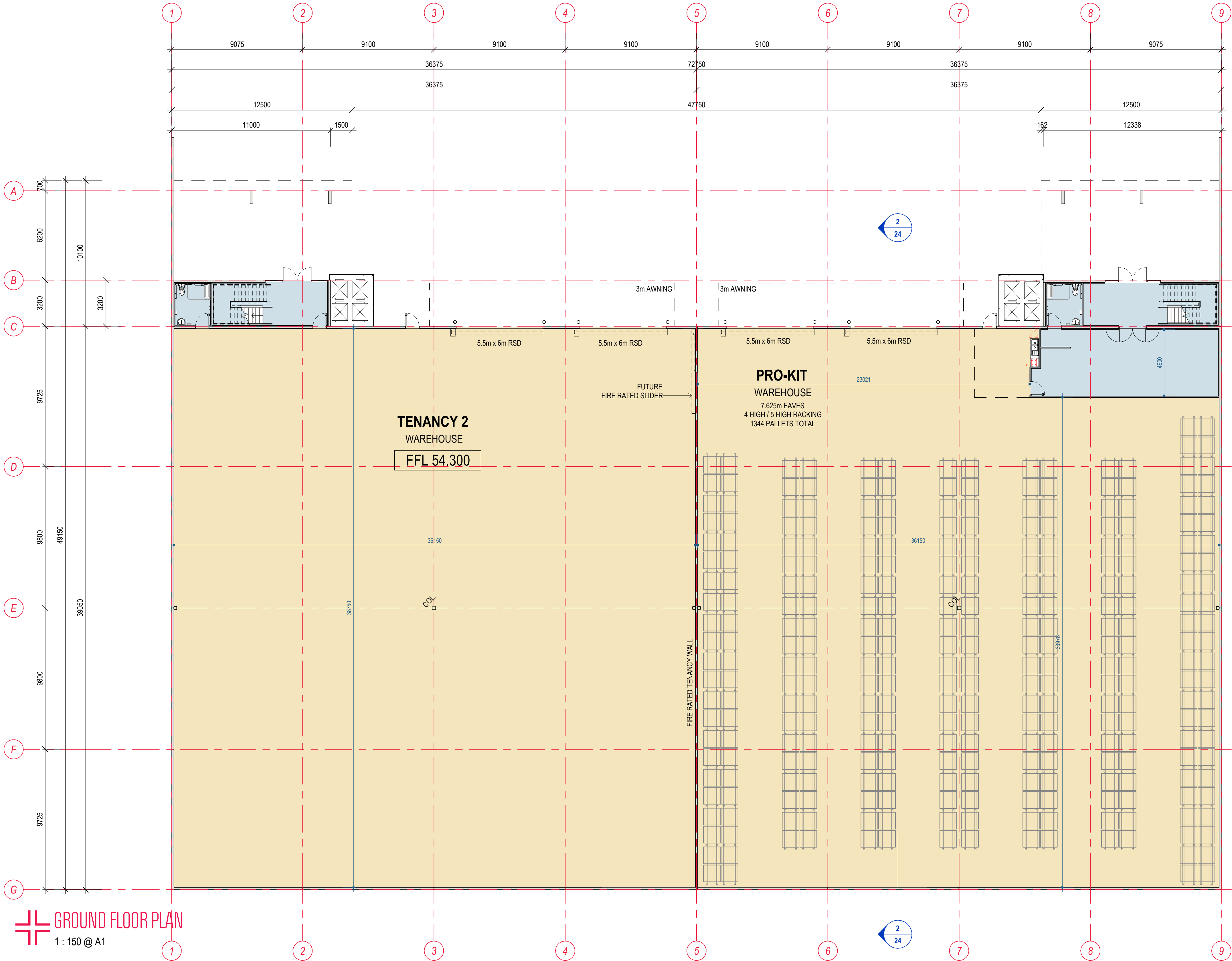
BICYCLE PARKS	6
CAR PARKS (INCLUDING PWD)	29



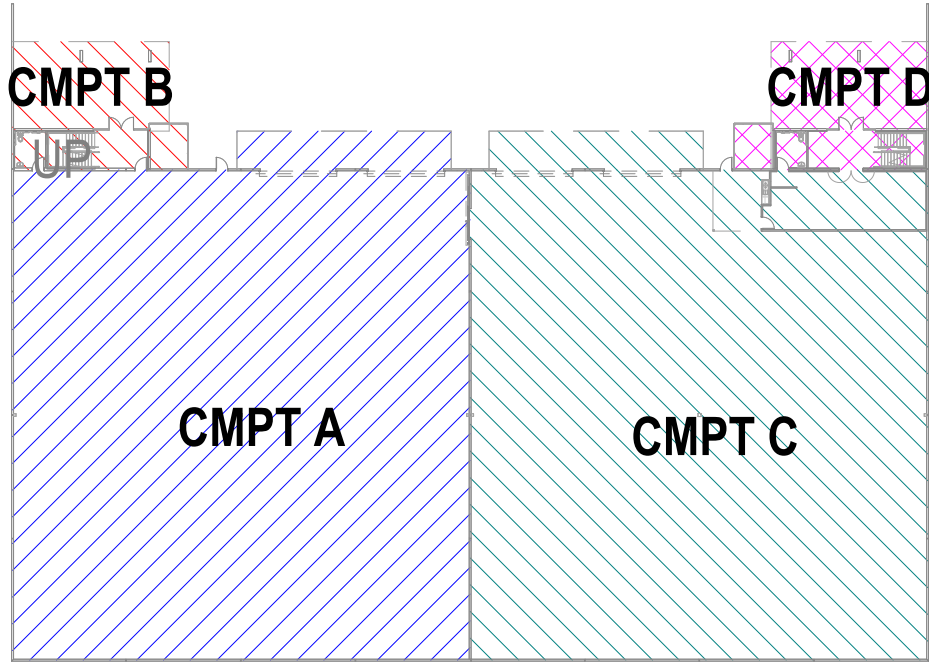
DESIGN + CONSTRUCT SOLUTIONS

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GROUND FLOOR PLAN
1 : 150 @ A1



FIRE COMPARTMENT VOLUME	
COMPARTMENT	VOLUME
A	11,974.6 m³
B	898.7 m³
C	11,950.6 m³
D	830.3 m³

FIRE COMPARTMENT PLAN
1 : 600 @ A1

GENERAL NOTES

- REINFORCED CONCRETE TILT UP PANELS TO COMPLY WITH BCA PART C 1.11.
- IN ACCORDANCE WITH BCA G1.2 EXITS TO ALL FREEZER/COLDROOM AREAS WILL HAVE:
 - MANUALLY OPERATED TURN KEY BELLS.
 - EMERGENCY RELEASE PIN WHICH ALLOWS DOORS TO BE OPENED FROM INSIDE.
- INTERNAL PARTITIONS TO BE 64mm RONDO STEEL STUD WITH PAINTED 10mm PLASTERBOARD LINING 10mm WATER RESISTANT PLASTERBOARD TO WET AREAS.
- ALL SANITARY COMPARTMENTS TO BE MECHANICALLY VENTILATED TO COMPLY TO BCA F4.5(b) BY AIR-CONDITIONING CONTRACTOR.
- WALLS IN WET AREAS NEXT TO TILT PANEL WALLS TO BE ISOLATED OFF PANEL BY 10mm AND ALLOW FOR VERTICAL MOVEMENT.
- 100mm ALUMINIUM NON-DUCTED SKIRTING TO GROUND & FIRST FLOOR OFFICE.
- 200 x 200mm TILED SKIRTING TO OFFICE AMENITIES.
- 200 x 200mm TILED SPLASHBACK WHERE APPLICABLE TO OFFICE AMENITIES.

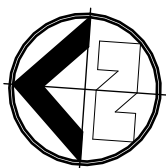
LEGEND

- FIRE HOSE REEL, 36m
- DUAL PILLAR HYDRANT
- FIRE EXTINGUISHER 4.5kg TYPE AB(E)
- UNDER BENCH WATER HEATER
- OVER BENCH WATER HEATER
- CONCRETE TILT PANEL WALLS
- INSULATED PANEL WALLS
- STEEL GIRT WALLS
- STEEL STUD WALLS
- BOLLARD

BUILDING INFORMATION

FLOOR AREA

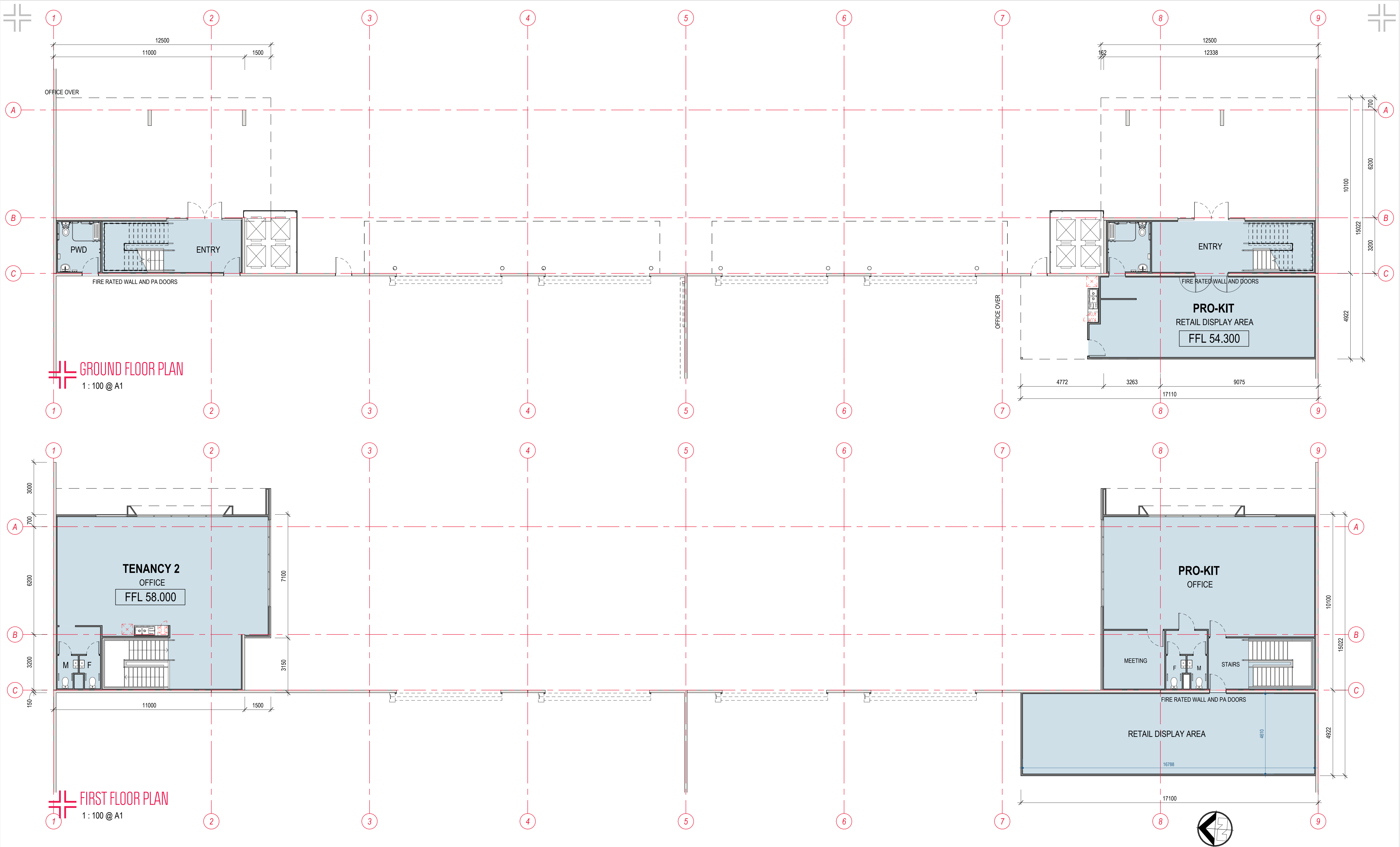
TOTAL	3,221 m²
PRO-KIT	
GROUND FLOOR	
OFFICE	39 m²
RETAIL DISPLAY AREA	63 m²
WAREHOUSE	1,356 m²
FIRST FLOOR	
OFFICE	115 m²
RETAIL DISPLAY AREA	82 m²
	1,655 m²
TENANCY 2	
GROUND FLOOR	
OFFICE	35 m²
WAREHOUSE	1,420 m²
FIRST FLOOR	
OFFICE	111 m²
	1,566 m²



WAREHOUSE FLOOR PLAN
PRO-KIT
41-47 EDISON CRESCENT
VARRABILBA QLD 4207
DWG N° 11565-21-12 by HAL
DATE 16/09/2025

space frame
DESIGN + CONSTRUCT SOLUTIONS

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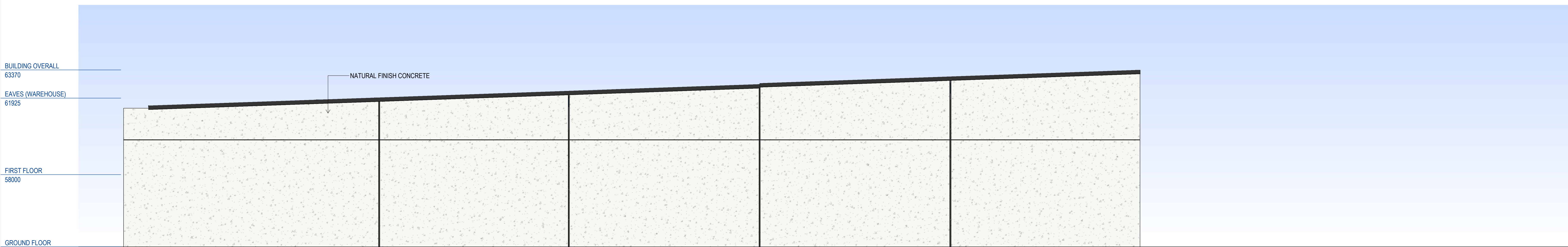
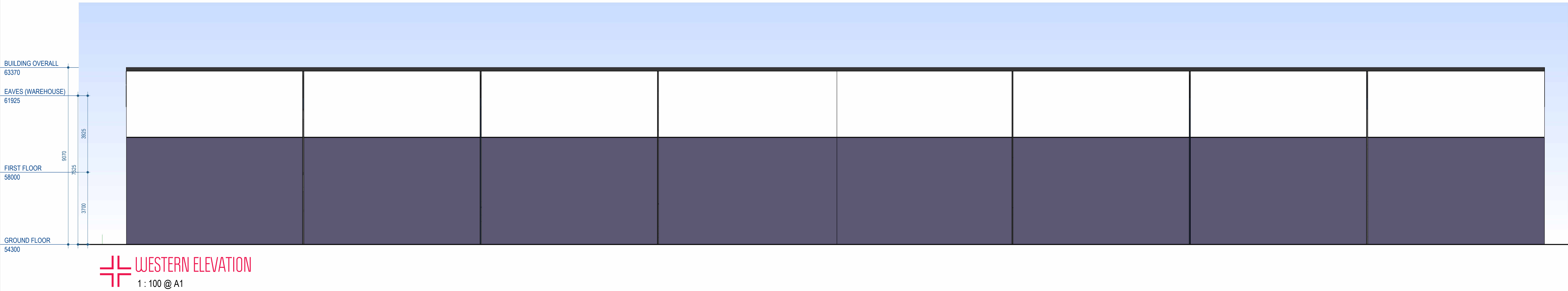
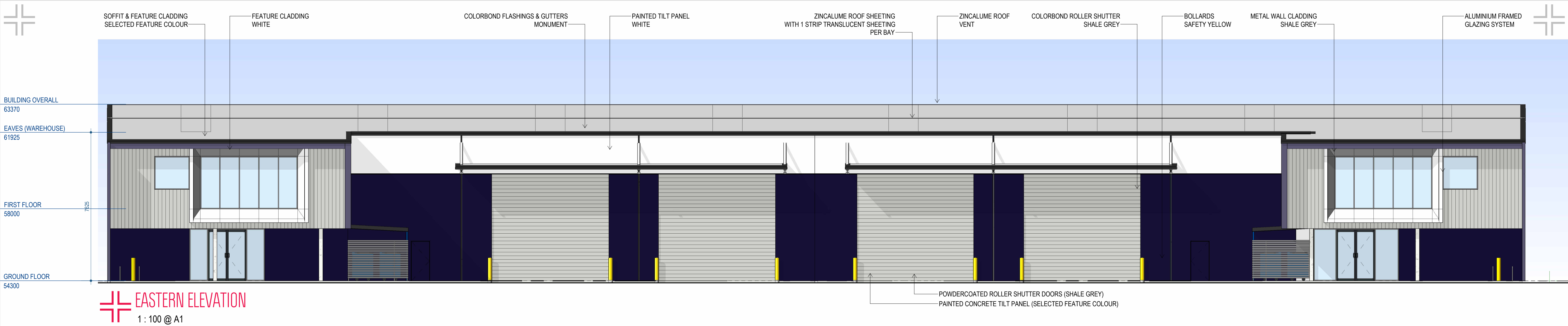
PLANS AND DOCUMENTS
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DETAIL FLOOR PLANS
PRO-KIT
41-47 EDISON CRESCENT
VARRABILBA QLD 4207
DWG N° 11565-22-10 by HAL
DATE 16/09/2025





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Queensland Government

ELEVATIONS PRO-KIT

41-47 EDISON CRESCENT VARRABILBA QLD 4207

DLWG N° 11565-23-9 by HAL

DATE 16/09/2025

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DESIGN + CONSTRUCT SOLUTIONS

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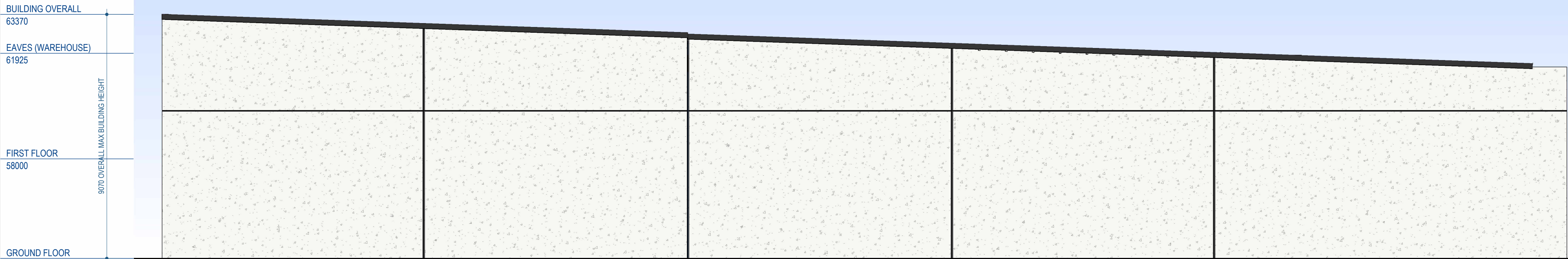
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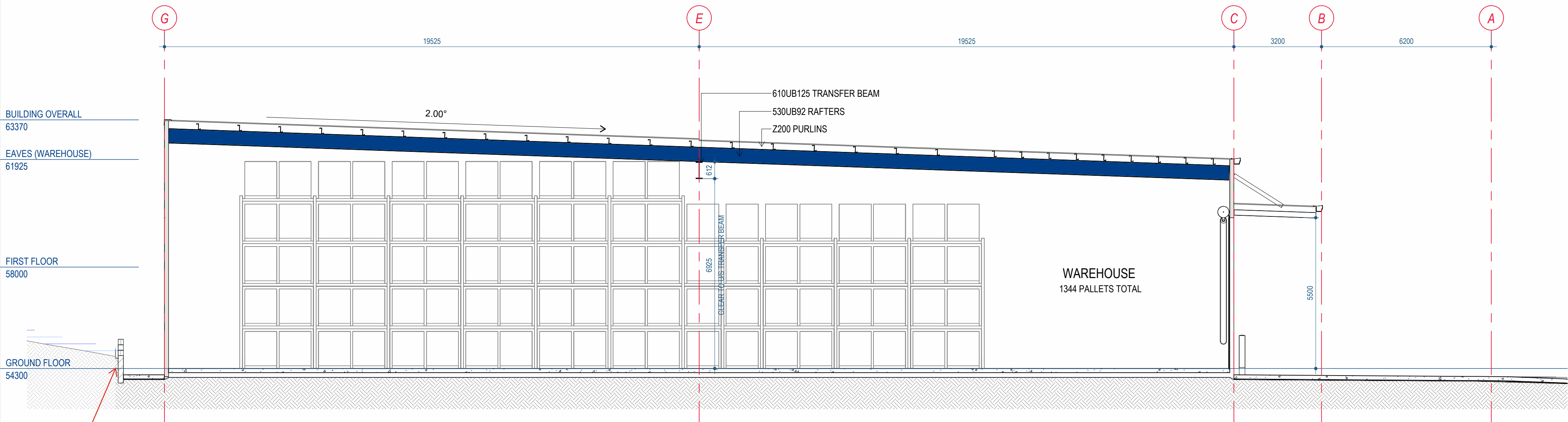
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SOUTHERN ELEVATION
1 : 100 @ A1



SECTION A-A THROUGH WAREHOUSE
1 : 100 @ A1

Rear boundary to Waterford
Tamborine Rd must be
fenced. Fencing to be black
tubular palisade style fencing
with a minimum height of
1.8m.

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Approval no: DEV2025/1671
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AMENDED IN RED

By: Ali Rizayee
Date: 16 September 2025



ELEVATIONS & SECTIONS
PRO-KIT
41-47 EDISON CRESCENT
VARRABILBA QLD 4207
DLUG N° 11565-24-10 by HAL
DATE 16/09/2025

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frame**
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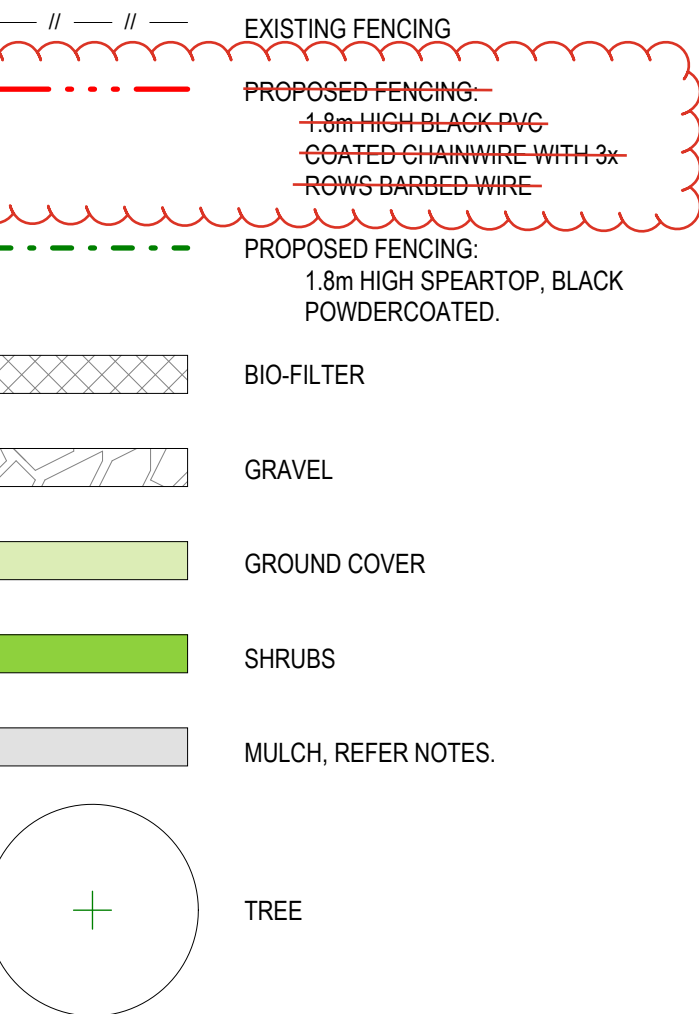
DESIGN + CONSTRUCT SOLUTIONS



GENERAL NOTES

- SHRUBS TO BE SUPPLIED FROM Ø200mm POTS, TREES TO BE SUPPLIED FROM 25 LITRE PORTS OR BAGS U.N.O.
- ALL LEVELS TO A.H.D.
- GARDEN BED AREAS TO BE COVERED WITH MULCH TO A MINIMUM OF 75mm DEPTH, SURROUNDING PLANT STEMS TO BE 25mm.
- GARDEN EDGE - AT ANY GARDEN / GRASS INTERFACE 69 x 19 CCA PINE EDGING.
- LAWN TO BE 'B' GRADE BLUE COUCH PLACED ON A LAYER OF 25mm TOP SOIL (80% WEED FREE).
- SUPPLY AND INSTALL A MANUAL WATERING SYSTEM TO ALL GARDEN AREAS.
- PLUMBER TO PROVIDE 25mm BALL VALVE FOR LANDSCAPING IRRIGATION.
- STAKE & TIE TREES. WATER IN PLANTS THOROUGHLY.

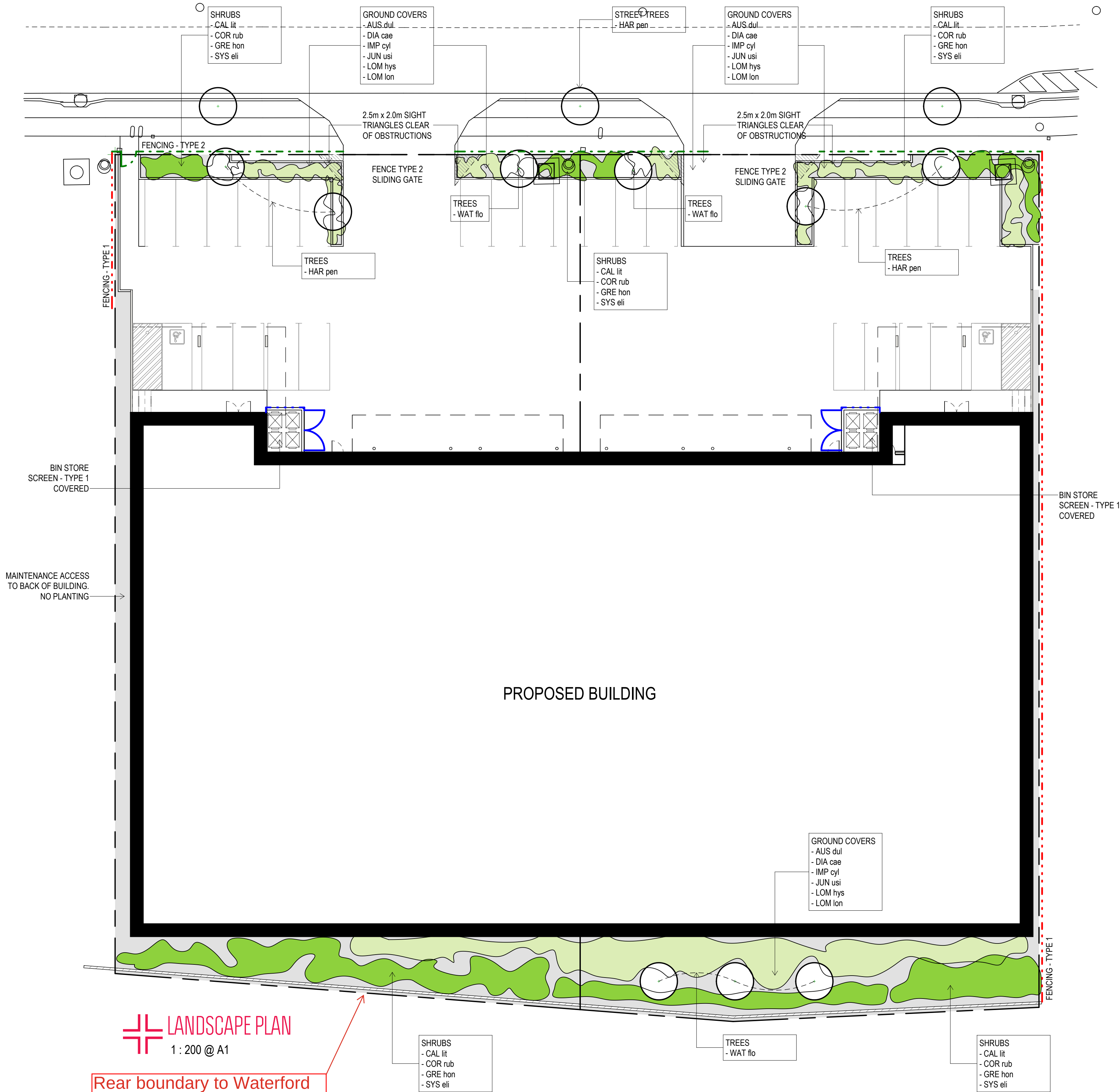
LEGEND



Chainwire / Barbwire fencing not permitted. All side and rear boundary fencing to be black tubular palisade style fencing with a minimum height of 1.8m

PLANTING SCHEDULE		
CODE	BOTANICAL NAME	POT SIZE
Tree		
HAR pen	Harpullia pendula	45L
WAT flo	Waterhousia floribunda	45L
Shrub		
CAL lit	Callistemon 'Little John'	200
COR rub	Cordyline rubra	200
GRE hon	Grevillea 'Honeygem'	200
SYZ eli	Syzygium australis	200
Ground Cover		
AUS dul	Austromyrtus dulcis	tube
DIA cae	Dianella caerulea	tube
IMP cyl	Imperata cylindrica	tube
JUN usi	Juncus usistatus	tube
LOM hys	Lomandra hystrix	tube
LOM lon	Lomandra longifolia	tube

Removed street tree(s) to be replaced and to comply with Logan Planning Scheme 2015, Schedule 6, SC6.2.5 Infrastructure, Standard specification No. 2 (Landscaping) 2015, section 6.3.3 Tree Planting



LANDSCAPE PLAN
1:200 @ A1

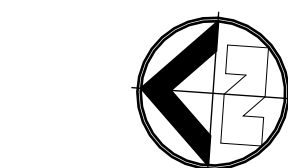
Rear boundary to Waterford Tamborine Rd must be fenced. Fencing to be black tubular palisade style fencing with a minimum height of 1.8m.

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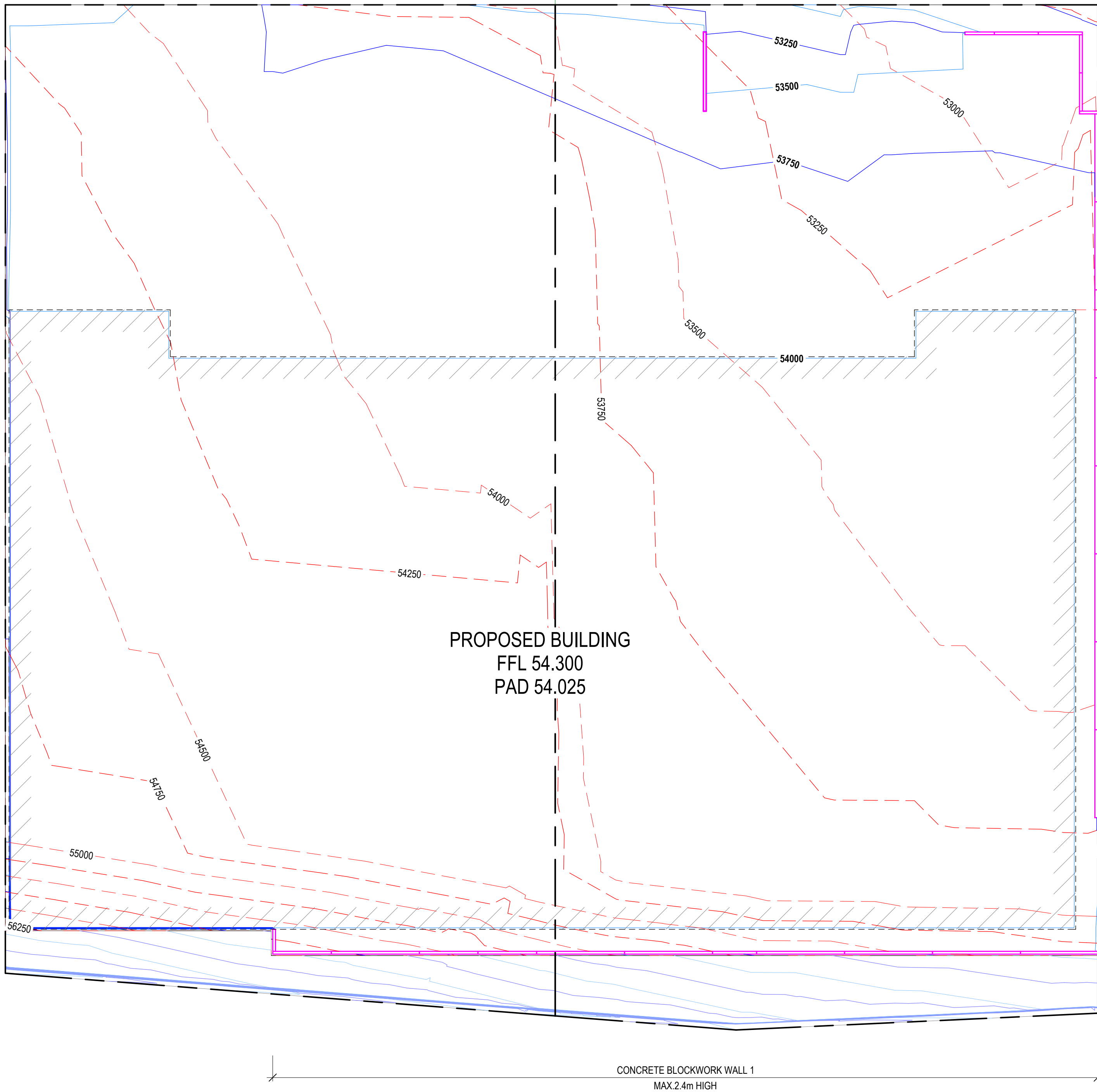
LANDSCAPING PLAN
PRO-KIT
41-47 EDISON CRESCENT
VARRABILBA QLD 4207
DWG N° 11565-70-8 by HAL
DATE 16/09/2025

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frame
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EARTHWORKS CONCEPT PLAN

1 : 200 @ A1

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APPROVED

Plans and Documents
referred to in the
Covenant Approval

Approved by RPS AAP
Consulting Pty Ltd for
'Warehouse' purposes
dated 22 July 2025.

EARTHWORKS - SITE STRIP SCHEDULE

VOLUME REMOVED OFF SITE @ 100mm DEEP

-480.1 m³

EARTHWORKS - CUT AND FILL SCHEDULE

CUT (VOLUME REMOVED) FILL (VOLUME ADDED) NET CUT/FILL

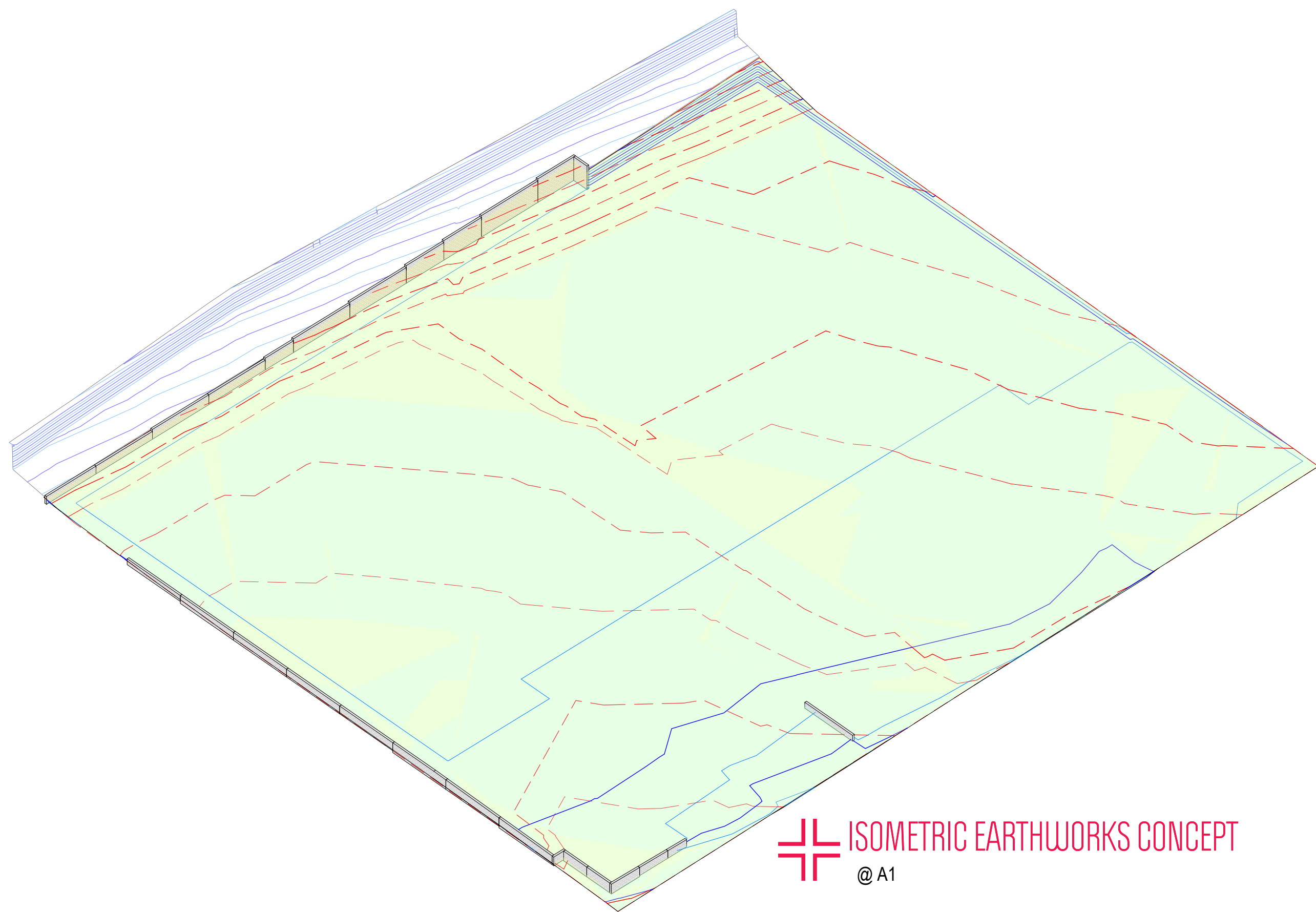
862.7 m³

905.1 m³

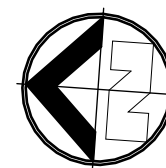
42.3 m³

QUANTITIES - BLOCKWORK

WALL TYPE	DESCRIPTION	AREA
CB	CONCRETE BLOCKWORK	141 m²



ISOMETRIC EARTHWORKS CONCEPT
@ A1



EARTHWORKS CONCEPT PLAN

PRO-KIT

41-47 EDISON CRESCENT
VARRABILBA QLD 4207

DWG N° 11565-60-2 by IM

DATE 25/09/2025

**space
frame**

DESIGN + CONSTRUCT SOLUTIONS



APPROVED

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Approved by RPS AAP
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RETAINING WALL ELEVATIONS

PRO-KIT

41-47 EDISON CRESCENT
YARRABILBA QLD 4207

DWG N° 11565-61-2 by IM

DATE 25/06/2025



space
frame

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