

GENERAL SITE NOTES

- Sewerage and/or septic to be in accordance with local by-laws and water & sewerage act Amendment Act.
- Position of stormwater lines, downpipes, retaining walls, cut/fill embankments are approximate only and may vary to suit site conditions and the builder is to verify and adjust as required.
- All cut/fill embankments, retaining walls shown and constructed are to comply with council policy & BCA housing provisions.
- Stormwater pipes to be 90mm class 6 UPVC & laid in accordance with BCA housing provisions unless specified elsewhere. One 90mm UPVC pipe per 100 sqm of roof area laid to 1:100 min grade.
- Pad cut to allow ground water to drain away from dwelling all round at 1:20 fall.
- All boundary clearances and set out dimensions to be verified prior to commencement of work.
- The builder is to verify all dimensions and levels on plan prior to commencement of the job as no responsibility is taken after work has commenced.

To be positioned by builder on site if Applicable (If included in spec.)

Meter Box
Hotwater system
Clothes Line
Letterbox

Water Tank
Retaining Walls
Fences - Gates
Driveway - Path

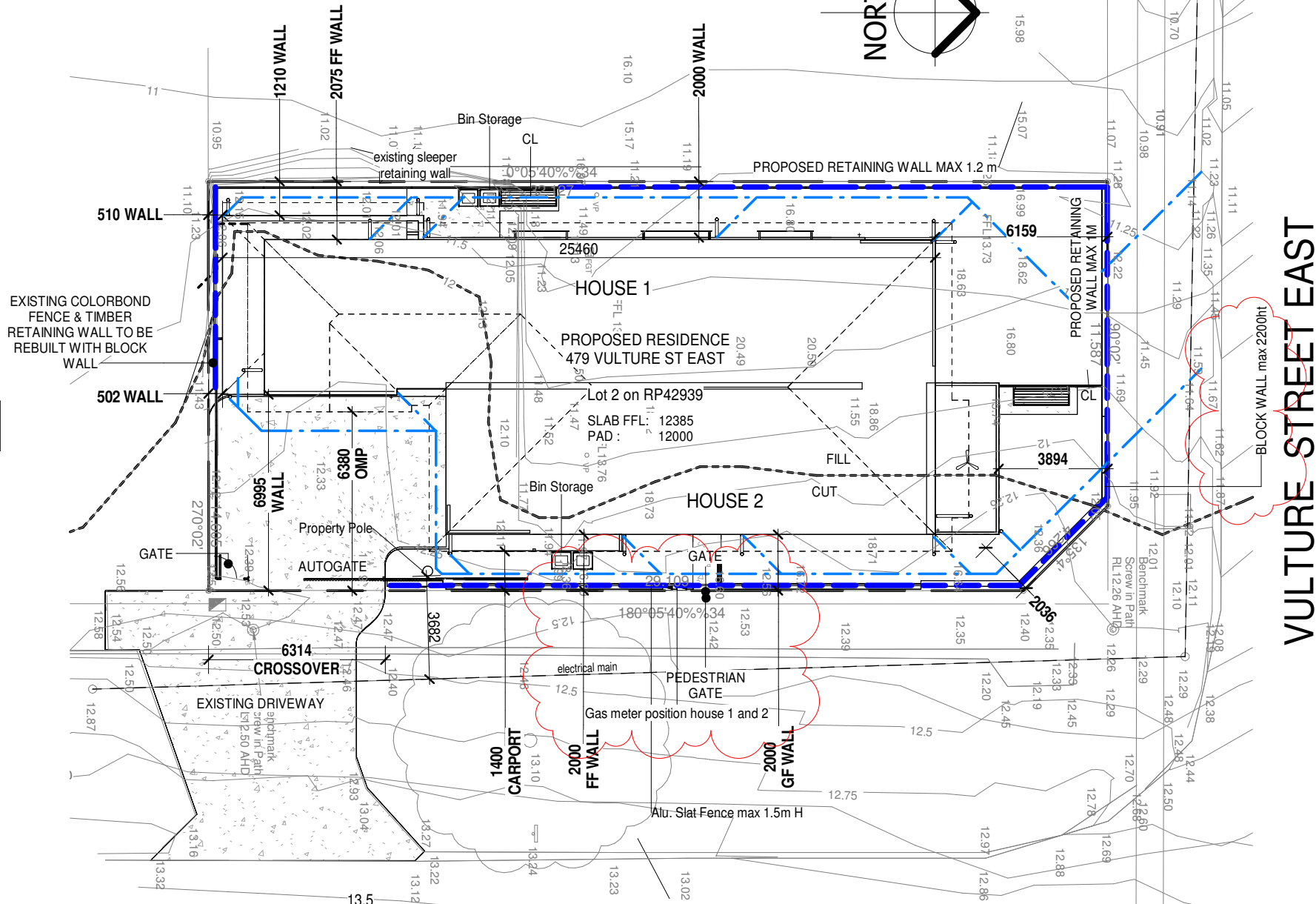
LEGEND

AC	Air Conditioning Sys/ Duct
AW	Awning Windows
BD	Bifold Door
BH	Bulkhead
CL	Clothline
DH	Double Hung Window
DP	Down Pipe
DTR	Double Towel Rail
EPS	Expanded Polystyrene System
HC	Hose Cock
LPG	Liquefied Petroleum Gas Bottles
OHC	Over Head Cabinet
PS	Plumbing Stack
PVD	Pivot Door
SD	Sliding Door (Architectural plans)
FG	Fixed Glass Window
LV	Louvre Window
S	Smoke Detector (Electrical plans)
SW	Sliding Window
TR	Toilet Roll Holder
SHS	Steel Hollow Section Post
WM	Washing Machine
M/BOX	Electrical Meter Box
DG	Double Glazing

SITE AREA 464.659m²
SITE COVER 250.59m²(%54)

Note:
Construction to meet minimum requirements for noise category 4 according to QDC MP 4.4.

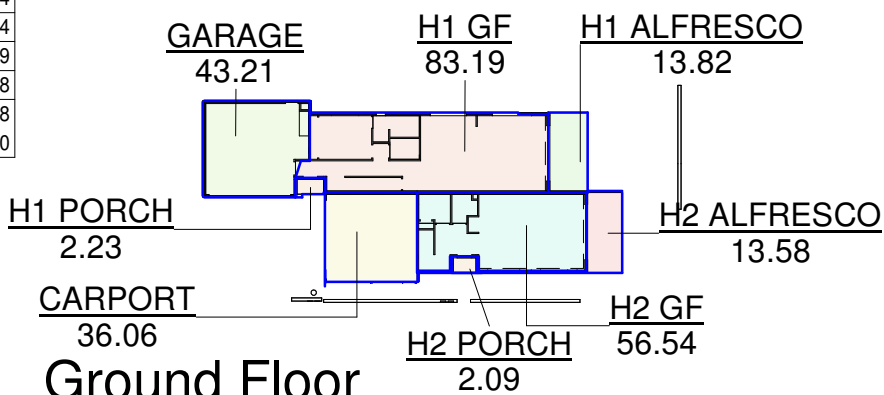
DRAINAGE OUTLET
TO BE CONFIRMED



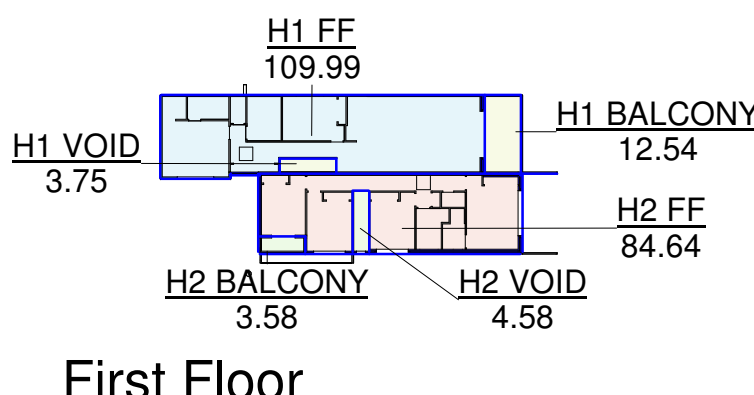
Area Schedule			
Level	Comments	Name	Area
H1			
Ground Floor	H1	GARAGE	43.21
Ground Floor	H1	H1 ALFRESCO	13.82
First Floor	H1	H1 BALCONY	12.54
First Floor	H1	H1 FF	109.99
Ground Floor	H1	H1 GF	83.19
Ground Floor	H1	H1 PORCH	2.23
First Floor	H1	H1 VOID	3.75
			268.72
H2			
Ground Floor	H2	CARPORT	36.06
Ground Floor	H2	H2 ALFRESCO	13.58
First Floor	H2	H2 BALCONY	3.58
First Floor	H2	H2 FF	84.64
Ground Floor	H2	H2 GF	56.54
Ground Floor	H2	H2 PORCH	2.09
First Floor	H2	H2 VOID	4.58
			201.08
Grand total			469.80

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2023/1467/2
Date: 16 September 2025



1 : 500



1 : 500

LISBURN STREET

Cut / Fill	---
Stormwater Pipe	---
Retaining Wall	---
Batters	---
Boundry	---
Steel Beam	---

Technical changes may be done on plans before construction without notification

3.1	07/09/2025	Fence and block wall amendment	
3.0	04/09/2025	Fence and block wall amendments & Gas meters	
2.9	09/02/2025	Front fence amendment	
2.8	30/11/2024	Nominated 90shs to south east corner of carport	
Rev	Date	Revision Description	By

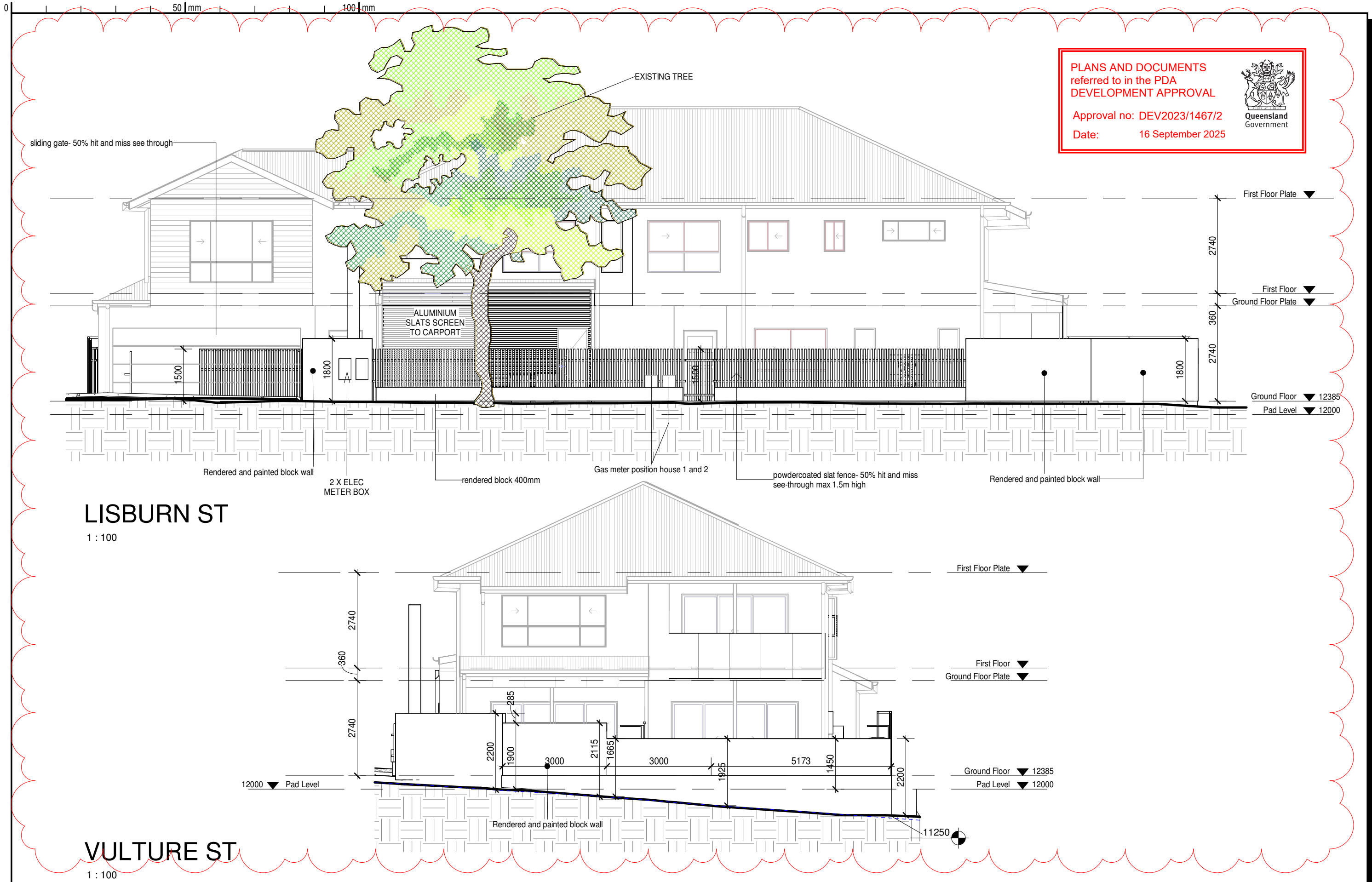
BUILDING
BUDDY
www.BuildingBuddy.com.au
Ph: 1800 710 102

DRAWING NAME
SITE PLAN
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CLIENT MICHAEL & TONY NGUYEN
SITE ADDRESS
479 VULTURE ST, EAST BRISBANE
Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown
on these plans, we must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or
back charges without our written agreement to do so.

REAL PROPERTY DESCRIPTION
Lot Registered Plan RP42939
Parish of East Brisbane
County of The Gabba
Site Area 465sqm

WIND TBA
LICENCE 1226612
JOB No. 22043
SCALE As indicated @ A3
DATE 08/09/2025
SHEET No. 04 of 30



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referred to in the PDA
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Queensland
Government

3.2	08/09/2025	Fence amendments	
3.1	07/09/2025	Fence and block wall amendment	
3.0	04/09/2025	Fence and block wall amendments & Gas meters	
2.9	09/02/2025	Front fence amendment	
Rev	Date	Revision Description	By

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DRAWING NAME
FRONT FENCE
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1 : 100 @ A3
DATE
08/09/2025
SHEET No.
13 of 30