



IMPORTANT NOTES
Do not scale from drawings. All dimensions to be checked on site
before commencement of work. All discrepancies to be brought to the
attention of the Architect. Larger scale drawings and written
dimensions take preference over the dimensions on these drawings.
Dimensions shown on these drawings are in metres and are without
exception in favour of MARCHESE PARTNERS INTERNATIONAL
PTY LTD. Apartment areas measured to INSIDE face of all external,
party and corridor walls inclusive of floor and services risers within
the apartment areas. Services risers are EXCLUDED.
External walls when adjacent to balcony or terrace are measured to
CENTERLINE of wall.
Balcony and terrace measured to INSIDE face of slab or planter wall.

REV DATE

A 11/07/2025

B 23/07/2025

C 30/07/25

DESCRIPTION

DA SET FOR REVIEW BY EDQ URBAN

PLANNING

DA ISSUE

BY

ZJ

ZJ

ZJ

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

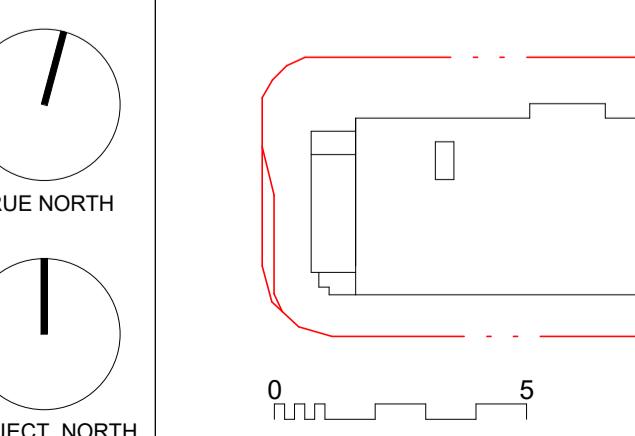
Approval no: DEV2025/1674

Date: 15 September 2025



TRUE NORTH

PROJECT NORTH



PRINCIPAL

retireaustralia

D+C CONTRACTOR

CONSULTANT

marchesepartners | Life^{3A}

Marchese Partners International Brisbane Pty Ltd

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Sydney Brisbane Melbourne Adelaide Kuala Lumpur Christchurch London Madrid

DRAWING TITLE
SITE PLAN

SCALE
1 : 150 @A1

DATE
30/07/25

DRAWN
ZJ

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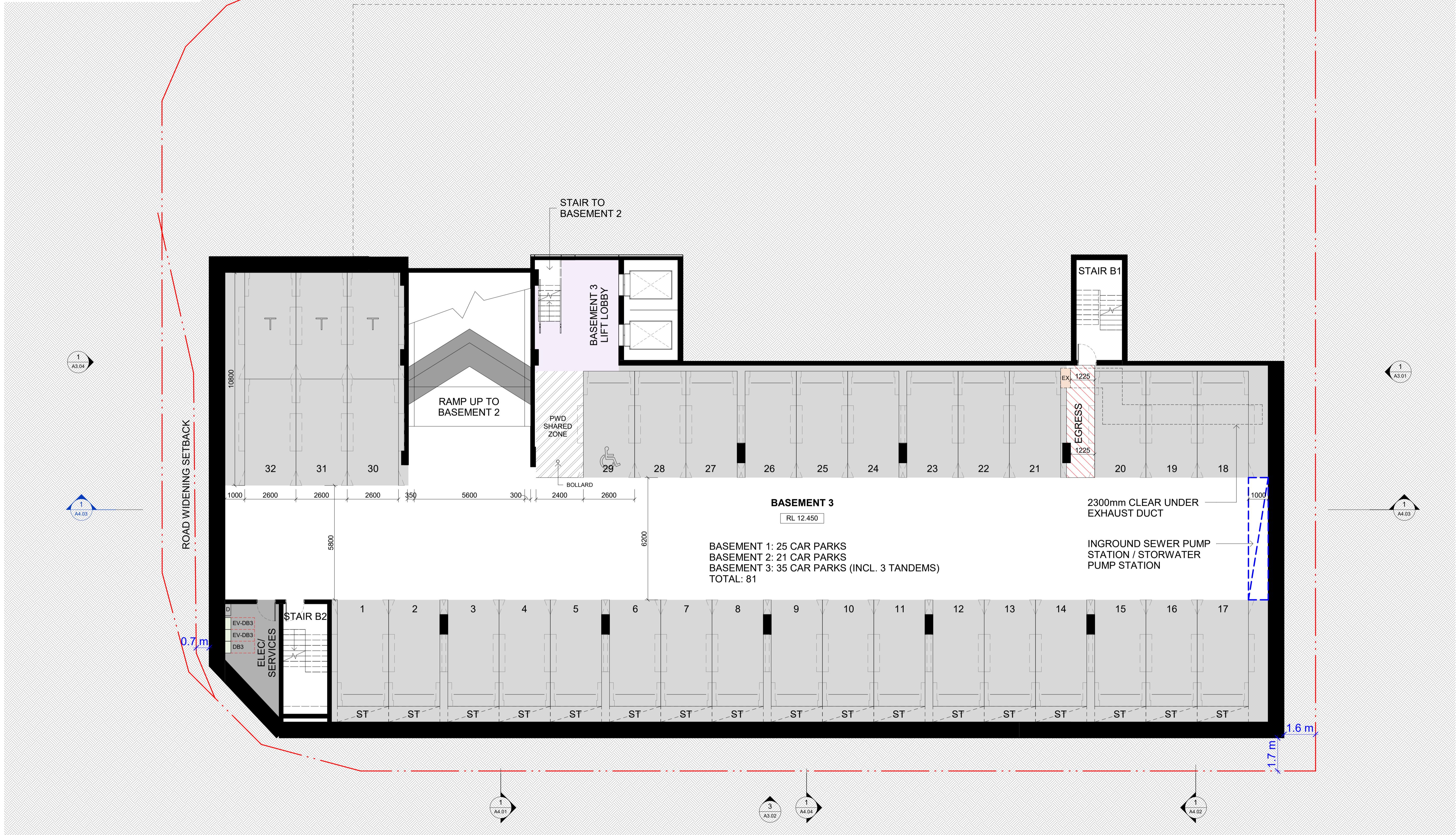
PROJECT
ARCADIA - BUILDING D
70 PARK ROAD
YERONGA QLD 4104

JOB
24015

DRAWING
MP-AR-DWG-A2.00

REVISION
C

CAR PARKING (MINIMUM STATUTORY REQUIREMENT)		
MINIMUM REQUIRED SPACES = 59		
(A) 0.7 SPACES PER DWELLING FOR RESIDENTS		
(B) 0.3 SPACES PER DWELLING FOR VISITORS		
LEVEL	CAR PARK TYPE	PROPOSED SPACES
BASEMENT 3	RESIDENT	32
BASEMENT 2	RESIDENT	21
BASEMENT 1	RESIDENT	8
		61
BASEMENT 3	RESIDENT TANDEM	3
		3
BASEMENT 1	VISITOR	17
		17
TOTAL		81



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attention of the Architect. Larger scale drawings and written
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party and corridor walls inclusive of external walls and services risers within
the external wall thickness. Internal dimensions are EXCLUDED.
External walls when adjacent to balcony or terrace are measured to
CENTERLINE of wall.
Balcony and terrace measured to INSIDE face of slab or planter wall.
DATE STAMP: 30/07/2025 8:52:02 AM

REV DATE

A 08/07/2025

B 10/06/2025

C 21/06/2025

D 08/07/2025

E 11/07/2025

F 23/07/2025

G 30/07/2025

DA ISSUE

BY

ZJ

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DA SET FOR REVIEW BY EDQ URBAN

PLANNING

DA DRAFT

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PLANNING

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PLANNING

DA DRAFT

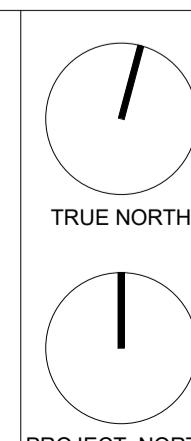
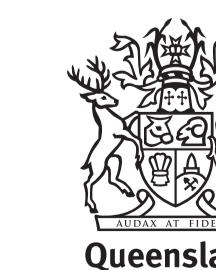
DA SET FOR REVIEW BY EDQ URBAN

PLANNING

DA DRAFT

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2025/1674
Date: 15 September 2025



PRINCIPAL
retireaustralia

CONSULTANT
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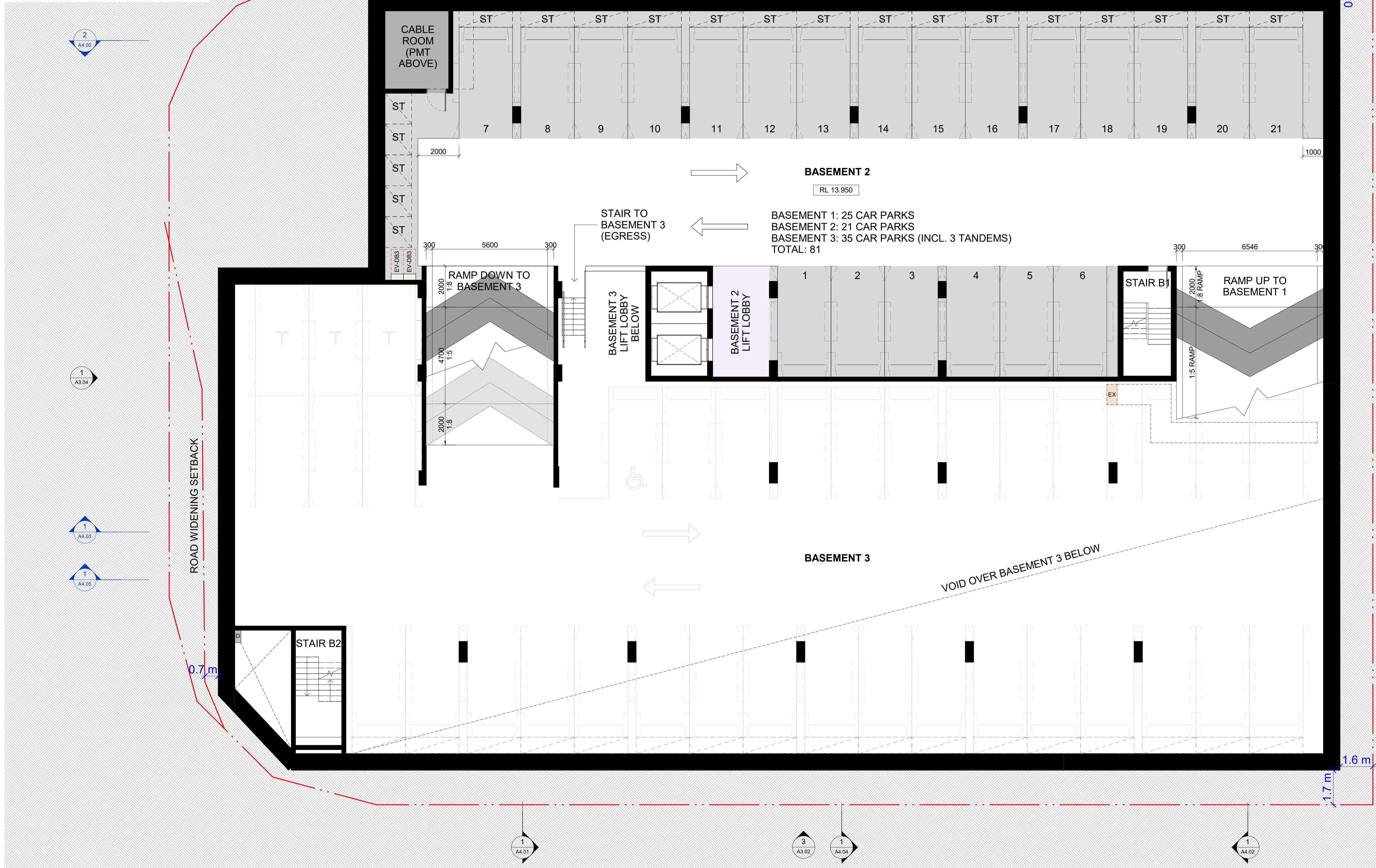
DATE STAMP: 30/07/2025 8:52:02 AM

DRAWING TITLE
BASEMENT 3

SCALE
1 : 100 @A1
DATE
30/07/25
DRAWN
ZJ
CHECKED
SO

JOB
24015
DRAWING
MP-AR-DWG-A2.01
REVISION
G

CAR PARKING (MINIMUM STATUTORY REQUIREMENT)		
MINIMUM REQUIRED SPACES = 59		
(A) 0.7 SPACES PER DWELLING FOR RESIDENTS		
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BASEMENT 1	VISITOR	17
		17
TOTAL		81



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REV	DATE	DESCRIPTION
A	04/06/2025	ISSUE FOR INFORMATION
B	10/06/2025	ISSUE FOR PRE-LODGEMENT
C	27/06/2025	ISSUE FOR INFORMATION
D	08/07/2025	ISSUE FOR PRE-LODGEMENT
E	11/07/2025	DA DRAFT
F	23/07/2025	DA SET FOR REVIEW BY EDQ URBAN PLANNING
G	30/07/25	DA ISSUE

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL



PRINCIPAL

1. **What is the primary purpose of the study?**

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PROJECT

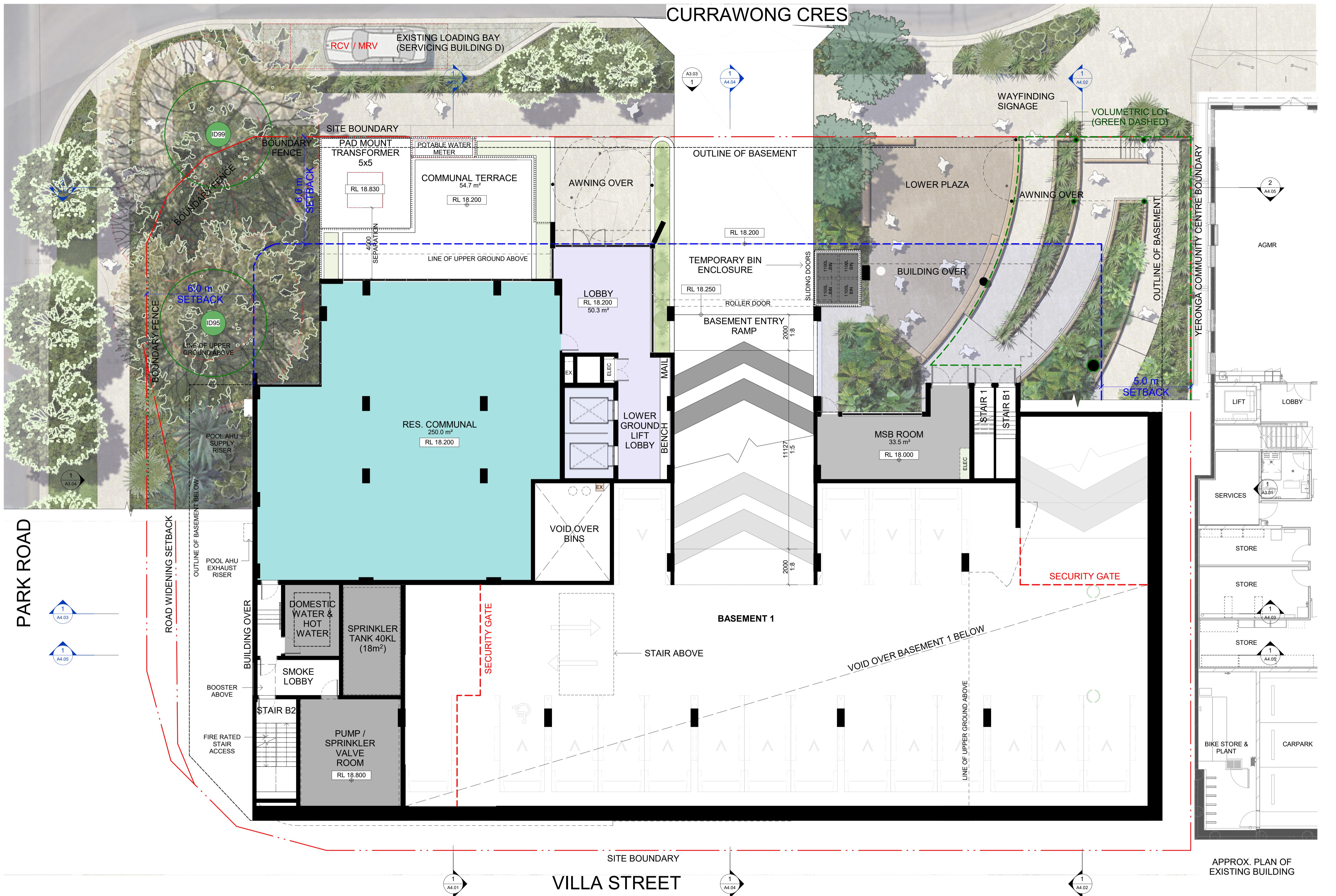
ARCADIA - BUILDING D

70 PARK ROAD

YERONGA QLD 4104

DRAWING TITLE
BASEMENT 2

SCALE 1 : 100 @A1	DATE 30/07/25	DRAWN ZJ	CH S
JOB 24015	DRAWING MP-AR-DWG-A2.02		RE G



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External wall/s when adjacent to balcony or terrace are measured to CENTERLINE of wall.

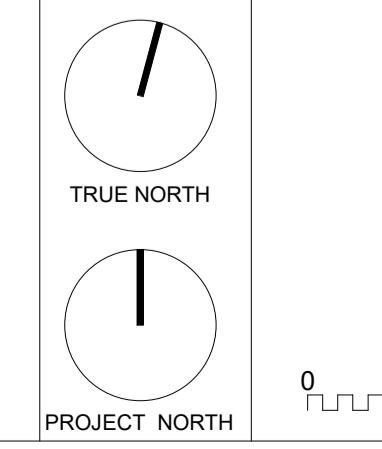
Balcony and terrace measured to INSIDE face of hob or planter wall.

REV	DATE	DESCRIPTION	BY
A	04/06/2025	ISSUE FOR INFORMATION	ZJ
B	10/06/2025	ISSUE FOR PRE-LODGEMENT	ZJ
C	12/06/2025	ISSUE FOR PRE-LODGEMENT	ZJ
D	27/06/2025	ISSUE FOR INFORMATION	ZJ
E	08/07/2025	ISSUE FOR PRE-LODGEMENT	ZJ
F	11/07/2025	DA DRAFT	ZJ
G	23/07/2025	DA SET FOR REVIEW BY EDQ URBAN PLANNING	ZJ
H	30/07/25	DA ISSUE	ZJ

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL



1



The logo for RetireAustralia, featuring a blue diamond shape with a white outline and a smaller white circle to its right, followed by the text "retireaustralia" in a lowercase, sans-serif font.

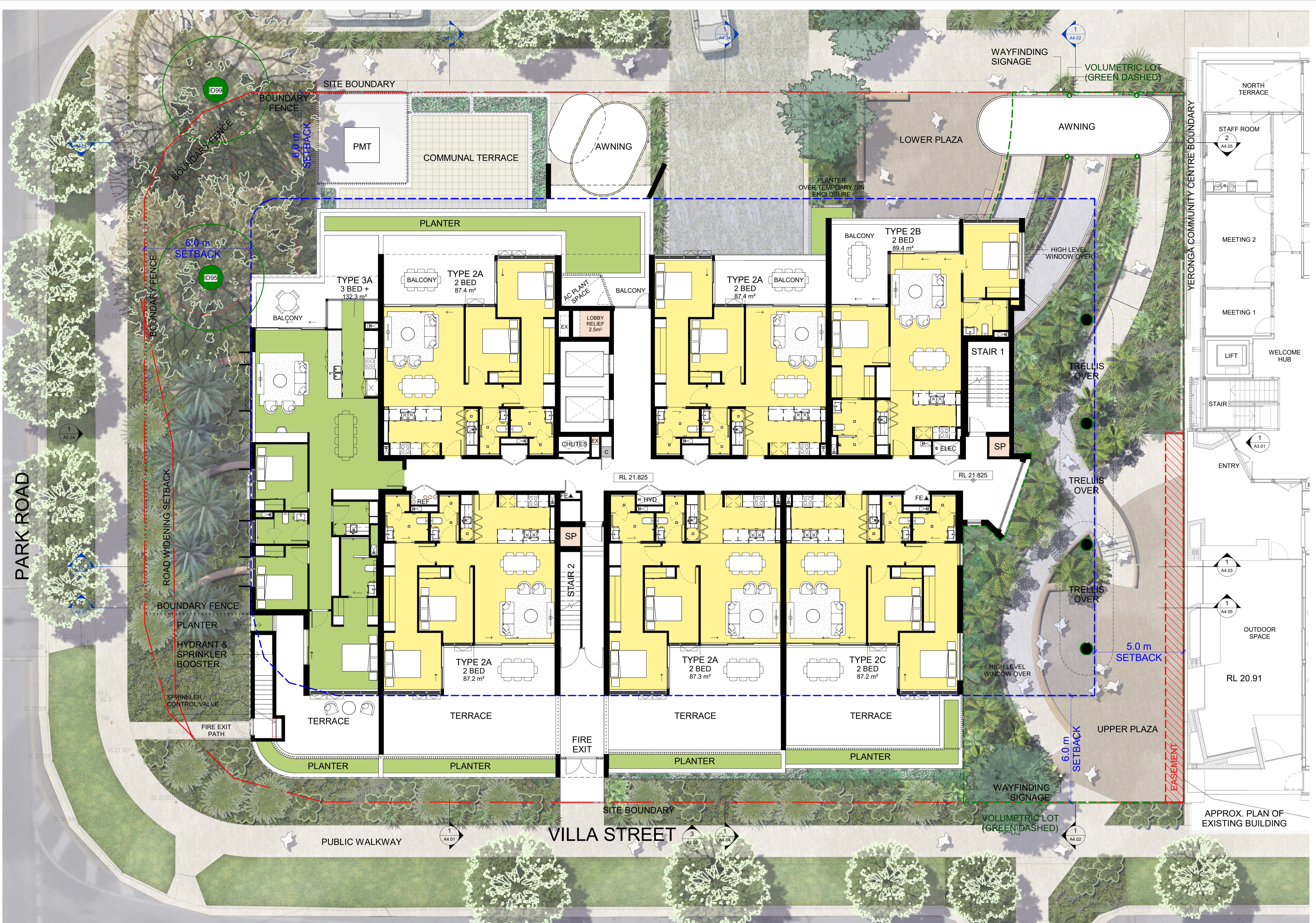
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DRAWING TITLE
LOWER GROUND LEVEL

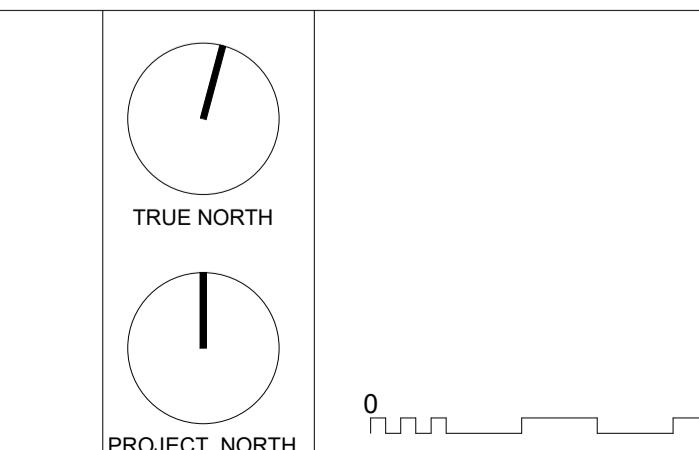
APPROX. PLAN OF EXISTING BUILDING



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exterior walls of MARCHESE PARTNERS INTERNATIONAL
PTY LTD. Apartment areas measured to INSIDE face of all external,
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Balcony and terrace measured to INSIDE face of slab or planter wall.

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A 10/06/2025 ISSUE FOR INFORMATION
B 12/06/2025 ISSUE FOR PRE-LODGEMENT
C 27/06/2025 ISSUE FOR INFORMATION
D 08/07/2025 ISSUE FOR PRE-LODGEMENT
E 11/07/2025 DA DRAFT
F 23/07/2025 DA SET FOR REVIEW BY EDQ URBAN
G PLANNING
H 30/07/25 DA ISSUE

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2025/1674
Date: 15 September 2025



PRINCIPAL
retireaustralia

D+C CONTRACTOR

CONSULTANT
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Marchese Partners International Brisbane Pty Ltd
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DRAWING TITLE
UPPER GROUND LEVEL
SCALE 1: 100 @A1
DATE 30/07/25
DRAWN ZJ
CHECKED SO
JOB 24015
DRAWING MP-AR-DWG-A2.05
REVISION H

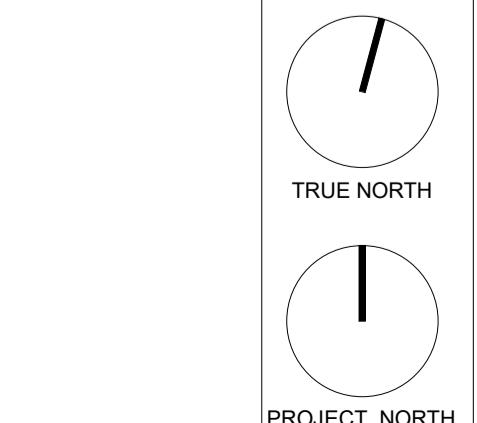
CURRAWONG CRES



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E	08/07/2025	ISSUE FOR PRE-LODGEMENT
F	11/07/2025	DA DRAFT
G	23/07/2025	DA SET FOR REVIEW BY EDQ URBAN PLANNING
H	30/07/25	DA ISSUE

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL



VILLA STREET

The logo for RetireAustralia, featuring a blue stylized diamond shape on the left and the word "retireaustralia" in a lowercase, sans-serif font to the right.

CONSULTANT

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<p>DRAWING TITLE LEVEL 1</p>			
SCALE 1 : 100 @A1	DATE 30/07/25	DRAWN ZJ	CHECKED SO
JOB 24015	DRAWING MP-AR-DWG-A2.06		REVISION H

CURRAWONG CRES

PARK ROAD



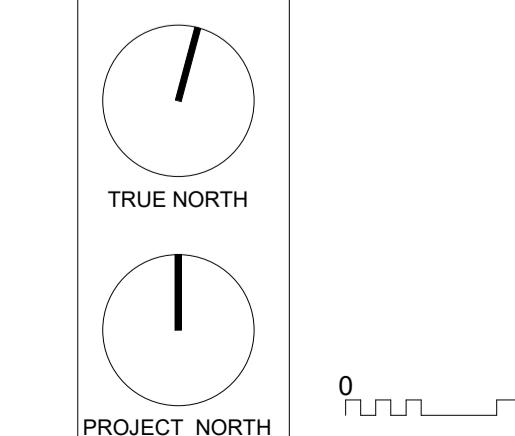
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attention of the Architect. Larger scale drawings and written
dimensions take preference over the dimensions shown on these drawings.
External dimensions of the building are measured to the outside of the building. Internal
party and corridor walls inclusive of floor, ceiling and services risers within
the building are measured to the inside of the walls EXCLUDED.
External walls when adjacent to balcony or terrace are measured to
CENTERLINE of wall.
Balcony and terrace measured to INSIDE face of slab or planter wall.

REV DATE DESCRIPTION BY
A 10/06/2025 ISSUE FOR INFORMATION ZJ
B 10/06/2025 ISSUE FOR PRE-LODGEMENT ZJ
C 12/06/2025 ISSUE FOR PRE-LODGEMENT ZJ
D 27/06/2025 ISSUE FOR INFORMATION ZJ
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F 11/07/2025 DA DRAFT ZJ
G 23/07/2025 DA SET FOR REVIEW BY EDQ URBAN ZJ
H 30/07/25 DA ISSUE ZJ

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SITE BOUNDARY
VILLA STREET



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DRAWING TITLE
LEVEL 2-4

SCALE 1 : 100 @A1	DATE 30/07/25	DRAWN ZJ	CHECKED SO
JOB 24015	DRAWING MP-AR-DWG-A2.07	REVISION H	

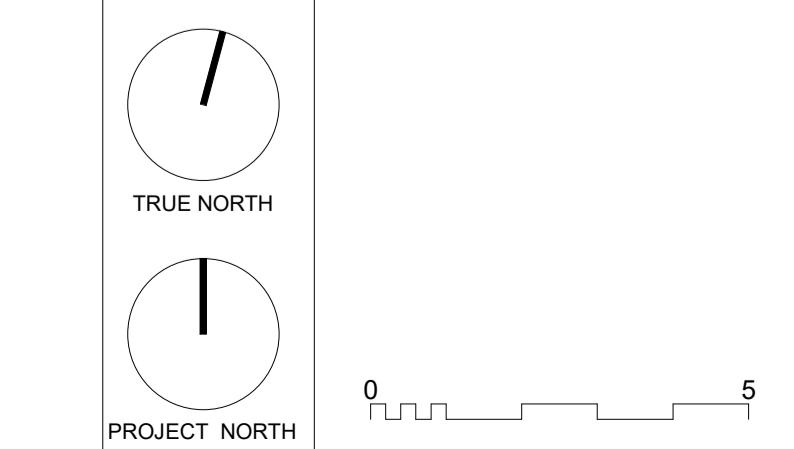
CURRAWONG CRES



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External areas measured to INSIDE face of all external, party and corridor walls inclusive of external and services risers within the building. Internal areas are EXCLUDED.
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Balcony and terrace measured to INSIDE face of slab or planter wall.

REV DATE DESCRIPTION BY
A 10/06/2025 ISSUE FOR INFORMATION ZJ
B 10/06/2025 ISSUE FOR PRE-LODGEMENT ZJ
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F 11/07/2025 DA DRAFT ZJ
G 23/07/2025 DA SET FOR REVIEW BY EDQ URBAN ZJ
H 30/07/25 DA ISSUE ZJ

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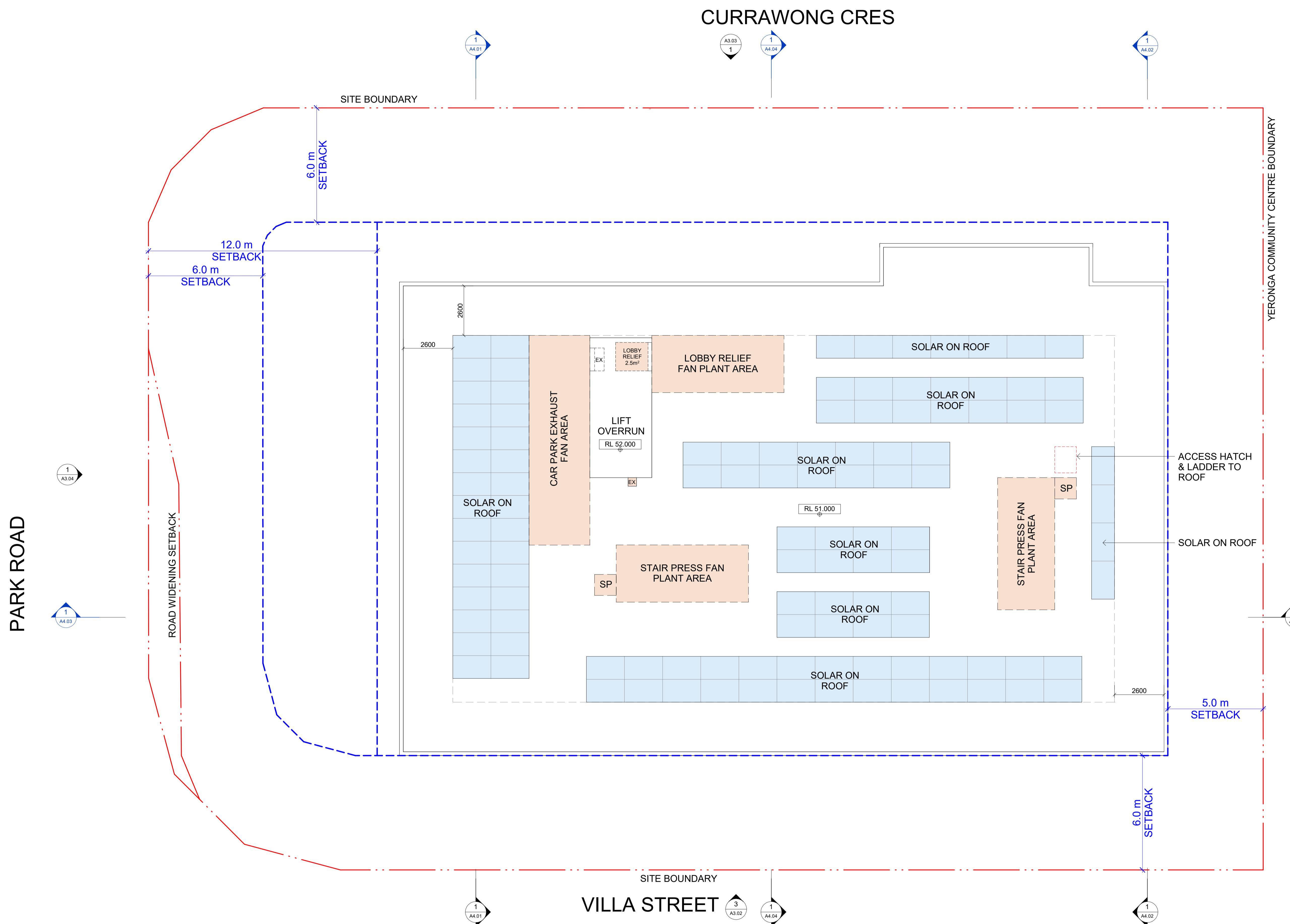
PROJECT
ARCADIA - BUILDING D
70 PARK ROAD
YERONGA QLD 4104

DRAWING TITLE
LEVEL 5 & 6
SCALE 1 : 100 @A1 DATE 30/07/25 DRAWN ZJ CHECKED SO
JOB 24015 DRAWING MP-AR-DWG-A2.10 REVISION H

CURRAWONG CRES



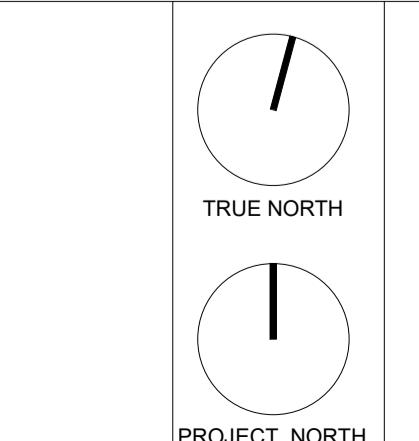
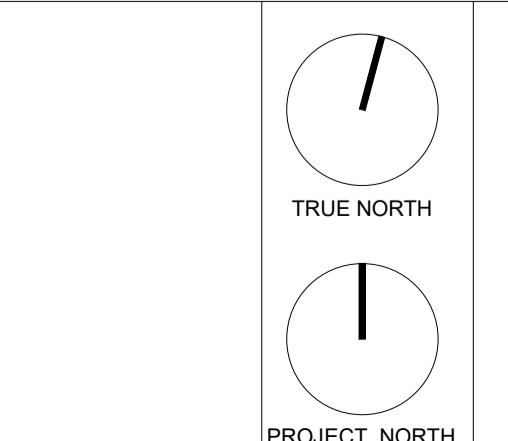
CURRAWONG CRES



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attention of the Architect. Larger scale drawings and written
dimensions take preference over the dimensions on these drawings.
External dimensions of walls measured to INSIDE face of all external
party and corridor walls inclusive of door and services risers within
the boundary of the building. Services risers are EXCLUDED.
External walls when adjacent to balcony or terrace are measured to
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Balcony and terrace measured to INSIDE face of slab or planter wall.

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F 23/07/2025 DA SET FOR REVIEW BY EDQ URBAN ZJ
G PLANNING 23/07/2025 DA ISSUE ZJ
H 30/07/25 DA ISSUE ZJ

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D+C CONTRACTOR

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Sydney Brisbane Melbourne Adelaide Kuala Lumpur Christchurch London Madrid

DRAWING TITLE
ROOF LEVEL
SCALE 1:100 @A1 DATE 30/07/25 DRAWN ZJ CHECKED SO
JOB 24015 DRAWING MP-AR-DWG-A2.14 REVISION H



1 EAST ELEVATION
A2.00 1 : 100

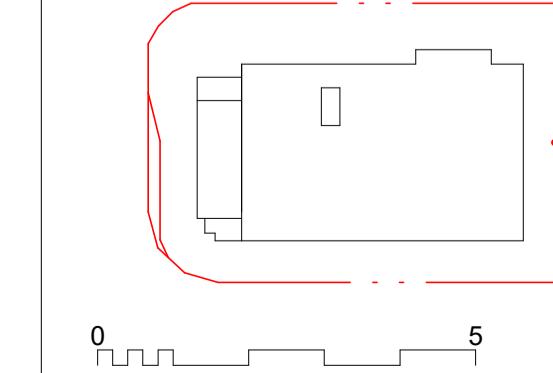
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A	12/06/2025	ISSUE FOR INFORMATION ISSUE FOR PRE-LODGEMENT	ZJ	 retireaustralia	marchesepartners Life ^{3A}	EAST ELEVATION
B	21/06/2025	ISSUE FOR INFORMATION	ZJ		Marchese Partners International Brisbane Pty Ltd P +61 7 3211 2690 E info@marchesepartners.com W www.marchesepartners.com	
C	11/07/2025	DA DRAFT	ZJ		Sydney Brisbane Melbourne Adelaide Kuala Lumpur Christchurch London Madrid	
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E		DA ISSUE	ZJ			
F	30/07/25		ZJ	D+C CONTRACTOR	PROJECT ARCADIA - BUILDING D 70 PARK ROAD YERONGA QLD 4104	SCALE 1 : 100 @A1
						DATE 30/07/25
						DRAWN ZJ
						CHECKED SO
						JOB 24015
						DRAWING MP-AR-DWG-A3.01
						REVISION F

PLANS AND DOCUMENTS
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PRINCIPAL

 retireaustralia

CONSULTANT

marchesepartners | Life^{3A}

DRAWING TITLE

EAST ELEVATION

PRINCIPAL

D+C CONTRACTOR

CONSULTANT

PROJECT
ARCADIA - BUILDING D
70 PARK ROAD
YERONGA QLD 4104

SCALE
1 : 100 @A1

DATE
30/07/25

DRAWN
ZJ

CHECKED
SO

JOB
24015

DRAWING
MP-AR-DWG-A3.01

REVISION
F



DATE STAMP: 30/07/2025 8:53:10 AM

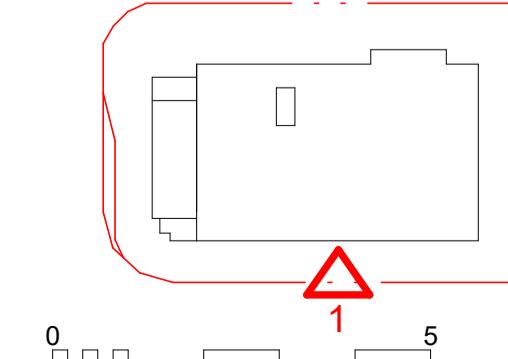
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REV DATE DESCRIPTION BY

A 12/06/2025 ISSUE FOR INFORMATION ZJ
B 12/06/2025 ISSUE FOR PRE-LODGEMENT ZJ
C 21/06/2025 ISSUE FOR INFORMATION ZJ
D 11/07/2025 DA DRAFT ZJ
E 23/07/2025 DA SET FOR REVIEW BY EDQ URBAN PLANNING ZJ
F 30/07/2025 DA ISSUE ZJ

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Approval no: DEV2025/1674
Date: 15 September 2025

Queensland Government



PRINCIPAL retireaustralia
D+C CONTRACTOR

CONSULTANT marchesepartners | Life^{3A}
Marchese Partners International Brisbane Pty Ltd
Level 14, 46 Edward Street, Brisbane, QLD 4000, Australia
P +61 7 3211 2696 E info@marchesepartners.com W www.marchesepartners.com
Sydney Brisbane Melbourne Adelaide Kuala Lumpur Christchurch London Madrid

PROJECT ARCADIA - BUILDING D
70 PARK ROAD
YERONGA QLD 4104

SCALE 1 : 100 @A1 DATE 30/07/25 DRAWN ZJ CHECKED SO

JOB 24015 DRAWING MP-AR-DWG-A3.02 REVISION F

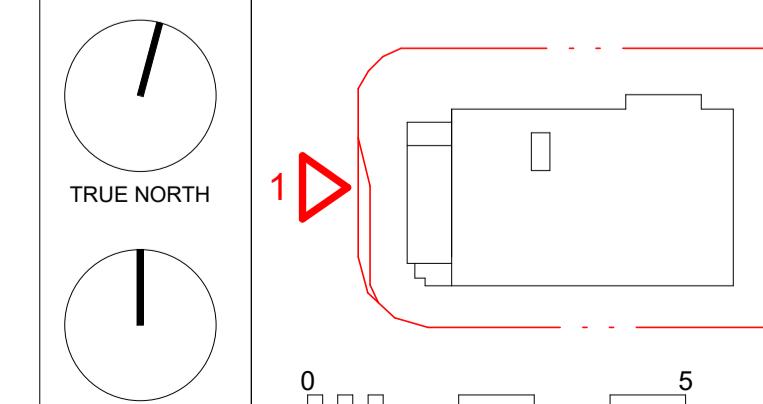


DATE STAMP: 30/07/2025 8:53:37	REV DATE DESCRIPTION BY	PRINCIPAL retireaustralia	CONSULTANT marchesepartners Life ^{3A}	DRAWING TITLE NORTH ELEVATION
	A 12/06/2025 ISSUE FOR INFORMATION ZJ		Marchese Partners International Brisbane Pty Ltd P +61 7 3211 2690 E info@marchesepartners.com W www.marchesepartners.com Sydney Brisbane Melbourne Adelaide Kuala Lumpur Christchurch London Madrid	SCALE 1 : 100 @A1 DATE 30/07/25 DRAWN ZJ CHECKED SO



1 WEST ELEVATION
A2.00 1 : 100

IMPORTANT NOTES
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expressed in metres. MARCHESI PARTNERS INTERNATIONAL
PTY LTD. Apartment areas measured to INSIDE face of all external,
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External walls when adjacent to balcony or terrace are measured to
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Balcony and terrace measured to INSIDE face of slab or planter wall.

REV	DATE	DESCRIPTION	BY	PRINCIPAL	CONSULTANT	DRAWING TITLE
A	12/06/2025	ISSUE FOR INFORMATION ISSUE FOR PRE-LODGEMENT	ZJ	 retireaustralia	marchesipartners Life ^{3A}	WEST ELEVATION
B	12/06/2025	ISSUE FOR INFORMATION	ZJ			
C	21/06/2025	ISSUE FOR INFORMATION	ZJ			
D	11/07/2025	DA DRAFT DA SET FOR REVIEW BY EDQ URBAN PLANNING	ZJ			
E	23/07/2025	DA ISSUE	ZJ			
F	30/07/25		ZJ	D+C CONTRACTOR	PROJECT ARCADIA - BUILDING D 70 PARK ROAD YERONGA QLD 4104	SCALE 1 : 100 @A1 DATE 30/07/25 DRAWN ZJ CHECKED SO
		PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL				JOB 24015 DRAWING MP-AR-DWG-A3.04 REVISION F
		Approval no: DEV2025/1674 Date: 15 September 2025				



DATE STAMP: 30/07/2025 08:53:56 AM
 IMPORTANT NOTES
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 Balcony and terrace measured to INSIDE face of slab or planter wall.

REV DATE
 A 10/06/2025
 B 10/06/2025
 C 12/06/2025
 D 27/06/2025
 E 11/07/2025
 F 23/07/2025
 G 30/07/25

DESCRIPTION
 ISSUE FOR INFORMATION
 ISSUE FOR PRE-LODGEMENT
 ISSUE FOR PRE-LODGEMENT
 ISSUE FOR INFORMATION
 DA DRAFT
 DA SET FOR REVIEW BY EDQ URBAN PLANNING
 DA ISSUE

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 Approval no: DEV2025/1674
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PRINCIPAL
retireaustralia

CONSULTANT
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PROJECT
ARCADIA - BUILDING D
70 PARK ROAD
YERONGA QLD 4104

DRAWING TITLE
SITE SECTION - NORTH-SOUTH 1

SCALE
 1:100 @A1

DATE
 30/07/25

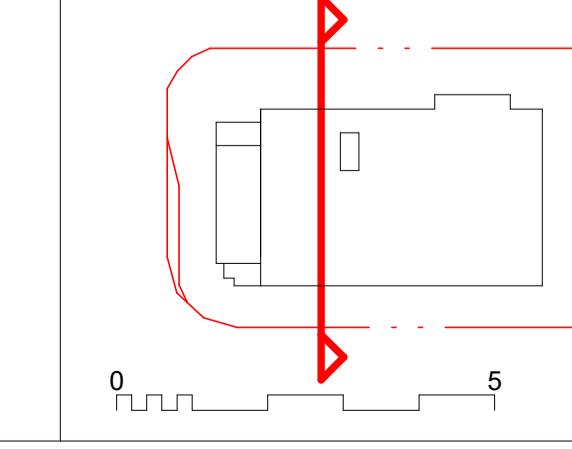
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JOB
 24015

DRAWING
 MP-AR-DWG-A4.01

REVISION
 G





IMPORTANT NOTES

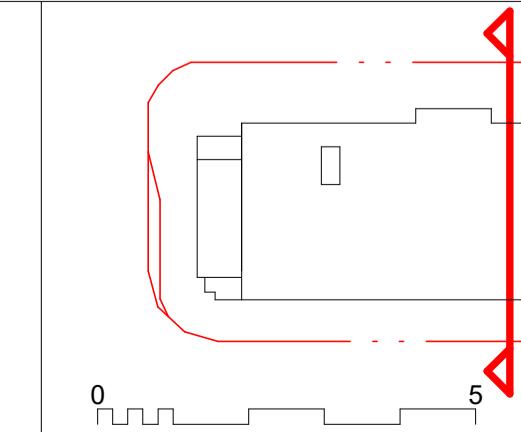
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REV	DATE	DESCRIPTION
A	04/06/2025	ISSUE FOR INFORMATION
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C	12/06/2025	ISSUE FOR PRE-LODGEMENT
D	27/06/2025	ISSUE FOR INFORMATION
E	11/07/2025	DA DRAFT
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G	30/07/25	DA ISSUE

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL



Approval no: DEV2025/1674



PRINCIPAL

P:Q CONTR

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PROJECT
ARCADIA - BUILDING D
70 PARK ROAD
YERONGA QLD 4104

DRAWING TITLE
SITE SECTION - NORTH-SOUTH 2

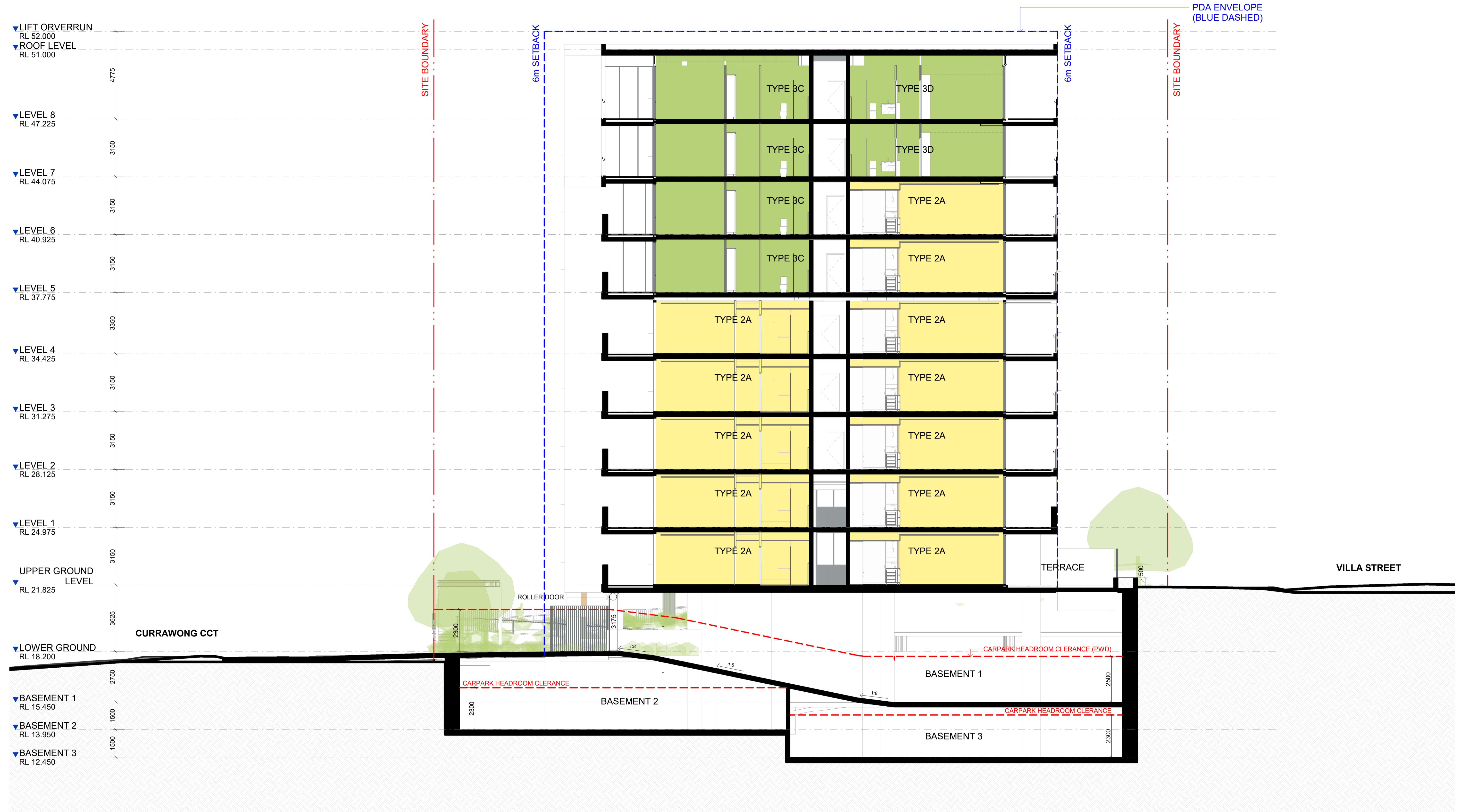
SITE SECTION NORTH 6000 FT

SCALE DATE DRAWN CHECKED

SCALE 1 : 100 @A1	DATE 30/07/25	DRAWN ZJ	CHECKED SO
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JOB 24015	DRAWING MP-AR-DWG-A4.02	REVISION G
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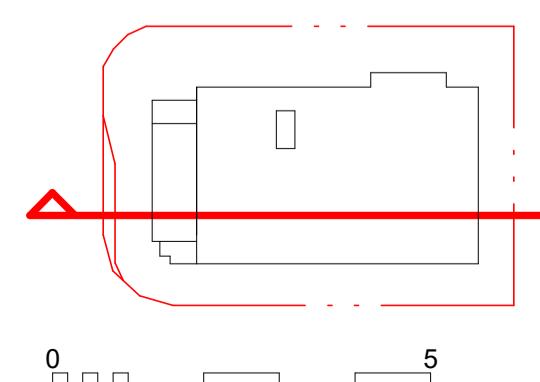
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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL



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PROJECT

PROJECT ARCADIA BUILDING D

ARCADIA - BUILDING D

72 PARK ROAD

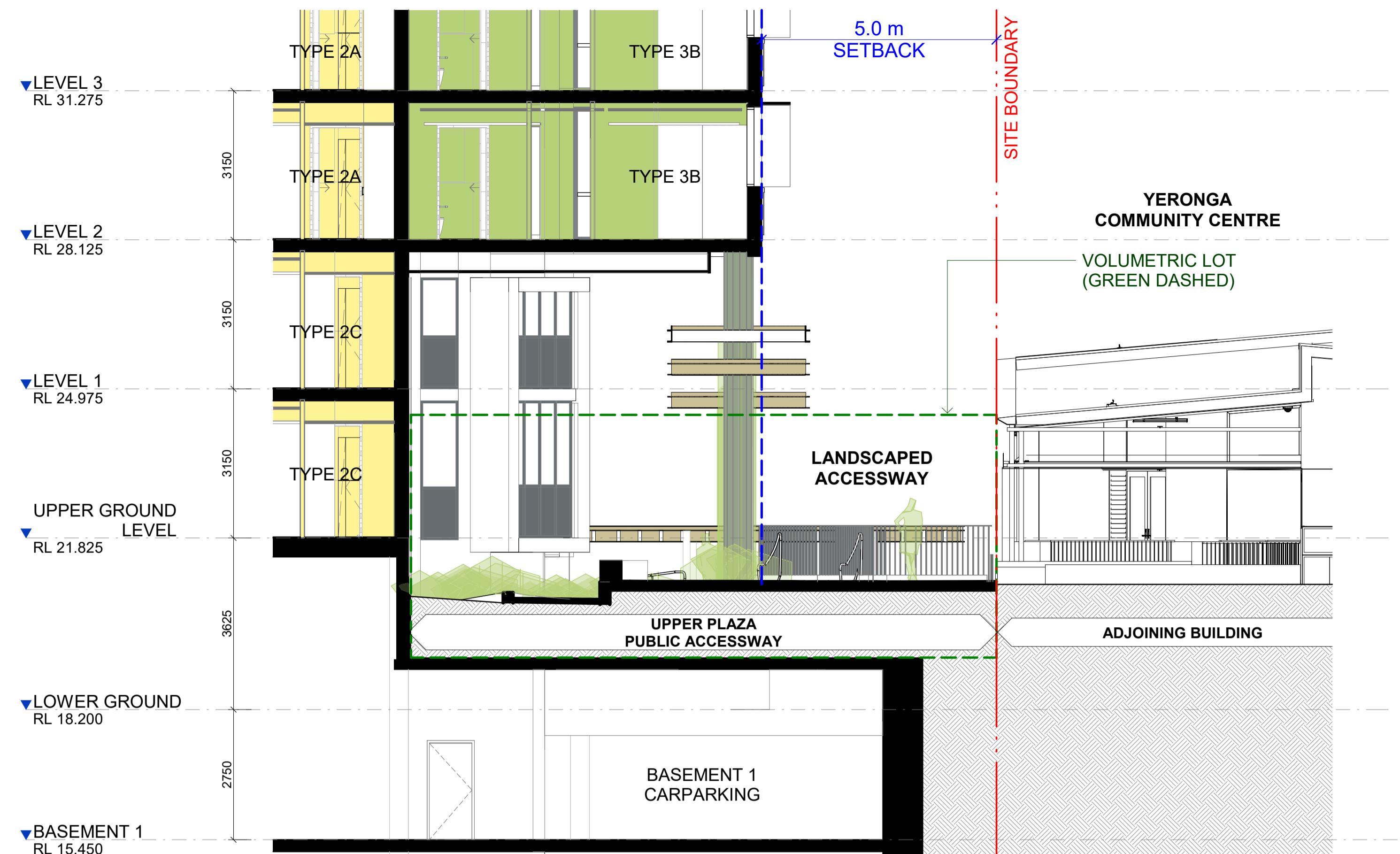
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SITE SECTION - RAMP SECTION

SITE SECTION - RAMI SECTION

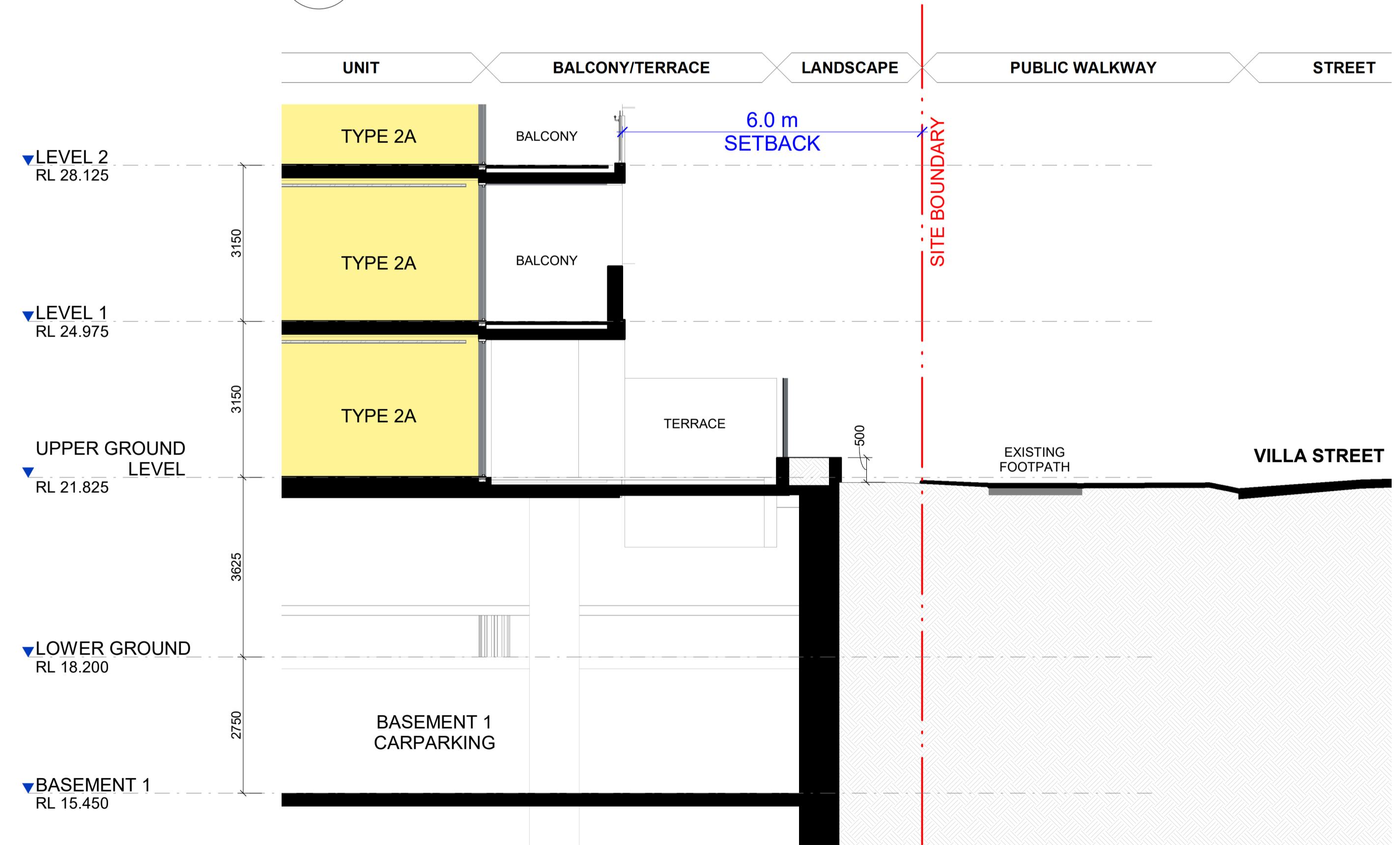
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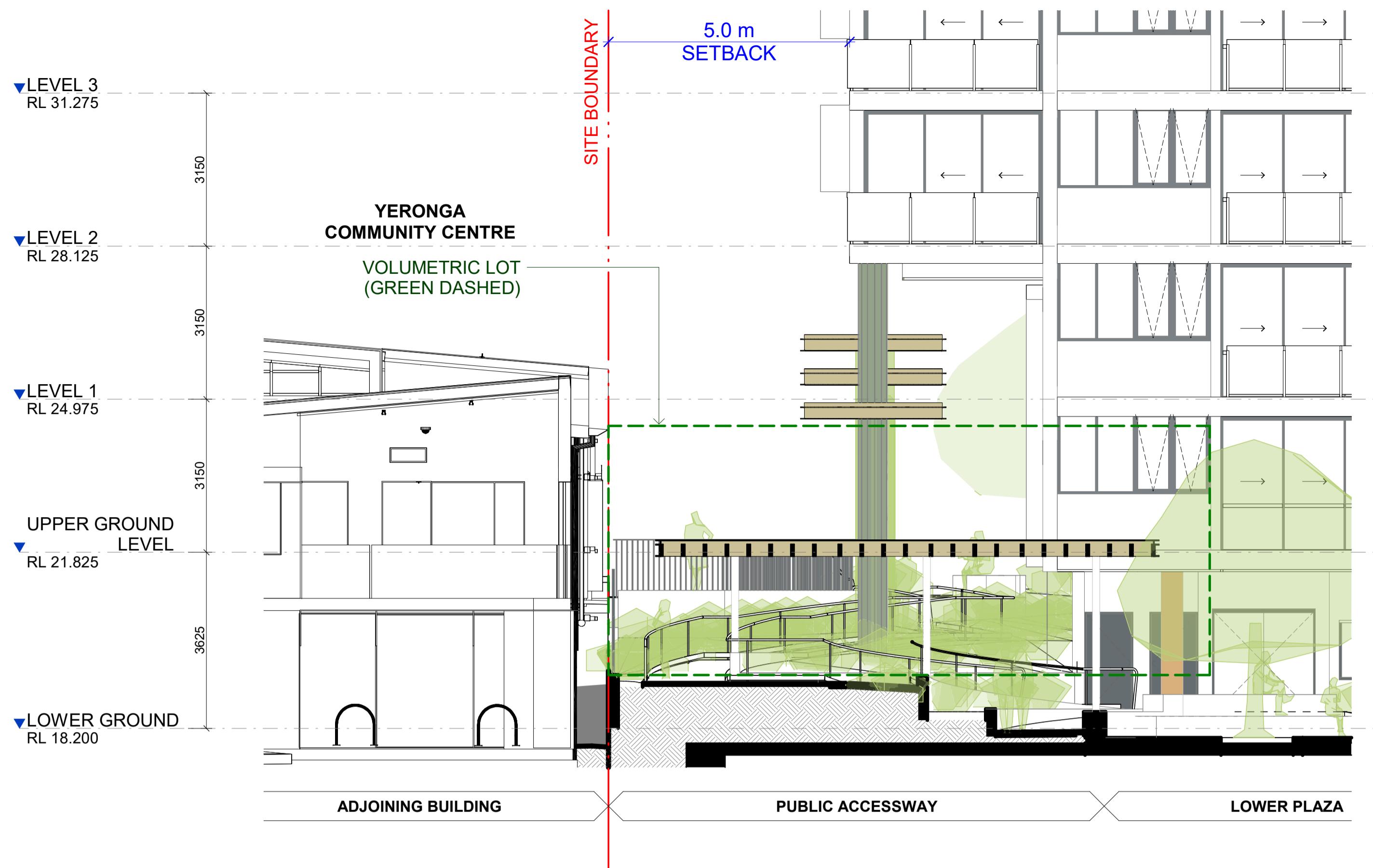
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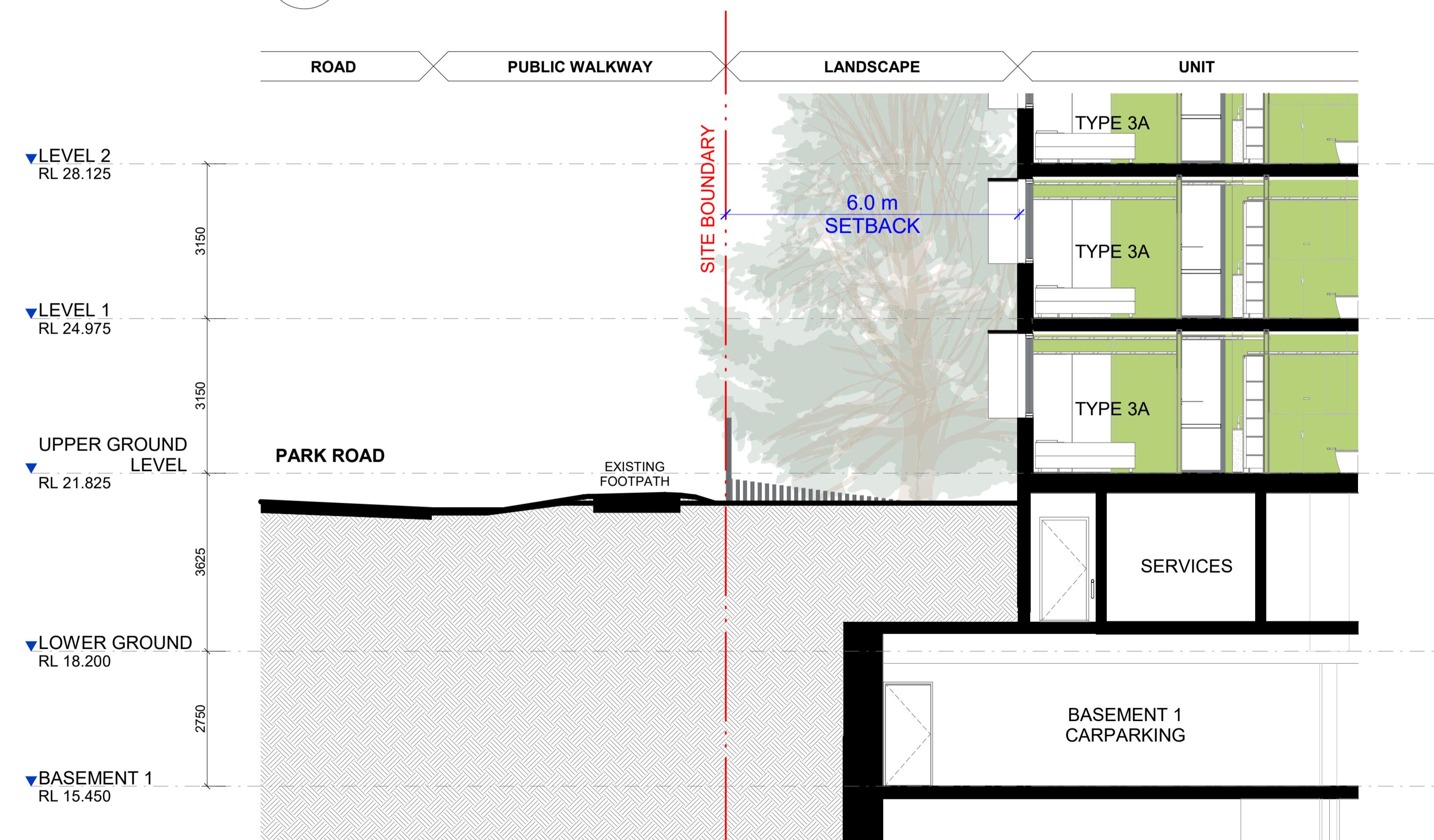
1 SITE INTERFACE SECTION - UPPER PLAZA
A2.02 1 : 75



3 SITE INTERFACE SECTION - VILLA STREET
1 : 75



2 SITE INTERFACE SECTION - LOWER PLAZA
A2.02 1 : 75



4 SITE INTERFACE SECTION - PARK ROAD
1 : 75

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External dimensions of MARCHESI PARTNERS INTERNATIONAL
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DATE STAMP: 30/07/2025 8:55:04 AM

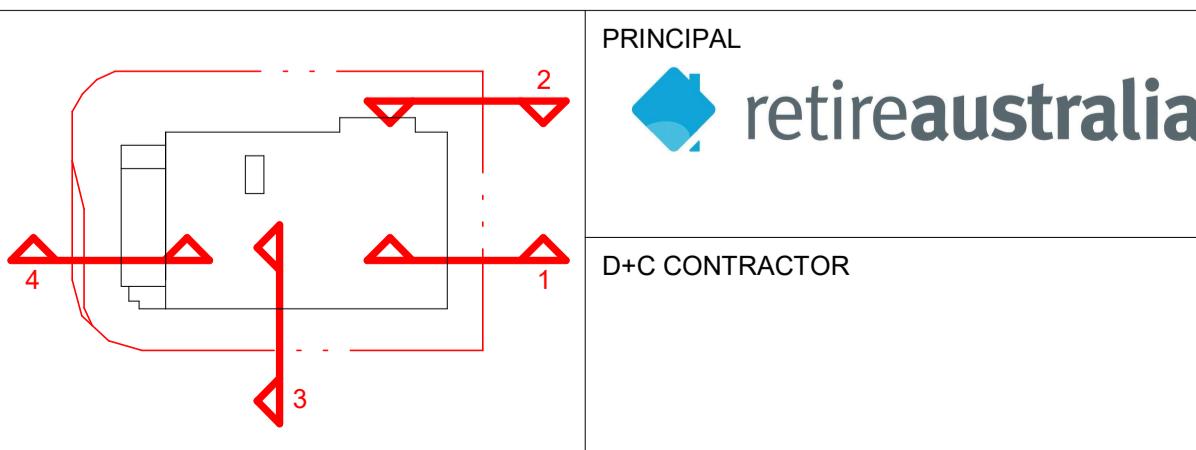
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DATE 11/07/2025
23/07/2025
30/07/25

DESCRIPTION DA SET FOR REVIEW BY EDQ URBAN
PLANNING DA ISSUE

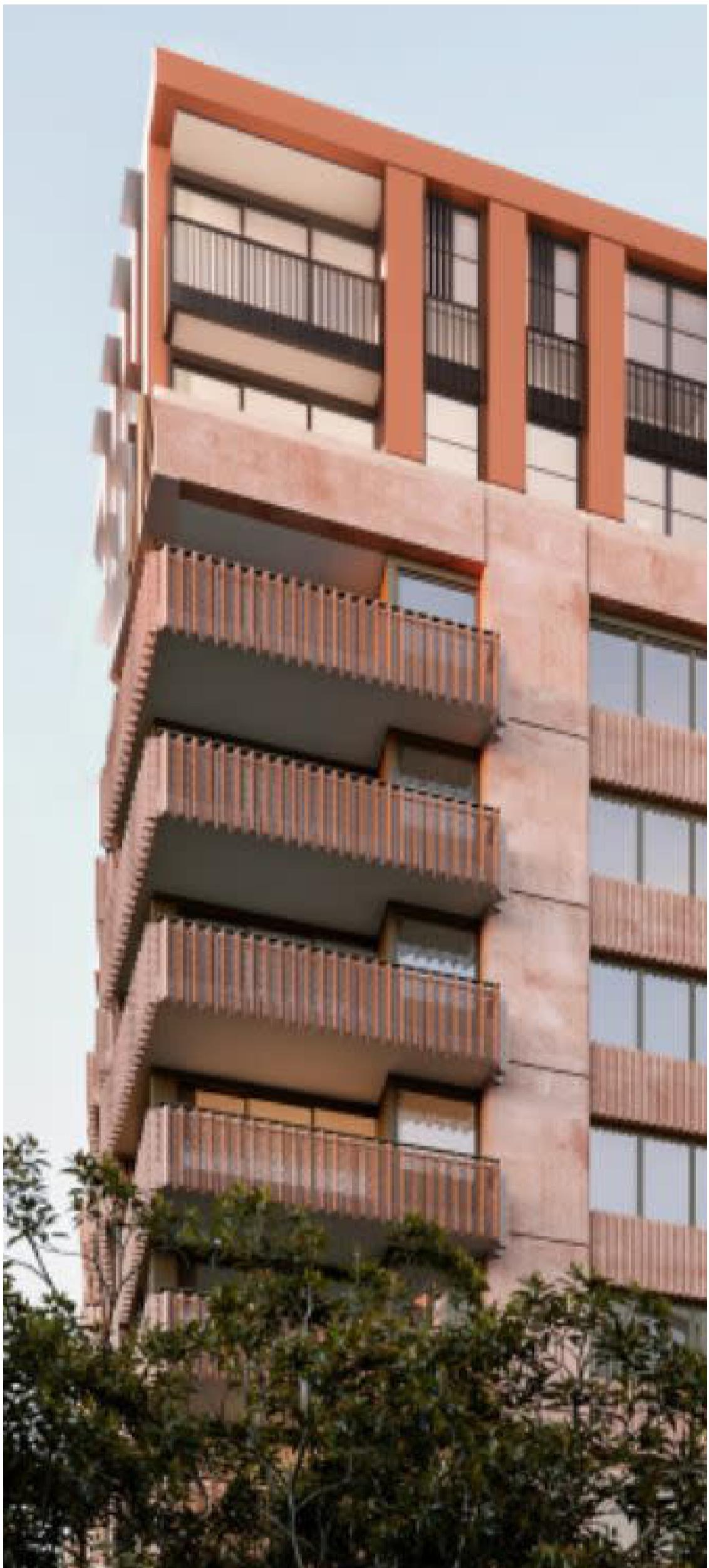
BY ZJ
ZJ
ZJ

PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL
Approval no: DEV2025/1674
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DRAWING TITLE
SITE INTERFACE SECTIONS
SCALE 1 : 75 @A1
DATE 30/07/25
DRAWN ZJ
CHECKED SO
JOB 24015
DRAWING -A4.05
REVISION C



CONTRASTING CROWN

To create a visual identity while maintaining architectural coherence, the design introduces a contrasting crown element that distinguishes the building's uppermost portion. This feature defines the skyline presence, offering a clear visual termination without overwhelming the structure below. Its distinct form and materiality emphasise separation while preserving harmony with the overall design language.



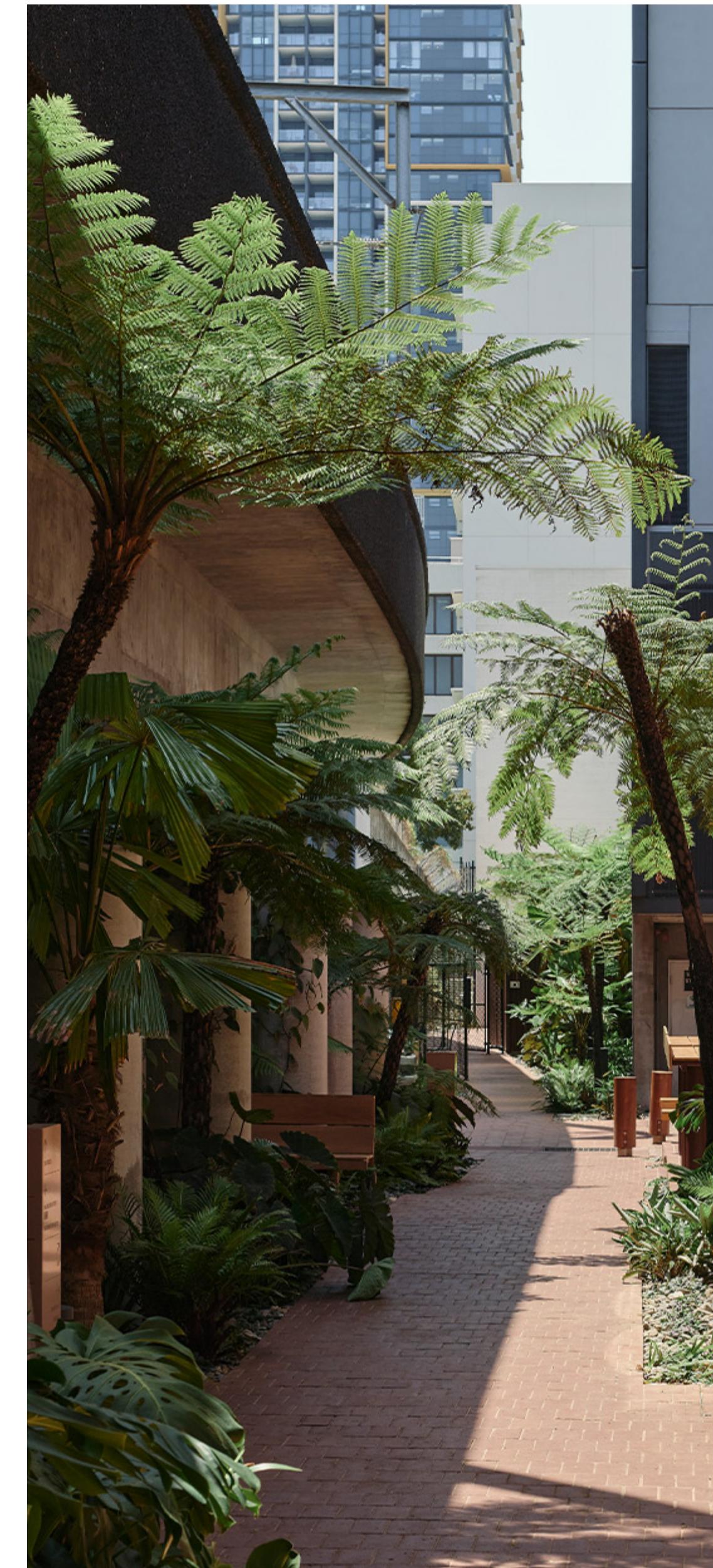
PRECAST CONCRETE

Precast concrete has been selected for its exceptional durability and minimal maintenance requirements, making it an ideal choice for long-term performance. Its inherent strength and resistance to weathering ensure the building's structural integrity over time. Additionally, the use of precast elements contributes to a clean, refined design aesthetic, aligning with the project's contemporary architectural vision.



COMMUNAL AREAS

Communal areas contain full height glazing allowing for natural daylight, high visibility for the residents and a sense of openness and connectivity to the landscaped terrace. Batten screening provide a controlled level of privacy through the ground plane, as well as high-level windows to further introduce natural lighting into the spaces to enhance the welcoming atmosphere of these gathering spaces.



GREENERY / FOOTPATH LINKS

Green courtyards and interconnected footpath links have been thoughtfully integrated throughout the site to encourage movement while creating opportunities for pause and reflection. The result is a network of green moments that enrich the spatial quality and invite a more human-centered interaction with the environment.

DATE STAMP: 30/07/2025 8:51:19 AM	<p>IMPORTANT NOTES Do not scale from drawings. All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the Architect. Larger scale drawings and written dimensions take preference. This drawing must not be used without the express authority of MARCHESE PARTNERS INTERNATIONAL PTY LTD. Apartment areas measured to INSIDE face of all external, party and corridor walls inclusive of structure and services risers within the ILA. Common service risers are EXCLUDED. External wall/s when adjacent to balcony or terrace are measured to CENTERLINE of wall. Balcony and terrace measured to INSIDE face of slab or planter wall.</p>			
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CONSULTANT  Marchese partners Life^{3A} <small>Marchese Partners International Holdings Pty Ltd Level 14, 46 Edward Street, Brisbane QLD 4000 Australia P +61 7 3212 6000 E info@marchesepartners.com W www.marchesepartners.com Sydney · Brisbane · Melbourne · Adelaide · Kuala Lumpur · Christchurch · London · Madrid</small>		PRINCIPAL  refireaustralia		
PROJECT ARCADIA - BUILDING D 70 PARK ROAD YERONGA QLD 4104		SCALE	DATE	DRAWN
		MENTS	30/07/25	ZJ
JOB 24015		DRAWING	REVISION MP-AR-DWG-A5.01	
			CHECKED SD	

EXTERIOR FINISHES SCHEDULE

GLZ01	GLAZING - WINDOW AND DOORS
GLZ02	GLAZING - GLAZED LOUVRES
BAL01	BALCONY BALUSTRADE - GREY TINTED GLASS
AWN01	ALUMINIUM SUNSHADE AWNING / VERTICAL SHADING
SCR01	ALUMINIUM SCREEN
PC01	STANDARD PRECAST
PC02	VERTICAL GROOVED PRECAST (150mm CENTRES)
PC03	VERTICAL GROOVED PRECAST (300mm CENTRES)
EXF01	PAINT FINISH - OFF-WHITE
EXF02	PAINT FINISH - PALE CLAY
EXF03	PAINT FINISH - COLORBOND MONUMENT
EXF04	PAINT FINISH - BAY LEAF
EXF05	PAINT FINISH - DARK GREY

EXTERNAL LANDSCAPE FINISHES REFER TO LANDSCAPE ARCHITECT

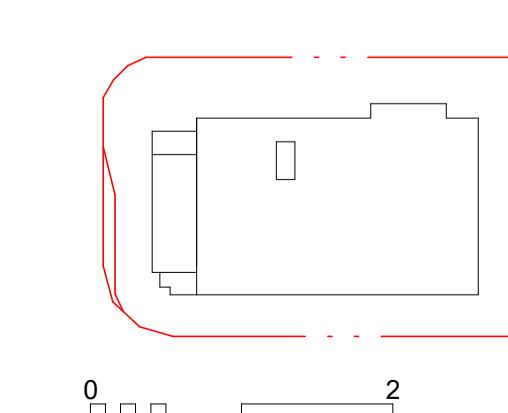


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DRAWING TITLE
FACADE DETAIL - SHEET 1

SCALE NTS	DATE 30/07/25	DRAWN ZJ	CHECKED SO
JOB 24015	DRAWING MP-AR-DWG-A5.11	REVISION C	

EXTERIOR FINISHES SCHEDULE

GLZ01	GLAZING - WINDOW AND DOORS
GLZ02	GLAZING - GLAZED LOUVRES
BAL01	BALCONY BALUSTRADE - GREY TINTED GLASS
AWN01	ALUMINIUM SUNSHADE AWNING / VERTICAL SHADING
SCR01	ALUMINIUM SCREEN
PC01	STANDARD PRECAST
PC02	VERTICAL GROOVED PRECAST (150mm CENTRES)
PC03	VERTICAL GROOVED PRECAST (300mm CENTRES)
EXF01	PAINT FINISH - OFF-WHITE
EXF02	PAINT FINISH - PALE CLAY
EXF03	PAINT FINISH - COLORBOND MONUMENT
EXF04	PAINT FINISH - BAY LEAF
EXF05	PAINT FINISH - DARK GREY

EXTERNAL LANDSCAPE FINISHES REFER TO LANDSCAPE ARCHITECT

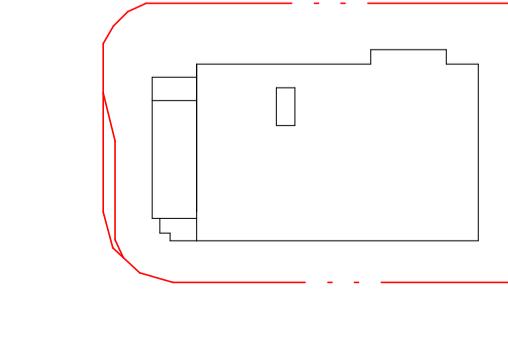


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DATE 30/07/2025
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CONSULTANT
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DRAWING TITLE
FACADE DETAIL - SHEET 2

SCALE NTS	DATE 30/07/25	DRAWN ZJ	CHECKED SO
JOB 24015	DRAWING MP-AR-DWG-A5.12	REVISION C	

EXTERIOR FINISHES SCHEDULE

GLZ01	GLAZING - WINDOW AND DOORS
GLZ02	GLAZING - GLAZED LOUVRES
BAL01	BALCONY BALUSTRADE - GREY TINTED GLASS
AWN01	ALUMINIUM SUNSHADE AWNING / VERTICAL SHADING
SCR01	ALUMINIUM SCREEN
PC01	STANDARD PRECAST
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PC03	VERTICAL GROOVED PRECAST (300mm CENTRES)
EXF01	PAINT FINISH - OFF-WHITE
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EXF03	PAINT FINISH - COLORBOND MONUMENT
EXF04	PAINT FINISH - BAY LEAF
EXF05	PAINT FINISH - DARK GREY

EXTERNAL LANDSCAPE FINISHES REFER TO LANDSCAPE ARCHITECT

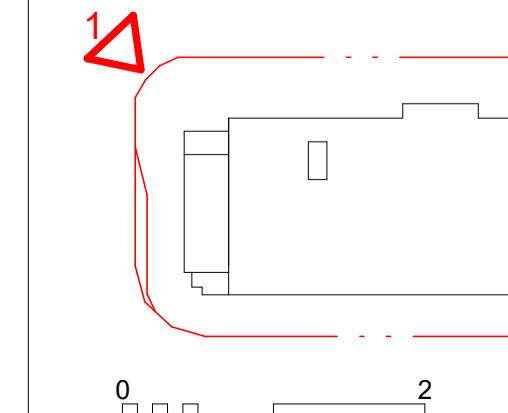


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DRAWING TITLE
FACADE DETAIL - SHEET 3

SCALE NTS	DATE 30/07/25	DRAWN ZJ	CHECKED SO
JOB 24015	DRAWING MP-AR-DWG-A5.13	REVISION C	

EXTERIOR FINISHES SCHEDULE

GLZ01	GLAZING - WINDOW AND DOORS
GLZ02	GLAZING - GLAZED LOUVRES
BAL01	BALCONY BALUSTRADE - GREY TINTED GLASS
AWN01	ALUMINIUM SUNSHADE AWNING / VERTICAL SHADING
SCR01	ALUMINIUM SCREEN
PC01	STANDARD PRECAST
PC02	VERTICAL GROOVED PRECAST (150mm CENTRES)
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EXF01	PAINT FINISH - OFF-WHITE
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EXF03	PAINT FINISH - COLORBOND MONUMENT
EXF04	PAINT FINISH - BAY LEAF
EXF05	PAINT FINISH - DARK GREY

EXTERNAL LANDSCAPE FINISHES REFER TO LANDSCAPE ARCHITECT



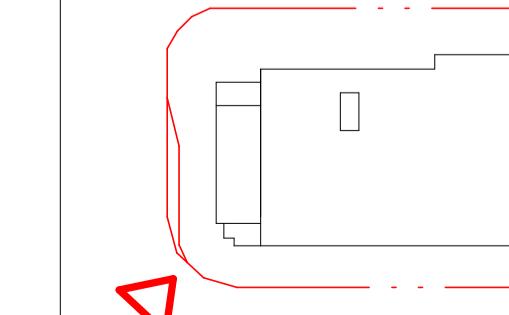
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DRAWING TITLE
FACADE DETAIL - SHEET 4

SCALE NTS	DATE 30/07/25	DRAWN ZJ	CHECKED SO
JOB 24015	DRAWING MP-AR-DWG-A5.14		REVISION C