



REV	DATE	DESCRIPTION	BY
A	11/07/2025	DA DRAFT	ZJ
B	23/07/2025	DA SET FOR REVIEW BY EDG URBAN PLANNING	ZJ
C	30/07/25	DA ISSUE	ZJ

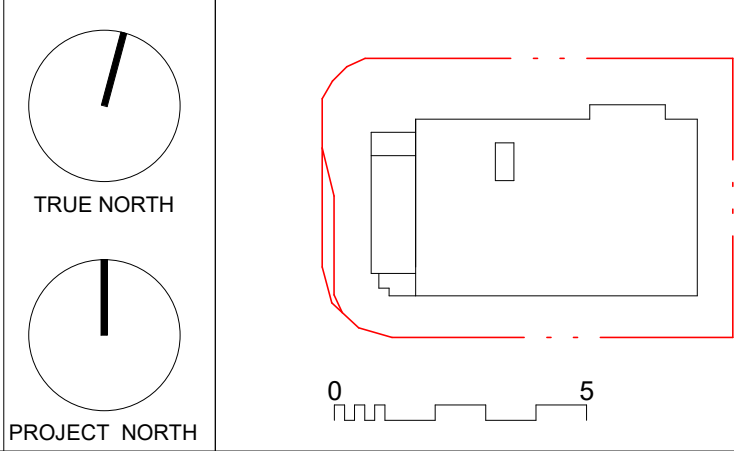
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: **DEV2025/1674**


Date: **15 September 2025**



Queensland
Government



PRINCIPAL



D+C CONTRACTOR

CONSULTANT



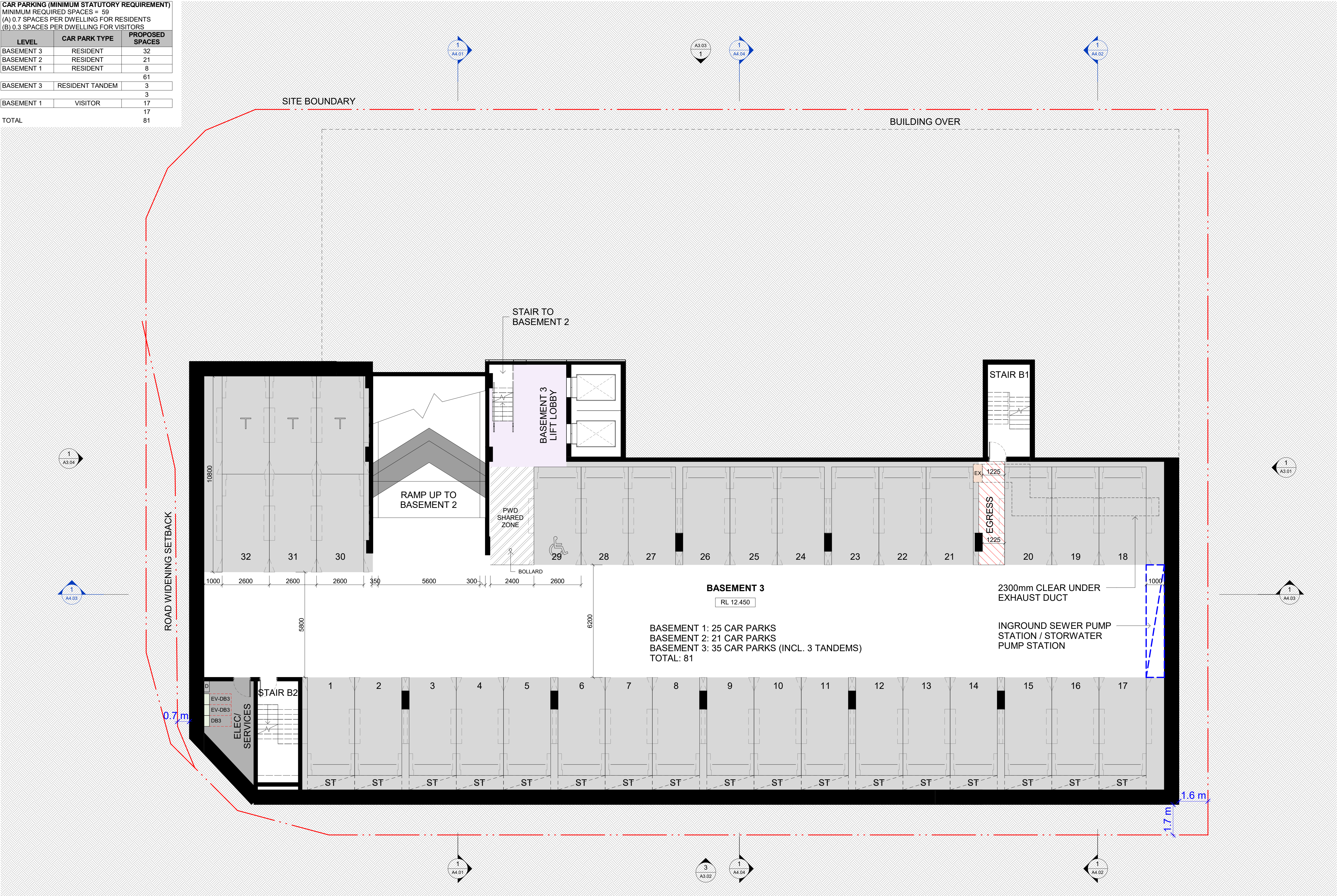
Marchese Partners International Brisbane Pty Ltd
Level 14, 46 Edward Street, Brisbane, QLD 4000, Australia
P +61 7 5211 2020 E info@marchesepartners.com W www.marchesepartners.com
Sydney Brisbane Melbourne Adelaide Kuala Lumpur Christchurch London Madrid

PROJECT

ARCADIA - BUILDING D
70 PARK ROAD
YERONGA QLD 4104

DRAWING TITLE			
SITE PLAN			
SCALE 1: 150 @A1	DATE 30/07/25	DRAWN ZJ	CHECKED SO
JOB 24015	DRAWING MP-AR-DWG-A2.00	REVISION C	

CAR PARKING (MINIMUM STATUTORY REQUIREMENT)		
MINIMUM REQUIRED SPACES = 59		
(A) 0.7 SPACES PER DWELLING FOR RESIDENTS		
(B) 0.3 SPACES PER DWELLING FOR VISITORS		
LEVEL	CAR PARK TYPE	PROPOSED SPACES
BASEMENT 3	RESIDENT	32
BASEMENT 2	RESIDENT	21
BASEMENT 1	RESIDENT	8
		61
BASEMENT 3	RESIDENT TANDEM	3
		3
BASEMENT 1	VISITOR	17
		17
TOTAL		81



IMPORTANT NOTES

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PROJECT

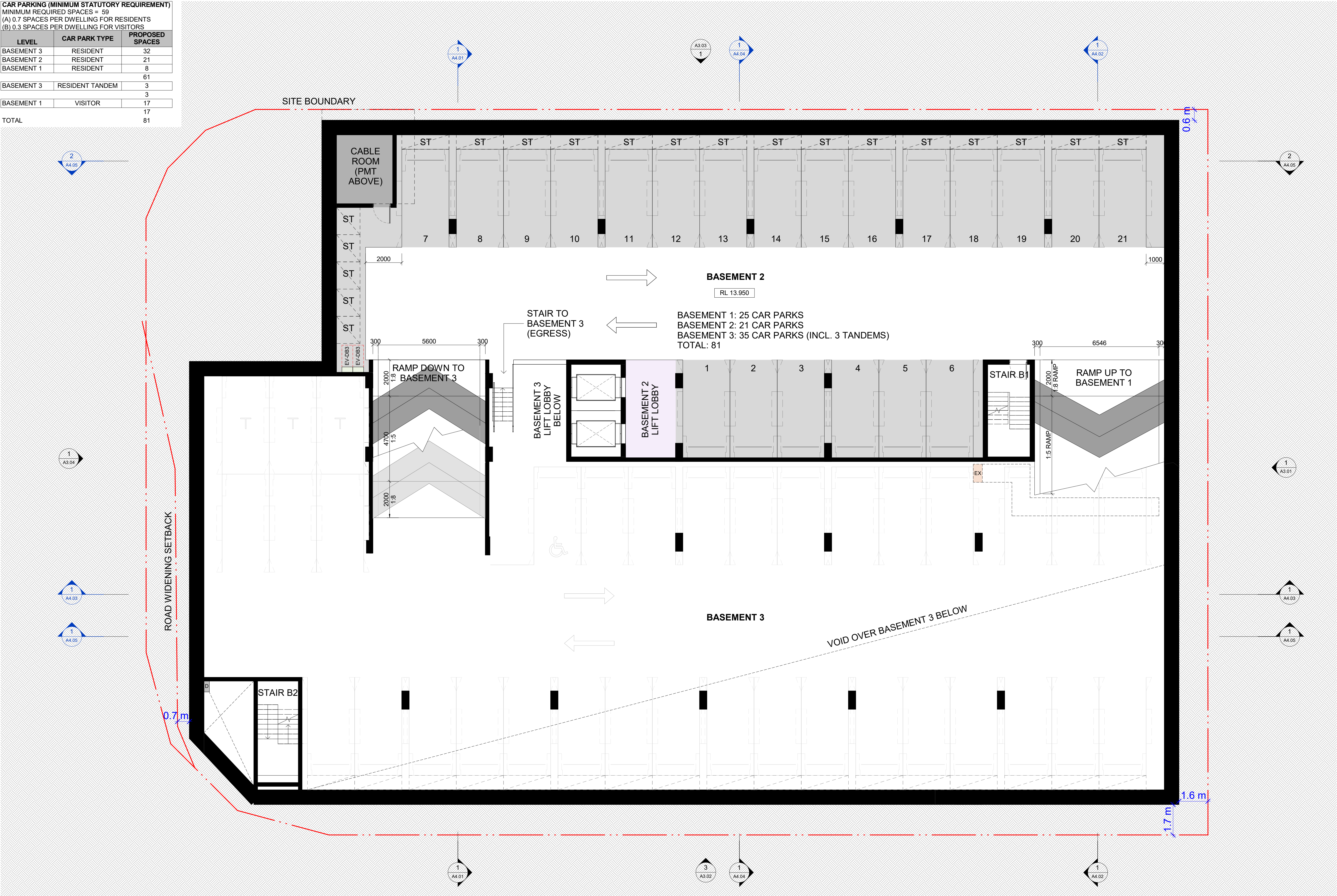
ARCADIA - BUILDING D

70 PARK ROAD

YERONGA QLD 4104

SCALE 1: 100 @A1	DATE 30/07/25	DRAWN ZJ	CHECKED SO
JOB 24015	DRAWING MP-AR-DWG-A2.01	REVISION G	

CAR PARKING (MINIMUM STATUTORY REQUIREMENT)		
MINIMUM REQUIRED SPACES = 59		
(A) 0.7 SPACES PER DWELLING FOR RESIDENTS		
(B) 0.3 SPACES PER DWELLING FOR VISITORS		
LEVEL	CAR PARK TYPE	PROPOSED SPACES
BASEMENT 3	RESIDENT	32
BASEMENT 2	RESIDENT	21
BASEMENT 1	RESIDENT	8
		61
BASEMENT 3	RESIDENT TANDEM	3
		3
BASEMENT 1	VISITOR	17
		17
TOTAL		81

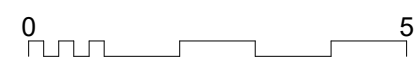
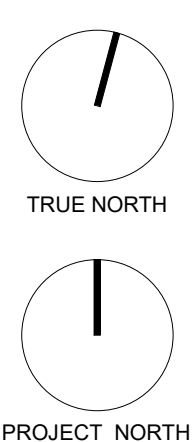


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Balcony and terrace measured to INSIDE face of hob or planter wall.

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Approval no: DEV2025/1674
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PROJECT
ARCADIA - BUILDING D
70 PARK ROAD
YERONGA QLD 4104

DRAWING TITLE
BASEMENT 2

SCALE
1: 100 @A1

DATE
30/07/25

DRAWN
ZJ

CHECKED
SO

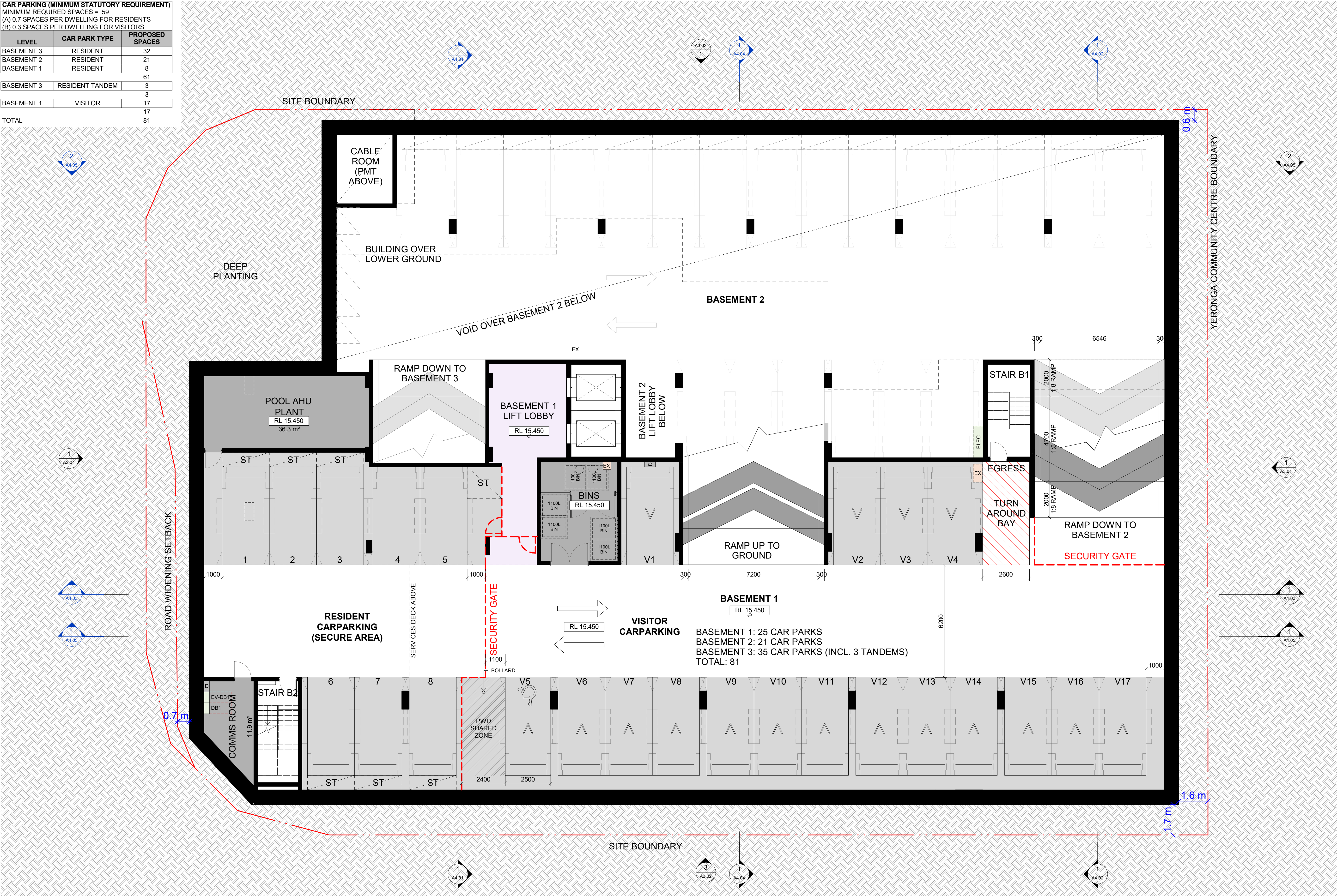
JOB
24015

DRAWING
MP-AR-DWG-A2.02

REVISION
G

CAR PARKING (MINIMUM STATUTORY REQUIREMENT)
MINIMUM REQUIRED SPACES = 59
(A) 0.7 SPACES PER DWELLING FOR RESIDENTS
(B) 0.3 SPACES PER DWELLING FOR VISITORS

LEVEL	CAR PARK TYPE	PROPOSED SPACES
BASEMENT 3	RESIDENT	32
BASEMENT 2	RESIDENT	21
BASEMENT 1	RESIDENT	8
		61
BASEMENT 3	RESIDENT TANDEM	3
		3
BASEMENT 1	VISITOR	17
		17
TOTAL		81



DATE STAMP - 30/07/2025 8:52:06 AM

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PROJECT

ARCADIA - BUILDING D

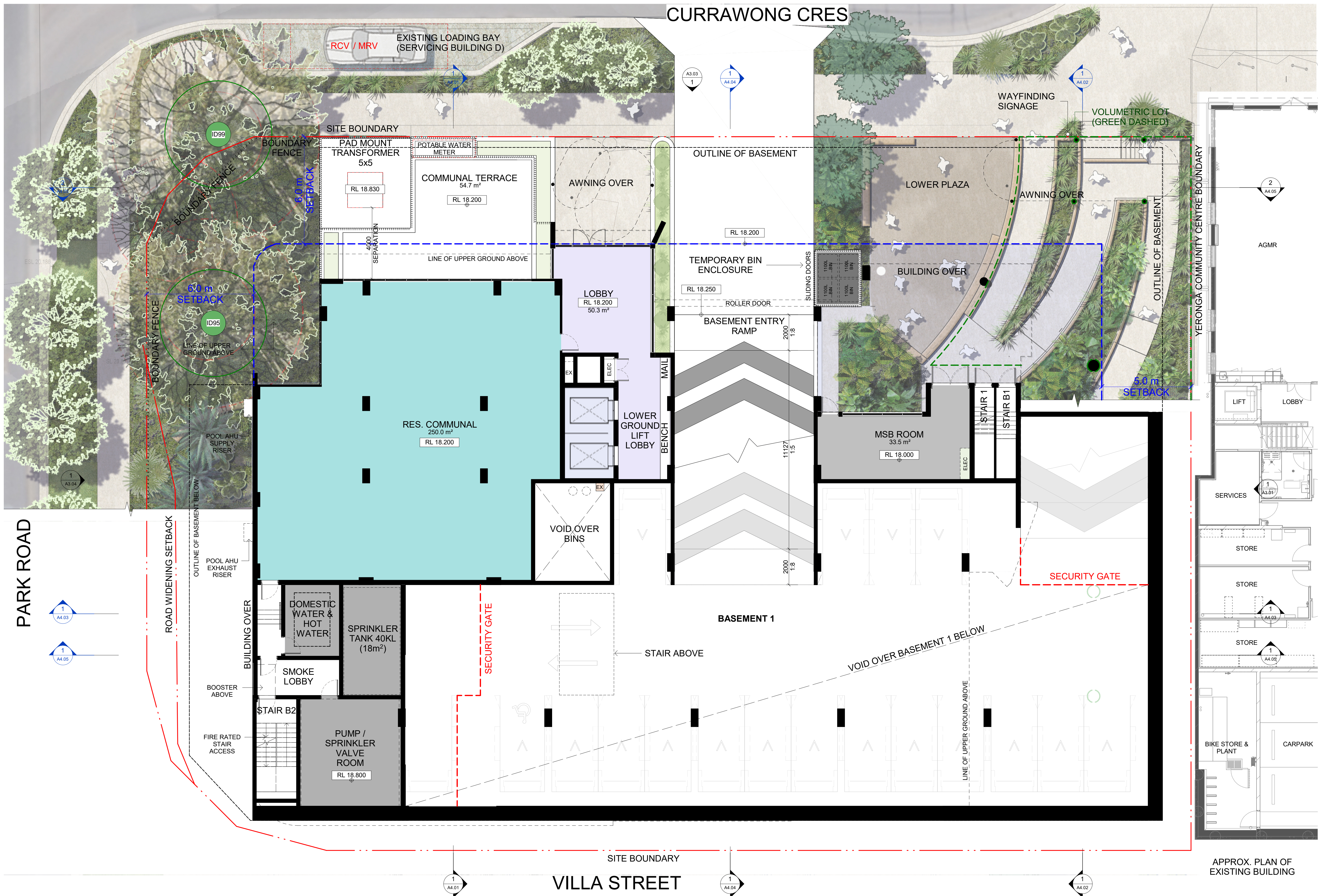
70 PARK ROAD

YERONGA QLD 4104

DRAWING TITLE

BASEMENT 1

SCALE 1: 100 @A1	DATE 30/07/25	DRAWN ZJ	CHECKED SO
JOB 24015	DRAWING MP-AR-DWG-A2.03	REVISION G	



IMPORTANT NOTES

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H	30/07/25	DA ISSUE	ZJ

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Approval no: DEV2025/1674

Date: 15 September 2025

TRUE NORTH

PROJECT NORTH

0 5

PRINCIPAL

D+C CONTRACTOR

CONSULTANT

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PROJECT

ARCADIA - BUILDING D

70 PARK ROAD

YERONGA QLD 4104

DRAWING TITLE

LOWER GROUND LEVEL

SCALE 1:100 @A1	DATE 30/07/25	DRAWN ZJ	CHECKED SO
JOB 24015	DRAWING MP-AR-DWG-A2.04	REVISION H	

DATE STAMP: 30/07/2025 9:52:08 AM

CURRAWONG CRES



DATE STAMP: 30/07/2025 8:52:20 AM

IMPORTANT NOTES


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TRUE NORTH

PROJECT NORTH

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CURRAWONG CRES



DATE STAMP: 30/07/2025 8:52:22 AM

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04/06/2025

ISSUE FOR INFORMATION

ZJ

B

10/06/2025

ISSUE FOR PRE-LODGE

ZJ

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12/06/2025

ISSUE FOR PRE-LODGE

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D

27/06/2025

ISSUE FOR INFORMATION

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08/07/2025

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11/07/2025

DA DRAFT

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G

23/07/2025

DA SET FOR REVIEW BY EDQ URBAN PLANNING

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30/07/25


DA ISSUE

ZJ

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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Queensland Government

TRUE NORTH

PROJECT NORTH

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CURRAWONG CRES



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PRINCIPAL

D+C CONTRACTOR

CONSULTANT

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PROJECT

ARCADIA - BUILDING D

70 PARK ROAD

YERONGA QLD 4104

DRAWING TITLE

LEVEL 5 & 6

SCALE

1: 100 @A1

DATE

30/07/25

DRAWN

ZJ

CHECKED

SO

JOB


24015

DRAWING

MP-AR-DWG-A2.10

REVISION

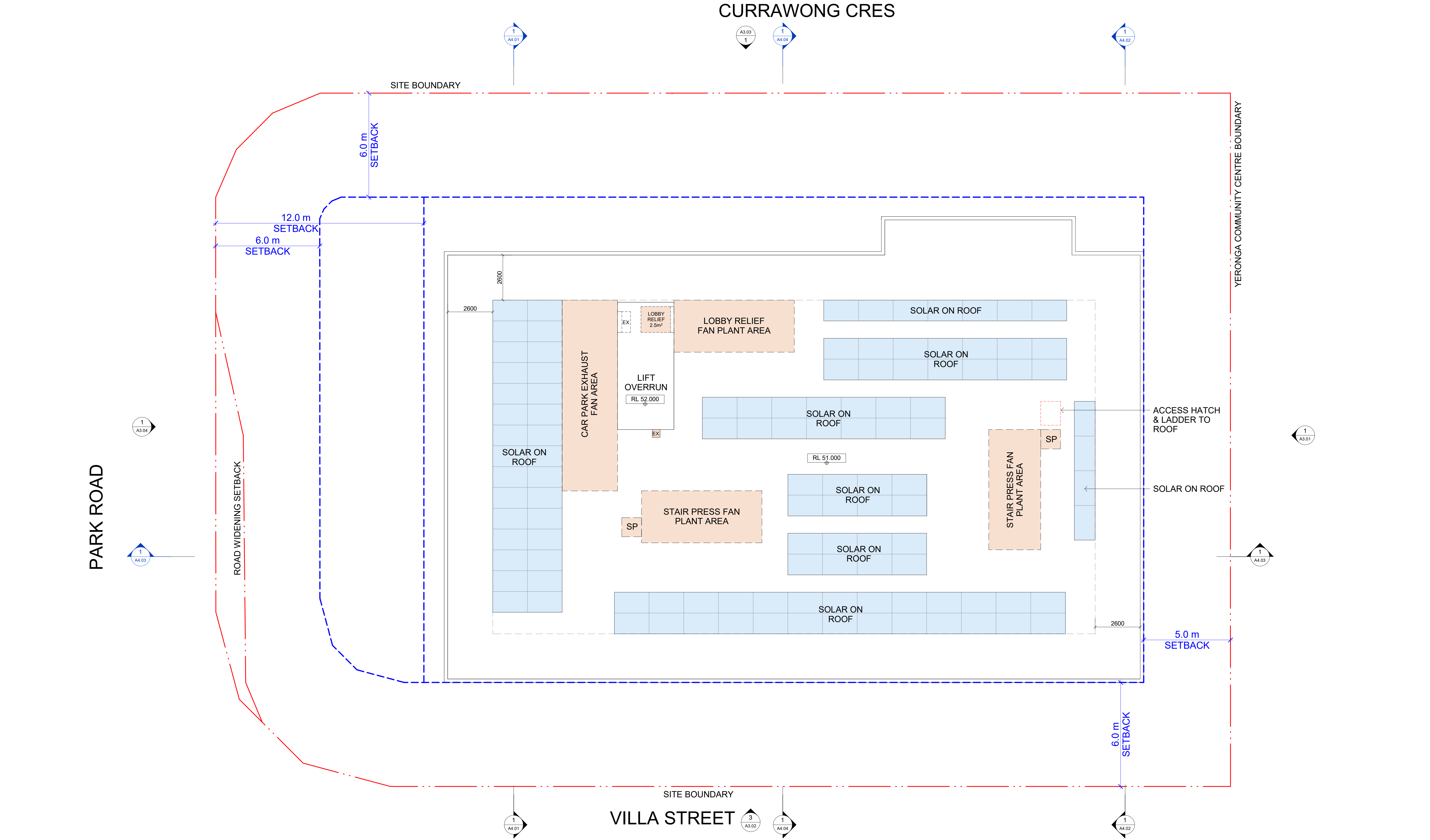
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1
A4.03

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SETBACK

REVISION	
H	



DATE STAMP: 30/07/2025 8:52:29 AM

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A

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ZJ

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10/06/2025

ISSUE FOR PRE-LODGE

ZJ

C

12/06/2025

ISSUE FOR PRE-LODGE

ZJ

D

27/06/2025

ISSUE FOR INFORMATION

ZJ

E

08/07/2025

ISSUE FOR PRE-LODGE

ZJ

F

11/07/2025

DA DRAFT

ZJ

G

23/07/2025

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ZJ

H

30/07/25


DA ISSUE

ZJ

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Approval no: DEV2025/1674

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TRUE NORTH

PROJECT NORTH

0

5

PRINCIPAL



D+C CONTRACTOR

PROJECT

ARCADIA - BUILDING D

70 PARK ROAD

YERONGA QLD 4104

CONSULTANT

marchesepartners

Life^{3A}

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DRAWING TITLE

ROOF LEVEL

SCALE

1: 100 @A1

DATE

30/07/25

DRAWN

ZJ

CHECKED

SO

JOB

24015

DRAWING

MP-AR-DWG-A2.14

REVISION

H



1 EAST ELEVATION
A2.00 1 : 100

DATE STAMP: 30/07/2025 8:52:40 AM

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DA DRAFT

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ZJ

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30/07/25


DA ISSUE

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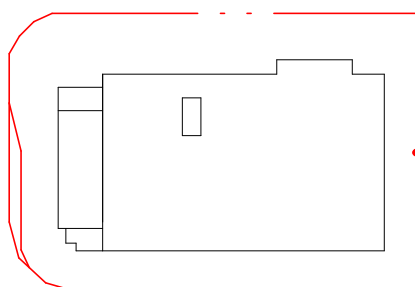
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CONSULTANT

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PROJECT

ARCADIA - BUILDING D

70 PARK ROAD

YERONGA QLD 4104

DRAWING TITLE

EAST ELEVATION

SCALE
1 : 100 @A1

DATE
30/07/25

DRAWN
ZJ





CHECKED
SO

JOB
24015

DRAWING
MP-AR-DWG-A3.01

REVISION
F



DATE STAMP: 30/07/2025 9:53:10 AM	<div>IMPORTANT NOTES Do not scale from drawings. All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the Architect. Larger scale drawings and written dimensions take preference. This drawing must not be used without the express authority of MARCHESE PARTNERS INTERNATIONAL PTY. LTD. Apartment areas measured to INSIDE face of all external, party and corridor walls inclusive of structure and services risers within the i.L.A. Common service risers are EXCLUDED. External walls when adjacent to balcony or terrace are measured to CENTERLINE of wall. Balcony and terrace measured to INSIDE face of hob or planter wall.</div>	<div>REV DATE DESCRIPTION BY</div> <div>A 04/06/2025 ISSUE FOR INFORMATION ZJ</div> <div>B 12/06/2025 ISSUE FOR PROPOSED/REMENT ZJ</div> <div>C 27/06/2025 ISSUE FOR INFORMATION ZJ</div> <div>D 11/07/2025 DA DRAFT ZJ</div> <div>E 23/07/2025 DA SET FOR REVIEW BY EDQ URBAN PLANNING ZJ</div> <div>F 30/07/25 DA ISSUE ZJ</div>	<div>PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL</div> <div>Approval no: DEV2025/1674</div> <div>Date: 15 September 2025</div> <div></div>	<div></div>	<div>PRINCIPAL</div> <div></div>	<div>CONSULTANT</div> <div> Life^{3A}</div> <div>Marchese Partners International Brisbane Pty Ltd Level 14, 46 Edward Street, Brisbane, QLD 4000, Australia P +61 7 3211 2000 E info@marchesepartners.com W www.marchesepartners.com Sydney Brisbane Melbourne Adelaide Kuala Lumpur Christchurch London Madrid</div>	<div>DRAWING TITLE</div> <div>SOUTH ELEVATION</div>		
		<div>D+C CONTRACTOR</div>	<div>PROJECT</div> <div>ARCADIA - BUILDING D</div> <div>70 PARK ROAD</div> <div>YERONGA QLD 4104</div>	<div>SCALE</div> <div>1 : 100 @A1</div> <div>DATE</div> <div>30/07/25</div> <div>DRAWN</div> <div>ZJ</div> <div>CHECKED</div> <div>SO</div>	<div>JOB</div> <div>24015</div> <div>DRAWING</div> <div>MP-AR-DWG-A3.02</div> <div>REVISION</div> <div>F</div>				



1 NORTH ELEVATION
A2.00 1 : 100

DATE STAMP: 30/07/2025 8:53:37 AM

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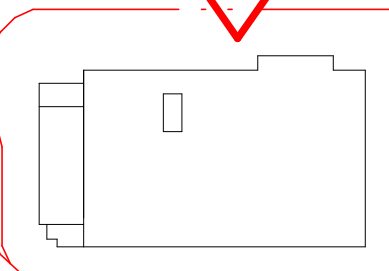
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Queensland Government

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D+C CONTRACTOR

CONSULTANT

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PROJECT

ARCADIA - BUILDING D

70 PARK ROAD

YERONGA QLD 4104

DRAWING TITLE

NORTH ELEVATION

SCALE

1 : 100 @A1

DATE

30/07/25

DRAWN

ZJ

CHECKED

SO

JOB

24015

DRAWING

MP-AR-DWG-A3.03

REVISION

F



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B	12/06/2025	ISSUE FOR PRECLOSUREMENT	ZJ
C	27/06/2025	ISSUE FOR INFORMATION	ZJ
D	11/07/2025	DA DRAFT	ZJ
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F	30/07/25	DA ISSUE	ZJ

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Approval no: DEV2025/1674

Date: 15 September 2025

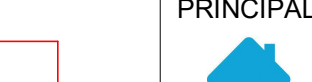


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PROJECT NORTH

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CONSULTANT

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Sydney Brisbane Melbourne Adelaide Kuala Lumpur Christchurch London Madrid

PROJECT

ARCADIA - BUILDING D

70 PARK ROAD

YERONGA QLD 4104

DRAWING TITLE

WEST ELEVATION

SCALE

1 : 100 @A1

DATE

30/07/25

DRAWN

ZJ

CHECKED

SO

JOB

24015

DRAWING

MP-AR-DWG-A3.04

REVISION

F



DATE STAMP: 30/07/2025 9:53:56 AM

IMPORTANT NOTES


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PROJECT

ARCADIA - BUILDING D
70 PARK ROAD
YERONGA QLD 4104

DRAWING TITLE

SITE SECTION - NORTH-SOUTH 1

SCALE
1 : 100 @A1

DATE
30/07/25

DRAWN
ZJ

CHECKED
SO

JOB
24015

DRAWING
MP-AR-DWG-A4.01

REVISION
G



DATE STAMP: 30/07/2025 9:54:03 AM

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PROJECT

ARCADIA - BUILDING D

70 PARK ROAD

YERONGA QLD 4104

DRAWING TITLE

SITE SECTION - NORTH-SOUTH 2

SCALE 1 : 100 @A1	DATE 30/07/25	DRAWN ZJ	CHECKED SO
JOB 24015	DRAWING MP-AR-DWG-A4.02	REVISION G	



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PROJECT

ARCADIA - BUILDING D

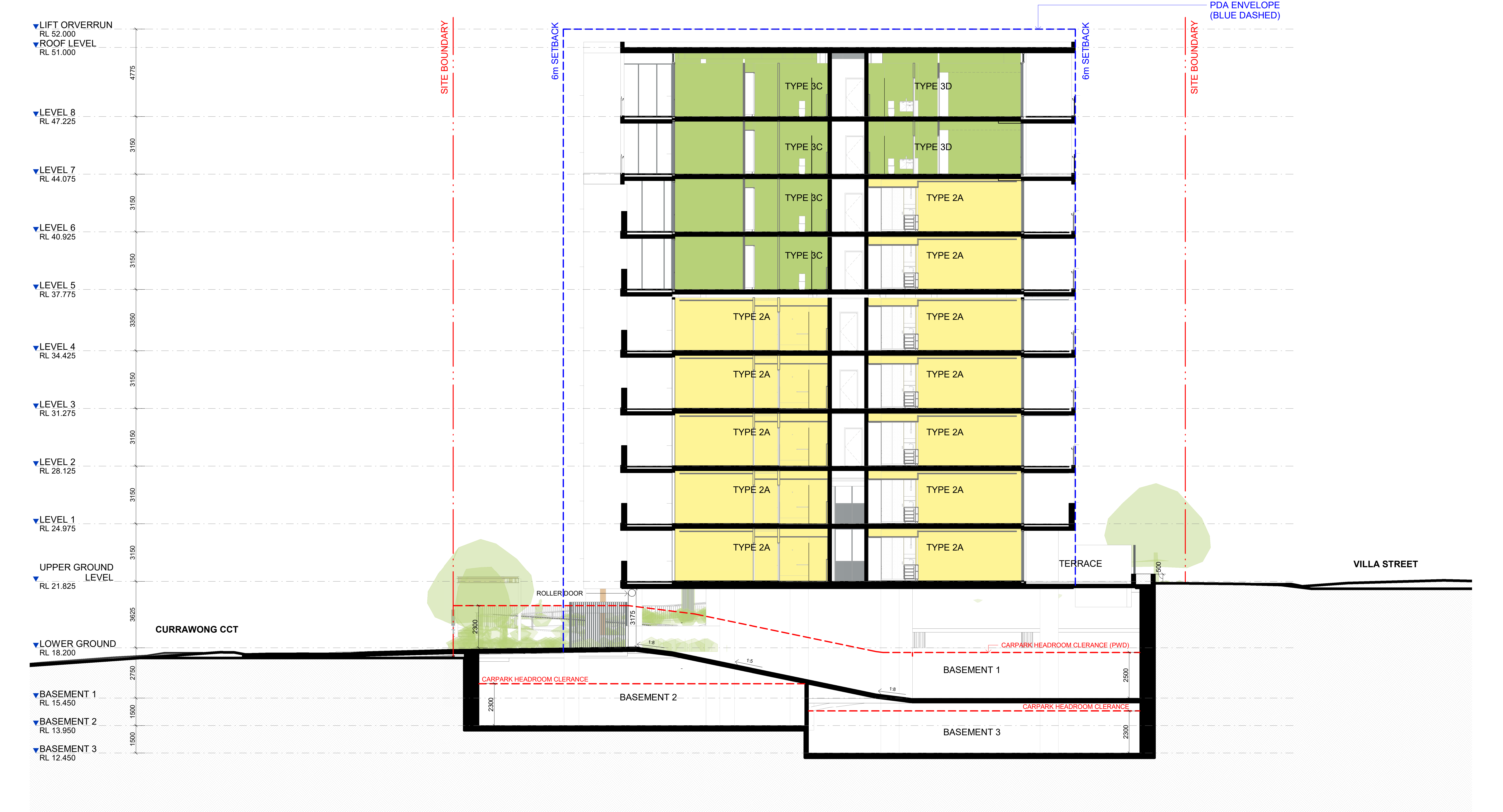
70 PARK ROAD

YERONGA QLD 4104

DRAWING TITLE

SITE SECTION - EAST-WEST

SCALE 1: 100 @A1	DATE 30/07/25	DRAWN ZJ	CHECKED SO
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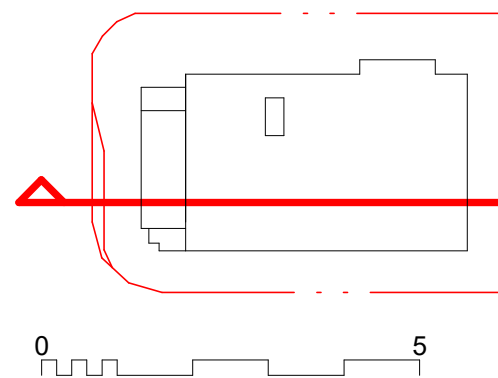
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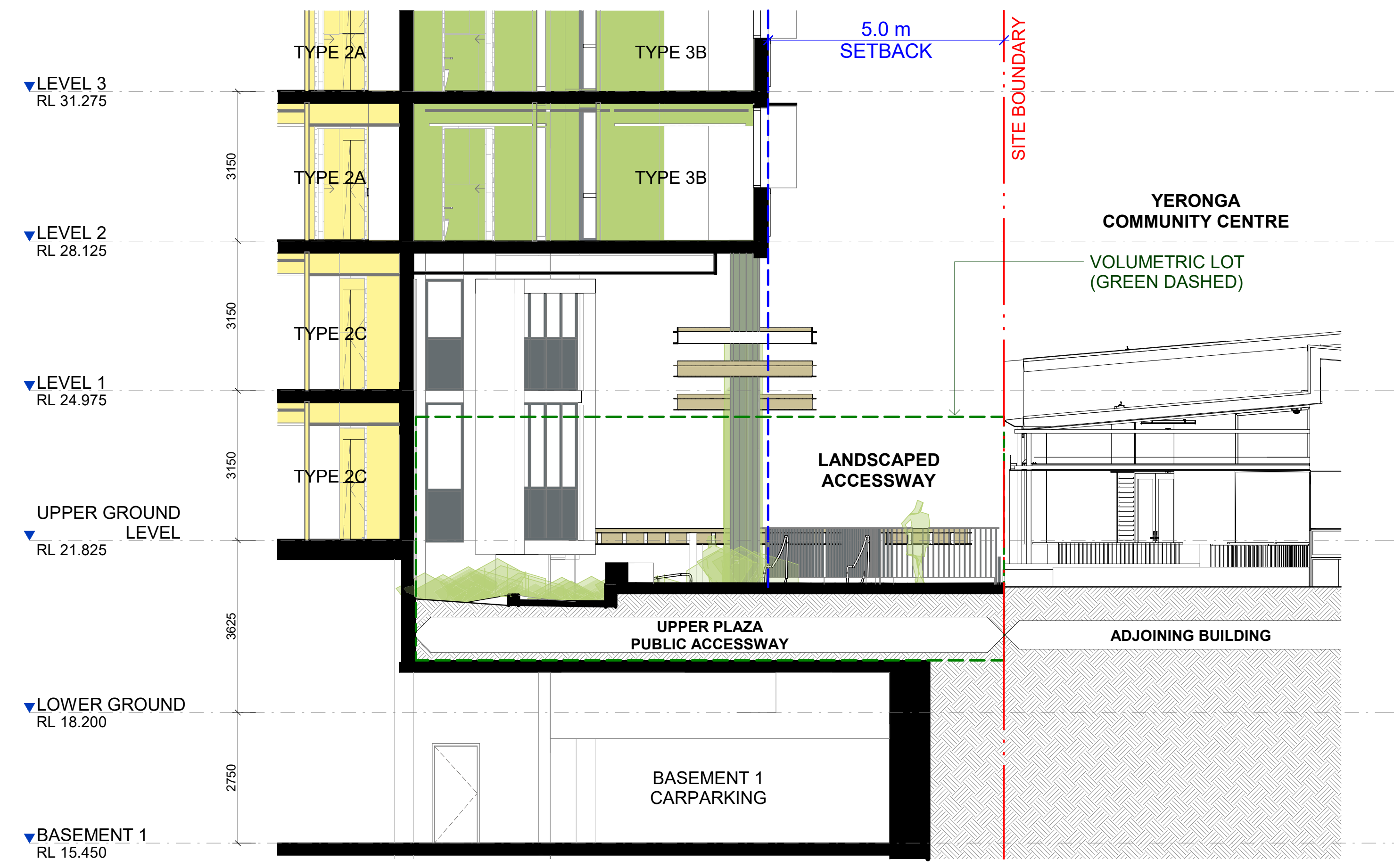
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ARCADIA - BUILDING D

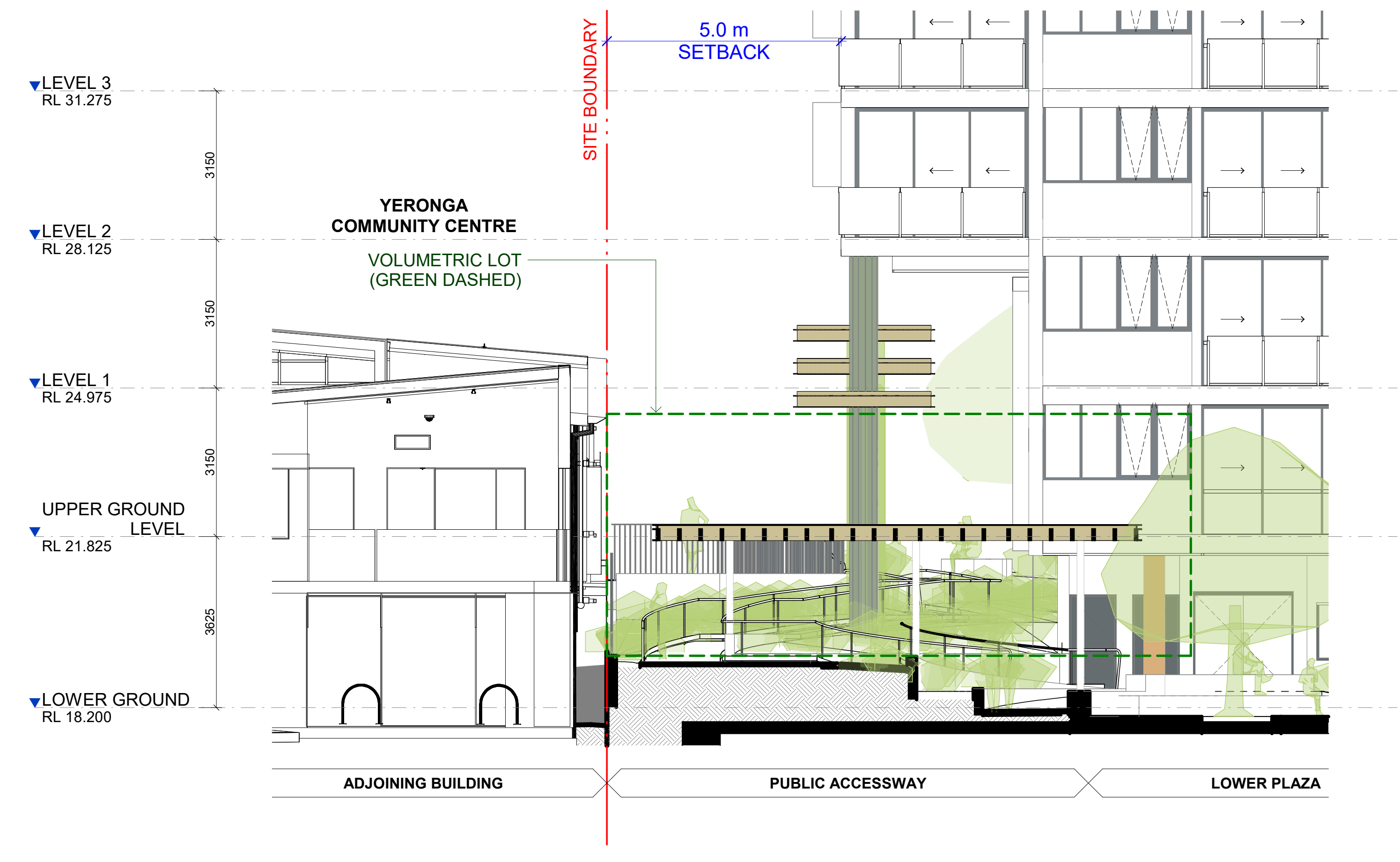
70 PARK ROAD

YERONGA QLD 4104

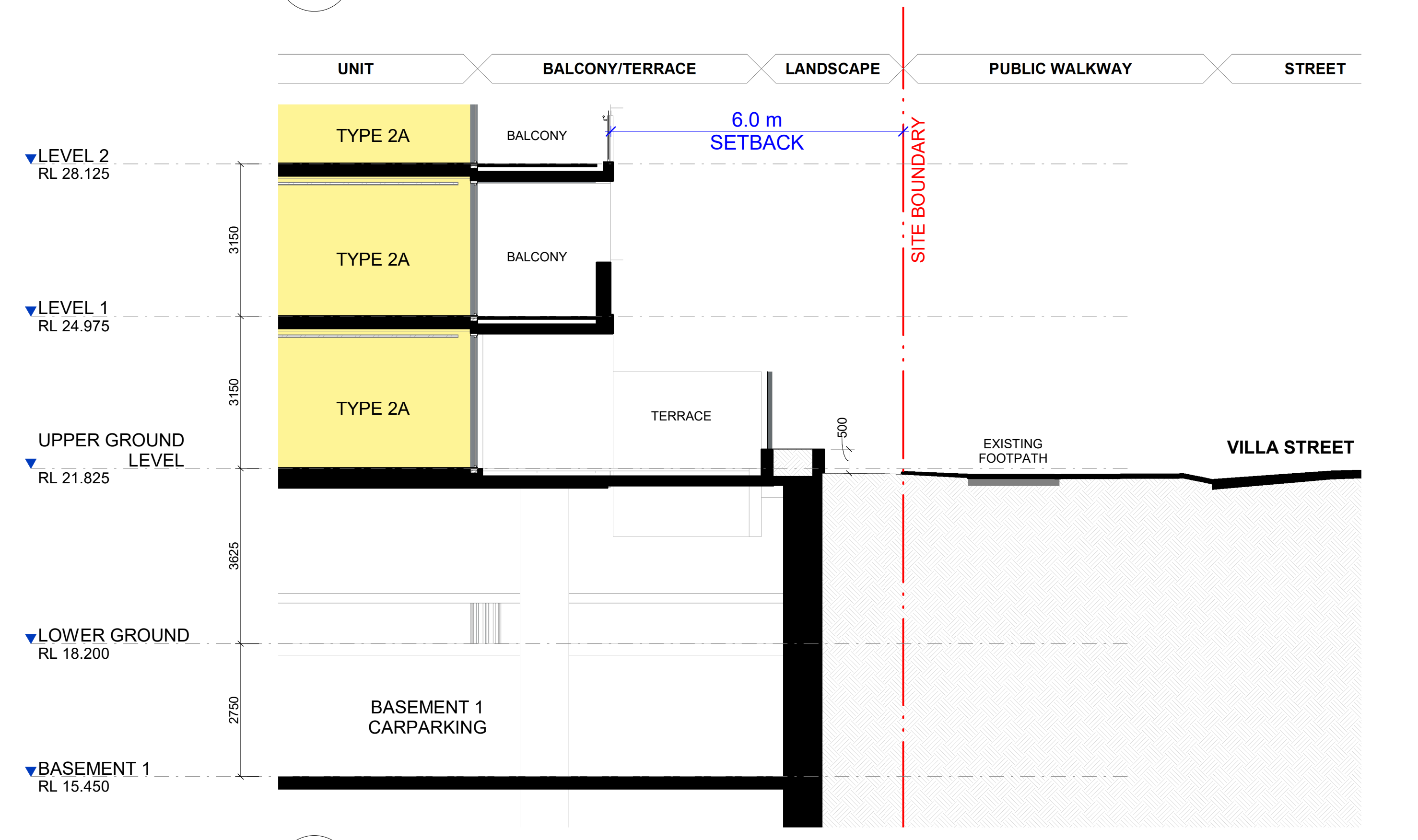
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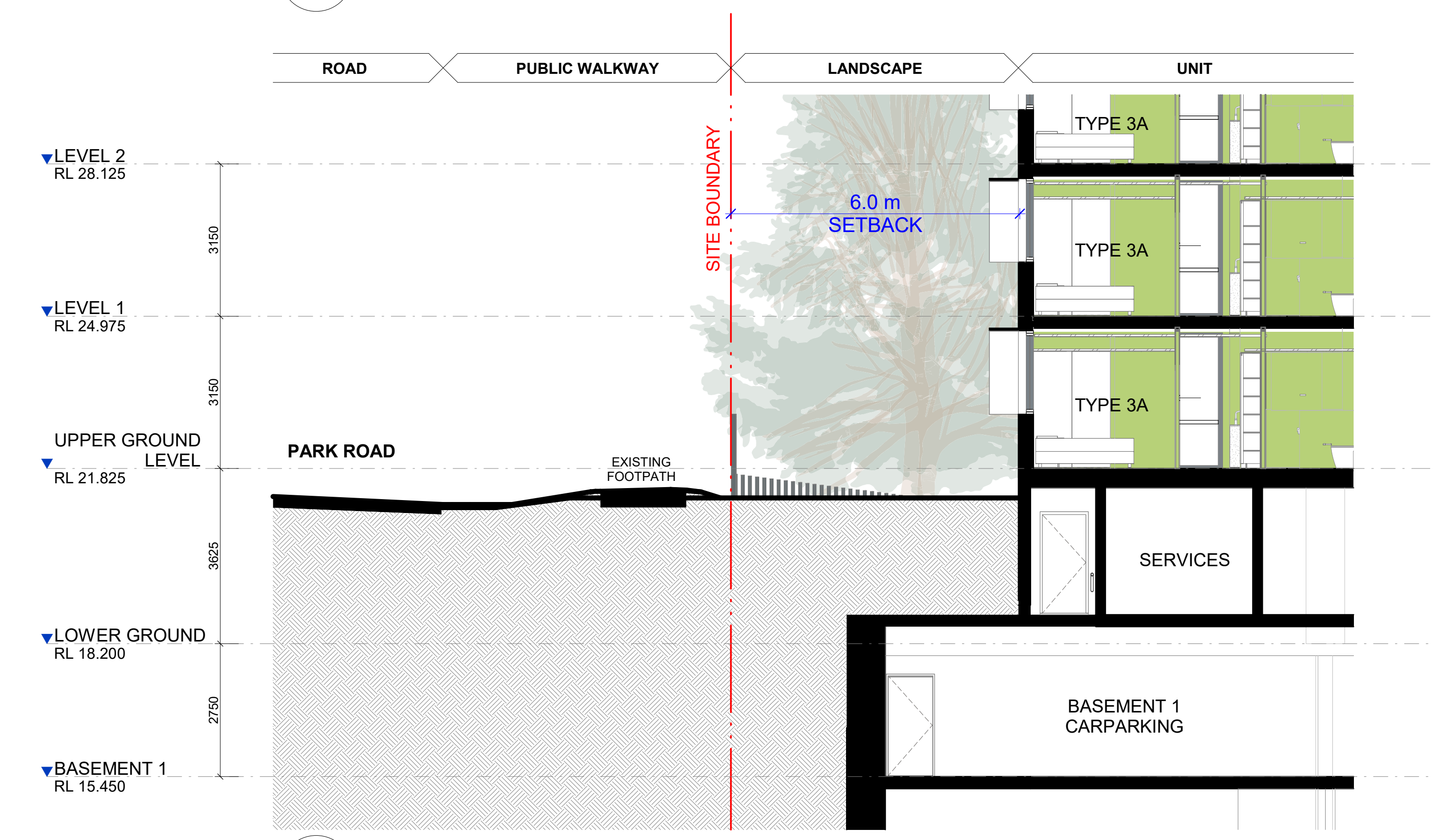
1 SITE INTERFACE SECTION - UPPER PLAZA
A2.02 1 : 75



2 SITE INTERFACE SECTION - LOWER PLAZA
A2.02 1 : 75



3 SITE INTERFACE SECTION - VILLA STREET
1 : 75



4 SITE INTERFACE SECTION - PARK ROAD
1 : 75

<div>DATE STAMP: 30/07/2025 9:55:04 AM</div> <div>IMPORTANT NOTES</div> <div>Do not scale from drawings. All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the Architect. Larger scale drawings and written dimensions take preference. This drawing must not be used without the express authority of MARCHESE PARTNERS INTERNATIONAL PTY. LTD. Apartment areas measured to INSIDE face of all external, party and corridor walls inclusive of structure and services risers within the I.A. Common service risers are EXCLUDED. External walls when adjacent to balcony or terrace are measured to CENTERLINE of wall. Balcony and terrace measured to INSIDE face of hob or planter wall.</div>	<div>REV DATE DESCRIPTION BY</div> <div>A 11/07/2025 DA DRAFT ZJ</div> <div>B 23/07/2025 DA SET FOR REVIEW BY EDO URBAN PLANNING ZJ</div> <div>C 30/07/25 DA ISSUE ZJ</div>	<div>PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL</div> <div>Approval no: DEV2025/1674</div> <div>Date: 15 September 2025</div> <div></div>	<div></div> <div>D+C CONTRACTOR</div>	<div>CONSULTANT</div> <div> </div> <div>Marchese Partners International Brisbane Pty Ltd Level 14, 46 Edward Street, Brisbane, QLD 4000, Australia P +61 7 3211 2020 E info@marchesepartners.com W www.marchesepartners.com Sydney · Brisbane · Melbourne · Adelaide · Kuala Lumpur · Christchurch · London · Madrid</div> <div>PROJECT</div> <div>ARCADIA - BUILDING D</div> <div>70 PARK ROAD</div> <div>YERONGA QLD 4104</div>	<div>DRAWING TITLE</div> <div>SITE INTERFACE SECTIONS</div> <table><tr><td>SCALE</td><td>DATE</td><td>DRAWN</td><td>CHECKED</td></tr><tr><td>1 : 75 @A1</td><td>30/07/25</td><td>ZJ</td><td>SO</td></tr><tr><td>JOB</td><td>DRAWING</td><td colspan="2">REVISION</td></tr><tr><td>24015</td><td>-A4.05</td><td colspan="2">C</td></tr></table>	SCALE	DATE	DRAWN	CHECKED	1 : 75 @A1	30/07/25	ZJ	SO	JOB	DRAWING	REVISION		24015	-A4.05	C	
	SCALE	DATE	DRAWN	CHECKED																	
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	JOB	DRAWING	REVISION																		
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CONTRASTING CROWN

To create a visual identity while maintaining architectural coherence, the design introduces a contrasting crown element that distinguishes the building's uppermost portion. This feature defines the skyline presence, offering a clear visual termination without overwhelming the structure below. Its distinct form and materiality emphasise separation while preserving harmony with the overall design language.



PRECAST CONCRETE

Precast concrete has been selected for its exceptional durability and minimal maintenance requirements, making it an ideal choice for long-term performance. Its inherent strength and resistance to weathering ensure the building's structural integrity over time. Additionally, the use of precast elements contributes to a clean, refined design aesthetic, aligning with the project's contemporary architectural vision.



COMMUNAL AREAS

Communal areas contain full height glazing allowing for natural daylight, high visibility for the residents and a sense of openness and connectivity to the landscaped terrace. Batten screening provide a controlled level of privacy through the ground plane, as well as high-level windows to further introduce natural lighting into the spaces to enhance the welcoming atmosphere of these gathering spaces.



GREENERY / FOOTPATH LINKS

Green courtyards and interconnected footpath links have been thoughtfully integrated throughout the site to encourage movement while creating opportunities for pause and reflection. The result is a network of green moments that enrich the spatial quality and invite a more human-centered interaction with the environment.

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PROJECT

ARCADIA - BUILDING D
70 PARK ROAD
YERONGA QLD 4104

DRAWING TITLE

MATERIAL BOARD

SCALE

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DATE

30/07/25

DRAWN

ZJ

CHECKED

SO

JOB

24015

DRAWING

MP-AR-DWG-A5.01

REVISION

C

EXTERIOR FINISHES SCHEDULE

- GLZ01

GLAZING - WINDOW AND DOORS
- GLZ02

GLAZING - GLAZED LOUVRES
- BAL01

BALCONY BALUSTRADE - GREY TINTED GLASS
- AWN01

ALUMINIUM SUNSHADE AWNING / VERTICAL SHADING
- SCR01

ALUMINIUM SCREEN

- PC01

STANDARD PRECAST
- PC02

VERTICAL GROOVED PRECAST (150mm CENTRES)
- PC03

VERTICAL GROOVED PRECAST (300mm CENTRES)

- EXF01

PAINT FINISH - OFF-WHITE
- EXF02

PAINT FINISH - PALE CLAY
- EXF03

PAINT FINISH - COLORBOND MONUMENT
- EXF04

PAINT FINISH - BAY LEAF
- EXF05

PAINT FINISH - DARK GREY

EXTERNAL LANDSCAPE FINISHES REFER TO LANDSCAPE ARCHITECT

ROOF

EXF03

EXF03

EXF02

BAL01

PC02
EXF04

PC02
EXF03

AWN01

TRELLIS AWNING

PC01
EXF03

BAL01

PC02
EXF02

PC01
EXF01

PC02
EXF02

SCR01

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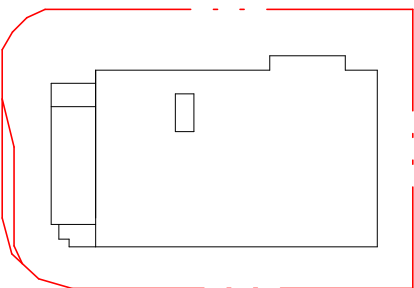
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PROJECT

ARCADIA - BUILDING D

70 PARK ROAD

YERONGA QLD 4104

DRAWING TITLE	FACADE DETAIL - SHEET 1			
SCALE NTS	DATE 30/07/25	DRAWN ZJ	CHECKED SO	
JOB 24015	DRAWING MP-AR-DWG-A5.11	REVISION C		

EXTERIOR FINISHES SCHEDULE

- GLZ01

GLAZING - WINDOW AND DOORS
- GLZ02

GLAZING - GLAZED LOUVRES
- BAL01

BALCONY BALUSTRADE - GREY TINTED GLASS
- AWN01

ALUMINIUM SUNSHADE AWNING / VERTICAL SHADING
- SCR01

ALUMINIUM SCREEN

- PC01

STANDARD PRECAST
- PC02

VERTICAL GROOVED PRECAST (150mm CENTRES)
- PC03

VERTICAL GROOVED PRECAST (300mm CENTRES)

- EXF01

PAINT FINISH - OFF-WHITE
- EXF02

PAINT FINISH - PALE CLAY
- EXF03

PAINT FINISH - COLORBOND MONUMENT
- EXF04

PAINT FINISH - BAY LEAF
- EXF05

PAINT FINISH - DARK GREY

EXTERNAL LANDSCAPE FINISHES REFER TO LANDSCAPE ARCHITECT

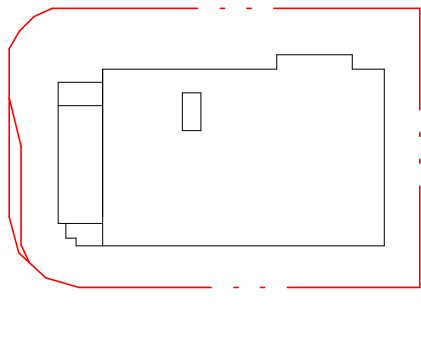


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PROJECT
ARCADIA - BUILDING D
70 PARK ROAD
YERONGA QLD 4104

DRAWING TITLE
FACADE DETAIL - SHEET 2

SCALE NTS	DATE 30/07/25	DRAWN ZJ	CHECKED SO
JOB 24015	DRAWING MP-AR-DWG-A5.12	REVISION C	



EXTERIOR FINISHES SCHEDULE

GLZ01	GLAZING - WINDOW AND DOORS
GLZ02	GLAZING - GLAZED LOUVRES
BAL01	BALCONY BALUSTRADE - GREY TINTED GLASS
AWN01	ALUMINIUM SUNSHADE AWNING / VERTICAL SHADING
SCR01	ALUMINIUM SCREEN
PC01	STANDARD PRECAST
PC02	VERTICAL GROOVED PRECAST (150mm CENTRES)
PC03	VERTICAL GROOVED PRECAST (300mm CENTRES)
EXF01	PAINT FINISH - OFF-WHITE
EXF02	PAINT FINISH - PALE CLAY
EXF03	PAINT FINISH - COLORBOND MONUMENT
EXF04	PAINT FINISH - BAY LEAF
EXF05	PAINT FINISH - DARK GREY
EXTERNAL LANDSCAPE FINISHES REFER TO LANDSCAPE ARCHITECT	



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