

Flourish

CHANGE OF LEVEL OF LAND LOTS 4&5 RP193185 PROJECT No. 37502-CLLW

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2025/1678
Date: 9 September 2025

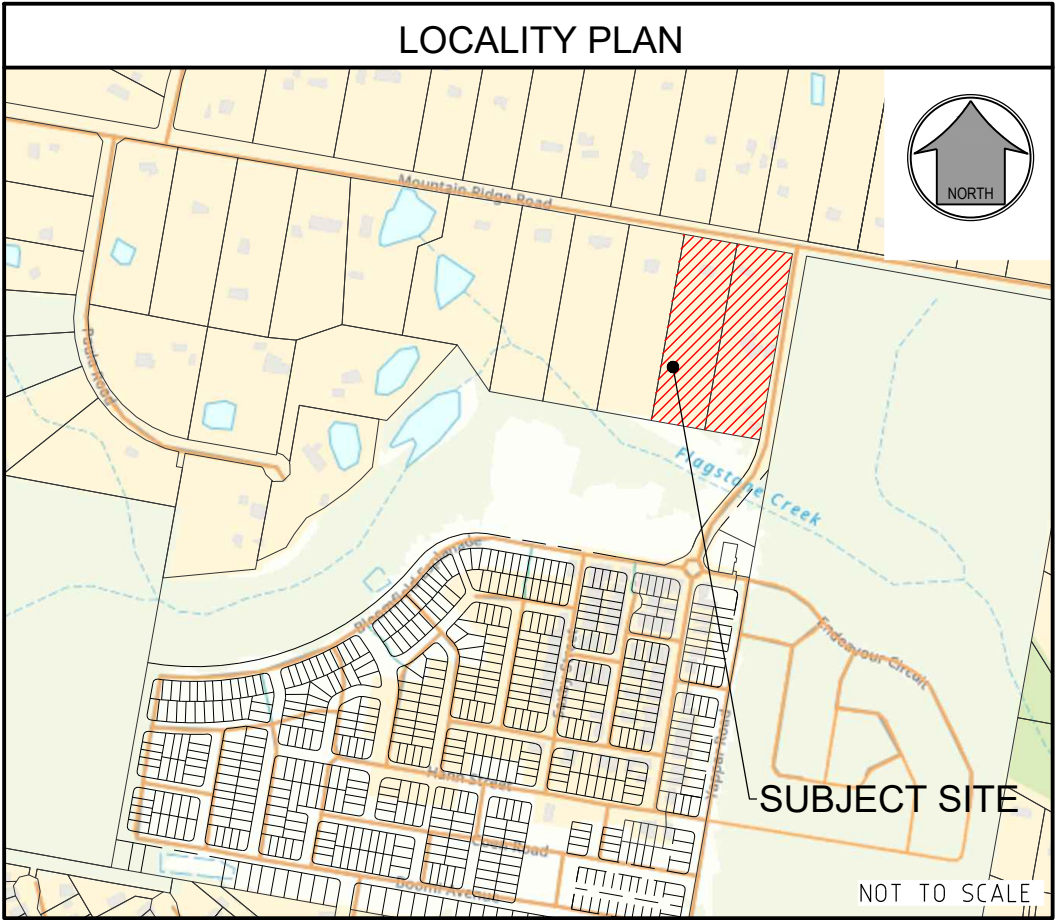


Queensland
Government

SCHEDULE OF DRAWINGS		
NUMBER	REV. NO.	TITLE
GENERAL		
37502-CLLW-000	A	COVER SHEET
EARTHWORKS: EXISTING FEATURES & DEMOLITION		
37502-CLLW-020	A	PLAN SHEET 01
EARTHWORKS: BULK EARTHWORKS CUT FILL		
37502-CLLW-040	A	PLAN SHEET 01
EARTHWORKS: BULK EARTHWORK SECTIONS		
37502-CLLW-050	A	EARTHWORKS SECTION KEY PLAN
37502-CLLW-051	A	SECTIONS SHEET 01
FINAL SURFACE SEDIMENT & EROSION PLAN		
37502-CLLW-080	A	PLAN SHEET 01



SUB-CONSULTANTS
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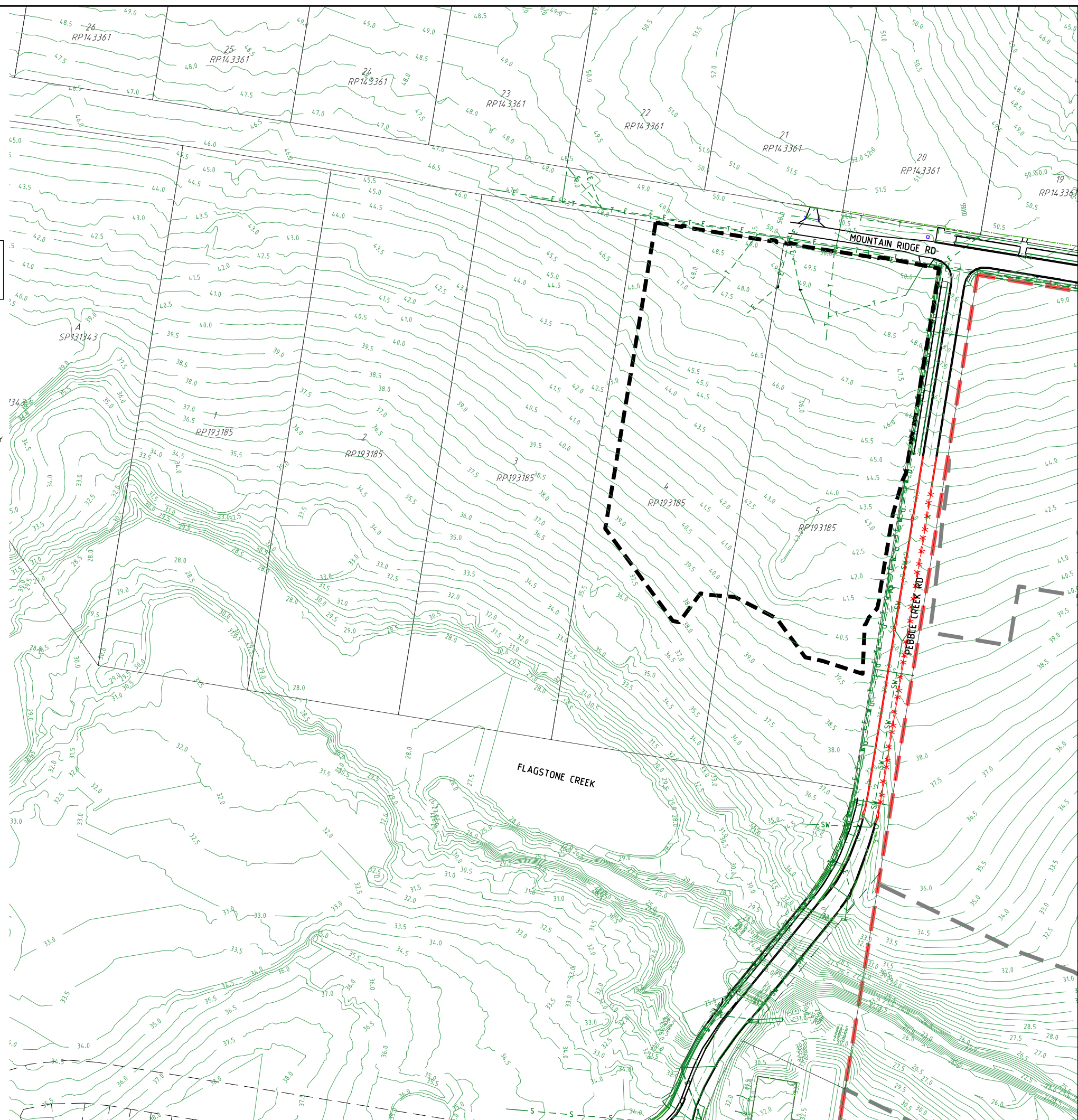


R. P. DESCRIPTION
LOTS 4&5 SP193185
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

1. **EXISTING SERVICES - EXTERNAL WORKS**
THE LOCATIONS OF ALL EXISTING SERVICES WITHIN THE WORK AREA SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT AUTHORITIES & TO ENSURE THAT THE EXISTING SERVICES ARE NOT DAMAGED OR DISTURBED IN ANY WAY BY THE CONTRACT WORKS.
2. **EXISTING STRUCTURES**
ALL EXISTING STRUCTURES & ASSOCIATED INFRASTRUCTURE TO BE REMOVED & DISPOSED OF OFF SITE.
3. **EXISTING DAMS**
EXISTING DAMS TO BE DEWATERED. ALL SILT & DEBRIS ARE TO BE REMOVED & LAWFULLY DISPOSED OF TO A TIP OFF SITE, OR INCORPORATED INTO THE SITE EARTHWORKS AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER. REPLACEMENT FILL IS TO BE LOCATED & COMPACTED IN ACCORDANCE WITH LOCAL COUNCIL'S SPECIFICATIONS.

CONTRACTOR TO MAKE ALL NECESSARY ALLOWANCES
FOR LOCATION AND PROTECTION OF EXISTING SERVICES
DURING WORKS.

	EXISTING PROPERTY LINE
	EXISTING FENCE
	EXISTING SEWER
	EXISTING STORMWATER
	EXISTING WATER
	EXISTING GAS
	EXISTING UNDERGROUND ELECTRICITY
	EXISTING TELSTRA
	EXISTING CONTOURS
	DEMOLISH PATH
	LIMIT OF WORKS BOUNDARY



0 10 20 30 40 50m
Scale 1:1000 - A1 (1:2000 - A3)

A	29-07-25	EDQ APPROVAL	GB
REV	DATE	DESCRIPTION	INT

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ASSOCIATED CONSULTANTS

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D R A W I N G T I T L E

EXISTING FEATURES AND DEMOLITION PLAN



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DESIGNED	GW	DRAWN	GB
APPROVED	<i>[Signature]</i>	RPO# 20300	DATE 29-07-25
DRAWING NUMBER			REV
37502-CLLW-020			A

EARTHWORKS

1. TOPSOIL STRIPPING
TOPSOIL SHALL BE STRIPPED ACROSS THE ENTIRE LIMIT OF THE EARTHWORKS CUT & FILL AREAS & SHALL BE STOCKPILED IN A LOCATION APPROVED BY THE SUPERINTENDENT. THE EXISTING STRATA IS TO BE TREATED IN ACCORDANCE WITH THE SPECIFICATION PRIOR TO PLACING ANY FILL.
2. EARTHWORKS LEVELS
EARTHWORKS LEVELS SHOWN ON DRAWINGS ARE TO FINISHED SURFACE LEVELS & INCLUDE 100mm OF TOPSOIL.
3. COMPACTION STANDARD
SITE FILLING & TRENCH BACKFILL SHALL BE COMPACTED TO THE STANDARDS OUTLINED IN THE LOCAL AUTHORITY'S SPECIFICATIONS. FILL BATTER FACES ARE TO BE OVERFILLED, COMPACTED & CUT BACK TO DESIGN LEVELS. ALL CUT BATTERS ARE TO BE CUT BACK & TRIMMED TO DESIGN LEVELS.
4. TESTING & CERTIFICATION
ALL COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED N.A.T.A. TESTING AUTHORITY. ALL SITE FILLING SHALL BE TESTED AT LEVEL 1 REQUIREMENTS. THE CONTRACTOR IS TO PROVIDE ALL REQUIRED EARTHWORKS CERTIFICATIONS IN ACCORDANCE WITH THE APPROVAL CONDITIONS. THE CONTRACTOR IS TO PROVIDE A CONSTRUCTED EARTHWORKS SLOPE STABILITY CERTIFICATION CONFIRMING REQUIRED F.O.S. CERTIFIED BY A RPEQ.
5. TOPSOIL REPLACEMENT
ALL FOOTPATHS, BATTERS & ALLOTMENT CUT & FILL AREAS SHALL BE TOPSOILED WITH TOPSOIL FROM ONSITE STOCKPILES, & AMELIORATE SOIL AS NECESSARY TO ENSURE GRASS STRIKE.
6. GRASSING
ALL CUT/FILL AREAS, DISTURBED AREAS & TRENCHED AREAS SHALL BE GRASSED TO THE SATISFACTION OF THE SUPERINTENDENT & LOCAL AUTHORITY.
7. ROCK
THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR EARTHWORKS RATE.
8. EARTHWORKS ZONE
THE FOLLOWING ACTIVITIES ARE PROHIBITED OUTSIDE THE EARTHWORKS ZONE - STORAGE & MIXING OF MATERIALS, VEHICLE PARKING, LIQUID DISPOSAL, MACHINERY REPAIRS/REFUELING, PLACEMENT OF SITE OFFICES OR SHEDS, COMBUSTION OF ANY MATERIAL, STOCKPIILING OF SOIL, RUBBLE OR DEBRIS, ANY FILLING OR EXCAVATION INCLUDING TRENCHES, TOPSOIL, SKIMMING AND/OR SURFACE EXCAVATION UNLESS OTHERWISE APPROVED BY THE RELEVANT AUTHORITY.
9. CONSTRUCTION - STOCKPIILING
TEMPORARY SILT FENCE TO BE ERECTED 5m FROM TOE OF BATTER ON LOW SIDE OF STOCKPIILING. STOCKPILE SITE TO BE CLEAR OF ADJACENT PROPERTY BOUNDARIES SO AS NOT TO CAUSE A NUISANCE TO ADJOINING PROPERTIES. NO STOCKPILES ARE TO BE LOCATED WITHIN THE TREE PROTECTION ZONE. REFER VEGETATION MANAGEMENT PLAN FOR MORE DETAILS. THE CONTRACTOR SHALL NOT CREATE STOCKPILES OF SURPLUS MATERIALS UNLESS DIRECTED BY THE SUPERINTENDENT. ALL MATERIALS ARISING FROM THE WORKS SHALL BE COMPACTED TO FUTURE FILL AREAS AS NOMINATED OR REMOVED FROM THE SITE.
10. TOPSOIL SCREENING
TOPSOIL SHALL BE SCREENED BY THE CONTRACTOR WHEN DIRECTED BY THE SUPERINTENDENT. ALL UNSUITABLE MATERIAL SCREENED FROM THE TOPSOIL WILL BE TAKEN TO AN OFFSITE TIP BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.
11. EARTHWORKS MATERIAL SIZE
ALL EARTHWORKS MATERIAL IS TO BE BROKEN DOWN TO AN ACCEPTABLE SIZE TO BE COMPACTED UNDER LEVEL 1 FILL. WHERE THE RELEVANT GUIDELINES DON'T SPECIFY AN ACCEPTABLE SIZE, EARTHWORKS MATERIAL IS TO BE BROKEN DOWN TO A SIZE NO LARGER THAN 75mm.
12. MOISTURE CONTENT
EARTHWORKS MOISTURE VARIATION TO NOT EXCEED ±2% OF THE OPTIMUM MOISTURE CONTENT.
13. SURFACE FINISH
THE FINISHED SURFACE LEVEL IS TO BE CAPPED WITH FINER MATERIAL & SMOOTH DRUM ROLLED & GRADED TO PROMOTE SURFACE WATER RUNOFF IN A CONTROLLED MANNER.
14. EARTHWORKS LIMITS
THE CONTRACTOR IS TO TIE IN TO THE NATURAL SURFACE AT THE LIMIT OF THE EARTHWORKS. THE TIE IN IS TO BE COMPLETED IN A MANNER TO ENSURE THERE IS NO PONDING OF SURFACE WATER.
15. IMPORTED MATERIAL
LOTS - ALL IMPORTED MATERIAL FOR PLACEMENT ON LOTS TO BE A MINIMUM CBR 10 MATERIAL & HAVE A SWELL % <1.5.
ROADS - ALL IMPORTED MATERIAL FOR PLACEMENT ON ROADS TO BE A MINIMUM CBR10 MATERIAL WITH A SWELL % <1.5, LIQUID LIMIT >70 & PLASTICITY INDEX <45.
SOIL PARAMETERS TO BE REVIEWED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT ON SITE.
16. REACTIVE SOILS
a) ALL REACTIVE TOPSOIL TO BE IDENTIFIED BY THE GEOTECHNICAL ENGINEER & BE SEPARATED FROM THE NON REACTIVE TOPSOIL.
b) ALL REACTIVE TOPSOIL TO BE RESPREAD IN THE OPEN SPACE AREA. WHERE REACTIVE TOPSOIL IS REQUIRED TO BE RESPREAD ON DEVELOPABLE AREAS THE CONTRACTOR SHALL LIME TREAT THE TOPSOIL TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
c) WHEN UNDERTAKING THE EARTHWORKS CUT, ALL MATERIALS SHOULD BE SELECTIVELY SORTED SO THAT THE REACTIVE SOILS ARE SEPARATED FROM THE LOW REACTIVE RESIDUAL SOILS & XW BEDROCK.
d) ALL REACTIVE SOILS ARE TO BE PLACED IN THE LOWER SECTIONS OF FILL WITH THE LESS REACTIVE RESIDUAL SOILS & XW BEDROCK TO BE PLACED IN THE UPPER FILLS. ALTERNATIVELY, THE REACTIVE SOILS CAN BE BLENDED WITH THE LESS REACTIVE SOILS & XW ROCK TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
e) NO REACTIVE CLAY SOILS SHOULD BE PLACED WITHIN THE UPPER 0.75M APPROX. FILL PROFILE WHERE POSSIBLE.
f) WHEN PLACING FILL OVER HIGHLY REACTIVE SOILS, TREATMENT MAY BE REQUIRED IF THE FILLS ARE ONLY MINOR, 0.3m APPROX. & THE REACTIVE SOIL PROFILE IS GREATER THAN 0.7m APPROX. IN THESE AREAS SUBGRADE REPLACEMENT OF AT LEAST 0.75m OF NON REACTIVE / LOW REACTIVE MATERIAL OVERLYING THE REACTIVE SOILS SHALL BE UNDERTAKEN.
g) ALL WORKS ASSOCIATED WITH THE IDENTIFICATION, PLACEMENT & TREATMENT OF REACTIVE SOILS SHALL BE UNDERTAKEN TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
17. VERTICAL FACES
WHERE VERTICAL EARTHWORKS FACES ARE PROPOSED AS PART OF THE EARTHWORKS DESIGN & RETAINING WALLS ARE NOT PROPOSED AS PART OF THE WORKS, THE CIVIL CONTRACTOR IS TO CONSTRUCT A TEMPORARY 1 in 2 BATTER.
18. EARTHWORKS VOLUMES
a. EARTHWORKS VOLUMES CONTAINED WITHIN THE CONTRACT DOCUMENTS ARE APPROXIMATE ONLY, CONTRACTOR TO VERIFY & ALLOW FOR ANY DISCREPANCY IN THE CONTRACT VALUE.
b. VOLUMES INDICATE THE STRUCTURAL QUANTITY OF EARTHWORKS, IE BETWEEN THE EXISTING SURFACE & THE UNDERSIDE OF THE MINIMUM BOX & OF THE FSL, AS PRESCRIBED IN THE CONTRACT DOCUMENTATION.
c. NO ALLOWANCE FOR COMPACTION OR BULKING FACTOR IS INCLUDED IN THE EARTHWORKS VOLUMES. THE CONTRACTOR IS TO MAKE ALLOWANCES FOR BULKING/COMPACTION AS PART OF THEIR CONTRACT WORKS.
d. THE CONTRACTOR IS TO VERIFY EXISTING SURFACE & TOPSOIL DISTRIBUTION PRIOR TO SIGNING THE CONTRACT. THE CONTRACTORS PRICE FOR THESE WORKS IS DEEMED TO BE ACCEPTING OF THE NATURAL SURFACE & TOPSOIL DISTRIBUTION.
e. THE CONTRACTOR IS REQUIRED TO EXPORT / IMPORT AS NEEDED TO ACHIEVE THE FINAL SURFACE LEVELS. THE EXPORT/IMPORT AS REQUIRED TO COMPLETE EARTHWORKS FORMS PART OF THE CONTRACT WORKS.
f. WHERE NO SPOIL AREA IS AVAILABLE WITHIN THE PROJECT FOOTPRINT, THE CIVIL CONTRACTOR SHALL EXPORT EXCESS MATERIALS TO A LICENSED TIP OFF SITE. THESE WORKS FORM PART OF THE CONTRACT WORKS.

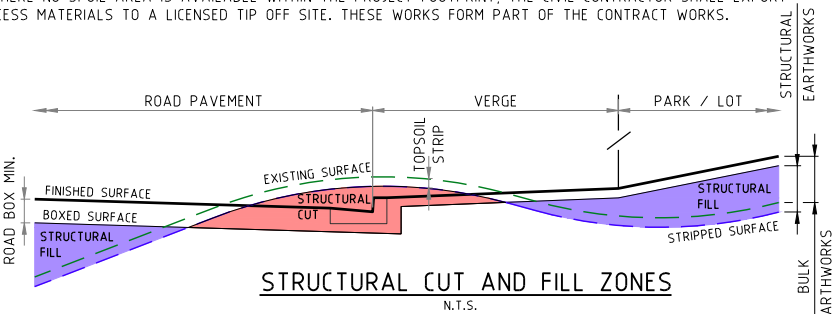
NOTE:

CONTRACTOR TO MAKE ALL NECESSARY ALLOWANCES FOR EXISTING SERVICES DURING ALL WORKS.



LEGEND

- EXISTING PROPERTY LINE
- EXISTING KERB (INVERT)
- FUTURE KERB (INVERT)
- FUTURE PROPERTY LINE
- LIMIT OF EARTHWORKS BOUNDARY
- PROPOSED PROPERTY LINE
- PROPOSED KERB (INVERT)
- 0.5 CUT CONTOUR
- 0.0 INTERFACE CONTOUR
- 0.5 FILL CONTOUR



STRUCTURAL CUT AND FILL ZONES

N.T.S.

PROJECT NAME

Flourish
CHANGE OF LEVEL OF LAND
WEST

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

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ASSOCIATED CONSULTANTS

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DRAWING TITLE

EARTHWORKS
CUT TO FILL
PLAN



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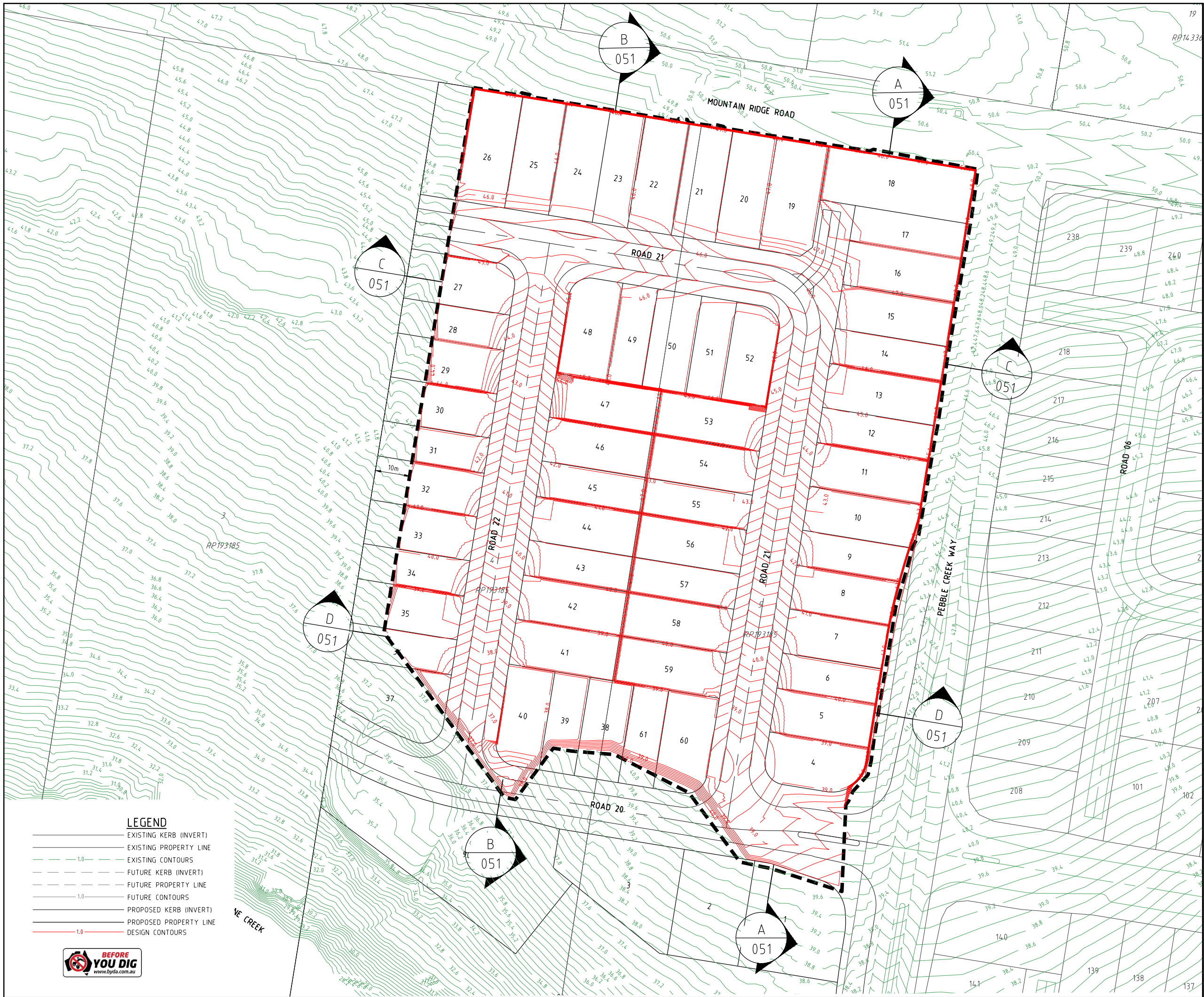
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\\nauto cad client\375- cedar woods properties\02 - mountain ridge road\overall\engineering drawings\CLL WEST\Current\37502-CLLW-050.dwg, EARTHWORKS SECTION KEY PLAN, 29/07/2023 1:48:42 PM, 1:2



PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND
WEST

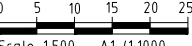
RP DESCRIPTION

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MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

**CEDAR WOODS**
DEVELOPING TOMORROW TODAY


NORTH


0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

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DRAWING TITLE

BULK EARTHWORKS
PLAN

**MORTONS**
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Project Coordination

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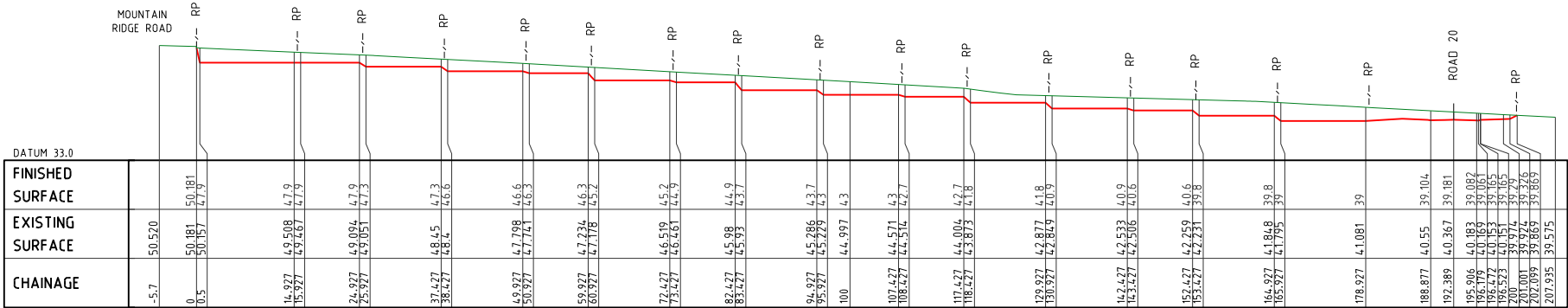
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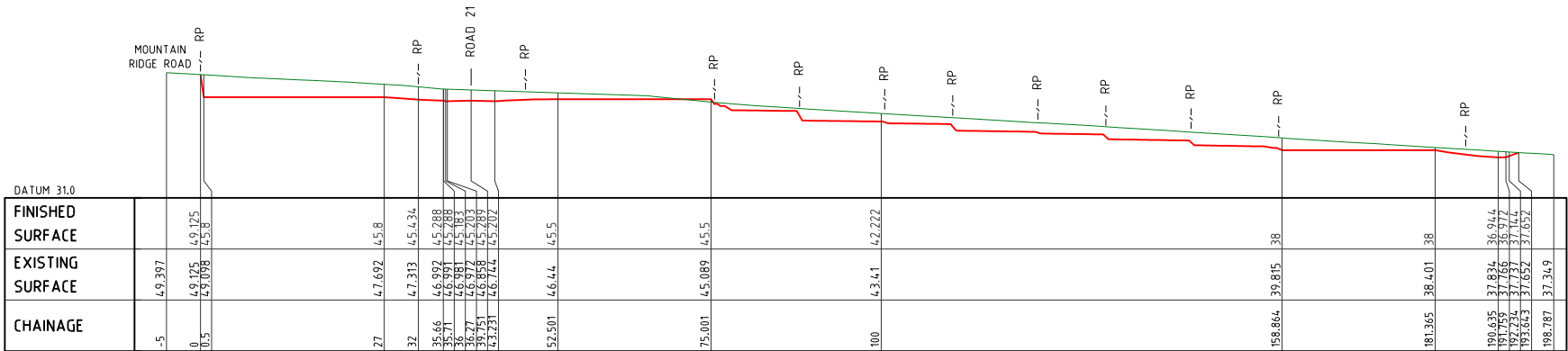
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LEGEND
EXISTING CONTOURS
DESIGN CONTOURS



SECTION A
SCALE: 1500
050



SEDIMENT AND EROSION

1. THE EROSION & SEDIMENT CONTROL DEVICES SHOWN ON THESE DRAWINGS ARE INDICATIVE & PROVIDED FOR SUBMISSION TO LOCAL AUTHORITY ONLY. NOTWITHSTANDING THE EROSION & CONTROL DEVICES SHOW ON THESE DRAWINGS, THE CONTRACTOR MUST PREPARE & FOLLOW A SITE SPECIFIC EROSION & SEDIMENT CONTROL PLAN TO MEET ALL LOCAL & STATE GOVERNMENT LEGISLATION INCLUDING BUT NOT LIMITED TO:
- a. ENVIRONMENTAL PROTECTION ACT WITH SPECIFIC REFERENCE TO PARTS 5440G & 5319
 - b. STATE PLANNING POLICY
- PRESCRIBED WATER CONTAMINANTS (AS DEFINED IN THE ENVIRONMENTAL PROTECTION ACT 1994) MUST NOT BE RELEASED FROM THE SITE OR TO WATERS WITHIN THE SITE, OR BE LIKELY TO BE RELEASED SHOULD RAINFALL OCCUR, UNLESS ALL REASONABLE & PRACTICABLE MEASURES ARE TAKEN TO PREVENT OR MINIMISE THE RELEASE & CONCENTRATION OF CONTAMINATION. THE ESC PLAN MUST BE DESIGNED, IMPLEMENTED & MAINTAINED IN ACCORDANCE WITH "BEST PRACTICE EROSION & SEDIMENT CONTROL" PUBLISHED BY THE INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIAN CHAPTER) (IECA, 2008).
2. TO COMPLY WITH THE REQUIREMENTS OF THE EP ACT & BEST PRACTICE DESIGN, THE SEDIMENT BASINS ON THE SITE MUST BE DESIGNED & IMPLEMENTED TO ACHIEVE THE FOLLOWING:
- SEDIMENT BASINS ARE TO BE DESIGNED, IMPLEMENTED & MAINTAINED TO A STANDARD WHICH WOULD ACHIEVE AT LEAST 80% OF THE AVERAGE ANNUAL RUNOFF VOLUME OF THE CONTRIBUTING CATCHMENT TREATED (I.E. 80% HYDROLOGIC EFFECTIVENESS) TO 50MG/L TSS OR LESS & PH IN THE RANGE 6.5-8.5
 - THIS WILL REQUIRE THE INSTALLATION & OPERATION OF A HIGH-EFFICIENCY SEDIMENT BASIN(S) DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS CONTAINED IN THE "BEST PRACTICE EROSION & SEDIMENT CONTROL - APPENDIX B SEDIMENT BASIN DESIGN & OPERATION" PUBLISHED BY THE INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIAN CHAPTER) (IECA, 2016, DRAFT)
3. THE EROSION & SEDIMENT CONTROL PLAN MUST BE PREPARED & CERTIFIED BY A CERTIFIED PROFESSIONAL IN EROSION & SEDIMENT CONTROL & FOLLOW THE REQUIREMENTS OUTLINED IN IECA'S BEST PRACTICE EROSION & SEDIMENT CONTROL DOCUMENT & THE QUEENSLAND URBAN DRAINAGE MANUAL.
4. PRIOR TO THE COMMENCEMENT OF WORKS ONSITE THE CONTRACTOR MUST MAKE THEMSELVES AWARE OF ALL PREVIOUS GEOTECHNICAL REPORTS & DETERMINE THE DISPERSIVE CHARACTERISTICS OF THE SOIL (INCLUDING PERFORMING ANY SOIL TESTS IF REQUIRED). THE RESULTS OF THIS REVIEW & ANY TESTS MUST BE INCLUDED IN THE CONTRACTOR'S EROSION & SEDIMENT CONTROL PLAN. A COPY OF ALL TEST RESULTS MUST BE PROVIDED TO THE SUPERINTENDENT.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO CONTROL EROSION & DOWNSTREAM SEDIMENTATION DURING ALL STAGES OF CONSTRUCTION (INCLUDING THE MAINTENANCE PERIOD). NOTWITHSTANDING THE CONTROL MEASURES OR FINISHED EARTHWORKS DESIGN SHOWN ON THESE DRAWINGS, THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING ADDITIONAL OR ALTERNATIVE EROSION & SEDIMENT CONTROL MEASURES TO MINIMISE SEDIMENT ACROSS OR LEAVING THE SITE.
6. AT ALL TIMES THE CONTRACTOR SHALL MONITOR THE PREVAILING WEATHER CONDITIONS (INCLUDING WEEKENDS & PUBLIC HOLIDAYS) & AT ALL TIMES REMAINS RESPONSIBLE TO:
- a) CLEAN & REPAIR CONTROL DEVICES WHENEVER THE ACCUMULATED SEDIMENT REDUCES THEIR CAPACITY BY 50%.
 - b) MAINTAIN POSITIVE GRADES OF ALL PERIMETER BANKS & SWALES TO AN OUTLET.
 - c) PROTECT ANY DOWNSTREAM CONSTRUCTION.
 - d) CONTROLLING DUST.
 - e) MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH DETAILS OUTLINED IN THEIR EROSION & SEDIMENT CONTROL PLAN & AS DIRECTED BY THE SUPERINTENDENT.
7. THE CONTRACTOR'S PLAN SHALL ALLOW FOR SUITABLE ACCESS TO ALLOW MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES. NO ADDITIONAL VEGETATION CLEARING IS PERMITTED FOR GAINING ACCESS UNLESS APPROVED BY THE SUPERINTENDENT.
8. THE CONTRACTOR MAY REQUEST APPROVAL FROM THE SUPERINTENDENT TO REUSE THE STOCKPILED MULCH FOR STABILISING BATTERS ONLY IN LOCATIONS WHERE THE APPROVED LANDSCAPE OPW DESIGN REQUIRES MULCH ULTIMATELY.
9. CONSTRUCTION STOCKPILING:
- a) TOPSOIL SHALL BE STRIPPED & STOCKPILED IN LOCATIONS NOMINATED ON THE CONSTRUCTION DRAWINGS OR IN LOCATIONS AGREED WITH THE SUPERINTENDENT.
 - b) ADDITIONAL VEGETATION CLEARING IS NOT PERMITTED TO FACILITATE THE STOCKPILING OF MATERIALS UNLESS SHOWN ON THE APPROVED VEGETATION MANAGEMENT PLAN.
 - c) ANY STOCKPILE SITE MUST BE CLEAR OF ADJACENT PROPERTY BOUNDARIES SO AS NOT TO CAUSE A NUISANCE TO ADJOINING PROPERTIES.
 - d) NO STOCKPILES ARE TO BE LOCATED WITHIN THE TREE PROTECTION ZONE OF VEGETATION.
 - e) A TEMPORARY SILT FENCE IS TO BE ERECTED APPROXIMATELY 5m FROM TOE OF BATTER ON LOW SIDE OF STOCKPILING.
10. NOTWITHSTANDING THE DETAILS SHOWN IN THE CONTRACTOR'S EROSION & SEDIMENT CONTROL PLAN, DURING CONSTRUCTION THE CONTRACTOR MUST:
- a) SIZE ALL TEMPORARY SEDIMENT BASINS APPROPRIATELY TO TREAT THE UPSTREAM CATCHMENT. NOTE THAT THE PERMANENT BIO BASINS SHOWN ON THESE DRAWINGS ARE SIZED FOR THE ULTIMATE CATCHMENT NOT FOR THE CONSTRUCTION PHASE.
 - b) PLACE A ROCK BUND AROUND ALL HEADWALLS DURING CONSTRUCTION.
 - c) PROVIDE KERB INLET PROTECTION TO ALL GULLIES.
 - c) PLACE A MINIMUM 1.0m WIDE TURF STRIP BEHIND ALL KERBS & IN A HERRINGBONE LAYOUT WITHIN THE ROAD VERGE.
 - d) MAINTENANCE (INCLUDING FLOCCULATION IF REQUIRED & PUMP OUT) OF ALL CONSTRUCTION SEDIMENT BASINS (WHETHER EXISTING OR NEW).
 - e) CLEAN OUT OF ALL GROSS POLLUTANT TRAPS, SEDIMENT FOREBAYS & ALL OTHER PERMANENT SEDIMENT CONTROL DEVICES AT BOTH ON & OFF MAINTENANCE.
11. CONTRACTOR TO CONFIRM THE EXTENTS OF REQUIRED GRASSING TREATMENTS WITH THE SUPERINTENDENT AT LEAST 7 DAYS PRIOR TO FINAL TRIMMING.
12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT GRASSING STRIKE RATES ARE ACHIEVED AT THE ON & OFF MAINTENANCE INSPECTIONS IN ACCORDANCE WITH COUNCIL REQUIREMENTS. THIS INCLUDES THE SUPPLY & INSTALLATION OF ANY REQUIRED CHEMICAL/FERTILISER AMELIORATION TO ACHIEVE THE SPECIFIED GRASS STRIKE RATES.
13. GEOFABRIC LINING OF CHANNELS & CHECK DAMS MAY BE REQUIRED SUBJECT TO THE SITE CONDITIONS.
14. BATTERS WITHIN PUBLIC OPEN SPACE TO BE VEGETATED IN ACCORDANCE WITH APPROVED OPEN SPACE MANAGEMENT PLAN & LANDSCAPING OPW. CONTRACT DOCUMENTATION WILL SPECIFY WHETHER THIS IS THE CIVIL CONTRACTOR OR THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO SUPPLY & INSTALL. THE CIVIL CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUITABLE ACCESS FOR THE LANDSCAPE CONTRACTOR TO PERFORM THEIR WORKS.
15. MAINTENANCE PERIOD (PRE TO POST CONSTRUCTION)
- a) ALL PROTECTION MEASURES ARE TO BE INSPECTED & MAINTAINED REGULARLY
 - b) REPAIRS ARE TO BE EFFECTED IMMEDIATELY.
 - c) SILT AFTER RAIN IS TO BE CLEANED FROM STREETS & ALLOTMENTS IMMEDIATELY & CORRECTIVE ACTION TAKEN TO AVOID A RE-OCCURRENCE.
 - d) AT OFF-MAINTENANCE & ONLY WHEN DIRECTED BY COUNCIL, REMOVE & DISPOSE OFFSITE ALL TEMPORARY EROSION & SEDIMENT CONTROL DEVICES.
16. EROSION & SEDIMENT CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR AND THE CONTRACTOR HOLDS ALL LIABILITY.

NOTE:
SEDIMENT AND EROSION CONTROL MEASURES SHOWN RELATE TO THE FINISHED SURFACE ONLY AND ARE CONCEPTUAL ONLY. THE CONTRACTOR IS TO PREPARE A SITE SPECIFIC CONSTRUCTION AND MAINTENANCE PHASE SEDIMENT AND EROSION CONTROL PLAN.



PROJECT NAME
Flourish
CHANGE OF LEVEL OF LAND
WEST
RP DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT
CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH
0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

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DRAWING TITLE
**FINAL SURFACE AND
SEDIMENT AND EROSION
PLAN**

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Southport QLD 4215

DESIGNED	GW	DRAWN	GB
APPROVED	<i>[Signature]</i>	PROJ	20300
DRAWING NUMBER		REV	
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