



NOTE: SHADOWS SHOWN ON PERSPECTIVES ARE NOT SITE SPECIFIC.
IT IS AN INDICATIVE REPRESENTATION OF THE BUILDING FORM.

CONSTRUCTION DETAILS

DETAIL DESCRIPTION	REFERENCE CODE
- OUTDOOR LIVING BRICK PIER-01	- CAR-EAVE-BRICK PIER-01
- OUTDOOR LIVING POST EAVE DETAILS	- CAR-EAVE-TIMBER POST-02
- GARAGE DOOR DETAILS	- CAR-GARAGE DOOR-01
- STANDARD SOFFIT/EAVE DETAILS	- CAR-GARAGE DOOR-02
- BATH SPECIFICATIONS AND BATH HOB DETAILS	- CAR-SOFFIT/EAVE-03
- NOGGINGS, MANHOLE & P.C.I. DETAILS	- CAR-BATH-01
- FACE BRICK SILL DETAILS	- CAR-NOGGINGS-01
- EXTERNAL OPENING HEAD DETAILS	- BRI-FACE BRICK SILL-01
- RENDERED BRICK SILL DETAILS	- BRI-OPENING HEAD-01
- BRICK ARTICULATION DETAILS	- BRI-RENDER BRICK SILL-02
- HOUSE CONCRETE SLAB FORMWORK & CONCRETE PLUMBING RECESS DETAILS	- BRI-ARTICULATION-01
- SURFACE WATER GRATE DETAIL	- CON-02
- DOWNPIPE/SEWER DETAILS	- PLM-01
- OPEN SHOWER FLOOR RECESS DETAILS	- PLM-DRAINAGE-01
- OVERHEAD CABINET DETAILS	- REFER TO DETAIL PAGE
- LIVEABLE HOUSING NOGGING DETAILS	- REFER TO DETAIL PAGE
- VALLEY BOARD DETAILS	- REFER TO DETAIL PAGE
- TERMITE BLANKET DETAILS	- REFER TO DETAIL PAGE

STANDARD NOTES - Q

- GENERAL**
- REFER SITE PLANS FOR BUILDING DESIGN WIND CLASSIFICATION.
 - ALL BUILDING WORKS ARE TO COMPLY WITH THE NCC VOLUME 2 2022.
 - WIND RESISTANCE TO BE VERIFIED OVER SCALE.
 - FLOOR PLAN DIMENSIONS ARE TO FRAME.
 - INTERNAL ELEVATION DIMENSIONS ARE TO PLASTERBOARD.
 - THERE ARE NO ATYPICAL DESIGN FEATURES THAT PRESENT UNUSUAL WORKPLACE HEALTH & SAFETY ISSUES IN THE CONSTRUCTION, MAINTENANCE, USE, OR DEMOLITION OF THIS STRUCTURE.

SITE & EARTHWORKS

- SITE PREPARATION & BATTERS TO COMPLY WITH ENGINEER'S SPECIFICATIONS.
- ALL LEVELS TO BE VERIFIED ON SITE BY CONTRACTOR.
- PERMITTING OF ANY DISCHARGE TO BE OBTAINED FROM THE LOCAL COUNCIL.
- PER SITE PLAN, WHERE DISCHARGE IS TO KERB, AN APPROVED ADAPTOR MUST BE USED.

TERMITE

- TERMITE PROTECTION INSTALLED IN ACCORDANCE WITH AS3660.1.

SLAB & FOOTINGS

- CONCRETE SLAB, PIERS AND REINFORCING TO COMPLY WITH ENGINEERS DESIGN AND SPECIFICATIONS.
- ALL CONCRETE DAMP-PROOFING ON A 50mm SAND FILL UNDER HOUSE SLAB TO BE INSTALLED IN ACCORDANCE WITH AS1502.1.
- OLD MEDIUM IMPACT RESISTANCE IN ACCORDANCE WITH 5.3.3.3 ITEM 'b' & 'c' OF AS2870 (NSW) - HIGH IMPACT RESISTANCE IN ACCORDANCE WITH 5.3.3.3 ITEM 'b' & 'c' OF AS2870.

FRAMING

- BRICK VENEER FRAMING TO BE IN ACCORDANCE WITH NCC H1D6 & TO COMPLY WITH AS1684.2-2021 (N2/N3/M4 WIND RATING AREAS) & AS1684.3-2021 (C1/C2 WIND RATING AREAS).
- PREFAB. TIMBER ROOF TRUSSES @ 600mm MAX. CENTRES TO MANUFACTURER'S SPECIFICATION.
- SPECIFICATION FOR LIFTING & TIE-DOWN REQUIREMENTS TO COMPLY WITH ENGINEERS DESIGN AND SPECIFICATIONS.

ROOF & WALL CLADDING

- BRICK VENEER WALLS TO COMPLY WITH NCC H1D1 & MUST COMPLY WITH AS4773.1.
- ALL EAVE SHEETS AND FIBRE CEMENT LININGS MUST COMPLY WITH AS2908.2.
- PLASTERBOARD TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
- ROOF AND WALL CLADDING TO BE IN ACCORDANCE WITH NCC H2D6 & MUST COMPLY WITH THE FOLLOWING STANDARD WHEN APPLICABLE (SHEET ROOF AS1562.1 / ROOF ALL FLASHINGS MUST COMPLY WITH AS2904.
- ALL FLASHINGS MUST COMPLY WITH AS2904.
- ALL SARKINGS MUST COMPLY WITH AS4200.1.

GLAZING

- GLAZING TO COMPLY WITH NCC H5P2 & PART 11.3.7 & 11.3.8 OF THE ABCB HOUSING PROVISIONS.
- GLAZING TO BE IN ACCORDANCE WITH NCC H1D8 & MUST COMPLY WITH AS1288 & AS2047.

WATER PROOFING

- WATER PROOFING IS TO BE IN ACCORDANCE WITH NCC H4D1 & PART 10.2 OF THE ABCB HOUSING PROVISIONS.
- WHERE FLOOR WASTES ARE PROVIDED, OUTSIDE OF ENCLOSED SHOWERS, FLOOR GRADES ARE TO COMPLY WITH QDC 4.5 REQUIREMENTS.
- WHERE FLOOR GRADES ARE PROVIDED, OUTSIDE OF ENCLOSED SHOWERS, FLOOR GRADES MUST COMPLY WITH AS4584.
- TILED WET AREA FLOORS AND SHOWER FLOORS WHERE A 'FLOOR WASTE' IS REQUIRED, WILL GENERALLY REQUIRE TILES TO BE DIAGONALLY CUT TO ACHIEVE COMPLIANT FALLS.
- WHERE FLOOR GRADES ARE PROVIDED, OUTSIDE OF UNENCLOSED SHOWER, FLOOR GRADES MUST BE BETWEEN 1:80 MINIMUM AND 1:30 MAXIMUM IN ACCORDANCE WITH 10.2.12 OF THE ABCB HOUSING PROVISIONS.
- FLOOR TILES TO SHOWER AREAS MUST BE PROVIDED WITH A FLOOR GRADE BETWEEN 1:80 MINIMUM AND 1:50 MAXIMUM IN ACCORDANCE WITH 10.2.12 OF THE ABCB HOUSING PROVISIONS.

CONDENSATION MANAGEMENT AND VENTILATION

- EXHAUST FAN TO WC (WHEN APPLICABLE) TO COMPLY WITH NCC H4D9 & AS1688.2.
- EXHAUST FANS, RANGEHOODS, COMBINATION EXHAUST FANS ARE DUCTED TO THE EXTERIOR THROUGH A MINIMUM 100mm RATED EXHAUST DUCT.
- THE EXHAUSTS MUST BE IN ACCORDANCE WITH NCC H4P7 & PART 10.8 OF THE ABCB HOUSING PROVISIONS.
- BATHROOMS OR SANITARY COMPARTMENTS WITHOUT NATURAL VENTILATION TO HAVE 10 MINUTE RUN ON TIMER LINKED TO LIGHT SWITCH.
- ANY ROOM THAT DOES NOT MEET NATURAL VENTILATION REQUIREMENTS MUST BE PROVIDED WITH MAKE-UP AIR FROM AN ADJACENT ROOM IN ACCORDANCE WITH 10.2.12 OF THE ABCB HOUSING PROVISIONS.
- WET AREAS WITHOUT SUFFICIENT NATURAL VENTILATION MUST HAVE A MINIMUM 20MM GAP TO THE UNDERSIDE OF THE DOOR TO ACHIEVE COMPLIANT VENTILATION.

STAIRS & BALUSTRADE (WHEN APPLICABLE)

- STAIRS TO COMPLY WITH NCC H3D1 & AS1688.2.
- NCC H5 & PART 11.2 & 11.3 OF THE ABCB HOUSING PROVISIONS & MUST COMPLY WITH AS1170.1 & AS4598.

OTHER

- DOORWAYS TO SANITARY COMPARTMENTS TO BE IN ACCORDANCE WITH NCC H4P7 PART 10.4.2 OF THE ABCB HOUSING PROVISIONS.
- BUILT TO BOUNDARY WALLS TO BE BUILT IN ACCORDANCE WITH NCC H3D1 AND PART 8.1 TO 9.3 OF THE ABCB HOUSING PROVISIONS & AS1530, SEPARATING & EXTERNAL WALLS TO BE BUILT TO FRL 60/60/60 (WHERE APPLICABLE).
- DOWNPIPE MINIMUM 119mm SLOTTED GUTTER TO SUIT MAX. 40mm OF ROOF AREA PER DOWNPIPE.
- SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC H3D6 & PART 9.5 OF THE ABCB HOUSING PROVISIONS & MUST COMPLY WITH AS3786 & AS1670.1.
- FLUES FOR ALL FIREPLACES & HEATERS (WHERE APPLICABLE) ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND PART 12.4 OF THE ABCB HOUSING PROVISIONS.

STEEL FRAMING (WHEN APPLICABLE)

- ALL STEEL FRAMING TO BE IN ACCORDANCE WITH NCC H1P1 & TO COMPLY WITH AS1502.1.
- PREFAB. STEEL ROOF TRUSSES @ 600mm CENTRES FOR SHEET ROOF UP TO N2/N3.
- PREFAB. STEEL ROOF TRUSSES @ 600mm CENTRES FOR SHEET ROOF UP TO N4.
- PREFAB. STEEL ROOF TRUSSES @ 600mm CENTRES TO ALL RAKED CEILINGS.

CLIENT

L. N. P. T. PERERA & R. L. BASINAYAKA

ADDRESS

LOT 4387 CANDY WAY
GREENBANK QLD 4124

DESIGN

ATLANTA 400Q

FAÇADE

MODERN

PLAN

COVER PAGE

REVISION SCHEDULE

DATE	REV	DRW	CHK
20/12/2024	CONTRACT	PG22	CHO
24/01/2025	CONTRACT	PG16	KCE
18/02/2025	V01	SFO	KCE
09/04/2025	V02 MYCHOICE	PG400	CHO
23/05/2025	AMD SITING	NFA	KCE
13/06/2025	V07	JCA	KCE
08/07/2025	V08	JCA	KCE
11/07/2025	V09	JCA	KCE
14/07/2025	AMD V09	SFO	KCE

REFER TO PERFORMANCE
SOLUTION REPORT COMPLETED BY
STA CONSULTING ENGINEERS FOR
THIS JOB FOR NOMINATED FALLS
RATES. THESE RATES DO NOT
SUPERSEDE THE REQUIREMENTS
AS STATED IN NCC H4D2

BUILDING AREA

BRISBANE / NOOSA - GOLD COAST

ELEGANCE SPECIFICATION

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PROPRIETOR
SIGNATURE

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REV: AMD V09

DATE: 14/07/2025

REF: 43324

SCALE: NTS

SHEET NUMBER: 01 of 20

CLIENT

L N P T PEREIRA & R L BASNAYAKA

ADDRESS

LOT 4387 CANDY WAY
GREENBANK QLD 4124

DESIGN

ATLANTA 400Q

FACADE

MODERN

PLAN

SITE

SITE COST OPTION:

2012/2024

SURVEYOR NO:

X540353

PROPERTY DESCRIPTION

ON: SP 348245
LOCAL AUTH: LOGAN CITY COUNCIL

AREAS

LAND 669 m²
SITE COVERAGE 92.72%

SITeworks

NOTE: PLATFORM HEIGHT & RETAINING CAN VARY DUE TO SITE CONDITIONS
CUT: SCRAPE PAD AHD: 51.800
FILL: SCRAPE SLAB AHD: 52.125

CRITICAL PAD LEVEL

☒ NO ☐ YES

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BUILDERS SIGNATURE

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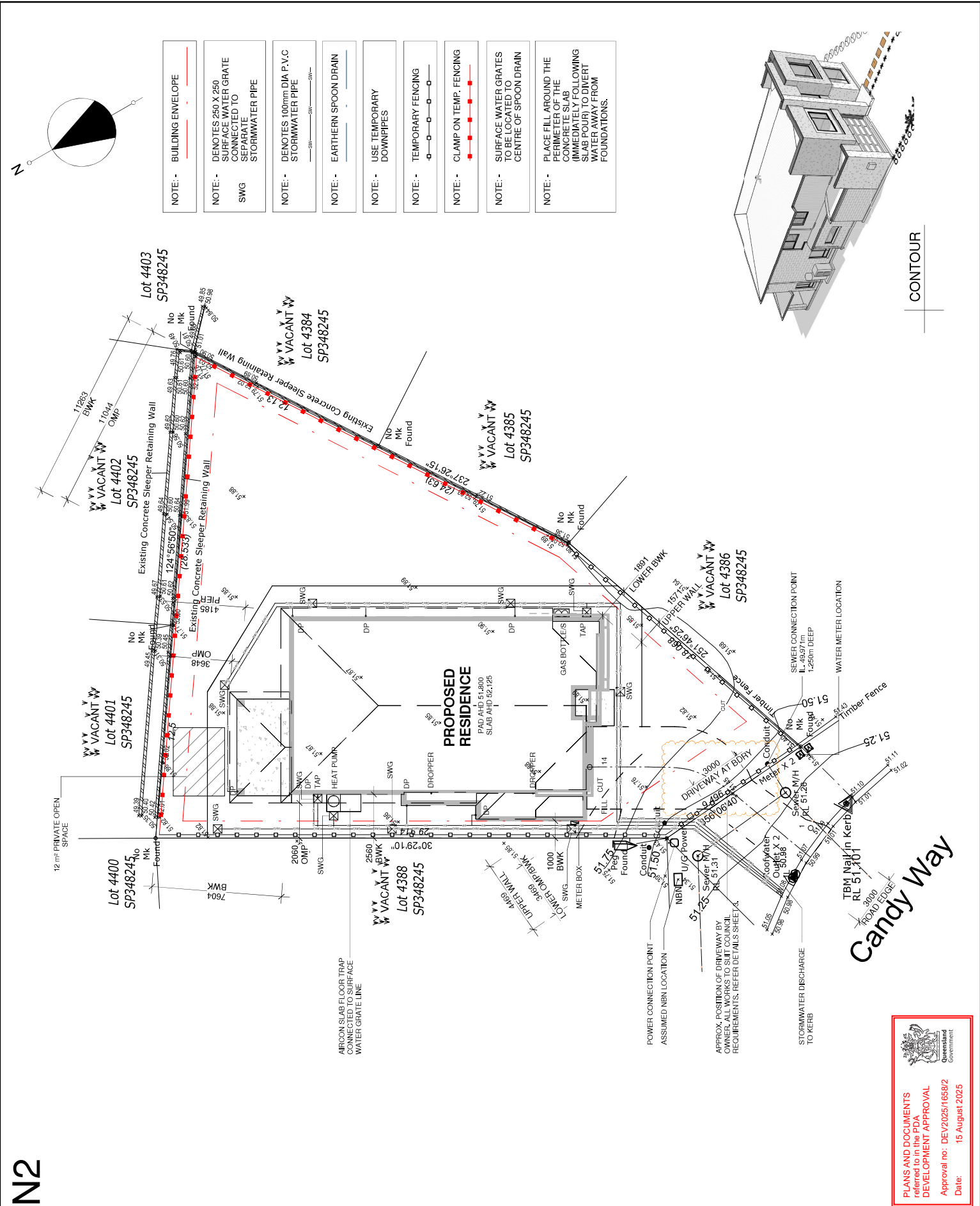
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SHEET NUMBER: 02A of 20



PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL

Approval no: DEV2025/1658/2

Date: 15 August 2025



CLIENT

L. N. P. T. PERERA & R. L. BASNAYAKA

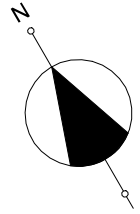
ADDRESS

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GREENBANK QLD 4124

DESIGN ATLANTA 400Q

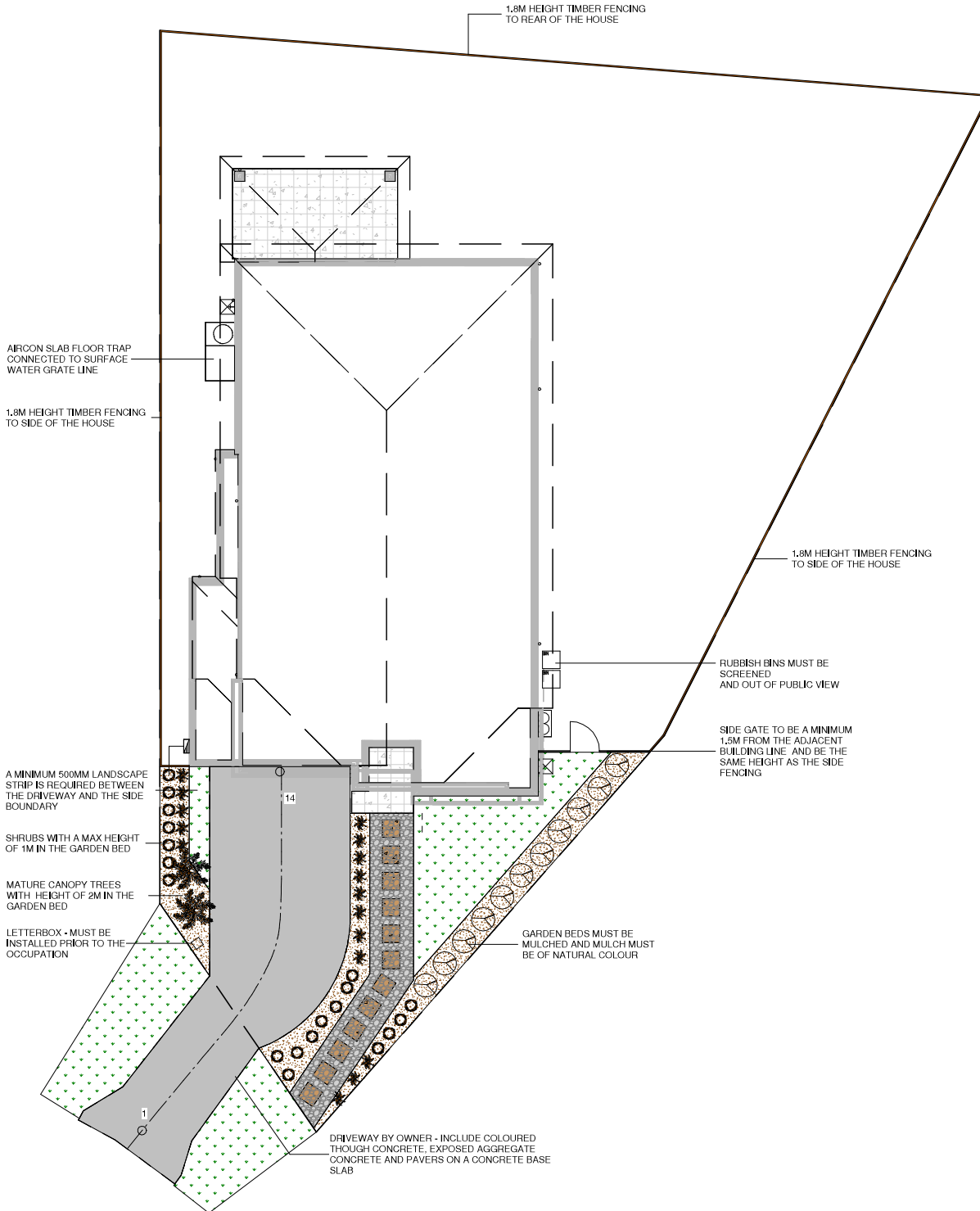
FACADE MODERN

PLAN LANDSCAPE PLAN



LEGEND

- GROUND COVER
- MALL SHRUBS
- FEATURE SHRUBS
- FEATURE TREES
- BINS
- PAVERS
- GRAVEL / PEBBLES
- DRIVEWAY
- TURF
- GARDEN BED AND GROUND COVER
- GOOD NEIGHBOUR TIMBER FENCING
- LETTERBOX



FRONT YARD AREA:	60.24 m ²
TURF AREA: (TO FRONT BOUNDARY LINE ONLY)	27.48 m ² (46%)
GARDEN BED & BUFFER STRIP AREA:	32.77 m ² (54%)
LANDSCAPE PERCENTAGE:	100%

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CORAL HOMES

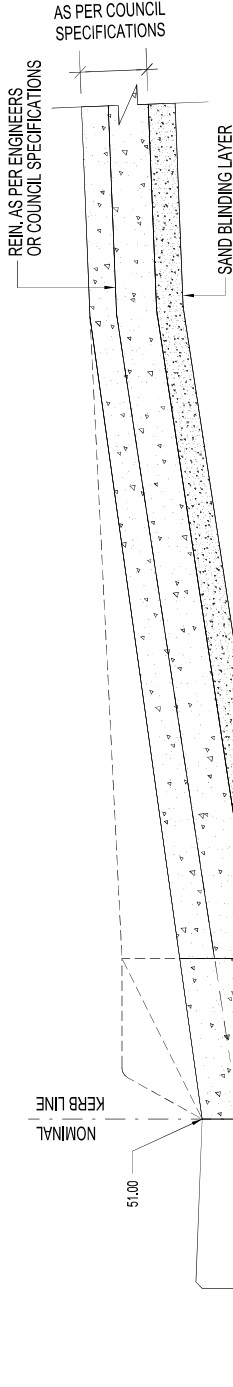
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DATE:	14/07/2025
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SCALE:	1 : 150
SHEET NUMBER:	02B of 20

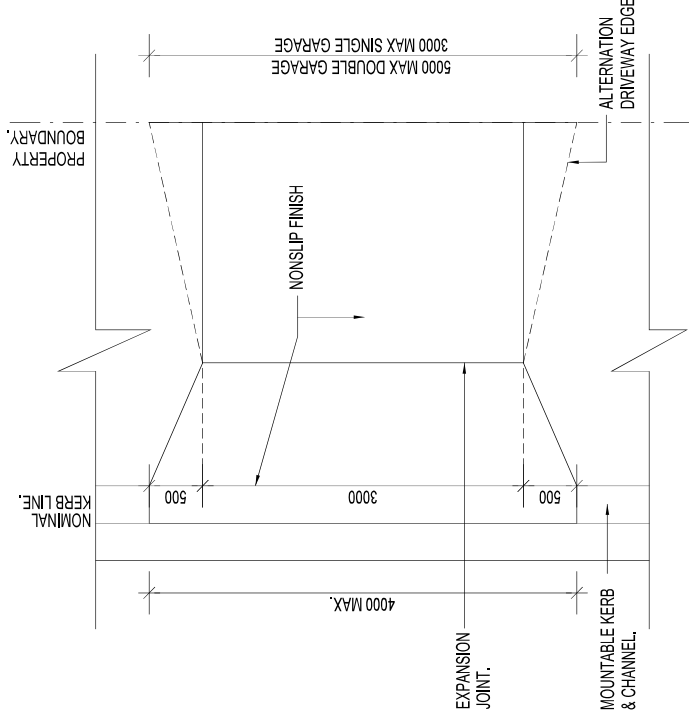
YOUR FRONT GARDEN AND AREAS VISIBLE ON SECONDARY FRONTAGES MUST BE COMPLETELY LANDSCAPED IN ACCORDANCE WITH THE GUIDELINES WITHIN SIX(6) MONTHS OF ISSUE OF CERTIFICATE OF OCCUPANCY FOR THE DWELLING.

AS PER LOCAL COUNCIL REQUIREMENTS

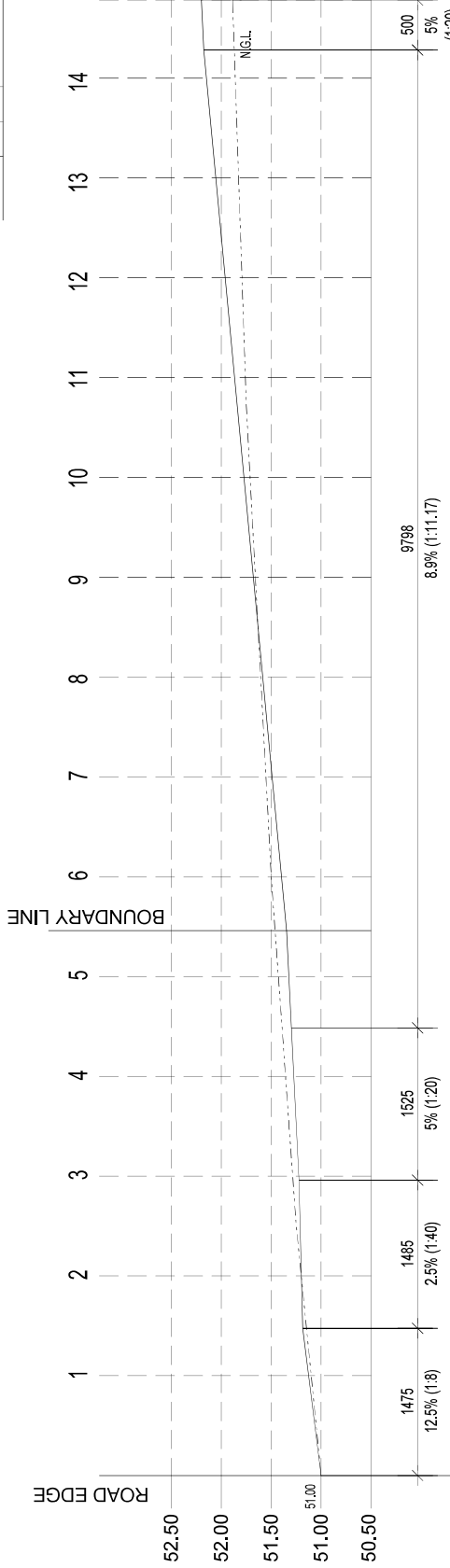


CROSSOVER DETAIL - 1:10
BARRIER OR NON-MOUNTABLE
KERB & CHANNEL BREAKOUT.

GALVANISED/STAINLESS STEEL
DOWELS 400L R16 @450 CRS
SAW CUT & BREAKOUT BACK
OF KERB & CHANNEL.



DRIVEWAY PLAN - 1:50



DRIVEWAY DETAIL - 1:50

NOTE: THE ABOVE IS SIMPLIFIED TRANSITIONS. THERE
IS TO BE A CURVATURE ALLOWANCE AT CHANGE OF GRADE.

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Date: 15 August 2025



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DESIGN

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MODERN

PLAN

DRIVEWAY LAYOUT

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PROPRIETOR
SIGNATURE

PROPRIETOR
SIGNATURE

BUILDERS SIGNATURE

CORAL HOMES

REV: AMD V09

DATE: 14/07/2025

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SCALE: 1 : 100

SHEET NUMBER: 03 of 20

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WALL FRAME - STEEL



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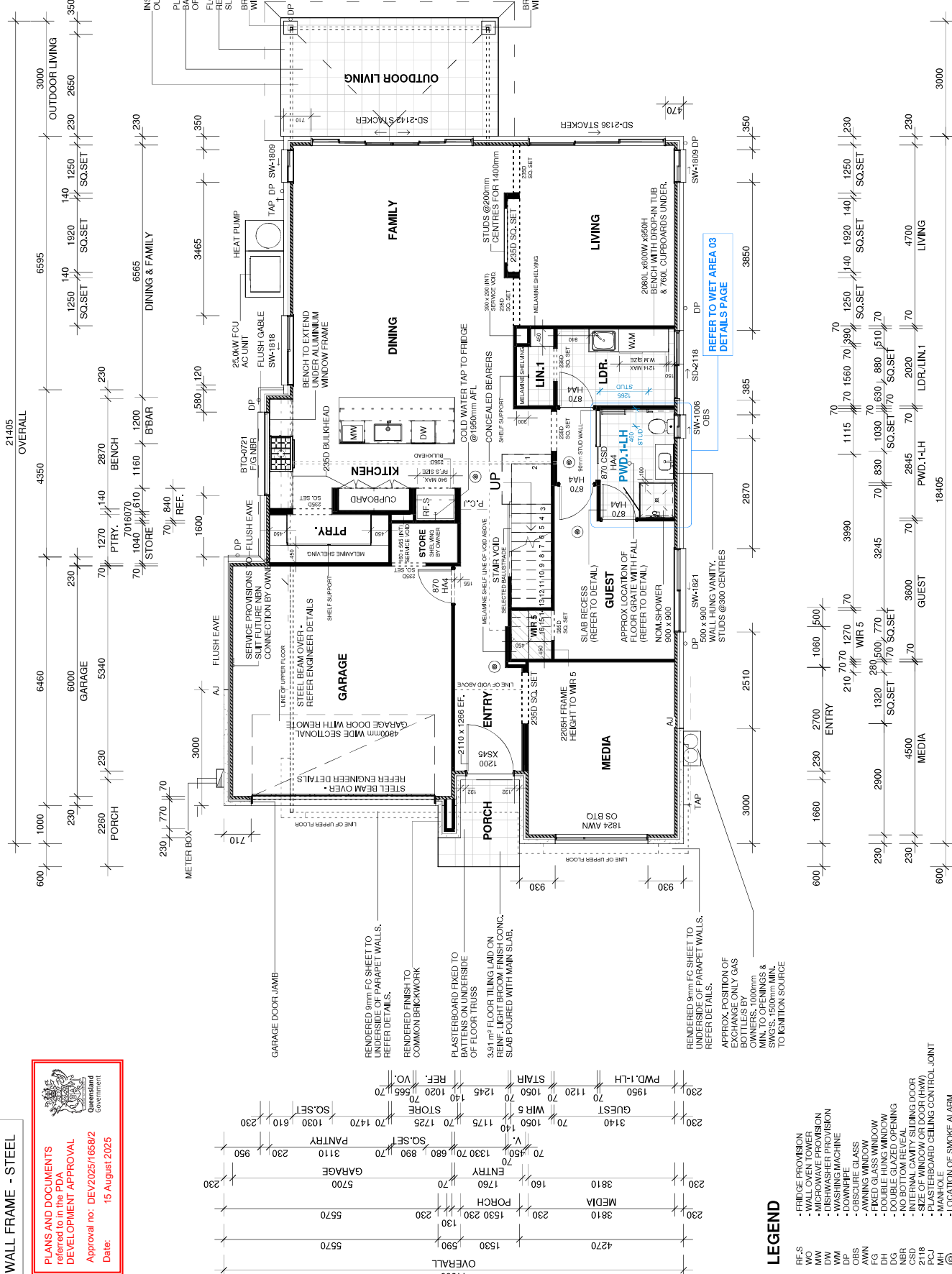
450mm - EAVE WIDTH - U.N.O

AREA SCHEDULE

	Area (m2)
LIVING (LOWER)	157.79
GARAGE	39.71
OUTDOOR LIVING	16.50
PORCH	4.03
TOTAL	218.03

LIVING (UPPER)

186.94
186.94
404.97



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PROPRIETOR SIGNATURE
BUILDERS SIGNATURE

PERIMETER SCHEDULE	ROOF SCHEDULE	GUTTER SCHEDULE
LOWER LEVEL 63.73 m UPPER LEVEL 60.46 m	LOWER LEVEL 34.34 m² UPPER LEVEL 206.42 m²	PER LENGTH 23.49 m FASCIA FASCIA

CLIENT	DESIGN	ATLANTA 400Q	LOWER FLOOR PLAN
L. N. P. PERERA & R. L. BASNAYAKA	FACADE	MODERN	
ADDRESS	PLAN		
LOT 4387 CANDY WAY GREENBANK QLD 4124			

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WALL FRAME - STEEL



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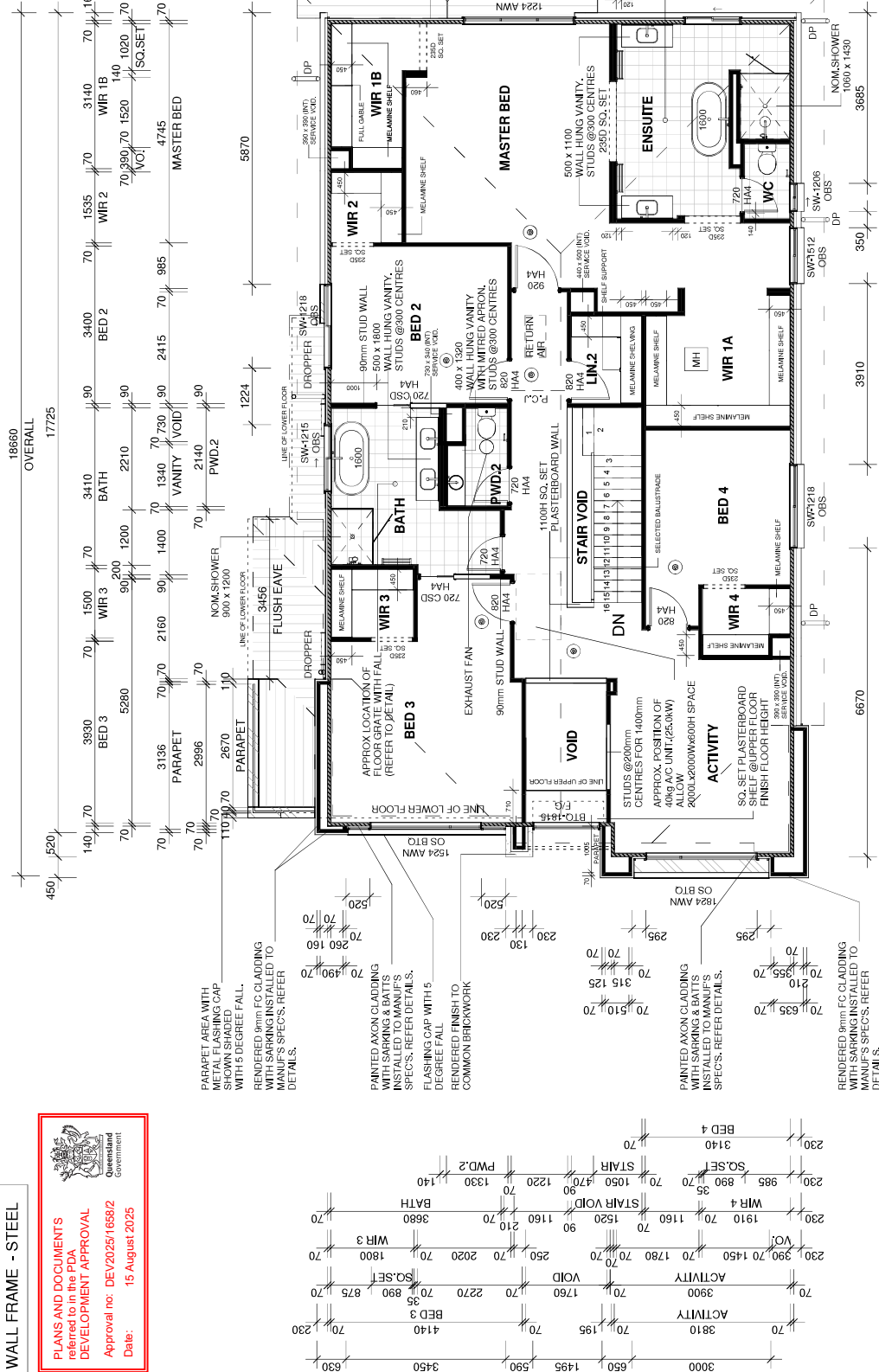
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Date: 15 August 2025

450mm - EAVE WIDTH - U.N.O

AREA SCHEDULE

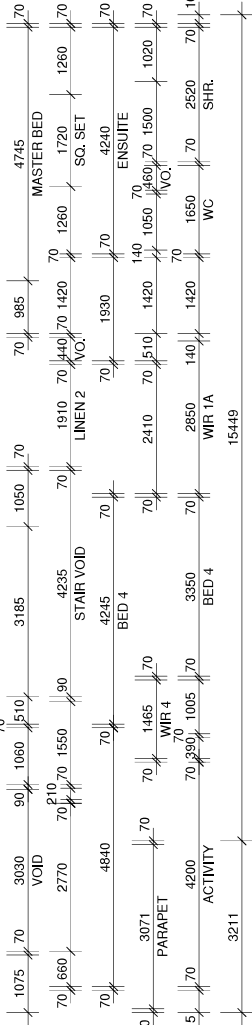
LIVING (LOWER)	Area (m2)
GARAGE	157.79
OUTDOOR LIVING	337.71
PORCH	16.50
	4.03
	218.03
LIVING (UPPER)	186.94
TOTAL	186.94
	404.97



LEGEND

- FRIDGE PROVISION
- WALL OVEN TOWER
- MICROWAVE PROVISION
- DISHWASHER PROVISION
- WASHING MACHINE
- DOOR TYPE GLASS
- DOOR TYPE GLASS
- AWNING WINDOW
- FIXED GLASS WINDOW
- DOUBLE HUNG WINDOW
- DOUBLE GLAZED OPENING
- INTERNAL CANTY SLIDING DOOR
- SIZE OF WINDOW OR DOOR (HxW)
- PLASTERBOARD CEILING CONTROL JOINT
- MANHOLE
- LOCATION OF SMOKE ALARM

ELEVATIONS



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PROPRIETOR SIGNATURE

BUILDERS SIGNATURE

PERIMETER SCHEDULE	ROOF SCHEDULE	GUTTER SCHEDULE
LOWER LEVEL 63.73 m	3.12 m ²	PER LENGTH
UPPER LEVEL 60.46 m	LOWER LEVEL 34.34 m ²	LOWER LEVEL 23.49 m
	UPPER LEVEL 206.42 m ²	FASCIA
		UPPER LEVEL 43.14 m
		FASCIA

DESIGN	ATLANTA 400Q	MODERN	UPPER FLOOR PLAN
L. N. P. PERERA & R. L. BASNAYAKA			
ADDRESS			
LOT 4387 CANDY WAY GREENBANK QLD 4124			

REV: AMD V09

DATE: 14/07/2025

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SCALE: 1 : 100

SHEET NUMBER: 05 of 20

WALL FRAME - STEEL

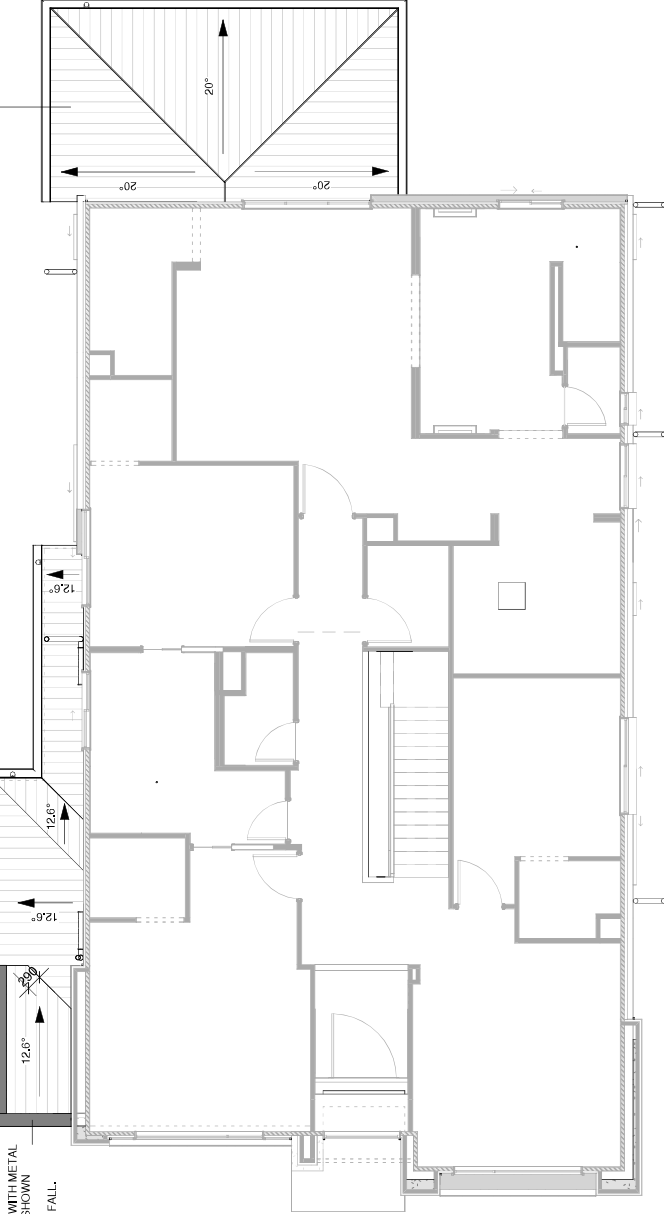
SHEET METAL ROOF WITH ANTI-CON

SHEET METAL ROOF WITH ANTI-CON

450mm - EAVE WIDTH - U.N.O

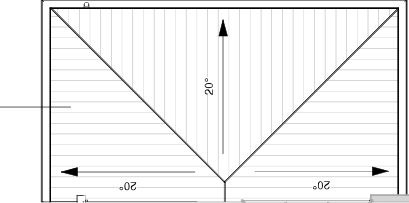
PARAPET AREA WITH METAL FLASHING CAP SHOWN WITH 5 DEGREE FALL.

SHEET METAL ROOF WITH ANTI-CON



LOWER LEVEL - ROOF PLAN

1 : 100



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DEVELOPMENT APPROVAL
Approval no: DEV/2025/1658/2
Date: 15 August 2025



DESIGN	ATLANTA 400Q
FACADE	MODERN
PLAN	ROOF PLAN

ADDRESS

LOT 4387 CANDY WAY
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CLIENT

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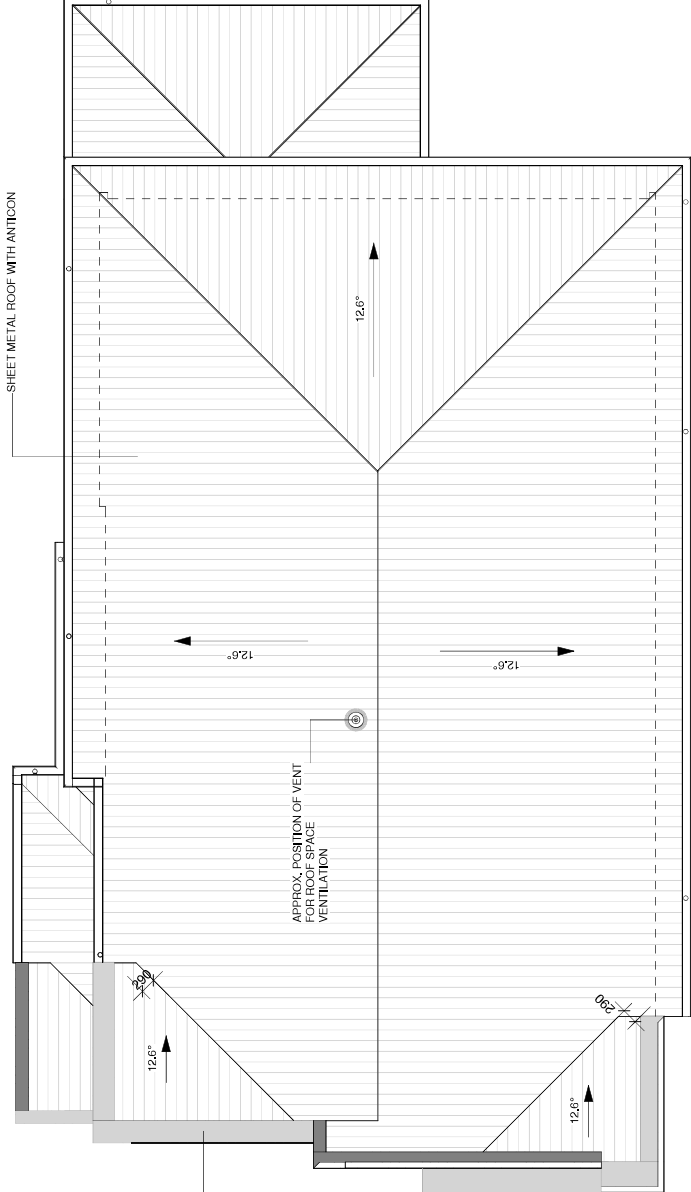
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SHEET NUMBER:	06 of 20

UPPER LEVEL - ROOF PLAN

1 : 100



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DEVELOPMENT APPROVAL
Approval no: DEV2025/1658/2
Date: 15 August 2025


Queensland
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ADDRESS
LOT 4387 CANDY WAY
GREENBANK QLD 4124

DESIGN
ATLANTA 400Q

FACADE
MODERN

PLAN
ELEVATION 01

GLASS TYPE LEGEND	
	CLEAR
	CLEAR TOUGHENED - TINT STANDARD
	TINT - STANDARD
	TINT - DARK
	OBS - OBTURATE
	OBS - OBTURATE TOUGHENED
	LOW E - STANDARD
	LOW E - TINT
	LOW E - TOUGHENED
	LOW E - TOUGHENED - TINT STANDARD

MATERIAL TYPE LEGEND	
	FACE BRICKWORK
	TEXTURE BRICKWORK
	RENDERED BRICKWORK
	BAG IN PAINT BRICKWORK
	PAINTED FC SHEET
	RENDERED FC SHEET
	RENDERED 9mm FC SHEET
	AAC PANEL
	LINEA WEATHERBOARD
	AXON CLADDING
	EASYLAP PANEL
	RENDERED FC SHEET

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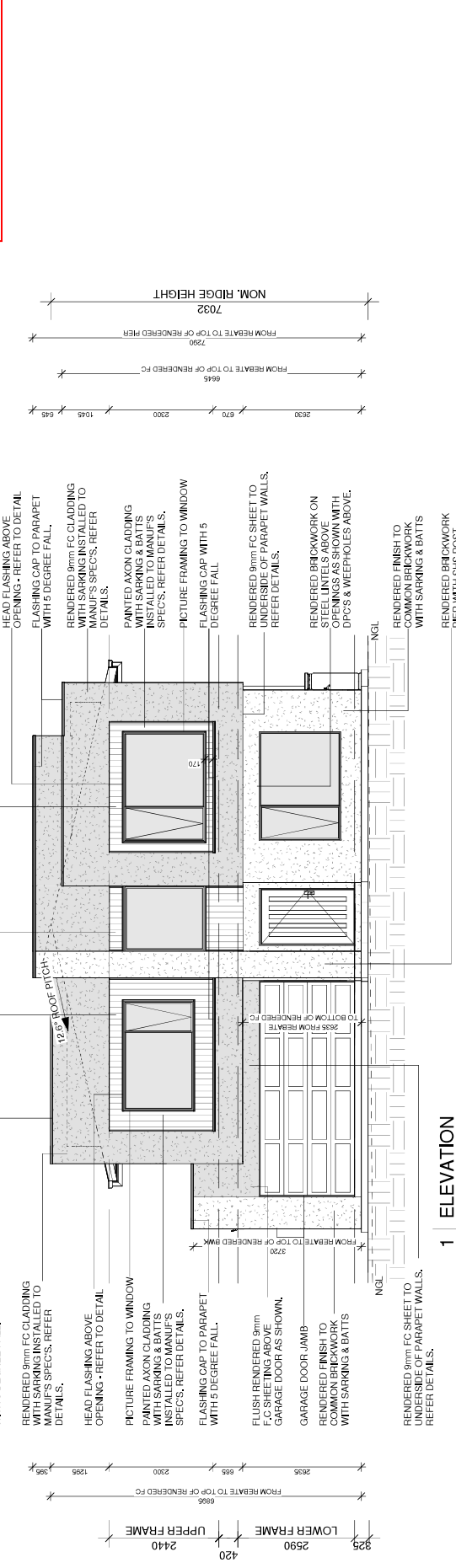
PROPRIETOR SIGNATURE
PROPRIETOR SIGNATURE
BUILDERS SIGNATURE

CORAL HOMES

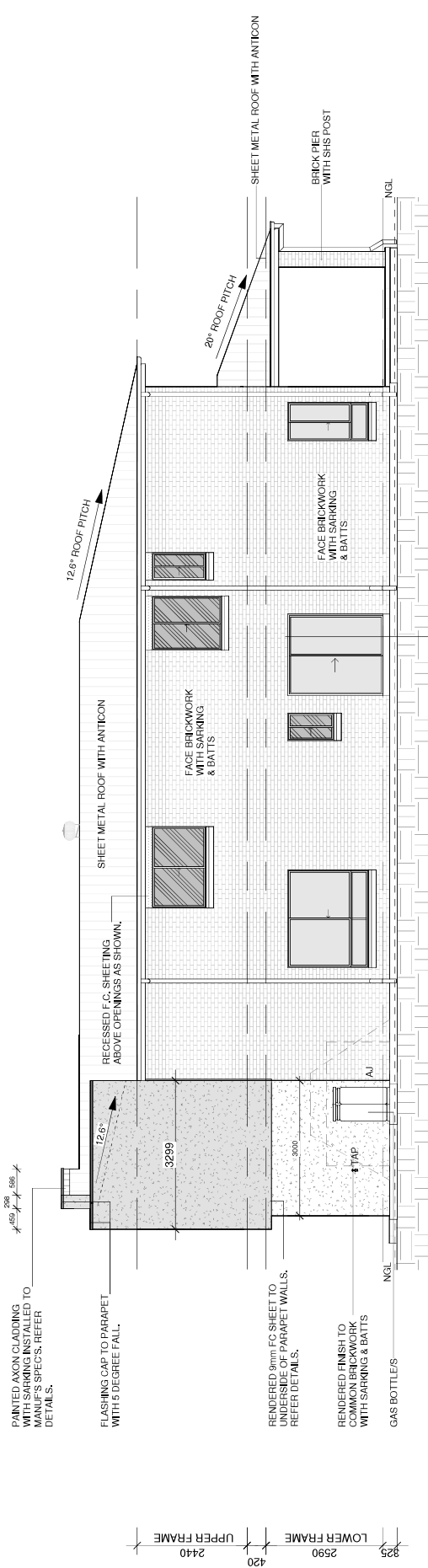
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REV:	AMD V09
DATE:	14/07/2025
REF:	43324
SCALE:	1 : 100
SHEET NUMBER:	07 of 20



1 ELEVATION
SW



2 ELEVATION
SE

PLANS AND DOCUMENTS
referred to in the PD
DEVELOPMENT APPROVAL
Approval no: DEV2025/1658/2
Date: 15 August 2025



CLIENT

L. N. P. T. PEREIRA & R. L. BASINAYAKA

ADDRESS

LOT 4387 CANDY WAY
GREENBANK QLD 4124

DESIGN

ATLANTA 400Q

FACADE

MODERN

PLAN

ELEVATION 02

GLASS TYPE LEGEND

CLEAR

CLEAR TOUGHENED

CLEAR TOUGHENED - TINT STANDARD

TINT - STANDARD

TINT - DARK

QSS - OBTUSE

QSS - OBTUSE TOUGHENED

LOW E - STANDARD

LOW E - TINT

LOW E - TOUGHENED

LOW E - TOUGHENED - TINT STANDARD

MATERIAL TYPE LEGEND

FACE BRICKWORK

FACE BRICKWORK

NATURE BRICKWORK

RENDERED BRICKWORK

AXON CLADDING

BAG IN PAINT BRICKWORK

EASYLAP PANEL

PAINTED FC SHEET

RENDERED FC SHEET

RENDERED 9mm FC SHEET

NOTE:

PATTERNS, SIZE AND SETOUTS ARE
INDICATIVE ONLY AND ARE NOT TO BE
USED FOR ANY OTHER PURPOSE

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CORAL HOMES.

PROPRIETOR
SIGNATURE

PROPRIETOR
SIGNATURE

BUILDERS SIGNATURE

CORAL
HOMES

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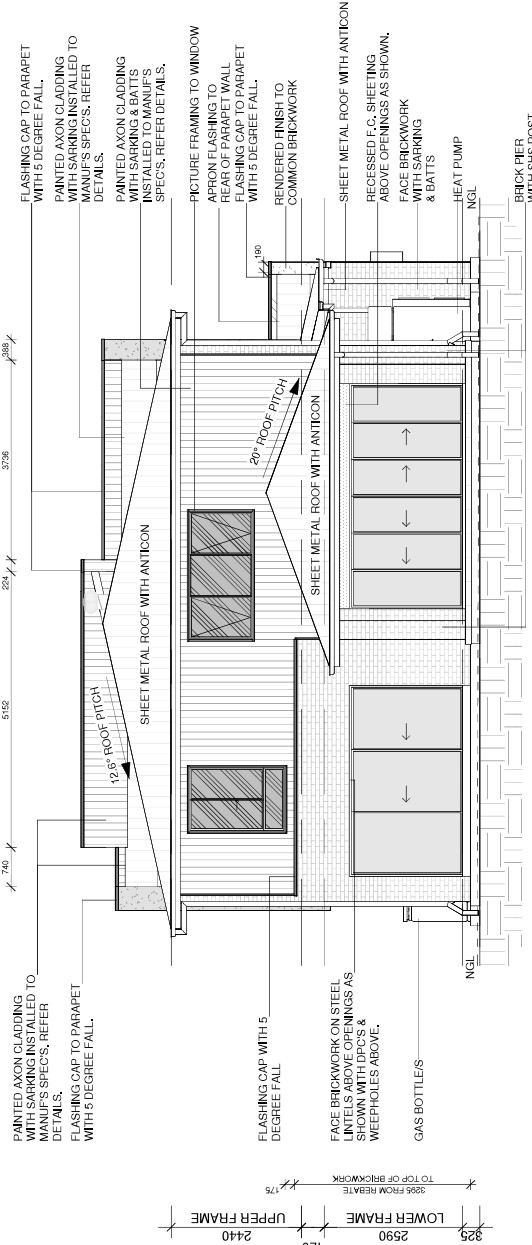
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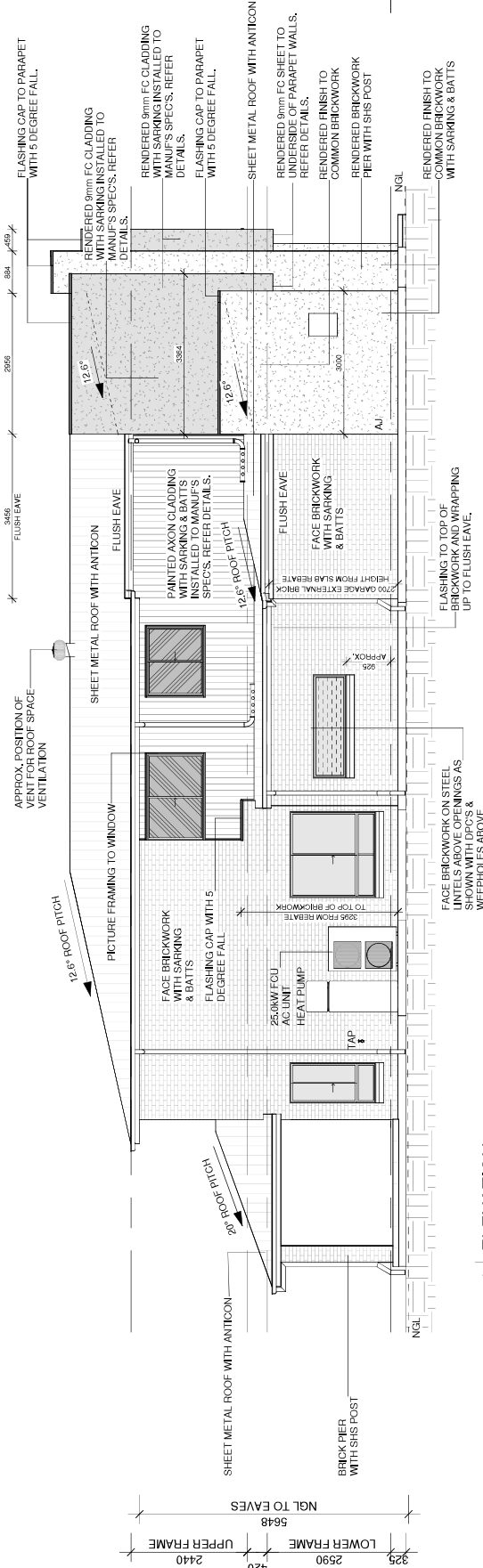
SCALE: 1 : 100

SHEET NUMBER: 08 of 20



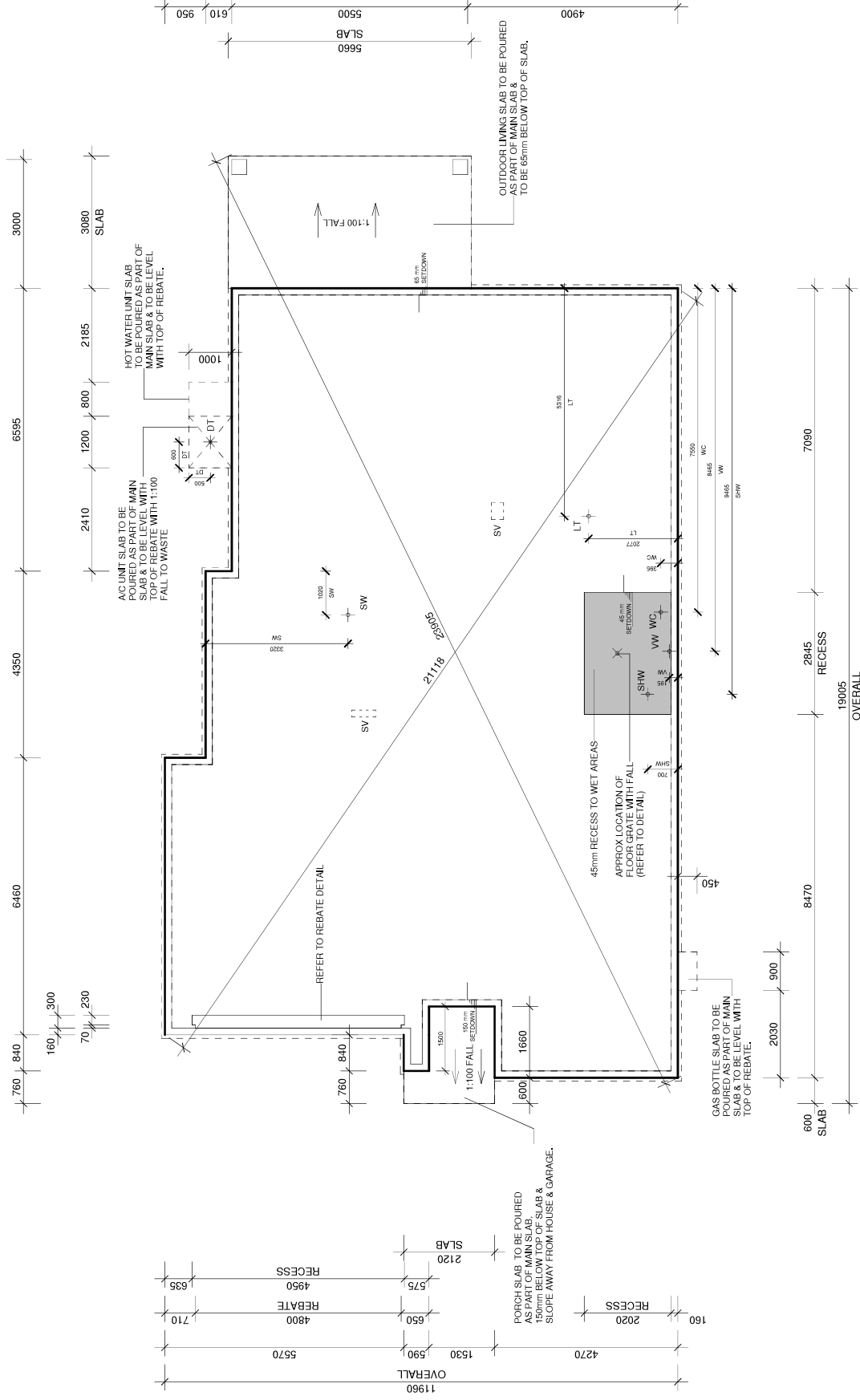
3 ELEVATION

NE



4 ELEVATION

NW



LEGEND

- WC • WC PIPE
SW • SINK WASTE
VN • VANITY WASTE
LT • DRY TUB
BW • BATH WASTE
SH • SHOWER WASTE
FW • FLOOR WASTE
DT • DISCONNECTOR TRAP
SV • SERVICE VOID WASTE
DE • DROP EDGE BEAM
BR • BLOCKWORK RETAINING
LB • LOAD BEARING WALLS

SLAB LAYOUT

- FOOTINGS & SLAB TO BE AS PER ENGINEERS
DESIGN AS INDICATED WITH THE SITE INVESTIGATION

NOTES:

- ALL DIMENSIONS ARE TO OUTSIDE BRICKWORK.
ALL DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.

NOTES:

- PLUMBING FIXTURE & POST/PIER FOOTING DIMENSIONS ARE TO CENTRE.
- DISCONNECT GULLIES ARE PROVIDED TO FLOORS OF ENSUITES, BATHROOMS & LAUNDRY WHEN REQUIRED TO ACT AS FIXTURE TRAP. THESE ARE TO BE POSITIONED ACCORDING TO AS3500, KEEPING CLEAR OF ALL STEPS & HOB'S.

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PROPOSAL

PROPRIETOR _____ PROPRIETOR _____
SIGNATURE _____ SIGNATURE _____

BUILDERS SIGNATURE

CORAL HOMES

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DATE:	14/07/2022
REF:	4332
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SHEET NUMBER: 09 of 20	