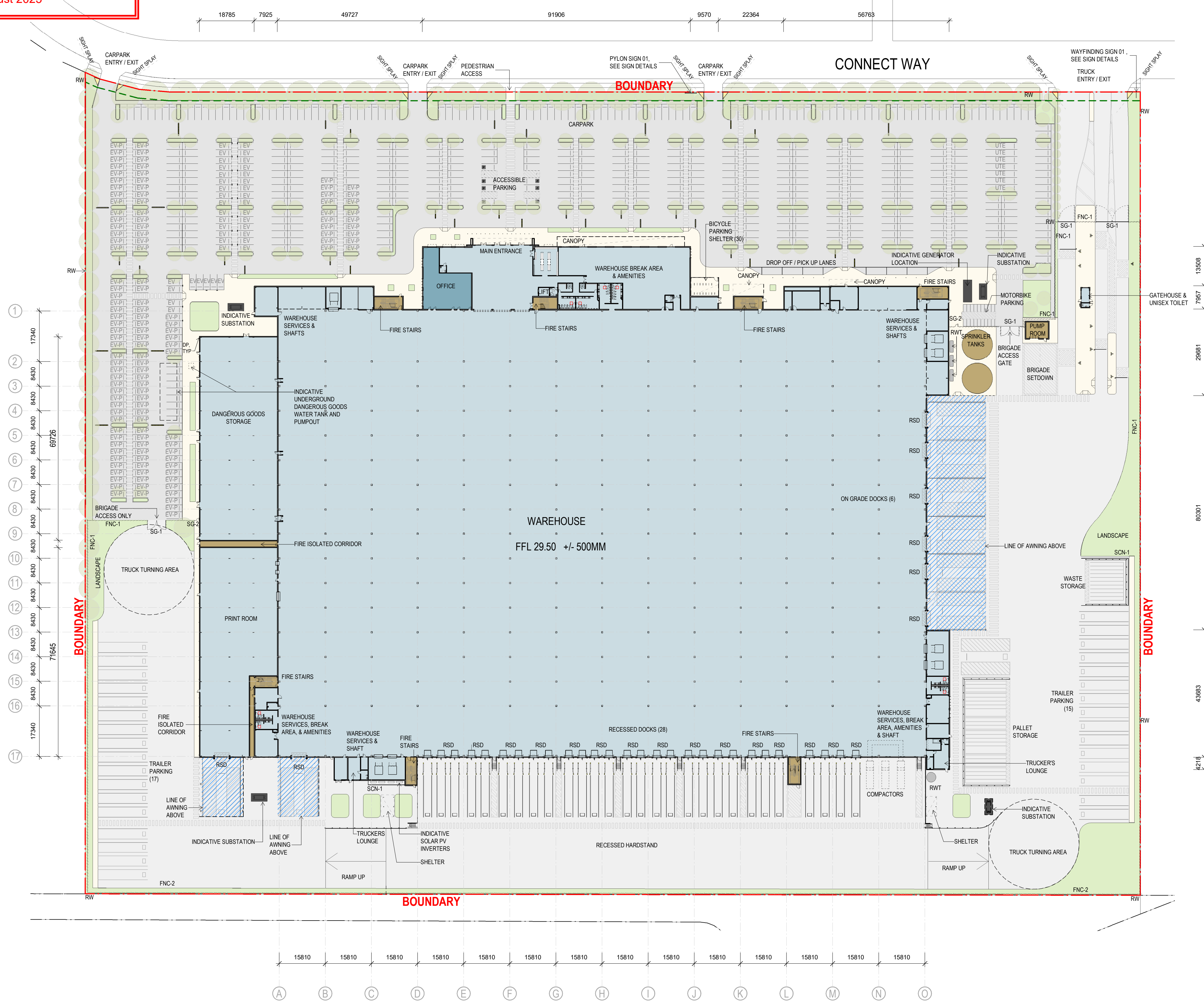


PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2025/1637
Date: 11 August 2025



GENERAL NOTES

ALL CAR DRIVE AISLES, PARKING SPACES, AND DISABLED PARKING SPACES IN ACCORDANCE WITH CITY OF LOGAN, LOGAN PLANNING SCHEME 2015 AND AUSTRALIAN STANDARDS AS 2890.

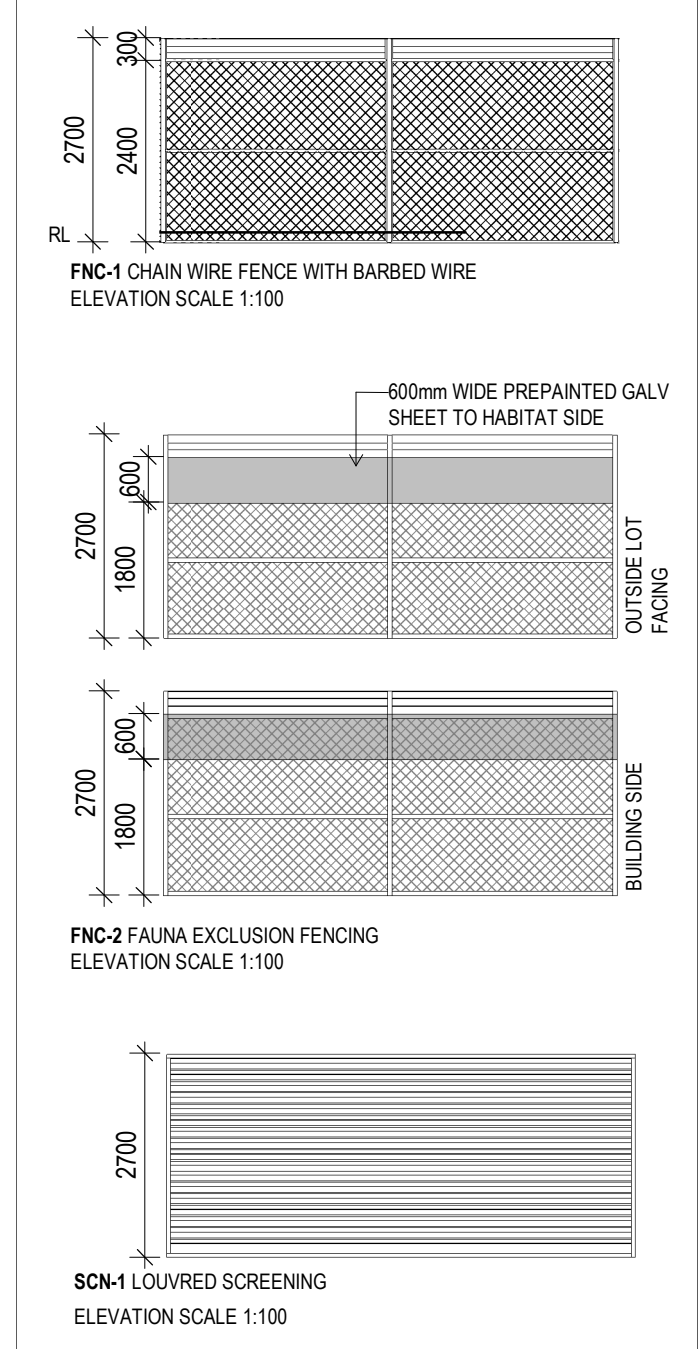
ALL NEW DRIVEWAYS AND CROSS OVERS SHALL BE IN ACCORDANCE WITH LOCAL COUNCIL AND AUSTRALIAN STANDARDS REQUIREMENTS .

SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL AUTHORITY & COUNCIL REQUIREMENTS.

BICYCLE PARKING AND END OF TRIP FACILITIES TO MEET QUEENSLAND DEVELOPMENT CODE AND AUSTRALIAN STANDARDS REQUIREMENTS

DEVELOPMENT SCHEDULE	
SITE AREA	99,592 m ²
TOTAL GFA	141,056 m ²
SITE COVERAGE	44.77%
LANDSCAPE AREA	
TOTAL CAR PARKING SPACES	
MOTORBIKE PARKING	
BICYCLE PARKING	
TRAILER PARKING	

- LEGEND**
- SITE BOUNDARY
 - LANDSCAPE SETBACK
 - FNC-1
 - FNC-2
 - LANDSCAPE AREA
 - OFFICE AREA
 - WAREHOUSE AREA
 - FIRE SERVICES & EGRESS
 - HEAVY DUTY PAVEMENT
 - LIGHT DUTY PAVEMENT
 - PEDESTRIAN PAVEMENT
 - AWNING ABOVE
 - INDICATIVE LANDSCAPE
- RSD - ROLLER SHUTTER DOOR
DP - DOWNPIPES
RW - RETAINING WALL
TYP - (TYPICAL)
SG1 - SWING GATE - PEDESTRIAN
SG2 - SWING GATE - PEDESTRIAN
SCN - SCREEN
RWT - RAINWATER TANK
EV - ELECTRIC VEHICLE PARKING
EV-P - ELECTRIC VEHICLE PARKING (FUTURE PROVISION)
UTE - UTILITY OR LONG WHEEL LIGHT VEHICLE



1 SITE PLAN 1:750

ISSUE FOR DA



REVISIONS		
REV	DESCRIPTION	DATE
1	WORK IN PROGRESS	30.04.2025
2	DRAFT	19.05.2025
3	DRAFT	23.05.2025
A	ISSUE FOR DA	28.05.2025



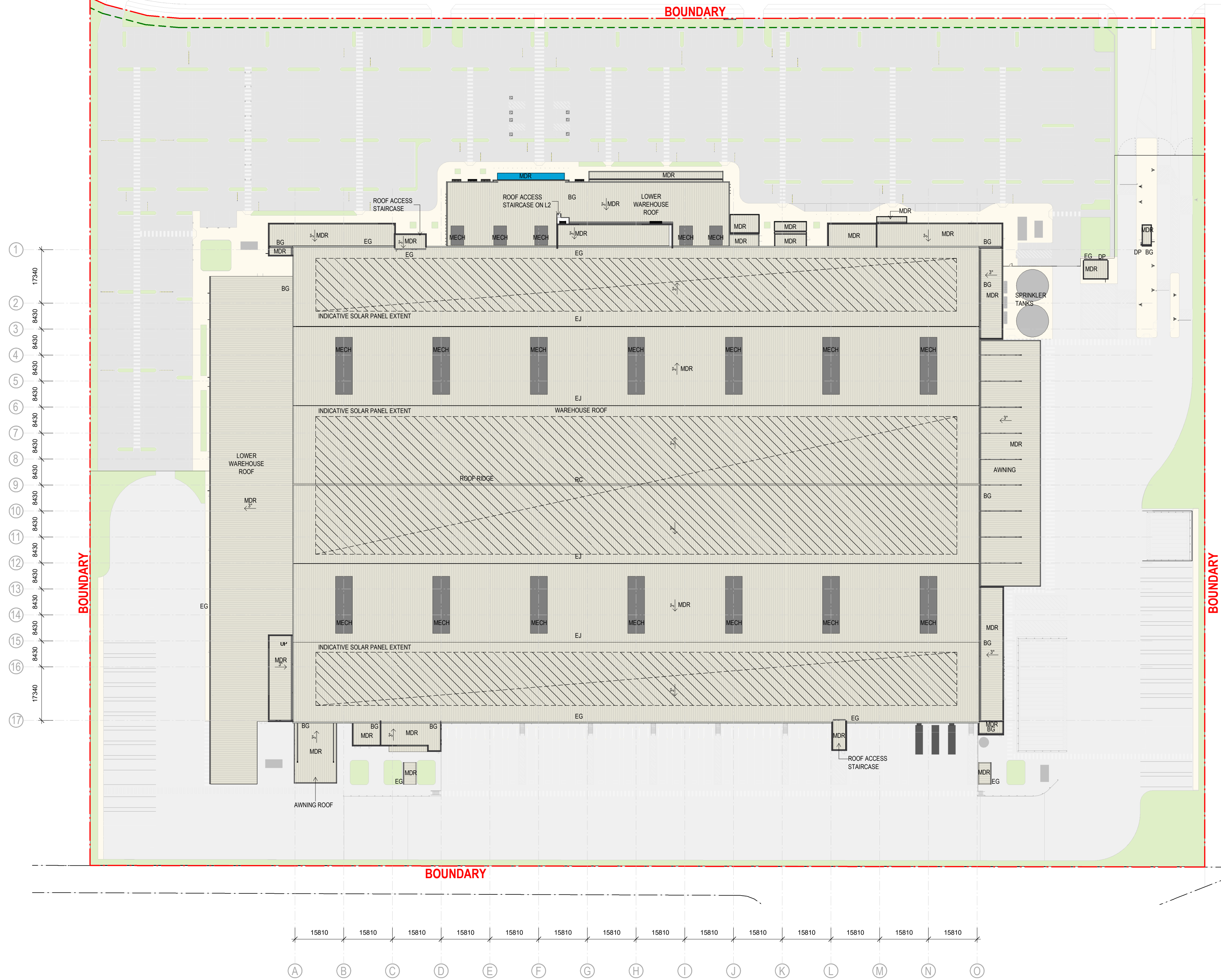
1 TYPICAL LEVEL 1-3 FLOOR PLAN 1:750

ISSUE FOR DA





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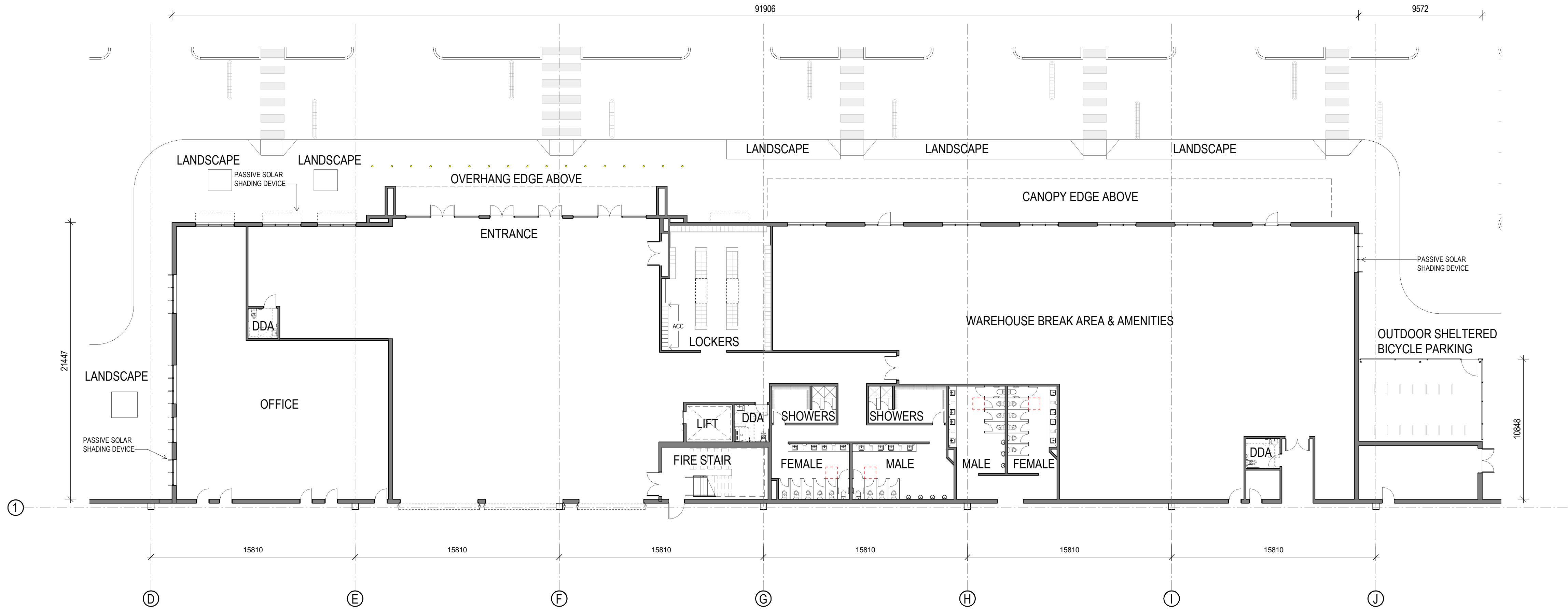
ROOF LEGEND	
MDR	METAL DECK ROOF
EG	EAVES GUTTER
EJ	EXPANSION JOINT
BG	BOX GUTTER
DP	DOWNPIPE
MECH	INDICATIVE MECHANICAL SERVICES
RC	RIDGE CAPPING
	INDICATIVE SOLAR PANEL EXTENT

1 ROOF PLAN 1 : 750





REVISIONS		
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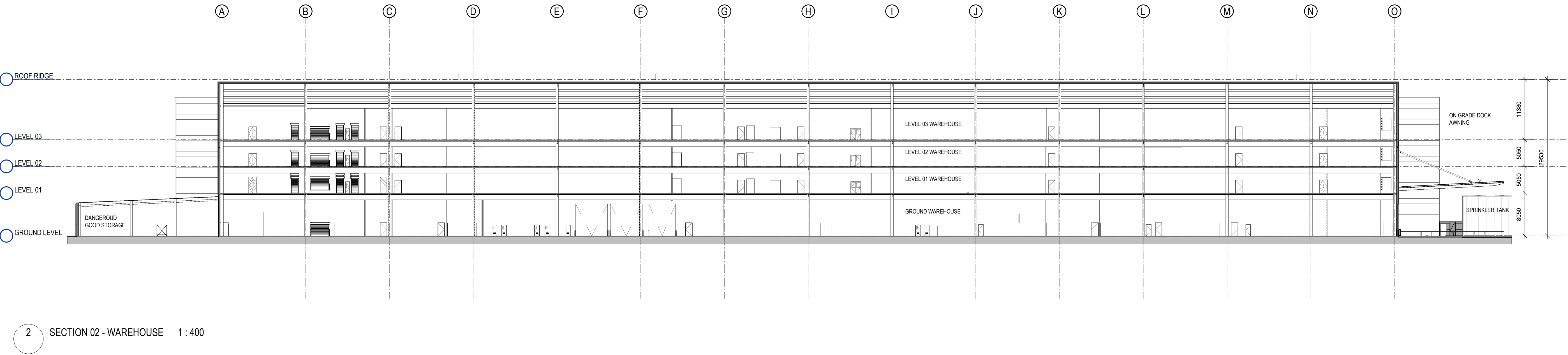
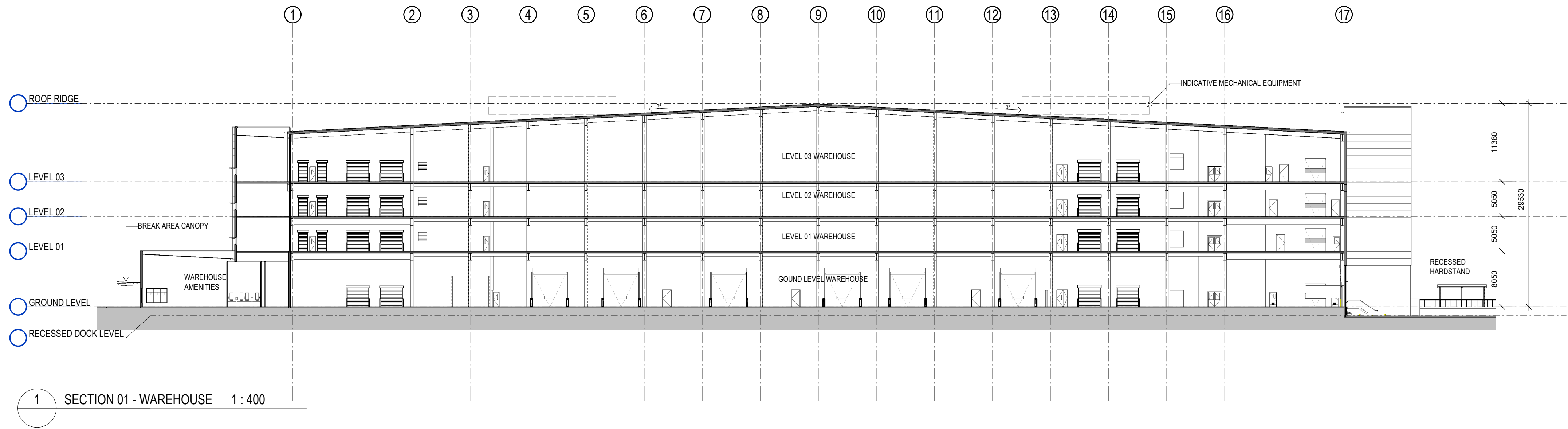


1 GROUND FLOOR PLAN - MAIN OFFICE 1 : 200



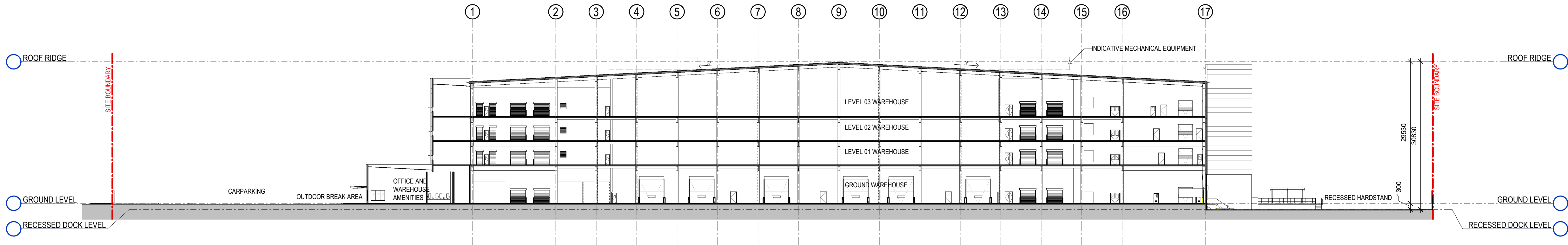


REVISIONS		
REV	DESCRIPTION	DATE
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3	DRAFT	23.05.2025
A	ISSUE FOR DA	28.05.2025

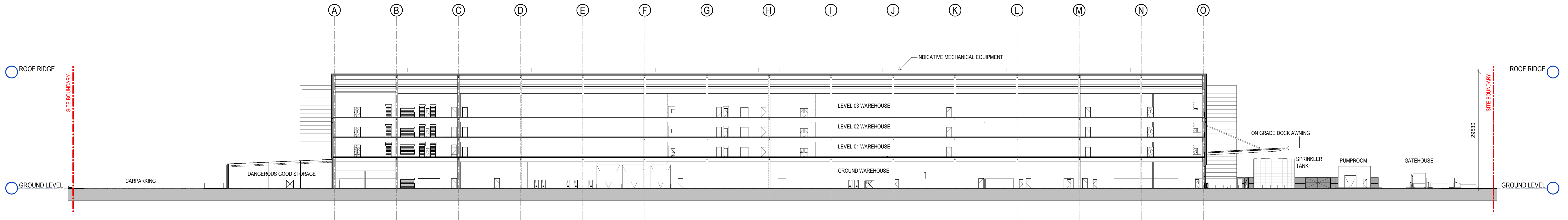




REVISIONS		
REV	DESCRIPTION	DATE
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2	DRAFT	19.05.2025
3	DRAFT	23.05.2025
A	ISSUE FOR DA	28.05.2025

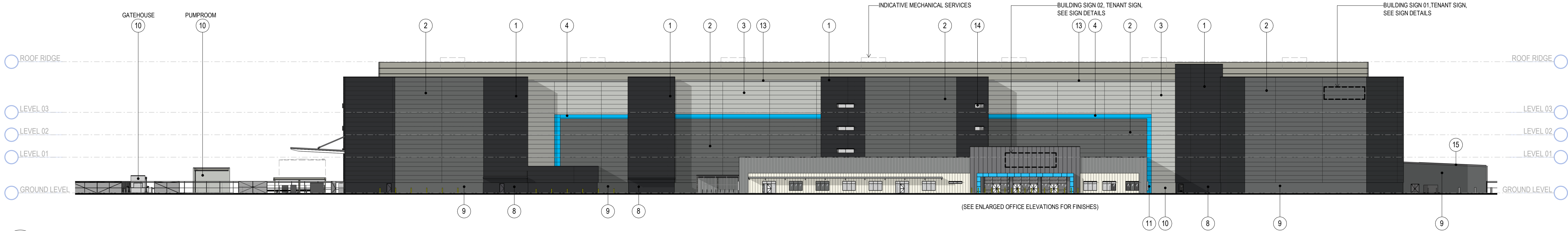


2 SECTION 01 - SITE 1 : 500

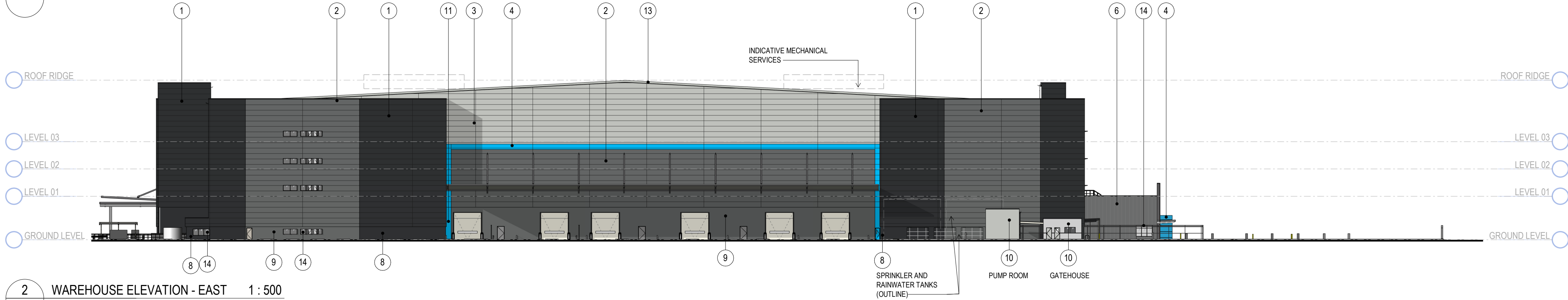


1 SECTION 02 - SITE 1 : 500

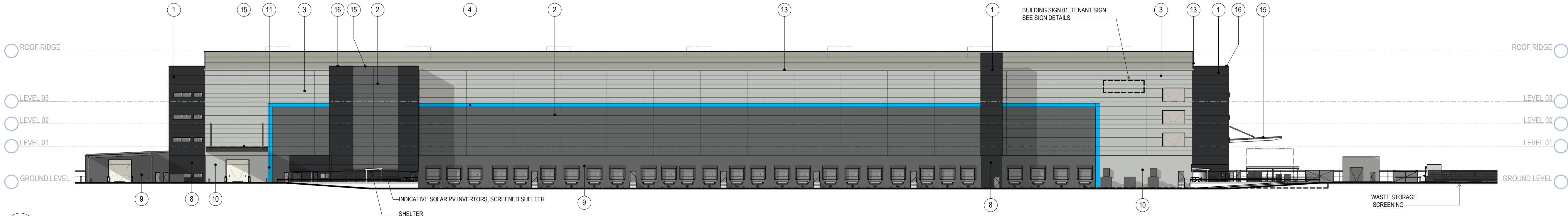
REVISIONS		
REV	DESCRIPTION	DATE
1	FOR INFORMATION	23.04.2025
2	WORK IN PROGRESS	30.04.2025
3	DRAFT	19.05.2025
4	DRAFT	23.05.2025
A	ISSUE FOR DA	28.05.2025



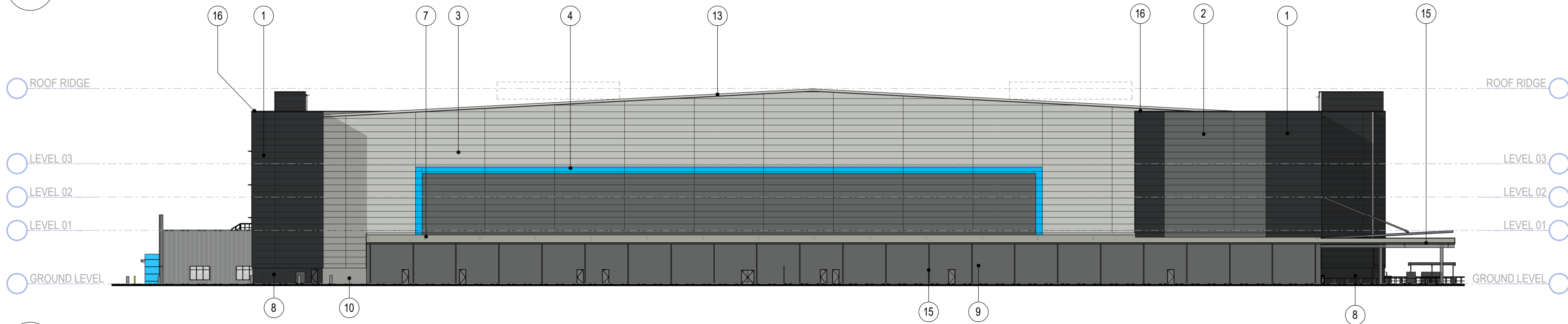
1 WAREHOUSE ELEVATION - NORTH 1 : 500



2 WAREHOUSE ELEVATION - EAST 1 : 500



3 WAREHOUSE ELEVATION - SOUTH 1 : 500



4 WAREHOUSE ELEVATION - WEST 1 : 500

INDICATIVE EXTERNAL FINISHES FINISHES SUBJECT TO AUTHORITY AND CLIENT APPROVAL			
1. KINGSPAN 'VALE' SERIES EXTERIOR FACE RIBBED PANEL OR EQUIVALENT - MONUMENT FINISH	6. KINGSPAN 'VALE' SERIES EXTERIOR FACE RIBBED PANEL OR EQUIVALENT - WINDSPRAY FINISH	11. CONCRETE WALL - PAINT FINISH - BLUE	16. METAL FASCIA - COLORBOND - MONUMENT
2. KINGSPAN 'VALE' SERIES EXTERIOR FACE RIBBED PANEL OR EQUIVALENT - BASALT FINISH	7. METAL ROOF - SURFMIST	12. METAL FASCIA - COLORBOND - WINDSPRAY	
3. KINGSPAN 'VALE' SERIES EXTERIOR FACE RIBBED PANEL OR EQUIVALENT - SHALE GREY FINISH	8. CONCRETE WALL - PAINT FINISH - MONUMENT	13. FASCIA / GUTTERS - COLORBOND - SHALE GREY	
4. KINGSPAN 'VALE' SERIES EXTERIOR FACE RIBBED PANEL OR EQUIVALENT - BLUE	9. CONCRETE WALL - PAINT FINISH - BASALT	14. GLAZING - WINDOW - DOUBLE GLAZED GREY TINT	
5. KINGSPAN 'VALE' SERIES EXTERIOR FACE RIBBED PANEL OR EQUIVALENT - SURFMIST FINISH	10. CONCRETE WALL - PAINT FINISH - SHALE GREY	15. METAL FASCIA / DOWNPIPES/GUTTER - COLORBOND - BASALT	

PLANS AND DOCUMENTS
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ISSUE FOR DA



WAREHOUSE & LOW IMPACT INDUSTRY DEVELOPMENT
QUEENSLAND

ELEVATIONS - WAREHOUSE

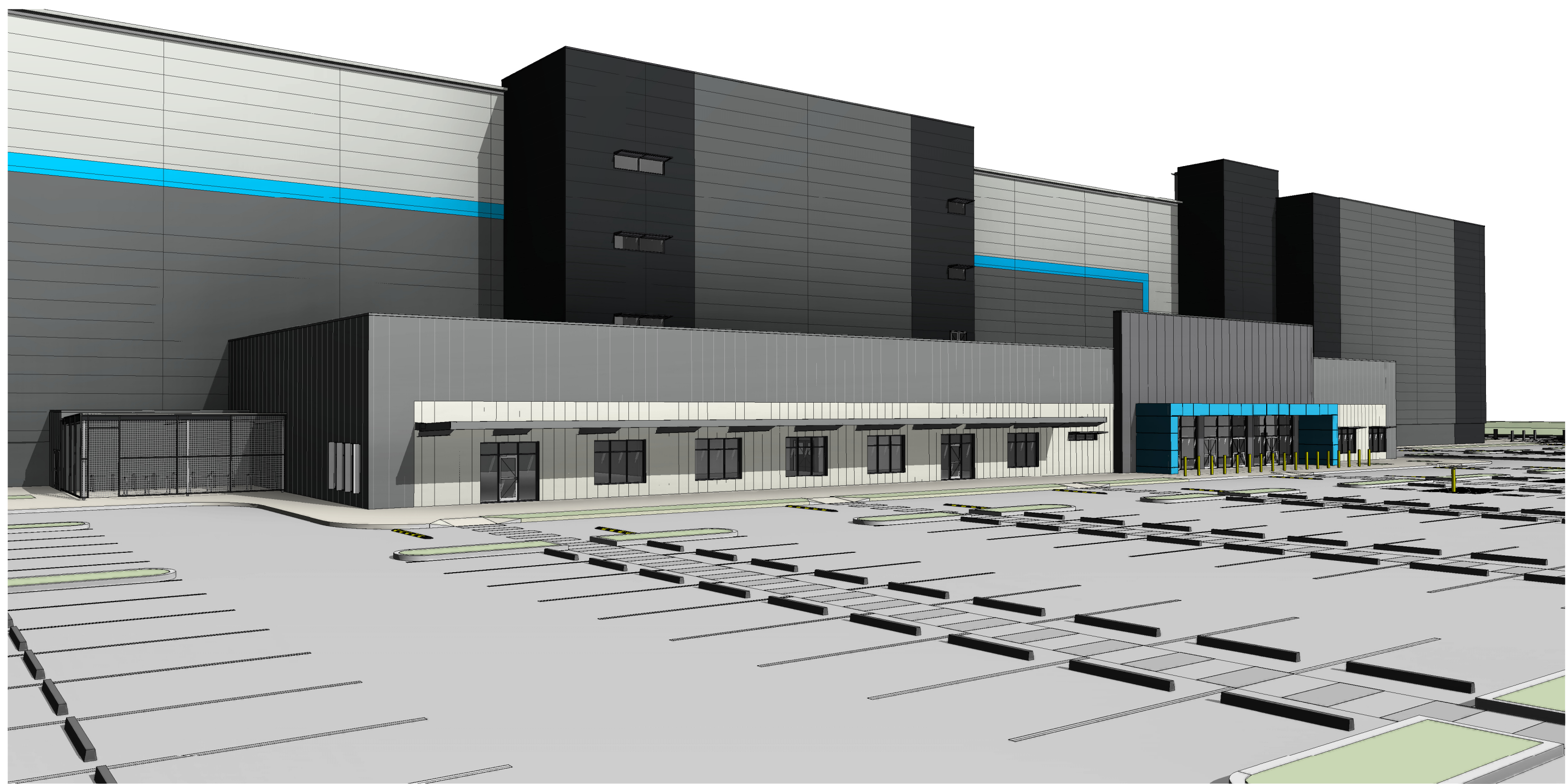
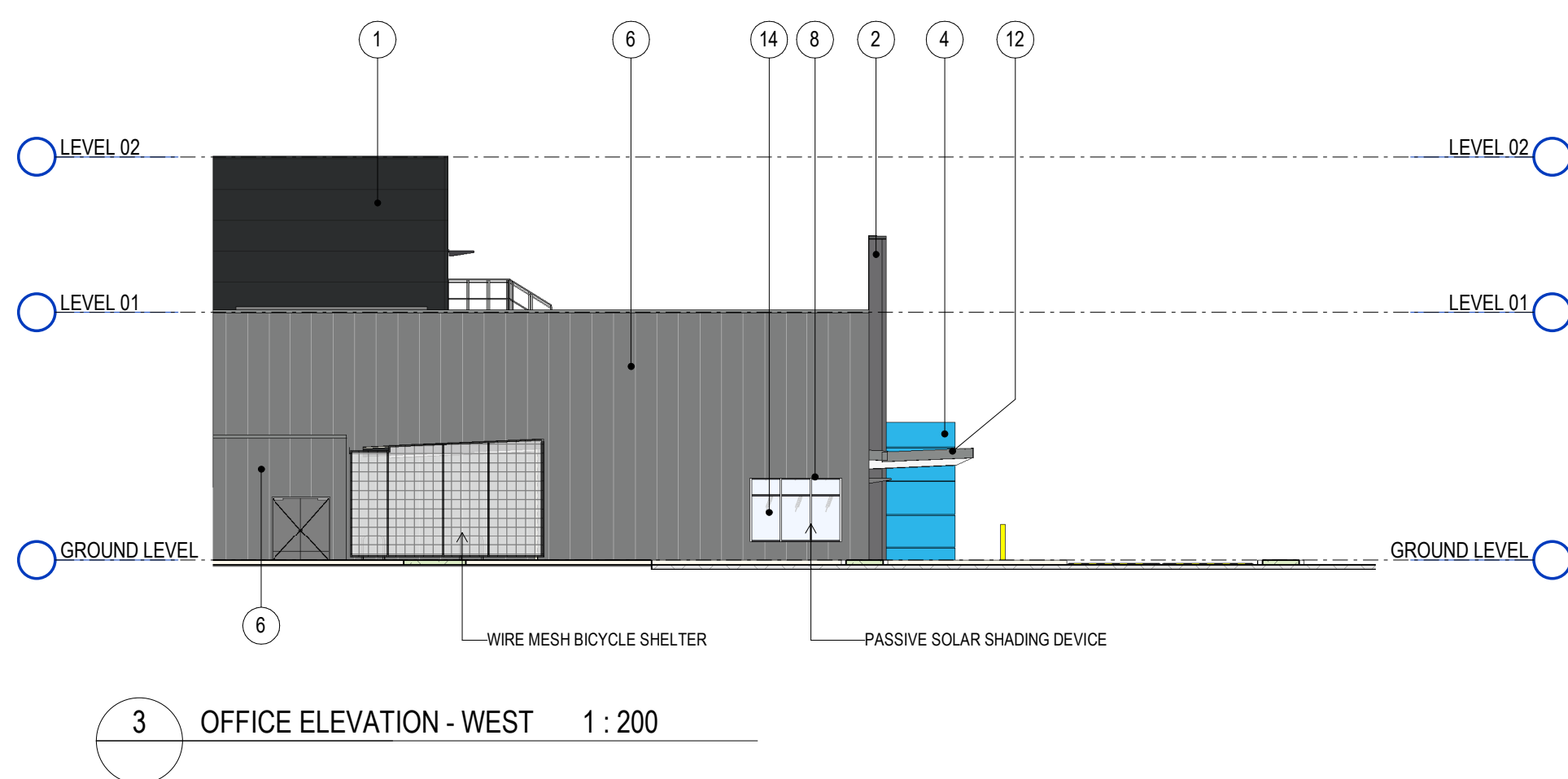
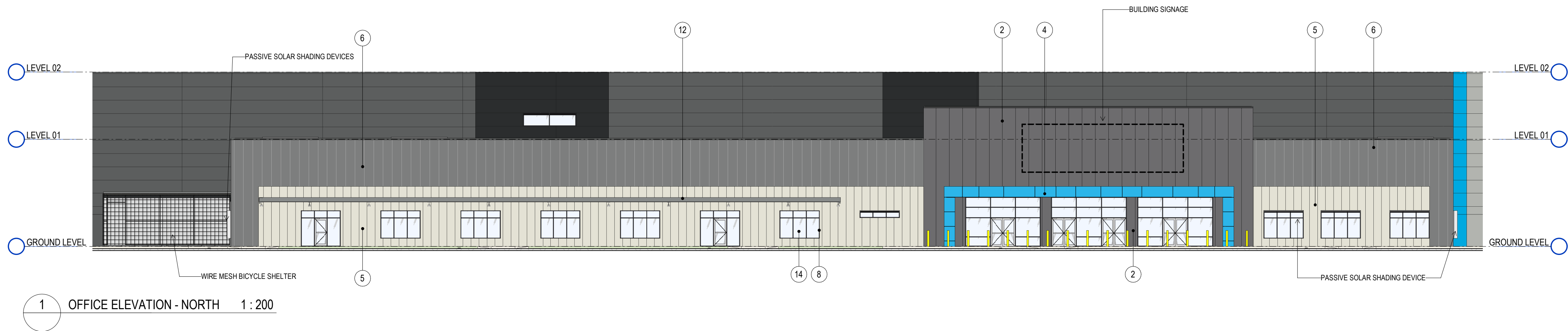
Date 28.05.2025

Scale As indicated@A1

Project No 25133

DA09

A



INDICATIVE EXTERNAL FINISHES FINISHES SUBJECT TO AUTHORITY AND CLIENT APPROVAL

1. KINGSPAN 'VALE' SERIES EXTERIOR FACE RIBBED PANEL OR EQUIVALENT - MONUMENT FINISH	6. KINGSPAN 'VALE' SERIES EXTERIOR FACE RIBBED PANEL OR EQUIVALENT - WINDSPRAY FINISH	11. CONCRETE WALL - PAINT FINISH - BLUE	16. METAL FASCIA - COLORBOND - MONUMENT
2. KINGSPAN 'VALE' SERIES EXTERIOR FACE RIBBED PANEL OR EQUIVALENT - BASALT FINISH	7. METAL ROOF - SURFMIST	12. METAL FASCIA - COLORBOND - WINDSPRAY	
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4. KINGSPAN 'VALE' SERIES EXTERIOR FACE RIBBED PANEL OR EQUIVALENT - BLUE	9. CONCRETE WALL - PAINT FINISH - BASALT	14. GLAZING - WINDOW - DOUBLE GLAZED GREY TINT	
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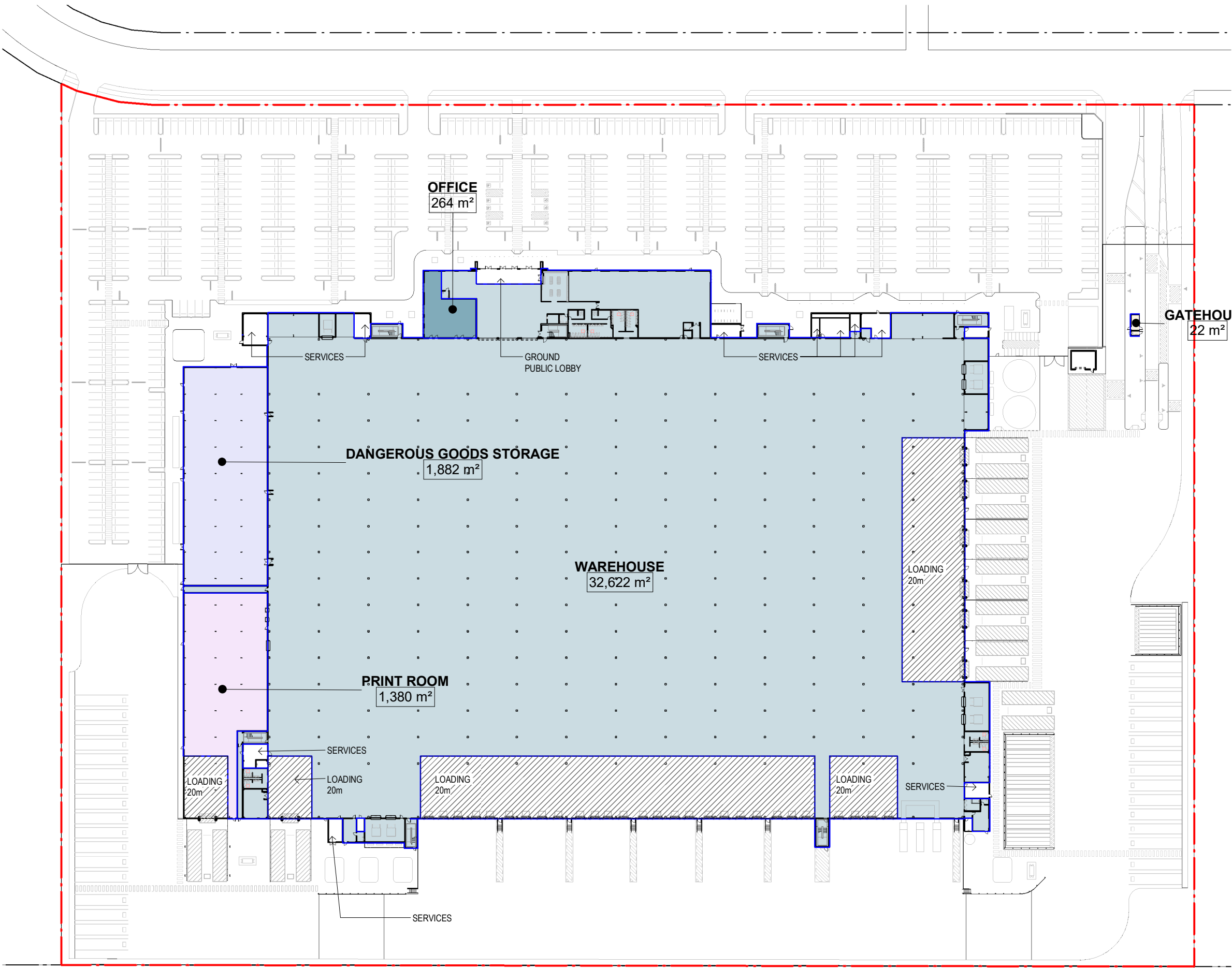
Administrative Definition - Greater Flagstone Urban Development Area Development Scheme (Amendment no.1, 28 February 2025)

Definition of Gross Floor Area:

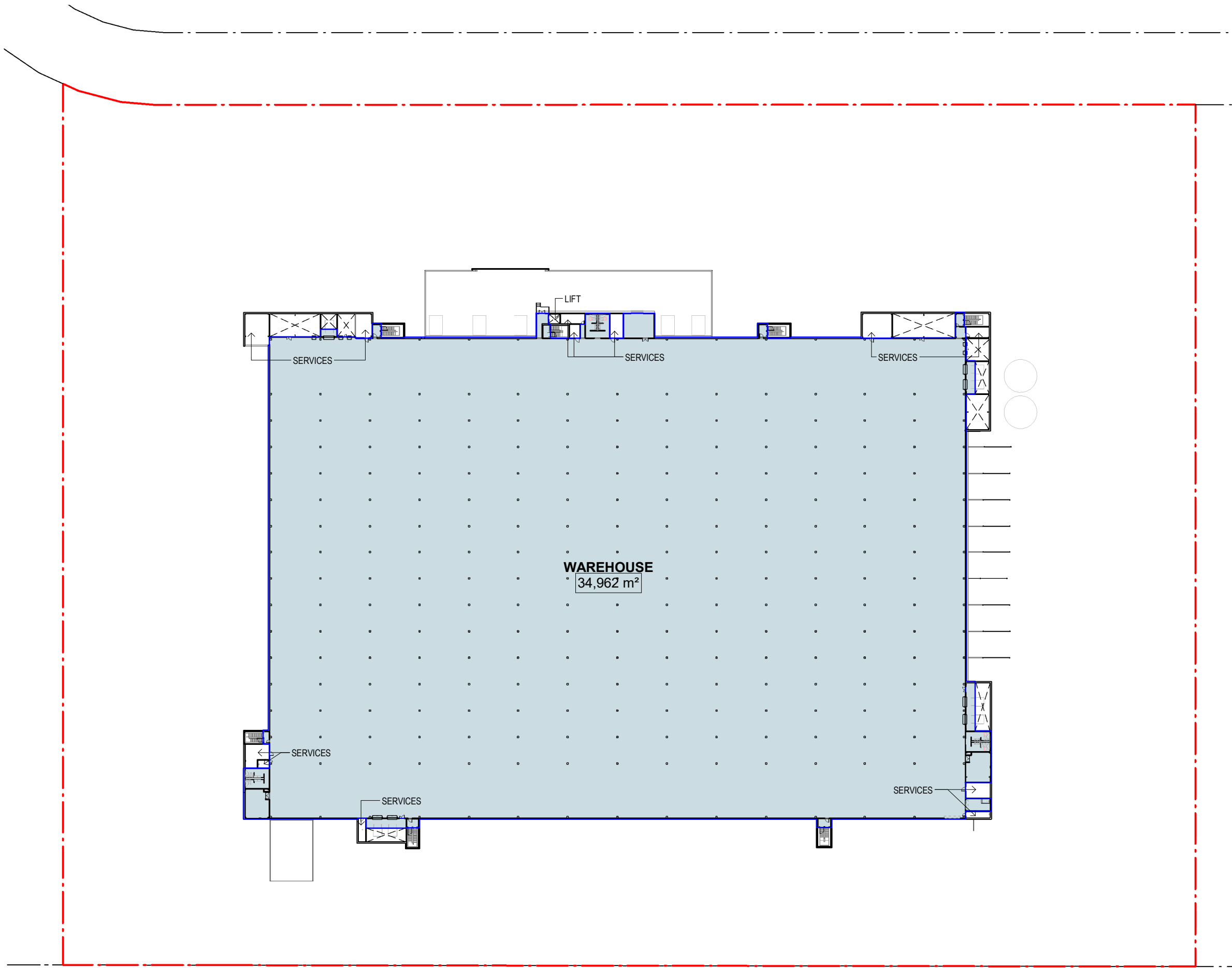
Gross floor area (GFA) is the total floor area of all storeys of a building, including mezzanines, measured from the outside of external walls or the centre of a common wall, excluding area used for:

- building services
- ground floor public lobby
- a public mall in a shopping complex
- the parking, loading and manoeuvring of motor vehicles
- private balconies whether roofed or not.

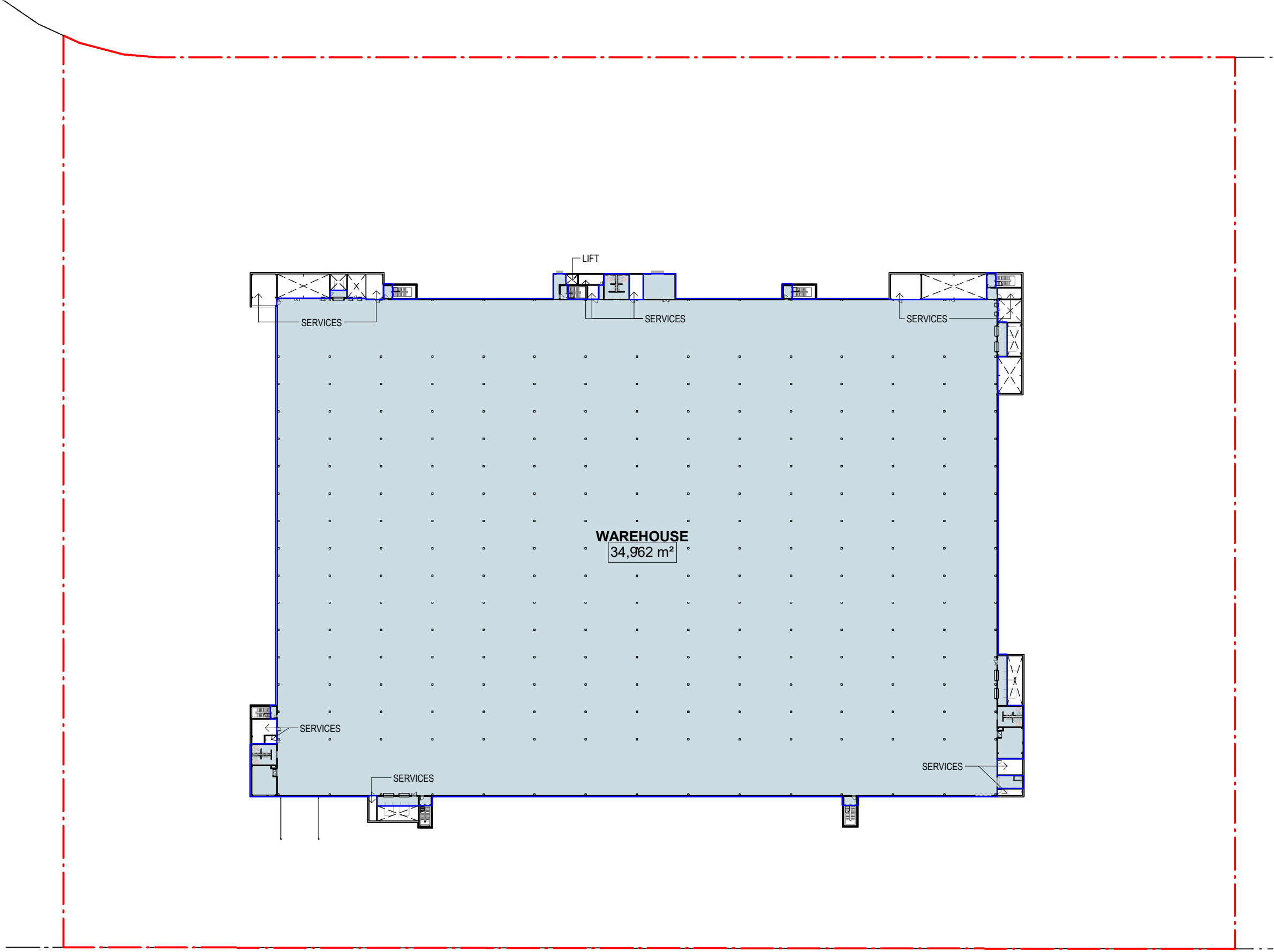
GFA AREA	
NAME	AREA
GROUND LEVEL	
DANGEROUS GOODS STORAGE	1,882 m²
GATEHOUSE	22 m²
OFFICE	264 m²
PRINT ROOM	1,380 m²
WAREHOUSE	32,622 m²
LEVEL 01	
WAREHOUSE	34,962 m²
LEVEL 02	
WAREHOUSE	34,962 m²
LEVEL 03	
WAREHOUSE	34,962 m²
GRAND TOTAL	141,056 m²



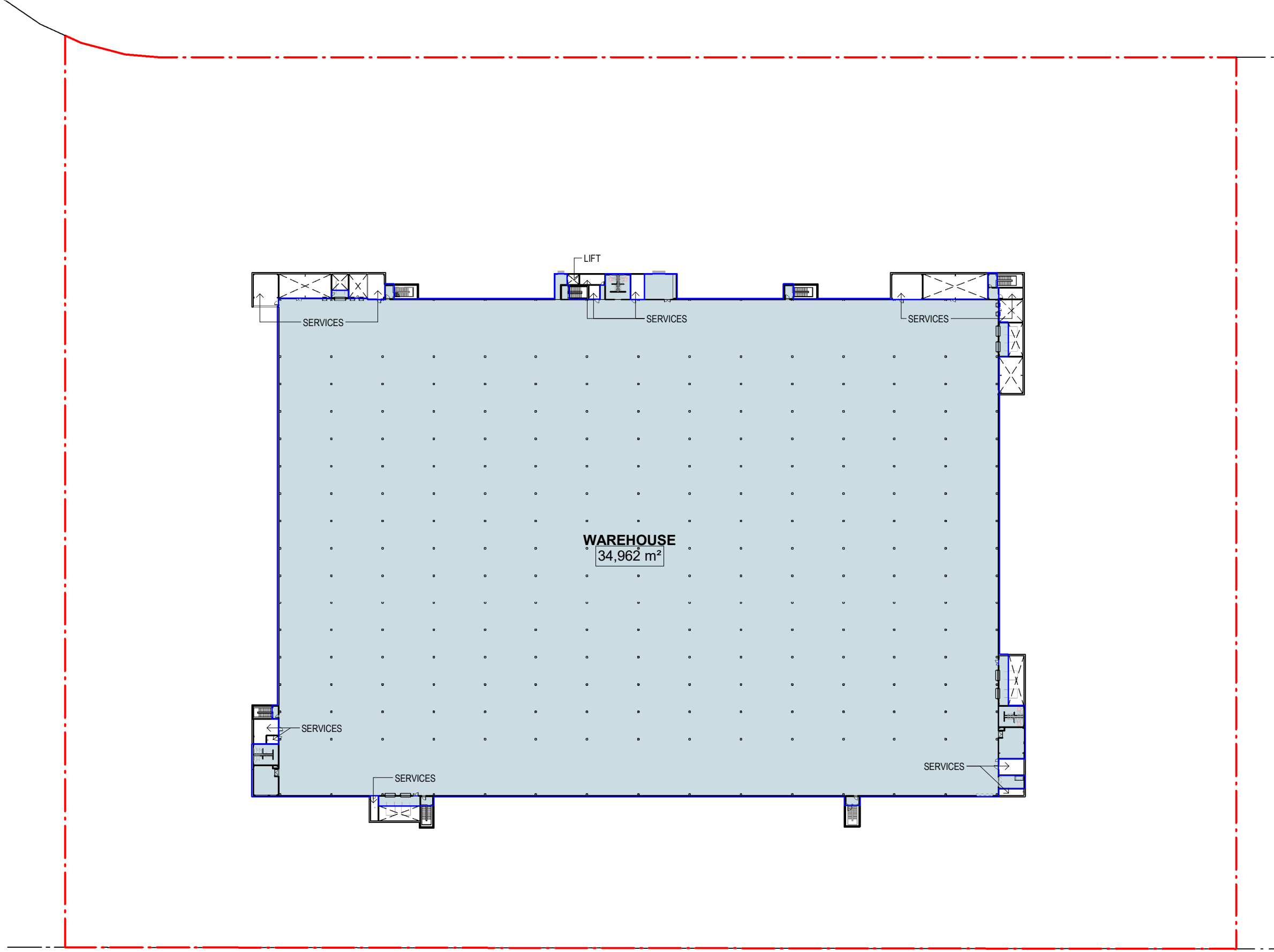
1 GROUND LEVEL - GFA 1 : 1250



3 LEVEL 01 - GFA 1 : 1250



4 LEVEL 02 - GFA 1 : 1250

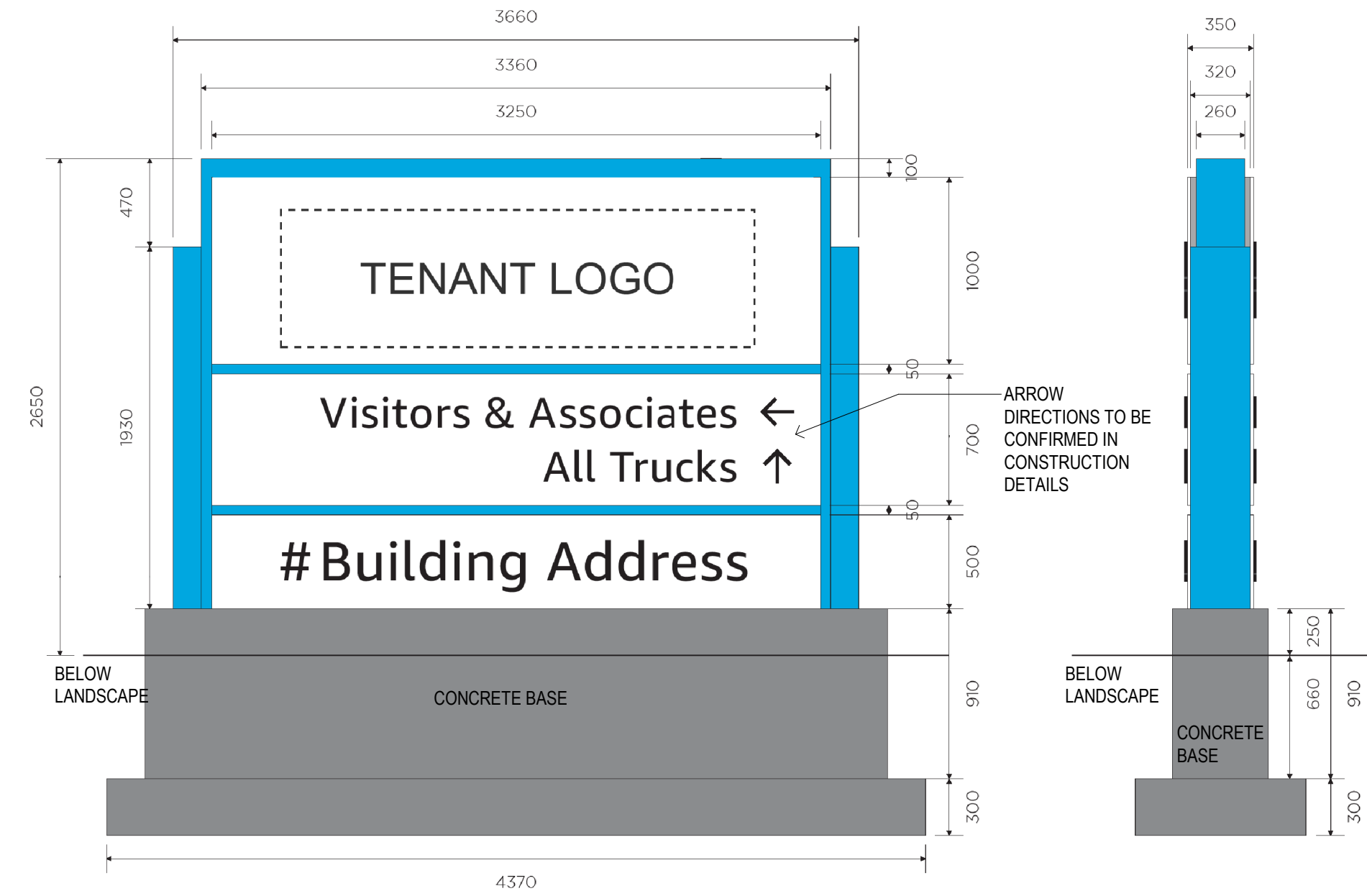


5 LEVEL 03 - GFA 1 : 1250

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

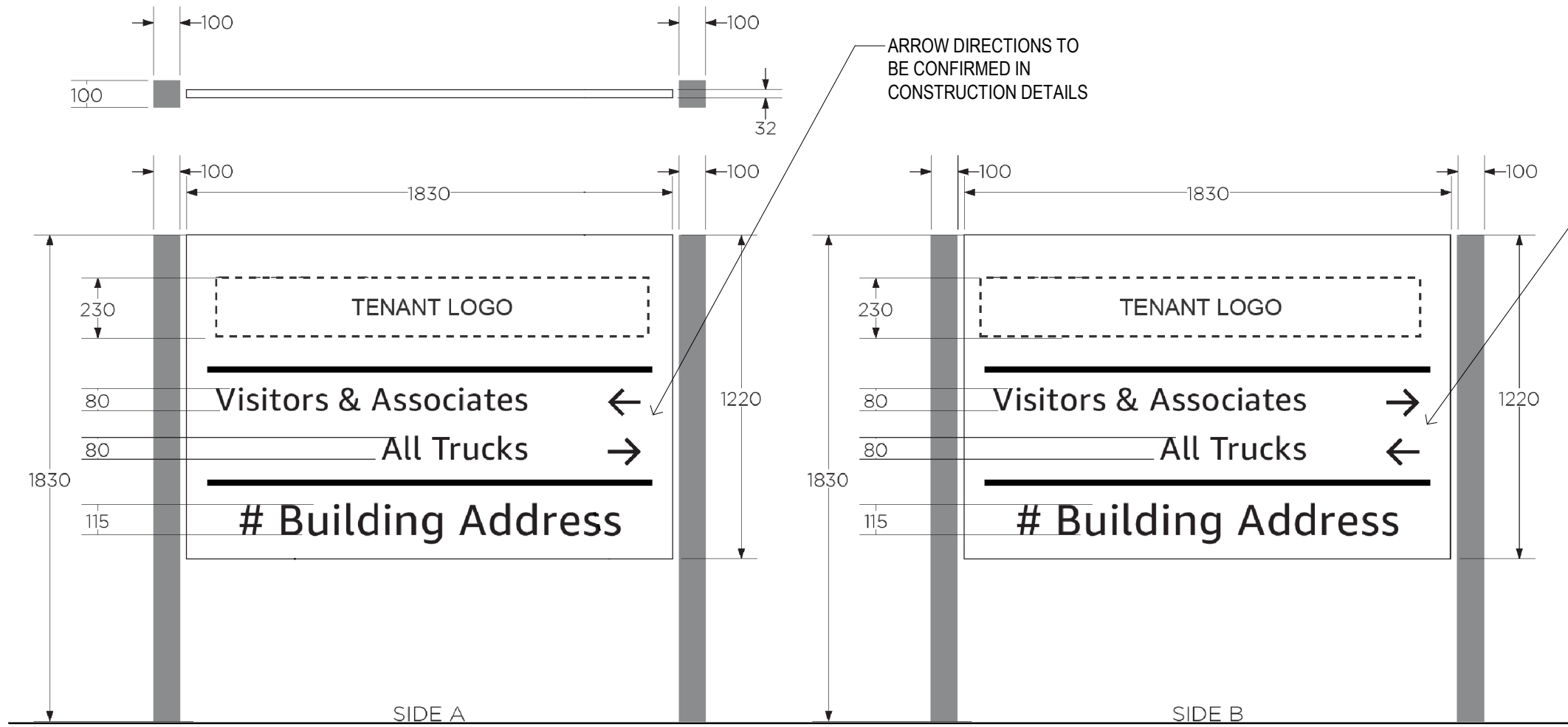
Approval no: DEV2025/1637
Date: 11 August 2025





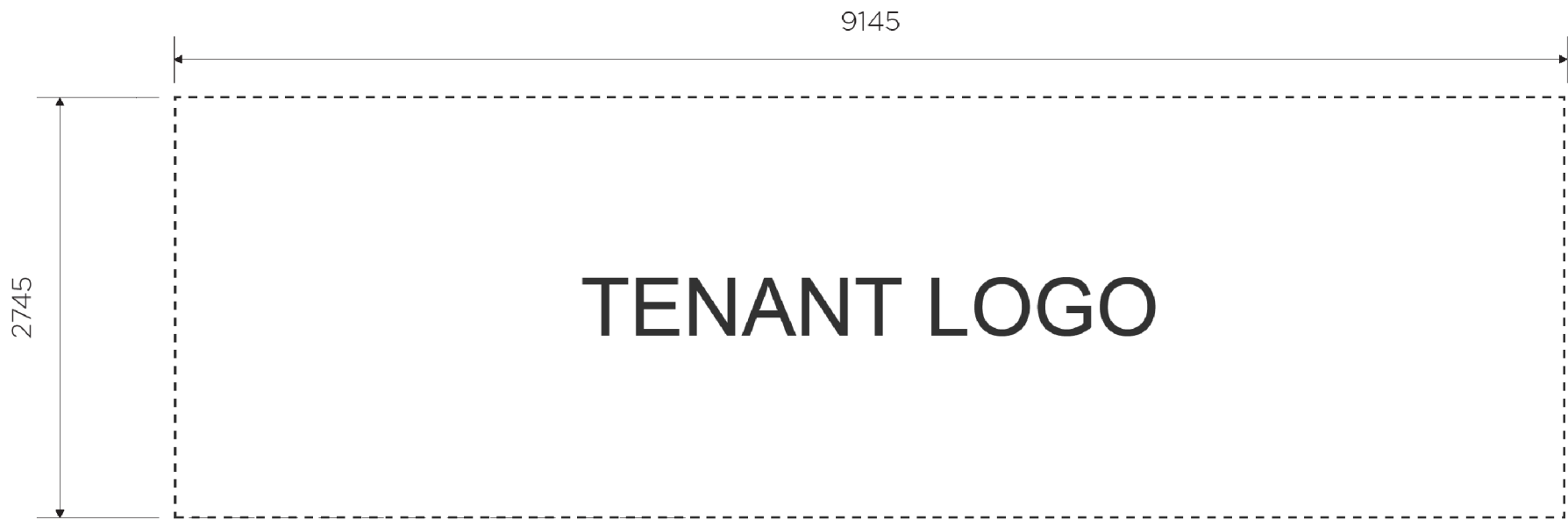
PYLON SIGN 01
ILLUMINATED SIGN

- MATERIALS**
- FABRICATED 2MM ALUMINIUM TOP CAP & SIDE TRIMS PAINTED AS SHOWN
 - FABRICATED ALUMINIUM COVER PANELS WITH 15MM OPAL ACRYLIC FACES AND 3MM OPAL ACRYLIC BACKING
 - INTERNALLY ILLUMINATED WITH LEDS
 - INTERNAL ALUMINIUM FREESTANDING FRAME STRUCTURE
- FINISH & COLOUR/S**
- BLACK AND BLUE ON WHITE

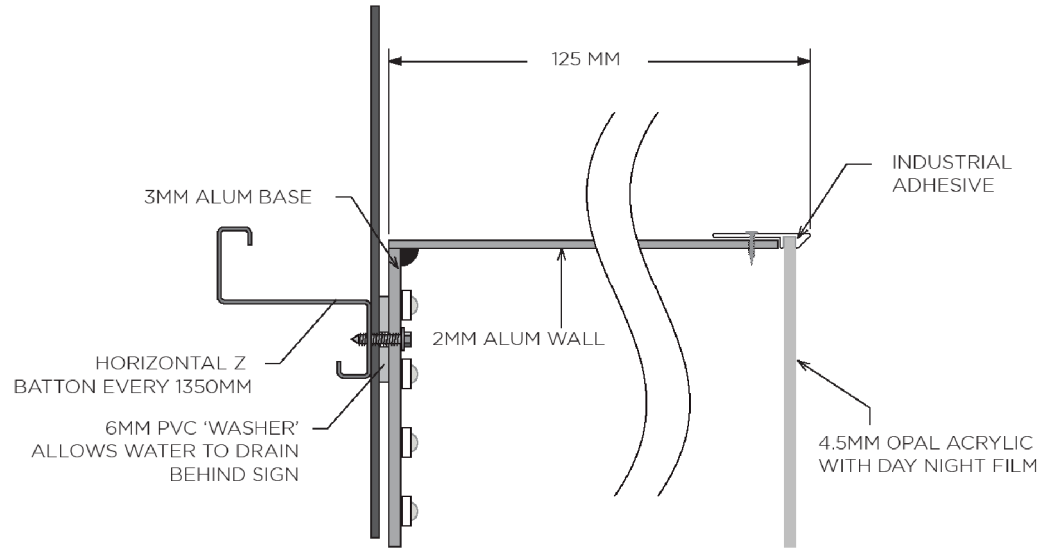


WAYFINDING SIGN 01
NON ILLUMINATED SIGN

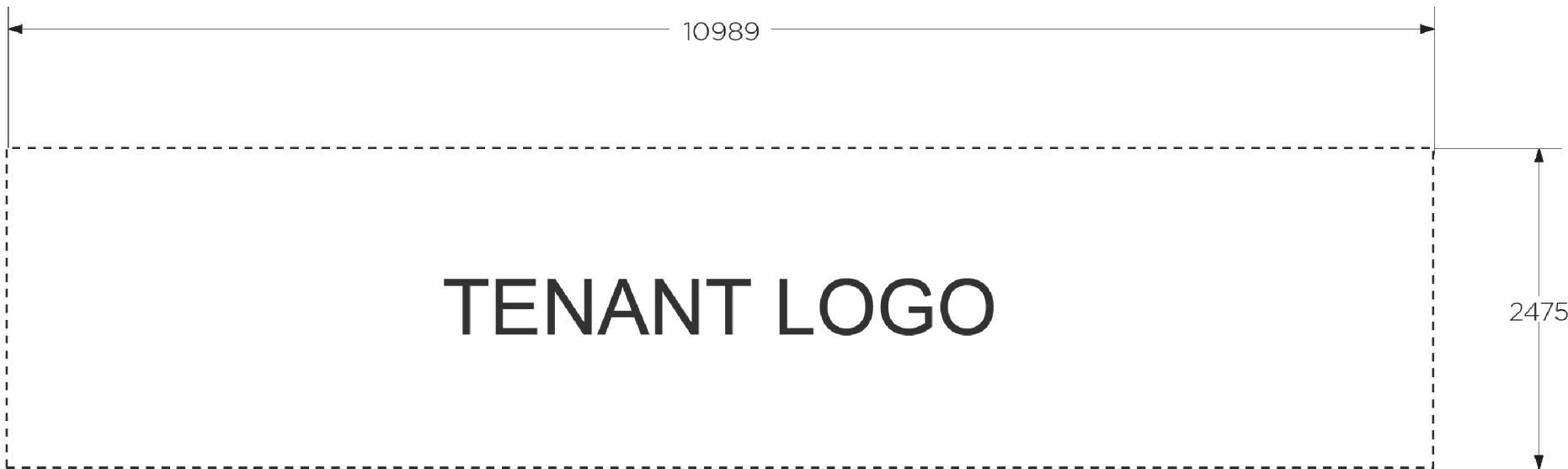
- MATERIALS**
- 3MM ALUMINIUM CLAD AROUND BOTH SIDES OF AN INTERNAL FRAME FROM 25 X 25 X 2MM SHS. FRAME AND PANELS TO BOTH HAVE A GLOSS WHITE PAINT FINISH.
 - SIGNAGE PANELS TO MOUNT ONTO TWIN LEGS FROM 100 X 100 X 3MM RADIUS EDGE (SQUARE HOLLOW SECTION)
 - LEGS TO HAVE A PAINT FINISH THAT MATCHES THE BUILDING COLOUR
- FINISH & COLOUR/S**
- TENANT LOGO ON 12MM ACRYLIC
 - TEXT & LINES ARE BLACK REFLECTIVE VINYL



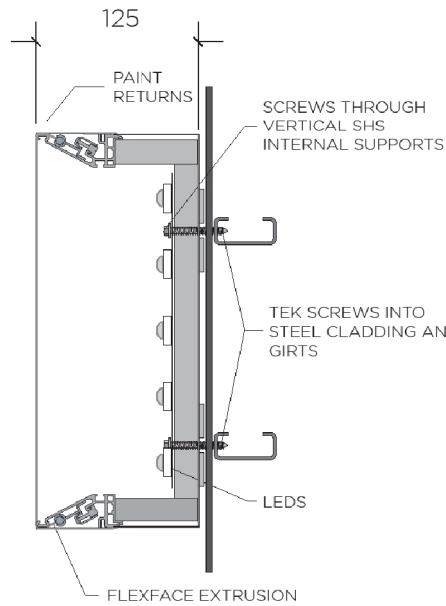
BUILDING SIGN 01
ILLUMINATED FACE-LIT SIGN



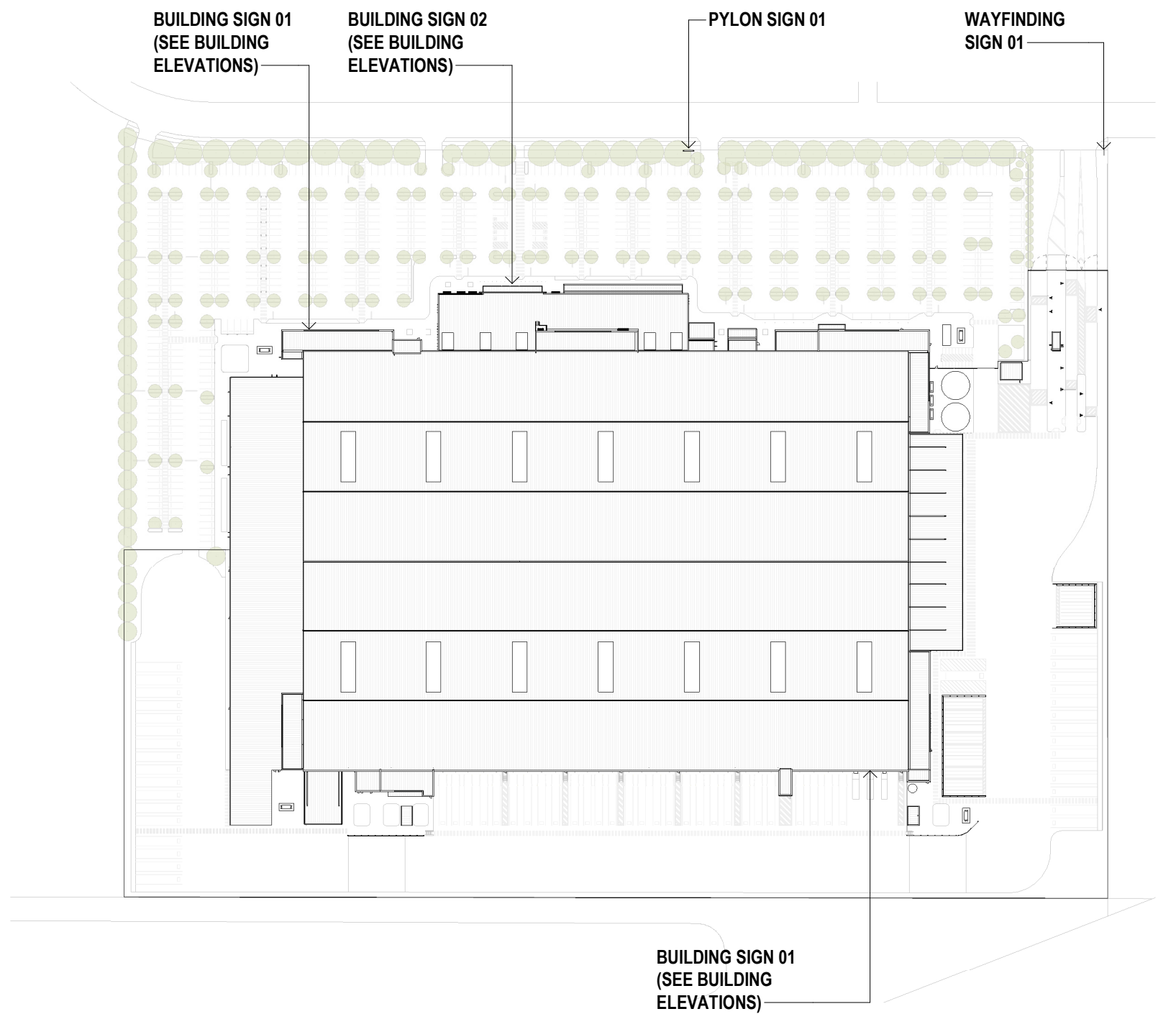
- MATERIALS**
- 3MM ALUMINIUM BACKING
 - 2MM ALUMINIUM WALL
 - ALUMINIUM PROFILE COVER TRIM
- FINISH & COLOUR/S**
- TENANT LOGO



BUILDING SIGN 02
ILLUMINATED SIGN



- MATERIALS**
- 2MM ALUMINIUM BACKING
 - 32X2MM ALUMINIUM SHS TO EDGE WITH SUPPORTS
 - FLEXFACE EXTRUSION TO PERIMETER AS PER DETAIL
- FINISH & COLOUR/S**
- TENANT LOGO



SIGNAGE KEY PLAN

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2025/1637

Date: 11 August 2025



ISSUE FOR DA

Design Proposal

Building Materials

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Queensland
Government

Approval no: DEV2025/1637
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A standardised palette of colours and finishes repeated throughout the facade creates a cohesive architectural identity.

- 01 Insulated Metal Panel - Monument Finish

02 Insulated Metal Panel - Basalt Finish

03 Insulated Metal Panel - Shale Grey Finish

04 Insulated Metal Panel - Custom Blue Finish

05 Metal Roof Cladding - Surfmist Finish

06 Insulated Metal Panel - Windspray

07 Insulated Metal Panel - Surfmist

08 Concrete Wall Paint Finish - Basalt

09 Concrete Wall Paint Finish - Shale Grey

10 Curtain Wall Shopfront and Windows

11 Concrete paint to match adjacent metal Panel Facade Colours (i.e. Monument, Basalt, Shale Grey)

Refer to DA Architectural drawings for corresponding material finishes and locations