

PROPOSED MULTI-LEVEL WAREHOUSE DEVELOPMENT

Proposed Development of Estate Lot 14, Flagstone Logistics Estate, Qld 4280

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2025/1637

Date: 11 August 2025



LANDSCAPE CONCEPT REPORT

Prepared for CH Hydrangea Pty Ltd

DATE: 02/06/2025

ISSUE G

DA SUBMISSION



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PROJECT SUMMARY

This Landscape Concept Report has been prepared on behalf of CH Hydrangea Pty Ltd (Applicant) in support of a development application over part of the land at 4499-4651 Mount Lindesay Highway, North Maclean QLD 4280 and described as part of Lot 39 on SP338781 (site). This PDA Development Application seeks approval for a Development Permit for a Material Change of Use for a Warehouse (Distribution Centre) and Low impact industry.

The proposed development will function as distribution centre for the tenant, for the receival, warehousing, storing and distribution of products, and will include a facility that enables material to be printed for distribution, and limited storage of dangerous goods. The proposed development will operate 24 hours a day, 7 days a week and will be located within Stage 2 of the overarching PDA Development Approval for the Flagstone Logistics Estate (EDQ Reference: DEV2018/961/18).

DESIGN PRECEDENT IMAGES

FRONT SETBACK



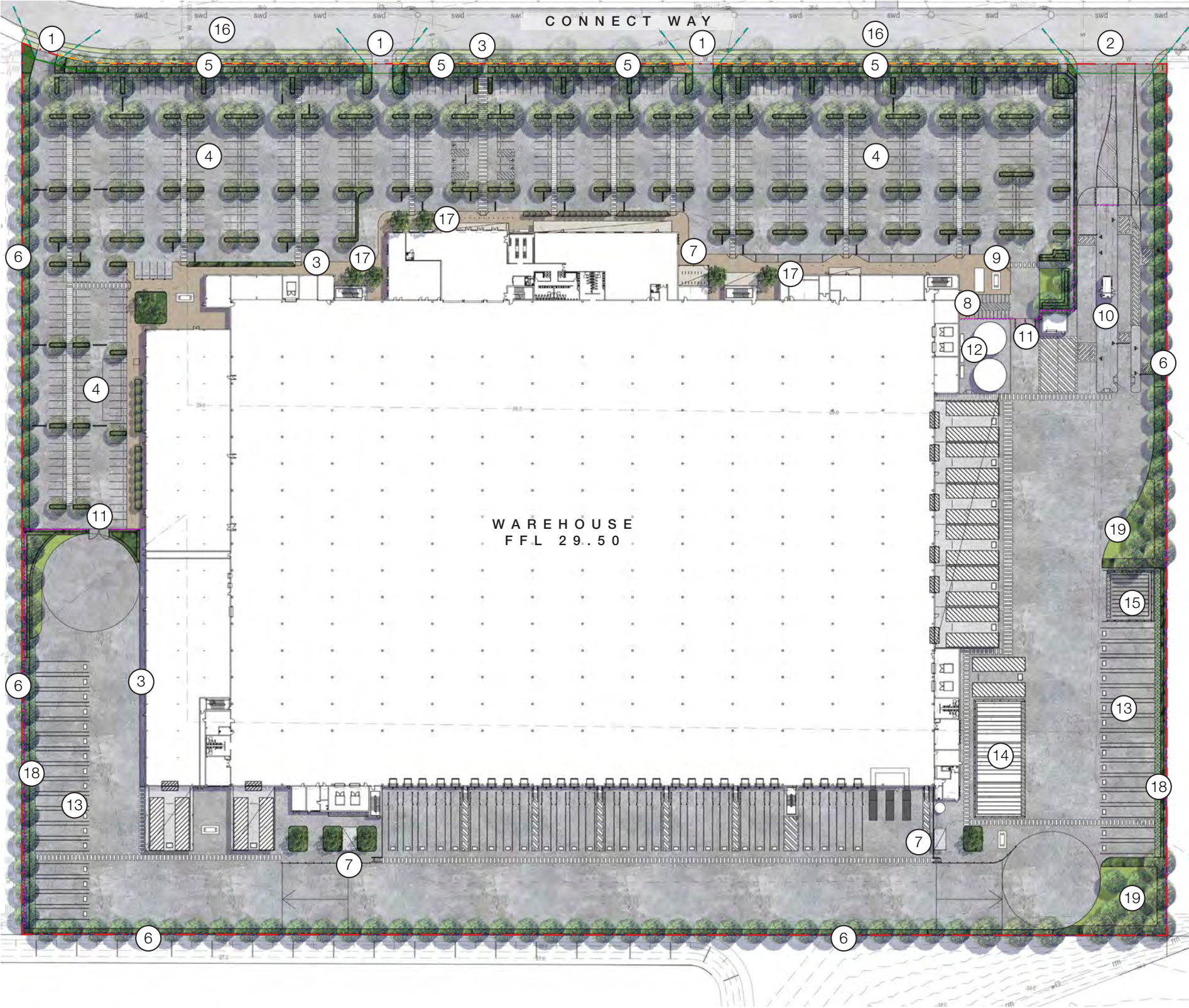
PARKING AREA



PROJECT	DRAWING TITLE	PROJECT NO.	PURPOSE	SCALE	REVISION	DATE	DRAWN	CHECKED	PAGE	CLIENT
PROPOSED MULTI-LEVEL WAREHOUSE DEVELOPMENT PROPOSED DEVELOPMENT OF ESTATE LOT 14, FLAGSTONE LOGISTICS ESTATE, QLD 4280	DESIGN PRECEDENT IMAGES	H8-25018	DA SUBMISSION	NTS	G	02.06.2025	KM / DG	DV	L03	Charter Hall 



OVERALL LANDSCAPE CONCEPT MASTERPLAN



KEY

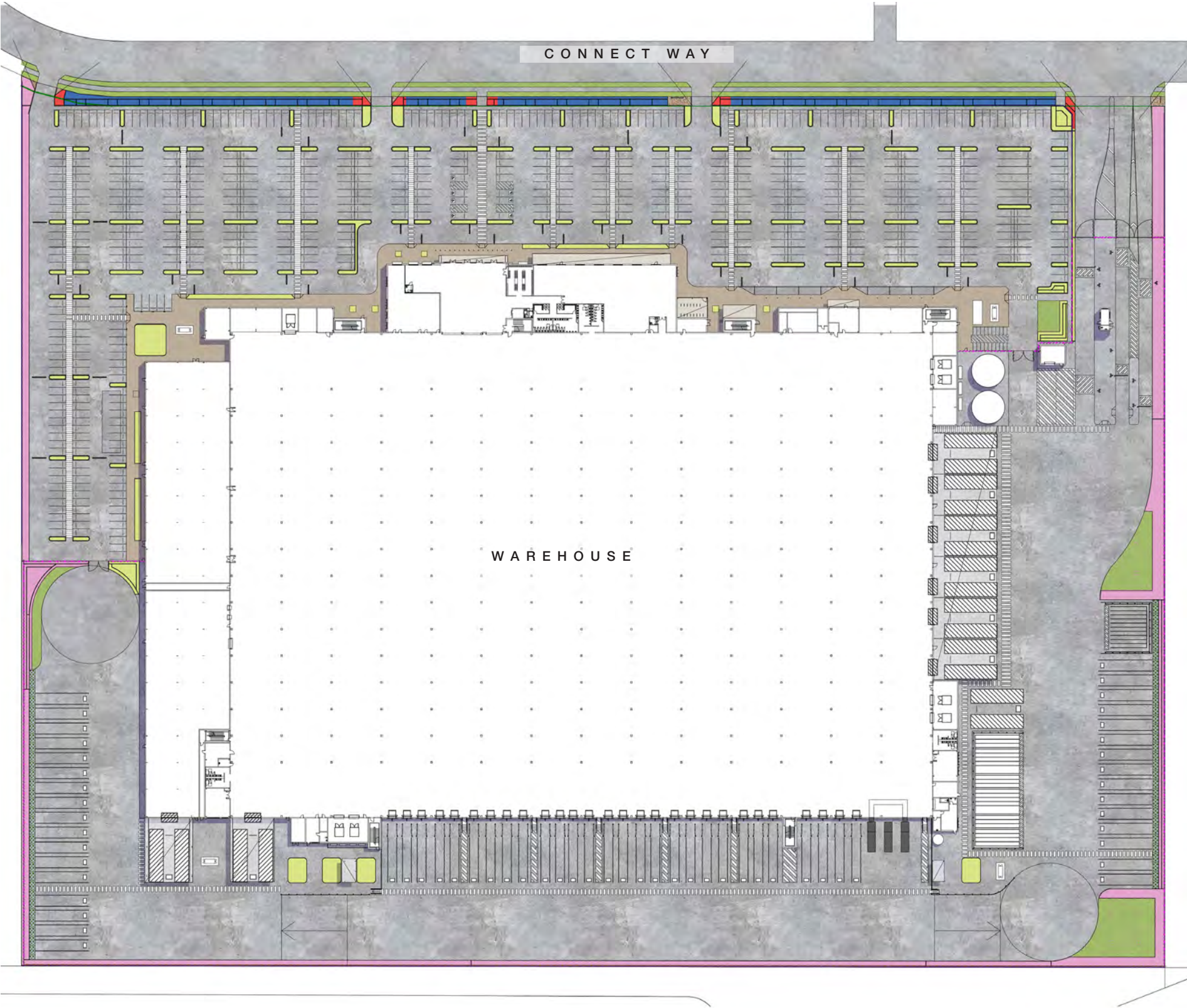
- SITE BOUNDARY
- 2700mm HT CHAINWIRE FENCE WITH BARBED WIRE TO ARCHITECT'S SPECIFICATION
- 2700mm HT FAUNA EXCLUSION FENCING TO ARCHITECT'S SPECIFICATION
- RETAINING WALL TO ENGINEER'S DETAILS
- PROPOSED CANOPY TREE PLANTING REFER TO PLANT SCHEDULE
- MASS PLANTING BEDS REFER TO PLANT SCHEDULE
- TURF
- CONCRETE SURFACE TO ENGINEER'S DETAILS
- PAVED SURFACE TO ARCHITECT'S DETAILS
- STEEL EDGE REFER TO DETAILS
- CONCRETE EDGE REFER TO DETAILS
- 2.5x2M SIGHTLINES

DESIGN NOTES

- CAR ENTRY / EXIT
- TRUCK ENTRY / EXIT
- FOOTPATH / PEDESTRIAN ACCESS
- CARPARK AREA
- LANDSCAPE SETBACK: LARGE CANOPY TREES (10m HT @10M OC) AND MEDIUM TREES (6m HT @10M OC)
- BOUNDARY PLANTING: SCREENING TREES AND LOW SHRUBS
- SHELTER TO ARCHITECT'S DETAILS
- MOTORBIKE PARKING
- INDICATIVE SUBSTATION
- GUARDHOUSE + UNISEX TOILET TO ARCHITECT'S DETAILS
- BRIGADE ACCESS GATE
- SPRINKLER TANKS
- TRAILER PARKING
- PALLET STORAGE
- WASTE STORAGE
- STREETSCAPE (PART OF SEPARATE PACKAGE)
- FEATURE TREES IN PAVEMENT
- PERMEABLE PATH
- TREES IN TURF



PLANTING STRATEGY



KEY

- FEATURE ENTRY PLANTING**
Refer to Plant Schedule
- FRONT SETBACK PLANTING**
Refer to Plant Schedule
- CARPARK PLANTING AND OFFICE**
Refer to Plant Schedule
- BOUNDARY PLANTING AREA**
 - Low groundcovers + grasses only
 - No shrubs or tall 'bushy' plants
 - Canopy trees pleached (under pruned with min 2m ht clear trunks for visibility)*Refer to Plant Schedule*
- TURF**



TREE CANOPY SHADOW ANALYSIS: CARPARK + FRONTAGE

DESIGN NOTES

- 1. CAR ENTRY / EXIT
- 2. CARPARK AREA
- 3. LANDSCAPE SETBACK: LARGE CANOPY TREES (10m HT @10M OC) AND MEDIUM TREES (6m HT @10M OC)
- 4. FOOTPATH / PEDESTRIAN ACCESS
- 5. BOUNDARY PLANTING: SCREENING TREES AND LOW SHRUBS
- 6. FEATURE TREES IN PAVEMENT

TREE CANOPY COVER (Carpark + Frontage only)

TREE NO.	TREE CANOPY	CANOPY AREA (m²)	TOTAL CANOPY COVER (m²)
72	6m	30	2160
63	8m	50	3150
67	10m	78	5226

CARPARK + FRONTAGE AREA

TOTAL TREE NO.
TOTAL SQM CANOPY COVER
TOTAL CANOPY PERCENTAGE

CARPARK + FRONTAGE
LANDSCAPE AREA SQM
TOTAL LANDSCAPE PERCENTAGE

22,213.51 m²
202
10,536 m²
47.43%

TOTAL SITE AREA

TOTAL TREE NO.
TOTAL SQM CANOPY COVER
TOTAL CANOPY PERCENTAGE

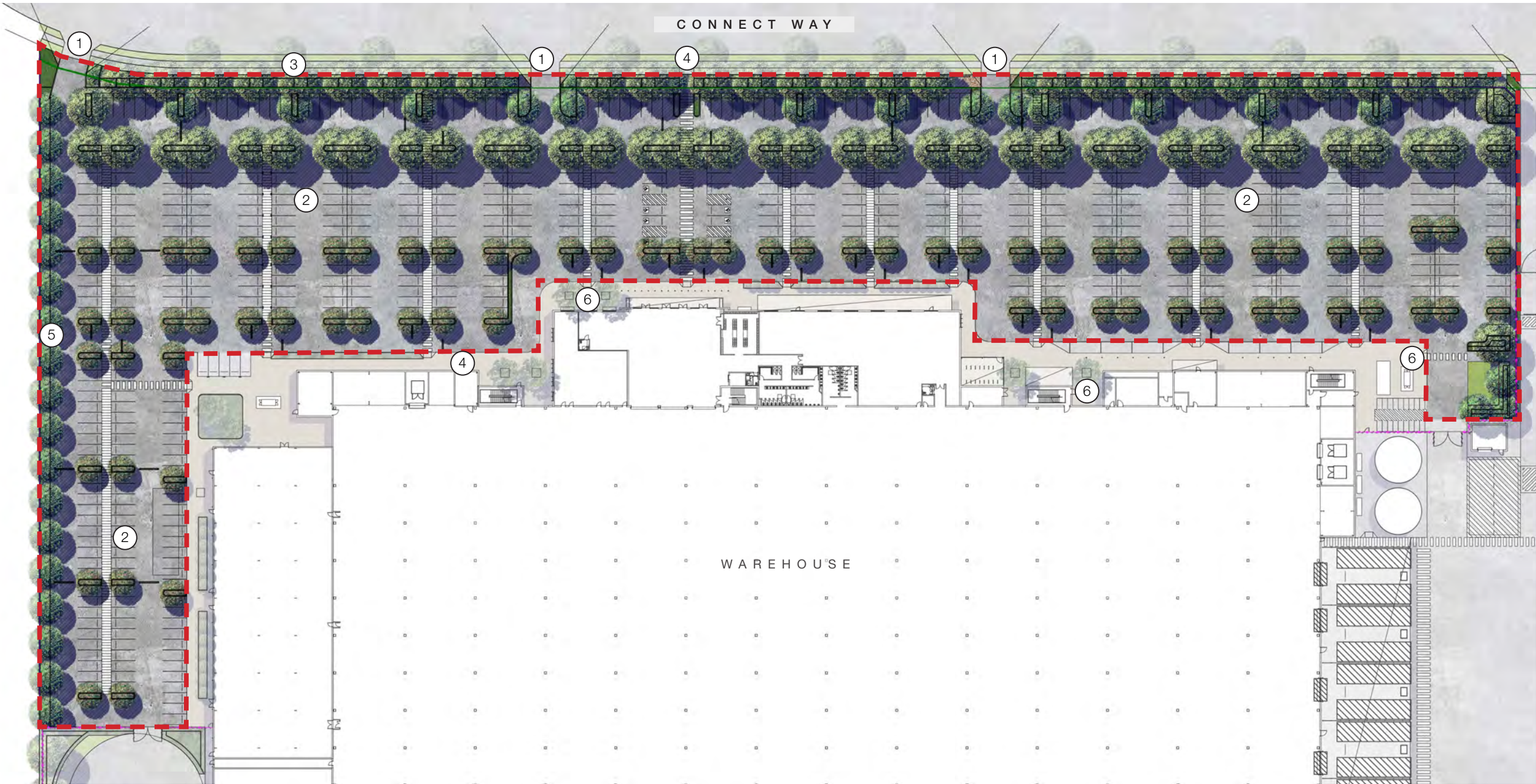
TOTAL LANDSCAPE AREA SQM
TOTAL PERMEABLE
AREA SQM (50% OF 328.10)
TOTAL LANDSCAPE PERMEABLE AREA

TOTAL LANDSCAPE PERMEABILITY
PERCENTAGE

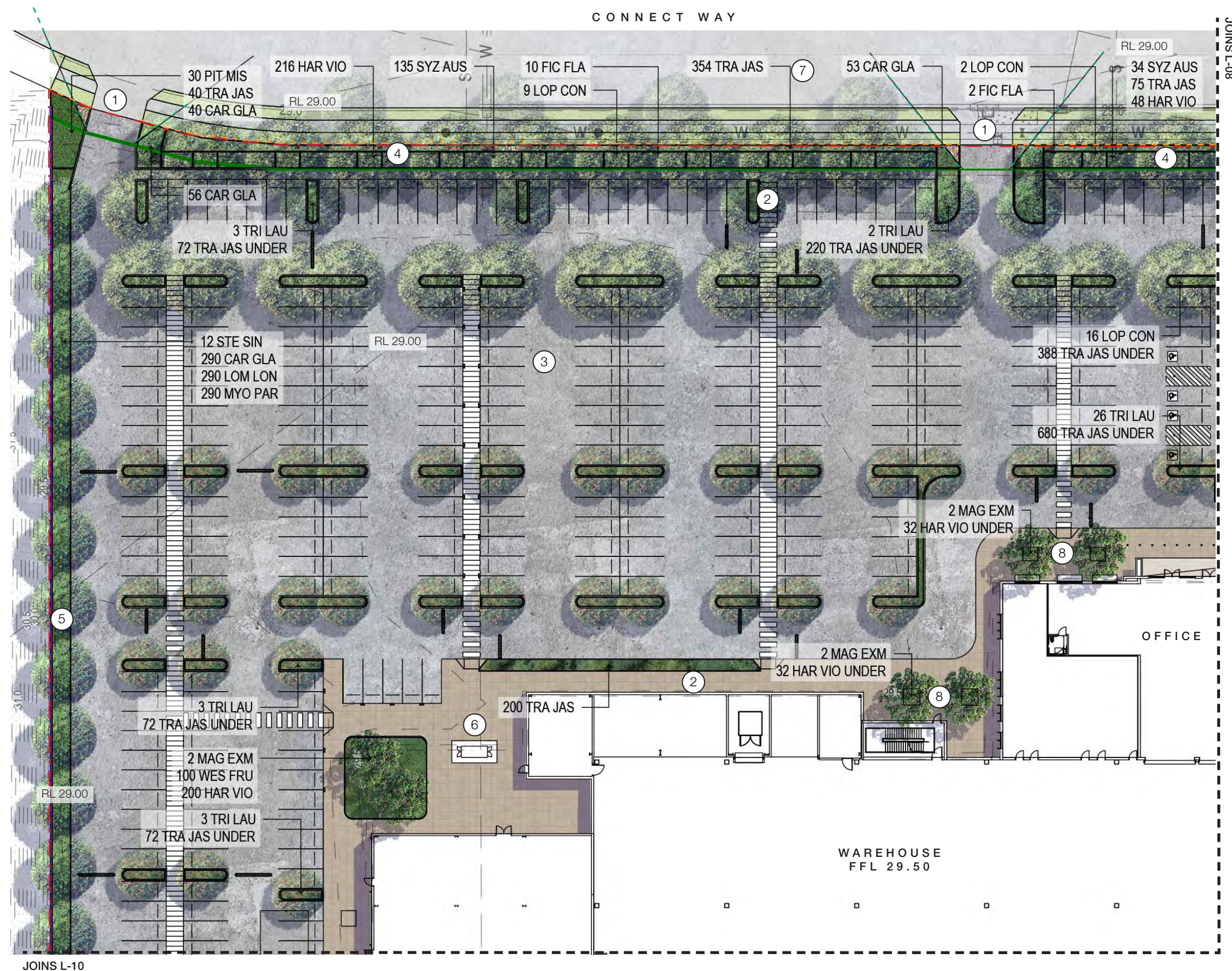
99,592 m²
333
15,767 m²
15.83%
5,495.81 m²
164.05 m²
5,659.86 m²
5.68%



KEY PLAN



LANDSCAPE CONCEPT PLAN 01



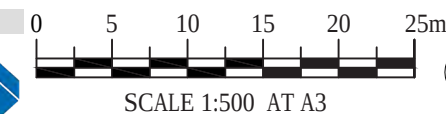
KEY PLAN

KEY

- | | |
|---|---|
|  | <p>SITE BOUNDARY</p> <p>2700mm HT CHAINWIRE FENCE
WITH BARBED WIRE
TO ARCHITECT'S SPECIFICATION</p> |
|  | <p>PROPOSED CANOPY TREE
PLANTING
REFER TO PLANT SCHEDULE</p> |
|  | <p>MASS PLANTING BEDS
REFER TO PLANT SCHEDULE</p> |
|  | <p>TURF</p> |
|  | <p>CONCRETE SURFACE
TO ENGINEER'S DETAILS</p> |
|  | <p>PAVED SURFACE
TO ARCHITECT'S DETAILS</p> |
|  | <p>STEEL EDGE
REFER TO DETAILS</p> |
|  | <p>CONCRETE EDGE
REFER TO DETAILS</p> |
|  | <p>RETAINING WALL
TO ENGINEER'S DETAILS</p> |
|  | <p>2.5x2M SIGHTLINES</p> |

DESIGN NOTES

1. CAR ENTRY / EXIT
2. FOOTPATH / PEDESTRIAN ACCESS
3. CARPARK AREA
4. LANDSCAPE SETBACK: LARGE CANOPY TREES (10m HT @10M OC) AND MEDIUM TREES (6m HT @10M OC)
5. BOUNDARY PLANTING: SCREENING TREES AND LOW SHRUBS
6. INDICATIVE SUBSTATION
7. STREETScape (PART OF SEPARATE PACKAGE)
8. FEATURE TREES IN PAVEMENT



--- SITE BOUNDARY

1. CAR ENTRY / EXIT

-

PROPOSED MULTI-LEVEL WAREHOUSE	LANDSCAPE CONCEPT PLAN 02	H8-25018	DA SUBMISSION 1-500@A3	G	02/06/2025	KM / DG	DV	108
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LANDSCAPE CONCEPT PLAN 02

H8-25018

DA SUBMISSION 1:500@A3

G

02.06.2025

KM / DG DV

DV

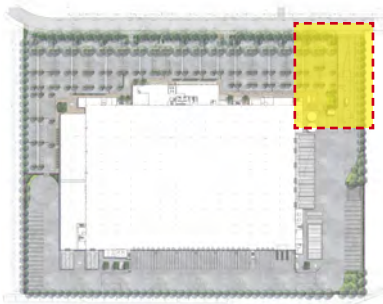
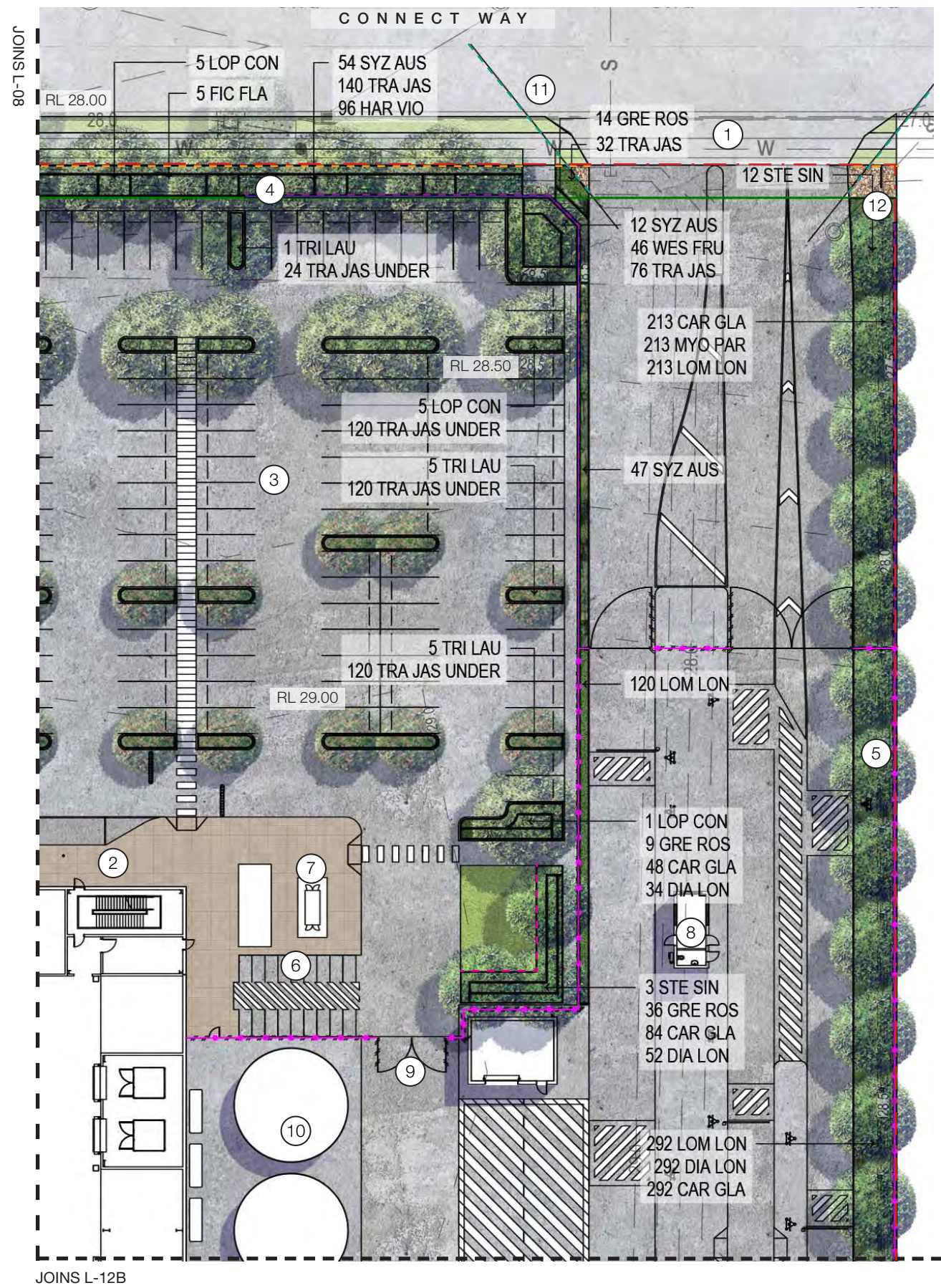
108



SEE PAGE 1500 IN THE



LANDSCAPE CONCEPT PLAN 03



KEY PLAN

KEY

- SITE BOUNDARY
- 2700mm HT CHAINWIRE FENCE WITH BARBED WIRE TO ARCHITECT'S SPECIFICATION
- PROPOSED CANOPY TREE PLANTING REFER TO PLANT SCHEDULE
- MASS PLANTING BEDS REFER TO PLANT SCHEDULE
- TURF
- CONCRETE SURFACE TO ENGINEER'S DETAILS
- PAVED SURFACE TO ARCHITECT'S DETAILS
- STEEL EDGE REFER TO DETAILS
- CONCRETE EDGE REFER TO DETAILS
- RETAINING WALL TO ENGINEER'S DETAILS
- 2.5x2M SIGHTLINES

DESIGN NOTES

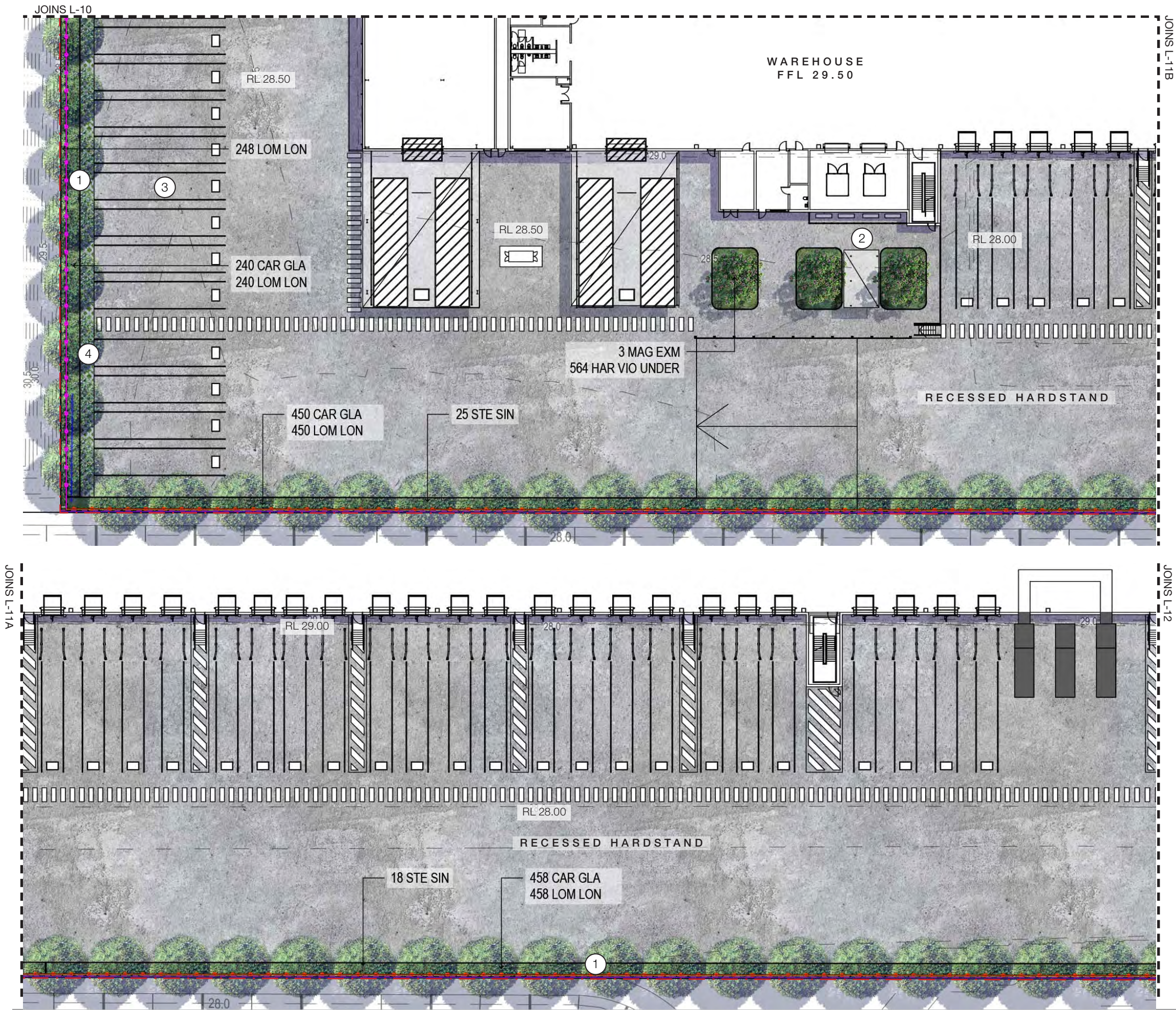
- TRUCK ENTRY / EXIT
- FOOTPATH / PEDESTRIAN ACCESS
- CARPARK AREA
- LANDSCAPE SETBACK: LARGE CANOPY TREES (10m HT @10M OC) AND MEDIUM TREES (6m HT @10M OC)
- BOUNDARY PLANTING: SCREENING TREES AND LOW SHRUBS
- MOTORBIKE PARKING
- INDICATIVE SUBSTATION
- GATEHOUSE + UNISEX TOILET
- BRIGADE ACCESS GATE
- SPRINKLER TANKS
- STREETSCAPE (PART OF SEPARATE PACKAGE)
- WAYFINDING SIGN 01 (TO ARCHITECT'S DETAILS)



— . — . — . — . SITE BOUNDARY

- ## DESIGN NOTES
1. FOOTPATH / PEDESTRIAN ACCESS
 2. CARPARK AREA
 3. BOUNDARY PLANTING: SCREENING TREES AND LOW SHRUBS
 4. BRIGADE ACCESS GATE
 5. PERMEABLE PATH
 6. TRAILER PARKING

LANDSCAPE CONCEPT PLAN 05

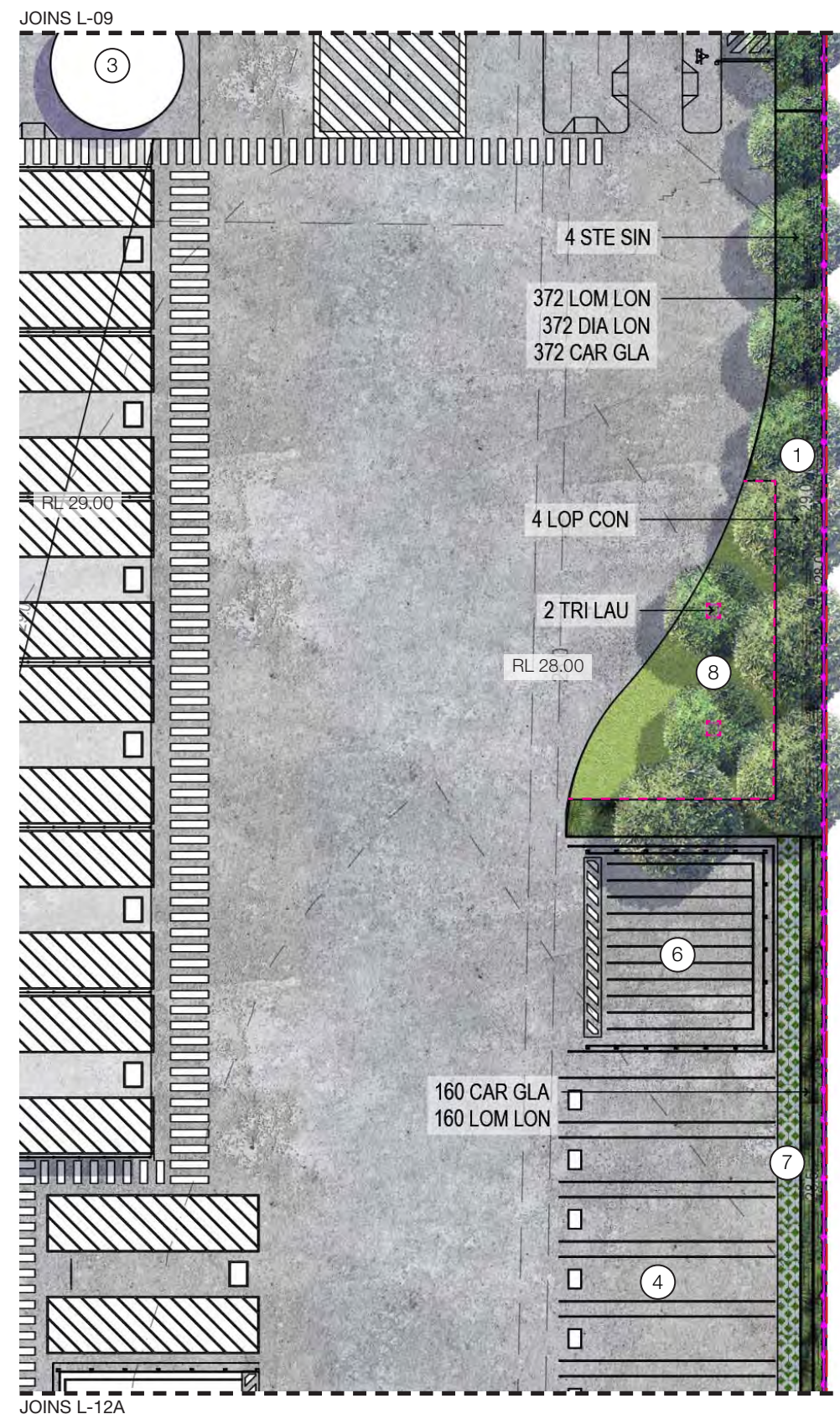


KEY PLAN

- KEY**
- SITE BOUNDARY
 - 2700mm HT CHAINWIRE FENCE WITH BARBED WIRE TO ARCHITECT'S SPECIFICATION
 - 2700mm HT FAUNA EXCLUSION FENCING TO ARCHITECT'S SPECIFICATION
 - RETAINING WALL TO ENGINEER'S DETAILS
 - PROPOSED CANOPY TREE PLANTING REFER TO PLANT SCHEDULE
 - MASS PLANTING BEDS REFER TO PLANT SCHEDULE
 - TURF
 - CONCRETE SURFACE TO ENGINEER'S DETAILS
 - PAVED SURFACE TO ARCHITECT'S DETAILS
 - STEEL EDGE REFER TO DETAILS
 - CONCRETE EDGE REFER TO DETAILS

DESIGN NOTES

- BOUNDARY PLANTING: SCREENING TREES AND LOW SHRUBS
- SHELTER TO ARCHITECT'S DETAILS
- TRAILER PARKING
- PERMEABLE PATH



-

SITE BOUNDARY

2700mm HT CHAINWIRE FENCE
WITH BARBED WIRE
TO ARCHITECT'S SPECIFICATION
-

2700mm HT FAUNA EXCLUSION
FENCING
TO ARCHITECT'S SPECIFICATION
-

RETAINING WALL
TO ENGINEER'S DETAILS
-

PROPOSED CANOPY TREE
PLANTING
REFER TO PLANT SCHEDULE
-

MASS PLANTING BEDS
REFER TO PLANT SCHEDULE
-

TURF
-

CONCRETE SURFACE
TO ENGINEER'S DETAILS
-

PAVED SURFACE
TO ARCHITECT'S DETAILS
-

STEEL EDGE
REFER TO DETAILS
-

CONCRETE EDGE
REFER TO DETAILS

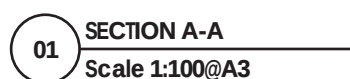
1. BOUNDARY PLANTING: SCREENING TREES AND LOW SHRUBS
2. INDICATIVE SUBSTATION
3. SPRINKLER TANKS
4. TRAILER PARKING
5. PALLET STORAGE
6. WASTE STORAGE
7. PERMEABLE PATH
8. TREES IN TURF

LANDSCAPE CONCEPT PLAN: SETBACK PLANTING (TYPICAL)

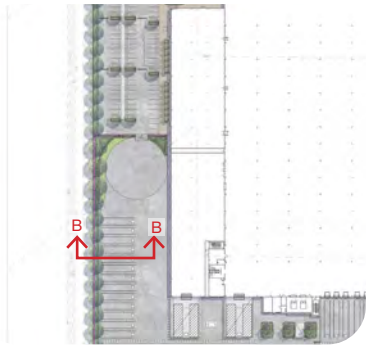


01 **DETAIL PLANTING PLAN 01**
Scale 1:200@A3 / 1:100@A1

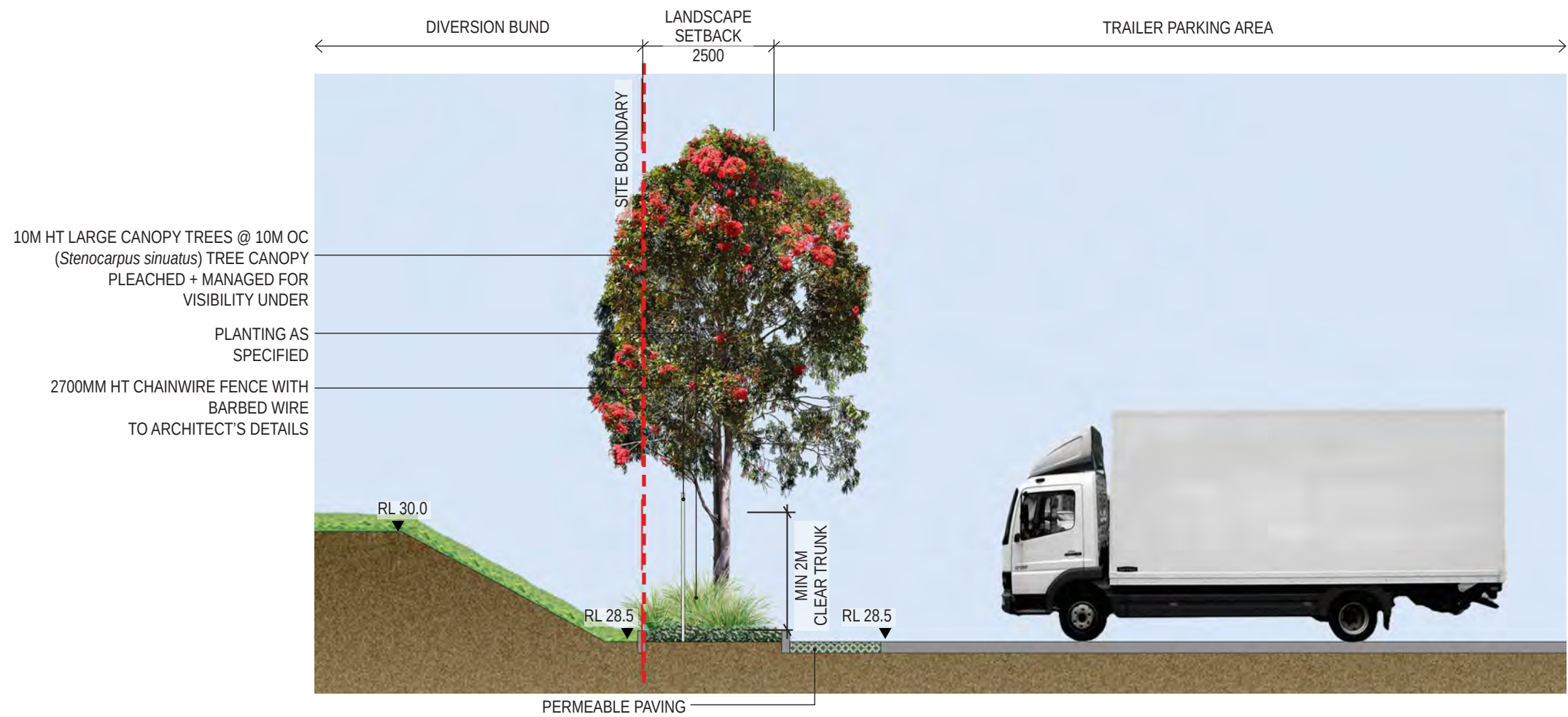




LANDSCAPE SECTION B-B



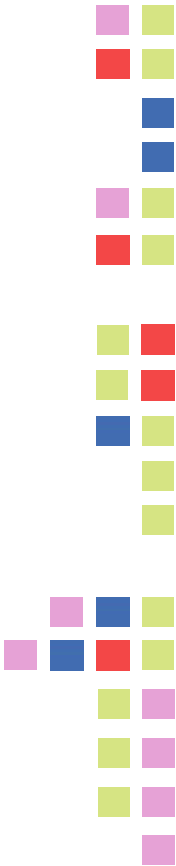
KEY PLAN



01 SECTION B-B
Scale 1:100@A3

PLANT SCHEDULE

PLANT LIST



CODE	BOTANICAL NAME	POT SIZE	DENSITY	HT AT MATURITY	QTY.
TREES					
STE SIN	<i>Stenocarpus sinuatus</i>	100L	As Shown	10-15m	86
ELA EUM	<i>Elaeocarpus eumundi</i>	100L	As Shown	3-5m	33
LOP CON	<i>Lophostemon confertus</i>	100L	As Shown	9-12m	82
FIC FLA	<i>Ficus hillii 'Flash'</i>	100L	As Shown	5-10m	30
TRI LAU	<i>Tristaniopsis laurina</i>	100L	As Shown	8-10m	91
MAG EXM	<i>Magnolia grandiflora 'Exmouth'</i>	200L	As Shown	3-5m	12
SHRUBS					
PIT MIS	<i>Pittosporum tobira 'Miss Muffet'</i>	200mm	3/m²	1m	106
GRE ROS	<i>Grevillea rosmarinifolia</i>	200mm	2/m²	1.5-2m	59
SYZ AUS	<i>Syzygium australe 'Southern Form'</i>	200mm	1/m²	3m	453
ACM SMI	<i>Acmena smithii 'Minor'</i>	200mm	1/m²	3m	17
WES FRU	<i>Westringia fruticosa</i>	200mm	2/m²	2m	206
GROUNDCOVERS					
HAR VIO	<i>Hardenbergia violacea</i>	150mm	4/m²	500mm	2000
TRA JAS	<i>Trachelospermum jasminoides</i>	150mm	4/m²	300mm	4778
CAR GLA	<i>Carpobrotus glaucescens</i>	150mm	4/m²	300mm	3732
LOM LON	<i>Lomandra longifolia</i>	150mm	4/m²	300mm	4152
DIA LON	<i>Dianella longifolia</i>	150mm	4/m²	300mm	935
MYO PAR	<i>Myoporum parvifolium</i>	150mm	4/m²	300mm	1113

NOTES:
Planting sourced from City Of Logan Landscape Development Manual, Bushfire Resilient Building Guidance for Queensland Homes, City of Logan List of Approved Plants for Gardens on Footpaths, and Charter Hall Industrial & Logistics Landscape Guidelines 2022



MAG EXM



LOP CON



TRI LAU



ELA EUM



FIC FLA



STE SIN



ACM SMI



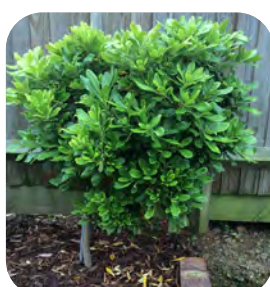
SYZ AUS



WES FRU



GRE ROS



PIT MIS



HAR VIO



TRA JAS



CAR GLA



DIA LON



LOM LON



MYO PAR

CHARTER HALL STANDARD SPECIFICATION + MAINTENANCE NOTES

- The Charter Hall and Sprout KOP Annexure G is to be the over-riding document in any instance.
- A high standard of mature landscaping is expected leading to the customer entry. A fully designed low maintenance landscape plan with no turf shall be provided after reviewing the most recent copy of the Charter Hall Kit of Parts, to then be sent to Charter Hall for review and approval.
 - The landscaping design consider ongoing maintenance, clear lines of sight and general tidiness. For example - preference to gravel beds in car park landscaping. All stone products are to be environmentally friendly ie no river rocks.
 - The D&C Contractor shall provide an automatic watering system, connected to the rain water tanks and mains water back up, for the site with all landscaping and irrigation as per the applicable landscape drawings but not less than one tap per major garden bed and one within 30m of minor beds for hose access The Landscape Architect is to review irrigation design to ensure it is a performance based specification and adequate.
 - Irrigation to be linked to the water re-use system.
 - The contractor is to allow for all turfing and landscaping in the nature strip as required by Council.
 - 12 months' full maintenance is required after PC including a 3 month plant warranty.
 - All new trees shall be staked and tied. Existing trees deemed to remain shall be protected during construction and documented with an arborist report.
 - A follow up arborist report shall be undertaken prior to the conclusion of the 12 month defects liability period.
 - Landscape beds are to be clear of builders rubble which is not to be disposed of throughout the site.
 - Soil inside of the landscape beds are to be raised to a level that allows for importation of topsoil. Costs to remove excess filling to allow suitable topsoil placement will be charged to the builder.

SERVICES

Landscaping is to be completed to Authority requirements. Building & Estate Landscaping to be in line with the Charter Hall landscape specification and Assets Presentation Guidelines Annexure G Remove all weed and other debris from planter beds and areas to be landscaped. Remove rocks and branches larger than 75mm. Before landscape work is commenced the Landscape Contractor is to establish the position of all service lines and ensure tree planting is carried out at least 3 metres away from these services. Service lids, vents and hydrants shall be left exposed and not covered by any landscape finishes (turfing, paving, garden beds etc.) Finish adjoining surfaces flush with pit lids.

PLANTING MIXTURE - (300mm DEPTH)
TURF SOIL UNDERLAY - (150mm DEPTH)
Imported Garden Mix.
Type: Premium
Available: Australian Native Landscapes (ANL)

TURF SOIL UNDERLAY

MULCH

APPLICATION: Place mulch to the required depth, (refer to drawings) clear of plant stems, and rake to an even surface finishing 25mm below adjoining levels. Ensure mulch is watered in and tamped down during installation.
MULCH TYPE:
Pine bark: From mature trees, graded in size from 15mm to 30mm, free from wood slivers. Dark brown in colour and texture.

COMPOST

Shall be “GO Compost” as available from Soilco or approved equal.

PLANT MATERIAL

All plants supplied are to conform with those species listed in the Plant Schedule on the drawings. Generally plants shall be vigorous, well established, hardened off, of good form consistent with species or variety, not soft or forced, free from disease or insect pests with large healthy root systems and no evidence of having been restricted or damaged. Trees shall have a leading shoot. Immediately reject dried out, damaged or unhealthy plant material before planting. All stock is to be container grown for a minimum of six (6) months prior to delivery to site.

- All plant material shall be obtained from an approved reputable nursery/supplier where plants are exposed and have been hardened-off in the open.
- Plants are to be healthy, well-grown specimens, free of pest, injury and diseases.
- Carry out the supply and installation of all planting as specified including preparation of tree holes, back filling, planting of trees, staking and tying and planting of garden beds as set out and scheduled on the Drawings.
- It is the Contractors responsibility to adequately protect and maintain vegetative material against any adverse or damaging climatic conditions before and during the planting procedure.
- Hardwood stakes, as per details are to be installed immediately after tree planting. Stakes are to be driven 600mm into the ground or deep enough to ensure that the stake will remain stable and vertical. Tie tree to stakes using 2 “figure eight” ties of canvas or approved equivalent.

FERTILISER

MASS PLANTING AREAS: Fertiliser shall be 'Nutricote' or approved equivalent in granule form intended for slow release of plant nutrients over a period of approximately nine months. Thoroughly mix fertiliser with planting mixture at the recommended rate, prior to installing plants.
TURF: Shall be Shirleys No. 17 or approved equal thoroughly mixed into the topsoil prior to placing turf.
SUPER ADVANCED TREES: Pellets shall be in the form intended to uniformly release plant food elements for a period of approximately nine months equal to Shirleys Kokei pellets, analysis 6.3:1.8:2.9. Kokei pellets shall be placed at the time of planting to the base of the plant, 50mm minimum from the root ball at a rate of two pellets per 300mm of top growth to a maximum of 8 pellets per tree.

STAKING AND TYING

Stakes shall be straight hardwood, free from knots and twists, pointed at one end and sized according to size of plants to be staked.
a. 5-15 litre size plant 1x(1200x25x25mm)
b. 35-75 litre size plant 2x(1500x38x38mm)
c. 100-greater than 200litre 3x(1800x50x50mm)
Ties shall be 50mm wide hessian webbing or approved equivalent nailed or stapled to stake. Drive stakes a minimum one third of their length, avoiding damage to the root system, on the windward side of the plant.

TURF

Obtain turf from a specialist grower of cultivated turf. turf shall be of even thickness, free from weeds and other foreign matter; lay in stretcher pattern with joints staggered and close butted, perpendicular to gradient of FSL. Water immediately after laying.
TURF TYPE: Couch (Confirm with Council)

- All turf to be laid within 24hrs after delivery to site.
- Roll soil to achieve an even and firm but not compacted surface before laying of turf. Finish topsoil so as to be 15mm below adjoining pavement surfaces to allow for turf thickness. Stagger joins in each new row and make sure all joints are tightly butt jointed together. Immediately water turf after laying of turf. On gradients, turf to be laid diagonally across the slope, peg turf in areas with slopes greater than 1:3. Ensure pegs are removed after turf has established.
- Water turf a minimum once a day for the first 7 days of installation and every 2 days thereafter from day 8-21 of installation. Additional hand sprigging will be required to any areas that have failed or where coverage is noticeably inconsistent.
- Turfing is undertaken between the months of November and March, ensure grassing is watered daily (at a minimum) for the first two weeks subsequent to laying.

LANDSCAPE CONSOLIDATION PERIOD

Maintenance shall mean the care and maintenance of the landscape works by accepted horticultural practice as rectifying any defects that become apparent in the landscape works under normal use. This shall include, but shall not be limited to, watering, mowing, fertilising, re-seeding, returfing, weeding, pest and disease control, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing, maintaining the site in a neat and tidy condition as follows:-

GENERAL

The landscape contractor shall maintain the landscape works for the term of the maintenance (or Plant establishment) period to the satisfaction of the council. The landscape contractor shall attend to the site on a weekly basis. The maintenance period shall commence at practical completion and continue for a period of twenty six (26) weeks.

WATERING

Grass, trees and garden areas shall be watered regularly so as to ensure continuous healthy growth.

RUBBISH REMOVAL

During the term of the maintenance period the landscape contractor shall remove rubbish that may occur and reoccur throughout the maintenance period. This work shall be carried out regularly so that at weekly intervals the area may be observed in a completely clean and tidy condition.

REPLACEMENTS

The landscape contractor shall replace all plants that are missing, unhealthy or dead at the Landscape Contractor's cost. Replacements shall be of the same size, quality and species as the plant that has failed unless otherwise directed by the Landscape Architect. Replacements shall be made on a continuing basis not exceeding two (2) weeks after the plant has died or is seen to be missing.

STAKES AND TIES

The landscape contractor shall replace or adjust plant stakes, and tree guards as necessary or as directed by the Landscape Architect. Remove stakes and ties at the end of the maintenance period if so directed.

PRUNING

General: Prune to reflect the natural growth flowering and regrowth habit of the individual species. Shrubs: Prune after flowering - Spring and Summer and on a spot basis as required.
Hedge trimming: Schedule trimming at times which will maintain the character and design of hedges. Allow up to three times per season.
Tip pruning: To encourage development of new shoots during the active growing season. Do not remove buds before the flowering season in those plants that have terminal flowers.
Radical pruning: To maintain a hedge or formal shape or when a particular problem, growth habit, damage, or disease requires branch removal.
Trees: Prune to eliminate diseased or damaged growth, avoid inter-branch contact and thin out crowns in a natural manner, maintain sight lines to signs and lights, or maintain visibility for personal security. Tree branch removal to AS 4373. Give notice and engage a suitably qualified 'arborist'.

MULCHED SURFACES

All mulched surfaces shall be maintained in a clean and tidy condition and be reinstated if necessary to ensure that a depth of 75mm is maintained. Ensure mulch is kept clear of plant stems at all times. Remove all mulching materials off lawn or paved areas and maintain a clean and tidy appearance when viewed on a weekly basis.

PEST AND DISEASE CONTROL

The landscape contractor shall spray against insect and fungus infestation with all spraying to be carried out in accordance with the manufacturer's directions. Report all instances of pests and diseases (immediately that they are detected) to the Landscape Architect.

GRASS AND TURF AREAS

The landscape contractor shall maintain all grass and turf areas by watering, weeding, re-seeding, rolling, mowing, trimming or other operations as necessary. Seed and turf species shall be the same as the original specified mixture. Grass and turf areas shall be sprayed with approved selective herbicide against broad leaved weeds as required by the Landscape Architect and in accordance with the manufacturer's directions. Grass and turf areas shall be fertilised once a year in autumn with “Dynamic Lifter” for lawns at a rate of 20kg per 100m2. Fertiliser shall be watered in immediately after application. Irregularities in the grass and turf shall be watered in immediately after application.
Grass and turf areas shall be kept mown to maintain a healthy and vigorous sward. Mowing height: 30-50mm.

WEED ERADICATION

Eradicate weeds by environmentally acceptable methods using a non-residual glyphosate herbicide (eg. 'Roundup') in any of its registered formulae, at the recommended maximum rate. Regularly remove by hand, weed growth that may occur or recur throughout grassed, planted and mulched areas. Remove weed growth from an area 750mm diameter around the base of trees in grassed areas. Continue eradication throughout the course of the works and during the maintenance period.

SOIL SUBSIDENCE

Any soil subsidence or erosion which may occur after the soil filling and preparation operations shall be made good by the landscape contractor at no cost to the client.

MAINTENANCE PERIOD:

The maintenance period for all landscaping is 12 months from Practical Completion and an establishment warranty period of 3 months from Practical Completion.
During the maintenance period:
· The Contractor is responsible for the satisfactory establishment of all soft works and parts thereof prior to the issuance of the Final Completion Certificate.
· Establishment shall mean the care and maintenance of the contract area by accepted horticultural practices, as well as rectifying any defects that may become apparent in the Works under normal use within 14 days of the defect being noted.
· Keep a log book recording when and what maintenance work has been done and what materials, including toxic materials, have been used. Make the log book available for inspection on request.
During the warranty period:
· The Landscape Contractor is responsible for all losses of plant material due to nursery stock failure or improper horticultural care during the landscape maintenance / plant establishment period. If plants die as a result of poor horticultural practice, they are to be replaced within 48 hours. If plants die or are removed for other reasons, such as theft or vandalism, the Contractor is to notify the Superintendent immediately and replace the effected planting within 48 hours.

IRRIGATION (PERFORMANCE SPECIFICATION)

IRRIGATION OVERVIEW - Confirm with Project Manager at tender stage.

EXTENT

All mass planting landscape areas and trees are to have full coverage by a fully automatic irrigation system. The design, materials and installation are to be in accordance with City West Water Codes and all relevant Australian Standards.

- An automatic irrigation system is to be installed to all turf and garden bed areas.
- The irrigation system shall be designed and installed by a licensed contractor to relevant Australian standards and City West water guidelines.
- The irrigation system shall be connected into the rainwater tank system and pump.

DRIPLINE

Provide 13mm dripline to all garden bed areas with appropriate 13mm joiners. Dripline to be Toro drip or similar with 400mm centre drippers. Install line at 500mm spacings with the first line to be 150mm in from edge. Install dripline after planting and prior to mulching to allow for an adequate mulch cover. Anchor at 1.5m maximum intervals with u-shaped stakes. Dripline pattern to suit planting.

CONTROL VALVES

24v solenoid actuated hydraulic valve with flow control. Control valves to be Toro ezflow series solenoids 25mm or approved equal. Provide a gate valve of the same size immediately upstream of each valve. House both valves in a high impact plastic valve box with a high impact plastic cover at finished ground level. Support the box with bricks on each side.
Controller to be Toro greenkeeper or approved equal with a rain switch.
Install a master valve/pressure regulating valve equal to Toro p220 with exreg pressure regulation valve. Filter to be installed equal to Toro y filter 75mm screen filter.

CONTROL WIRES

Connect the control valves and soil moisture sensor to the controller with double insulated underground cables laid alongside piping where possible. Lay intertwined for their full length without joints except at the valves and branches off common wires. Provide waterproof connectors.
Provide a backflow prevention device to Australian standards AS 3500.

DEFECTS LIABILITY PERIOD

The irrigation system shall be subject to a 12 month defects and liability period.

RELEVANT AUSTRALIAN STANDARDS

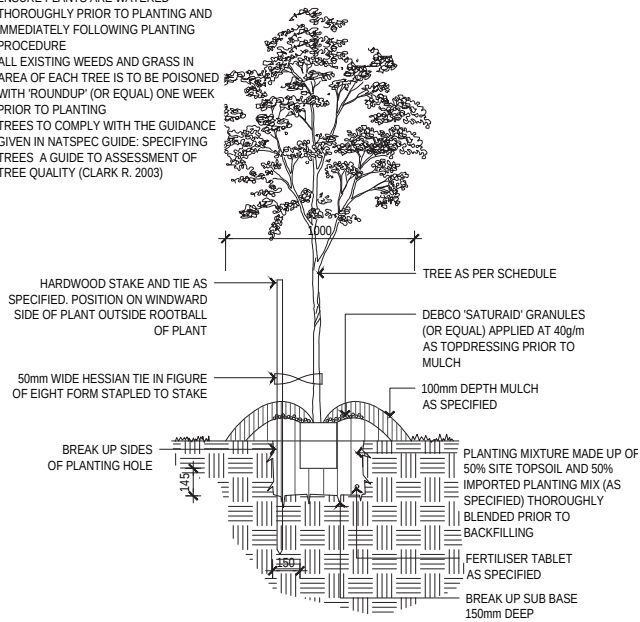
Soil: AS4419, AS3743, AS4454
Mulch: AS4454
Tree: AS2303
Pruning: AS4373
Tree Protection: AS4970
Contractor to comply with the above Australian Standards

PROJECT	DRAWING TITLE	PROJECT NO.	PURPOSE	SCALE	REVISION	DATE	DRAWN	CHECKED	PAGE	CLIENT
PROPOSED MULTI-LEVEL WAREHOUSE DEVELOPMENT	CHARTER HALL STANDARD SPECIFICATION +	H8-25018	DA SUBMISSION	NTS	G	02.06.2025	KM / DG	DV	L 17	
PROPOSED DEVELOPMENT OF ESTATE LOT 14, FLAGSTONE LOGISTICS ESTATE, QLD 4280	MAINTENANCE NOTES									 

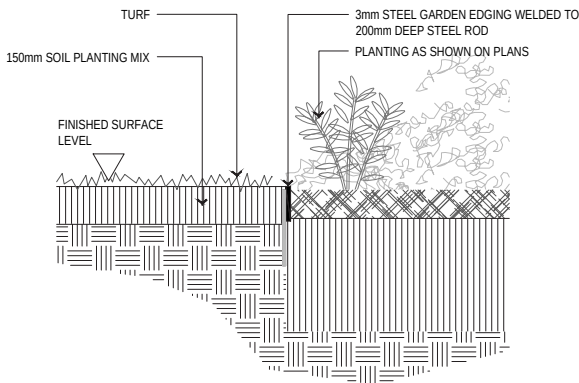
TYPICAL LANDSCAPE DETAILS

NOTE:

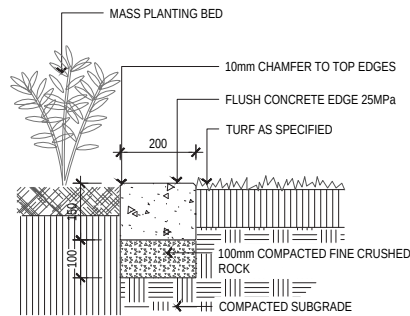
1. ENSURE PLANTS ARE WATERED THOROUGHLY PRIOR TO PLANTING AND IMMEDIATELY FOLLOWING PLANTING PROCEDURE
2. ALL EXISTING WEEDS AND GRASS IN AREA OF EACH TREE IS TO BE POISONED WITH ROUNDUP® (OR EQUAL) ONE WEEK PRIOR TO PLANTING
3. TREES TO COMPLY WITH THE GUIDANCE GIVEN IN NATSPEC GUIDE: SPECIFYING TREES A GUIDE TO ASSESSMENT OF TREE QUALITY (CLARK R. 2003)



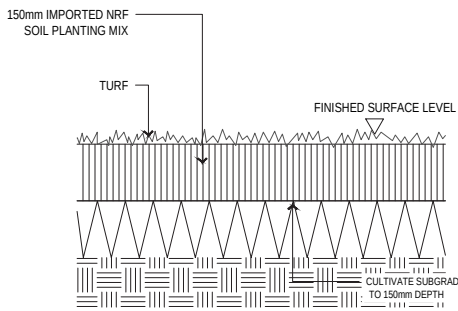
01 TYPICAL TREE PLANTING DETAIL OVER 100L
1:20 @ A1 / 1:40 @ A3



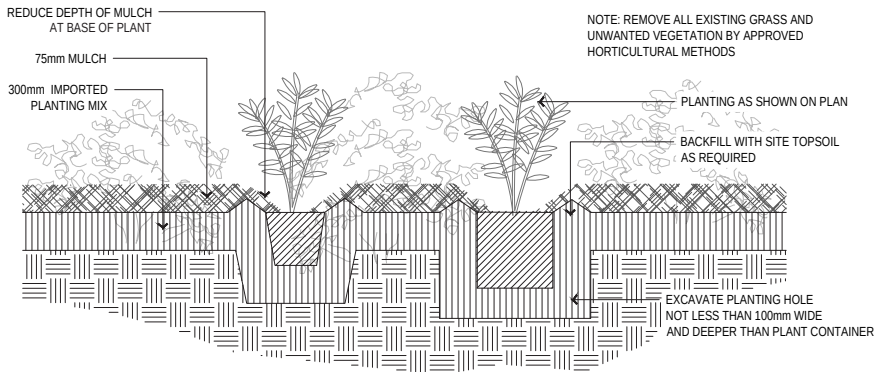
02 STEEL EDGE DETAIL
1:10 @ A1 / 1:20 @ A3



03 CONCRETE EDGE DETAIL
1:10 @ A1 / 1:20 @ A3



04 TURF DETAIL
1:10 @ A1 / 1:20 @ A3



05 MASS PLANTING DETAIL
1:10 @ A1 / 1:20 @ A3

PROJECT	DRAWING TITLE	PROJECT NO.	PURPOSE	SCALE	REVISION	DATE	DRAWN	CHECKED	PAGE	CLIENT
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PROPOSED MULTI-LEVEL WAREHOUSE DEVELOPMENT
PROPOSED DEVELOPMENT OF ESTATE LOT 14, FLAGSTONE LOGISTICS ESTATE, QLD 4280

TYPICAL LANDSCAPE DETAILS

H8-25018

DA SUBMISSION

AS SHOWN

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02.06.2025

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L 18

Charter Hall

