

JDA Co.



“The Tivoli” Heritage Impact Statement

Client: The Tivoli Group

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Issue A

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“The Tivoli” Heritage Impact Statement

JDA Co.

Documentation control

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A	HIS, Draft	9 July 2025	DG	DG
B	HIS, Updated			



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1.0 Introduction

1.1 Overview

Located at 52 Costin Street, Fortitude Valley, ‘The Tivoli’ is a single-storey early twentieth century former factory building (Adams Cake Factory) which was adapted in 1989 into an entertainment venue. ‘The Tivoli’ is considered to have heritage significance and is identified on the Heritage Overlay of the Brisbane City Council City Plan 2014 as a Local Heritage Place. The place is an important part of the cultural life of Brisbane and ‘The Tivoli’ has a strong association with the former factory building and site as outlined in the Brisbane City Council’s Heritage Citation, Statement of Significance.

The former factory building has been subject to extensive modifications and changes over time, particularly from 1989 to the present. Most of the interior fabric is contemporary, associated with the current use as a live music venue. Evidence of the former factory building is expressed primarily through the brick masonry exterior walls, the former openings, the gabled roof forms and timber roof framing elements.

The site includes the former factory building and adjacent open carpark to the south which includes carparking, bins, substation, storage, decks and loading dock.

The current owner of the property, The Tivoli Group are proposing new works within the carpark portion of the site including;

- Demolition of non-original building fabric (mainly limited to existing stairs, decks and landings) on the south side of the heritage place.
- A new roofed building structure to create an enclosed carpark which can also be used as an indoor/ outdoor entertainment venue and breakout space for the main venue
- A new lightweight streetscape façade to Constin Street
- New amenities, food and beverage bar
- New lift and access stairs
- New sound lock between the existing building and the new enclosed car park
- Reconfigured loading dock, bin storage and general storage
- Upgrade of existing mechanical plant and services including removal of existing ductwork on the roof

This Heritage Impact Statement has been prepared as part of the development application to Brisbane City Council to allow these proposed changes to the ‘Tivoli’.

This Heritage Impact Statement has been prepared in accordance with the guidelines of the Australia ICOMOS Burra Charter.

1.2 The Study Area

The study area known as ‘The Tivoli’ is located at 52 Constin Street, Fortitude Valley, Brisbane, Queensland 4006. The real property description is Lot 5 on RP800278.

The heritage place occupies a street frontage on Constin Street within a predominantly commercial and mixed use area. The site, approximately 2160 square metres in area, slopes down towards the south.



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The site includes the former factory building which occupied approximately two thirds of the footprint at the northern end, is built to boundary and has openings to the Constin Street frontage including the main entry doors. The site also features an adjacent open carpark to the south which occupies approximately one-third of the site and currently facilitates back of house and service functions including carparking, bins, substation, storage, decks and loading dock.

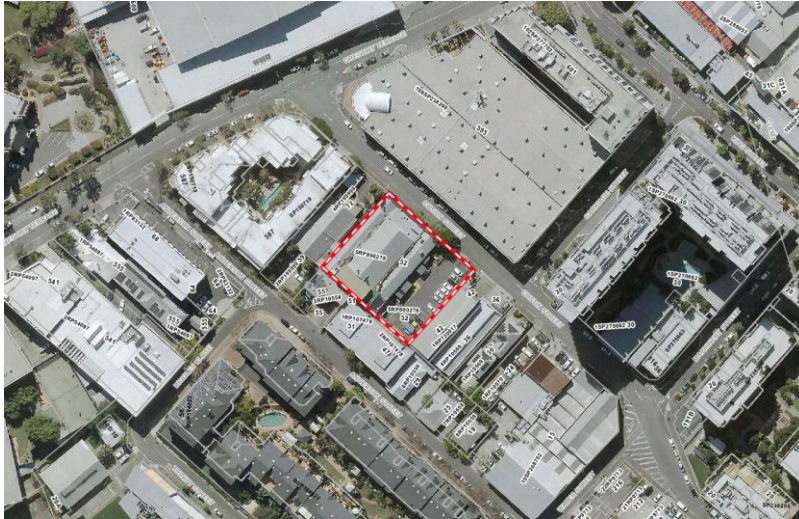


Figure 1: Location of ‘The Tivoli’ within Fortitude Valley shown as an indicative red box. (Source: Queensland Globe, modified by JDA Co.)

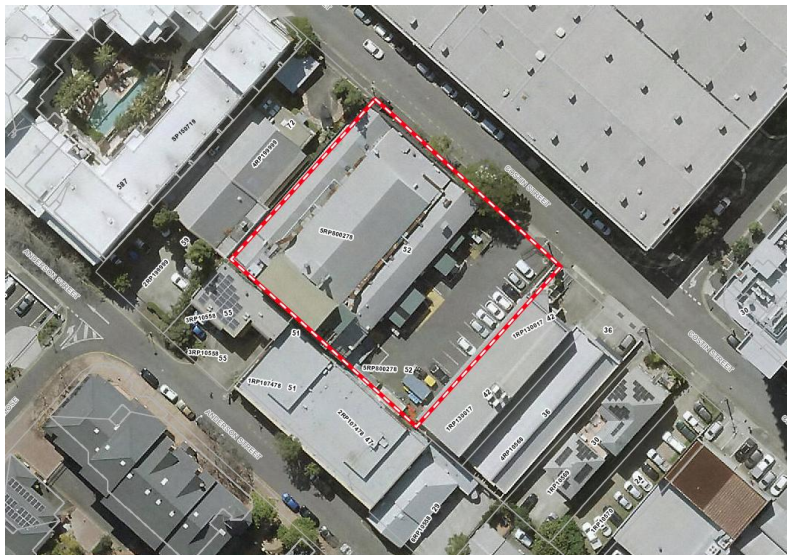


Figure 2: Location of ‘The Tivoli’ within Fortitude Valley on Constin Street. (Source: Queensland Globe, modified by JDA Co.)



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1.3 Heritage Status

‘The Tivoli’ is identified on the Heritage Overlay of the Brisbane City Council City Plan 2014 as a Local Heritage Place. The property, located over a single lot, is listed for its Historical Significance (Criterion A), Aesthetic significance (Criterion E) and Historical Association (Criterion H).

Constructed in 1927 for successful cake manufacturer G E Adams, the building was adapted in 1989 into a theatre and restaurant. In 1999 the Tivoli was purchased by the O’Rourke family who continued to run it as a music venue. The building was purchased in 2016 by current owners of the property, The Tivoli Group.



Figure 3: ‘The Tivoli’ is located on a property with one lot, identified by the red boundary line. The blue hatch indicates that the property is identified as a Local Heritage Place on the Heritage Overlay of the BCC City Plan 2014. (Source: Brisbane City Plan 2014)



Figure 4: Survey Plan of the Tivoli site. (Source: Jensen Bowers)



2.0 Understanding the heritage place

2.1 Brief history

The following summary on history and description of ‘The Tivoli’ is taken from BCC Heritage Places updated Citation Entry. Full citation is attached as an appendix.

History

In the early 1900s, Costin Street, off Gregory Terrace, was a residential neighbourhood with some manufacturing. From the 1890s, industrial activity intensified in Fortitude Valley, as transport opportunities, proximity to the city and concentration of working class residents made the area an attractive proposition for manufacturing. The former Defiance Flour Mill in Constance Street (1904), Keating’s Bread Factory in Warry Street (1907) and McDonalds’s Bakery on St Paul’s Terrace (1930) are other surviving examples of this type of industry in Fortitude Valley.

In 1927, G.E. Adams, a cake manufacturer, acquired the titles for two lots (just over 61 perches) in Costin Street for the purposes of building a modern factory and offices. Two houses on the site were removed and an application for the construction of the factory approved by the Greater Brisbane City Council in 1926. The estimated cost of the building was £6 000 and the builders were A. Stonadge and Son. Sidney W. Prior designed the one storey brick building for Adams.

The cake manufacturing firm of Adams Brothers was established in the southern states in the nineteenth century by G. E. Adams (Sydney) and C. Adams (Melbourne). By the early 1920s, G. E. Adams had formed his own company and established a manufacturing and retail presence in Brisbane. At this time, the firm operated a factory in Warry Street, Spring Hill. Adams expanded into central Queensland and spent £12 000 building new retail shops in Brisbane during the mid-1920s.

The new factory in Costin Street was claimed to be “the most up-to-date and hygienic factory of its kind in Queensland” with electric revolving ovens, modern machinery and a modern freezing plant for the storage of ingredients. The factory produced 14 tons of cake each week. Within two years, the building had been extended and improvements added. By 1946, the additions running the length of the building on the eastern and western sides had been built.

Sidney William Prior, the architect of the building, was born in Croydon in England in 1895. He immigrated to Brisbane with his family in his youth and studied construction and drawing before serving in World War I. Prior was employed as a draftsman by the Commonwealth Government and registered as an architect and designer in Queensland in 1923. Other Brisbane buildings designed by Prior include the Clayfield Memorial School of Arts (1925), Moreton House at Wynnum (1937) and the Redcliffe Council Chambers (1940).

The factory at Costin Street remained in the ownership of G.E. Adams until 1968. It changed hands several times before it was acquired by Ann and Harry Garms in 1989. Garms, a Brisbane entrepreneur, also purchased the neighbouring allotment to the east, increasing the holding to 2160 m².

Garms purchased her first restaurant, the Old Courthouse, at Cleveland in 1977. In the early 1980s, she bought and renovated the 1885 house, ‘Roseville’, at Teneriffe and established the successful Roseville Restaurant. After purchasing the former Adams cake factory, she made extensive internal alterations, adding a balcony and



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stage before opening it as the Tivoli Theatre and Restaurant. In 1999, the Tivoli was purchased by the O'Rourke family who continued to run it as a music venue.

The Tivoli has become a popular entertainment venue attracting both local and international acts, including Bob Dylan, Katy Perry, and the final performance of the Go Betweens in 2005. Many Brisbane music lovers have formed a strong connection to the building and several thousand signatures were collected for its future protection in early 2016.

Description

The Tivoli Theatre (former Adam's Cake Factory) is a one story brick building. It has a front façade of face brick with plain piers set into the wall. These once separated pairs of windows which have been removed and replaced with a continuation of the brick wall. A horizontal decorative brickwork motif adorns the top of the façade.

The front façade has a flat, metal roof. Behind this, the main brick building with its high gabled roof extends towards the rear of the site. Running the length of the main building on either side are additional sections with separate gabled roofs.

A post 1946 addition is located at the rear of the main building bringing the footprint to the boundary. Internally, the building is composed of a large space with a stage located at the southern end. The gabled roof is high with exposed king post trusses. A mezzanine balcony surrounds the western, northern and eastern sides and is reached by a central internal staircase at the Costin Street end of the building.

A bar and toilets are located in the section on the western side of the building.

The building has not been internally inspected. However, it is understood that the ovens of the cake factory have been retained and are located at the rear of the building near the stage.

A car park occupies the eastern section of the site.



2.2 Record of Original Building

2.2.1 Record of Original Buildings

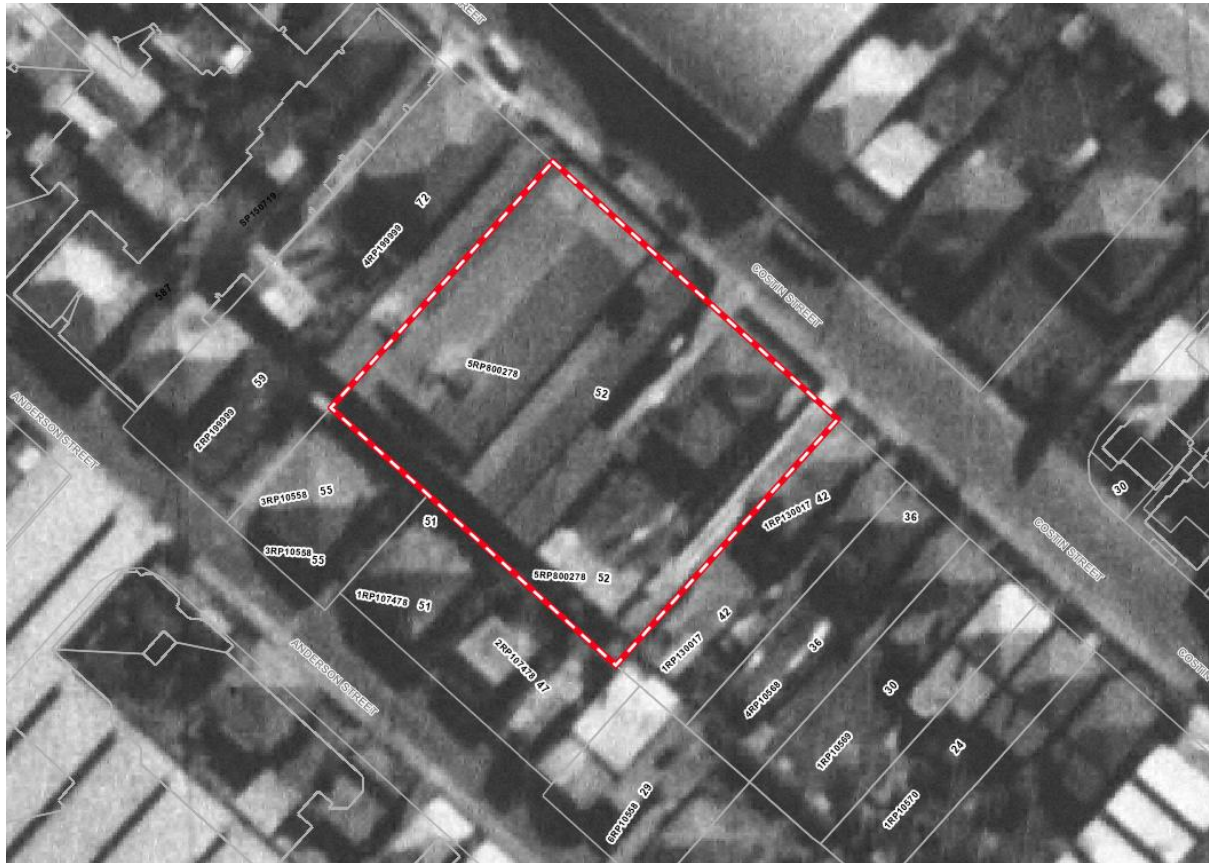


Figure 5: Aerial 1946 (Brisbane City Council)

2.2.2 Record of Works

Note: The following table outlines known works undertaken at ‘The Tivoli’ based on available documentation. This is not a comprehensive record of all alterations to the place, and other undocumented changes may have occurred over time.

Table 1. Record of Works

SCOPE OF WORKS	ARCHITECT	YEAR	CLIENT

Steve we can leave this section out



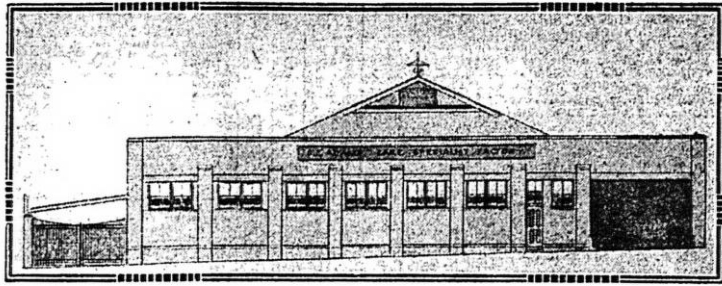

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2.3 Existing Photographs

The following table includes images of ‘The Tivoli’: historical views 1926 and 1930 and a recent street view images 2016, 2018 and current.

These images provide a reference point for the visual evolution of the place and help establish a basic chronology of change over time. The streetscape façade is still somewhat intact with the former windows now infilled.

Table 2. Existing Photographs

Date	Photograph	Detail
1926	<p><i>ELEVATION OF NEW CAKE FACTORY FOR MESSRS. G. E. ADAMS & CO.</i></p>  <p>Messrs. G. E. Adams & Co., cake manufacturers, have signed a contract for the erection of a thoroughly modern and up-to-date cake factory to be erected on a site in Costin-street, Valley. The new factory has been designed to cope with the ever-increasing business of the firm, provision having been made for the installation of the latest machinery to deal with their manufactures in a thoroughly hygienic manner. The designs are from the office of Mr. S. W. Prior, A.Q.I.A., architect, the builders being Messrs. A. Stonadge & Son.</p>	1926 New G. E. Adams Factory elevation.
1930		Advertisement features a 1930 photograph of the head office and factory located in Costin Street, Fortitude Valley, Brisbane.



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2016



Figure 3: View of the Tivoli Theatre from Costin Street (Google Maps)

2018



Figure 4: View of the Tivoli Theatre from Costin Street (Google Maps)

2025



Figure 5: View of the Tivoli Theatre from Costin Street (JDA Co.)



3.0 Heritage Significance

3.1 Introduction

This section provides an overview of the Statements of Significance identified for ‘The Tivoli’.

Statements of Significance identify the recognised heritage values of a place, outlining what is considered important and why. These values relate to the cultural and historical values and associations, and contribution of the place to its broader setting or streetscape.

Understanding these heritage values forms the basis for managing any change to the place to ensure its important attributes are retained or managed sensitively.

3.2 Statement of Significance BCC Local Heritage Register

‘The Tivoli’ is identified as a Local Heritage Place on the Brisbane City Council Local Heritage Register.

The citation provides the following description:

Table 3. Cultural Heritage Significance (Source: Brisbane City Council Local Heritage Places Register)

CRITERION	DESCRIPTION	STATEMENT OF SIGNIFICANCE
Criterion A	The place is important in demonstrating the evolution or pattern of the city's or local area's history	As a former cake factory built in 1927 which provides evidence of the transition of Fortitude Valley from a centre of secondary industry in the 1920s to an entertainment precinct since the 1970s.
Criterion E	The place is important because of its aesthetic significance.	For its evocative combination of an industrial brick exterior with restrained detailing and an interior which includes a large space with distinctive timber roof framing and an attractive theatrical layout with a mezzanine balcony.
Criterion H	The place has a special association with the life or work of a particular person, group or organization of importance in the city's or local area's history	As a live music venue since 1989 which has provided a particular and valued experience to the Brisbane community and to which music enthusiasts have demonstrated a strong attachment.

The following summary on history and description of ‘The Tivoli’ is taken from BCC Heritage Places Citation Entry. Full citation is attached as an appendix.



4.0 Condition Survey

4.1 Introduction

‘The Tivoli’ was surveyed on 1 July 2025 by David Gole. The photographic survey documents the current condition of the place, with a focus on areas relevant to the proposed works. Photographs were taken to record external elements including the external facades, carpark, elements within the carpark and the streetscape setting.

The survey forms part of the supporting documentation to assess the existing condition of the place and inform the heritage impact of the proposed development.

4.2 Photographic Survey



Figure 6: North Corner Elevation from Costin Street



Figure 7: North-East Elevation from Costin Street



Figure 8: East Corner Elevation from Costin Street



Figure 9: View of carpark from Costin Street



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Figure 10: View of carpark from Costin Street

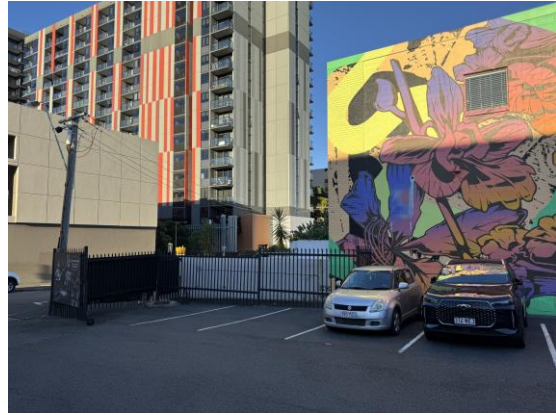


Figure 11: Eastern view of carpark



Figure 12: View of carpark towards north



Figure 13: View of carpark towards south



Figure 14: View of exterior stairs and loading bay



Figure 15: View of East carpark stair entry



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Figure 16: View of East carpark stair entry



Figure 17: View of east entry and substation



Figure 18: Internal view to (non- original) loading dock doors (to be removed)



Figure 19: Internal view of airlock doors and partition (non-original) and to be removed



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Figure 20: Current internal view



Figure 21: Current internal view – bar area

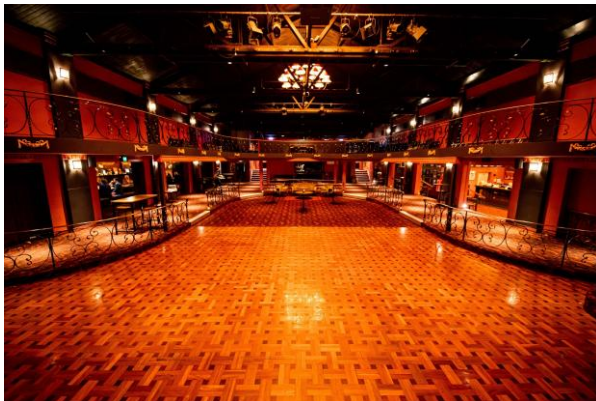


Figure 22: Current internal view (from the stage in the central space) showing non-original interiors



Figure 23: Current internal view – bar area

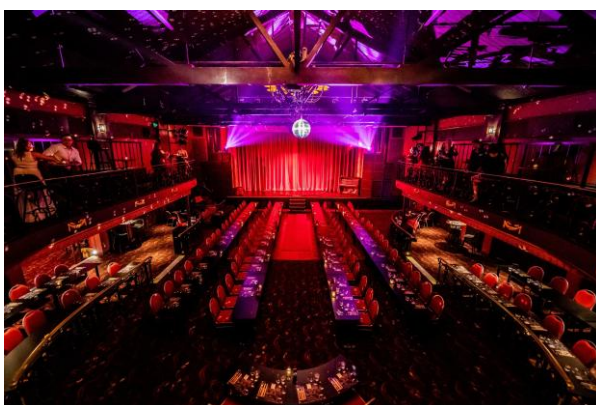


Figure 24: Current internal view (from the stage in the central space) showing non-original interiors



Figure 25: Current internal view (from the stage in the central space) showing non-original interiors



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Figure 26: Existing ductwork on roof



Figure 27: Existing ductwork on roof

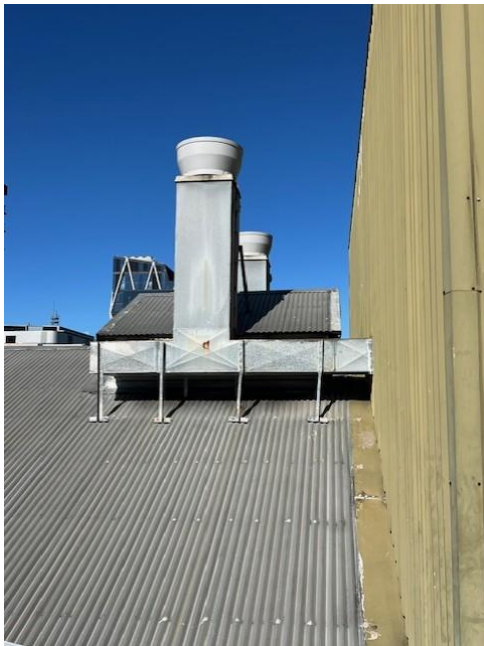


Figure 28: Existing ductwork on roof



Figure 29: Existing ductwork on roof



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Figure 30: Existing ductwork on roof



Figure 31: Existing ductwork on roof



5.0 Proposed Works

5.1 Introduction

The following list outlines the proposed works to ‘The Tivoli’, 52 Constin Street, Fortitude Valley.

These works have been carefully considered to ensure minimal impact on the heritage significance of the site including the heritage fabric and setting. The proposed works are intended to support ‘The Tivoli’s’ ongoing use as a highly valued entertainment and cultural venue.

The works should be ready in conjunction with the proposed architectural documentation submitted with this application.

The proposed new works are located within the carpark portion of the site including;

- Demolition of non-original building fabric (mainly limited to existing stairs, decks and landings) on the south side of the heritage place.
- A new roofed building structure to create an enclosed carpark which can also be used as an indoor/ outdoor entertainment venue and breakout space for the main venue
- A new lightweight streetscape façade to Constin Street
- New amenities, food and beverage bar
- New lift and access stairs
- New sound lock between the existing building and the new enclosed car park
- Reconfigured loading dock, bin storage and general storage
- Upgrade of existing mechanical plant and services including removal of existing ductwork on the roof



6.0 Assessment of heritage impact

6.1 Assessment against heritage significance

The proposed building and site works at ‘The Tivoli’, 52 Constin Street, Fortitude Valley are not expected to have a detrimental impact on the cultural heritage significance of the place.

The works modify and impact on non-original elements, improve site use, functionality and security and greatly enhance the ongoing use of the place as a key cultural and entertainment venue. All interventions have been carefully designed to remain sympathetic to the established heritage values and character of the site.

The proposal has been assessed against the relevant criteria of the Brisbane City Council Local Heritage Places Register as follows:

Table 4. Proposed Works and Effect response to Heritage Listing Criteria

CRITERIA	DESCRIPTION	PROPOSED WORKS AND EFFECT
Criterion A	The place is important in demonstrating the evolution or pattern of the city's or local area's history	As a former cake factory built in 1927 which provides evidence of the transition of Fortitude Valley from a centre of secondary industry in the 1920s to an entertainment precinct since the 1970s.
Criterion E	The place is important because of its aesthetic significance.	For its evocative combination of an industrial brick exterior with restrained detailing and an interior which includes a large space with distinctive timber roof framing and an attractive theatrical layout with a mezzanine balcony.
Criterion H	The place has a special association with the life or work of a particular person, group or organization of importance in the city's or local area's history	As a live music venue since 1989 which has provided a particular and valued experience to the Brisbane community and to which music enthusiasts have demonstrated a strong attachment.

6.2 Assessment against BCC City Plan Heritage Overlay Code

6.2.1 BCC City Plan Heritage Overlay Code

The Heritage Overlay Code within BCC City Plan 2014 is applicable to the assessment of this proposal as it involves building work to a Local Heritage Place. The purpose of this Code is to ensure that the development proposed does not detract from the cultural heritage significance of the Heritage Place (Section 8.2.12.2 (2) (a)).

In assessing proposed building work, the Heritage Overlay Code permits no adverse impact on the identified cultural significance of the Place. The relevant Performance Outcomes for assessment of this proposal are found in Table 8.2.12.3 of City Plan 2014 (see below).

Table 8.2.12.3—Self-assessable and assessable development

PERFORMANCE OUTCOMES

ACCEPTABLE OUTCOMES



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Section A – Criteria for the Local heritage place sub-category or State heritage place sub-category

P01 Development provides for the future protection of the heritage place and does not damage or diminish its cultural heritage significance. Note – Where necessary, a heritage impact assessment report is prepared verifying the proposal is in accordance with The Australia ICOMOS Burra Charter .	A01 No acceptable outcome is prescribed.
P02 Development is based on and takes account of all aspects of the cultural significance of the heritage place. Note – Where necessary, a heritage impact assessment report is prepared verifying the proposal is in accordance with the Guidelines to the Burra Charter-Cultural Significance .	A02 No acceptable outcome is prescribed.
P03 Development protects the fabric and setting of the heritage place while providing for its use, interpretation and management. Note – Where necessary, a heritage impact assessment report is prepared verifying the proposal has been prepared in accordance with the Guidelines to the Burra Charter-Conservation Policy .	A03 No acceptable outcome is prescribed.
P04 Development is based on the issues relevant to the conservation of the heritage place. Note – Where necessary, a heritage impact assessment report is prepared verifying the proposal is in accordance with the Guidelines to the Burra Charter-Procedures for Undertaking Studies and Reports .	A04 No acceptable outcome is prescribed.
P05 Development does not impair any culturally significant attributes of the heritage place identified by the Aboriginal people for whom the heritage place is significant. Note – Heritage places with Aboriginal cultural values are assessed by a suitably qualified person and as detailed in the Heritage planning scheme policy .	A05 No acceptable outcome is prescribed.



6.3 Response to Performance Outcomes

The following responses address the applicable Performance Outcomes (PO1–PO5) of the Brisbane City Plan 2014 Heritage Overlay Code, in relation to the proposed development at ‘The Tivoli’, 52 Constin Street, Fortitude Valley.

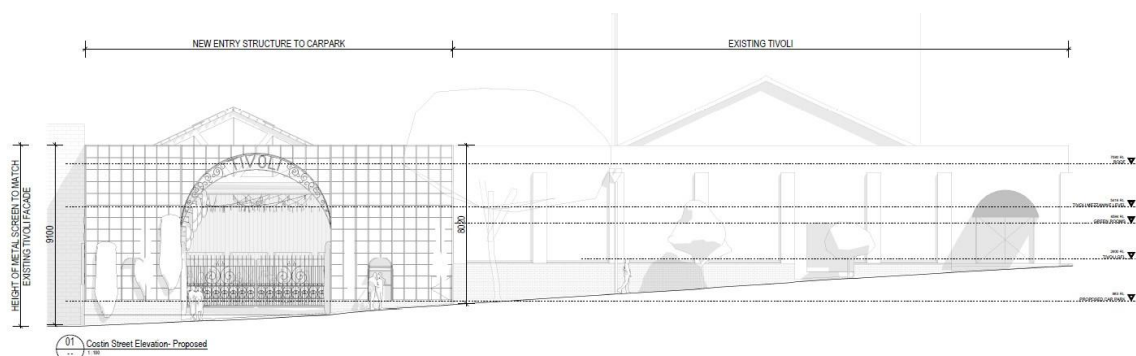
PO1 - Development provides for the future protection of the heritage place and does not damage or diminish its cultural heritage significance.

Response:

The proposed works provide for the future protection of the place through new additions in the existing carpark space enhancing its ongoing use and functionality as a cultural venue. The project seeks to transform the existing carpark into a music venue and breakout space, thereby ensuring the ongoing functionality and viability of the place. On going use and will ensure the future protection of the heritage place and maintain the values in Criterion H, the place as a a live music venue since 1989.

The proposed works do not damage or diminish the heritage significance of the place based on the listing Criteria A and E. The proposed works do not remove significant building fabric and new additions are sensitively designed and integrated to retain the legibility (and evidence) of the former factory building façade, the industrial brick exterior, the roofscape and street presence. The existing former factory façade and roofscape is retained with new sympathetic additions added.

The proposed works remove some non original elements to the south (mainly external decks, stairs and landings located within the existing carpark and internal non-original airlock with doors) and do not impact on original heritage fabric. The new additions in the existing open carpark to the south are light weight, contemporary in materiality, sympathetic in form and scale and do not impact on original fabric. The proposed works retain the relatively intact street view to Constin Street, with the new façade clearly legible as a new addition using contemporary light weight screening materials as well as being sympathetic in scale and form. The new addition picks up on the datum of the parapet of the heritage place, with the top of the new screen element directly aligning with the top of the existing parapet. The new roof element references the original gabled roof but is smaller in scale and uses contemporary materials (refer to the Constance Street Elevation below)



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Upgrading building services includes new mechanical ventilation, removing the existing intrusive ductwork from the roofscape.

The project also facilitates the upgrading of security with a new secure façade on Constin Street, protecting the place which is currently open from the existing carpark on the southern façade.

PO2 - Development is based on and takes account of all aspects of the cultural significance of the heritage place.

Response: The cultural significance and values of the ‘The Tivoli’ are articulated in the local listing under Criterion A,E and H. Under Criterion A the significance is *as a former cake factory built in 1927 which provides evidence of the transition of Fortitude Valley from a centre of secondary industry in the 1920s to an entertainment precinct since the 1970s*, under Criterion E significance is *for its evocative combination of an industrial brick exterior with restrained detailing and an interior which includes a large space with distinctive timber roof framing and an attractive theatrical layout with a mezzanine balcony* and under Criterion H, significance is *as a live music venue since 1989 which has provided a particular and valued experience to the Brisbane community and to which music enthusiasts have demonstrated a strong attachment*.

The proposed works retain the former factory building Constin Street elevation and roof forms and remove some non-original building fabric on the carpark side of the building to the south, thereby taking account of the cultural significance identified in the listing citation under Criterion A and E. The proposed works do not remove significant building fabric and new additions are sensitively designed and integrated to retain the legibility (and evidence) of the former factory building façade, the industrial brick exterior, the roofscape and street presence. The existing former factory façade and roofscape is retained with new sympathetic additions added.

The proposed works enhance Criterion H, retaining and supporting the ongoing use of the building as an entertainment and cultural venue for Brisbane. The works support the functionality of the venue and add additional security to the southern façade of the building through the new Constin Street façade and gates.

PO3 - Development protects the fabric and setting of the heritage place while providing for its use, interpretation and management.

Response: The proposed works protect the fabric of the place. Existing significant fabric associated with the former factory building and entertainment venue from the 1980’s is retained and conserved. There is no removal of original fabric. The proposed works remove some non original building fabric to the south (mainly external decks, stairs and landings located within the existing carpark and internal non-original airlock with doors) and do not impact on original heritage fabric.

The proposed works protects the setting of the heritage place through the retention of the original Constin Street façade and roofscape (the former factory building). The new additions to the south on Constin Street are clearly contemporary, sympathetic in design and subservient in scale and form, with the new roof element below the existing.



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The proposed works ensure the ongoing use of the former factory building as a viable and functional entertainment and cultural venue with enhanced security.

The proposed works enable viable ongoing use of the building as an entertainment and key cultural venue by providing an additional new space as a second venue or breakout space from the main venue. This ensures the ongoing viability of the place into the future.

The design of the proposed new works appropriately interprets the place through the new works being clearly contemporary and legible (in accordance with the Australia ICOMOS Burra Charter – Article 15, Change and Article 22; *New Work – 22.1 New work such as additions to the place may be acceptable where it does not distort or obscure the cultural significance of the place, or detract from its interpretation or appreciation and 22.2 New work should be readily identifiable as such*).

The evidence of the former factory building is retained with the brick façade, evidence of former openings and roofscape clearly legible and differentiated from the new additions through material selection and detailing. The new metal mesh façade respects the datum of the adjacent former factory building parapet and the roof of the new structure is a gable of the same (refer to the Constance Street 3D view below)



PO4 - Development is based on the issues relevant to the conservation of the heritage place.

Response: Development on the site is based on the issues relevant to the conservation of the place as demonstrated through the approach to the new development to;

- Retaining original fabric including the former factory building with the Constance Street façade and gabled roofscape. This is the evidence of the former factory building and entertainment venue from the 1980's
- Removal of minimal non-original fabric on the southern façade



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- Providing a new addition which is sympathetic in form, scale, materiality and is designed to reference the original former factory building façade, picking up on the datum of the existing parapet and the referencing the original roof forms.
- Providing a new addition which enables ongoing use as a cultural and entertainment venue for Brisbane, ensuring future viability and flexibility with a second space that can be used as both a venue and breakout space.

PO5 - Development does not impair any culturally significant attributes of the heritage place identified by the Aboriginal people for whom the heritage place is significant.

Response: No known culturally significant attributes of the heritage place have been identified by Aboriginal people



7.0 Conclusion

This report establishes that ‘The Tivoli’ has been substantially changed since the 1980’s with significant alterations.

Proposed works are required to facilitate on going functionality and viability of the site as a key cultural and entertainment venue. These works primarily impact on the South – East elevations of ‘The Tivoli’. This elevation has already been substantially altered and the impact is on non-original elements and building fabric.

This report demonstrates that the proposed works retain the values identified in the local listing criteria A, E and H, have no impact on original fabric, building form or setting and are appropriately managed and mitigated through the well considered design for the new addition.

It is recommended that the proposed works are favourably considered.



8.0 Appendix

8.1 Brisbane City Council Listing



Heritage Citation

Tivoli Theatre

Key details

Also known as	Adams Cake Factory
Addresses	At 52 Costin Street, Fortitude Valley, Queensland 4006
Type of place	Factory
Period	Interwar 1919-1939
Style	Warehouse
Lot plan	L5_RP800278
Key dates	Local Heritage Place Since — 29 November 2019 Date of Citation — April 2016
People/associations	Sidney William Prior (Architect)
Criterion for listing	(A) Historical; (E) Aesthetic; (H) Historical association

This brick building was constructed in Costin Street in 1927 as a factory and office for successful cake manufacturer G E Adams. It was designed by Brisbane architect, Sidney W. Prior.

In 1989, the site was purchased by restaurateur, Ann Garms, who extensively remodelled the interior of the former factory and opened it as the Tivoli Theatre and Restaurant. Since that time, the Tivoli, which can hold 700 seated or 1500 standing patrons, has become a popular live music venue in Brisbane.

History

In the early 1900s, Costin Street, off Gregory Terrace, was a residential neighbourhood with some manufacturing. From the 1890s, industrial activity intensified in Fortitude Valley, as transport opportunities,



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proximity to the city and concentration of working class residents made the area an attractive proposition for manufacturing. The former Defiance Flour Mill in Constance Street (1904), Keating's Bread Factory in Warry Street (1907) and McDonalds's Bakery on St Paul's Terrace (1930) are other surviving examples of this type of industry in Fortitude Valley.

In 1927, G.E. Adams, a cake manufacturer, acquired the titles for two lots (just over 61 perches) in Costin Street for the purposes of building a modern factory and offices. Two houses on the site were removed and an application for the construction of the factory approved by the Greater Brisbane City Council in 1926. The estimated cost of the building was £6 000 and the builders were A. Stonadge and Son. Sidney W. Prior designed the one storey brick building for Adams.

The cake manufacturing firm of Adams Brothers was established in the southern states in the nineteenth century by G. E. Adams (Sydney) and C. Adams (Melbourne). By the early 1920s, G. E. Adams had formed his own company and established a manufacturing and retail presence in Brisbane. At this time, the firm operated a factory in Warry Street, Spring Hill. Adams expanded into central Queensland and spent £12 000 building new retail shops in Brisbane during the mid-1920s.

The new factory in Costin Street was claimed to be “the most up-to-date and hygienic factory of its kind in Queensland” with electric revolving ovens, modern machinery and a modern freezing plant for the storage of ingredients. The factory produced 14 tons of cake each week. Within two years, the building had been extended and improvements added. By 1946, the additions running the length of the building on the eastern and western sides had been built.

Sidney William Prior, the architect of the building, was born in Croydon in England in 1895. He immigrated to Brisbane with his family in his youth and studied construction and drawing before serving in World War I. Prior was employed as a draftsman by the Commonwealth Government and registered as an architect and designer in Queensland in 1923. Other Brisbane buildings designed by Prior include the Clayfield Memorial School of Arts (1925), Moreton House at Wynnum (1937) and the Redcliffe Council Chambers (1940).

The factory at Costin Street remained in the ownership of G.E. Adams until 1968. It changed hands several times before it was acquired by Ann and Harry Garms in 1989. Garms, a Brisbane entrepreneur, also purchased the neighbouring allotment to the east, increasing the holding to 2160 m².

Garms purchased her first restaurant, the Old Courthouse, at Cleveland in 1977. In the early 1980s, she bought and renovated the 1885 house, ‘Roseville’, at Teneriffe and established the successful Roseville Restaurant. After purchasing the former Adams cake factory, she made extensive internal alterations, adding a balcony and stage before opening it as the Tivoli Theatre and Restaurant. In 1999, the Tivoli was purchased by the O'Rourke family who continued to run it as a music venue.

The Tivoli has become a popular entertainment venue attracting both local and international acts, including Bob Dylan, Katy Perry, and the final performance of the Go Betweens in 2005. Many Brisbane music lovers have formed a strong connection to the building and several thousand signatures were collected for its future protection in early 2016.

Description



“The Tivoli” Heritage Impact Statement

The Tivoli Theatre (former Adam’s Cake Factory) is a one story brick building. It has a front façade of face brick with plain piers set into the wall. These once separated pairs of windows which have been removed and replaced with a continuation of the brick wall. A horizontal decorative brickwork motif adorns the top of the façade.

The front façade has a flat, metal roof. Behind this, the main brick building with its high gabled roof extends towards the rear of the site. Running the length of the main building on either side are additional sections with separate gabled roofs.

A post 1946 addition is located at the rear of the main building bringing the footprint to the boundary.

Internally, the building is composed of a large space with a stage located at the southern end. The gabled roof is high with exposed king post trusses. A mezzanine balcony surrounds the western, northern and eastern sides and is reached by a central internal staircase at the Costin Street end of the building.

A bar and toilets are located in the section on the western side of the building.

The building has not been internally inspected. However, it is understood that the ovens of the cake factory have been retained and are located at the rear of the building near the stage.

A car park occupies the eastern section of the site.

Statement of significance

Relevant assessment criteria

This is a place of local heritage significance and meets one or more of the local heritage criteria under the Heritage planning scheme policy of the *Brisbane City Plan 2014*. It is significant because:

Historical

CRITERION A

The place is important in demonstrating the evolution or pattern of the city’s or local area’s history

as a former cake factory built in 1927 which provides evidence of the transition of Fortitude Valley from a centre of secondary industry in the 1920s to an entertainment precinct since the 1970s.



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Aesthetic

CRITERION E

The place is important because of its aesthetic significance

for its evocative combination of an industrial brick exterior with restrained detailing and an interior which includes a large space with distinctive timber roof framing and an attractive theatrical layout with a mezzanine balcony.

Historical association

CRITERION H

The place has a special association with the life or work of a particular person, group or organization of importance in the city's or local area's history

as a live music venue since 1989 which has provided a particular and valued experience to the Brisbane community and to which music enthusiasts have demonstrated a strong attachment.

References

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3. BCC Detail Plan 213, dated July 1916
4. Department of Natural Resources and Mines, Queensland Certificates of Title
5. Queensland. Post Office Directories
6. Digitised newspapers and other records. <http://trove.nla.gov.au/newspaper>
7. Brisbane Courier, 18 Nov 1921, p11
8. *Brisbane Courier*, 21 Dec 1929, p.10
9. *Evening News* (Rockhampton), 24 Jun 1926, p.4.
10. *Sunday Mail*, 21 Aug 1927, p.13.
11. *Truth* (Brisbane), 11 Nov 1928.
12. *Queenslander*, 1 Oct 1931, p.3.
13. *Evening News* (Sydney), 18 Jul 1931, p.3.



8.2 Proposed Drawings

This appendix includes selected drawing excerpts that illustrate the scope and intent of the proposed works.

The full architectural drawing set is included as a separate PDF attachment accompanying this application.

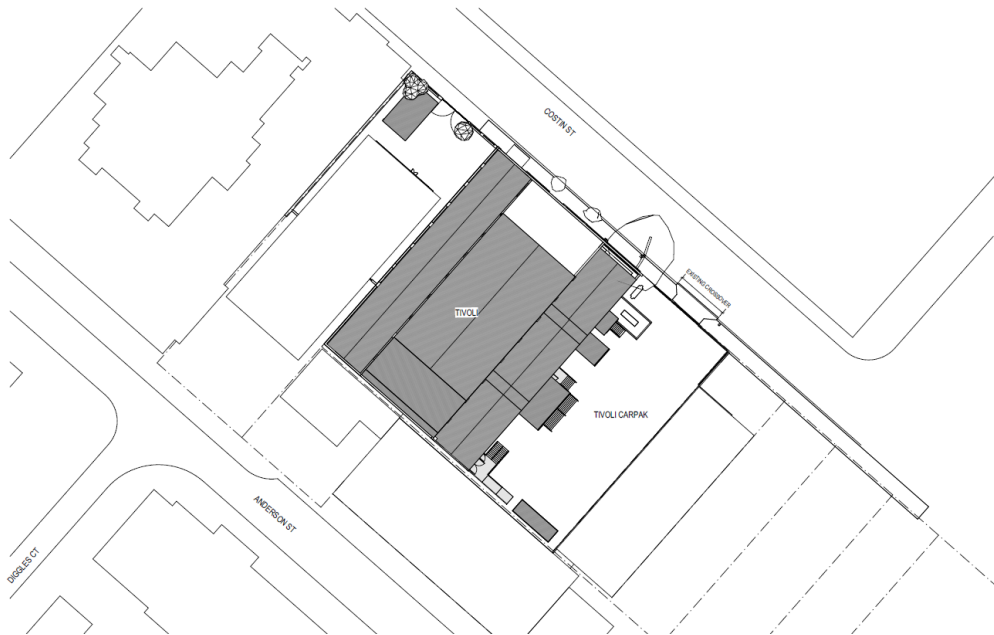


Figure 32: Existing Site Plan (Source: JDA Co.) – refer attached PDF for full drawing

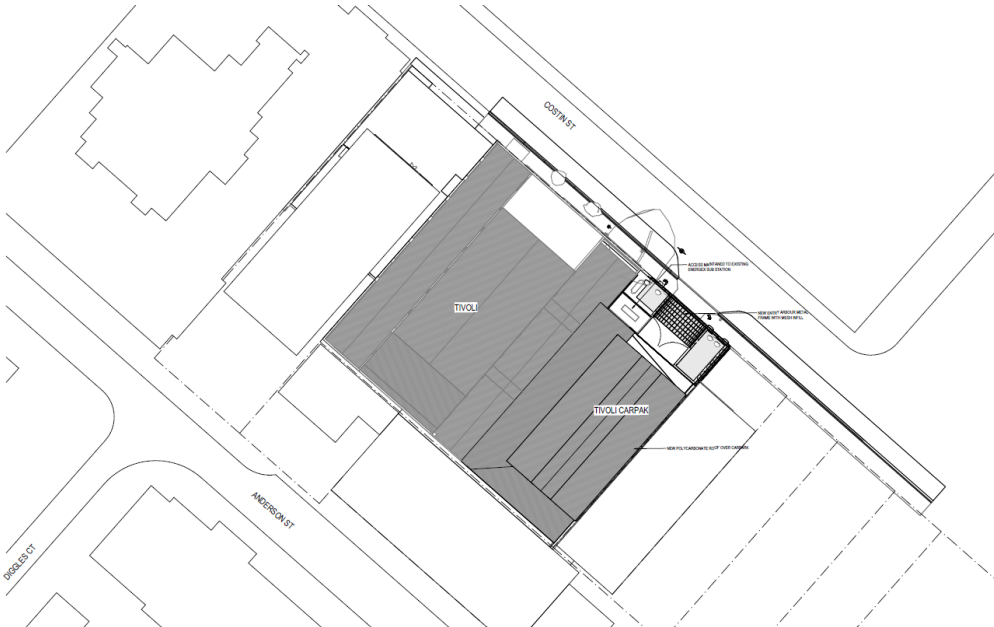


Figure 33: Proposed Site Plan (Source: JDA Co.) – refer attached PDF for full drawing



"The Tivoli" Heritage Impact Statement

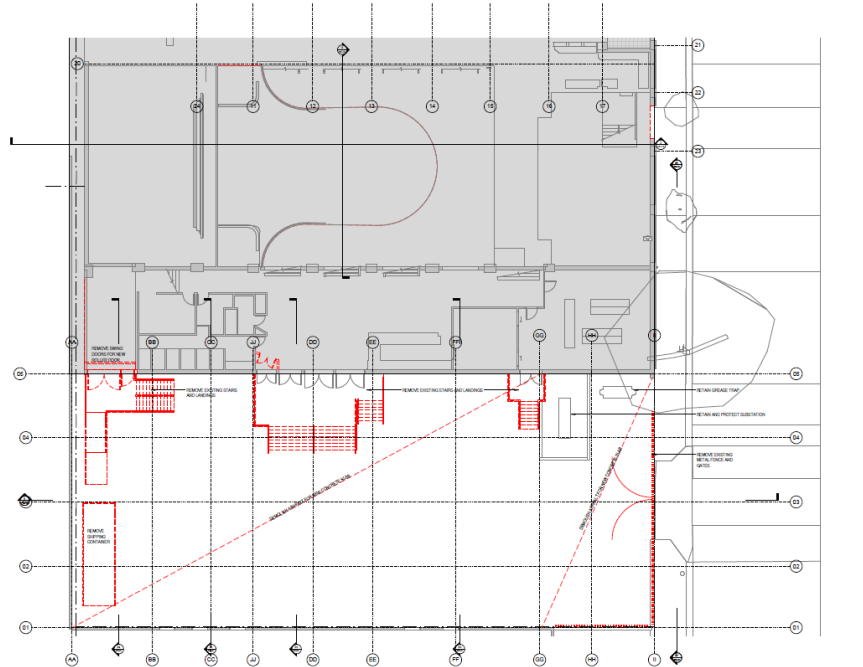


Figure 34: Existing/Demo Floor Plan (Source: JDA Co.) – refer attached PDF for full drawing

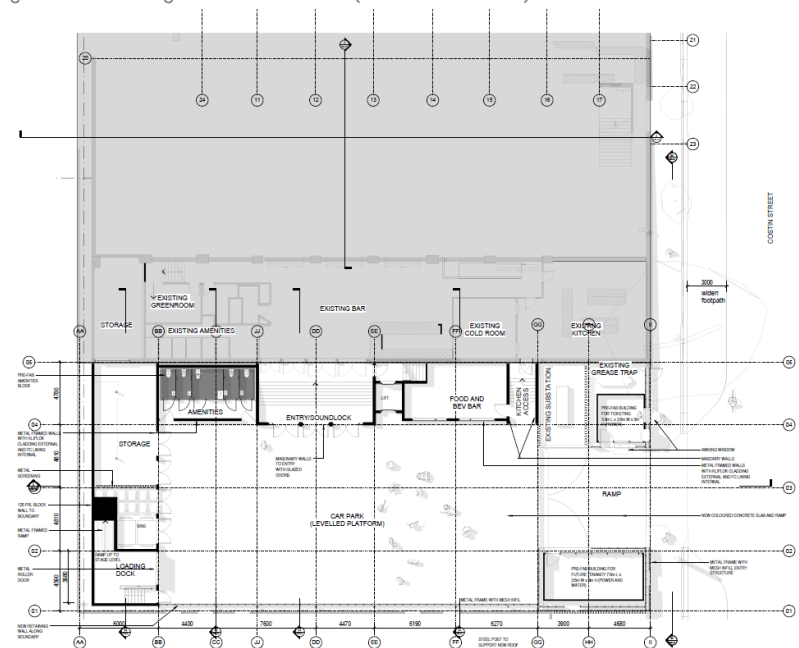


Figure 35: Proposed Carpark Floor Plan (Source: JDA Co.) – refer attached PDF for full drawing



"The Tivoli" Heritage Impact Statement

JDA Co.

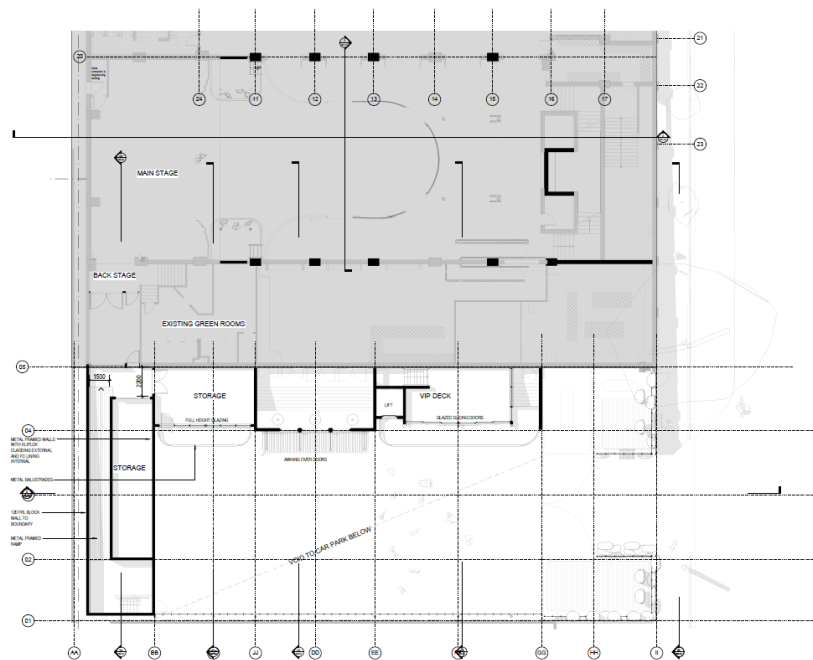


Figure 36: Proposed Carpark upper Floor Plan (Source: JDA Co.) – refer attached PDF for full drawing

