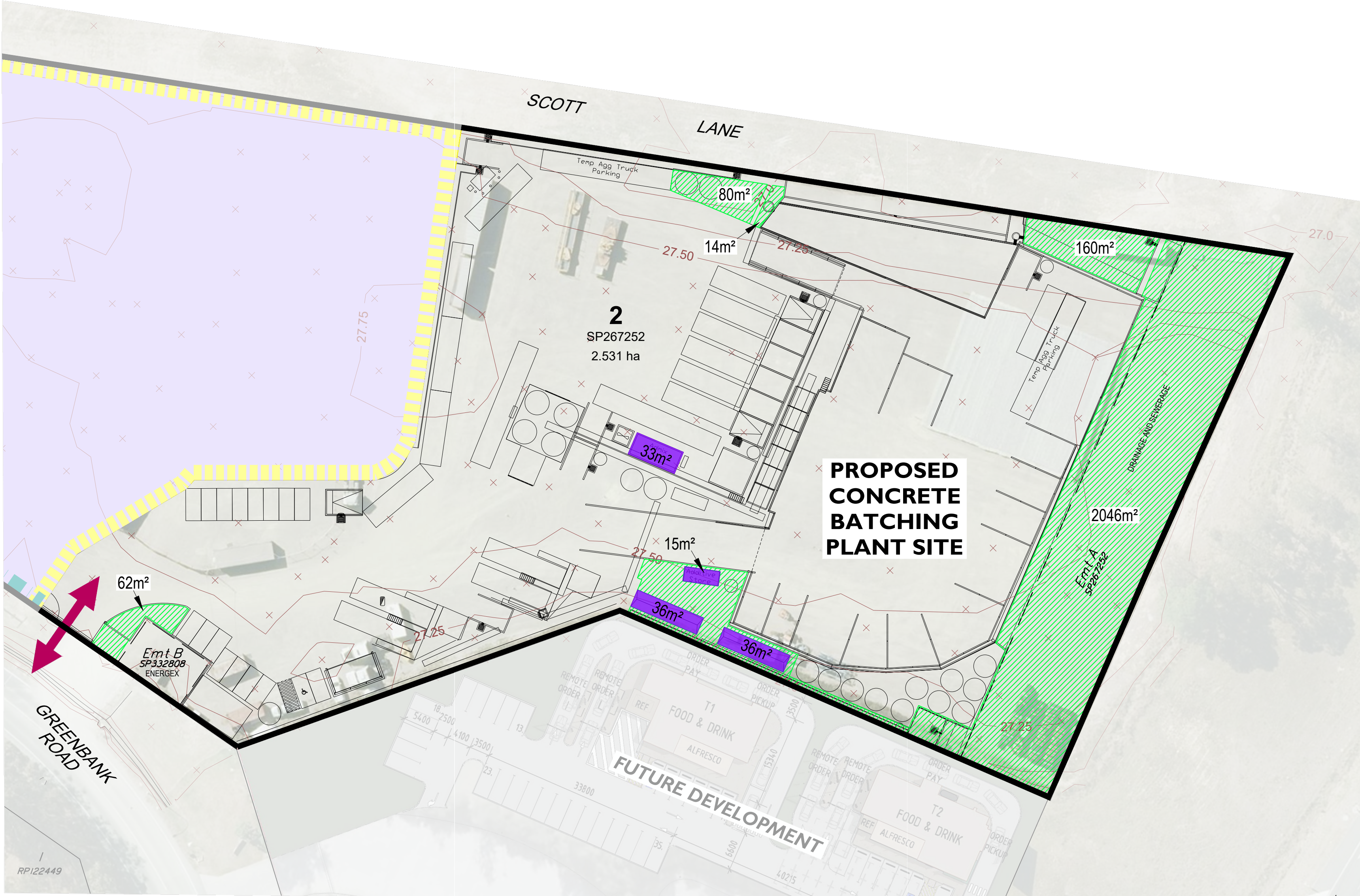




DEVELOPMENT STANDARDS

All engineering works are to comply with the PDA Guideline No. 13 Engineering Standards, dated September 2017. Driveway construction is to be in accordance with Council standards.

TABLE 1

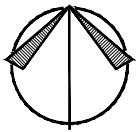
Approved Uses	Car Parking Rate
Low Impact Industry	1 space per 50m² of GFA up to 500m²; plus 1 space per 100m² of GFA thereafter
Service Industry	1 space per 25m² of GFA
Warehouse	1 space per 100m² of GFA

LEGEND:

- Site Boundary
- Low Impact Industry, Service Industry and Warehouse Land Use
- Indicative Future Trunk Sewage Pump Station Location (Land Dedication)
- 2m Landscape & Building Exclusion Zone
- Indicative min. 3m Landscape & Stormwater Treatment Area
- Optional Build to Boundary Wall
- Indicative Site Ingress & Egress

- PROPOSED INDICATIVE LANDSCAPED AREA
TOTAL AREA WITHIN STAGE 1 = approx. 2693m² / 20.5%
TOTAL AREA WITHIN STAGE 1 (excluding Easement A on SP267252) = approx. 1084m² / 12.1%
- PROPOSED SITE COVER
TOTAL AREA WITHIN STAGE 1 = approx. 120m² / 0.9%
TOTAL AREA OF HANDSTAND STAGE 1 = approx. 9534m² / 73%

PLAN REF: AU015412-POD-4c
DATE: 10 JULY 2025
CLIENT: NERANG PASTORAL CO. PTY LTD
DRAWN: BJB
SCALE (A2): 1:500
SHEET: 1 of 3



SITE PLAN - STAGE 1

Lot 2 on SP267252
916 - 944 GREENBANK ROAD, NORTH MACLEAN



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2024/1583
Date: 6 August 2025



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ABN 97 117 883 173
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DESIGN CRITERIA

- Development is to be in accordance with the provision of the Industry and Business Area -PDA Guideline No. 10 (May 2015 version), except for the following provisions:
- A. All advertising devices are to be in accordance with Logan City Council's Planning Scheme.
 - B. End of trip facilities are to be provided within all tenancies as per Guideline 10 - Industry and business areas.
 - C. All refuse storage areas, materials, plant areas and services will be suitably screened to all boundaries.
 - D. Buildings are shaped, designed and finished so that the maximum length of unvaried or unarticulated (blank) wall does not exceed 20 metres (unless facing a side or rear property boundary).
 - E. Roofing materials are pre coloured and non-reflective.
 - F. Glazing treatment must use non-reflective materials/products.
 - G. Where buildings face the public realm areas, including streets, parks and walkways, significant overlooking and surveillance opportunities must be incorporated with positive CPTED practice. Where public use walkways are incorporates between or within sites, the buildings must front activated zones to these walkways in accordance with positive CPTED practice.
 - H. All service areas, plant and air conditioning plant is to be screened, integrated into the building, or located on the roof with screening.
 - I. Maximum 75% site cover may be achieved, as per *Guideline 10 - Industry and business areas*, for the Low Impact Industry, Service Industry and Warehouse land uses site, independent of the maximum site cover of 75% for the concrete batching plant site. Land uses without built form outcomes are limited to using 75% of site area in total.
 - J. Greenbank Road and Scott Lane frontage:
 - Building development along the Scott Lane must be setback a minimum of 2.0 metres;
 - Any building located within 3.0m of Greenbank Road must include an articulated facade and a minimum of 2 colours (which may contain glazing).
 - Land uses without built form outcomes must also adhere to a 2.0 metre setback to Scott Lane
 - K. Zero setbacks to side and rear boundaries will be permitted subject to sight lines and other constraints affecting adjoining development.
 - L. Bicycle parking will be provided at the rate of one space per five car parking spaces.
 - M. Landscaping:-
 - Preference is to be given to utilising plant species that are native and endemic to the area and are low maintenance species.
 - All street frontages, not developed as Built to Boundary buildings will require a 2.0m minimum width landscape strip, except at vehicular and pedestrian access points.
 - A minimum of 5% of total site area must be used for landscaping.
 - Land uses without built form outcomes must also adhere to the above landscaping requirements.
 - N. Car parking:-
 - Car parking will be provided in accordance with Table 1.
 - Service vehicles must enter and leave the Site in a forward direction.
 - Where an onsite refuse collection area is provided, access and manoeuvring areas are designed and provided to enable access by a refuse collection vehicle based on the Design Service Vehicle in Austroads/Standards Australia HB72 Design Vehicles and Turning Path Templates.
 - All premises are identified by the provision of a street number in a prominent location, preferably near the site entry, i.e. on the kerb or letterbox or by signage on the building or site.
 - O. Clear and safe pedestrian movement must be maintained throughout the site.
 - P. For non-built form outcomes on the site, land uses must adhere to points A, C, H, I, J, N, M and O.

DEVELOPMENT STANDARDS

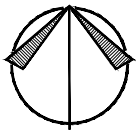
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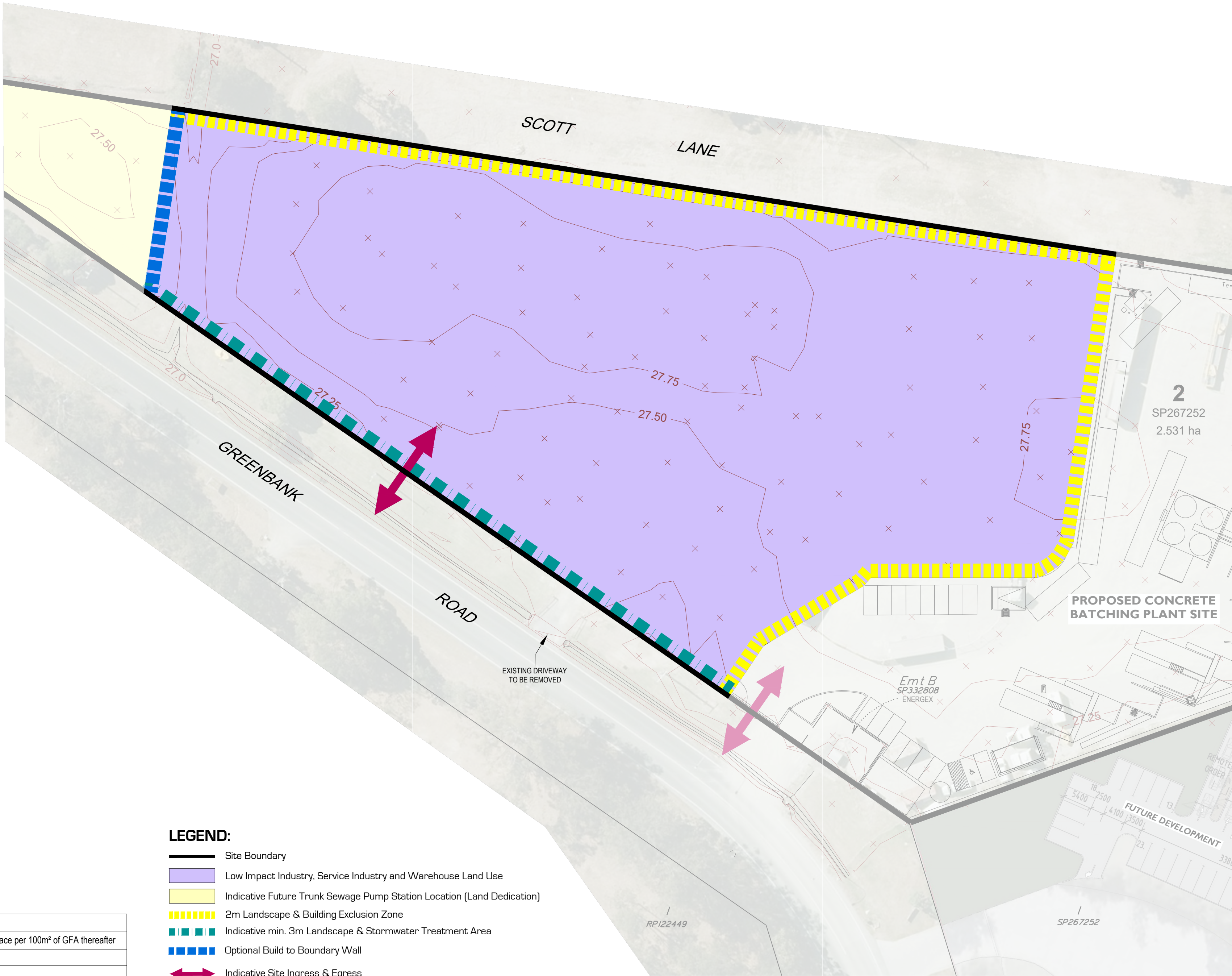
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SITE PLAN - STAGE 2

Lot 2 on SP267252
916 - 944 GREENBANK ROAD, NORTH MACLEAN



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2024/1583
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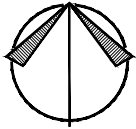
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DATE: 10 JULY 2025
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DRAWN: BJB
SCALE (A2): 1:1000
SHEET: 3 of 3



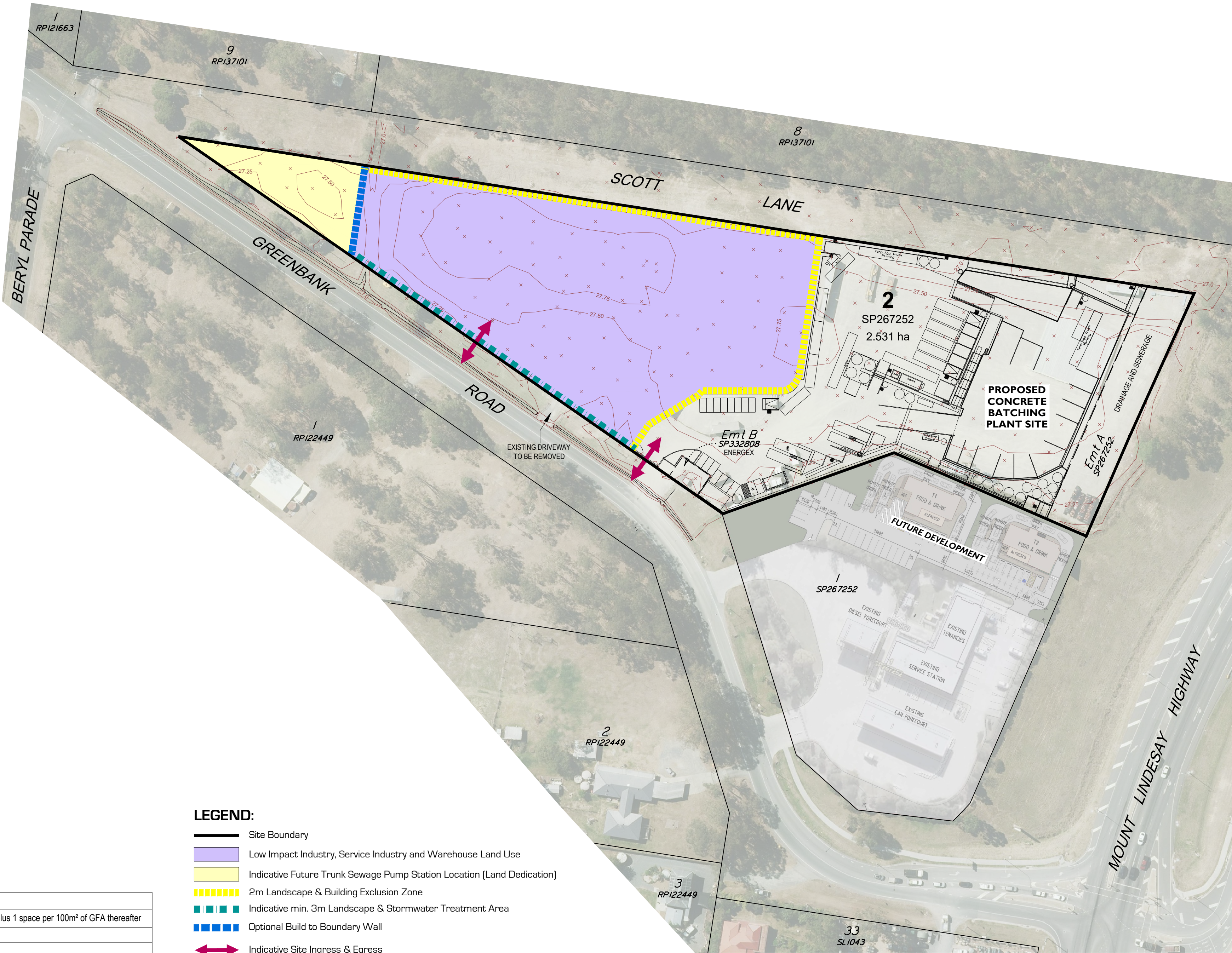
SITE PLAN - ALL STAGES

Lot 2 on SP267252
916 - 944 GREENBANK ROAD, NORTH MACLEAN



LEGEND:

- Site Boundary
- Low Impact Industry, Service Industry and Warehouse Land Use
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