

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL


Queensland
Government

Approval no: DEV2024/1583

Date: 6 August 2025



Nucrush | Greenbank Rd

LANDSCAPE PLAN - GREENBANK ROAD, NORTH MACLEAN

09/06/2025

015412_Nucrush_Greenbank Rd [03]

This report has been prepared by RPS for Nucrush Pty Ltd ('the Applicant') in support of a Priority Development Area (PDA) Development Application for a Material Change of Use to establish a concrete batching plant and other industrial uses on the subject site at 916-944 Greenbank Road, North Maclean.

The application is submitted to Economic Development Queensland (EDQ) as the delegate for the Minister for Economic Development Queensland (MEDQ) for PDA Development Applications in the Greater Flagstone Priority Development Area (GFPDA).

- The Development Application is comprised of the following components:
- PDA Development Permit for Material Change of Use for Medium impact industry (Concrete batching plant); and
 - PDA Development Permit for Material Change of Use for a Plan of Development for Low impact industry, Service industry and Warehouse land uses.



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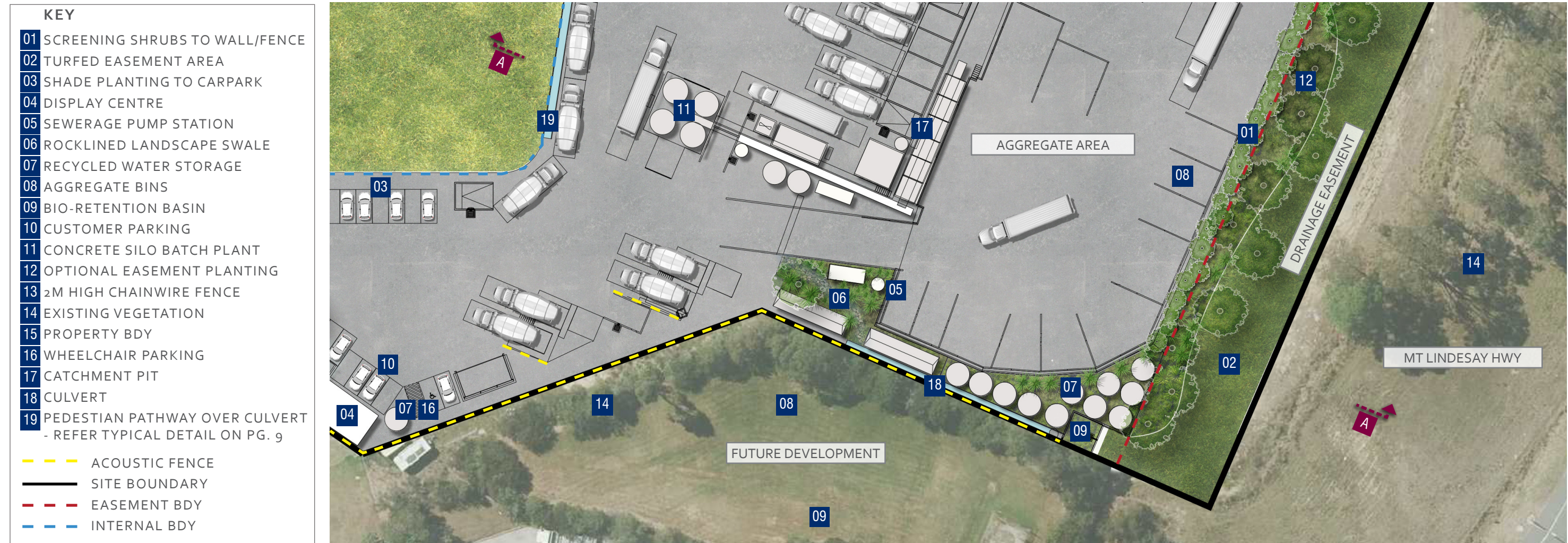
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- KEY
- 01 SCREEN PLANTINGS
 - 02 TURFED EASEMENT AREA
 - 03 CARPARK
 - 04 DISPLAY CENTRE
 - 05 SEWERAGE PUMP STATION
 - 06 RECYCLED WATER STORAGE
 - 07 AGGREGATE AREA
 - 08 TRANSFORMER
 - 09 BIO-RETENTION BASINS
 - 10 CONCRETE BATCH PLANT SILOS
 - 11 EXISTING VEGETATION
 - 12 DETENTION BASIN
 - 13 LANDSCAPE BUFFER

- SITE BOUNDARY (LOT 2 SP 267252 | 2.532 ha)
- STAGE 2 PLAN OF DEVELOPMENT
- INDICATIVE FUTURE TRUNK SEWERAGE PUMP STATION LOCATION
- 2m LANDSCAPE & BUILDING EXCLUSION ZONE
- INDICATIVE MIN 3M LANDSCAPE AND STORMWATER TREATMENT ZONE
- OPTIONAL BUILD TO BDY WALL
- INDICATIVE SITE INGRESS AND EGRESS





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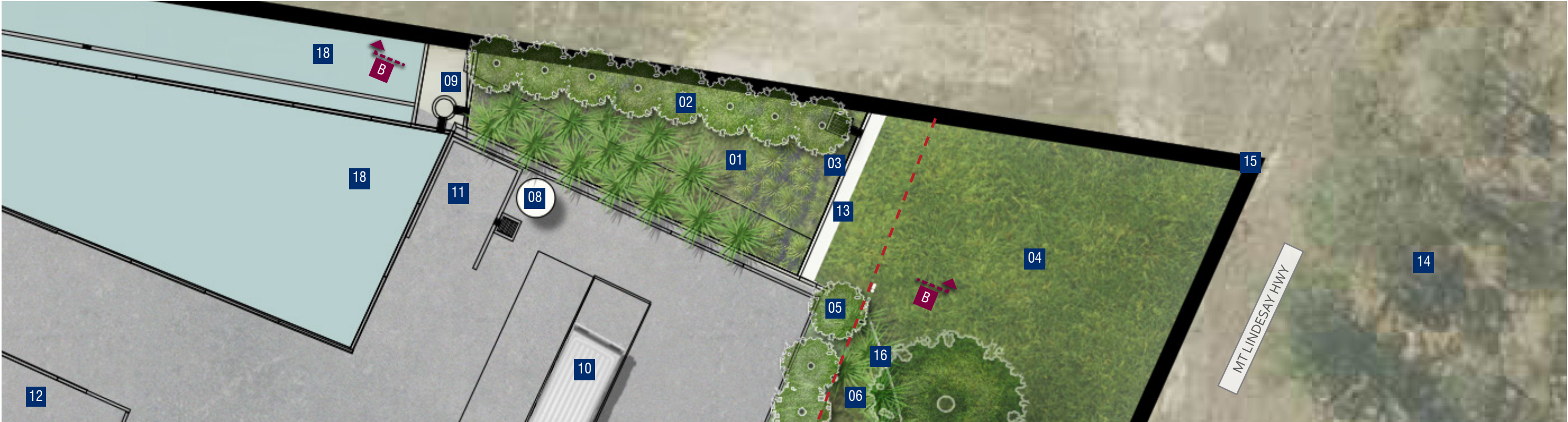
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LANDSCAPE PLAN 1:200@A1



SECTIONAL ELEVATION A-A 1:100@A1

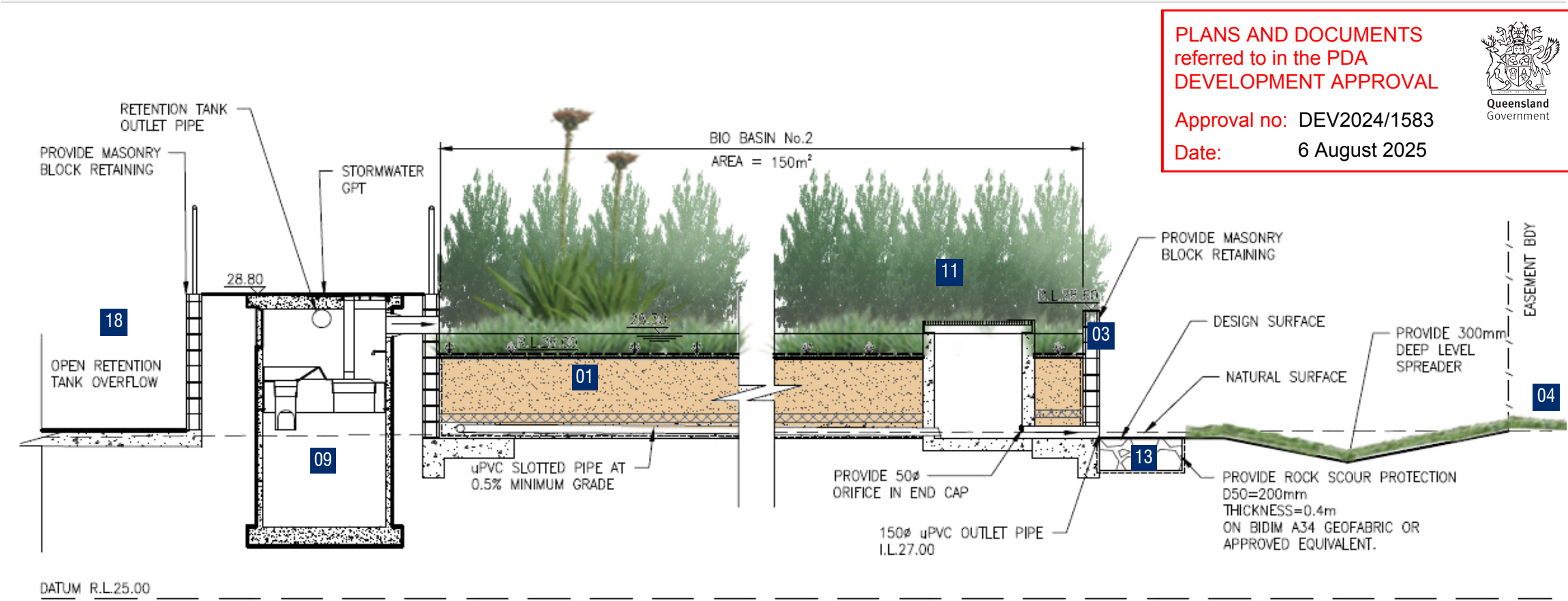


LANDSCAPE PLAN 1:100@A1

KEY

- 01 500mm DEPTH FILTER MEDIA BIO
- 02 BIO SCREENING TO SCOTT LANE
- 03 BIO MASONRY WIER
- 04 TURF DRAINAGE TO EASEMENT
- 05 MASONRY WALL SCREENING
- 06 OPTIONAL EASMENT PLANTING
- 07 RECYCLED WATER STORAGE
- 08 CLARIFIER
- 09 GPT
- 10 TIPPER AND TANKER PARKING
- 11 CATCHMENT PIT
- 12 AGGREGATE BIN
- 13 ROCK SCOUR PROTECTION
- 14 EXISTING VEGETATION
- 15 PROPERTY BDY
- 16 GARDEN EDGING
- 17 CATCHMENT PIT
- 18 DETENTION BASIN

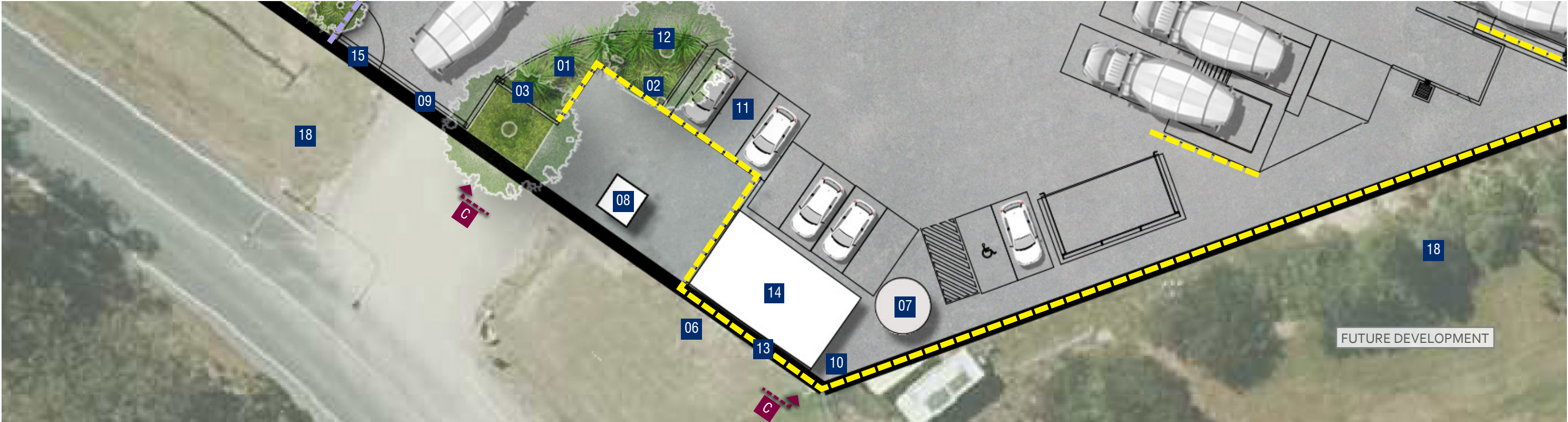
- ACOUSTIC FENCE
- SITE BOUNDARY
- EASEMENT BDY
- INTERNAL BDY



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SECTIONAL ELEVATION B-B 1:20@A1



LANDSCAPE PLAN 1:100@A1

KEY

01

700mm DEPTH FILTER MEDIA BIO

02

BIO SCREENING TO ACOUSTIC FENCE

03

BIO MASONRY WIER

04

TURF DRAINAGE TO EASEMENT

05

MASONRY WALL SCREENING

06

OPTIONAL ENTRY SIGNAGE

07

RECYCLED WATER STORAGE

08

TRANSFORMER SITE

09

SLIDING GATES

10

PEDESTRIAN ENTRY

11

CUSTOMER PARKING

12

FEATURE BIO TREE / PALM

13

ACOUSTIC CONCRETE WALL (DUNE)

14

DISPLAY CENTRE

15

SWING GATE

16

OPTIONAL 1m PLANTING SETBACK

17

CATCHMENT PIT

18

EXISTING VEGETATION

ACOUSTIC FENCE

SITE BOUNDARY

EASEMENT BDY

INTERNAL BDY



SECTIONAL ELEVATION C-C 1:50@A1

LANDSCAPE CHARACTER

HARDSCAPE CHARACTER IMAGERY OPTIONS

EXAMPLE ACOUSTIC WALLS | FENCING | ENTRY WALLING TREATMENTS | HARDSCAPE OPTIONS

PROPOSED CONCRETE COLOUR PALETTE:
SILOS | SHALE GREY MATT
SHEETING PALE EUCALYPT | DUNE MATT
FENCING PALE EUCALYPT | DUNE MATT
PERIMETER WALL | DUNE MATT

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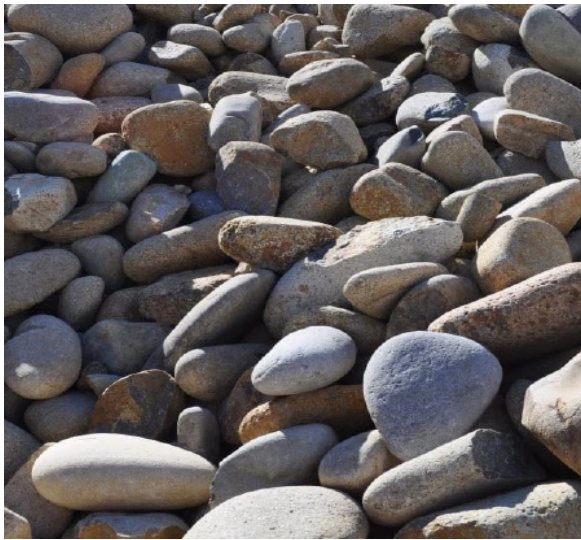
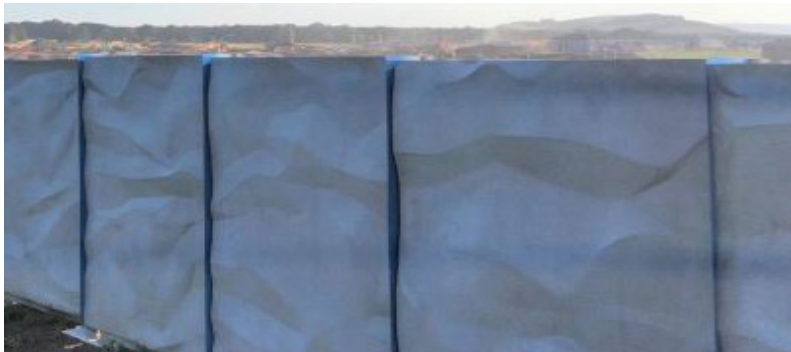
SHALE GREY | MATT



PALE EUCALYPT



DUNE | MATT



Typically, the native species mix proposed throughout the local street typologies is compliant with Logan City Council street tree guidelines, however, the character driven boulevard species are based on the design outcome to achieve grandeur and importance of the main avenues. Final street tree typologies will be confirmed throughout the Operational Works phase of the project.

PALMS | TREES | SCREENING SHRUBS



Melaleuca 'Claret Tops'



Syzygium floribunda



Syzygium 'resilience'



Livistona australis

GRASSES | GROUNDCOVERS | CLIMBERS



Westringea fruticosa



Doryanthes palmeri



Lomandra hystrix



Ficus pumila (ret wall climber)



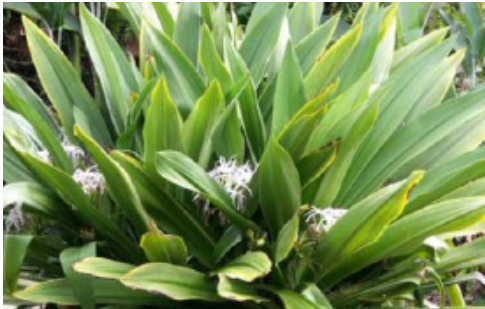
Banksia robur (bio)



Juncus usitatus (bio)



Ficinia nodosa (bio)



Crinum pedunculatum (bio+feature)



Hardenbergia violacea

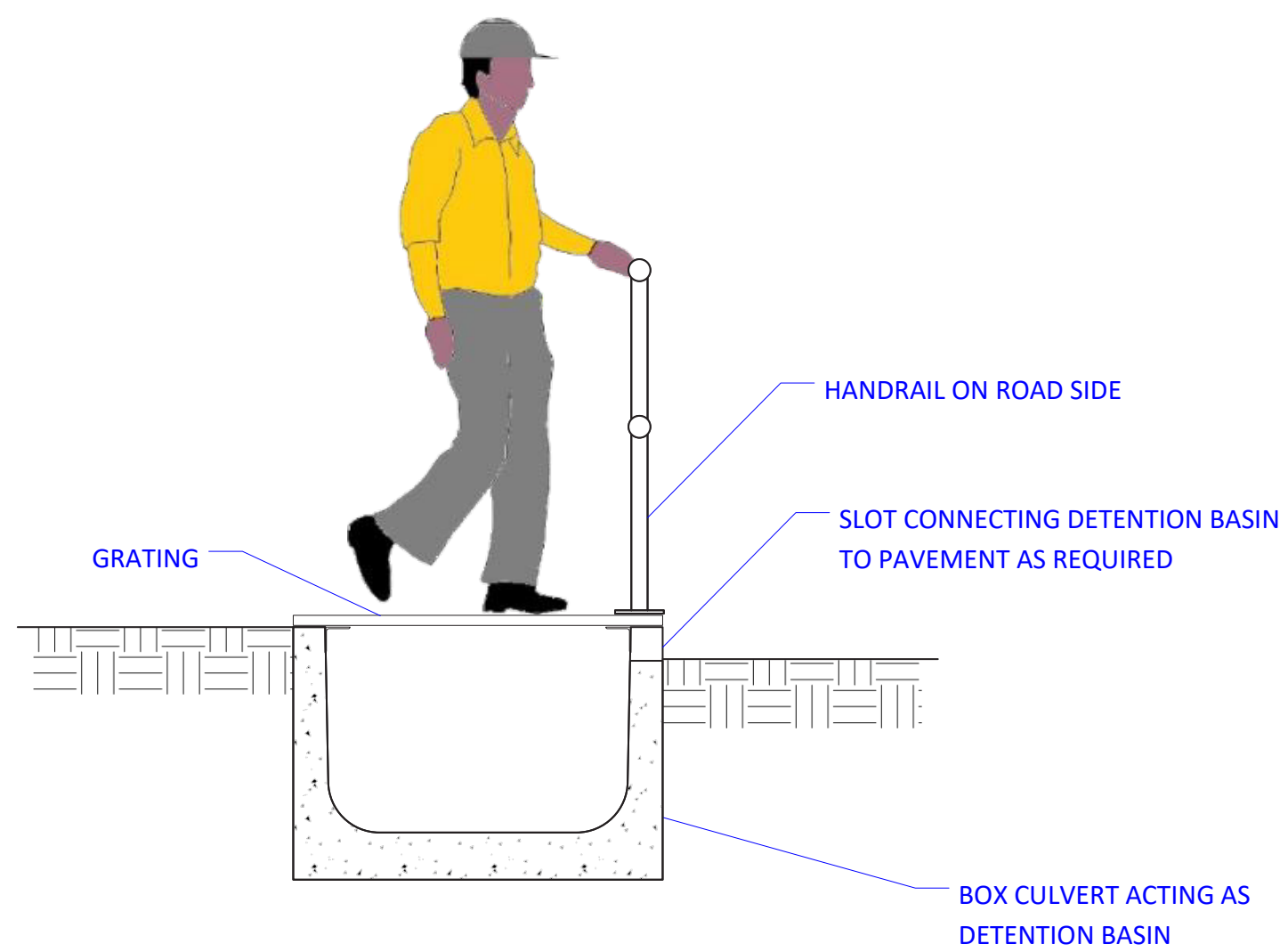


Carprobotus glaucesens



Myoporum ellipticum

TYPICAL DETAIL - PEDESTAL PATHWAY OVER CULVERT



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REV.	DESCRIPTION	DRAWN	DATE	APPROVED	DATE				
A	CONCEPT	A.REX	04MAR25			STATUS NOT FOR CONSTRUCTION ALL DIMENSIONS IN m UNO			
						SIZE A3			
						FILENAME PF24-06-DG-121_A Detention basin walkway.vsd			
						DWG NO PF24-06-DG-121			
						REV A			
						SCALE NTS DO NOT SCALE SHEET 1 OF 1			