

SITE NOTES

1. Written dimensions take precedence over scale.
2. Builder to verify all boundary clearances and site set-out dimensions prior to commencement of construction.
3. Levels & contours are based on survey. Prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information. This site plan is based on a survey.
4. Therefore the floor level is subject to change. Additional site survey must be taken to confirm the required bench level.
5. Retaining walls greater than 1m high (cut or fill) are required to be engineer designed & certified prior to building approval. Retaining walls are closer than 1500mm from boundary require a building relaxation. (fill side only).
6. Batters to comply with appropriate soil classification described in table 3.1.1.1 BCA Vol 2.
7. Engineer to provide design to address footings if built in close proximity to sewer, stormwater or easements.
8. Vehicular cross-over to be constructed as per local council requirements and/or approval.

SERVICES

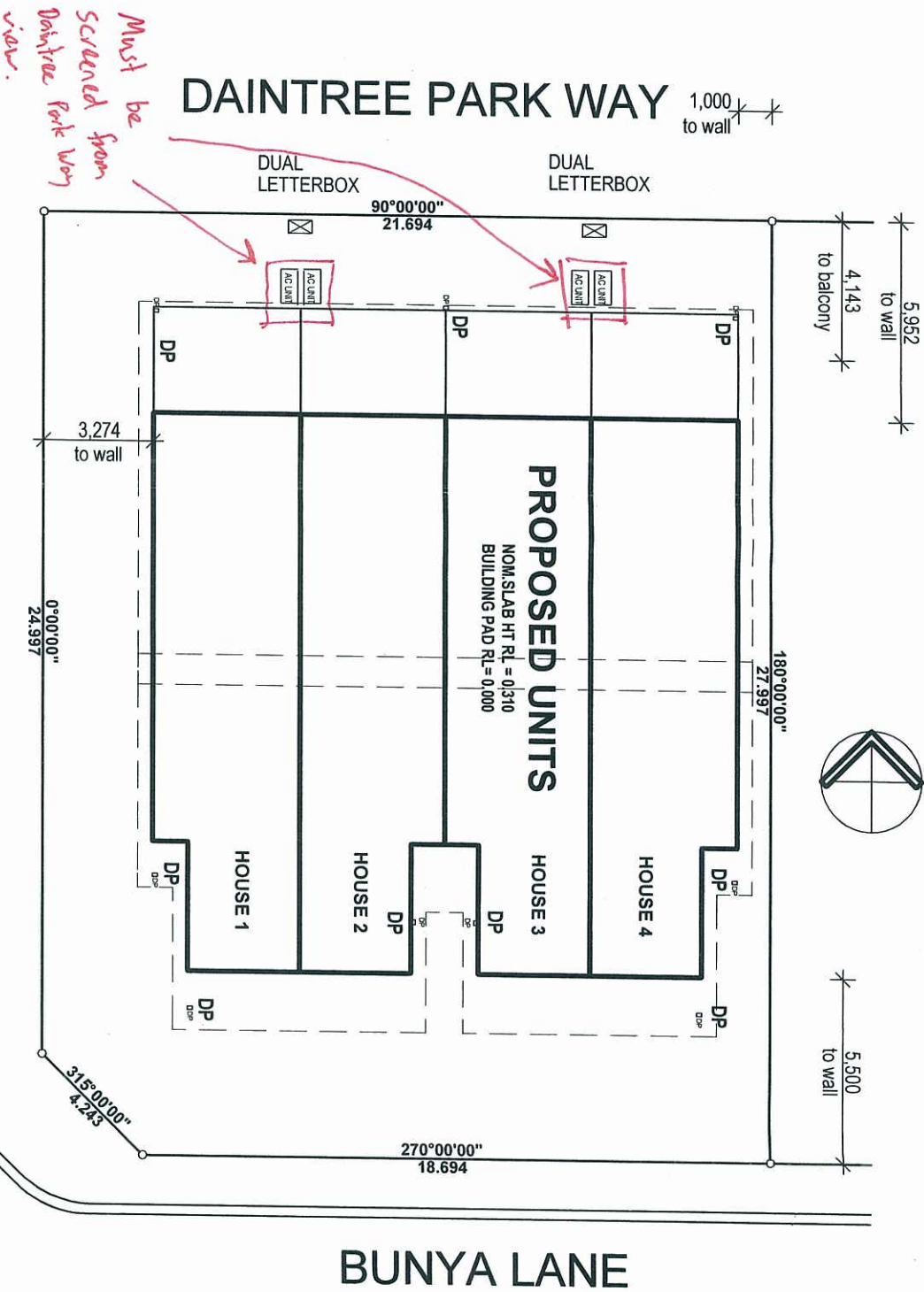
1. Services have been plotted from records of relevant authorities where available. Prior to any excavation or construction on site, the relevant authority should be contacted for possible location of further underground services.
2. All household sewerage and waste to be discharged to sewer system.
3. Stormwater & roof water to be connected to legal point of discharge in accordance with Pt 3 BCA Vol 2 and local authorities requirements. Approval to be obtained from local authority prior to work commencing.
4. Grade soil away from perimeter of building to prevent ponding. 1:20 minimum fall. Surface water to be channelled to legal point of discharge ie. yard gully grate or similar.
5. Provide 1:20 ground surface fall towards gully pits. Final location of pits subject to change to suit site conditions. Contractor to check with site supervisor before commencing work.

GENERAL NOTES

1. Scrape away vegetation & cut & fill to provide a level building platform.
2. Floor slab to be in accordance with engineers drawings & details.
3. Termite protection is a visual barrier system with approved collars at penetrations in accordance with AS 3600.1 - 2000.
4. This site plan is transcription of the original contour survey & the builder is to verify all information contained hereon prior to site start. The driveway & path shown on the plan is the suggested layout - areas shown on plan.
- 5.

NOTES

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4. This building has been designed in accordance with AS 1684.2 - 2006 (Residential timber framed construction).
5. Supplier may substitute timbers for those of equal strength to span ratio.
6. All structural sizes to be read in-conjunction with structural engineers drawings & details.
7. Articulation joints to comply with 3.3.1.3 BCA Vol 2.
8. Mechanical Ventilation to comply with 3.8.5 Bca Vol 2.
9. Smoke alarms to comply with 3.7.2 BCA Vol 2 (wired-in).



HINCHINBROOK AVENUE

SITE AND DRAINAGE PLAN
SCALE 1:200

SITE DESCRIPTION/DATA

LOT: 61 on SP.234611
PARISH: STANLEY
COUNTY: NUNDAH
AUTHORITY: BRISBANE CITY COUNCIL
AREA: 603 sq.m
SITE COVERAGE: 40.99 %

PLAN LEGEND

10. Protection against subterranean termites shall be in accordance with AS 3660-Pt 1 2001. Provided treatment Visual Barrier System to perimeter with approved collars/barriers at slab penetrations.
11. FMS unit (constant flow) with 5 star energy efficiency rating to comply with "Sustainable Buildings" QDC Pt 29, AS/NZS 6400:2005.
12. Rainwater tanks, lighting and plumbing fixtures & fittings to comply with QDC PART 29 & 25, Sustainable Buildings QDC Pt 29 & 25 AS/NZS 300.1 2003 AS/NZS 6400:2005.
13. Lift off hinges to all WC doors to comply with Australian Standards.
14. Star construction to comply with Pt 3.9.1 and balustrades to comply with Pt 3.9.2 BCA Vol 2.
15. DCP & flashings to comply with Pt 3.4 BCA Vol 2

PLEASE READ CAREFULLY

THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE CONTRACT & SPECIFICATIONS AND I UNDERSTAND CHANGES HEREFTER MAY NOT BE POSSIBLE. THESE PLANS SUPERSEDE ALL OTHER PREVIOUS PLANS OR SKETCHES.

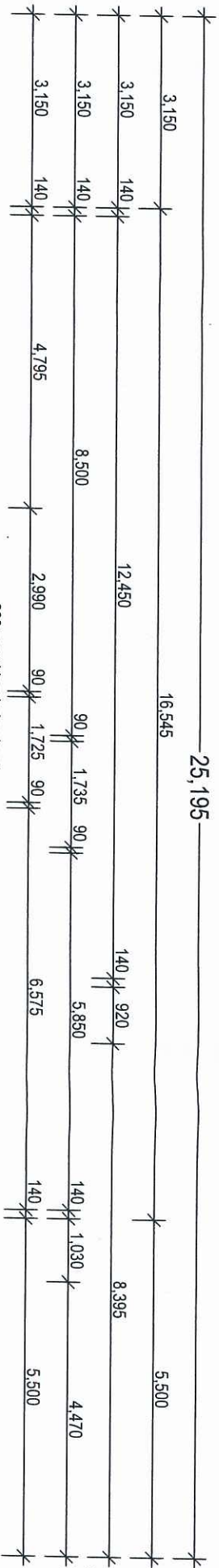
OWNER/S: _____
WITNESS: _____
DATE: _____

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 8 / 2 / 12

A MENDED IN RED
3 FEB 2012
By: Matt Toon (name)
of the ULDA

CLIENT:
BRISBANE HOUSING COMPANY LTD.
SITE:
Lot 61 Cnr. BUNYA LANE &
HINCHINBROOK AVE & MOORINVA PKWY.
FITZGIBBON

MODEL: 4 Townhouses
JOB No. 111061BU
ISSUE/DATE: ISSUE 10: 27/10/11
SHEET No. 1 of 14



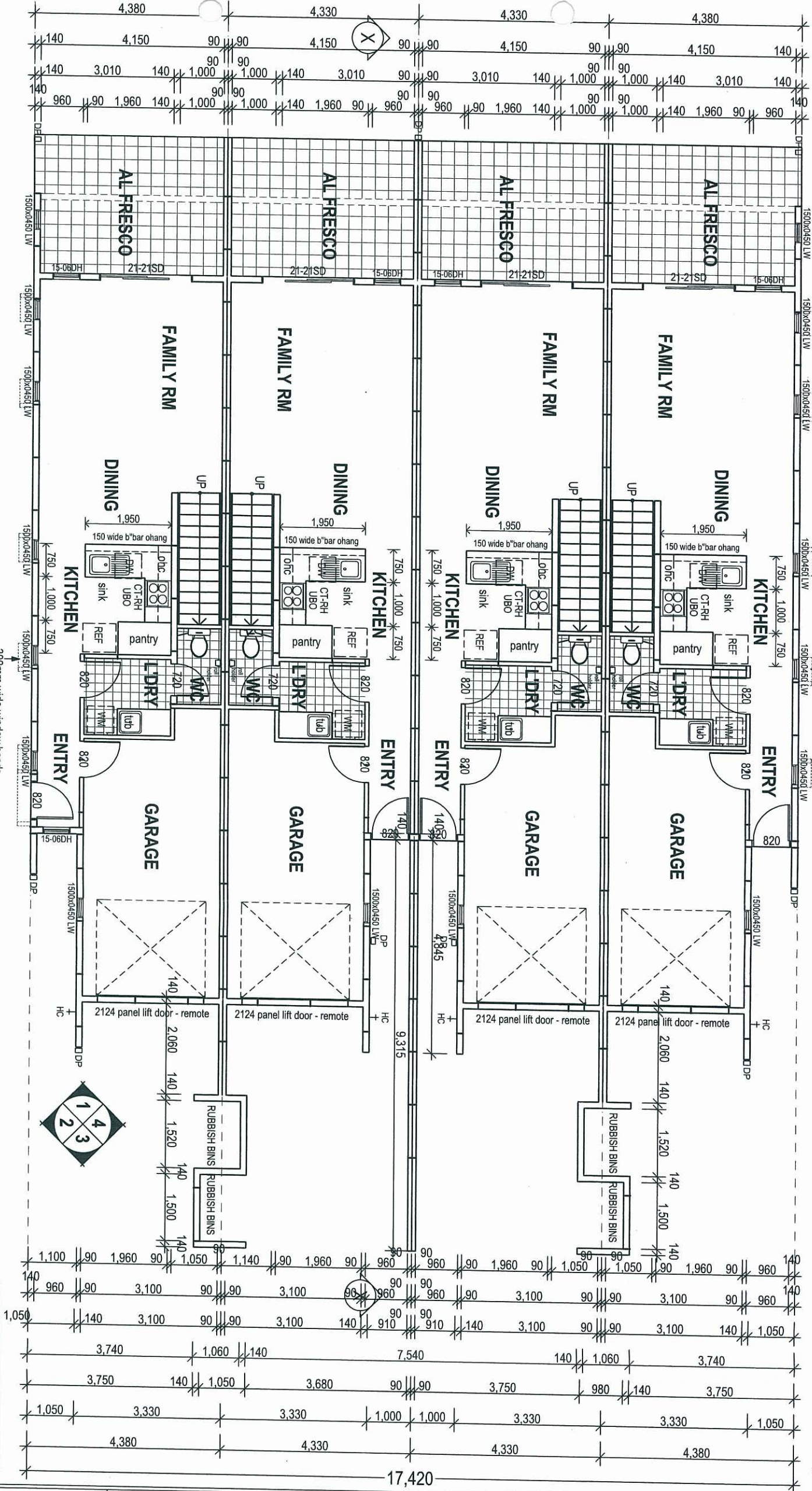
CONSTRUCTION NOTES:

1. EXTERNAL WALLS = 140mm COMPOSITE PANEL TO MANUFACTURER'S SPECIFICATIONS
2. WIND DESIGN SPEED TO BE DETERMINED BY ENGINEER.
3. WC DOOR TO HAVE EXTERNAL REMOVABLE HINGES IN ACCORDANCE WITH BCA 3.8.3.3

PLANS AND DOCUMENTS

referred to in the ULDA

APPROVAL dated 8 / 2 / 12



AREAS:	SQ METRES:
LOWER LIVING	47.6
UPPER LIVING	71.1
GARAGE	21.0
ALFRESCO	13.8
BALCONY	7.9
TOTAL =	161.4 m2

TOTAL 4 UNITS = 645.6m2

pearls
Home
HOUSING SOLUTIONS

Unit 1179 Dover Drive
BURLIEGH HEADS
QLD 4220

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 4. This building has been designed in accordance with AS 1684.2 - 2006 (Residential timber framed construction).
 5. Supplier may substitute inlets for those of equal strength to span ratio.
 6. All structural sizes to be read in conjunction with structural engineers drawings & details.
 7. Articulation joints to comply with 3.3.1.8 BCA Vol 2.
 8. Mechanical Ventilation to comply with 3.8.5 Bca Vol 2.
 9. Smoke alarms to comply with 3.2 BCA Vol 2 (wired-in).
 10. Protection against subterranean termite shall be in accordance with AS 3680.1:2001. Provided treatment: Visual Barrier System to perimeter with approved collars/bars at slab penetrations.
 11. HWS unit (constant flow) with 5 star energy efficiency rating to comply with 'Sustainable Buildings' QDC pt 29, AS/NZS 6400:2005.
 12. Rainwater tanks, lighting and plumbing fixtures & fittings to comply with QDC PART 28 & 25, Sustainable Buildings QDC pt 29 & 25 AS/NZS 3001.1:2003 AS/NZS 6400:2005.
 13. Lift off hinges to all WC doors to comply with Australian Standards.
 14. Slab construction to comply with Pt 3.5.1 and balustrades to comply with pt 3.9.2 BCA Vol 2.
 15. DCP & flashings to comply with Pt 3.3.4 BCA Vol 2

- PLAN LEGEND**
- all = above floor level
 - hd = head at 2100 all.
 - fw = floor waste
 - dw = dishwasher prov.
 - ply = pantry
 - vd = vanity basin
 - obs = obscure glazing
 - gfw = gas hot water unit
 - tr = towel Rail
 - dp = downpipe
 - dn = overboard cupboard
 - ref = refrigerator prov.
 - mw = microwave prov.
 - dw = dishwasher prov.
 - ply = pantry
 - wm = washing machine prov.
 - gfw = gas hot water unit
 - tr = towel Rail
 - dn = overboard cupboard

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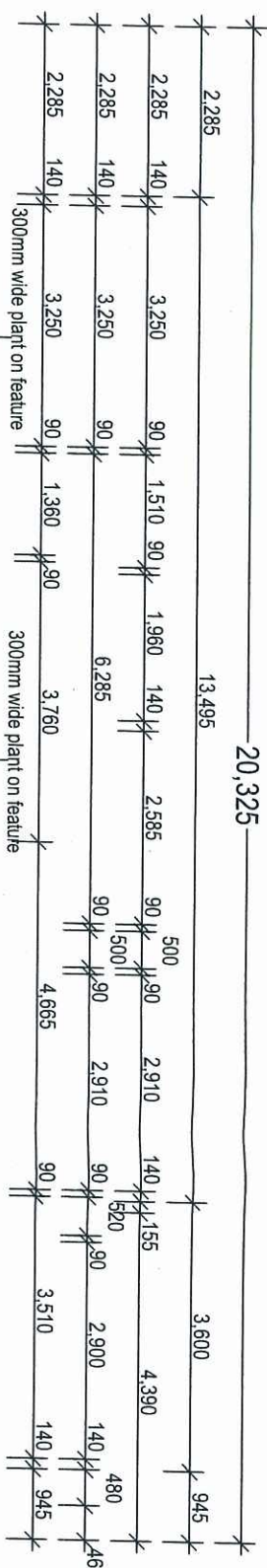
OWNER'S: _____ DATE: _____

WITNESS: _____

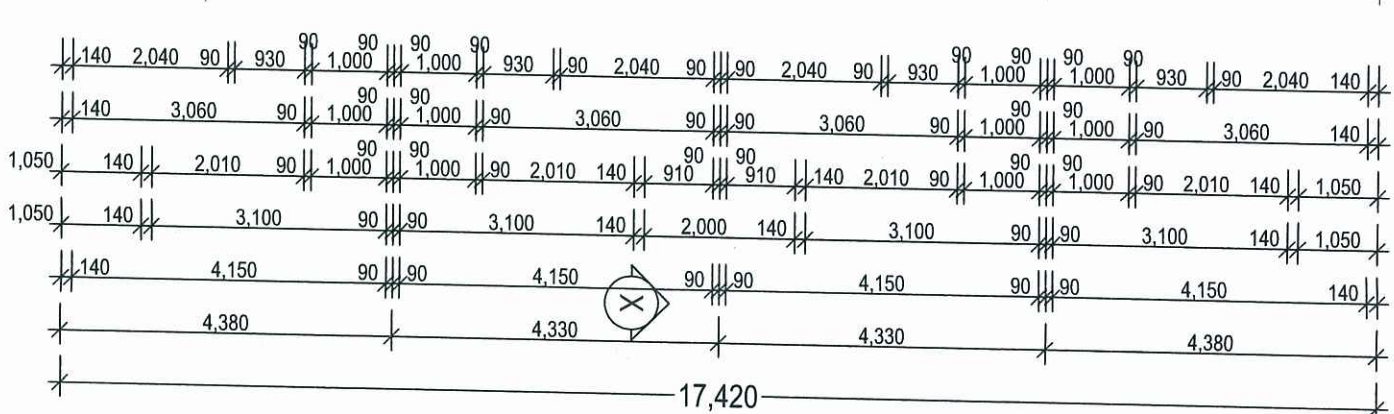
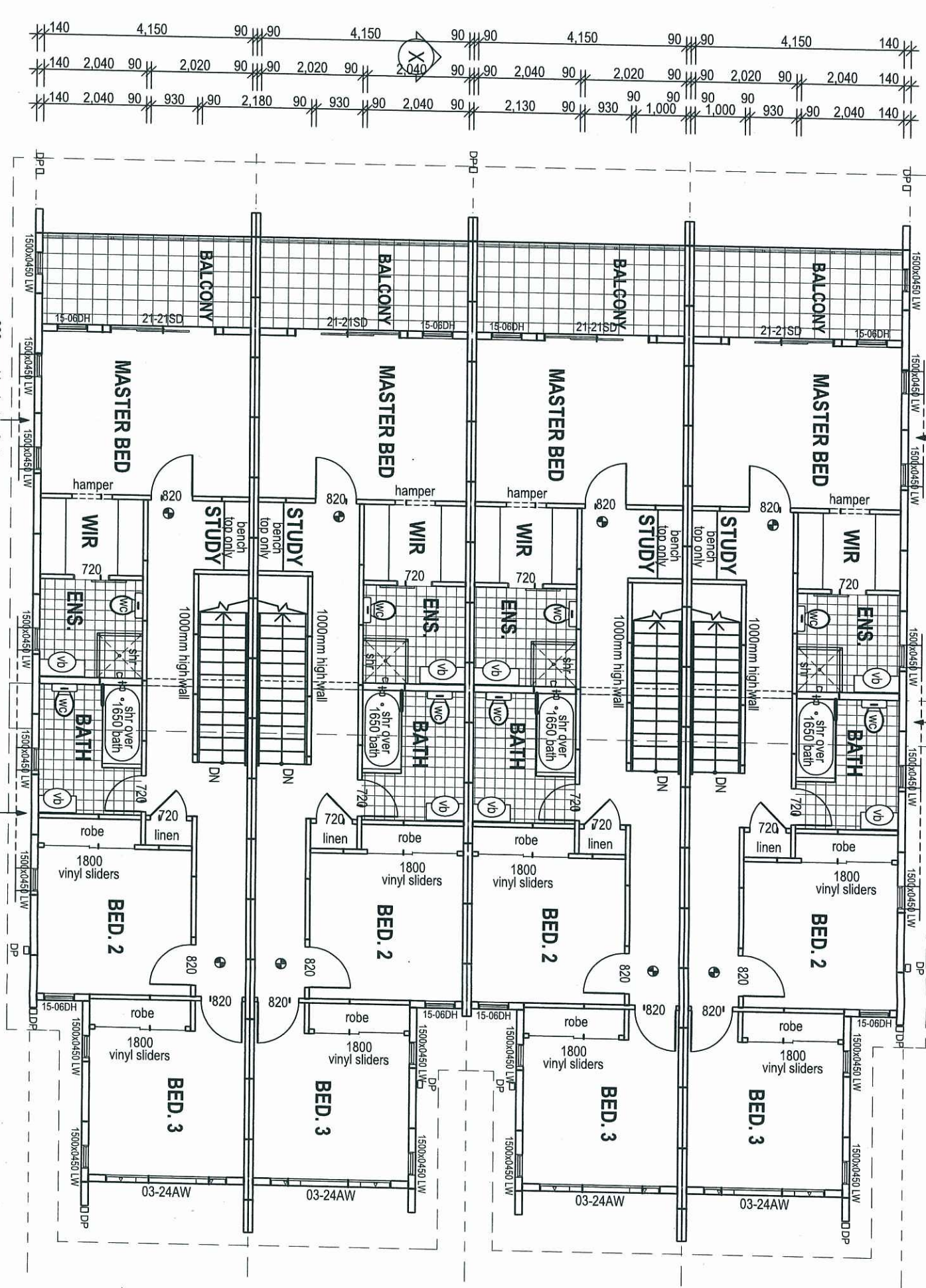
CLIENT:
BRISBANE HOUSING COMPANY LTD.

SITE:
Lot 61 Cnr. BUNYA LANE & MOORINYA PKWY. FITZGIBBON

MODEL: 4 Townhouses	JOB No. 111L061BU
ISSUE/DATE: ISSUE 8 : 13/10/11	SHEET No. 2 of 14



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 8 / 2 / 12



UPPER FLOOR PLAN

SCALE 1:100

Pearls
inHome
HOUSING SOLUTIONS
Unit 1/79 Dover Drive
BURLIEGH HEADS
QLD 4220

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7. Articulation joints to comply with 3.3.1.8 BCA Vol 2.
8. Mechanical Ventilation to comply with 3.8.5 Bca Vol 2.
9. Smoke alarms to comply with 3.7.2 BCA Vol 2 (wired-in).
10. Protection against subterranean termite shall be in accordance with AS 3600-P1 2001. Provided treatment, Visual Barrier System to perimeter with approved collars/barriers at slab penetrations.
11. HWS unit (constant flow) with 5 star energy efficiency rating to comply with 'Sustainable Buildings' QDC Pt 29, AS/NZS 6400:2005.
12. Rainwater tanks, lighting and plumbing fixtures & fittings to comply with QDC PART 28 & 25, Sustainable Buildings QDC Pt 29 & 25 AS/NZS 3001.1:2003 AS/NZS 6400:2005.
13. Lift off hinges to all WC doors to comply with Australian Standards.
14. Stair construction to comply with Pt 3.9.1 and balustrades to comply with Pt 3.9.2 BCA Vol 2.
15. DCP & flashings to comply with Pt 3.3.4 BCA Vol 2

PLAN LEGEND

all = above floor level
hd = head at 2100 all.
flr = floor waste
dw = dishwasher prov.
ply = pantry
⊕ = smoke detector
vb = vanity basin
obs = obscure glazing
mw = washing machine prov.
ghw = gas hot water unit
tr = towel Rail
dp = downpipe
dnc = overhead cupboard
ref = refrigerator prov.
mw = microwave prov.
dw = dishwasher prov.
ply = pantry
wm = washing machine prov.
ghw = gas hot water unit
tr = towel Rail
dp = downpipe
dnc = overhead cupboard

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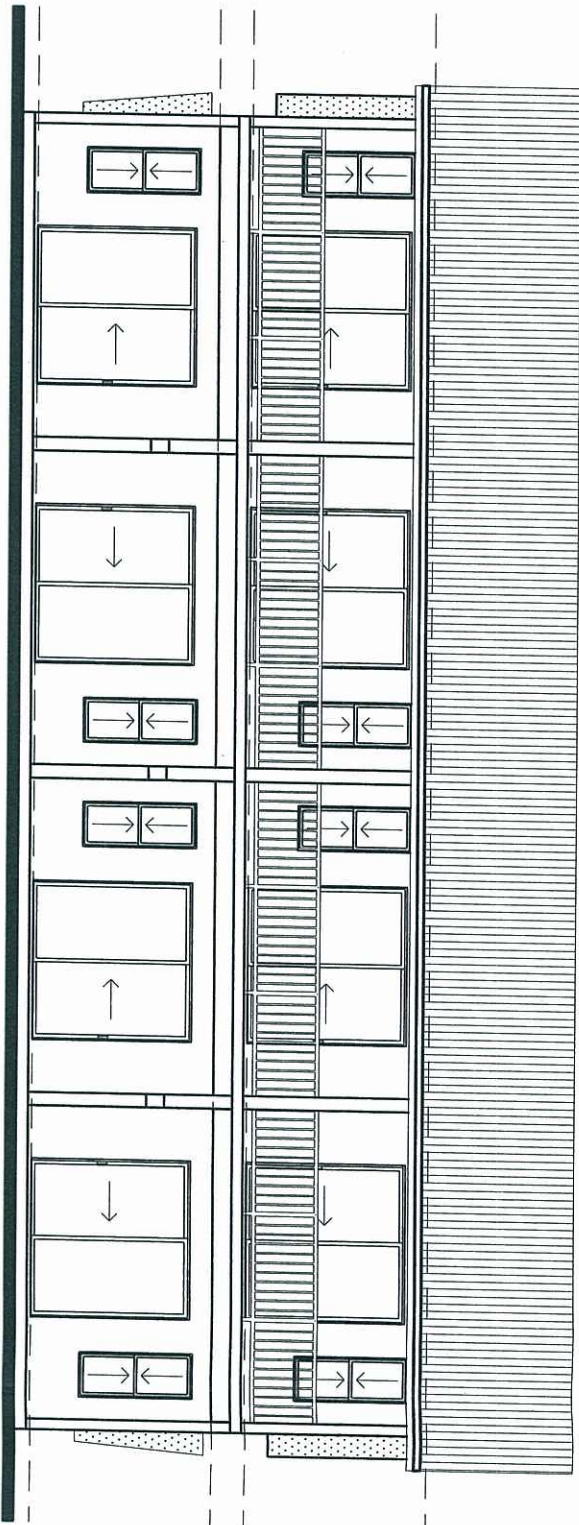
OWNER/S
WITNESS
DATE

CLIENT:
BRISBANE HOUSING COMPANY LTD.
SITE:
Lot 61 Cnr. BUNYA LANE & HINCHINBROOK AVE & MOORINYA PKWY. FITZGIBBON

MODEL:	4 Townhouses	JOB No.	11L061BU
ISSUE/DATE:	ISSUE 8 : 13/10/11	SHEET No.	3 of 14

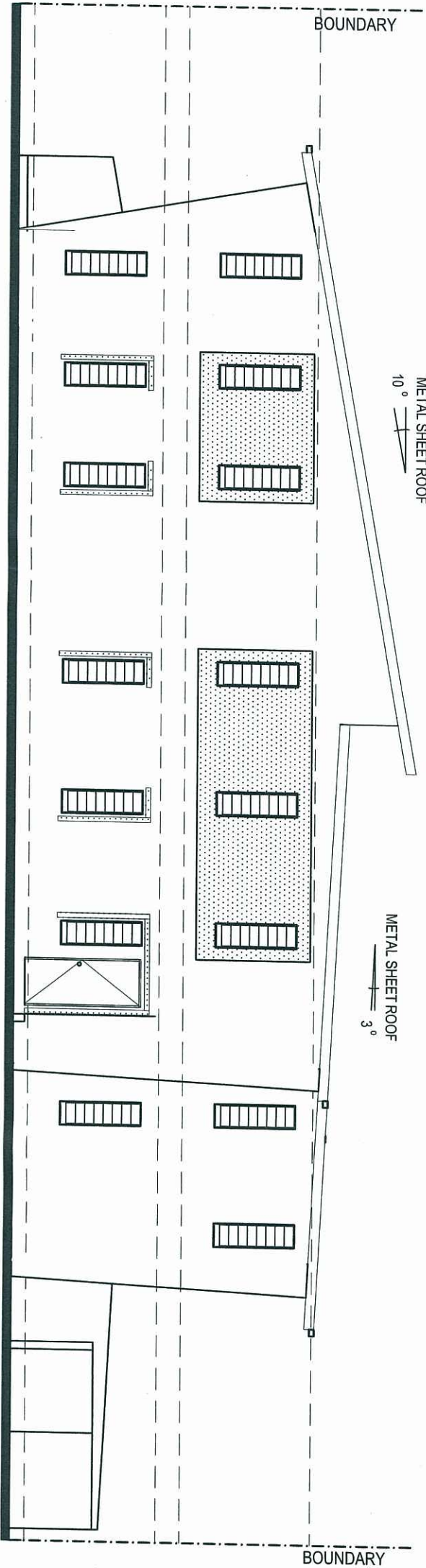
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450



ELEVATION 3

SCALE 1:100



ELEVATION 4

SCALE 1:100



Unit 1/79 Dover Drive
BURLINGHEADS
QLD 4220

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 7. Articulation joints to comply with 3.3.1.8 BCA Vol 2.
 8. Mechanical Ventilation to comply with 3.8.5 Bca Vol 2.
 9. Smoke alarms to comply with 3.7.2 BCA Vol 2 (wired-in)

10. Protection against subterranean termites shall be in accordance with AS 3680 Pt 1 2001. Provided treatment: Visual Barrier System to perimeter with approved collars/barriers at slab penetrations.
11. HWS unit (constant flow) with 5 star energy efficiency rating to comply with "Sustainable Buildings" QDC Pt 29, AS/NZS 6400:2005.
12. Rainwater tanks, lighting and plumbing fixtures & fittings to comply with QDC PART 29 & 25, Sustainable Buildings QDC Pt 29 & 25 AS/NZS 300.1 2003 AS/NZS 6400:2005.
13. Lift off hinges to all WC doors to comply with Australian Standards.
14. Stair construction to comply with Pt 3.9.1 and balustrades to comply with Pt 3.9.2 BCA Vol 2.
15. DCP & flashings to comply with Pt 3.3.4 BCA Vol 2

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- all = above floor level
hd = head at 2100 all.
fw = floor waste
ed = smoke detector
vb = vanity basin
obs = obscure glazing
dp = meter box
dpc = downpipe
ohc = overhead cupboard
- ref = refrigerator prov.
mw = microwave prov.
dw = dishwasher prov.
py = pantry
wm = washing machine prov.
ghw = gas hot water unit
lr = towel Rail
th = toilet Roll Holder

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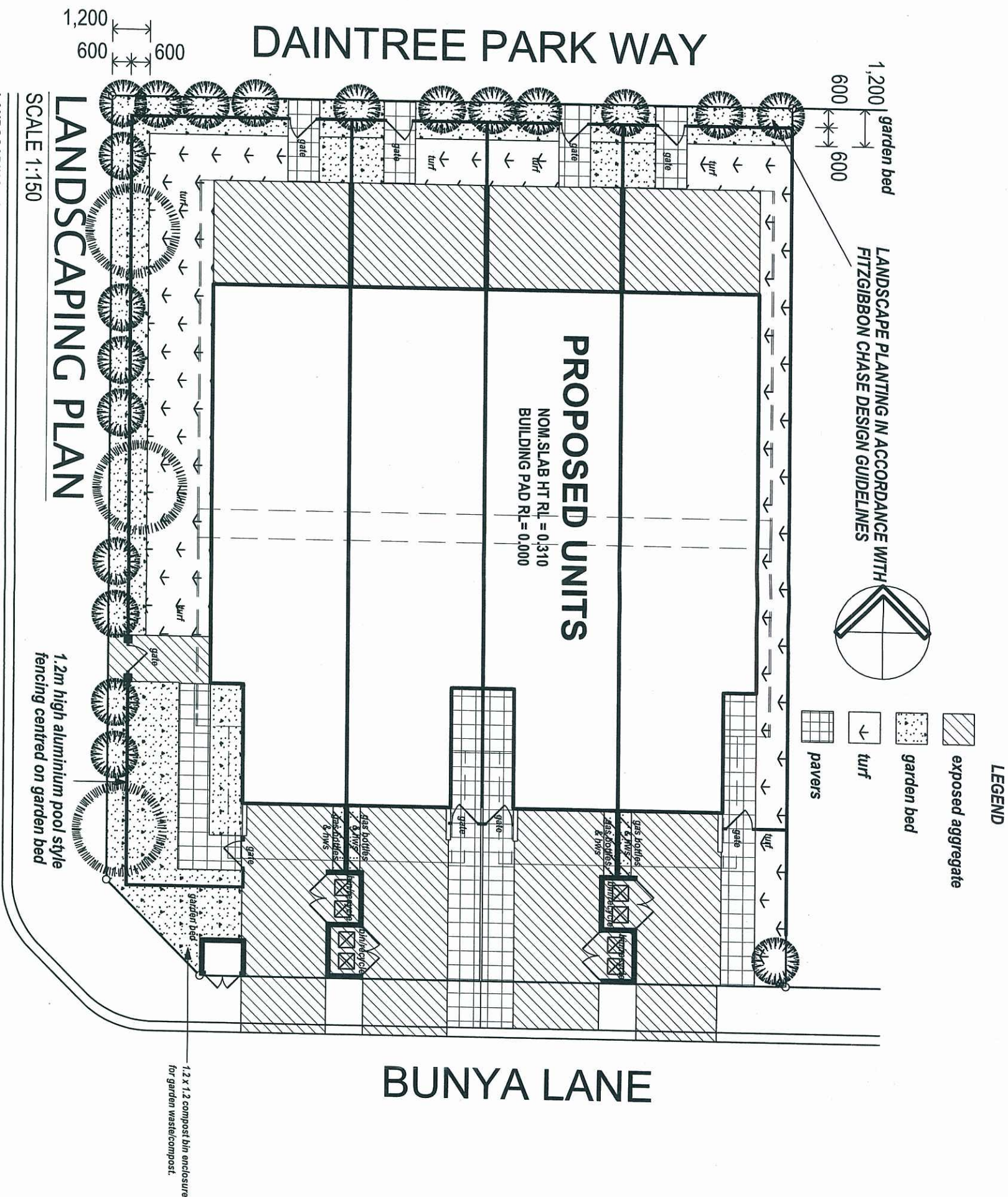
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FITZGIBBON**

MODEL:	JOB No.	SHEET
4 Townhouses	11L061BU	
ISSUE/DATE:		
ISSUE 8:13/10/11		5 of 14

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LANDSCAPING TO COMPLY WITH ULDA REQUIREMENTS

LANDSCAPING PLAN

SCALE 1:150

HINCHINBROOK AVENUE

pearls
Home
HOUSING SOLUTIONS

Unit 1/79 Dover Drive
BURLIEGH HEADS
QLD 4220

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12. Rainwater tanks, lighting and plumbing fixtures & fittings to comply with QDC PART 29 & 25, 'Sustainable Buildings' QDC Pt 29 & 25 AS/NZS 300.1:2003 AS/NZS 6400:2005.
13. Lift off linings to all WC doors to comply with Australian Standards.
14. Star construction to comply with Pt 3.9.1 and balustrades to comply with Pt 3.9.2 BCA Vol 2.
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hd = head at 2100 all
lw = floor waste
+ = smoke detector
vd = vanity basin
ods = obscure glazing
mb = meter box
dp = downpipe
ohc = overhead cupboard
- ref = refrigerator prov.
mw = microwave prov.
dw = dishwasher prov.
ply = pantry
wm = washing machine prov.
ghw = gas hot water unit
lr = towel Rail
lth = toilet Roll Holder

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