

PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL

Approval no: DEV2025/1634

Date: 25 July 2025



## Industrial Development, LOT 7 Franklin St, Yarrabilba, QLD 4207.

### Engineering Servicing Report

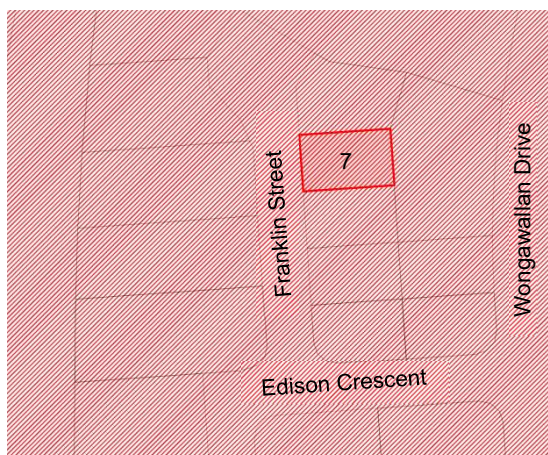
Address: 17 Franklin St, Yarrabilba, QLD 4207

Lot & RP Description: LOT 7 on SP333768

Prepared for: ABC Construction Group

Prepared by: SCG Urban  
Mobile: 0477 300 133  
Email: [s.sandford@SCGUrban.com.au](mailto:s.sandford@SCGUrban.com.au)

SCG Ref: 830-101-ENG  
Date: January 2025





## DOCUMENT CONTROL

### Report Summary

#### Document Details

Project: Industrial Development – 17 Franklin Street, Yarrabilba, QLD 4207  
Reference: 830 -101 - ENG

Document Title: Engineering Servicing Report | 17 Franklin Street, Yarrabilba, QLD 4207  
Date: January 2025

Author: M. Malek

Certified: Mina Malek | RPEQ 32829

Reviewed by: S. Sandford

### Distribution

Rev:	Date:	Certified:		Issued:		Distributed to:	Copies:
A	09/01/2025	MM	31/01/2025	MM	31/01/2025	Client	1
B	31/03/2025	MM	31/03/2025	MM	22/04/2025	Client	1



## Contents

THE SITE .....	6
Real Property Descriptions .....	6
Land Uses .....	7
Site Analysis and Topography .....	8
Existing Services.....	8
PROPOSED DEVELOPMENT AND ENGINEERING SERVICING.....	9
1. Design Brief and Intent.....	9
2. Site Works and Proposed Levels.....	9
3. Roadworks & Access .....	9
4. Water Reticulation .....	10
5. Sewer Reticulation .....	10
6. Stormwater Drainage including Management.....	10
7. Power and Telecommunication Services.....	10
CONCLUSION .....	11
Appendix A.....	12



### **List of Figures:**

- |          |  |
|----------|--|
| Figure 1 | Aerial image of Site   |
| Figure 2 | Priority Development Area Zone (LCC PD Online)               |
| Figure 3 | Existing Features Layout Plan (Source: Lendlease AsCON Data) |
| Figure 4 | Pavement & Drainage Layout Plan (Source: SCG Urban Plans)    |

### **List of Appendices**

- |            |   |
|------------|---|
| Appendix A | Engineering Drawings & Servicing Plans<br>Prepared by SCG Urban dated December 2024 |
|------------|---|

### **Reference Documents**

1. SEQ Water Supply and Sewerage Design and Construction Code.
2. EDQ Requirements / IPWEAQ Standards



## 1. INTRODUCTION

This Engineering Services Report has been prepared by SCG Urban for and on behalf of ABC Construction Group to provide technical and supporting information for the proposed development at 17 Franklin Street, Yarrabilba, QLD 4207 (Proposed Lot 7).

The site is situated within the jurisdiction of Logan City Council, with all engineering works designed to comply with the PDA Development Guidelines as specified by Economic Development Queensland (EDQ). This report addresses critical aspects of civil engineering design, including water and sewer infrastructure, stormwater management, and access provisions, ensuring compliance with relevant regulatory requirements. It forms part of the Development Application package for submission and assessment.

SCG Urban provide this Engineering Servicing Report in association with the following consultants:

Consultant	Responsibilities
Bruac Design	Building Design Layout

## THE SITE

This Engineering Services Report has been prepared by SCG Urban for and on behalf of ABC Construction Group, to provide supporting information associated with the relevant application. The application pertains to the development of an industrial lot at 17 Franklin Street, Yarrabilba, within the jurisdiction of Logan City Council. This report reviews the engineering elements for the proposed development in accordance with the PDA Development Guidelines as required by Economic Development Queensland (EDQ).

### Real Property Descriptions

The subject site is located at 17 Franklin Street, Yarrabilba, QLD 4207.

The Real Property Description and area are as follows:

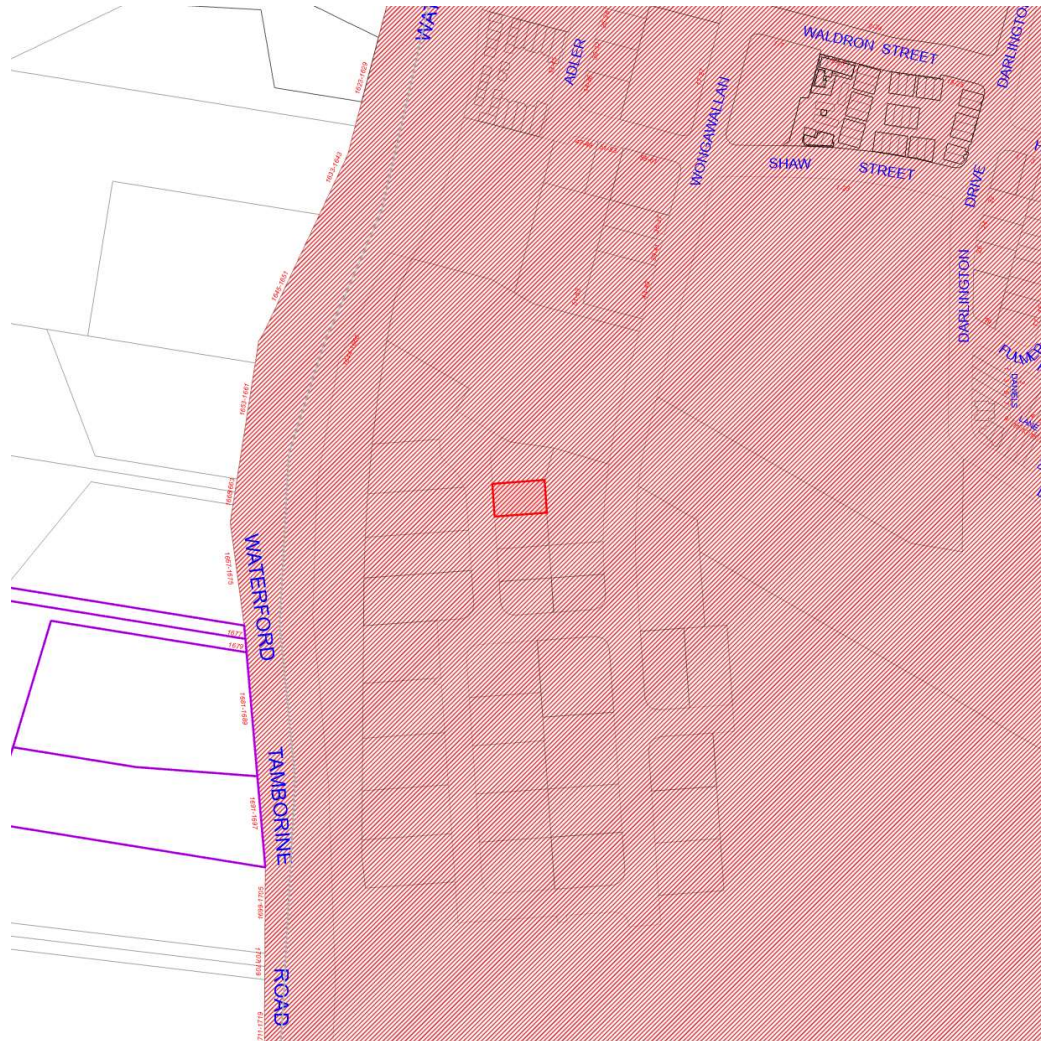
Lot 7 on SP333768 (approximate area of 1000m<sup>2</sup>).



**Figure 1:** Aerial Image of Site (Source: Queensland Globe)

## Land Uses

The subject site is located within a Priority Development Area, "Yarrabilba MIBA" Precinct 2A & Part of Precinct 5 Plan of an Industrial Development Industrial Facilities. The subject site is located on the eastern side of Franklin Street, that intersects with Edison Crescent. The subject site is Approx. 1,000m<sup>2</sup>.



**Figure 2:** Priority Development Area Zone (LCC PD Online)

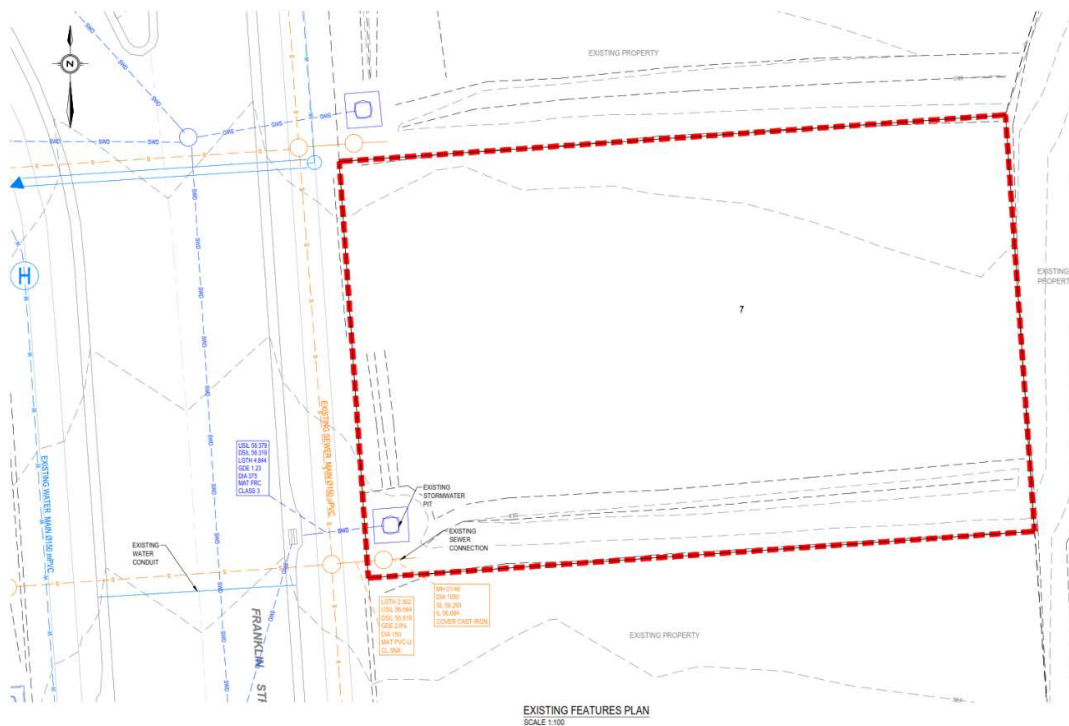
### Site Analysis and Topography

The site features a low-gradient topography with slopes of 1% or less, predominantly sloping towards the southern boundary. The highest elevation is approximately RL 59.167m AHD at the northeast corner, with the lowest point at RL 58.409m AHD near the southwest boundary. For detailed topographic information, refer to SCG Urban's Existing Features Layout Plan (Drawing No. 830-101-ENG-DA01).

The site has been cleared of vegetation as part of the MIBA Precinct development. A review of the Logan City Council Flood Hazard Trigger Overlay Map confirms that the site is not subject to designated Flooding or Inundation Areas. Minimal bulk earthworks are required for the subject site to facilitate the construction of four Industrial Units & VXO and meet EDQ requirements.

### Existing Services

The subject lot 7 at 17 Franklin Street, Yarrabilba, is currently equipped with several existing services. The water supply is provided through a 150mm diameter PVC water main on the western side of Franklin Street. The sewerage system comprises a 150mm diameter uPVC sewer main, connected to a manhole (MH 01/46) with a cover level at RL 58.293m AHD and an invert level of RL 56.684m AHD, featuring a gradient of 2.8%. The stormwater drainage system includes a 375mm diameter Class 3 pipe, with invert levels at RL 56.379m AHD upstream and RL 56.319m AHD downstream, discharging into a stormwater pit. These existing services are detailed in the Existing Features Layout Plan (Drawing No. 830-101-ENG-DA01) for precise locations and additional information.



**Figure 3: Existing Features Layout Plan (Source: Lendlease AsCON Data)**

# PROPOSED DEVELOPMENT AND ENGINEERING SERVICING

The proposed development at Lot 7 Franklin Street, Yarrabilba, involves the establishment of industrial units within the MIBA Precinct. The building layout, as detailed in **Appendix A**, highlights the site design, including infrastructure planning and utility connections. The development incorporates comprehensive infrastructure and servicing, ensuring compliance with Economic Development Queensland (EDQ) standards.

## 1. Design Brief and Intent

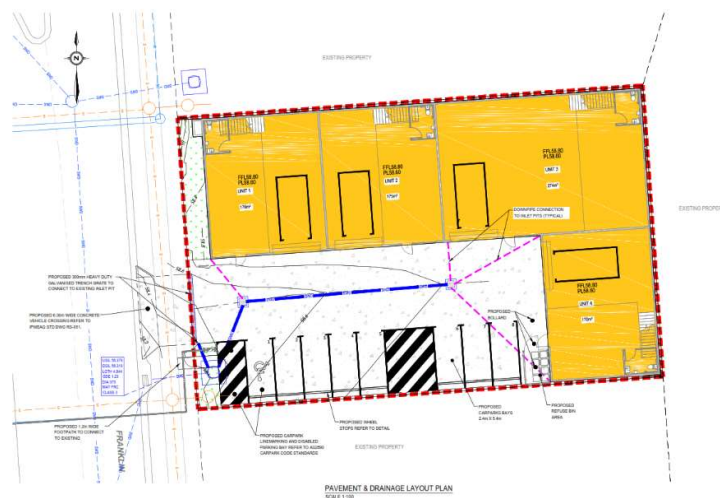
SCG Urban has been engaged by ABC Construction Group to provide civil engineering services for this industrial development. The project involves site preparation, utility connections, and infrastructure layouts to support the operational needs of the industrial units. The intent is to integrate these services seamlessly with existing infrastructure while ensuring efficient service delivery, safe access, and compliance with all relevant standards.

## 2. Site Works and Proposed Levels

The site will undergo minimal earthworks to create appropriate levels for the proposed industrial units, respecting the natural topography. The design accommodates a high point at RL 58.80m AHD and a low point at RL 58.260m AHD. The finished levels are planned to facilitate proper drainage and site usability, with detailed contours and elevations outlined in the Bulk Earthworks Layout Plan (Drawing No. 830-101-ENG-DA02-DA03).

## 3. Roadworks & Access

Access to the development will be provided via Franklin Street, designed to accommodate industrial traffic. The site will feature a 6m wide vehicle access, ensuring efficient entry and exit for the four industrial units (ranging from approximately 170m<sup>2</sup> to 274m<sup>2</sup>). The Finished Floor Level (FFL) for these units is set at 58.80. The development includes eight carpark bays and a designated Refuse Bin Area for waste management. The Roadworks and Drainage Layout Plan (Drawing No. 830-101-ENG-DA04) outlines the access and road design details.



**Figure 4:** Pavement & Drainage Layout Plan (Source: SCG Urban Plans)



#### 4. Water Reticulation

The site will be serviced by an existing 150mm diameter PVC water main, with a connection to the existing road crossing conduit using a 40mm water service. This will be utilised to service the new industrial units. Additionally, essential fittings will be installed to meet operational demands, as detailed in the Water and Sewer Layout Plan (Drawing No. 830-101-ENG-DA06).

#### 5. Sewer Reticulation

A 150mm diameter uPVC sewer main currently services the site. The proposed development will connect to this existing network via existing structure MH 01/46, located within the site boundary, which allows for property connection and accommodates the anticipated load. Detailed sewer layouts and connection points are shown in the Water and Sewer Layout Plan (Drawing No. 830-101-ENG-DA06).

#### 6. Stormwater Drainage including Management.

Stormwater management is a critical aspect of the project. The existing stormwater drainage network, which includes a 375mm diameter Class 3 stormwater pipe, will be utilised to effectively manage runoff. Proposed downpipes from the units will discharge into on-site field inlets via 300mm diameter pipes, which will ultimately connect to the existing 900x900 field inlet and a 1050mm maintenance hole (MH) with an invert level (IL) of 56.379. Additionally, a 300mm heavy-duty galvanized trench grate is proposed to connect to the inlet pit, ensuring efficient surface flow management and preventing localized ponding. The Stormwater Catchment Plan (Drawing No. 830-100-ENG-DA05) details the drainage strategy, ensuring compliance with EDQ guidelines for stormwater quantity management.

#### 7. Power and Telecommunication Services.

The existing electrical and telecommunication services, including power lines and Telstra pits, will be utilised as required to service the new development. The exact requirements for these utilities will be confirmed through the detailed design process by the appointed electrical consultant, ensuring reliable power and communication infrastructure for the industrial units. Details will be finalised as part of the design and shown in the relevant plans.



## CONCLUSION

This Engineering Servicing Report demonstrates that the proposed development at Lot 7, Franklin Street, Yarrabilba, is feasible and aligns with the regulatory and technical requirements set forth by Economic Development Queensland (EDQ) and Logan City Council. The engineering design addresses all critical aspects, including site preparation, water and sewer infrastructure, stormwater management, road access, and utility servicing, ensuring compliance with relevant standards.

The proposed solutions integrate seamlessly with existing infrastructure, delivering a robust foundation for the establishment of industrial units within the MIBA Precinct. The development prioritises functionality, sustainability, and compliance, ensuring effective service delivery and minimal environmental impact.

SCG Urban remains committed to supporting the successful implementation of this project, providing ongoing collaboration to ensure its timely and efficient execution.



## Appendix A

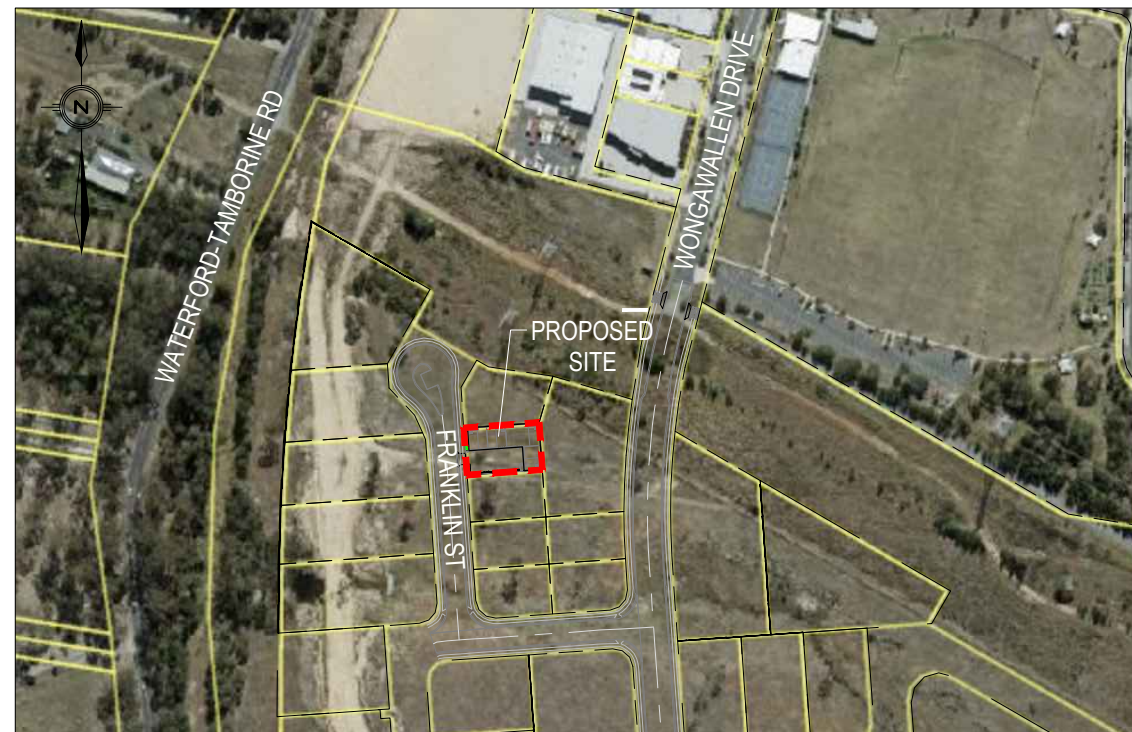
### **Proposed Engineering Drawings, and Servicing Plans**

Prepared by SCG Urban

# DEVELOPMENT APPLICATION PLANS FOR INDUSTRIAL UNITS

LOT 7 PART OF LOT 101 ON SP271601  
LOT 7 FRANKLIN ST, YARRABILBA QLD

DRAWING INDEX	
DWG. No.	DESCRIPTION
DA00	DRAWING INDEX AND LOCALITY PLAN
DA01	EXISTING FEATURES
DA02	EARTHWORKS LAYOUT PLAN
DA03	BULK EARTHWORKS SECTIONS
DA04	PAVEMENT AND DRAINAGE LAYOUT PLAN
DA05	STORMWATER CATCHMENT PLAN
DA06	SEWER & WATER LAYOUT PLAN
DA07	SEDIMENT AND EROSION CONTROL PLAN
DA08	SEDIMENT AND EROSION DETAILS & NOTES



LOCALITY PLAN  
SCALE 1:2000



**ENERGY SERVICE PROVIDERS**

AGL, ORIGIN, ERGON ENERGY, energex

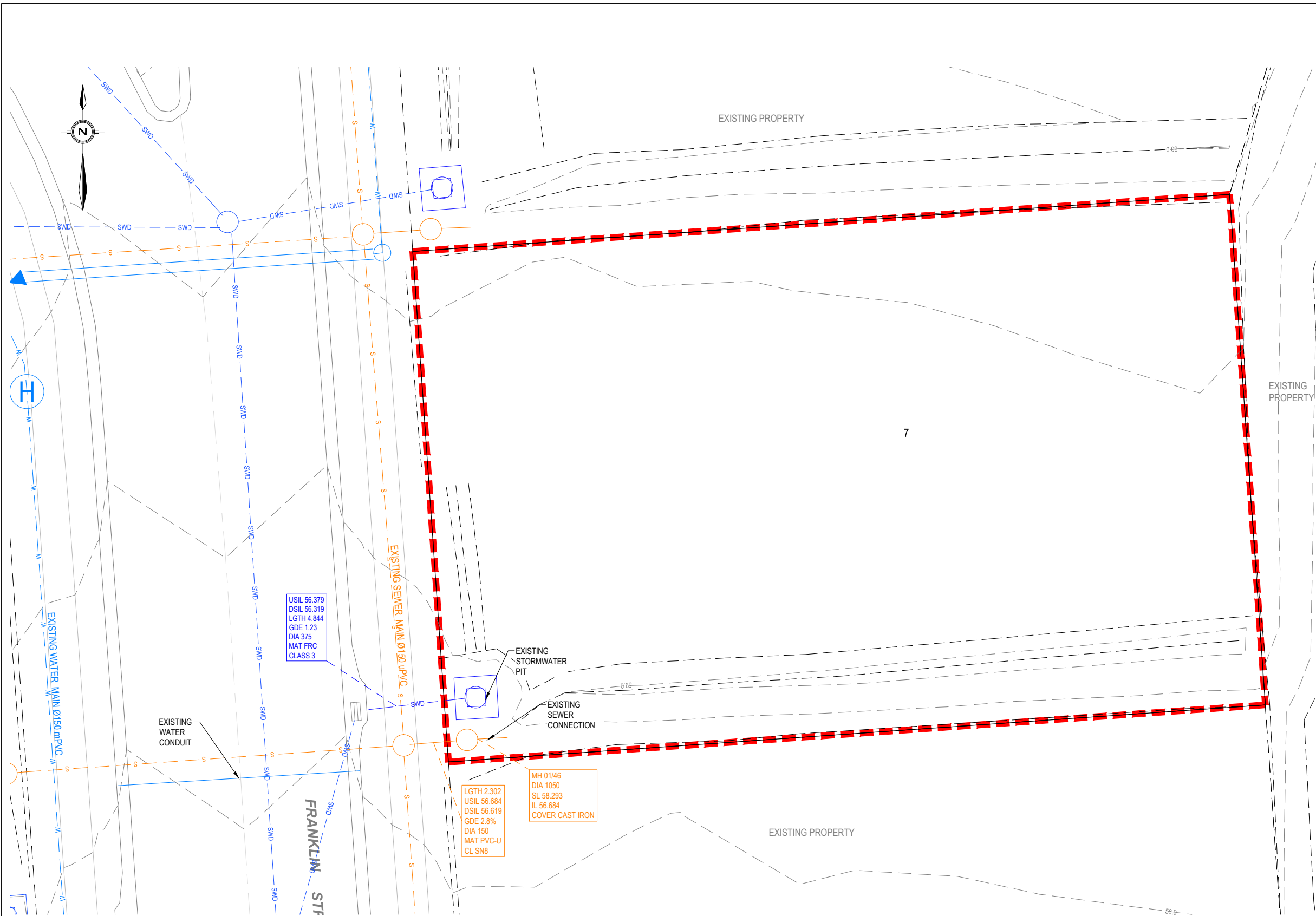
NOTE: SERVICE LOCATIONS ARE APPROXIMATE ONLY FROM PROVIDERS PLANS. LOCATIONS ARE TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. PHONE DBYD SERVICE LOCATIONS ON 1100 FOR DETAILS.

**TELECOMMUNICATIONS SERVICE PROVIDERS**

Optus, Telstra, nbn

NOTE: SERVICE LOCATIONS ARE APPROXIMATE ONLY FROM PROVIDERS PLANS. LOCATIONS ARE TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. PHONE DBYD SERVICE LOCATIONS ON 1100 FOR DETAILS.

SCALE: 1:2000 20 0 20 40 60 80 100m A1 1:4000 A3		CLIENT: ABC CONSTRUCTION GROUP	CONSULTANTS: 	STATUS: ISSUE FOR APPROVAL	PROJECT TITLE: DEVELOPMENT APPLICATION PLANS FOR INDUSTRIAL UNITS LOT 7 PART OF LOT 101 ON SP271601 LOT 7 FRANKLIN ST, YARRABILBA QLD	 Project Management Urban Engineering Design Contract Administration Project Investigations www.scgurban.com.au PHONE : 0477 300 133 EMAIL: INFO@SCGURBAN.COM.AU		
DO NOT SCALE FROM THIS DRAWING - IF IN DOUBT ASK A1		COUNCIL: LCC - PDA		CERTIFIED: JASON MARSHALL PROJECT TEAM	DRAWING TITLE: DRAWING INDEX AND LOCALITY PLAN			
REV.	DESCRIPTION	ISSUE DATE		RPEQ NO. 6835 HEIGHT DATUM AHD GRID LOCAL ORIGINAL SIZE	DESIGNER GC REVIEWED SS APPROVER JM	SCG PROJECT NO. 830-101-ENG-DA	DRAWING NO. DA00	REVISION B



LEGEND	
	SITE BOUNDARY
	6.00 EXISTING SURFACE CONTOURS
	EXISTING SEWER
	WATER MAIN, SLUICE VALVE, FIRE HYDRANT, REDUCER & END CAP
	EXISTING WATER
	EXISTING STORMWATER
	EXISTING COMMUNICATION LINES
	EXISTING ELECTRICAL LINES
	EXISTING HYDRANT & WATER METER
	EXISTING POWER & LIGHT POLE
	EXISTING ELECTRICAL PIT
	EXISTING TELSTRA PIT

- NOTES / WARNINGS**
- UNDERGROUND SERVICES EXIST IN THIS AREA.
  - CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UNDERGROUND SERVICES PRIOR TO COMMENCEMENT OF WORKS.



**ENERGY SERVICE PROVIDERS**

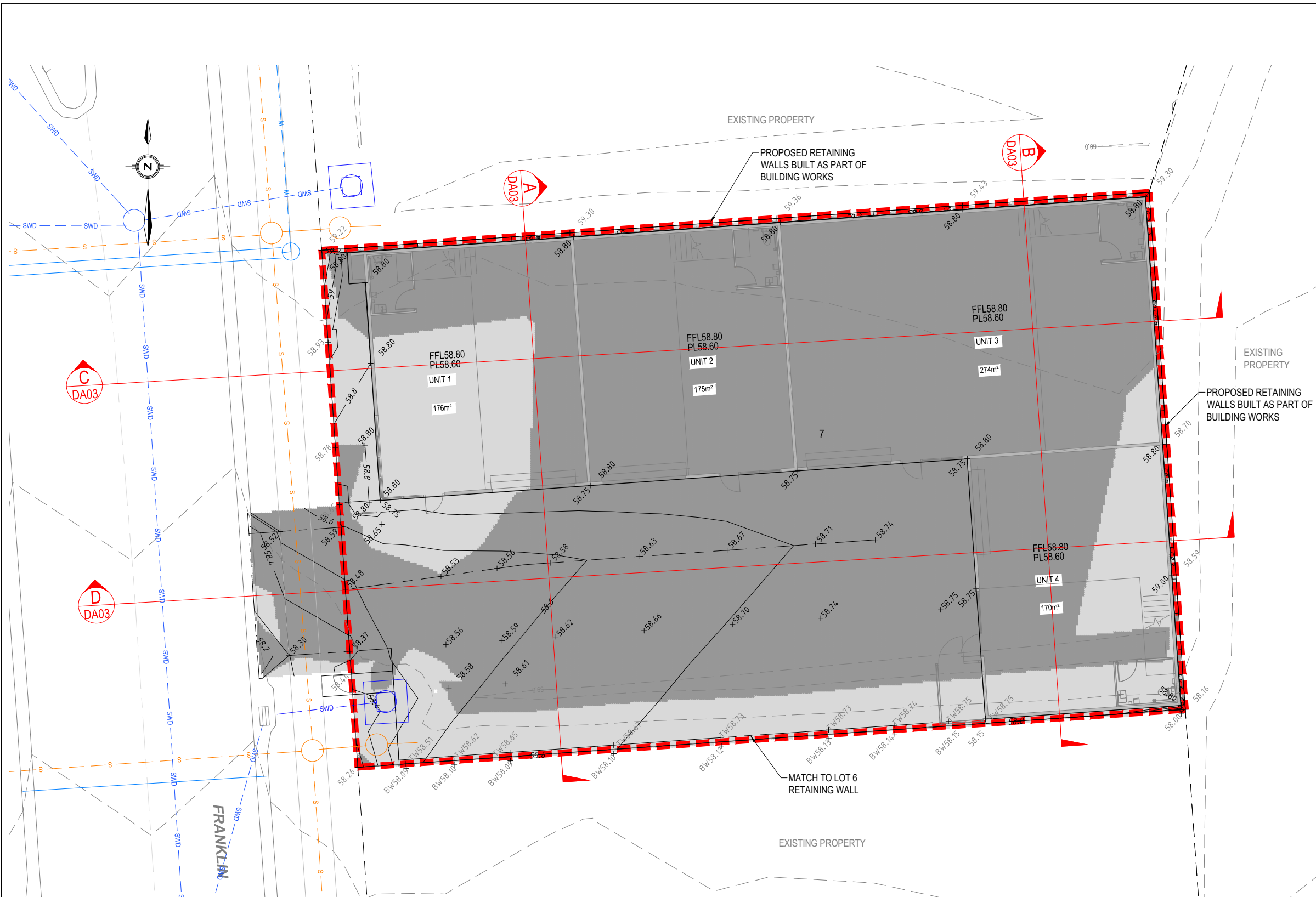
NOTE: SERVICE LOCATIONS ARE APPROXIMATE ONLY FROM PROVIDERS PLANS. LOCATIONS ARE TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. PHONE DBYD. SERVICE LOCATIONS ON 1100 FOR DETAILS.

**TELECOMMUNICATIONS SERVICE PROVIDERS**

NOTE: SERVICE LOCATIONS ARE APPROXIMATE ONLY FROM PROVIDERS PLANS. LOCATIONS ARE TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. PHONE DBYD. SERVICE LOCATIONS ON 1100 FOR DETAILS.

**EXISTING FEATURES PLAN**  
SCALE 1:100

<p>SCALE:</p> <p>1 : 100    1   0   1   2   3   4   5m    A1</p> <p>1 : 200    A3</p>		<p>CLIENT:</p> <p><b>ABC CONSTRUCTION GROUP</b></p>	<p>CONSULTANTS:</p>	<p>STATUS:</p> <p><b>ISSUE FOR APPROVAL</b></p>	<p>PROJECT TITLE:</p> <p><b>DEVELOPMENT APPLICATION PLANS FOR INDUSTRIAL UNITS</b> LOT 7 PART OF LOT 101 ON SP271601 LOT 7 FRANKLIN ST, YARRABILBA QLD</p>	<p>Project Management Urban Engineering Design Contract Administration Project Investigations www.scgurban.com.au</p> <p>PHONE : 0477 300 133 EMAIL: INFO@SCGURBAN.COM.AU</p>																				
<p>B AMENDED LAYOUT    GC    17.04.25    DO NOT SCALE FROM THIS DRAWING - IF IN DOUBT ASK    A1</p> <p>A ISSUE FOR APPROVAL    GC    20.12.24    COUNCIL: LCC - PDA</p>	<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>REV.</th> <th>DESCRIPTION</th> <th>ISSUE</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>B</td> <td>AMENDED LAYOUT</td> <td>GC</td> <td>17.04.25</td> </tr> <tr> <td>A</td> <td>ISSUE FOR APPROVAL</td> <td>GC</td> <td>20.12.24</td> </tr> </tbody> </table>	REV.	DESCRIPTION	ISSUE	DATE		B	AMENDED LAYOUT	GC	17.04.25	A	ISSUE FOR APPROVAL	GC	20.12.24	<p>THESE DESIGNS AND DRAWINGS ARE COPYRIGHT AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SCG URBAN PTY LTD.</p>	<p>ORIGINAL SIZE</p> <p>AT THESE DRAWINGS ARE INTENDED TO BE PRINTED IN COLOUR</p>	<p>CERTIFIED:</p> <table border="1"> <thead> <tr> <th>RPEQ NO.</th> <th>HEIGHT DATUM</th> <th>GRID</th> <th>ORIGINAL SIZE</th> </tr> </thead> <tbody> <tr> <td>6835</td> <td>AHD</td> <td>LOCAL</td> <td>AT THESE DRAWINGS ARE INTENDED TO BE PRINTED IN COLOUR</td> </tr> </tbody> </table>	RPEQ NO.	HEIGHT DATUM	GRID	ORIGINAL SIZE	6835	AHD	LOCAL	AT THESE DRAWINGS ARE INTENDED TO BE PRINTED IN COLOUR	<p>DRAWING TITLE:</p> <p><b>EXISTING FEATURES PLAN</b></p>
REV.	DESCRIPTION	ISSUE	DATE																							
B	AMENDED LAYOUT	GC	17.04.25																							
A	ISSUE FOR APPROVAL	GC	20.12.24																							
RPEQ NO.	HEIGHT DATUM	GRID	ORIGINAL SIZE																							
6835	AHD	LOCAL	AT THESE DRAWINGS ARE INTENDED TO BE PRINTED IN COLOUR																							

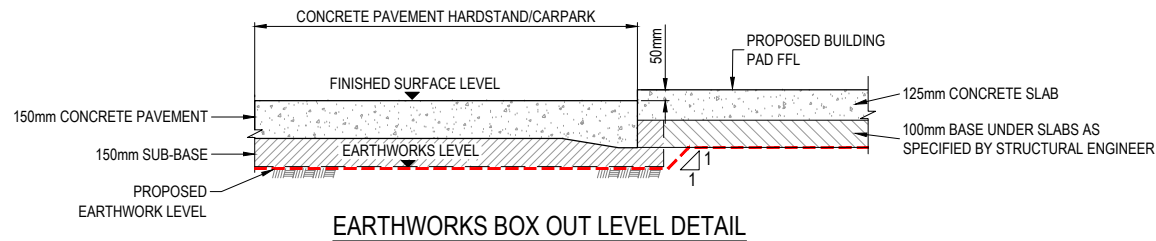


LEGEND	
---	PROPOSED EDGE OF HARDSTAND
---	SITE BOUNDARY
---	PROPOSED SURFACE CONTOURS
---	EXISTING SURFACE CONTOURS
• 12.650	PROPOSED FINISH SURFACE LEVEL
• TW12.65	PROPOSED TOP OF WALL LEVEL
• 12.65	EXISTING SURFACE LEVEL
---	PROPOSED CONCRETE RETAINING WALL
→	PROPOSED SWALE DRAIN
○ S	EXISTING SEWER
○ W	EXISTING WATER
○ SWD	EXISTING STORMWATER
○ E	EXISTING ELECTRICAL
○ C	EXISTING COMMUNICATION LINES
○ OH WM	EXISTING HYDRANT & WATER METER
○ OPP OLP	EXISTING POWER & LIGHT POLE
○ EPIL TPIT	EXISTING ELECT. PIT & TELSTRA PITS

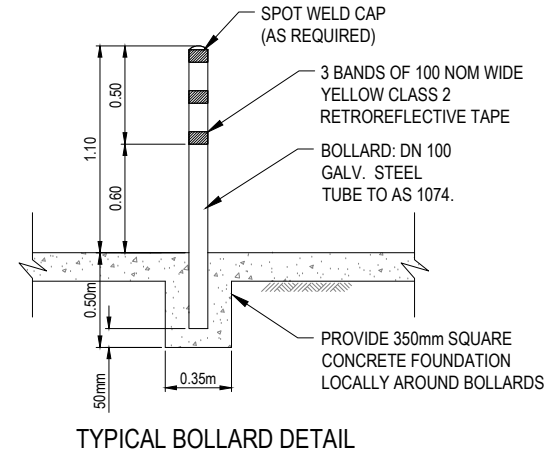
EARTHWORKS SCHEDULE		
CUT OR FILL	ITEM	VOLUME (m³)
CUT	TOTAL CUT	249
FILL	TOTAL FILL	13
TOTAL EXCESS CUT TO STOCKPILE FOR LOT 6 (SOLID BANK MEASURE NO COMPACTION FACTORED)		236

**BULK EARTHWORKS LAYOUT PLAN**  
SCALE 1:100

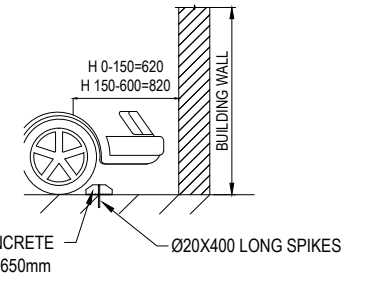
<b>SCALE:</b> 1 : 100 1 : 200		<b>CLIENT:</b> <b>ABC CONSTRUCTION GROUP</b>	<b>CONSULTANTS:</b> 	<b>STATUS:</b> <b>ISSUE FOR APPROVAL</b>	<b>PROJECT TITLE:</b> <b>DEVELOPMENT APPLICATION PLANS FOR INDUSTRIAL UNITS</b> <b>LOT 7 PART OF LOT 101 ON SP271601</b> <b>LOT 7 FRANKLIN ST, YARRABILBA QLD</b>	<p>Project Management Urban Engineering Design Contract Administration Project Investigations www.scgurban.com.au</p> <p>PHONE : 0477 300 133 EMAIL: INFO@SCGURBAN.COM.AU</p>		
<b>REV.</b> B AMENDED LAYOUT A ISSUE FOR APPROVAL	<b>ISSUE DATE</b> GC 17.04.25 GC 20.12.24	<b>DESCRIPTION</b> DO NOT SCALE FROM THIS DRAWING - IF IN DOUBT ASK A1 COUNCIL: LCC - PDA		<b>CERTIFIED:</b> RPEQ NO. 6835 HEIGHT DATUM AHD GRID LOCAL ORIGINAL SIZE	<b>DRAWING TITLE:</b> <b>BULK EARTHWORKS LAYOUT PLAN</b>		SCG PROJECT NO. <b>830-101-ENG-DA</b>	DRAWING NO. <b>DA02</b>



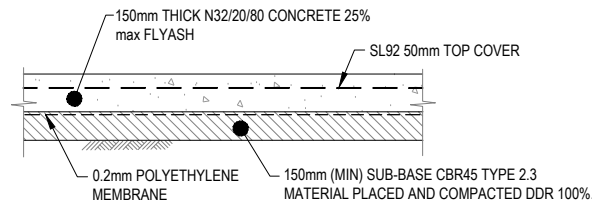
**EARTHWORKS BOX OUT LEVEL DETAIL**  
SCALE N.T.S.



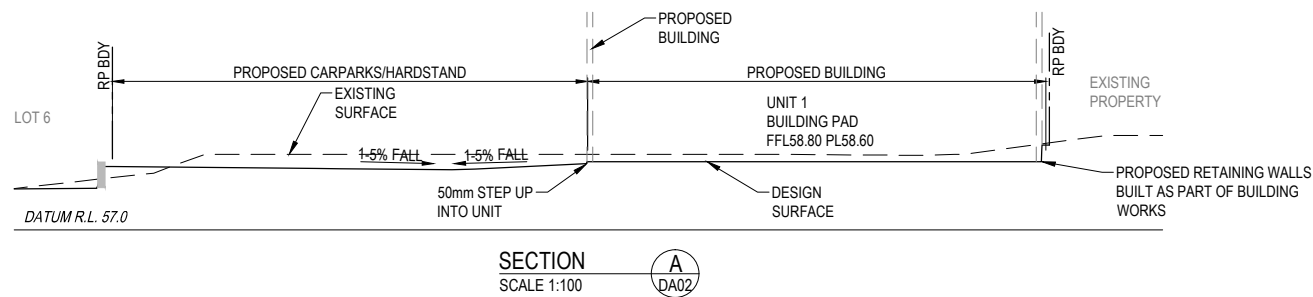
**TYPICAL BOLLARD DETAIL**  
SCALE 1:20



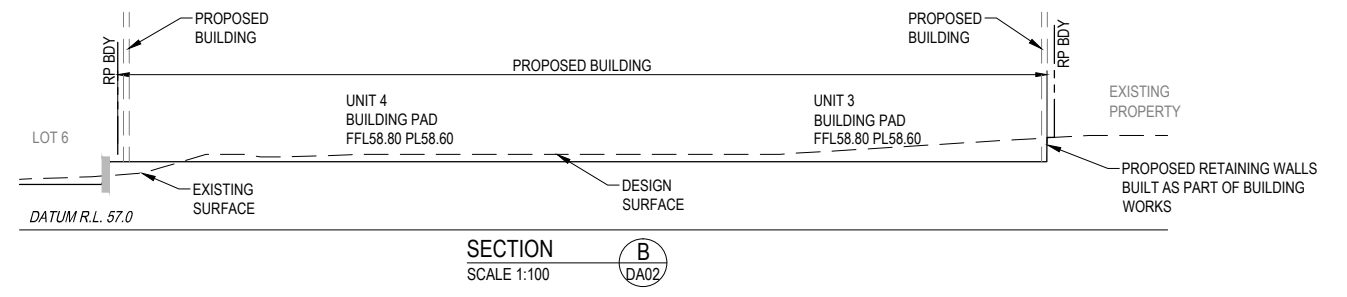
**WHEEL STOP DETAIL**  
SCALE N.T.S.



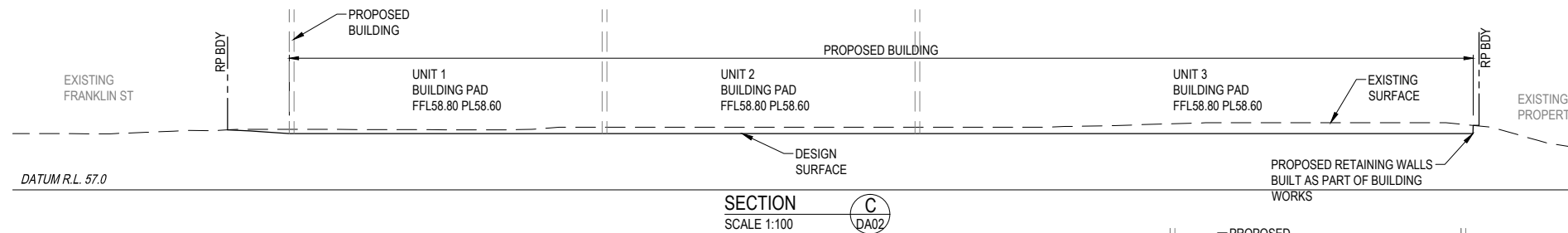
**TYPICAL 150mm THICK CONCRETE PAVEMENT**  
SCALE N.T.S.



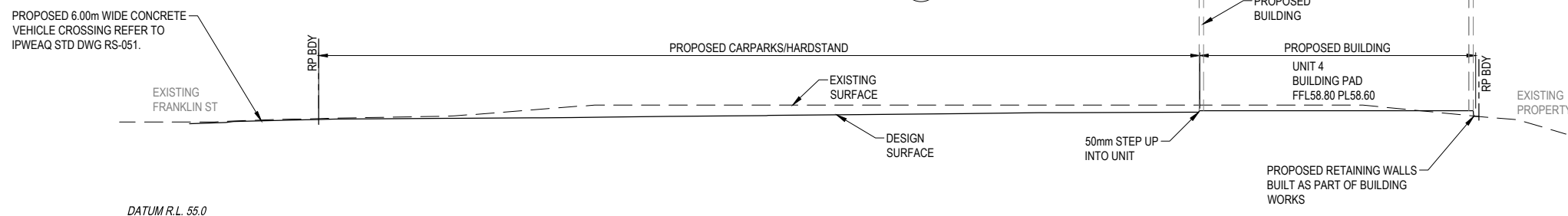
**SECTION A**  
SCALE 1:100



**SECTION B**  
SCALE 1:100

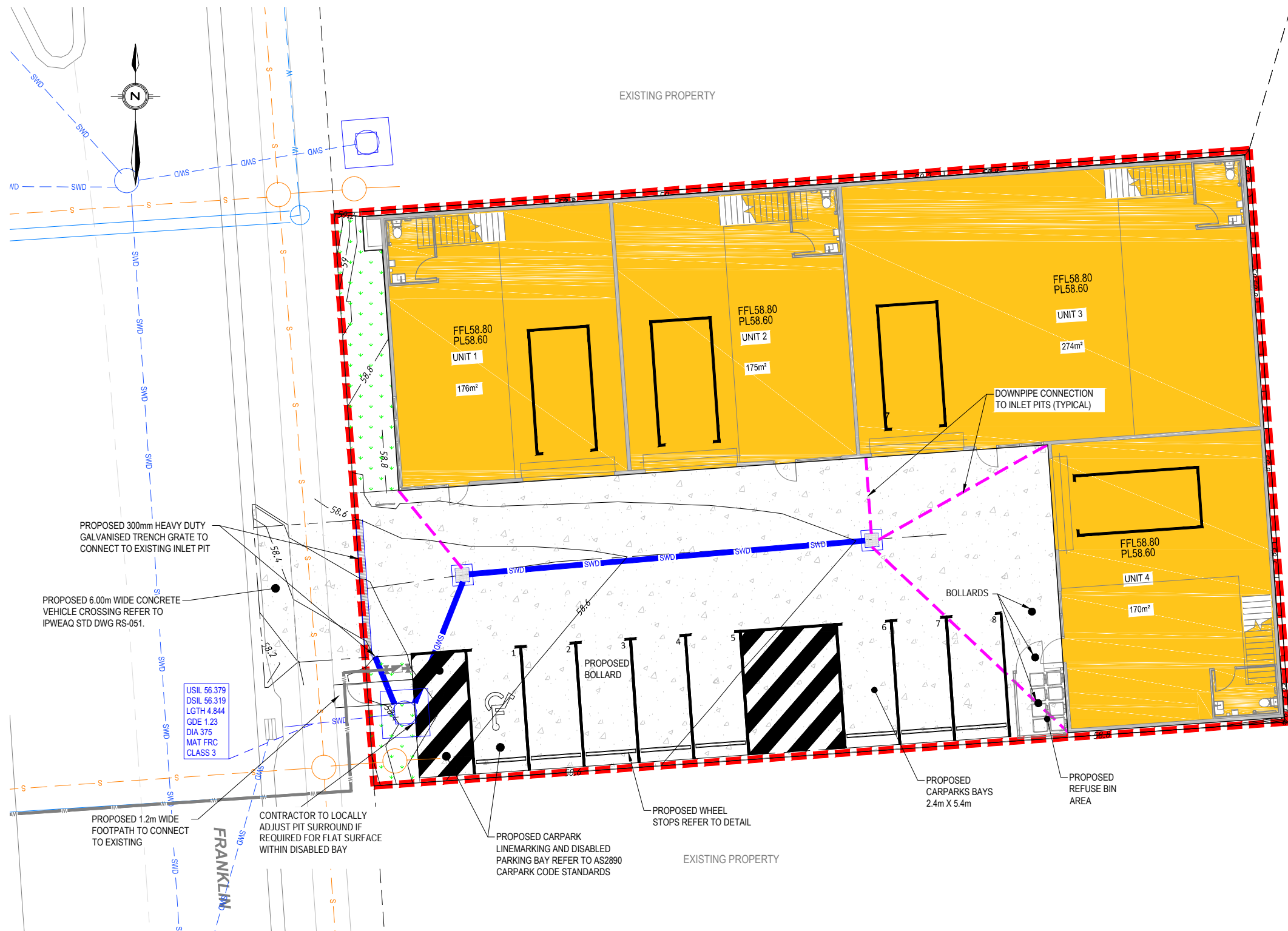


**SECTION C**  
SCALE 1:100



**SECTION D**  
SCALE 1:100

SCALE: 1:100 1:200		CLIENT: <b>ABC CONSTRUCTION GROUP</b>	CONSULTANTS: <b>bruc design</b> BUILDING DESIGN	STATUS: <b>ISSUE FOR APPROVAL</b>	PROJECT TITLE: <b>DEVELOPMENT APPLICATION PLANS FOR INDUSTRIAL UNITS LOT 7 PART OF LOT 101 ON SP271601 LOT 7 FRANKLIN ST, YARRABILBA QLD</b>	 Project Management Urban Engineering Design Contract Administration Project Investigations www.scgurban.com.au PHONE: 0477 300 133 EMAIL: INFO@SCGURBAN.COM.AU																														
<table border="1"> <tr> <td>B</td> <td>AMENDED LAYOUT</td> <td>GC</td> <td>17.04.25</td> <td rowspan="2">DO NOT SCALE FROM THIS DRAWING - IF IN DOUBT ASK A1</td> </tr> <tr> <td>A</td> <td>ISSUE FOR APPROVAL</td> <td>GC</td> <td>20.12.24</td> </tr> </table>	B	AMENDED LAYOUT	GC	17.04.25	DO NOT SCALE FROM THIS DRAWING - IF IN DOUBT ASK A1		A	ISSUE FOR APPROVAL	GC	20.12.24	<table border="1"> <tr> <td>RPEQ NO.</td> <td>6835</td> <td>PROJECT TEAM</td> <td>JASON MARSHALL</td> </tr> <tr> <td>HEIGHT DATUM</td> <td>AHD</td> <td>DESIGNER</td> <td>GC</td> </tr> <tr> <td>GRID</td> <td>LOCAL</td> <td>REVIEWED</td> <td>SS</td> </tr> <tr> <td>ORIGINAL SIZE</td> <td>AT THESE DRAWINGS ARE INTENDED TO BE PRINTED IN COLOUR</td> <td>APPROVER</td> <td>JM</td> </tr> </table>	RPEQ NO.	6835	PROJECT TEAM	JASON MARSHALL	HEIGHT DATUM	AHD	DESIGNER	GC	GRID	LOCAL	REVIEWED	SS	ORIGINAL SIZE	AT THESE DRAWINGS ARE INTENDED TO BE PRINTED IN COLOUR	APPROVER	JM	<table border="1"> <tr> <td>DRAWING TITLE:</td> <td><b>BULK EARTHWORK SECTION</b></td> </tr> </table>	DRAWING TITLE:	<b>BULK EARTHWORK SECTION</b>	<table border="1"> <tr> <td>SCG PROJECT NO.</td> <td>830-101-ENG-DA</td> <td>DRAWING NO.</td> <td>DA03</td> <td>REVISION</td> <td>B</td> </tr> </table>	SCG PROJECT NO.	830-101-ENG-DA	DRAWING NO.	DA03	REVISION
B	AMENDED LAYOUT	GC	17.04.25	DO NOT SCALE FROM THIS DRAWING - IF IN DOUBT ASK A1																																
A	ISSUE FOR APPROVAL	GC	20.12.24																																	
RPEQ NO.	6835	PROJECT TEAM	JASON MARSHALL																																	
HEIGHT DATUM	AHD	DESIGNER	GC																																	
GRID	LOCAL	REVIEWED	SS																																	
ORIGINAL SIZE	AT THESE DRAWINGS ARE INTENDED TO BE PRINTED IN COLOUR	APPROVER	JM																																	
DRAWING TITLE:	<b>BULK EARTHWORK SECTION</b>																																			
SCG PROJECT NO.	830-101-ENG-DA	DRAWING NO.	DA03	REVISION	B																															



LEGEND	
	SITE BOUNDARY
	PROPOSED CONCRETE PAVEMENT
	PROPOSED LANDSCAPING
	PROPOSED BUILDING
	PROPOSED EDGE OF HARDSTAND
	PROPOSED STORMWATER LINE & MANHOLE & INLET PIT
	DOWNPIPE CONNECTION TO INLET PIT
	PROPOSED STORMWATER LABEL (0.10m INTERVALS)
	PROPOSED SURFACE CONTOURS (0.10m INTERVALS)
	PROPOSED CONCRETE RETAINING WALL
	PROPOSED SWALE DRAIN
	EXISTING SEWER LINE
	EXISTING WATER
	EXISTING STORMWATER
	EXISTING ELECTRICAL
	EXISTING COMMUNICATION LINES
	EXISTING HYDRANT & WATER METER
	EXISTING POWER & LIGHT POLE
	EXISTING ELECTRICAL & TELSTRA PIT

**PAVEMENT & DRAINAGE LAYOUT PLAN**  
SCALE 1:100

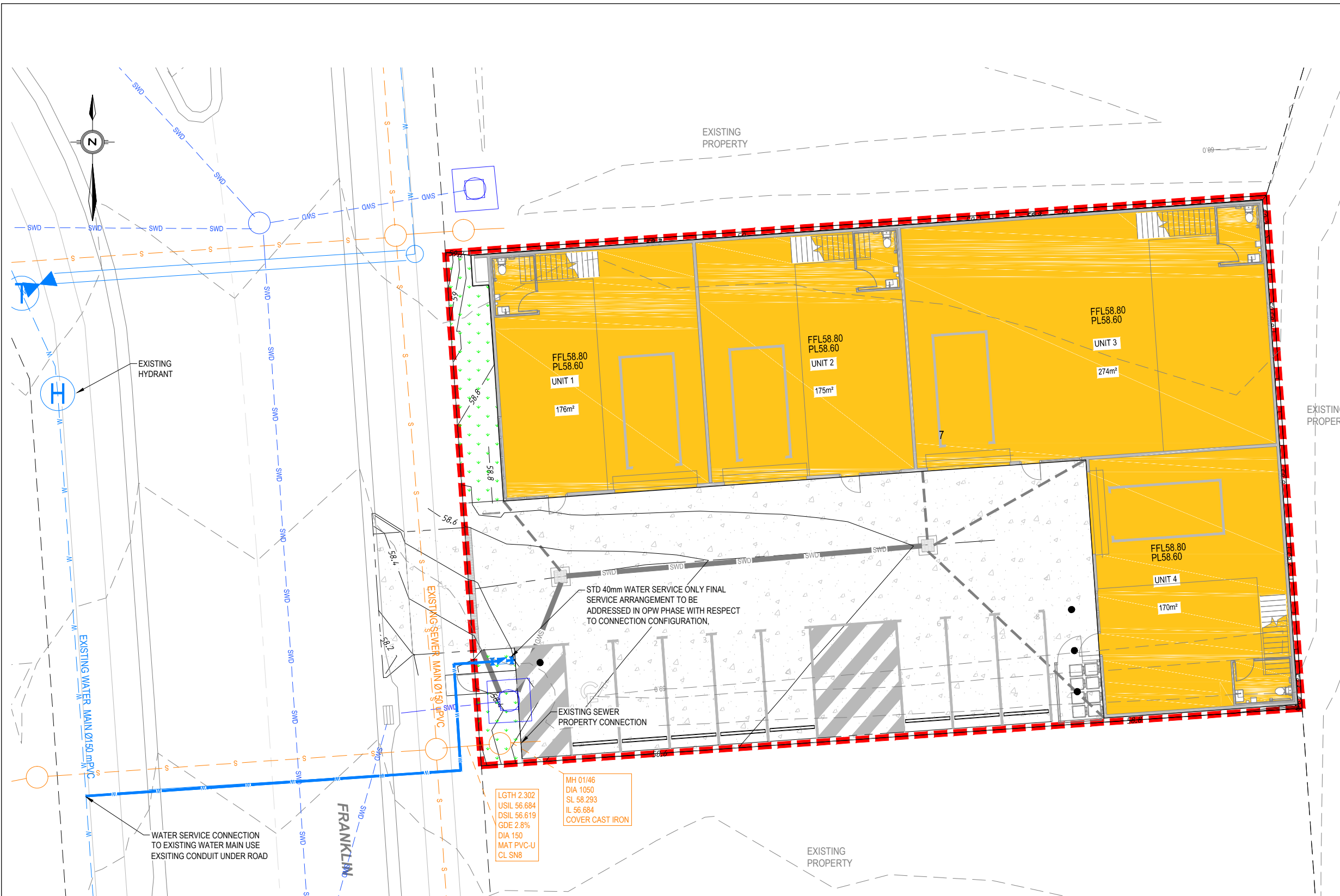
<table border="1"> <tr> <td>REV.</td> <td>DESCRIPTION</td> <td>ISSUE</td> <td>DATE</td> </tr> <tr> <td>B</td> <td>AMENDED LAYOUT</td> <td>GC</td> <td>17.04.25</td> </tr> <tr> <td>A</td> <td>ISSUE FOR APPROVAL</td> <td>GC</td> <td>20.12.24</td> </tr> </table>		REV.	DESCRIPTION	ISSUE	DATE	B	AMENDED LAYOUT	GC	17.04.25	A	ISSUE FOR APPROVAL	GC	20.12.24	SCALE: DO NOT SCALE FROM THIS DRAWING - IF IN DOUBT ASK A1 CLIENT: ABC CONSTRUCTION GROUP CONSULTANTS:	STATUS: ISSUE FOR APPROVAL CERTIFIED: JASON MARSHALL RPEQ NO. 6835 HEIGHT DATUM: AHD GRID: LOCAL ORIGINAL SIZE: AT THESE DRAWINGS ARE INTENDED TO BE PRINTED IN COLOUR	PROJECT TITLE: DEVELOPMENT APPLICATION PLANS FOR INDUSTRIAL UNITS LOT 7 PART OF LOT 101 ON SP271601 LOT 7 FRANKLIN ST, YARRABILBA QLD DRAWING TITLE: PAVEMENT AND DRAINAGE LAYOUT PLAN	 Project Management Urban Engineering Design Contract Administration Project Investigations www.scgurban.com.au PHONE : 0477 300 133 EMAIL: INFO@SCGURBAN.COM.AU	SCG PROJECT NO. 830-101-ENG-DA DRAWING NO. DA04 REVISION B
REV.	DESCRIPTION	ISSUE	DATE															
B	AMENDED LAYOUT	GC	17.04.25															
A	ISSUE FOR APPROVAL	GC	20.12.24															



LEGEND	
6.0	FINISHED SURFACE CONTOURS
	PROPOSED CATCHMENT BOUNDARY
	PROPOSED STORMWATER LINE
	DOWNPIPE CONNECTION TO INLET PIT
	PROPOSED STORMWATER MANHOLE
	PROPOSED STORMWATER PIT
	CATCHMENT NUMBER AND AREA
	PROPOSED SWALE DRAIN
	EXISTING STORMWATER
	FLOW DIRECTION

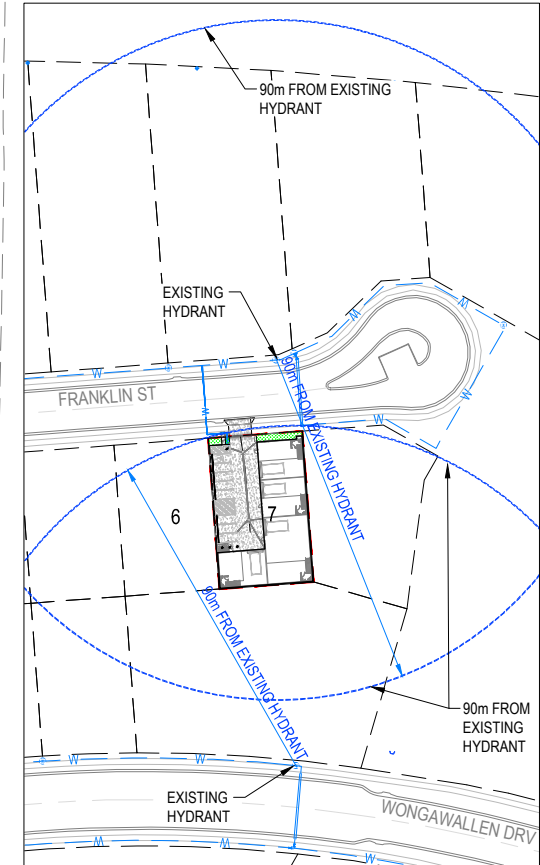
STORMWATER CATCHMENT PLAN  
SCALE 1:100

SCALE: 1:100 1:200 		CLIENT: <b>ABC CONSTRUCTION GROUP</b>	CONSULTANTS: 	STATUS: <b>ISSUE FOR APPROVAL</b>	PROJECT TITLE: <b>DEVELOPMENT APPLICATION PLANS FOR INDUSTRIAL UNITS          LOT 7 PART OF LOT 101 ON SP271601          LOT 7 FRANKLIN ST, YARRABILBA QLD</b>
B AMENDED LAYOUT GC 17.04.25 A ISSUE FOR APPROVAL GC 20.12.24		DO NOT SCALE FROM THIS DRAWING - IF IN DOUBT ASK A1 COUNCIL: LCC - PDA		CERTIFIED: RPEQ NO. 6835 JASON MARSHALL HEIGHT DATUM AHD DESIGNER GC GRID LOCAL REVIEWED SS ORIGINAL SIZE AT THESE DRAWINGS ARE INTENDED TO BE PRINTED IN COLOUR APPROVER JM	DRAWING TITLE: <b>STORMWATER CATCHMENT PLAN</b>
REV. DESCRIPTION ISSUE DATE		THESE DESIGNS AND DRAWINGS ARE COPYRIGHT AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SCG URBAN PTY LTD.		PHONE : 0477 300 133 EMAIL: INFO@SCGURBAN.COM.AU	SCG PROJECT NO. 830-101-ENG-DA DRAWING NO. DA05 REVISION B



**WATER & SEWER CONNECTION LAYOUT PLAN**  
SCALE 1:100

LEGEND	
	PROPOSED CONCRETE PAVEMENT
	PROPOSED LANDSCAPING
	PROPOSED BUILDING
	EXISTING WATER MAIN
	EXISTING SEWER
	DUCK FOOT HYDRANT, SLUICE VALVE, SCOUR VALVE, FIRE HYDRANT, REDUCER & END CAP
	PROPOSED WATER SERVICE MAIN (DEVELOPER ASSET)
	PROPOSED WATER MAIN (COUNCIL ASSET)
	PROPOSED FIRE SERVICE MAIN
	PROPOSED DN50 ROAD CROSSING
	PROPOSED SEWER LINE & MANHOLE
	PROPOSED SURFACE CONTOURS (0.10m INTERVALS)



**WATER HYDRANT SPACING PLAN**  
SCALE 1:1000

REV.	DESCRIPTION	ISSUE	DATE
B	AMENDED LAYOUT	GC	17.04.25
A	ISSUE FOR APPROVAL	GC	20.12.24

SCALE:

1:100    1    0    1    2    3    4    5m    A1

1:200    A3

1:1000    10    0    10    20    30    40    50m    A1

1:2000    A3

DO NOT SCALE FROM THIS DRAWING - IF IN DOUBT ASK A1

COUNCIL: LCC - PDA

THESE DESIGNS AND DRAWINGS ARE COPYRIGHT AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SCG URBAN PTY LTD.

CLIENT: **ABC CONSTRUCTION GROUP**



STATUS: **ISSUE FOR APPROVAL**

CERTIFIED:

RPEQ NO. 6835	JASON MARSHALL
HEIGHT DATUM	DESIGNER
GRID LOCAL	REVIEWED
ORIGINAL SIZE	APPROVER

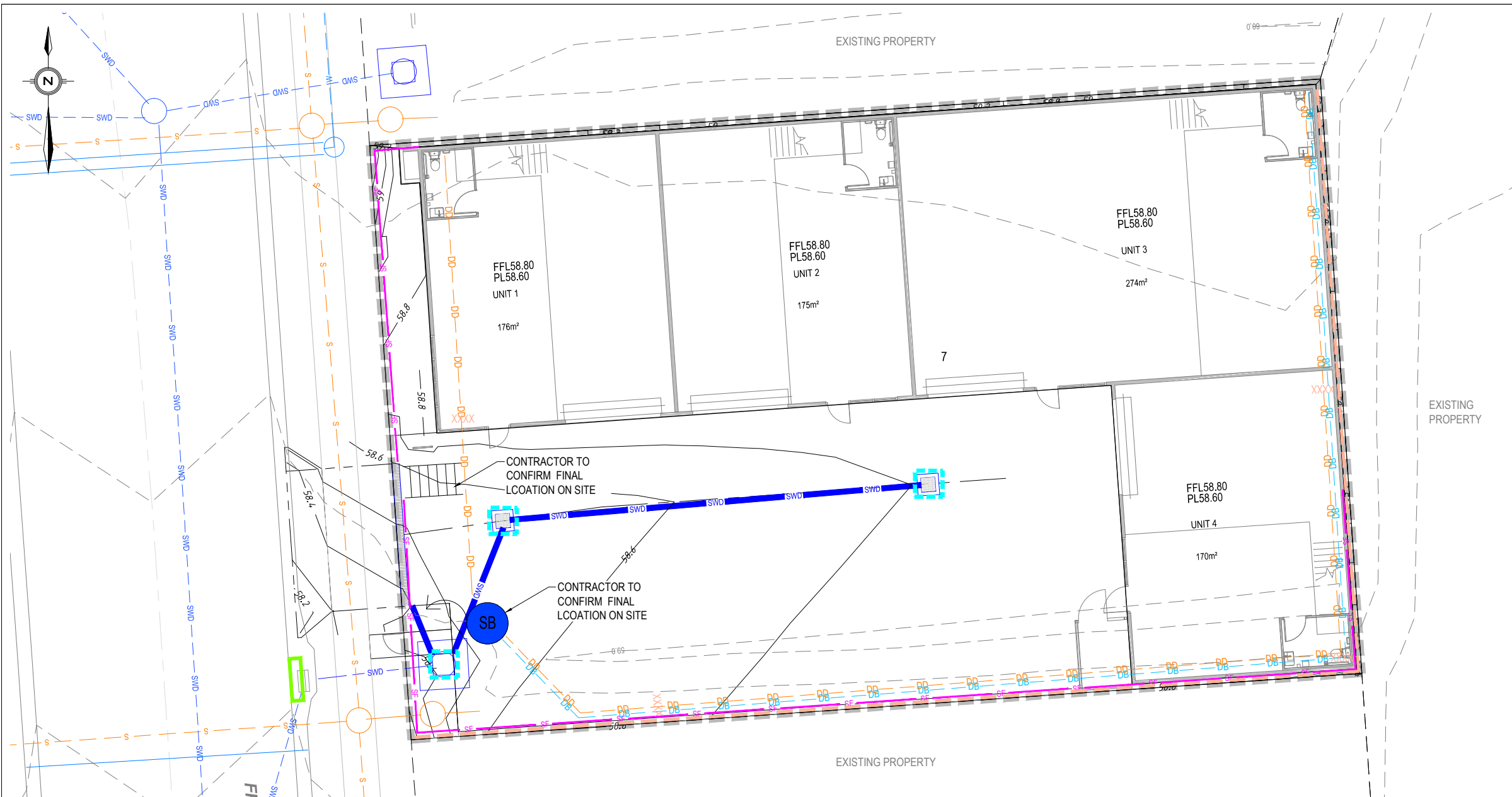
PROJECT TITLE: **DEVELOPMENT APPLICATION PLANS FOR INDUSTRIAL UNITS**  
LOT 7 PART OF LOT 101 ON SP271601  
LOT 7 FRANKLIN ST, YARRABILBA QLD

DRAWING TITLE: **WATER AND SEWER CONNECTION LAYOUT PLAN**

Project Management  
Urban Engineering Design  
Contract Administration  
Project Investigations  
www.scgurban.com.au

PHONE : 0477 300 133  
EMAIL: INFO@SCGURBAN.COM.AU

SCG PROJECT NO. <b>830-101-ENG-DA</b>	DRAWING NO. <b>DA06</b>	REVISION <b>B</b>
--	----------------------------	----------------------



LEGEND	
	VEHICLE SHAKE DOWN
	CHECK DAM
	OVERLAND STORMWATER FLOW
	TEMPORARY SEDIMENT BASIN
	GULLY PIT SEDIMENT BARRIER
	FIELD PIT SEDIMENT BARRIER
	CLEAR WATER DIVERSION DRAIN
	DUST FENCE
	PROPOSED TEMPORARY SWALE
	SILT FENCE TO BE INSTALLED
	DIVERSION BUND
	DIRTY WATER DIVERSION DRAIN
	LIMIT OF WORKS
	EXISTING SURFACE CONTOURS
	DESIGN SURFACE CONTOURS
	PROPOSED HARDSTAND EDGE
	PROPOSED CONCRETE RETAINING WALL
	PROPOSED STORMWATER
	EXISTING SEWER
	EXISTING WATER
	EXISTING STORMWATER
	EXISTING ELECTRICAL
	EXISTING COMMUNICATION LINES
	EXISTING HYDRANT & WATER METER
	EXISTING POWER & LIGHT POLE
	EXISTING ELECT. PIT & TELSTRA PITS

NOTES:
1. THE MEASURES SHOWN ON THIS PLAN ARE INDICATIVE ONLY. THE CONTRACTOR SHALL CARRY OUT ALL WORKS IN ACCORDANCE WITH THE CONTRACTORS SEDIMENT AND EROSION CONTROL PLAN. ALL RESPONSIBILITY FOR SEDIMENT AND EROSION CONTROL IS DELEGATED TO THE CONTRACTOR BY THE APPLICANT AND THE LAND OWNERS UNTIL THE ON MAINTENANCE INSPECTION.
2. THE CONTRACTOR AT A MINIMUM IS TO COMPLY WITH HEALTHY WATERWAYS "CONTROLLING STORMWATER POLLUTION ON YOUR BUILDING SITE" AND ALL ASSOCIATED DOCUMENTATION AND CHECKLISTS.
3. REFER TO DWG DA08 FOR NOTES AND DETAILS.

STOCKPILE NOTES:
1. ALL STOCKPILES MUST BE SURROUNDED BY A SILT FENCE.
2. STOCKPILES MUST BE COVERED, IF NECESSARY, TO PREVENT DUST OR CONTAMINATION OF WATERS.

STABILISATION NOTES:
1. TOP SOIL AND SEED MUST BE PLACED ON COMPLETED AREAS WITHIN 7 DAYS OF THAT AREA BEING COMPLETED.
2. HYDROMULCHING MAY BE ORDERED BY THE SUPERINTENDENT.
3. ALL BATTERS GREATER THAN 1 IN 4 TO BE MULCHED WITH ONSITE MULCH.
4. 90% STRIKE MUST OCCUR WITHIN 4 WEEKS. AFTER THIS PERIOD RE-SEEDING MAY BE ORDERED AT THE CONTRACTOR'S COST.

**PHASE 1 PRE-START NOTE:**

- MEASURES SHOWN ON THIS PLAN ARE TO BE IMPLEMENTED PRIOR TO PRE-START MEETING WITH COUNCIL.
- THE CONTRACTOR MUST INFORM THEMSELVES OF AND COMPLY WITH THE STATE PLANNING POLICY FOR HEALTHY WATERS".
- SEDIMENT FENCES TO BE INSTALLED DOWNSTREAM OF ALL WORKS AND EXPOSED SOILS
- IN ADDITION TO THE ABOVE SILT FENCING TO BE INSTALLED ACROSS SITE AT MINIMUM 30m SPACINGS WHERE AREAS HAVE BEEN EXPOSED.
- MINIMISE THE NUMBER OF SITE ACCESS LOCATIONS (PREFERENCE FOR ONE ONLY) AND PROVIDE STABILISED SITE ACCESS AND SHAKEDOWN TO EACH ACCESS TO MINIMISE TRANSPORT OF SEDIMENT OF SITE.
- ALL DUST GENERATING ACTIVITIES TO CEASE WHEN WIND SPEED REACHES 35km/hr AND ABOVE. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A CALIBRATED WIND METER ON SITE.
- INCREASED WATERING ON SITE TO PREVENT DUST GENERATION, INCLUDING THE TEMPORARY SPRINKLERS (AS REQUIRED).
- ALL SEDIMENT AND EROSION CONTROL STRUCTURES, TRENCHES ETC SHALL BE REGULARLY MAINTAINED AND INSPECTED FOR EFFECTIVENESS.

**PHASE 1 MEASURES:**

- INSTALL SHAKEDOWN
- INSTALL SEDIMENT AND EROSION CONTROL FENCES
- CUT CLEAN WATER CATCH DRAIN
- LINE CLEAN WATER CATCH DRAIN BASE WITH SYNTHETIC EROSION CONTROL MATTING OR ROCK AS VELOCITY > 0.5m/s

**PHASE 2 NOTES:**

PHASE 2 - DURING CONSTRUCTION  
THIS PHASE IS TO BE IN ACCORDANCE WITH THE CONTRACTOR'S SEDIMENT AND EROSION CONTROL PLAN. THE CONTRACTOR IS TO ENGAGE A STORMWATER QUALITY CONSULTANT TO UNDERTAKE STORMWATER QUALITY AND EVENT MONITORING DURING THE "CONSTRUCTION" PHASE, INCLUDING BUT NOT LIMITED TO REMEDIAL ACTION FOLLOWING EVENT MONITORING RESULTS.

THE MONTHLY ALLOWANCE IN THE SCHEDULE WILL NOT BE CLAIMABLE IF TESTS SHOW A RELEASE OF GREATER THAN 50mg/L OF SUSPENDED SOLIDS AND THE RAIN EVENTS DO NOT EXCEED 75TH PERCENTILE OF A 5 DAY EVENT (ON THIS SITE 40mm OVER 5 DAYS). ALL OTHER COSTINGS NOT SCHEDULED ARE DEEMED INCLUDED.

MEASURES SHOWN ON THIS PLAN ARE TO BE IMPLEMENTED PRIOR TO PRE-START MEETING WITH COUNCIL.

THE CONTRACTOR MUST INFORM THEMSELVES OF AND COMPLY WITH "THE STATE PLANNING POLICY FOR HEALTHY WATERS".

**PHASE 2 MEASURES:**

- MAINTAIN SEDIMENT FENCE AND REPLACE AS REQUIRED.
- MAINTAIN CLEAN WATER CATCH DRAINS AND LINER
- INSTALL CHECK DAMS AS SHOWN
- SEDIMENT BASINS TO DESIGNED AND INSTALLED TO ACHIEVE 80% HYDRAULIC EFFECTIVENESS WITH CAPTURED RUNOFF TREATED SUCH THAT DISCHARGE CONTAINS < TOTAL SUSPENDED SOLIDS AND IS WITHIN A PH RANGE OF 6.5-8.5.
- INSTALL GULLY PIT SEDIMENT BARRIERS.
- INSTALL FIELD INLET SEDIMENT BARRIERS.

**SEDIMENT AND EROSION CONTROL PLAN**  
SCALE 1:100

REV.	DESCRIPTION	ISSUE	DATE
B	AMENDED LAYOUT	GC	17.04.25
A	ISSUE FOR APPROVAL	GC	20.12.24

SCALE:  
1:100  
1:200

DO NOT SCALE FROM THIS DRAWING - IF IN DOUBT ASK A1

COUNCIL: LCC - PDA

THESE DESIGNS AND DRAWINGS ARE COPYRIGHT AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SCG URBAN PTY. LTD.

CLIENT:  
**ABC CONSTRUCTION GROUP**

CONSULTANTS:

STATUS: **ISSUE FOR APPROVAL**

CERTIFIED:

RPEQ NO. 6835	JASON MARSHALL
HEIGHT DATUM AHD	DESIGNER GC
GRID LOCAL	REVIEWED SS
ORIGINAL SIZE	APPROVER JM

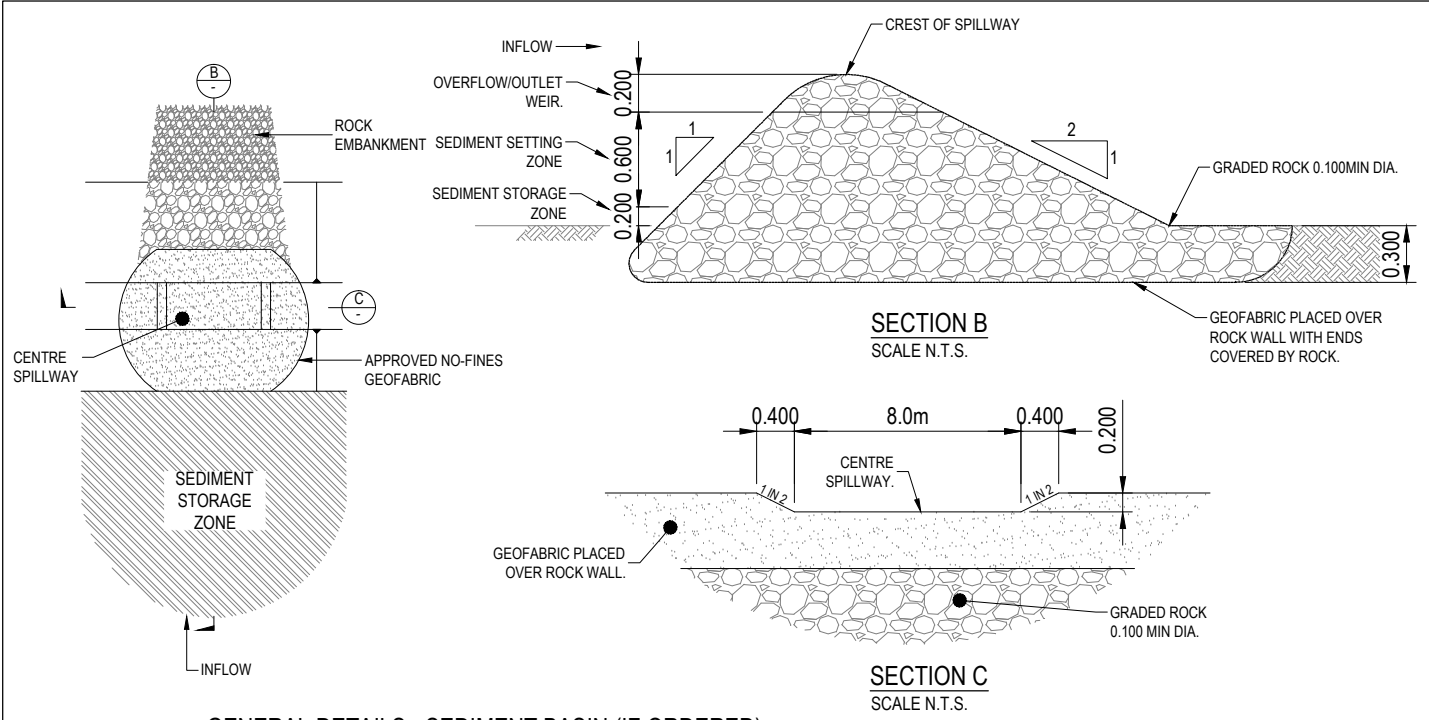
PROJECT TITLE: **DEVELOPMENT APPLICATION PLANS FOR INDUSTRIAL UNITS**  
LOT 7 PART OF LOT 101 ON SP271601  
LOT 7 FRANKLIN ST, YARRABILBA QLD

DRAWING TITLE: **SEDIMENT AND EROSION CONTROL LAYOUT PLAN**

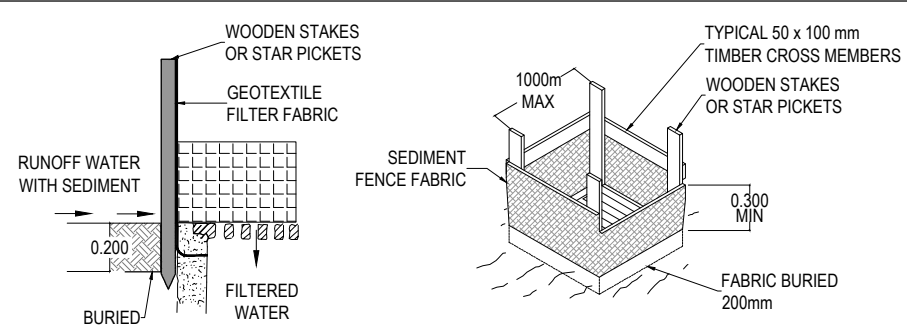
Project Management  
Urban Engineering Design  
Contract Administration  
Project Investigations  
www.scgurban.com.au

PHONE : 0477 300 133  
EMAIL: INFO@SCGURBAN.COM.AU

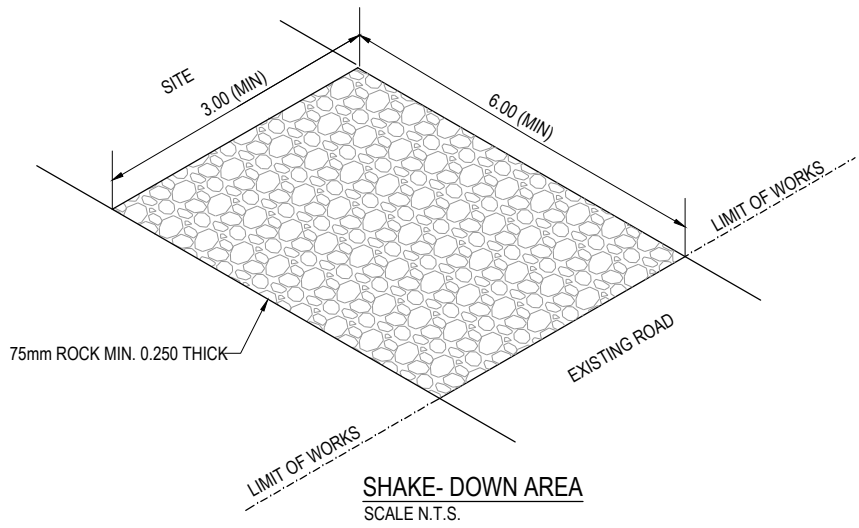
SCG PROJECT NO. 830-101-ENG-DA	DRAWING NO. DA07	REVISION B
-----------------------------------	---------------------	---------------



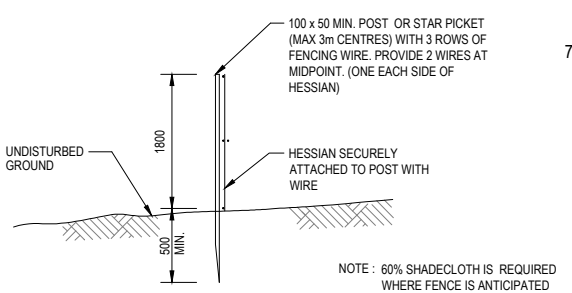
**GENERAL DETAILS - SEDIMENT BASIN (IF ORDERED)**  
SCALE N.T.S.



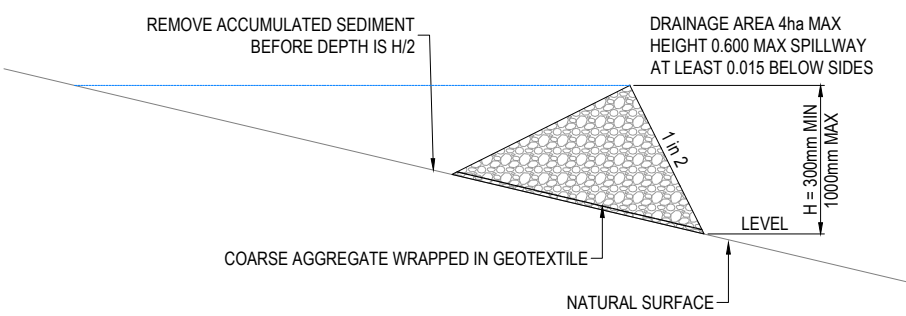
**GEOTEXTILE FILTER FABRIC FIELD INLET SEDIMENT TRAP**  
SCALE N.T.S.



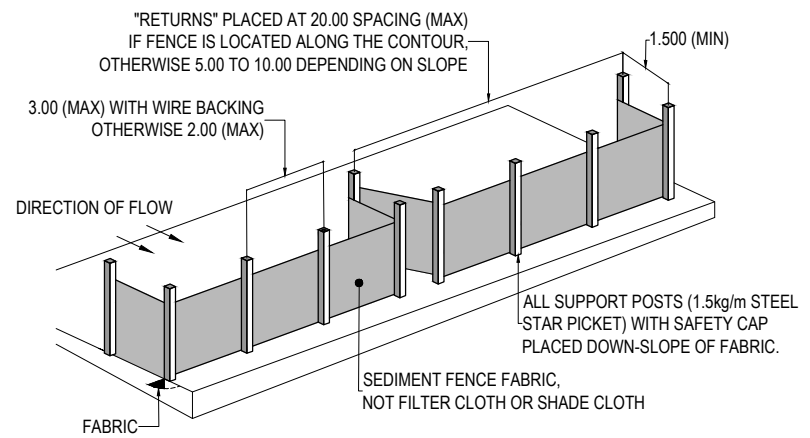
**SHAKE-DOWN AREA**  
SCALE N.T.S.



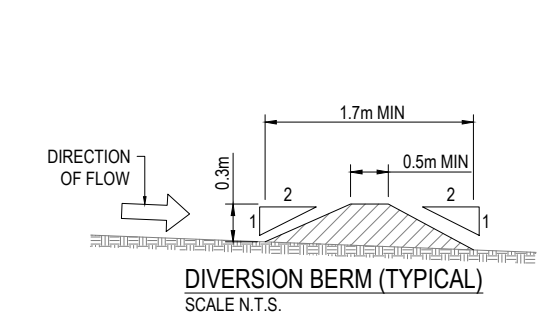
**DUST CONTROL FENCE**  
SCALE: N.T.S.



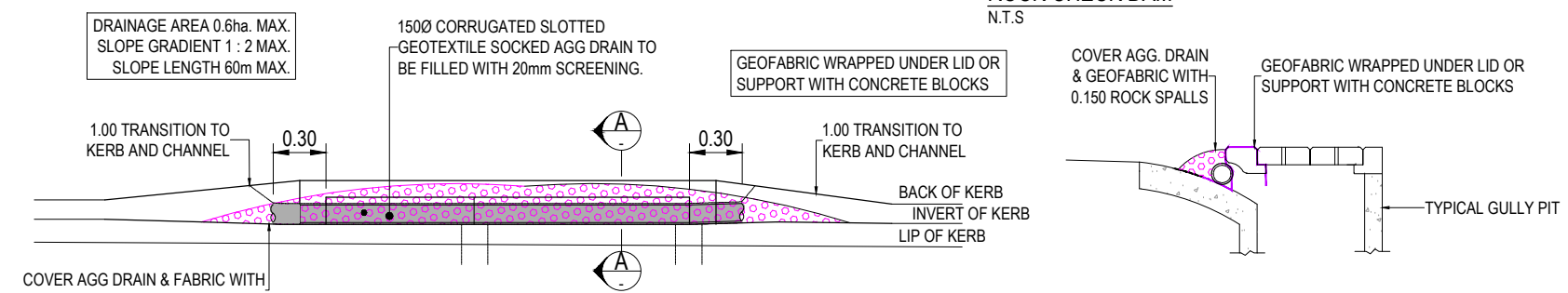
**ROCK CHECK DAM**  
N.T.S.



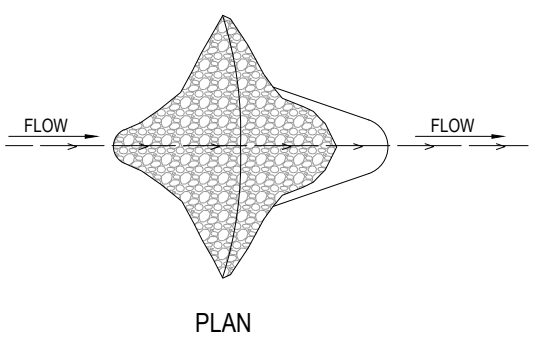
**GEOTEXTILE SEDIMENT FENCE**  
SCALE N.T.S.



**DIVERSION BERM (TYPICAL)**  
SCALE N.T.S.



**GULLY PIT SEDIMENT BARRIER DETAIL**  
N.T.S.



**PLAN**

- NOTES - SEDIMENT MANAGEMENT**
- ALL WORK TO BE IN ACCORDANCE WITH INTERNATIONAL EROSION CONTROL ASSOCIATION - AUSTRALASIA BEST PRACTICE MANAGEMENT GUIDELINES.
- CONSTRUCTION OF ALL SEDIMENT MANAGEMENT DEVICES TO THE SATISFACTION OF COUNCIL'S REPRESENTATIVE. SHALL BE COMPLETED AND EFFECTIVE PRIOR TO:
    - STRIPPING OF TOPSOIL AND GRASS.
    - BULK EARTHWORKS TO THE SITE.
    - SERVICES INSTALLATION.
    - PAVEMENT CONSTRUCTION.
  - ALL SEDIMENT MANAGEMENT MEASURES ARE TO REMAIN IN PLACE UNTIL INSTRUCTION IS RECEIVED FROM THE COUNCIL REPRESENTATIVE OR SUPERINTENDENT TO REMOVE ALL OR PART OF THE SILT CONTROL APPLICATIONS.
  - BOTH TEMPORARY AND PERMANENT SEDIMENT MANAGEMENT/EROSION CONTROL DEVICES SHALL BE MAINTAINED AT A SUITABLE LEVEL/CONDITION THROUGHOUT CONSTRUCTION TO THE SATISFACTION OF THE COUNCIL'S REPRESENTATIVE. SEDIMENT FENCES ARE TO BE CLEANED OUT WHEN CAPACITY IS REDUCED BY 30%.
  - SEDIMENT MANAGEMENT MEASURES ARE TO BE MAINTAINED THROUGHOUT THE MAINTENANCE PERIOD AS DIRECTED.
  - PRIOR TO COMMENCEMENT OF CONSTRUCTION APPROVAL IS TO BE OBTAINED FROM COUNCIL FOR THE LOCATION OF THE SITE ACCESS POINT AND SHAKE DOWN AREA WHICH ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
  - IF SEDIMENT AND EROSION CONTROL DEVICES HAVE BEEN FOUND TO BE DEFECTIVE IN SERVICE, CORRECTIVE ACTION IS TO BE UNDERTAKEN IMMEDIATELY WHICH MAY INCLUDE AMENDMENTS/ADDITIONS TO THE ORIGINAL APPROVED SEDIMENT AND EROSION CONTROL PLANS.
  - ANY SILT OR SEDIMENT ON EXISTING ROADS CAUSED BY THE MOVEMENT OF CONSTRUCTION TRAFFIC IS TO BE REMOVED DAILY BY APPROVED METHODS.
  - TEMPORARY DRAINAGE CONTROL FLOW SHOULD BE DIVERTED AROUND THE WORK SITE WHERE POSSIBLE.
  - ALL DRAINAGE, EROSION AND SEDIMENT CONTROLS TO BE INSTALLED AND BE OPERATIONAL BEFORE COMMENCING "UP-SLOPE" EARTHWORKS.
  - ALL CONTROL MEASURES TO BE INSPECTED AT LEAST WEEKLY AND AFTER SIGNIFICANT RUNOFF PRODUCING STORMS.
  - CONTROL MEASURES MAY BE REMOVED WHEN ON-SITE EROSION IS CONTROLLED AND 70% OF PERMANENT SOIL COVERAGE IS OBTAINED OVER ALL UPSTREAM DISTURBED LAND.
  - IN AREAS WHERE RUNOFF TURBIDITY IS TO BE CONTROLLED, EXPOSED SURFACES TO BE EITHER MULCHED, COVERED WITH EROSION CONTROL BLANKETS OR TURFED IF EARTHWORKS ARE EXPECTED TO BE DELAYED FOR MORE THAN 14 DAYS.
  - STRAW BALE SEDIMENT TRAPS ARE A SECONDARY OPTION WHICH GENERALLY NOT BE USED IF OTHER OPTIONS ARE AVAILABLE.

- NOTES - SEDIMENT CONTROL**
- SEDIMENT FENCE**
- NOT TO BE LOCATED IN AREAS OF CONCENTRATED FLOW.
  - NORMALLY LOCATED ALONG THE CONTOUR WITH A MAXIMUM CATCHMENT AREA 0.6ha PER 100m LENGTH OF FENCE.
  - WOVEN FABRICS ARE PREFERRED, NON-WOVEN FABRICS MAY BE USED ON SMALL WORK SITES, I.E. OPERATIONAL PERIOD LESS THAN 6 MONTHS OR ON SITES WHERE SIGNIFICANT SEDIMENT RUNOFF IS NOT EXPECTED.
  - WHERE FENCES NEED TO BE LOCATED ACROSS THE CONTOUR THE LAYOUT SHALL CONFORM TO TYPICAL LAYOUT ACROSS GRADE.
  - FENCES ARE REQUIRED 2m MIN. FROM TOE OF CUT OR FILL BATTERS, WHERE NOT PRACTICAL ONE FENCE CAN BE AT THE TOE WITH A SECOND FENCE 1m MIN. AWAY. FENCE SHOULD NOT BE LOCATED PARALLEL WITH TOE IF CONCENTRATION OF FLOW WILL OCCUR BEHIND THE FENCE. TEMP CONSTRUCTION ENTRY/EXIT SEDIMENT TRAP.
  - ADJACENT STORMWATER RUNOFF TO BE DIVERTED AWAY FROM ENTRY/EXIT.
  - WHEEL-WASH OR SPRAY UNIT MAY BE REQUIRED DURING WET WEATHER.
- FIELD INLET**
- A STABILISED BYPASS OVERLAND FLOW PATH SHOULD EXIST ADJACENT TO THE FIELD INLET.
  - WATER LEVEL CONTROL PERIMETER BANKS MAY BE REQUIRED.
  - BLOCKS TO BE RESTRAINED BY A HORIZONTAL TIMBER RAIL AT BLOCK JOINT HEIGHT FIXED TO TIMBER STAKES AT CORNERS.
- CHECK DAMS**
- CATCHMENT AREA LIMITED TO 2000sqm USE IN MINOR OPEN DRAINS ONLY, (VELOCITY CONTROL), SEDIMENT COLLECTION IS A SECONDARY PURPOSE.
- SEDIMENT BASIN**
- THE CONTRACTOR SHALL CONDUCT MAINTENANCE INSPECTIONS DURING CONSTRUCTION TO DETERMINE WHETHER MACHINERY, FALLING TREES, OR CONSTRUCTION ACTIVITY HAS DAMAGED ANY COMPONENTS OF THE BASINS. IF DAMAGE HAS OCCURRED THE CONTRACTOR SHALL REPAIR THE BASIN/BASINS TO THEIR ORIGINAL REQUIREMENTS. INSPECTIONS SHALL ALSO BE CARRIED OUT BY THE CONTRACTOR AFTER EACH RAINFALL EVENT AND REPAIR BASINS WERE NECESSARY.
  - THE CONTRACTOR SHALL PLACE A POST OR STAKE WITHIN EACH BASIN TO INDICATE THE DEPTH AT WHICH ACCUMULATED SEDIMENT MUST BE REMOVED TO RESTORE THE ORIGINAL STORAGE VOLUME.
  - DURING ANY INSPECTIONS THE CONTRACTOR SHALL CHECK ALL VISIBLE PIPE CONNECTIONS FOR LEAKS. CHECK EMBANKMENTS FOR EXCESSIVE SETTLEMENT, AND CHECK SUBMERGED INFLOW PIPES FOR SILT AND REPAIR AS NECESSARY. ALL TRASH AND OTHER DEBRIS SHALL BE REMOVED FROM BASIN AND RISER.
  - CONTRACTOR TO CONFIRM FINAL LOCATION OF SEDIMENT BASIN ON SITE.
  - ALL FINE SEDIMENTS (DISPERSIVE SOILS) ARE TO BE TREATED IN TEMPORARY BASINS ON SITE. THE CONTRACTOR MUST TREAT AND DECANT THE WATER AT COUNCIL AND SPECIFIED WATER QUALITY STANDARDS USUALLY 50mg/L, AS SOON AS POSSIBLE AFTER EACH EVENT.
  - ALL COMMERCIAL FLOCCULANTS SHOULD BE INITIALLY BE APPLIED IN ACCORDANCE WITH SITE SPECIFIC SOIL INVESTIGATIONS, OR OTHERWISE IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS IF SITE SPECIFIC TESTING HAS NOT OCCURRED. FLOCCULATING AGENTS MUST BE SPREAD EVENLY OVER THE ENTIRE POND SURFACE OR OTHERWISE INCORPORATED UNIFORMLY THROUGHOUT THE SEDIMENT BASIN.
  - GYPSUM MAY BE PLACED THROUGHOUT THE DRAINAGE LINES TO FACILITATE FLOCCULATION AND REDUCE THE TIME TO ACHIEVE THE WATER QUALITY CRITERIA FOR DISCHARGE.

SCALE: 1:100 1:200		CLIENT: <b>ABC CONSTRUCTION GROUP</b>	CONSULTANTS: 	STATUS: <b>ISSUE FOR APPROVAL</b>	PROJECT TITLE: <b>DEVELOPMENT APPLICATION PLANS FOR INDUSTRIAL UNITS</b> LOT 7 PART OF LOT 101 ON SP271601 LOT 7 FRANKLIN ST, YARRABILBA QLD
DO NOT SCALE FROM THIS DRAWING - IF IN DOUBT ASK A1		THESE DESIGNS AND DRAWINGS ARE COPYRIGHT AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SCG URBAN PTY LTD.		CERTIFIED: RPEQ NO. 6835 PROJECT TEAM JASON MARSHALL DESIGNER GC REVIEWED SS APPROVER JM	DRAWING TITLE: <b>SEDIMENT AND EROSION CONTROL LAYOUT PLAN</b>
B AMENDED LAYOUT A ISSUE FOR APPROVAL	GC 17.04.25 GC 20.12.24	COUNCIL: LCC - PDA		PHONE: 0477 300 133 EMAIL: INFO@SCGURBAN.COM.AU	SCG PROJECT NO: <b>830-101-ENG-DA</b>
REV. DESCRIPTION	ISSUE DATE	SCALE: 1:100, 1:200	CLIENT: ABC CONSTRUCTION GROUP	CONSULTANTS: bruc design BUILDING DESIGN	PROJECT TITLE: DEVELOPMENT APPLICATION PLANS FOR INDUSTRIAL UNITS LOT 7 PART OF LOT 101 ON SP271601 LOT 7 FRANKLIN ST, YARRABILBA QLD
					DRAWING NO: <b>DA08</b>
					REVISION: <b>B</b>