

GENERAL

- EXISTING SERVICES - EXTERNAL WORKS**
THE LOCATIONS OF ALL EXISTING SERVICES WITHIN THE WORK AREA SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT AUTHORITIES & TO ENSURE THAT THE EXISTING SERVICES ARE NOT DAMAGED OR DISTURBED IN ANY WAY BY THE CONTRACT WORKS.
- EXISTING STRUCTURES**
ALL EXISTING STRUCTURES & ASSOCIATED INFRASTRUCTURE TO BE REMOVED & DISPOSED OF OFF SITE.
- EXISTING DAMS**
EXISTING DAMS TO BE DEWATERED. ALL SILT & DEBRIS ARE TO BE REMOVED & LAWFULLY DISPOSED OF TO A TIP OFF SITE, OR INCORPORATED INTO THE SITE EARTHWORKS AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER. REPLACEMENT FILL IS TO BE LOCATED & COMPACTED IN ACCORDANCE WITH LOCAL COUNCIL'S SPECIFICATIONS.

NOTE:
CONTRACTOR TO MAKE ALL NECESSARY ALLOWANCES FOR LOCATION AND PROTECTION OF EXISTING SERVICES DURING WORKS.

LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING FENCE
- EXISTING KERB
- EXISTING EDGE OF BITUMEN
- CONTROL LINE / CENTER OF ROAD
- EXISTING FOOTPATH
- EXISTING EDGE OF VEGETATION
- RM - - RM - - EXISTING RISING MAIN
- S - - S - - EXISTING SEWER
- SW - - SW - - EXISTING STORMWATER
- W - - W - - EXISTING WATER
- G - - G - - EXISTING GAS
- E - - E - - EXISTING UNDERGROUND ELECTRICITY
- E - - E - - EXISTING OVERHEAD ELECTRICITY
- T - - T - - EXISTING TELSTRA
- C - - C - - EXISTING COMMUNICATIONS
- 1.0 - - - EXISTING CONTOURS
- RM - X - RM - X - DEMOLISH RISING MAIN
- S - X - S - X - DEMOLISH SEWER
- SW - X - SW - X - DEMOLISH STORMWATER
- W - X - W - X - DEMOLISH WATER
- G - X - G - X - DEMOLISH GAS
- E - X - E - X - DEMOLISH UNDERGROUND ELECTRICITY
- E - X - E - X - DEMOLISH OVERHEAD ELECTRICITY
- T - X - T - X - DEMOLISH TELSTRA
- C - X - C - X - DEMOLISH COMMUNICATIONS
- SITE BOUNDARY
- STAGE BOUNDARY
- LIMIT OF WORKS BOUNDARY
- TREE PROTECTION FENCE
- EXISTING TREES

NOTE:
TREE CLEARING IS INDICATIVE ONLY AND SUBJECT TO ITS OWN SPECIFIC DOCUMENTATION (BY OTHERS) AND APPROVAL..



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/35
Date: 25 July 2025

PROJECT NAME
Flourish
CHANGE OF LEVEL OF LAND
STAGES 1-4
RP DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT
CEDAR WOODS
DEVELOPING TOMORROW TODAY

Scale 1:1000 - A1 (1:2000 - A3)

REV	DATE	DESCRIPTION	INT
A	2-02-24	COUNCIL ISSUE	RK

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS
SAUNDERS HAVILL SLR
PETER EUSTACE & ASSOCIATES

DRAWING TITLE
EXISTING FEATURES AND DEMOLITION PLAN SHEET 01

MORTONS
urbansolutions
Civil Engineering
Project Coordination

MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

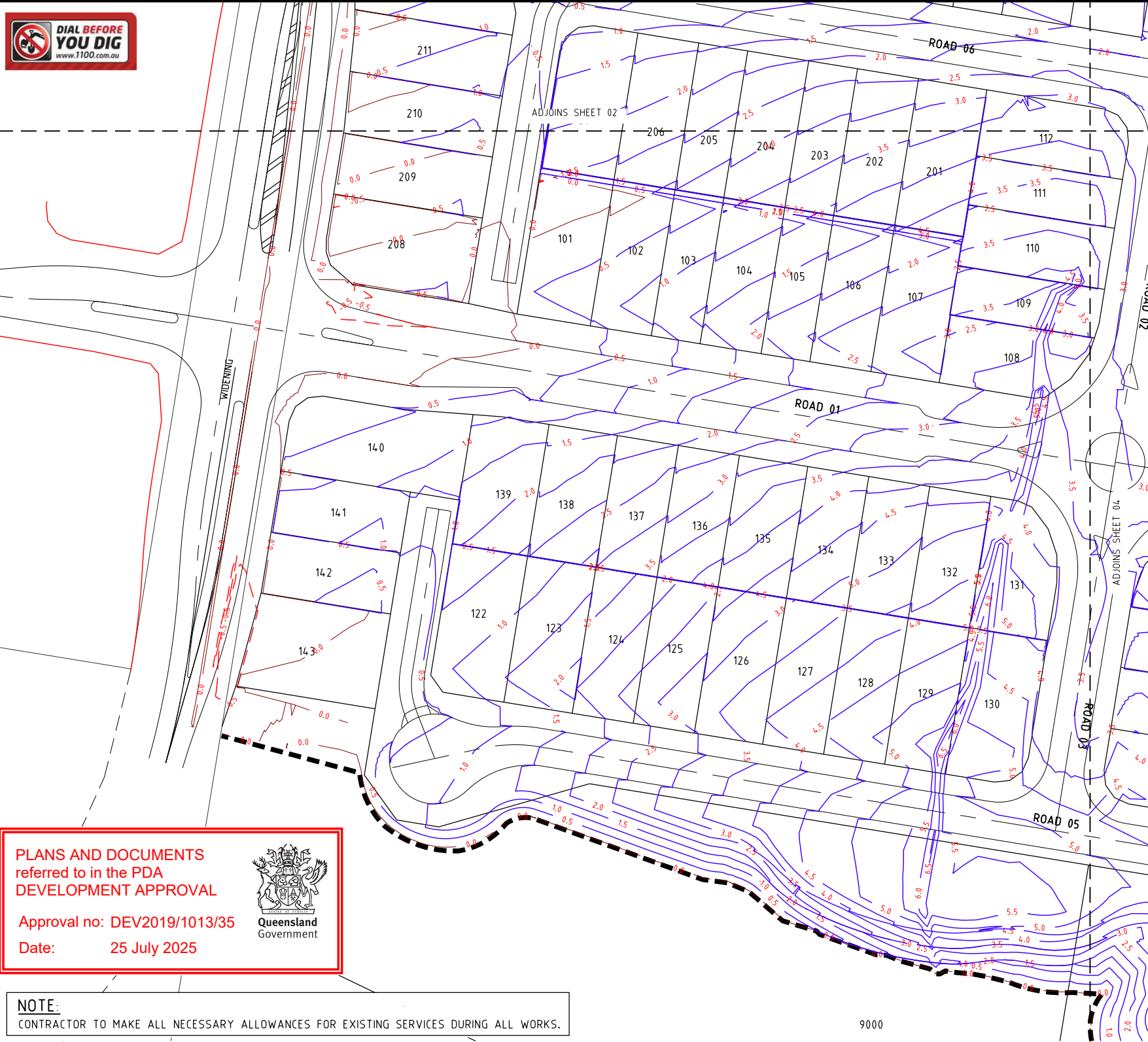
Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

DESIGNED GW	DRAWN RK
APPROVED <i>[Signature]</i>	REP: 20300 DATE 2-02-24
DRAWING NUMBER 37502-CLLN-020	REV A

I:\outdoor\client\375- cedar woods properties\02 - mountain ridge road\overall engineering drawing\atd\ north\current\37502-CLLN-020.dwg, PLAN SHEET 01, 30/05/2025 10:22:58 AM, 1:2

EARTHWORKS

- TOPSOIL STRIPPING**
TOPSOIL SHALL BE STRIPPED ACROSS THE ENTIRE LIMIT OF THE EARTHWORKS CUT & FILL AREAS & SHALL BE STOCKPILED IN A LOCATION APPROVED BY THE SUPERINTENDENT. THE EXISTING STRATA IS TO BE TREATED IN ACCORDANCE WITH THE SPECIFICATION PRIOR TO PLACING ANY FILL.
- EARTHWORKS LEVELS**
EARTHWORKS LEVELS SHOWN ON DRAWINGS ARE TO FINISHED SURFACE LEVELS & INCLUDE 100mm OF TOPSOIL.
- COMPACTION STANDARD**
SITE FILLING & TRENCH BACKFILL SHALL BE COMPACTED TO THE STANDARDS OUTLINED IN THE LOCAL AUTHORITY'S SPECIFICATIONS. FILL BATTER FACES ARE TO BE OVERFILLED, COMPACTED & CUT BACK TO DESIGN LEVELS. ALL CUT BATTERS ARE TO BE CUT BACK & TRIMMED TO DESIGN LEVELS.
- PAVEMENT DEPTHS**
THE DESIGN PAVEMENT DEPTHS ALLOWED IN EARTHWORKS CALCULATIONS ARE BASED ON THE DEPTHS SHOWN IN THE SCHEDULE OF PAVEMENT DEPTHS. THE PAVEMENT DEPTHS GIVEN ARE DESIGN DEPTHS ONLY & MAY BE VARIED AFTER SUB GRADE TESTS ARE TAKEN & AUTHORITY APPROVAL.
- TESTING & CERTIFICATION**
ALL COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED N.A.T.A. TESTING AUTHORITY. ALL SITE FILLING SHALL BE TESTED AT LEVEL 1 REQUIREMENTS. THE CONTRACTOR IS TO PROVIDE ALL REQUIRED EARTHWORKS CERTIFICATIONS IN ACCORDANCE WITH THE APPROVAL CONDITIONS. THE CONTRACTOR IS TO PROVIDE A CONSTRUCTED EARTHWORKS SLOPE STABILITY CERTIFICATION CONFIRMING REQUIRED F.O.S. CERTIFIED BY A RPEQ.
- TOPSOIL REPLACEMENT**
ALL FOOTPATHS, BATTERS & ALLOTMENT CUT & FILL AREAS SHALL BE TOPSOILED WITH TOPSOIL FROM ONSITE STOCKPILES, & AMELIORATE SOIL AS NECESSARY TO ENSURE GRASS STRIKE.
- GRASSING**
ALL CUT/FILL AREAS, DISTURBED AREAS & TRENCHED AREAS SHALL BE GRASSED TO THE SATISFACTION OF THE SUPERINTENDENT & LOCAL AUTHORITY.
- ROCK**
THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR EARTHWORKS RATE.
- EARTHWORKS ZONE**
THE FOLLOWING ACTIVITIES ARE PROHIBITED OUTSIDE THE EARTHWORKS ZONE - STORAGE & MIXING OF MATERIALS, VEHICLE PARKING, LIQUID DISPOSAL, MACHINERY REPAIRS/REFUELLING, PLACEMENT OF SITE OFFICES OR SHEDS, COMBUSTION OF ANY MATERIAL, STOCKPILING OF SOIL, RUBBLE OR DEBRIS, ANY FILLING OR EXCAVATION INCLUDING TRENCHES, TOPSOIL, SKIMMING AND/OR SURFACE EXCAVATION UNLESS OTHERWISE APPROVED BY THE RELEVANT AUTHORITY.
- CONSTRUCTION - STOCKPILING**
TEMPORARY SILT FENCE TO BE ERECTED 5m FROM TOE OF BATTER ON LOW SIDE OF STOCKPILING. STOCKPILE SITE TO BE CLEAR OF ADJACENT PROPERTY BOUNDARIES SO AS NOT TO CAUSE A NUISANCE TO ADJOINING PROPERTIES. NO STOCKPILES ARE TO BE LOCATED WITHIN THE TREE PROTECTION ZONE. REFER VEGETATION MANAGEMENT PLAN FOR MORE DETAILS. THE CONTRACTOR SHALL NOT CREATE STOCKPILES OF SURPLUS MATERIALS UNLESS DIRECTED BY THE SUPERINTENDENT. ALL MATERIALS ARISING FROM THE WORKS SHALL BE COMPACTED TO FUTURE FILL AREAS AS NOMINATED OR REMOVED FROM THE SITE.
- TOPSOIL SCREENING**
TOPSOIL SHALL BE SCREENED BY THE CONTRACTOR WHEN DIRECTED BY THE SUPERINTENDENT. ALL UNSUITABLE MATERIAL SCREENED FROM THE TOPSOIL WILL BE TAKEN TO AN OFFSITE TIP BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.
- EARTHWORKS MATERIAL SIZE**
ALL EARTHWORKS MATERIAL IS TO BE BROKEN DOWN TO AN ACCEPTABLE SIZE TO BE COMPACTED UNDER LEVEL 1 FILL. WHERE THE RELEVANT GUIDELINES DON'T SPECIFY AN ACCEPTABLE SIZE, EARTHWORKS MATERIAL IS TO BE BROKEN DOWN TO A SIZE NO LARGER THAN 75mm.
- MOISTURE CONTENT**
EARTHWORKS MOISTURE VARIATION TO NOT EXCEED ±2% OF THE OPTIMUM MOISTURE CONTENT.
- SURFACE FINISH**
THE FINISHED SURFACE LEVEL IS TO BE CAPPED WITH FINER MATERIAL & SMOOTH DRUM ROLLED & GRADED TO PROMOTE SURFACE WATER RUNOFF IN A CONTROLLED MANNER.
- EARTHWORKS LIMITS**
THE CONTRACTOR IS TO TIE IN TO THE NATURAL SURFACE AT THE LIMIT OF THE EARTHWORKS. THE TIE IN IS TO BE COMPLETED IN A MANNER TO ENSURE THERE IS NO PONDING OF SURFACE WATER.
- IMPORTED MATERIAL**
LOTS - ALL IMPORTED MATERIAL FOR PLACEMENT ON LOTS TO BE A MINIMUM CBR 10 MATERIAL & HAVE A SWELL % <1.5.
ROADS - ALL IMPORTED MATERIAL FOR PLACEMENT ON ROADS TO BE A MINIMUM CBR10 MATERIAL WITH A SWELL % <1.5, LIQUID LIMIT <70 & PLASTICITY INDEX <4.5.
SOIL PARAMETERS TO BE REVIEWED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT ON SITE.
- REACTIVE SOILS**
 - ALL REACTIVE TOPSOIL TO BE IDENTIFIED BY THE GEOTECHNICAL ENGINEER & BE SEPARATED FROM THE NON REACTIVE TOPSOIL.
 - ALL REACTIVE TOPSOIL TO BE RESPREAD IN THE OPEN SPACE AREA. WHERE REACTIVE TOPSOIL IS REQUIRED TO BE RESPREAD ON DEVELOPABLE AREAS THE CONTRACTOR SHALL LIME TREAT THE TOPSOIL TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
 - WHEN UNDERTAKING THE EARTHWORKS CUT, ALL MATERIALS SHOULD BE SELECTIVELY SORTED SO THAT THE REACTIVE SOILS ARE SEPARATED FROM THE LOW REACTIVE RESIDUAL SOILS & XW BEDROCK.
 - ALL REACTIVE SOILS ARE TO BE PLACED IN THE LOWER SECTIONS OF FILL WITH THE LESS REACTIVE RESIDUAL SOILS & XW BEDROCK TO BE PLACED IN THE UPPER FILLS. ALTERNATIVELY, THE REACTIVE SOILS CAN BE BLENDED WITH THE LESS REACTIVE SOILS & XW ROCK TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
 - NO REACTIVE CLAY SOILS SHOULD BE PLACED WITHIN THE UPPER 0.75M APPROX. FILL PROFILE WHERE POSSIBLE.
 - WHEN PLACING FILL OVER HIGHLY REACTIVE SOILS, TREATMENT MAY BE REQUIRED IF THE FILLS ARE ONLY MINOR, 0.3m APPROX. & THE REACTIVE SOIL PROFILE IS GREATER THAN 0.7m APPROX. IN THESE AREAS SUBGRADE REPLACEMENT OF AT LEAST 0.75m OF NON REACTIVE / LOW REACTIVE MATERIAL OVERLYING THE REACTIVE SOILS SHALL BE UNDERTAKEN.
 - ALL WORKS ASSOCIATED WITH THE IDENTIFICATION, PLACEMENT & TREATMENT OF REACTIVE SOILS SHALL BE UNDERTAKEN TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- VERTICAL FACES**
WHERE VERTICAL EARTHWORKS FACES ARE PROPOSED AS PART OF THE EARTHWORKS DESIGN & RETAINING WALLS ARE NOT PROPOSED AS PART OF THE WORKS, THE CIVIL CONTRACTOR IS TO CONSTRUCT A TEMPORARY 1 in 2 BATTER.
- EARTHWORKS VOLUMES**
 - EARTHWORKS VOLUMES CONTAINED WITHIN THE CONTRACT DOCUMENTS ARE APPROXIMATE ONLY. CONTRACTOR TO VERIFY & ALLOW FOR ANY DISCREPANCY IN THE CONTRACT VALUE.
 - VOLUMES INDICATE THE STRUCTURAL QUANTITY OF EARTHWORKS, IE BETWEEN THE EXISTING SURFACE & THE UNDERSIDE OF THE MINIMUM BOX & OF THE FSL, AS PRESCRIBED IN THE CONTRACT DOCUMENTATION.
 - NO ALLOWANCE FOR COMPACTION OR BULKING FACTOR IS INCLUDED IN THE EARTHWORKS VOLUMES. THE CONTRACTOR IS TO MAKE ALLOWANCES FOR BULKING/COMPACTION AS PART OF THEIR CONTRACT WORKS.
 - THE CONTRACTOR IS TO VERIFY EXISTING SURFACE & TOPSOIL DISTRIBUTION PRIOR TO SIGNING THE CONTRACT. THE CONTRACTORS PRICE FOR THESE WORKS IS DEEMED TO BE ACCEPTING OF THE NATURAL SURFACE & TOPSOIL DISTRIBUTION.
 - THE CONTRACTOR IS REQUIRED TO EXPORT / IMPORT AS NEEDED TO ACHIEVE THE FINAL SURFACE LEVELS. THE EXPORT/IMPORT AS REQUIRED TO COMPLETE EARTHWORKS FORMS PART OF THE CONTRACT WORKS.
 - WHERE NO SPOIL AREA IS AVAILABLE WITHIN THE PROJECT FOOTPRINT, THE CIVIL CONTRACTOR SHALL EXPORT EXCESS MATERIALS TO A LICENCED TIP OFF SITE. THESE WORKS FORM PART OF THE CONTRACT WORKS.

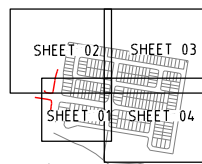


PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/35
Date: 25 July 2025

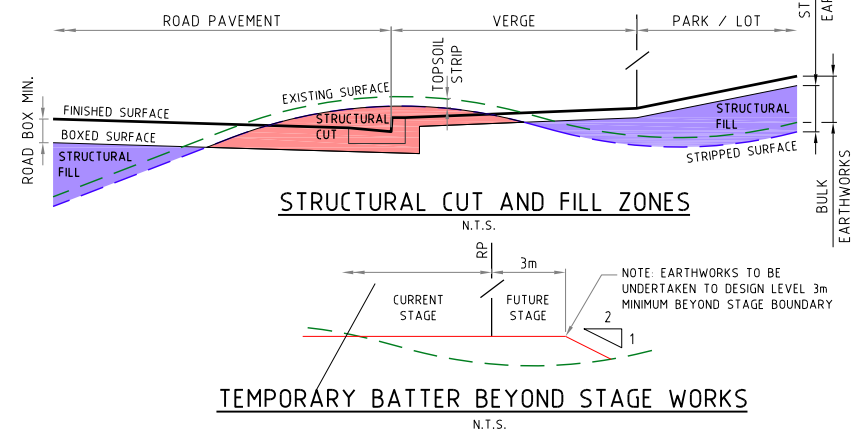
NOTE:
CONTRACTOR TO MAKE ALL NECESSARY ALLOWANCES FOR EXISTING SERVICES DURING ALL WORKS.

SHEET LAYOUT



LEGEND

- EXISTING PROPERTY LINE
- EXISTING KERB (INVERT)
- FUTURE KERB (INVERT)
- FUTURE PROPERTY LINE
- SITE BOUNDARY
- STAGE BOUNDARY
- LIMIT OF EARTHWORKS BOUNDARY
- PROPOSED PROPERTY LINE
- PROPOSED KERB (INVERT)
- - -0.5 - - CUT CONTOUR
- - -0.0 - - INTERFACE CONTOUR
- - -0.5 - - FILL CONTOUR



PROJECT NAME
Flourish
CHANGE OF LEVEL OF LAND
STAGES 1-4
RP DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT
CEDAR WOODS
DEVELOPING TOMORROW TODAY

C	28-05-25	CUT FILL & LIMIT OF EARTHWORKS UPDATED	GB
B	11-02-25	LAYOUT & CUT FILL AMENDED	GB
A	2-02-24	COUNCIL ISSUE	RR
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS

SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES

DRAWING TITLE

EARTHWORKS CUT TO FILL PLAN SHEET 01

MORTONS urbansolutions
Civil Engineering Project Coordination

MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

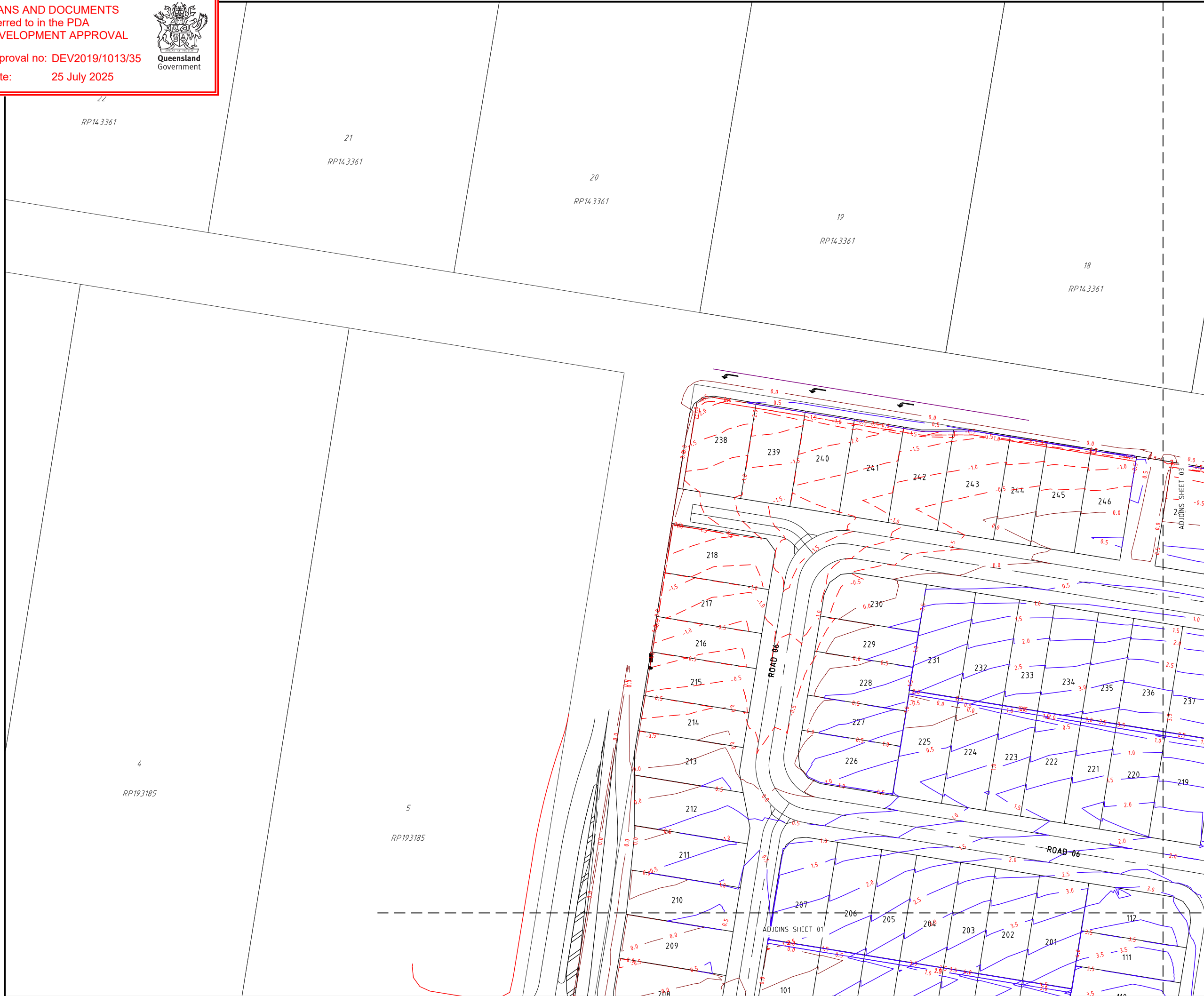
Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

DESIGNED	GW	DRAWN	RK
APPROVED	<i>[Signature]</i>	RPEQ20300	DATE 2-02-24
DRAWING NUMBER			REV
37502-CLLN-040			C

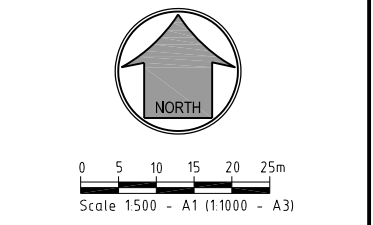
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL



Approval no: DEV2019/1013/35
Date: 25 July 2025



PROJECT NAME
Flourish
CHANGE OF LEVEL OF LAND
STAGES 1-4
RP DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



REV	DATE	DESCRIPTION	INT
C	28-05-25	CUT FILL & LIMIT OF EARTHWORKS UPDATED	GB
B	11-02-25	LAYOUT AMENDED	GB
A	2-02-24	COUNCIL ISSUE	RK

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS
**SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES**

DRAWING TITLE
**EARTHWORKS
CUT TO FILL
PLAN
SHEET 02**

MORTONS
urbansolutions
Civil Engineering
Project Coordination

MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

DESIGNED	GW	DRAWN	RK
APPROVED	<i>[Signature]</i>	REP#	20300
DRAWING NUMBER		DATE	
37502-CLLN-041		2-02-24	
REV			C

I:\outload\client\375- cedar woods properties\02 - mountain ridge road\overall\engineering drawing\gd\ north\current\37502-CLLN-041.dwg_Plan_BHEET_02_30/05/2025 10:23:05 AM_1:2

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/35

Date: 25 July 2025



PROJECT NAME
Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

REV	DATE	DESCRIPTION	INT
C	28-05-25	CUT FILL & LIMIT OF EARTHWORKS UPDATED	GB
B	11-02-25	LAYOUT AMENDED	GB
A	2-02-24	COUNCIL ISSUE	RK

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND
WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION.
DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS

SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES

DRAWING TITLE

EARTHWORKS
CUT TO FILL
PLAN
SHEET 03



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

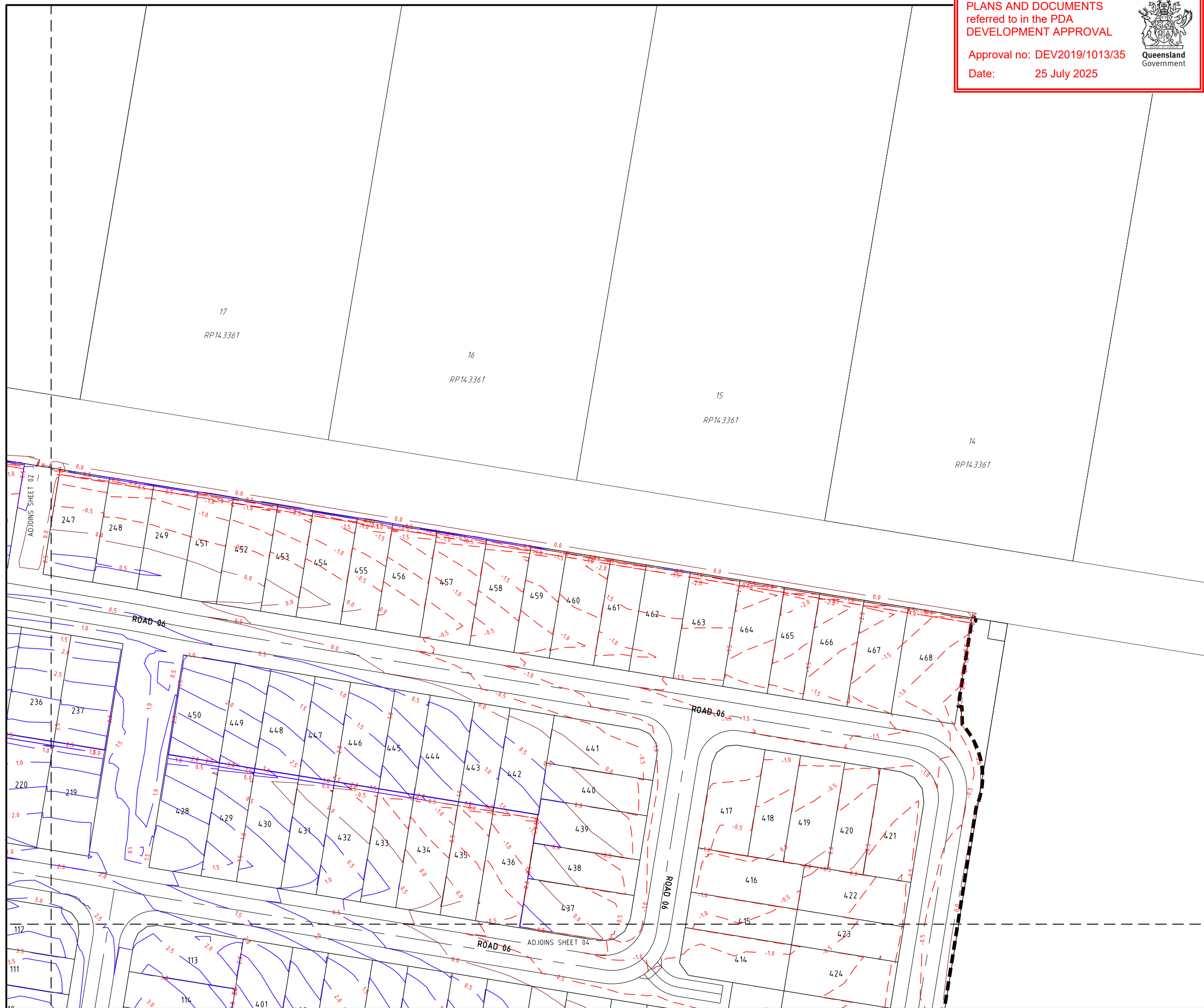
Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

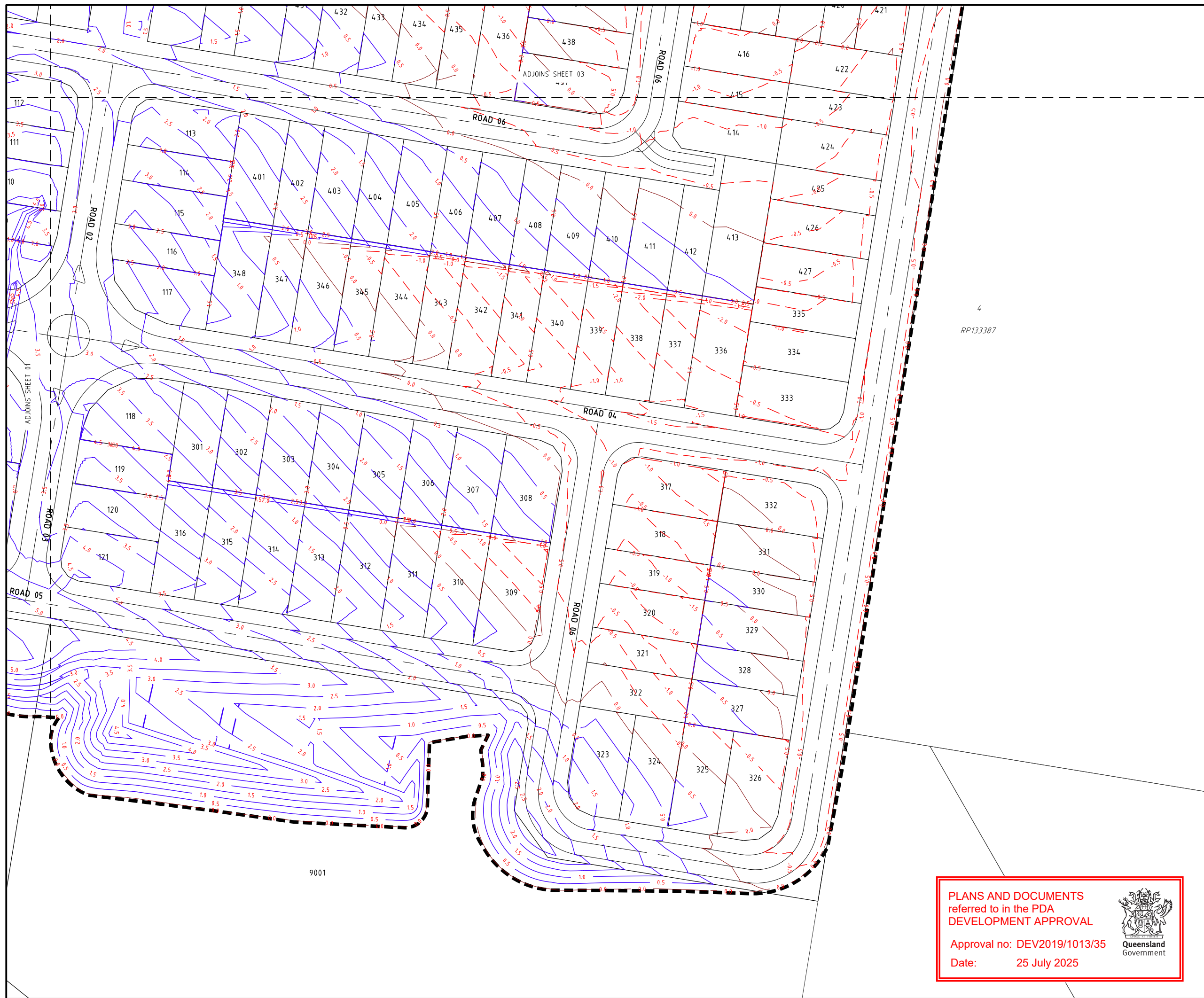
DESIGNED	GW	DRAWN	RK
APPROVED	<i>[Signature]</i>	REP	20300
DRAWING NUMBER		DATE 2-02-24	

37502-CLLN-042

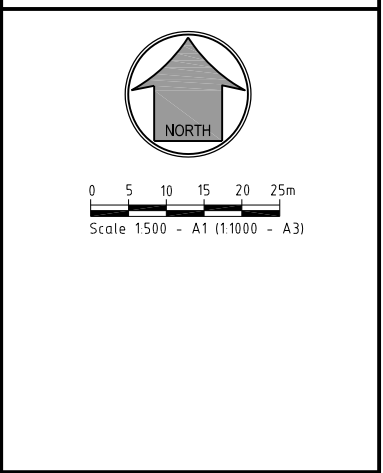
C



I:\cadd\client\375- cedar woods properties\02 - mountain ridge road\overlaid\engineering drawing\atd\north\current\37502-CLLN-042.dwg, PLAN SHEET 03, 30/05/2025 10:23:06 AM, 1:2



PROJECT NAME
Flourish
 CHANGE OF LEVEL OF LAND
 STAGES 1-4
 RP DESCRIPTION
 Lot 30 SP309195
 MOUNTAIN RIDGE ROAD
 LOCALITY OF SOUTH MACLEAN
 LOCAL AUTHORITY-EDQ



C	28-05-25	CUT FILL & LIMIT OF EARTHWORKS UPDATED	GB
B	11-02-25	LAYOUT AMENDED	GB
A	2-02-24	COUNCIL ISSUE	RK
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS

SAUNDERS HAVILL
 SLR
 PETER EUSTACE & ASSOCIATES

DRAWING TITLE

EARTHWORKS
 CUT TO FILL
 PLAN
 SHEET 04

MORTONS
 urbansolutions
 Civil Engineering
 Project Coordination

MUS Pty Ltd T/As:
 Mortons-Urban Solutions
 ABN 39 116 375 065
 mortons@urbansolutions.net.au
 www.urbansolutions.net.au
 Tel 07 5571 1099

Postal Address
 PO Box 2484
 Southport QLD 4215

Gold Coast Office
 Suite 9, 19 Short St
 Southport QLD 4215

PLANS AND DOCUMENTS
 referred to in the PDA
DEVELOPMENT APPROVAL

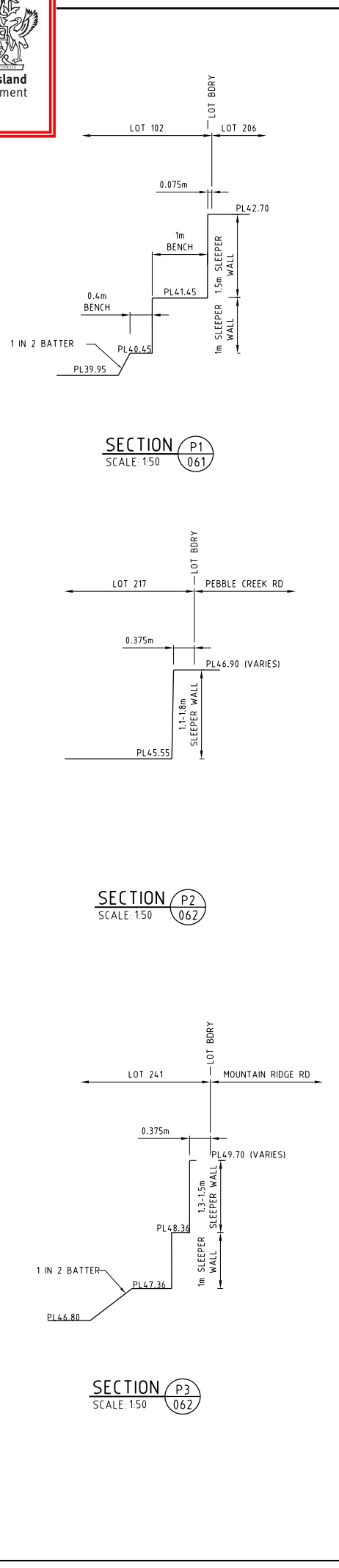
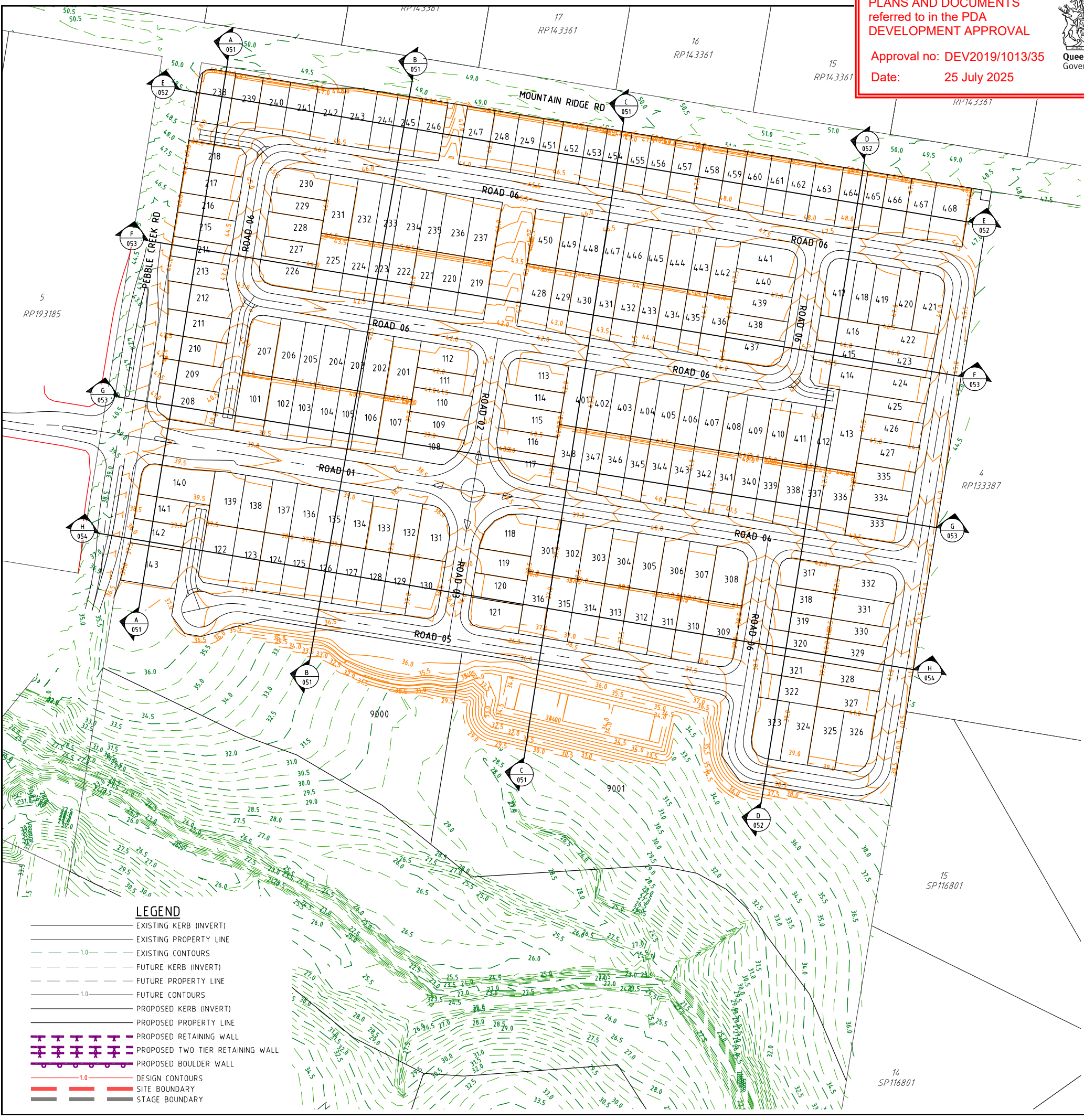
Approval no: DEV2019/1013/35
 Date: 25 July 2025

DESIGNED	GW	DRAWN	RK
APPROVED	<i>[Signature]</i>	REP	20300
DRAWING NUMBER		DATE	
37502-CLLN-043		2-02-24	
REV			C

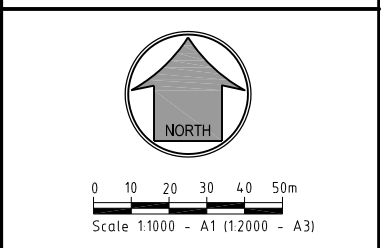
I:\outdoc\client\375- cedar woods properties\02 - mountain ridge road\overlaid\engineering drawing\atd\north\Current\37502-CLLN-043.dwg_Plan SHEET 04_30/05/2025 10:23:07 AM.12

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/35
Date: 25 July 2025



PROJECT NAME
Flourish
CHANGE OF LEVEL OF LAND
STAGES 1-4
RP DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



REV	DATE	DESCRIPTION	INT
C	28-05-25	CONTOURS & LOTS ADJUSTED, SECTIONS MOVED	GB
B	11-02-25	LAYOUT AMENDED	GB
A	2-02-24	COUNCIL ISSUE	RK

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS
**SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES**

DRAWING TITLE
**BULK EARTHWORKS
SECTION
KEY PLAN**



MUS Pty Ltd T/As: Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

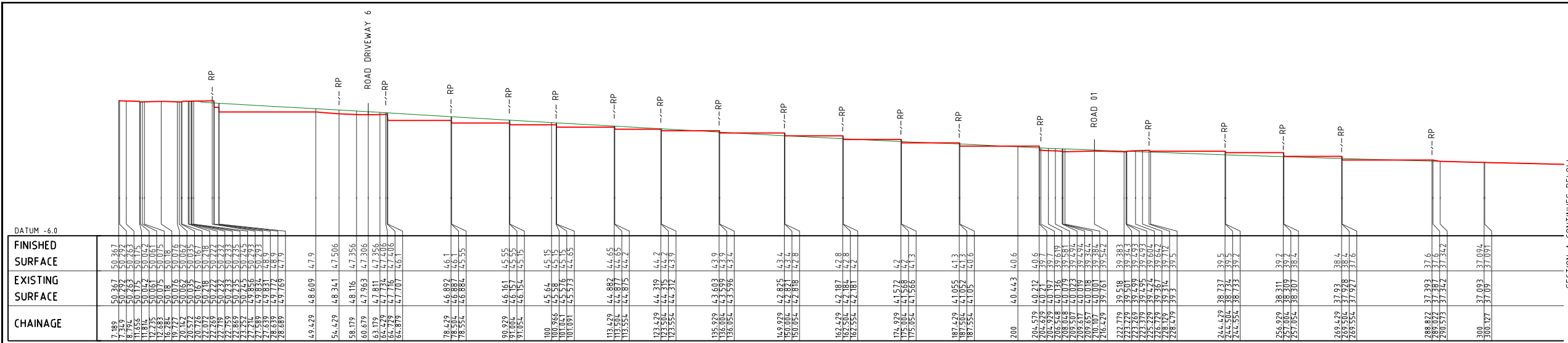
Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

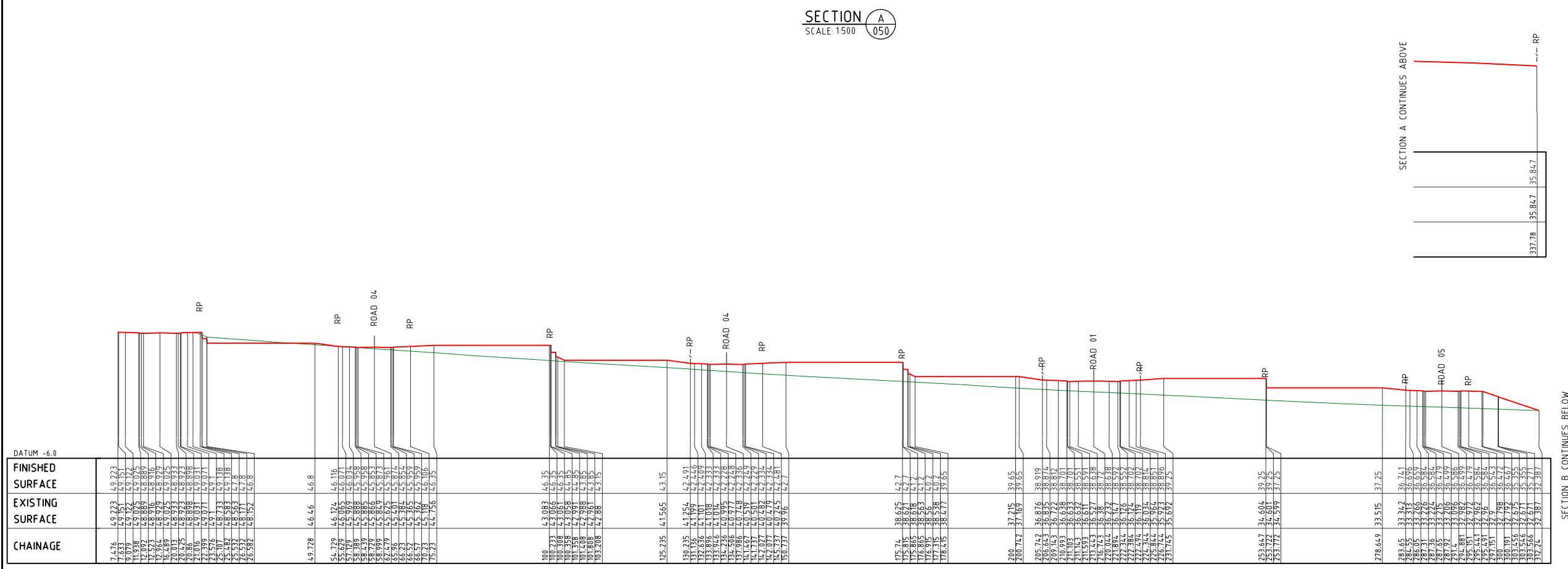
DESIGNED GW	DRAWN RK
APPROVED [Signature]	REP 20300 DATE 2-02-24
DRAWING NUMBER 37502-CLLN-050	REV C

C:\autocad\client\375- cedar woods properties\02 - mountain ridge road\overlaid\engineering drawing\gdal north\current\37502-CLLN-050.dwg, EARTHWORKS SECTION KEY PLAN, 30/05/2025 10:23:20 AM, 1:2

I:\mudocad\client\375- cedar woods properties\02 - mountain ridge road\OverallEngineering drawing\at north\Cumt\37502-CLLN-050.dwg, SECTIONS SHEET 01, 30/05/2025 10:23:38 AM, 1:2

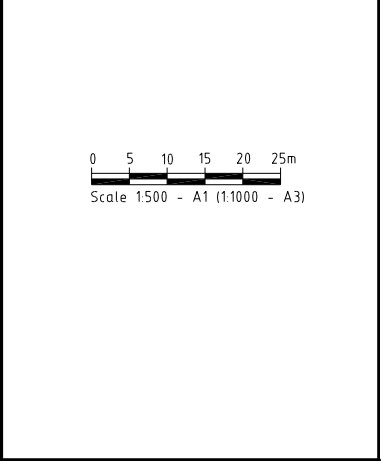


SECTION A
SCALE: 1:500



SECTION B
SCALE: 1:500

PROJECT NAME
Flourish
CHANGE OF LEVEL OF LAND
STAGES 1-4
RP DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



REV	DATE	DESCRIPTION	INT
C	28-05-25	SECTIONS UPDATED	GB
B	11-02-25	SECTIONS UPDATED	GB
A	2-02-24	COUNCIL ISSUE	RK

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS
**SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES**

DRAWING TITLE
**BULK EARTHWORKS
SECTIONS
SHEET 01**

MORTONS urban solutions
Civil Engineering
Project Coordination

MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

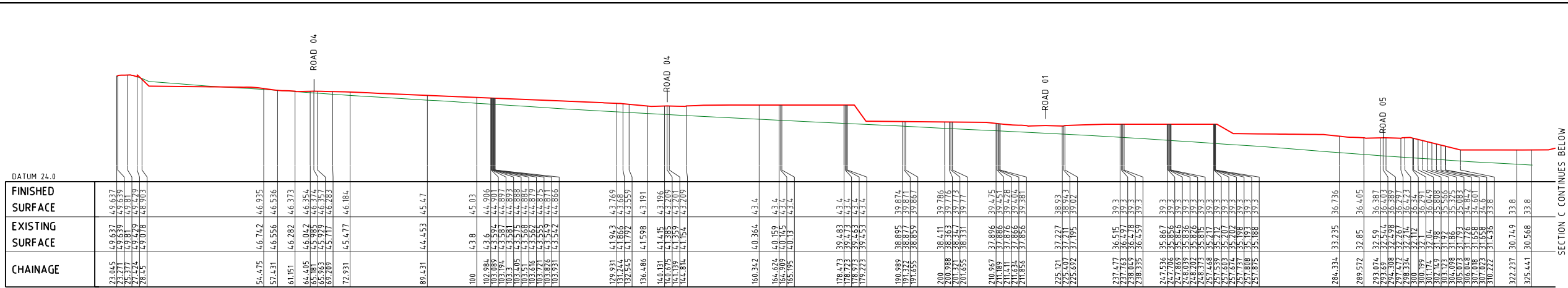
DESIGNED	GW	DRAWN	RK
APPROVED	<i>[Signature]</i>	REP 020300	DATE 2-02-24
DRAWING NUMBER			REV
37502-CLLN-051			C

**PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL**

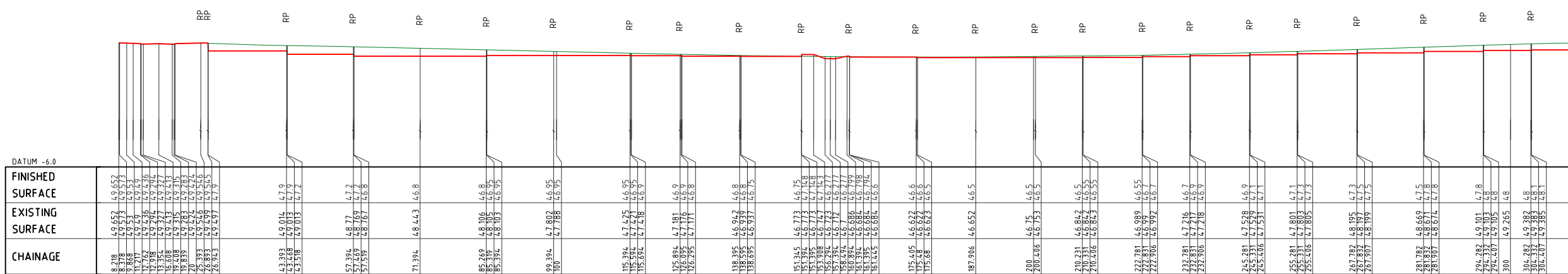
Approval no: DEV2019/1013/35
Date: 25 July 2025

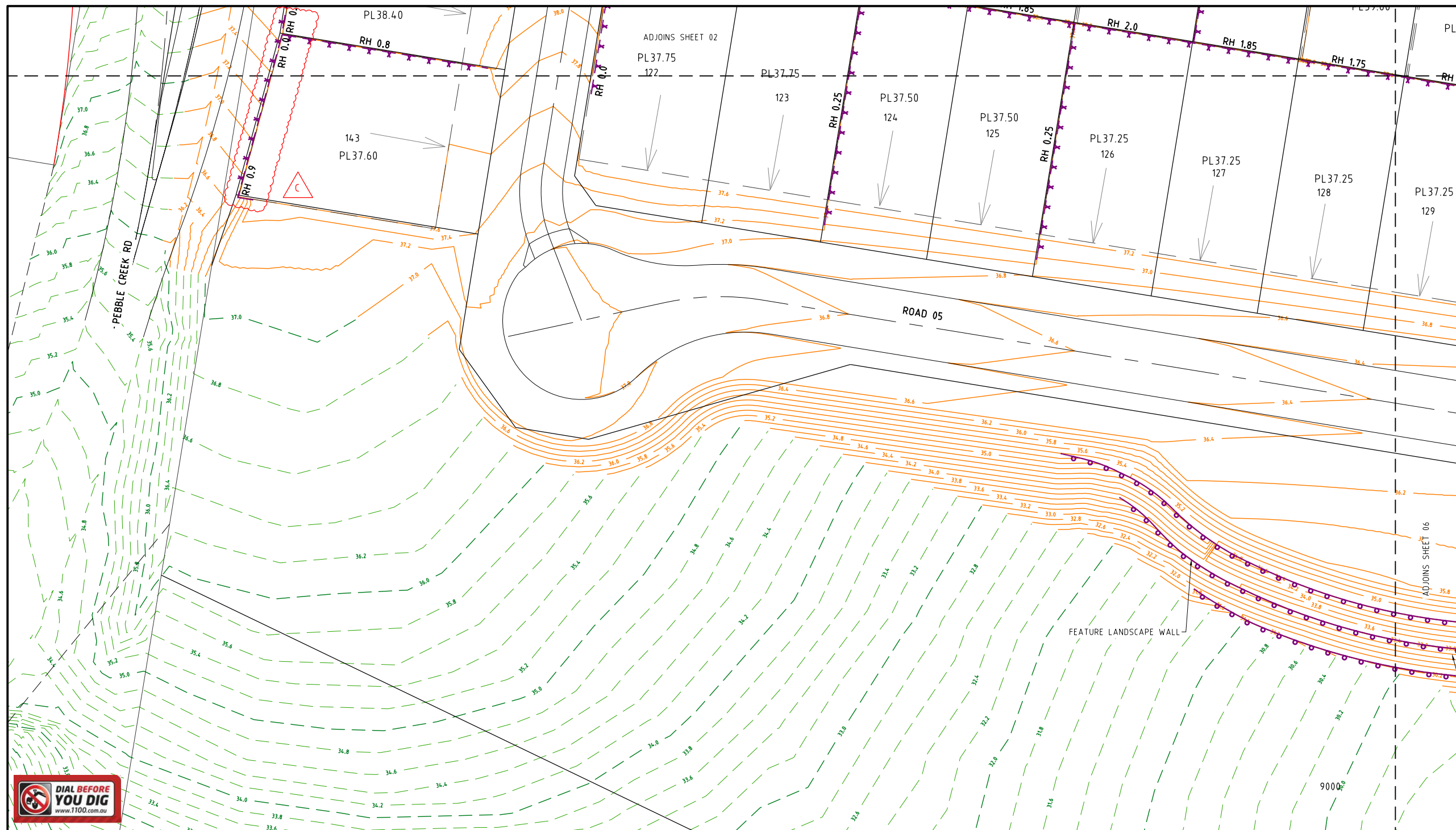
Queensland
Government

C:\broad client\375- cedar woods properties\02 - mountain ridge road\OverlaidEngineering.drawing\at north\Clients\37502-CLLN-R050.dwg, SECTIONS SHEET 02, 30/05/2025 10:22:46 AM, 1:2

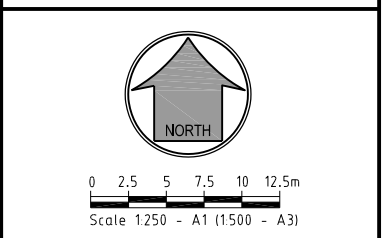


c:\baocad\client\375- cedar woods properties\02 - mountain ridge road\overengineering drawing\02-clln-rs02.dwg, SECTIONS SHEET 03, 30/05/2025 10:23:51 AM, 1:2





PROJECT NAME
Flourish
 CHANGE OF LEVEL OF LAND
 STAGES 1-4
 RP DESCRIPTION
 Lot 30 SP309195
 MOUNTAIN RIDGE ROAD
 LOCALITY OF SOUTH MACLEAN
 LOCAL AUTHORITY-EDQ



REV	DATE	DESCRIPTION	INT
C	28-05-25	CONTOURS & RET WALLS UPDATED	JB
B	11-02-25	LAYOUT AMENDED & NOTES ADDED	GB
A	2-02-24	COUNCIL ISSUE	RK

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS
**SAUNDERS HAVILL
 SLR
 PETER EUSTACE & ASSOCIATES**

DRAWING TITLE
**RETAINING WALL
 AND DETAIL GRADING PLAN
 SHEET 01**

MORTONS
 urbansolutions
 Civil Engineering
 Project Coordination

MUS Pty Ltd T/As:
 Mortons-Urban Solutions
 ABN 39 116 375 065
 mortons@urbansolutions.net.au
 www.urbansolutions.net.au
 Tel 07 5571 1099

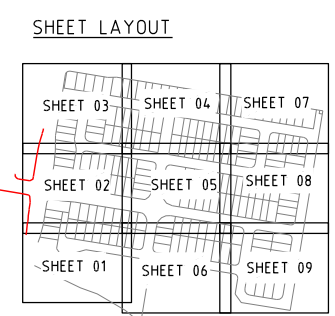
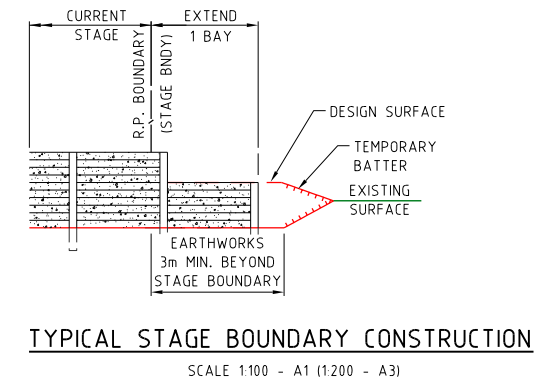
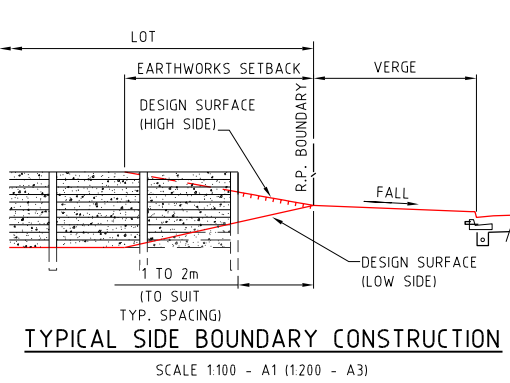
Postal Address
 PO Box 2484
 Southport QLD 4215

Gold Coast Office
 Suite 9, 19 Short St
 Southport QLD 4215



- GENERAL**
- CONTRACT SPECIFICATIONS**
 ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE CONTRACT SPECIFICATION.
 - SETOUT**
 SURVEY SETOUT INFORMATION HAS BEEN ESTABLISHED ON SITE BY THE PRINCIPAL'S SURVEYOR TO ENABLE THE CONTRACTOR TO ACCURATELY SETOUT THE WORKS TO THE CO-ORDINATES SHOWN. SETOUT INFORMATION SHALL NOT BE OBTAINED BY SCALING FROM THESE DRAWINGS.
 - DATUM**
 LEVELS SHOWN ARE TO A.H.D.
 - EXISTING SERVICES - EXTERNAL WORKS**
 THE LOCATIONS OF ALL EXISTING SERVICES WITHIN THE WORK AREA SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT AUTHORITIES & TO ENSURE THAT THE EXISTING SERVICES ARE NOT DAMAGED OR DISTURBED IN ANY WAY BY THE CONTRACT WORKS.
 - ALL MATERIALS ARISING FROM RETAINING WALL CONSTRUCTION ARE TO BE COMPACTED TO FUTURE STAGES, TO LEVEL 1 OR IF DIRECTED BY THE SUPERINTENDENT SHALL BE TRUCKED TO A LICENSED TIP.

- LEGEND**
- EXISTING KERB (INVERT)
 - EXISTING PROPERTY LINE
 - EXISTING CONTOURS
 - EXISTING RETAINING WALL
 - FUTURE KERB (INVERT)
 - FUTURE PROPERTY LINE
 - FUTURE CONTOURS
 - FUTURE RETAINING WALL
 - PROPOSED KERB (INVERT)
 - PROPOSED PROPERTY LINE
 - DESIGN CONTOURS
 - PROPOSED SINGLE TIER RETAINING WALL
 - FEATURE LANDSCAPE WALL
 - RH:0 INDICATIVE WALL HEIGHT
 - DETAIL PAD FALL DIRECTION (CONTRACTOR TO ENSURE LOTS FALL TO ROAD AT 1:150 MIN. REFER DRG. 071)



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: **DEV2019/1013/35**
 Date: **25 July 2025**

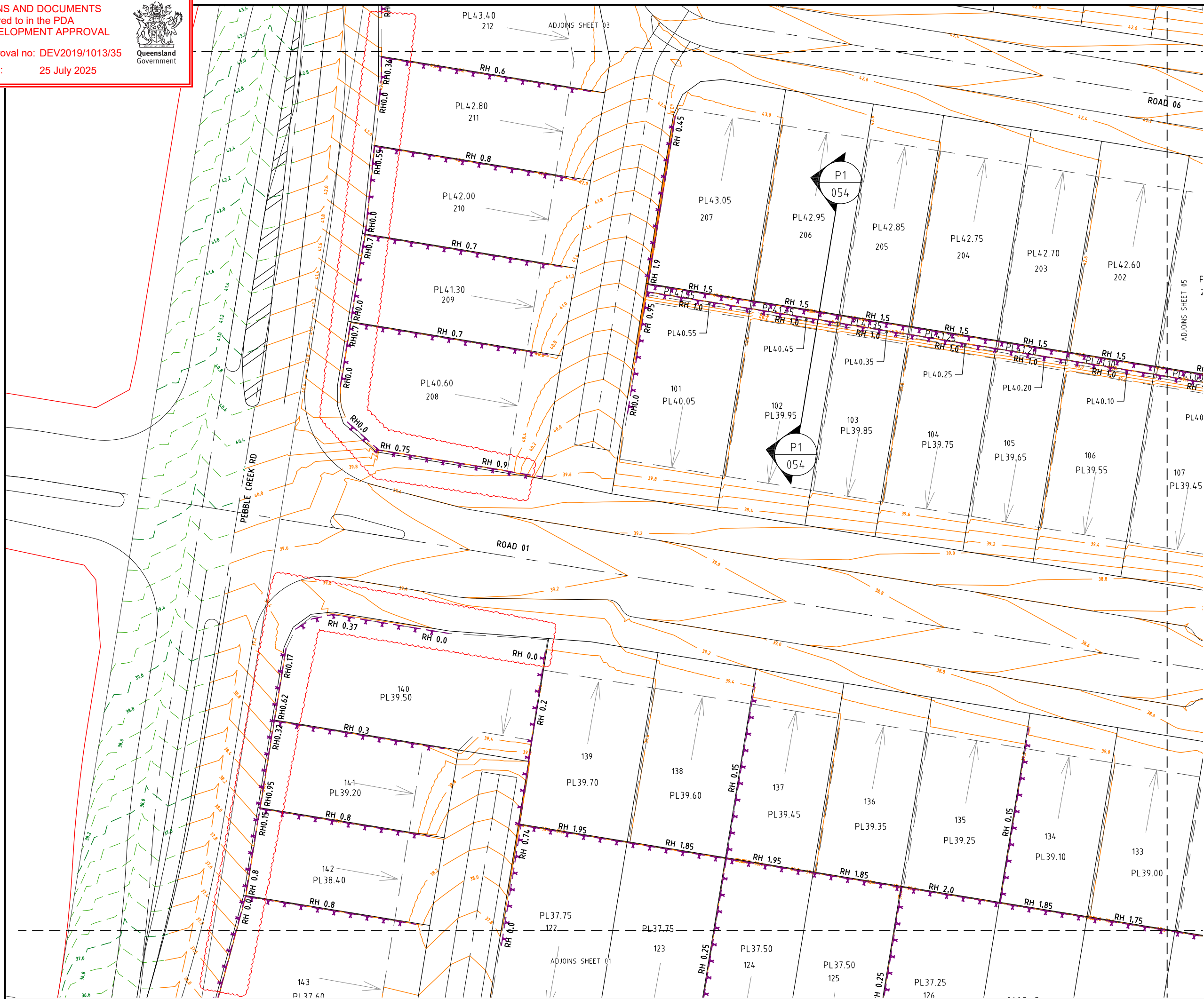
DESIGNED GW	DRAWN RK
APPROVED [Signature]	RPE020300 DATE 2-02-24
DRAWING NUMBER 37502-CLLN-060	REV C

C:\autocad\client\375- cedar woods properties\02 - mountain ridge road\overlaid\engineering drawing\atd\north\current\37502-CLLN-060.dwg, PLAN SHEET 01, 30/05/2025 10:24:34 AM, 1:2

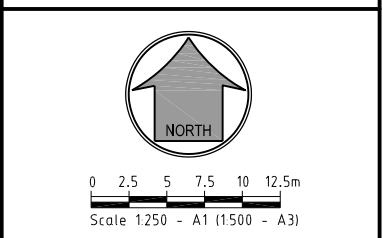
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/35

Date: 25 July 2025



PROJECT NAME
Flourish
 CHANGE OF LEVEL OF LAND
 STAGES 1-4
 RP DESCRIPTION
 Lot 30 SP309195
 MOUNTAIN RIDGE ROAD
 LOCALITY OF SOUTH MACLEAN
 LOCAL AUTHORITY-EDQ



REV	DATE	DESCRIPTION	INT
D	28-05-25	CONTOURS & RET WALLS UPDATED	JB
C	11-02-25	LAYOUT AMENDED	GB
B	13-05-24	SECTION MARKER ADDED	GW
A	2-02-24	COUNCIL ISSUE	RK

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS
 SAUNDERS HAVILL
 SLR
 PETER EUSTACE & ASSOCIATES

DRAWING TITLE
 RETAINING WALL
 AND DETAIL GRADING PLAN
 SHEET 02

MORTONS
 urbansolutions
 Civil Engineering
 Project Coordination

MUS Pty Ltd T/As:
 Mortons-Urban Solutions
 ABN 39 116 375 065
 mortons@urbansolutions.net.au
 www.urbansolutions.net.au
 Tel 07 5571 1099

Postal Address
 PO Box 2484
 Southport QLD 4215

Gold Coast Office
 Suite 9, 19 Short St
 Southport QLD 4215

DESIGNED	GW	DRAWN	RK
APPROVED	<i>[Signature]</i>	REP 20300	DATE 2-02-24
DRAWING NUMBER			REV
37502-CLLN-061			D

I:\upload\client\375- cedar woods properties\02 - mountain ridge road\overlaid\drawing\02-CLLN-061.dwg, PLAN SHEET 02, 30/05/2025 10:24:54 AM, 1:2

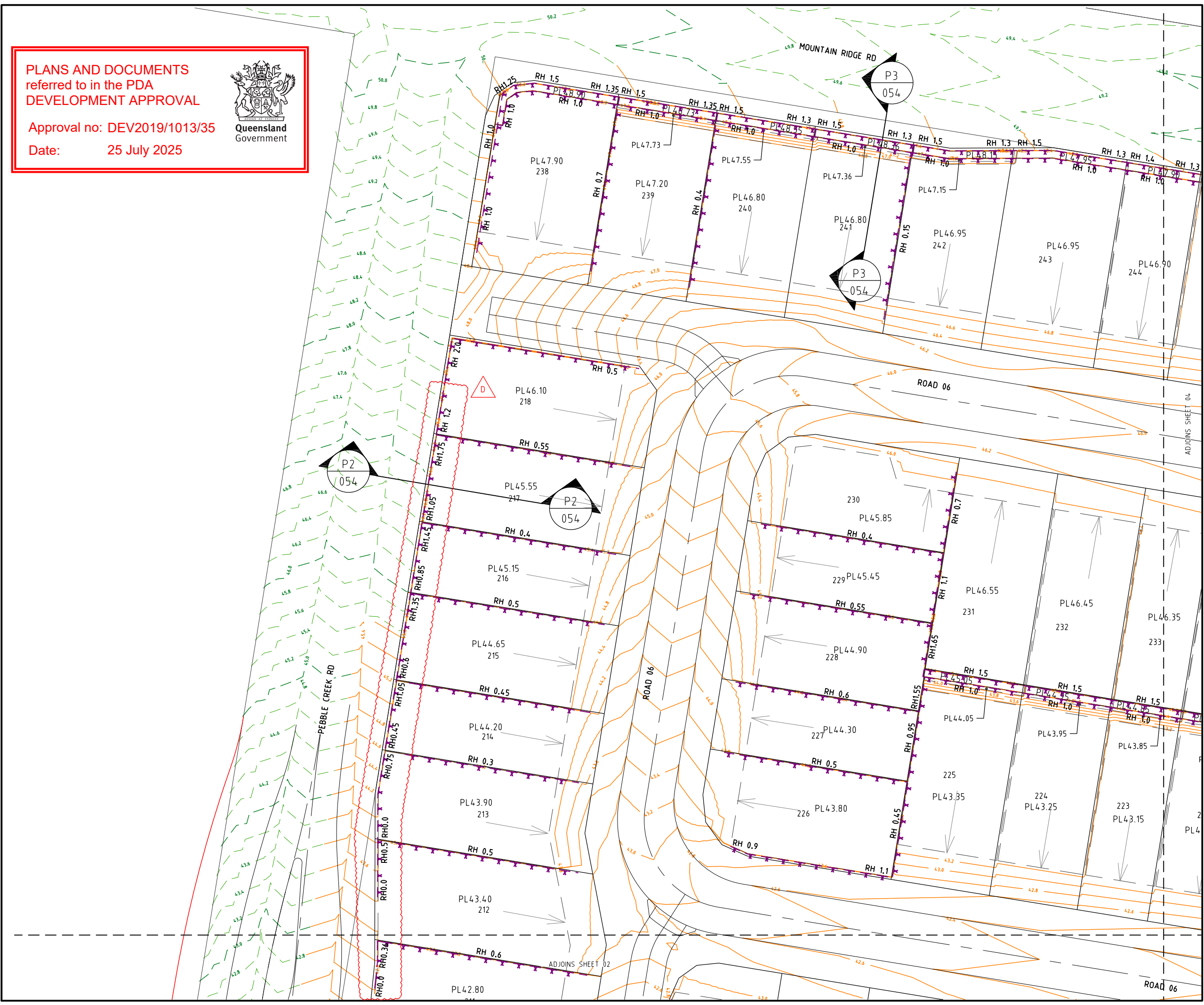
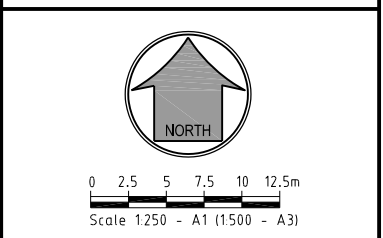
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/35

Date: 25 July 2025



PROJECT NAME
Flourish
CHANGE OF LEVEL OF LAND
STAGES 1-4
RP DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



REV	DATE	DESCRIPTION	INT
D	28-05-25	CONTOURS & RET WALLS UPDATED	GB
C	11-02-25	LAYOUT AMENDED	GB
B	13-05-24	SECTION MARKERS ADDED	GW
A	2-02-24	COUNCIL ISSUE	RK

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS
**SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES**

DRAWING TITLE
**RETAINING WALL
AND DETAIL GRADING PLAN
SHEET 03**

MORTONS
urbansolutions
Civil Engineering
Project Coordination

MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

DESIGNED	GW	DRAWN	RK
APPROVED	<i>[Signature]</i>	REF	20300
DRAWING NUMBER		DATE	
37502-CLLN-062		2-02-24	
REV			D

I:\autocad client\375- cedar woods properties\02 - mountain ridge road\overall engineering drawing\gdal north\current\37502-CLLN-062.dwg PLAN SHEET 03_30/05/2025 10:25:16 AM 1:2

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/35

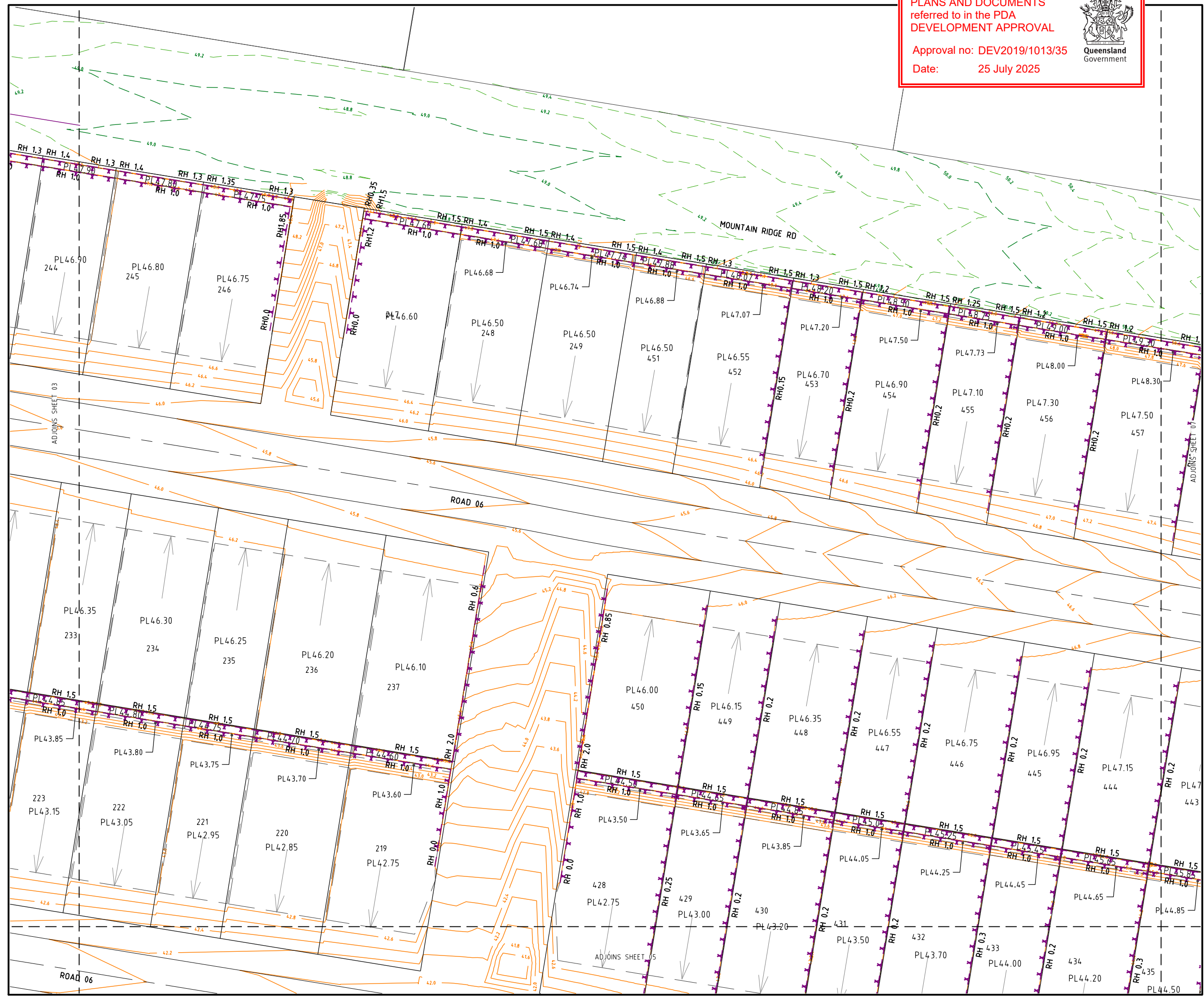
Date: 25 July 2025



PROJECT NAME
Flourish
CHANGE OF LEVEL OF LAND
STAGES 1-4
RP DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)



REV	DATE	DESCRIPTION	INT
C	28-05-25	CONTOURS UPDATED	JB
B	11-02-25	LAYOUT AMENDED	GB
A	2-02-24	COUNCIL ISSUE	RK

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS

SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES

DRAWING TITLE

RETAINING WALL
AND DETAIL GRADING PLAN
SHEET 04



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

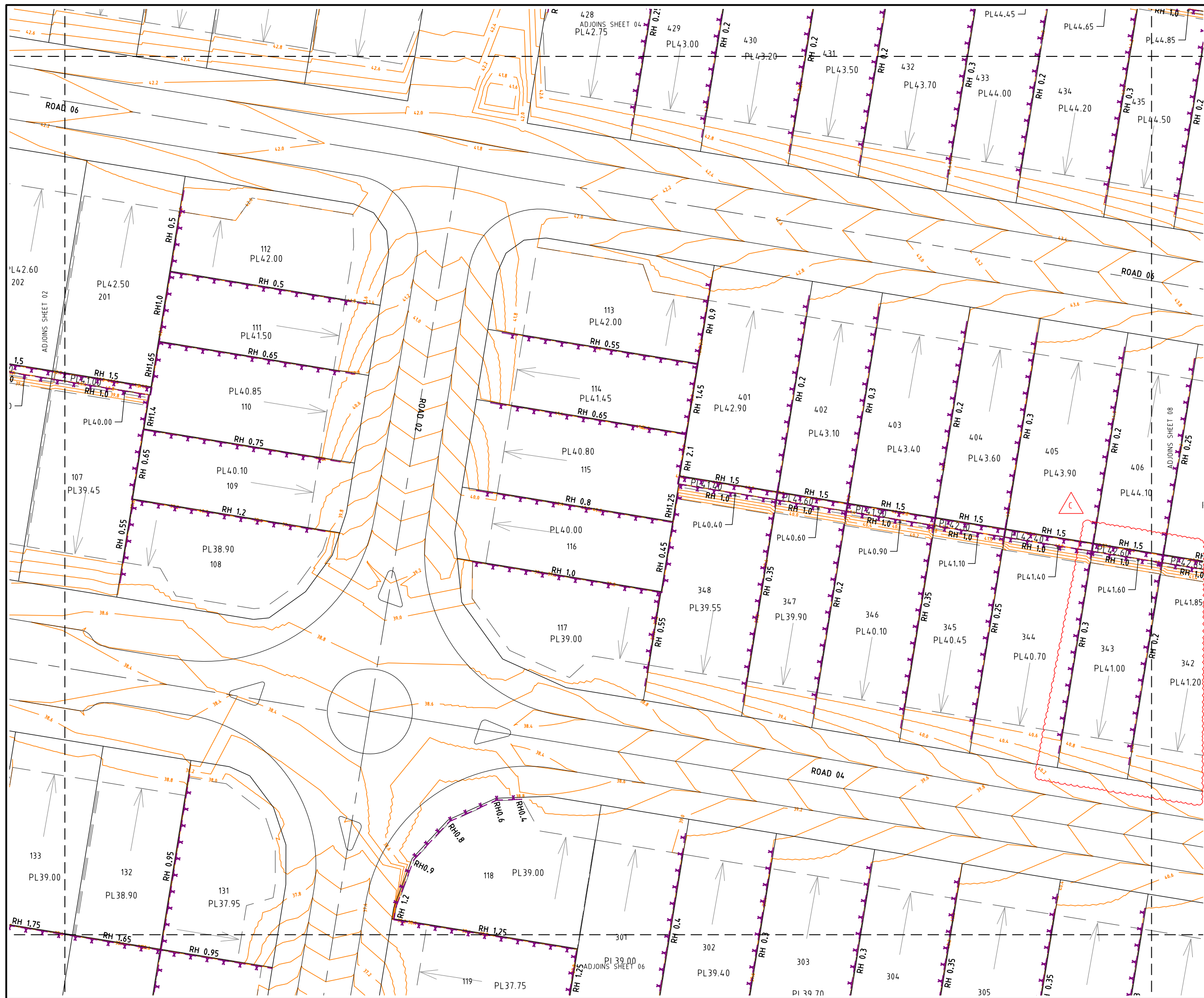
Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

DESIGNED	GW	DRAWN	RK
APPROVED	<i>[Signature]</i>	DATE	2-02-24

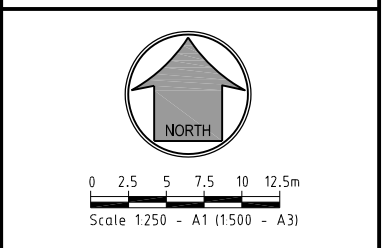
DRAWING NUMBER
37502-CLLN-063

REV
C

C:\autocad\client\375- cedar woods properties\02 - mountain ridge road\overlaid\engineering drawing\at north\current\37502-CLLN-063.dwg PLAN SHEET 04_30/05/2025 10:25:38 AM 1:2



PROJECT NAME
Flourish
 CHANGE OF LEVEL OF LAND
 STAGES 1-4
 RP DESCRIPTION
 Lot 30 SP309195
 MOUNTAIN RIDGE ROAD
 LOCALITY OF SOUTH MACLEAN
 LOCAL AUTHORITY-EDG



PLANS AND DOCUMENTS referred to in the PDA
DEVELOPMENT APPROVAL
 Approval no: DEV2019/1013/35
 Date: 25 July 2025

REV	DATE	DESCRIPTION	INT
C	28-05-25	CONTOURS & RET WALLS UPDATED	GB
B	11-02-25	LAYOUT AMENDED	GB
A	2-02-24	COUNCIL ISSUE	RK

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS

**SAUNDERS HAVILL
 SLR
 PETER EUSTACE & ASSOCIATES**

DRAWING TITLE

**RETAINING WALL
 AND DETAIL GRADING PLAN
 SHEET 05**

MORTONS
 urbansolutions
 Civil Engineering
 Project Coordination

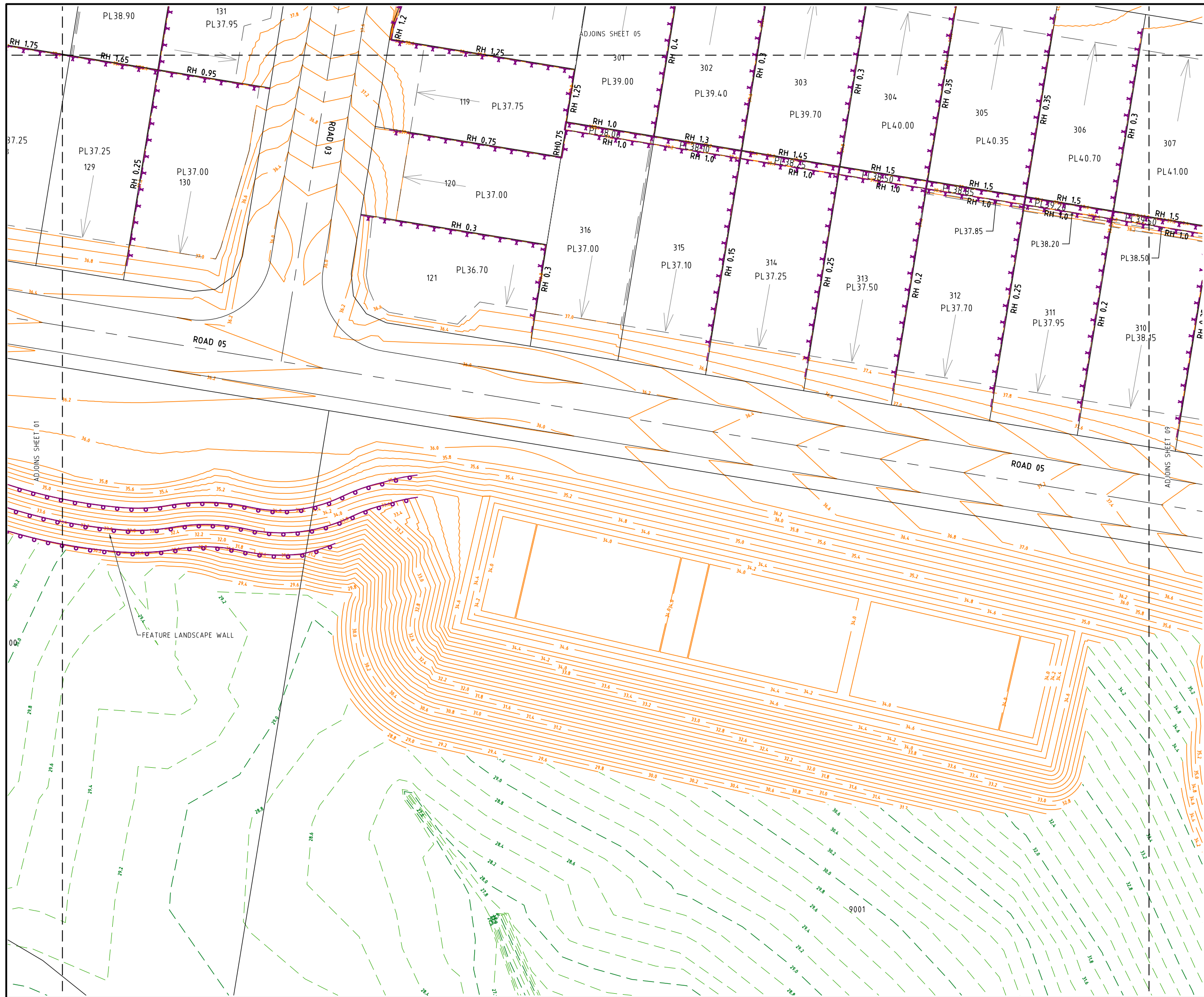
MUS Pty Ltd T/As:
 Mortons-Urban Solutions
 ABN 39 116 375 065
 mortons@urbansolutions.net.au
 www.urbansolutions.net.au
 Tel 07 5571 1099

Postal Address
 PO Box 2484
 Southport QLD 4215

Gold Coast Office
 Suite 9, 19 Short St
 Southport QLD 4215

DESIGNED GW	DRAWN RK
APPROVED <i>[Signature]</i>	REP 20300 DATE 2-02-24
DRAWING NUMBER 37502-CLLN-064	
REV	C

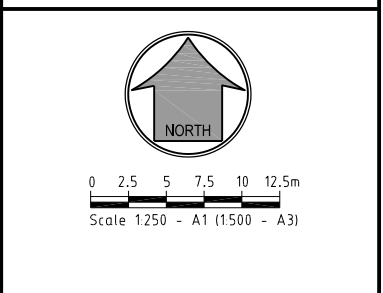
C:\autocad client\375- cedar woods properties\02 - mountain ridge road\overlaid\engineering drawing\atd north\current\37502-CLLN-064.dwg PLAN SHEET 05 30/05/2025 10:25:57 AM 1:2



PROJECT NAME
Flourish
 CHANGE OF LEVEL OF LAND
 STAGES 1-4
 RP DESCRIPTION
 Lot 30 SP309195
 MOUNTAIN RIDGE ROAD
 LOCALITY OF SOUTH MACLEAN
 LOCAL AUTHORITY-EDG

CLIENT

CEDAR WOODS
 DEVELOPING TOMORROW TODAY



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
 Approval no: DEV2019/1013/35
 Date: 25 July 2025



REV	DATE	DESCRIPTION	INT
C	28-05-25	CONTOURS UPDATED	GB
B	11-02-25	LAYOUT AMENDED	GB
A	2-02-24	COUNCIL ISSUE	RK

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS
**SAUNDERS HAVILL
 SLR
 PETER EUSTACE & ASSOCIATES**

DRAWING TITLE
**RETAINING WALL
 AND DETAIL GRADING PLAN
 SHEET 06**


MORTONS
 urbansolutions
 Civil Engineering
 Project Coordination

MUS Pty Ltd T/As:
 Mortons-Urban Solutions
 ABN 39 116 375 065
 mortons@urbansolutions.net.au
 www.urbansolutions.net.au
 Tel 07 5571 1099

Postal Address
 PO Box 2484
 Southport QLD 4215

Gold Coast Office
 Suite 9, 19 Short St
 Southport QLD 4215

DESIGNED	GW	DRAWN	RK
APPROVED		RPE020300	DATE 2-02-24
DRAWING NUMBER			REV
37502-CLLN-065			C

I:\outdoor client\375- cedar woods properties\02 - mountain ridge road\overlaid\engineering drawing\01 north\current\37502-CLLN-065.dwg, PLAN SHEET 06, 30/05/2025 10:26:19 AM, 1:2

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/35
Date: 25 July 2025



Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4
RP DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDG



0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

REV	DATE	DESCRIPTION	INT
C	28-05-25	CONTOURS UPDATED & RET WALLS	JB
B	11-05-25	LAYOUT UPDATED	GB
A	2-02-24	COUNCIL ISSUE	RK

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS

SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES

DRAWING TITLE

RETAINING WALL
AND DETAIL GRADING PLAN
SHEET 07



MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

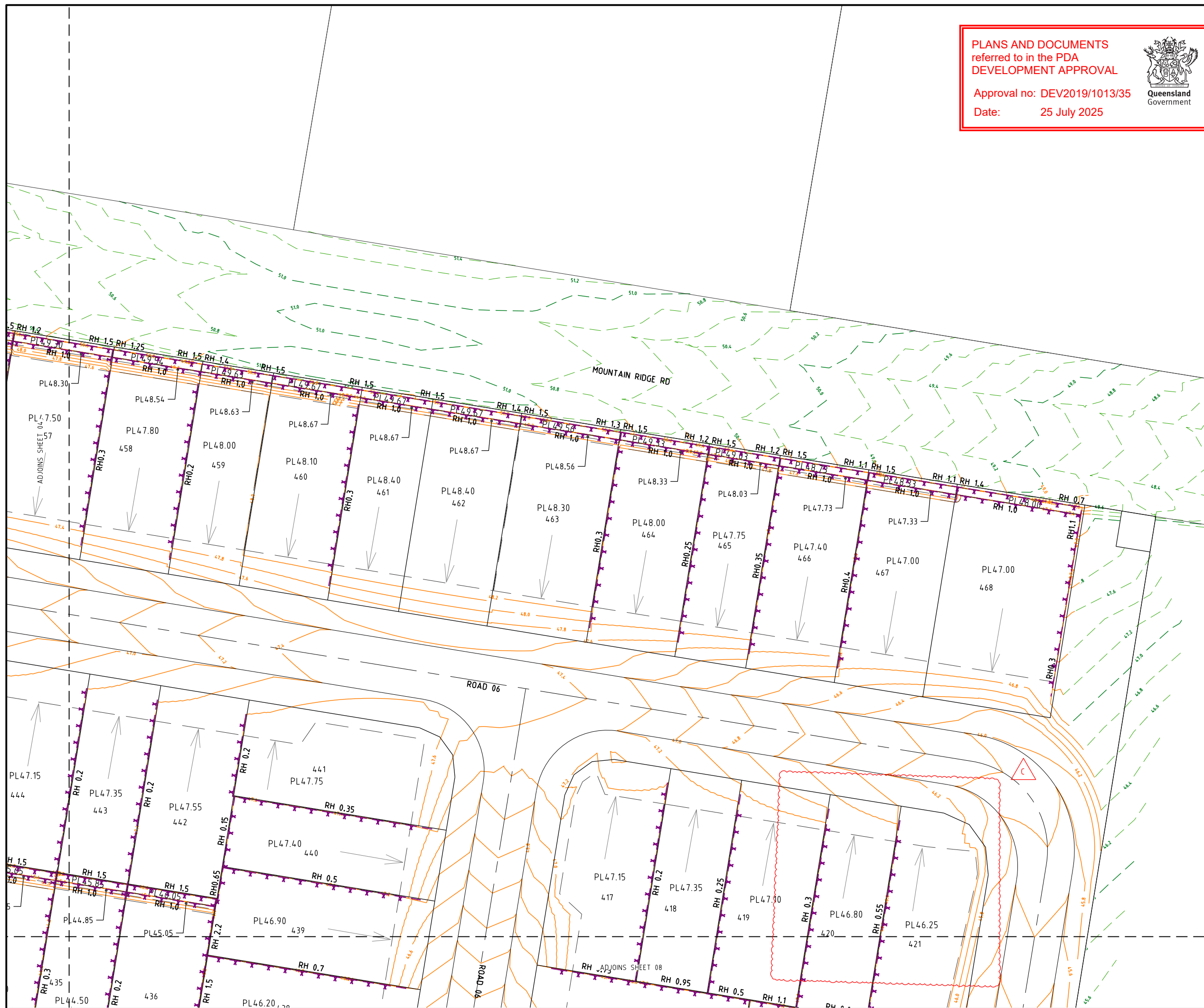
Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

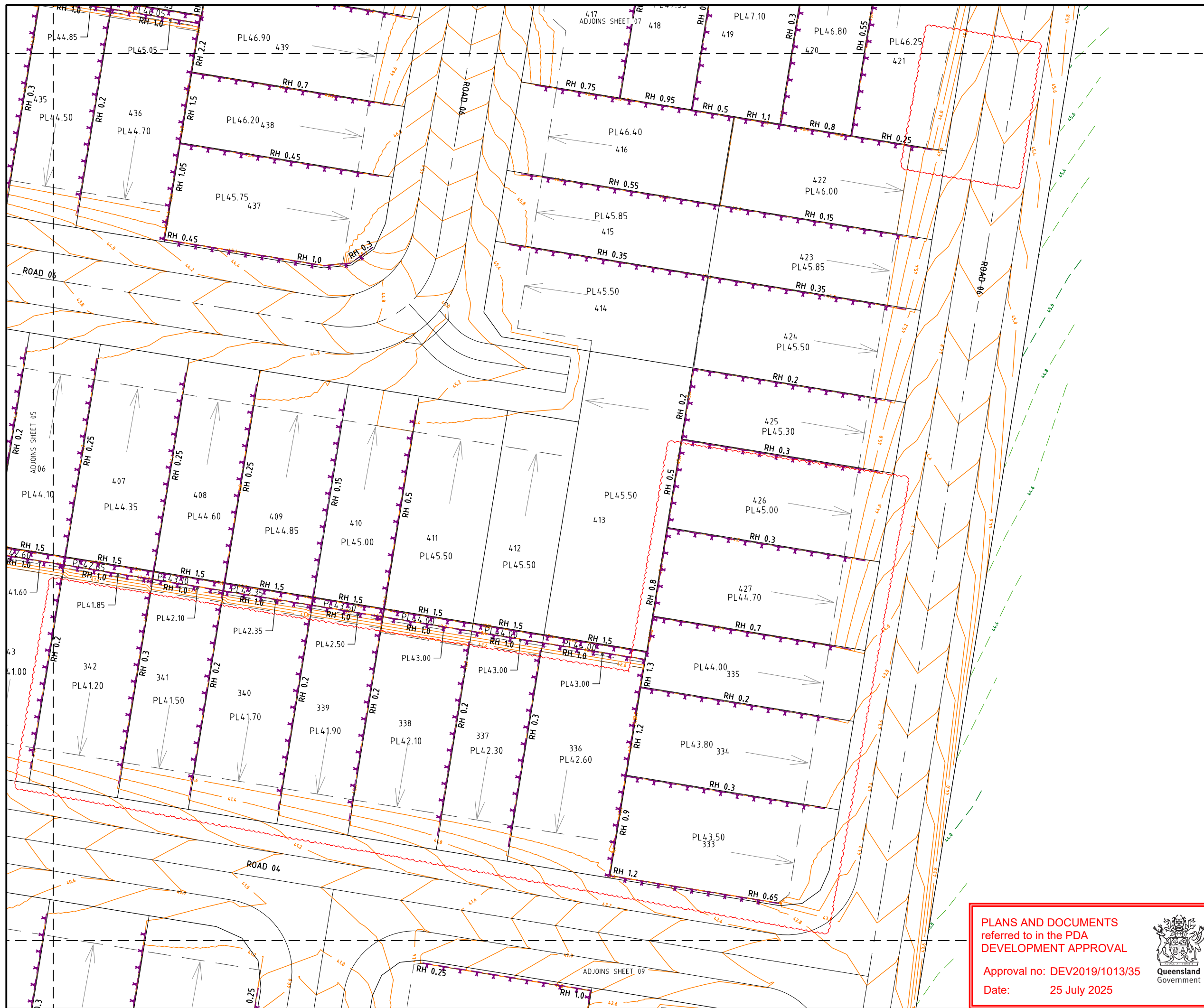
DESIGNED GW	DRAWN RK
APPROVED [Signature]	DATE 2-02-24

DRAWING NUMBER
37502-CLLN-066

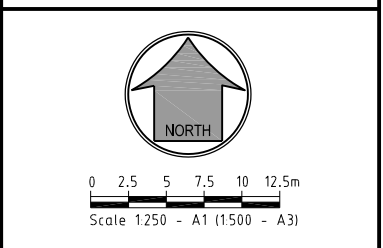
REV
C



I:\cadd\client\375 - cedar woods properties\02 - mountain ridge road\overlaid\engineering drawing\at north\current\37502-CLLN-066.dwg, PLAN SHEET 07, 30/05/2025 10:28:44 AM, 1:2



PROJECT NAME
Flourish
 CHANGE OF LEVEL OF LAND
 STAGES 1-4
 RP DESCRIPTION
 Lot 30 SP309195
 MOUNTAIN RIDGE ROAD
 LOCALITY OF SOUTH MACLEAN
 LOCAL AUTHORITY-EDQ



C	28-05-25	CONTOURS & RET WALLS UPDATED	GB
B	11-02-25	LAYOUT UPDATED	GB
A	2-02-24	COUNCIL ISSUE	RK
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS

SAUNDERS HAVILL
 SLR
 PETER EUSTACE & ASSOCIATES

DRAWING TITLE

RETAINING WALL
 AND DETAIL GRADING PLAN
 SHEET 08

MORTONS
 urbansolutions
 Civil Engineering
 Project Coordination

MUS Pty Ltd T/As:
 Mortons-Urban Solutions
 ABN 39 116 375 065
 mortons@urbansolutions.net.au
 www.urbansolutions.net.au
 Tel 07 5571 1099

Postal Address
 PO Box 2484
 Southport QLD 4215

Gold Coast Office
 Suite 9, 19 Short St
 Southport QLD 4215

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

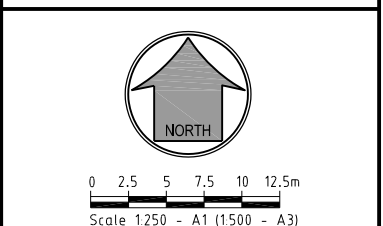
Approval no: DEV2019/1013/35
 Date: 25 July 2025

DESIGNED	GW	DRAWN	RK
APPROVED	<i>[Signature]</i>	REGISTERED	DATE
DRAWING NUMBER		REV	
37502-CLLN-067		C	

I:\outdoor client\375- cedar woods properties\02 - mountain ridge road\overlaid\engineering drawing\gd\ north\current\37502-CLLN-067.dwg, PLAN SHEET 08, 30/05/2025 10:27:06 AM, 1:2



PROJECT NAME
Flourish
 CHANGE OF LEVEL OF LAND
 STAGES 1-4
 RP DESCRIPTION
 Lot 30 SP309195
 MOUNTAIN RIDGE ROAD
 LOCALITY OF SOUTH MACLEAN
 LOCAL AUTHORITY-EDQ



REV	DATE	DESCRIPTION	INT
D	28-05-25	CONTOURS & RET WALLS UPDATED	GB
C	11-02-25	LAYOUT UPDATED	GB
B	13-05-24	LOT 326 RETAINING WALL REMOVED	GW
A	2-02-24	COUNCIL ISSUE	RK

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS

SAUNDERS HAVILL
 SLR
 PETER EUSTACE & ASSOCIATES

DRAWING TITLE

RETAINING WALL
 AND DETAIL GRADING PLAN
 SHEET 09

MORTONS
 urbansolutions
 Civil Engineering
 Project Coordination

MUS Pty Ltd T/As:
 Mortons-Urban Solutions
 ABN 39 116 375 065
 mortons@urbansolutions.net.au
 www.urbansolutions.net.au
 Tel 07 5571 1099

Postal Address
 PO Box 2484
 Southport QLD 4215

Gold Coast Office
 Suite 9, 19 Short St
 Southport QLD 4215

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/35
 Date: 25 July 2025

DESIGNED	GW	DRAWN	RK
APPROVED	[Signature]	RPE20300	DATE 2-02-24
DRAWING NUMBER			REV
37502-CLLN-068			D

I:\cadd\client\37502-cedar woods properties\02 - mountain ridge road\overlaid\engineering drawing\clln\068.dwg PLAN SHEET 09 30/05/2025 10:27:27 AM 1:2

NOTES:

1. RETAINING WALL DETAILS ARE INDICATIVE ONLY.
2. CONTRACTOR TO ARRANGE FOR DESIGN & CONSTRUCTION OF WALLS BY RPEQ STRUCTURAL ENGINEER. CONTRACTOR TO PROVIDE STRUCTURAL CERTIFICATION OF DESIGN & FINAL CONSTRUCTION.
3. ALLOW FOR 5KPa LOADING TO WALLS EXCEPT ADJACENT TO ROADS WHICH REQUIRE A 10kPa LOADING.
4. CONTRACTOR TO CONFIRM LOCATION OF LOT BOUNDARY PRIOR TO COMMENCING WALL CONSTRUCTION.
5. THE BUILDING ON THE HIGHER SIDE OF THE RETAINING WALL MUST MAINTAIN AN OFFSET OR APPROPRIATE FOUNDATION STRUCTURES (EG, PIERS) IN ORDER TO ENSURE THE ENTIRE DEPTH OF THE RETAINING WALL IS FREE FROM THE ZONE OF INFLUENCE OF THE BUILDING/OVERBURDEN LOAD UNLESS OTHERWISE SPECIFIED BY STRUCTURAL ENGINEER.
6. STRUCTURAL ENGINEER TO DESIGN SLAB & PIER.
7. AGRICULTURAL DRAIN TO DISCHARGE TO 300x300mm STORMWATER PIT. HOUSE BUILDER TO CONNECT 300x300mm STORMWATER PIT TO ROOFWATER SYSTEM.
8. RETAINING WALL DESIGN TO ALLOW FOR ALL SERVICES (ADJACENT OR BELOW) & HAVE NO IMPACT.
9. SANDSTONE & PROPRIETARY RETAINING WALLS TO BE DESIGNED & CONSTRUCTED TO HAVE VERTICAL FACE UNLESS OTHERWISE AGREED BY THE SUPERINTENDENT.
10. ANY WALL GREATER THAN 0.9M HIGH TO INSTALL A FALL BARRIER AT THE TOP OF WALL. THE FALL BARRIER IS TO BE MAINTAINED UNTIL THE END OF THE MAINTENANCE PERIOD OR THE ASSOCIATED LOT IS SOLD BY THE DEVELOPER.
11. REFER TO LANDSCAPE ARCHITECT FOR RETAINING WALL COLOUR & FINISH.
12. SETBACKS- REFER TABLE
13. WHERE RETAINING WALLS ARE LOCATED WITHIN 2m OF A PMT SITE THE RETAINING WALL IS TO BE DESIGNED & CONSTRUCTED TO ALLOW EXCAVATION OF THE FULL PMT SITE TO A DEPTH OF 1.3m.

SETBACKS:	
ROAD RESERVE OR OPEN SPACE BOUNDARY	=300mm
SIDE BOUNDARY	=LOCATED
CENTRAL ON BOUNDARY	
REAR BOUNDARY	=LOCATED
CENTRAL ON BOUNDARY	

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/35
Date: 25 July 2025



PROJECT NAME
Flourish
CHANGE OF LEVEL OF LAND
STAGES 1-4
RP DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



REV	DATE	DESCRIPTION	INT
C	11-02-25	LAYOUT UPDATED	GB
B	13-05-24	DETAILS AMENDED	GW
A	2-02-24	COUNCIL APPROVAL	RK

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS

SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES

DRAWING TITLE

RETAINING WALL
DETAILS
SHEET 01



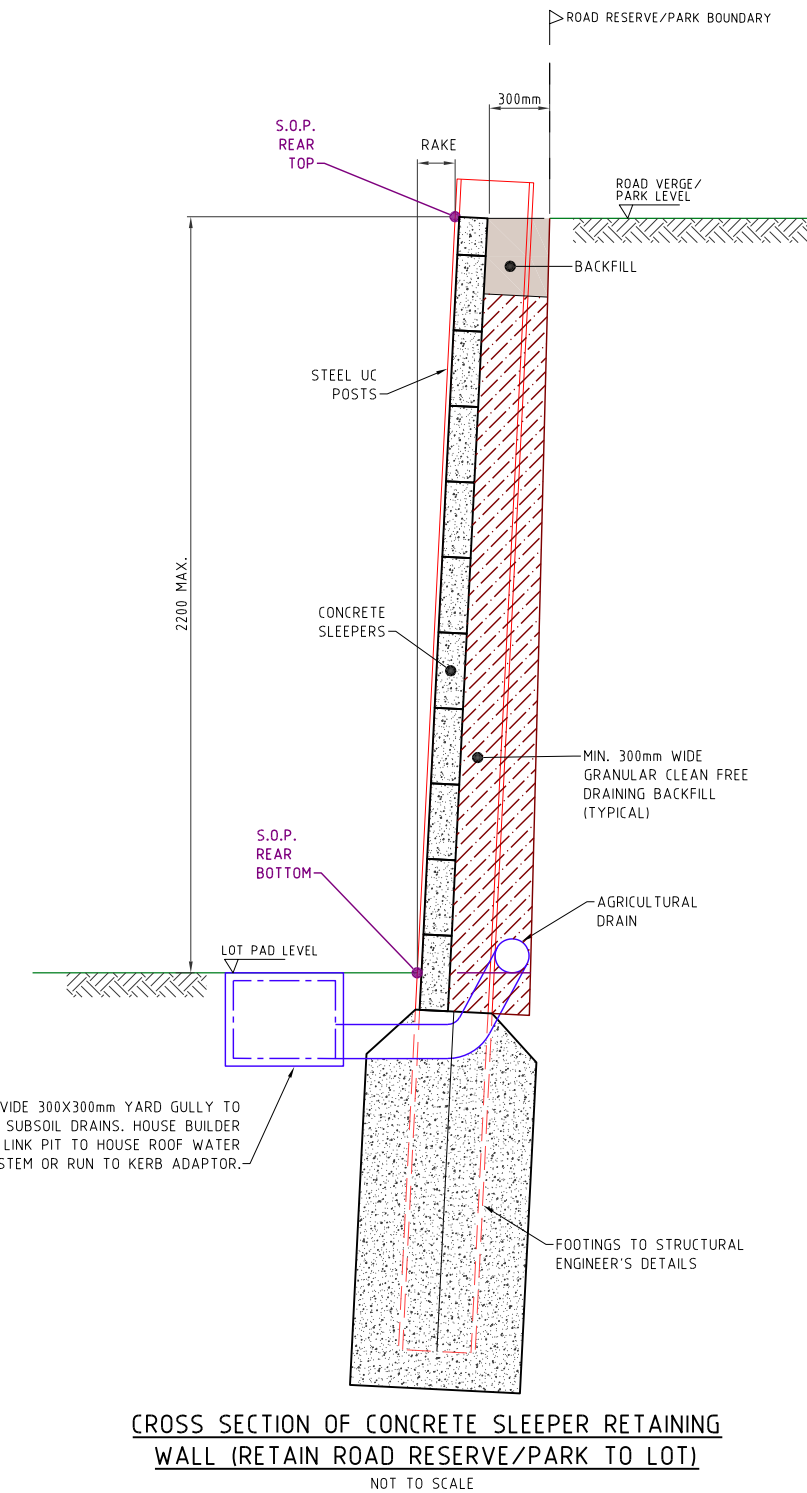
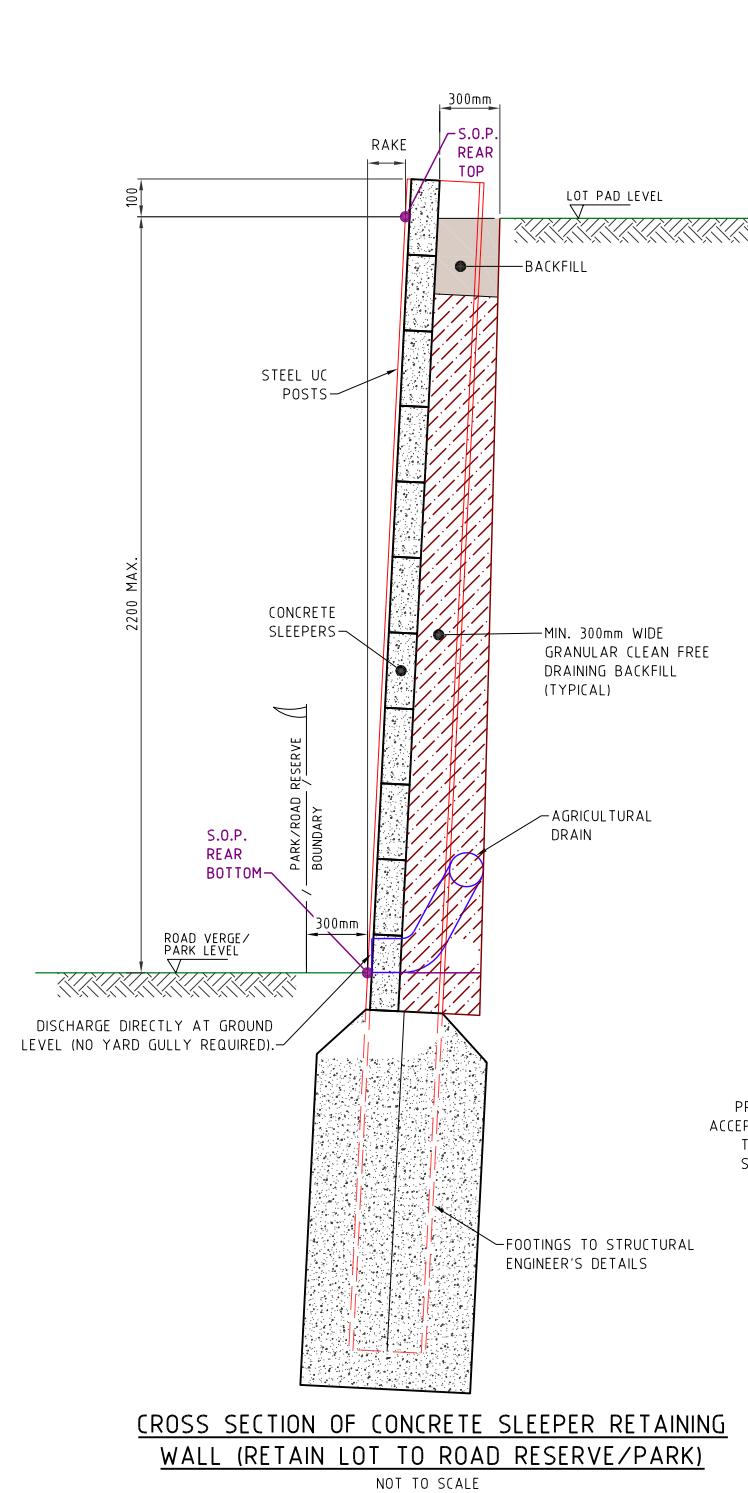
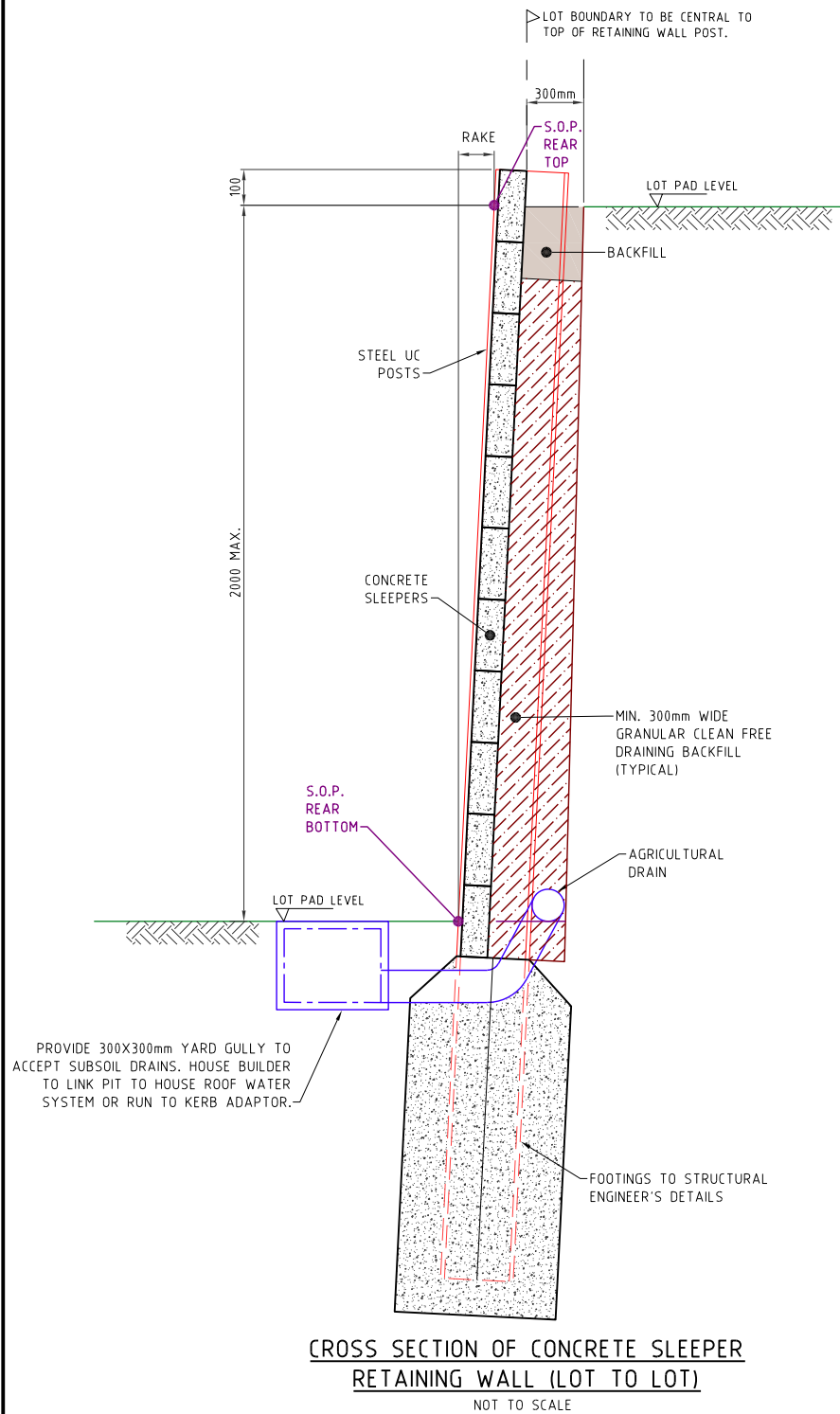
MUS Pty Ltd T/As
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

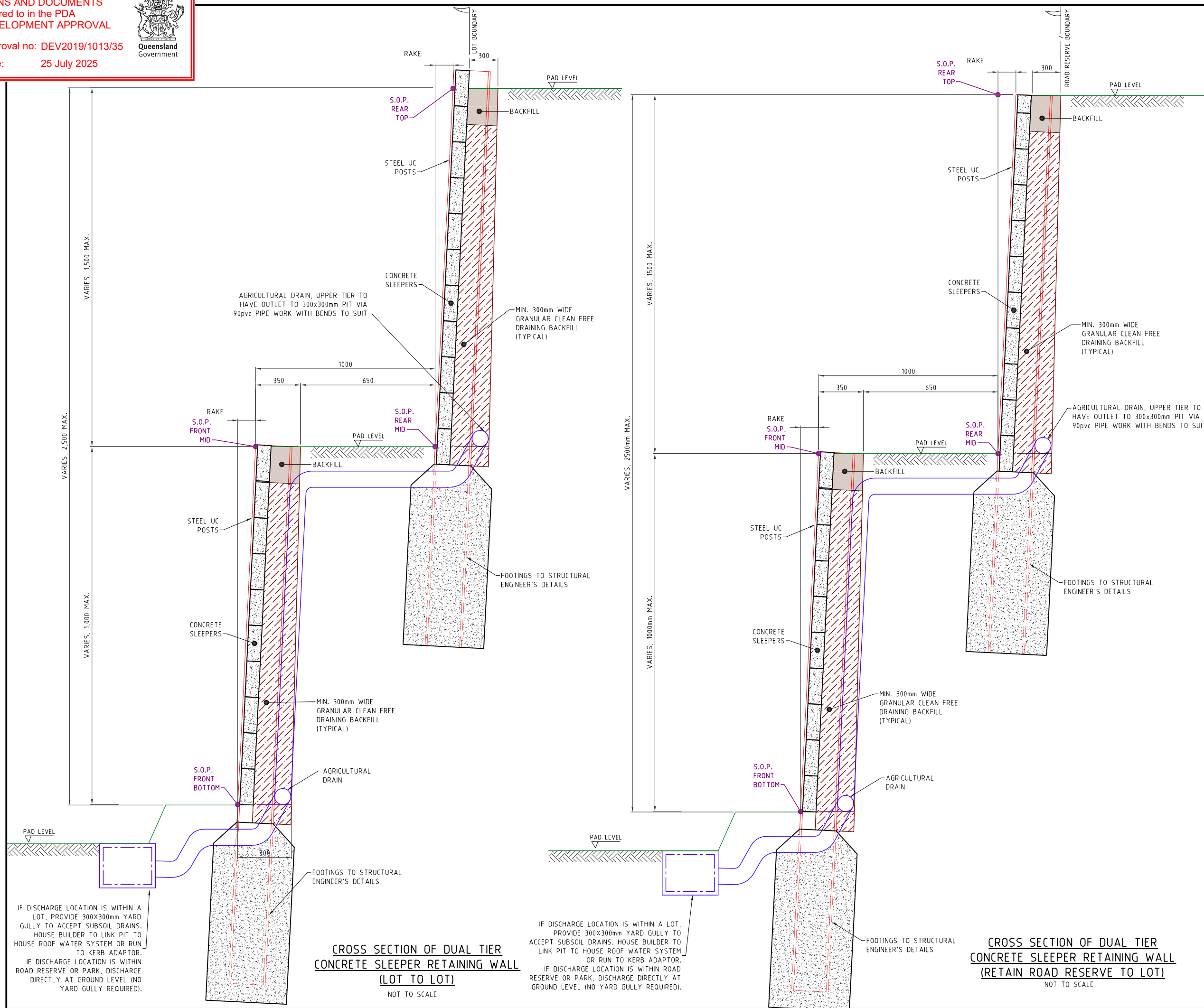
Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

DESIGNED GW	DRAWN RK
APPROVED [Signature]	RPEQ20300 DATE 2-02-24

DRAWING NUMBER 37502-CLLN-070	REV C
---	-----------------





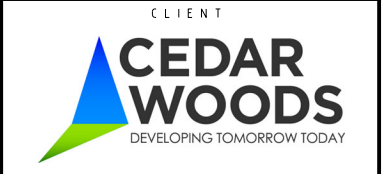
**CROSS SECTION OF DUAL TIER
CONCRETE SLEEPER RETAINING WALL
(LOT TO LOT)**
NOT TO SCALE

**CROSS SECTION OF DUAL TIER
CONCRETE SLEEPER RETAINING WALL
(RETAIN ROAD RESERVE TO LOT)**
NOT TO SCALE

IF DISCHARGE LOCATION IS WITHIN A LOT, PROVIDE 300x300mm YARD GULLY TO ACCEPT SUBSOIL DRAINS. HOUSE BUILDER TO LINK PIT TO HOUSE ROOF WATER SYSTEM OR RUN TO KERB ADAPTOR.
IF DISCHARGE LOCATION IS WITHIN ROAD RESERVE OR PARK, DISCHARGE DIRECTLY AT GROUND LEVEL (NO YARD GULLY REQUIRED).

IF DISCHARGE LOCATION IS WITHIN A LOT, PROVIDE 300x300mm YARD GULLY TO ACCEPT SUBSOIL DRAINS. HOUSE BUILDER TO LINK PIT TO HOUSE ROOF WATER SYSTEM OR RUN TO KERB ADAPTOR.
IF DISCHARGE LOCATION IS WITHIN ROAD RESERVE OR PARK, DISCHARGE DIRECTLY AT GROUND LEVEL (NO YARD GULLY REQUIRED).

PROJECT NAME
Flourish
CHANGE OF LEVEL OF LAND
STAGES 1-4
RP DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



A	20-02-25	COUNCIL APPROVAL	GB
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS
**SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES**

DRAWING TITLE
**RETAINING WALL
DETAILS
SHEET 02**

MORTONS
urbansolutions
Civil Engineering
Project Coordination

MUS Pty Ltd T/As: Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

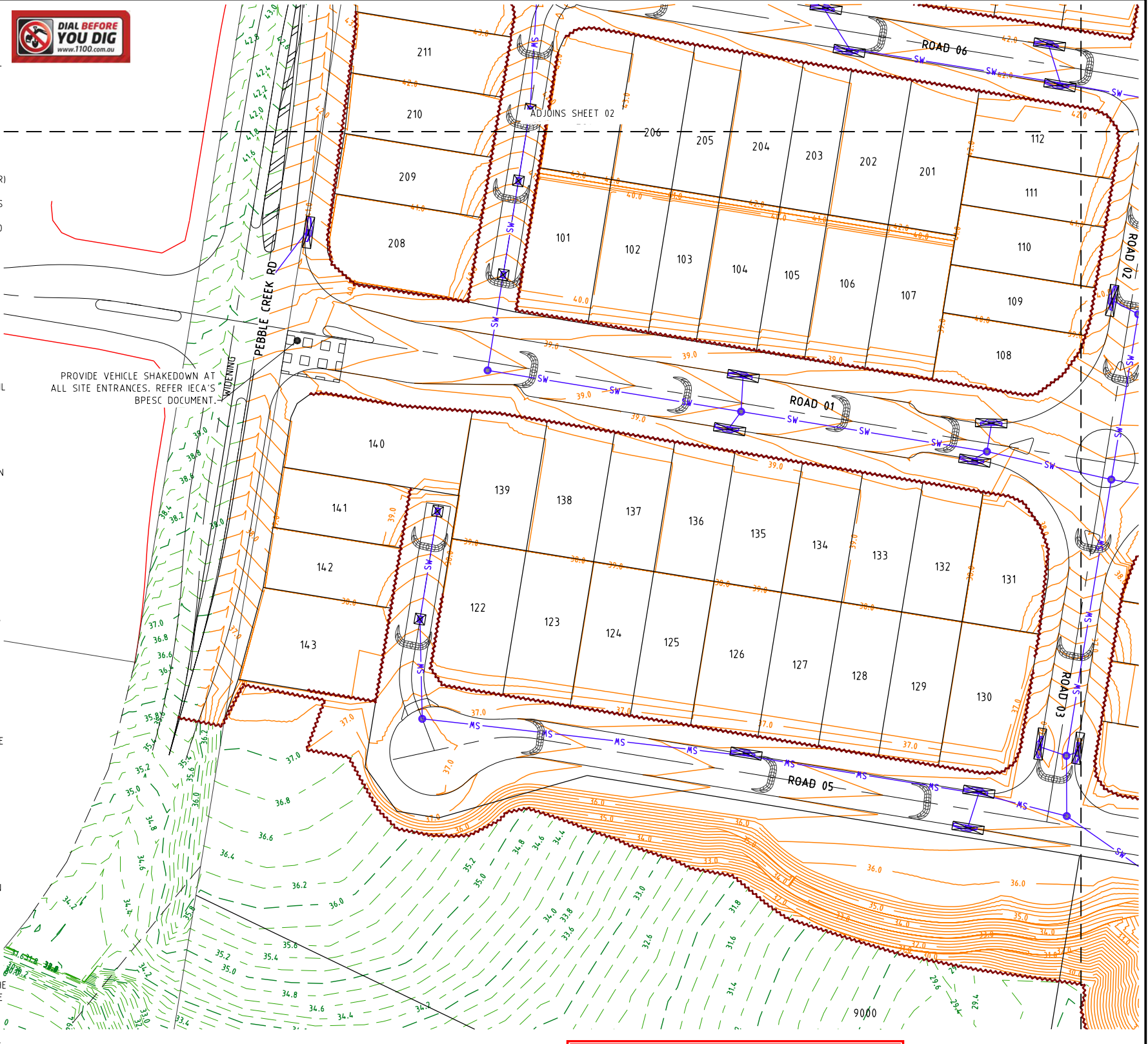
Postal Address: PO Box 2484 Southport QLD 4215
Gold Coast Office: Suite 9, 19 Short St Southport QLD 4215

DESIGNED	GW	DRAWN	RK
APPROVED	<i>[Signature]</i>	PROJECT NUMBER	DATE
37502-CLLN-071		2-02-24	
DRAWING NUMBER			REV
37502-CLLN-071			A

c:\autocad\client\375- cedar woods properties\02 - mountain ridge road\overlaid\engineering drawing\02-clln\071.dwg, DETAILS SHEET 02, 30/05/2025 10:27:24 AM, 1:2

SEDIMENT AND EROSION

- THE EROSION & SEDIMENT CONTROL DEVICES SHOWN ON THESE DRAWINGS ARE INDICATIVE & PROVIDED FOR SUBMISSION TO LOCAL AUTHORITY ONLY. NOTWITHSTANDING THE EROSION & CONTROL DEVICES SHOWN ON THESE DRAWINGS, THE CONTRACTOR MUST PREPARE & FOLLOW A SITE SPECIFIC EROSION & SEDIMENT CONTROL PLAN TO MEET ALL LOCAL & STATE GOVERNMENT LEGISLATION INCLUDING BUT NOT LIMITED TO:
 - ENVIRONMENTAL PROTECTION ACT WITH SPECIFIC REFERENCE TO PARTS 5440G & 5319
 - STATE PLANNING POLICY
 PRESCRIBED WATER CONTAMINANTS (AS DEFINED IN THE ENVIRONMENTAL PROTECTION ACT 1994) MUST NOT BE RELEASED FROM THE SITE OR TO WATERS WITHIN THE SITE, OR BE LIKELY TO BE RELEASED SHOULD RAINFALL OCCUR, UNLESS ALL REASONABLE & PRACTICABLE MEASURES ARE TAKEN TO PREVENT OR MINIMISE THE RELEASE & CONCENTRATION OF CONTAMINATION. THE ESC PLAN MUST BE DESIGNED, IMPLEMENTED & MAINTAINED IN ACCORDANCE WITH "BEST PRACTICE EROSION & SEDIMENT CONTROL" PUBLISHED BY THE INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIAN CHAPTER) (IECA, 2008).
- TO COMPLY WITH THE REQUIREMENTS OF THE EP ACT & BEST PRACTICE DESIGN, THE SEDIMENT BASINS ON THE SITE MUST BE DESIGNED & IMPLEMENTED TO ACHIEVE THE FOLLOWING:
 - SEDIMENT BASINS ARE TO BE DESIGNED, IMPLEMENTED & MAINTAINED TO A STANDARD WHICH WOULD ACHIEVE AT LEAST 80% OF THE AVERAGE ANNUAL RUNOFF VOLUME OF THE CONTRIBUTING CATCHMENT TREATED (I.E. 80% HYDROLOGIC EFFECTIVENESS) TO 50MG/L TSS OR LESS & PH IN THE RANGE 6.5-8.5
 - THIS WILL REQUIRE THE INSTALLATION & OPERATION OF A HIGH-EFFICIENCY SEDIMENT BASIN(S) DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS CONTAINED IN THE "BEST PRACTICE EROSION & SEDIMENT CONTROL - APPENDIX B SEDIMENT BASIN DESIGN & OPERATION" PUBLISHED BY THE INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIAN CHAPTER) (IECA, 2016, DRAFT)
 THE EROSION & SEDIMENT CONTROL PLAN MUST BE PREPARED & CERTIFIED BY A CERTIFIED PROFESSIONAL IN EROSION & SEDIMENT CONTROL & FOLLOW THE REQUIREMENTS OUTLINED IN IECA'S BEST PRACTICE EROSION & SEDIMENT CONTROL DOCUMENT & THE QUEENSLAND URBAN DRAINAGE MANUAL.
- PRIOR TO THE COMMENCEMENT OF WORKS ONSITE THE CONTRACTOR MUST MAKE THEMSELVES AWARE OF ALL PREVIOUS GEOTECHNICAL REPORTS & DETERMINE THE DISPERSIVE CHARACTERISTICS OF THE SOIL (INCLUDING PERFORMING ANY SOIL TESTS IF REQUIRED). THE RESULTS OF THIS REVIEW & ANY TESTS MUST BE INCLUDED IN THE CONTRACTOR'S EROSION & SEDIMENT CONTROL PLAN. A COPY OF ALL TEST RESULTS MUST BE PROVIDED TO THE SUPERINTENDENT.
 - THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO CONTROL EROSION & DOWNSTREAM SEDIMENTATION DURING ALL STAGES OF CONSTRUCTION (INCLUDING THE MAINTENANCE PERIOD). NOTWITHSTANDING THE CONTROL MEASURES OR FINISHED EARTHWORKS DESIGN SHOWN ON THESE DRAWINGS, THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING ADDITIONAL OR ALTERNATIVE EROSION & SEDIMENT CONTROL MEASURES TO MINIMISE SEDIMENT ACROSS OR LEAVING THE SITE.
 - AT ALL TIMES THE CONTRACTOR SHALL MONITOR THE PREVAILING WEATHER CONDITIONS (INCLUDING WEEKENDS & PUBLIC HOLIDAYS) & AT ALL TIMES REMAINS RESPONSIBLE TO:
 - CLEAN & REPAIR CONTROL DEVICES WHENEVER THE ACCUMULATED SEDIMENT REDUCES THEIR CAPACITY BY 50%.
 - MAINTAIN POSITIVE GRADES OF ALL PERIMETER BANKS & SWALES TO AN OUTLET.
 - PROTECT ANY DOWNSTREAM CONSTRUCTION.
 - CONTROLLING DUST.
 - MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH DETAILS OUTLINED IN THEIR EROSION & SEDIMENT CONTROL PLAN & AS DIRECTED BY THE SUPERINTENDENT.
- THE CONTRACTOR'S PLAN SHALL ALLOW FOR SUITABLE ACCESS TO ALLOW MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES. NO ADDITIONAL VEGETATION CLEARING IS PERMITTED FOR GAINING ACCESS UNLESS APPROVED BY THE SUPERINTENDENT.
- THE CONTRACTOR MAY REQUEST APPROVAL FROM THE SUPERINTENDENT TO REUSE THE STOCKPILED MULCH FOR STABILISING BATTERS ONLY IN LOCATIONS WHERE THE APPROVED LANDSCAPE OPW DESIGN REQUIRES MULCH ULTIMATELY.
- CONSTRUCTION STOCKPILING
 - TOPSOIL SHALL BE STRIPPED & STOCKPILED IN LOCATIONS NOMINATED ON THE CONSTRUCTION DRAWINGS OR IN LOCATIONS AGREED WITH THE SUPERINTENDENT.
 - ADDITIONAL VEGETATION CLEARING IS NOT PERMITTED TO FACILITATE THE STOCKPILING OF MATERIALS UNLESS SHOWN ON THE APPROVED VEGETATION MANAGEMENT PLAN.
 - ANY STOCKPILE SITE MUST BE CLEAR OF ADJACENT PROPERTY BOUNDARIES SO AS NOT TO CAUSE A NUISANCE TO ADJOINING PROPERTIES.
 - NO STOCKPILES ARE TO BE LOCATED WITHIN THE TREE PROTECTION ZONE OF VEGETATION.
 - A TEMPORARY SILT FENCE IS TO BE ERECTED APPROXIMATELY 5m FROM TOE OF BATTER ON LOW SIDE OF STOCKPILING.
- NOTWITHSTANDING THE DETAILS SHOWN IN THE CONTRACTOR'S EROSION & SEDIMENT CONTROL PLAN, DURING CONSTRUCTION THE CONTRACTOR MUST:
 - SIZE ALL TEMPORARY SEDIMENT BASINS APPROPRIATELY TO TREAT THE UPSTREAM CATCHMENT. NOTE THAT THE PERMANENT BIO BASINS SHOWN ON THESE DRAWINGS ARE SIZED FOR THE ULTIMATE CATCHMENT NOT FOR THE CONSTRUCTION PHASE.
 - PLACE A ROCK BUND AROUND ALL HEADWALLS DURING CONSTRUCTION.
 - PROVIDE KERB INLET PROTECTION TO ALL GULLIES.
 - PLACE A MINIMUM 1.0m WIDE TURF STRIP BEHIND ALL KERBS & IN A HERRINGBONE LAYOUT WITHIN THE ROAD VERGE.
 - MAINTENANCE (INCLUDING FLOCCULATION IF REQUIRED & PUMP OUT) OF ALL CONSTRUCTION SEDIMENT BASINS (WHETHER EXISTING OR NEW).
 - CLEAN OUT OF ALL GROSS POLLUTANT TRAPS, SEDIMENT FOREBAYS & ALL OTHER PERMANENT SEDIMENT CONTROL DEVICES AT BOTH ON & OFF MAINTENANCE.
- CONTRACTOR TO CONFIRM THE EXTENTS OF REQUIRED GRASSING TREATMENTS WITH THE SUPERINTENDENT AT LEAST 7 DAYS PRIOR TO FINAL TRIMMING.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT GRASSING STRIKE RATES ARE ACHIEVED AT THE ON & OFF MAINTENANCE INSPECTIONS IN ACCORDANCE WITH COUNCIL REQUIREMENTS. THIS INCLUDES THE SUPPLY & INSTALLATION OF ANY REQUIRED CHEMICAL/FERTILISER AMELIORATION TO ACHIEVE THE SPECIFIED GRASS STRIKE RATES.
- GEOFABRIC LINING OF CHANNELS & CHECK DAMS MAY BE REQUIRED SUBJECT TO THE SITE CONDITIONS.
- BATTERS WITHIN PUBLIC OPEN SPACE TO BE VEGETATED IN ACCORDANCE WITH APPROVED OPEN SPACE MANAGEMENT PLAN & LANDSCAPING OPW. CONTRACT DOCUMENTATION WILL SPECIFY WHETHER THIS IS THE CIVIL CONTRACTOR OR THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO SUPPLY & INSTALL. THE CIVIL CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUITABLE ACCESS FOR THE LANDSCAPE CONTRACTOR TO PERFORM THEIR WORKS.
- MAINTENANCE PERIOD (PRE TO POST CONSTRUCTION)
 - ALL PROTECTION MEASURES ARE TO BE INSPECTED & MAINTAINED REGULARLY
 - REPAIRS ARE TO BE EFFECTED IMMEDIATELY.
 - SILT AFTER RAIN IS TO BE CLEANED FROM STREETS & ALLOTMENTS IMMEDIATELY & CORRECTIVE ACTION TAKEN TO AVOID A RE-OCCURRENCE.
 - AT OFF-MAINTENANCE & ONLY WHEN DIRECTED BY COUNCIL, REMOVE & DISPOSE OFFSITE ALL TEMPORARY EROSION & SEDIMENT CONTROL DEVICES.
- EROSION & SEDIMENT CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR AND THE CONTRACTOR HOLDS ALL LIABILITY.

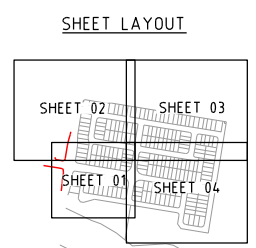


LEGEND

	EXISTING PROPERTY LINE		MANHOLE
	EXISTING KERB (INVERT)		KERB INLET (ON GRADE) PIT
	EXISTING STORMWATER		KERB INLET (SAG) PIT
	EXISTING CONTOURS		HEADWALL
	FUTURE PROPERTY LINE		SEDIMENT FENCE
	FUTURE KERB (INVERT)		SCOUR PROTECTION
	FUTURE STORMWATER		TEMPORARY SEDIMENT BASIN
	FUTURE CONTOURS		STORMWATER INLET FILTER
	SITE BOUNDARY		ROCK CHECK DAM
	STAGE BOUNDARY		VEHICLE SHAKEDOWN (AT ALL SITE ENTRANCES MIN.)
	PROPOSED PROPERTY LINE		TEMPORARY SWALE
	PROPOSED KERB (INVERT)		SAND BAGS
	PROPOSED STORMWATER		TREES
	DESIGN CONTOURS		

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/35
Date: 25 July 2025



NOTE:
SEDIMENT AND EROSION CONTROL MEASURES SHOWN RELATE TO THE FINISHED SURFACE ONLY AND ARE CONCEPTUAL ONLY. THE CONTRACTOR IS TO PREPARE A SITE SPECIFIC CONSTRUCTION AND MAINTENANCE PHASE SEDIMENT AND EROSION CONTROL PLAN.

PROJECT NAME
Flourish
CHANGE OF LEVEL OF LAND
STAGES 1-4
RP DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT
CEDAR WOODS
DEVELOPING TOMORROW TODAY

Scale 1:500 - A1 (1:1000 - A3)

B	28-05-25	CONTOURS UPDATED	GB
A	2-02-24	COUNCIL ISSUE	RR
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS
SAUNDERS HAVILL SLR
PETER EUSTACE & ASSOCIATES

DRAWING TITLE
FINAL SURFACE AND SEDIMENT AND EROSION PLAN SHEET 01

MORTONS
urbansolutions
Civil Engineering Project Coordination

MUS Pty Ltd T/As: Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address: PO Box 2484 Southport QLD 4215
Gold Coast Office: Suite 9, 19 Short St Southport QLD 4215

DESIGNED	GW	DRAWN	RR
APPROVED		DATE	2-02-24
DRAWING NUMBER		REV	
37502-CLLN-080		B	

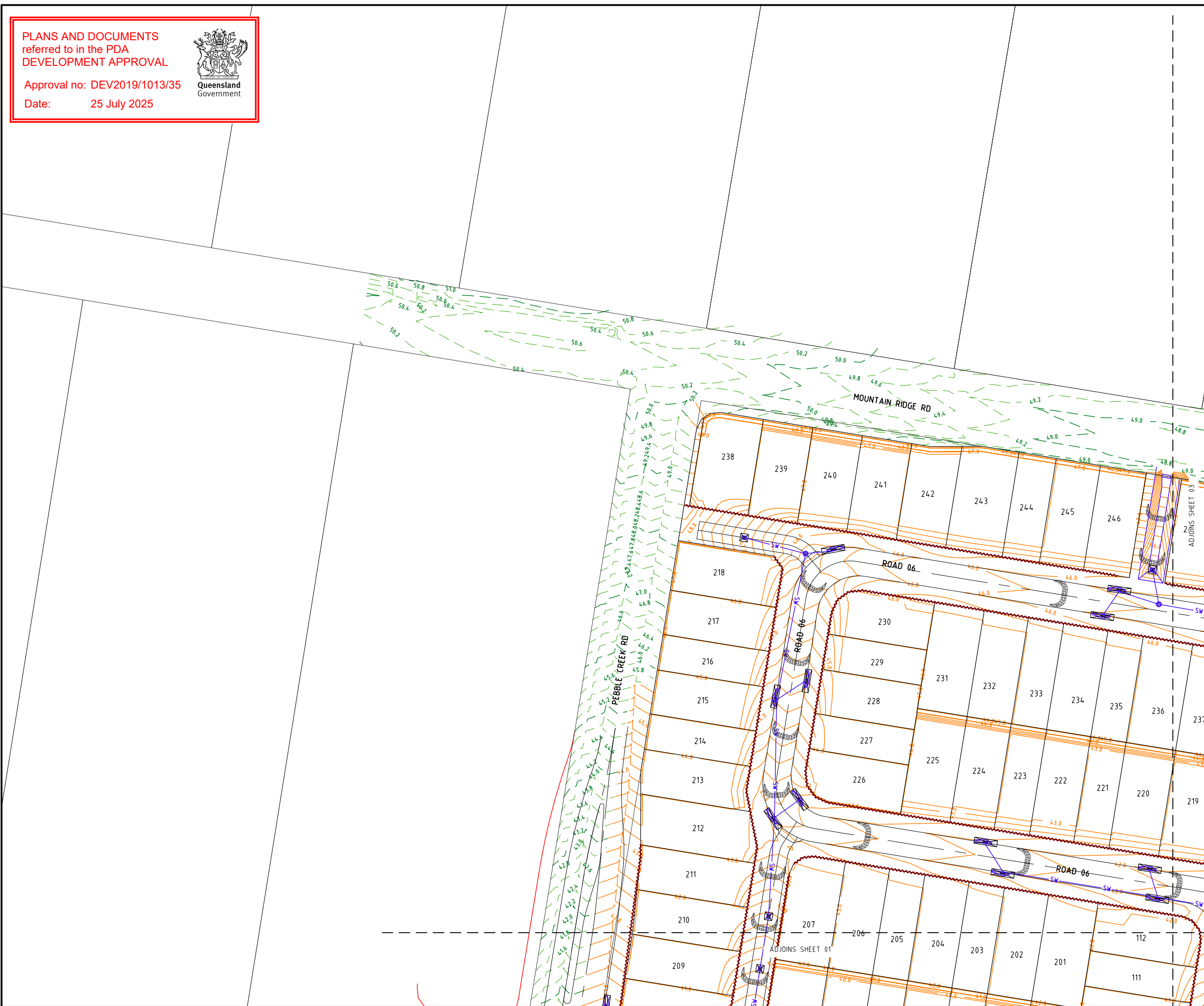
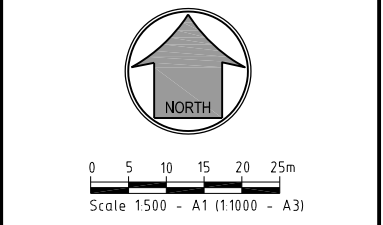
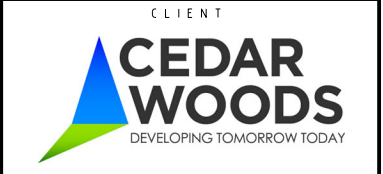
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/35

Date: 25 July 2025



PROJECT NAME
Flourish
CHANGE OF LEVEL OF LAND
STAGES 1-4
RP DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDG



REV	DATE	DESCRIPTION	INIT
B	28-05-25	CONTOURS & ROCK CHECK DAM UPDATED	GB
A	2-02-24	COUNCIL ISSUE	RK

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS
**SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES**

DRAWING TITLE
**FINAL SURFACE AND
SEDIMENT AND EROSION
PLAN
SHEET 02**

MORTONS
urbansolutions
Civil Engineering
Project Coordination

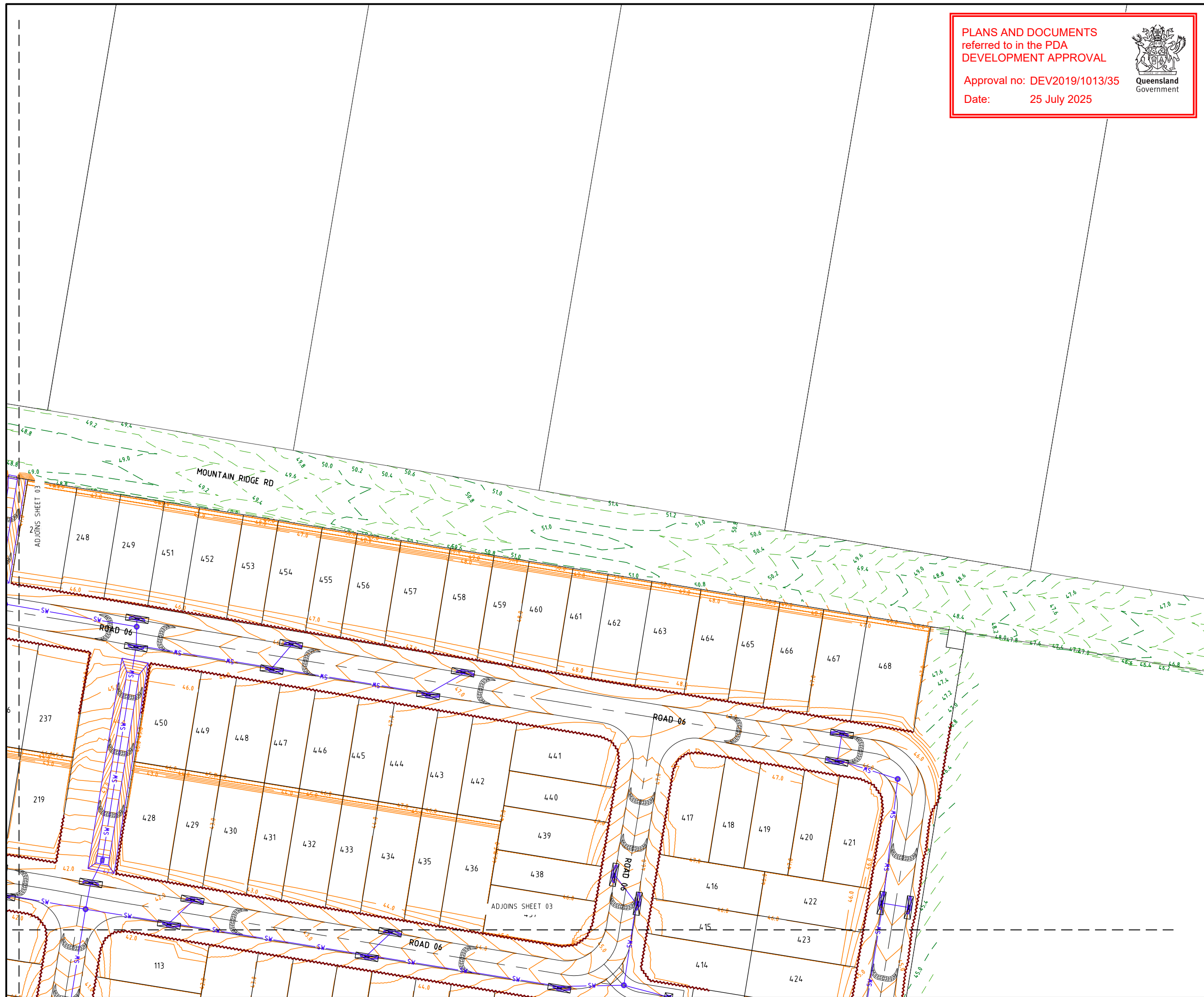
MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

DESIGNED	GW	DRAWN	RK
APPROVED	<i>[Signature]</i>	REP	20300
DRAWING NUMBER		DATE	
37502-CLLN-081		2-02-24	
REV			B

I:\outboard client\375- cedar woods properties\02 - mountain ridge road\overall engineering drawing\final north\current\37502-CLLN-081.dwg PLAN SHEET 02 30/05/2025 10:28:00 AM 1:2

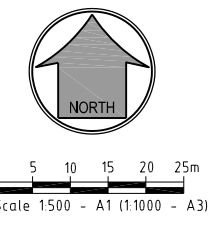


PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/35
Date: 25 July 2025



PROJECT NAME
Flourish
CHANGE OF LEVEL OF LAND
STAGES 1-4
RP DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDG



REV	DATE	DESCRIPTION	INT
B	29-05-25	CONTOURS & ROCK CHECK DAM UPDATED	GB
A	2-02-24	COUNCIL ISSUE	RK

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS
**SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES**

DRAWING TITLE
**FINAL SURFACE AND
SEDIMENT AND EROSION
PLAN
SHEET 03**

MORTONS
urbansolutions
Civil Engineering
Project Coordination

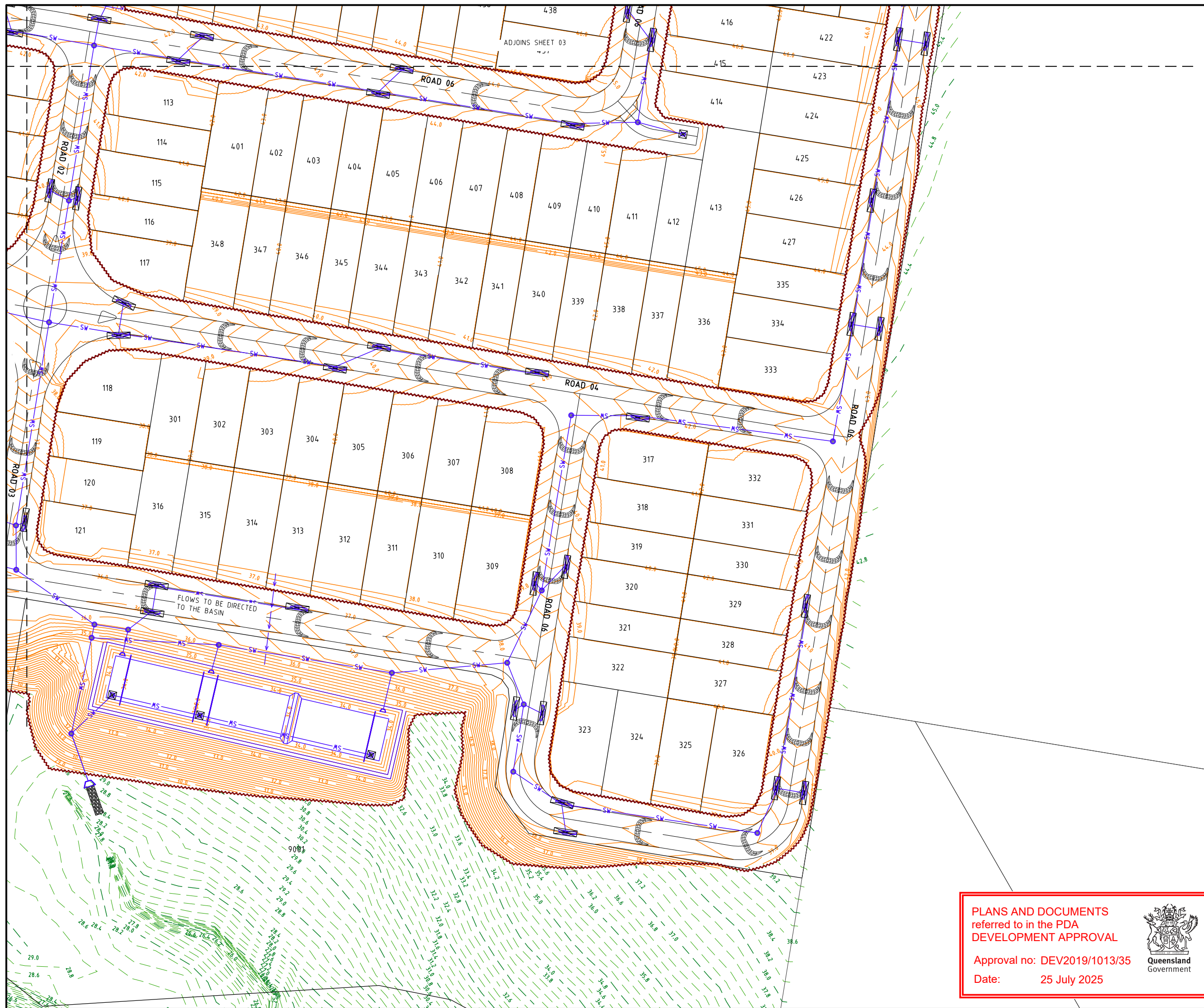
MUS Pty Ltd T/As:
Mortons-Urban Solutions
ABN 39 116 375 065
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099

Postal Address
PO Box 2484
Southport QLD 4215

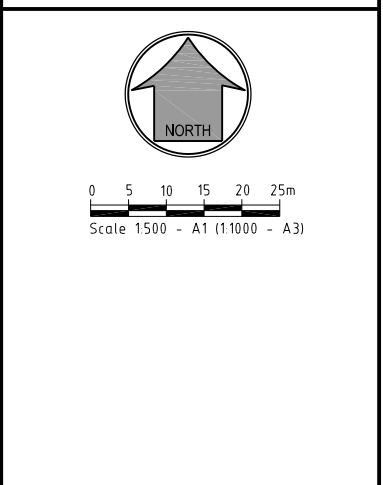
Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

DESIGNED GW	DRAWN RK
APPROVED <i>[Signature]</i>	REP 20300 DATE 2-02-24
DRAWING NUMBER 37502-CLLN-082	REV B

I:\outlook client\375- cedar woods properties\02 - mountain ridge road\overall engineering drawing\gd north\current\37502-CLLN-082.dwg PLAN SHEET 03 30/05/2025 10:28:12 AM 1:2



PROJECT NAME
Flourish
 CHANGE OF LEVEL OF LAND
 STAGES 1-4
 RP DESCRIPTION
 Lot 30 SP309195
 MOUNTAIN RIDGE ROAD
 LOCALITY OF SOUTH MACLEAN
 LOCAL AUTHORITY-EDQ



B	29-05-25	CONTOURS & ROCK CHECK DAM UPDATED	GB
A	2-02-24	COUNCIL ISSUE	RK
REV	DATE	DESCRIPTION	INT

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS

SAUNDERS HAVILL
 SLR
 PETER EUSTACE & ASSOCIATES

DRAWING TITLE

FINAL SURFACE AND
 SEDIMENT AND EROSION
 PLAN
 SHEET 04

MORTONS
 urbansolutions
 Civil Engineering
 Project Coordination

MUS Pty Ltd T/As:
 Mortons-Urban Solutions
 ABN 39 116 375 065
 mortons@urbansolutions.net.au
 www.urbansolutions.net.au
 Tel 07 5571 1099

Postal Address
 PO Box 2484
 Southport QLD 4215

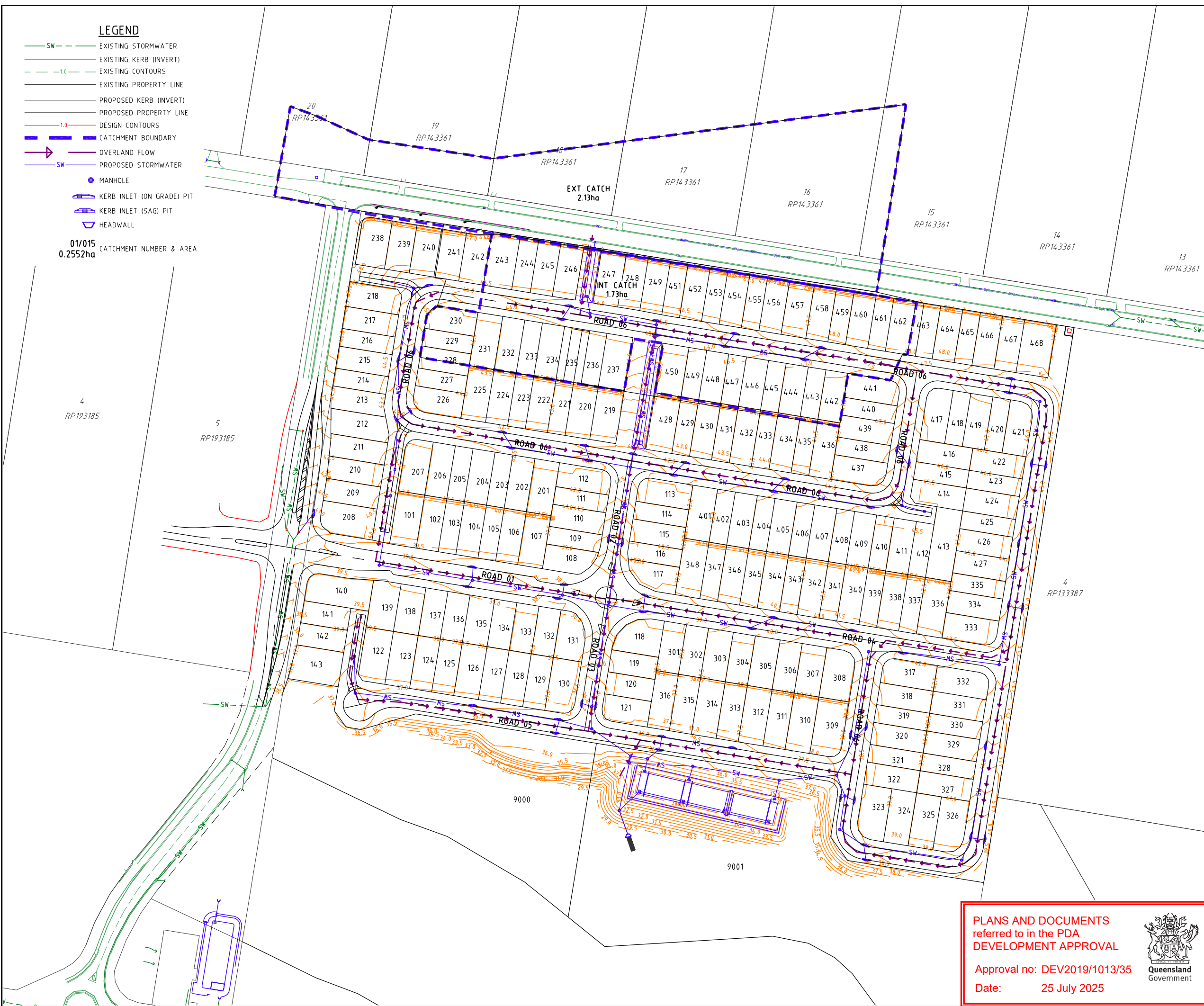
Gold Coast Office
 Suite 9, 19 Short St
 Southport QLD 4215

PLANS AND DOCUMENTS
 referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/35
 Date: 25 July 2025

DESIGNED	GW	DRAWN	RK
APPROVED	<i>[Signature]</i>	REP	20300
DRAWING NUMBER		DATE	
37502-CLLN-083		2-02-24	
REV			B

C:\autocad\client\375- cedar woods properties\02 - mountain ridge road\overlaid\engineering drawing\gd\ north\current\37502-CLLN-083.dwg, PLAN SHEET 04, 30/05/2025 10:28:23 AM, 1:2



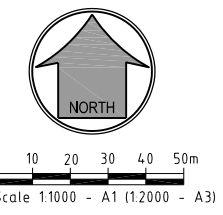
LEGEND

- SW — EXISTING STORMWATER
- EXISTING KERB (INVERT)
- -1.0 — EXISTING CONTOURS
- EXISTING PROPERTY LINE
- PROPOSED KERB (INVERT)
- PROPOSED PROPERTY LINE
- 1.0 — DESIGN CONTOURS
- CATCHMENT BOUNDARY
- OVERLAND FLOW
- SW — PROPOSED STORMWATER
- MANHOLE
- ▭ KERB INLET (ON GRADE) PIT
- ▭ KERB INLET (SAG) PIT
- ▭ HEADWALL

01/015
0.2552ha
CATCHMENT NUMBER & AREA

PROJECT NAME
Flourish
CHANGE OF LEVEL OF LAND
STAGES 1-4
RP DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDG

CLIENT
CEDAR WOODS
DEVELOPING TOMORROW TODAY



REV	DATE	DESCRIPTION	INT
D	29-05-25	CONTOURS UPDATED	GB
C	20-02-25	CATCHMENTS UPDATED	ML
B	11-02-25	LAYOUT UPDATED	GB
A	13-05-24	COUNCIL ISSUE	GW

COPYRIGHT IS VESTED IN MORTONS-URBAN SOLUTIONS AND WRITTEN CONSENT IS REQUIRED PRIOR TO REPRODUCTION. DO NOT SCALE FROM THIS DRAWING.

ASSOCIATED CONSULTANTS
**SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES**

DRAWING TITLE
**STORMWATER
CATCHMENT PLAN
SHEET 01**

MORTONS
urbansolutions
Civil Engineering
Project Coordination
MUS Pty Ltd T/As: Postal Address
Mortons-Urban Solutions PO Box 2484
ABN 39 116 375 065 Southport QLD 4215
mortons@urbansolutions.net.au
www.urbansolutions.net.au Gold Coast Office
Tel 07 5571 1099 Suite 9, 19 Short St
Southport QLD 4215

**PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL**
Approval no: DEV2019/1013/35
Date: 25 July 2025



DESIGNED	DRAWN	DATE
GW	GW	2-02-24

DRAWING NUMBER
PLAN SHEET 01

REV
D

I:\outcad\client\315- cedar woods properties\02 - mountain ridge road\overlandengineering drawing\atd north\Current\37502-CLLN470.dwg, 31/05/2025 10:28:32 AM, 1:2