



zone
Planning Group

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2025/1633

Date: 25 July 2025



Queensland
Government

Waste Management Plan

DEVELOPMENT APPLICATION
Low Impact Industry Development

Prepared for SRCP (Yarrabilba) Pty Ltd

May 2025
Q25068

33 Edison Crescent,
Yarrabilba (Lot 16)



This report was prepared by



Zone Planning QLD Pty Ltd
ABN 13 660 561 704

1638 Tweed Street
BURLEIGH HEADS QLD 4220

PO Box 3805
BURLEIGH TOWN QLD 4220

07 5562 2303

admin@zoneplanning.com.au
www.zoneplanning.com.au

Zone Ref	Issue	Date	Prepared by	Checked by
Q25086	Version 1	21/05/2025	AS	AS

Disclaimer

Zone Planning QLD Pty Ltd retains the ownership and copyright of the contents of this document including drawings, plans, figures and all work produced by Zone Planning QLD Pty Ltd. This document is not to be reproduced in full or in part, unless separately approved by Zone Planning QLD Pty Ltd. The client may use this document only for the purpose for which it was prepared. No third party is entitled to use or rely on this document whatsoever. Zone Planning QLD Pty Ltd accepts no liability whatsoever for any possible subsequent loss or damage arising from the use of this data or any part thereof.



Contents

Appendices	0
Glossary of Terms	1
1.0 Introduction	3
1.1 Site & Application Details	3
1.2 Site Location & Characteristics	3
1.3 Scope of Report	4
1.4 Proposed Development	4
2.0 Waste & Recycling Generation	6
2.1 Type of Waste Streams	6
2.2 General & Recycling Waste Quantities	6
3.0 Waste & Recycling Storage	7
3.1 Waste & Recycling Bin Requirements	7
3.2 Waste Storage Area	7
4.0 Collection Details	8
4.1 Collection Frequency	8
4.2 Collection Vehicle Access	8
5.0 Conclusion	9

Appendices

Appendix 1	Proposal Plans
------------	----------------



Glossary of Terms

Bin carting route – the proposed route to move bins between the storage point and the servicing point.

Bulk bins – bins fitted with lids and side pockets to allow them to be serviced by a front-lift truck.

Clinical or related waste – waste that has the potential to cause disease, including, for example, the following –

- animal waste;
- discarded sharps;
- human tissue waste; or
- laboratory waste.

Commercial accommodation – for the purposes of this policy means commercial development that includes a domestic or residential component, such as Retirement facility, Community care centre, Rooming accommodation, Short term accommodation or Resort complex.

Commercial premises – for the purpose of this policy means any of the following types of premises:

- a Hotel, Short term accommodation, Tourist park, Food and drink outlet;
- an assembly building, institutional building, Child care centre, Educational establishment;
- premises where a sport or game is ordinarily played in public;
- an exhibition ground, show ground or racecourse;
- an Office, Shop or other premises where business or work other than a manufacturing process is carried out.

Commercial waste – means waste, other than green waste, recyclable waste, and interceptor waste or waste discharged to a sewer, produced as a result of the ordinary use or occupation of commercial developments.

Common servicing point – a common area where more than two dwellings/tenancies stand their wheelie bins for servicing.

Common storage point – a common area where more than two dwellings/tenancies store their wheelie bins.

Constructed hardstand area – a hardstand area, for example a concrete pad, which has been constructed for bin storage.

Digesters and dehydrators – machines specifically designed to reduce food waste volumes to allow for efficient disposal. Digesters typically process the material into sludge while dehydrators remove liquid from food waste generating a fertiliser as the end product. Disposal of end product can be used on either internal gardens or on external gardens/farms.

General waste – waste, other than domestic clean-up waste, green waste, recyclable waste, interceptor waste or waste discharged to a sewer, produced as a result of the ordinary use or occupation of domestic or commercial premises.

Glass crushers – machines that can reduce the volume of glass waste by up to 75%, saving valuable space.

Hazardous waste – solid waste that is or contains toxic material, for example light bulbs, fluorescence lights, batteries.

Internal servicing roadway – is a driveway, private roadway or other path intended for use by vehicles, in which the waste collection vehicle is required to use to service a bin.

Mixed-use development – for the purpose of this policy, any building or development complex used, or intended to be used, for residential purposes in combination with other commercial uses (e.g. Offices, Food and drink outlets etc).



Non-serviced area – an area within the boundaries of Logan LGA which is not serviced by Council’s waste collection contractor.

Organic waste – is waste that comes from plants or animal that is biodegradable for example green waste and food waste.

Recycling chute – a duct in which recycling descends from one point to another.

Recyclable waste – for a local government’s area, means clean and inoffensive waste that is declared by the local government to be recyclable waste for the area. In the City of Gold Coast the following wastes are deemed recyclable:

- all household plastics, bottles and containers;
- aluminium and steel cans and aerosols;
- bottles and jars made only of glass;
- clean cardboard, newspaper, loose paper, junk mail, magazines and cartons.

Related waste – means waste that constitutes, or is contaminated with, chemicals, cytotoxic drugs, human body parts, pharmaceutical products or radioactive substances.

Ro-Ro bin – roll-on roll-off bin.

Roll-on roll-off bin – large steel open top skip bins or enclosed bins. Bins are collected by a hook-lift truck.

Solid waste – any general or recyclable waste, be it commercial or domestic. Solid waste does not include waste discharges to sewer/water or the atmosphere.

Servicing point – the designated area allocated to the temporary storage of waste bins for the period of servicing only. The point may be within or external to a development.

Storage point – the area allocated to the permanent storage of waste bins. This is the normal location of the waste bins and excludes the period where the bin is serviced. A storage point may be a common storage point or an individual bin storage point.

Waste – includes anything, other than a resource that is:

- left over, or an unwanted by-product from an industrial, commercial, domestic or other activity; or
- surplus to the industrial, commercial, domestic or other activity generating the waste.

Waste carting distance – the distance required for a person to transport their waste from the nearest point of exit of their dwelling/tenancy to a storage point (or in the case of a multi-level building, to the nearest waste disposal point).

Waste chute – a duct in which waste descends from one point/level to a collection bin.

Waste disposal point – the point where waste is disposed of into the chute, also known as waste hopper. It consists of a fixed frame and hood unit, covered with a hinged or pivoted door.

Waste storage room – the room at the base of the chute used for the storage of waste bins.

Wheelie bin – two wheeled mobile garbage bins, made from high density polyethylene (HDPE). Wheelie bins are collected by a side-lift truck.



1.0 Introduction

1.1 Site & Application Details

Table 1: Site & Application Details

Address	33 Edison Crescent, Yarrabilba QLD 4207
Real Property Description	Lot 16 on SP333769
Site Area	2,580m ²
Applicant	SRCP (Yarrabilba) Pty Ltd
Applicant Contact Details	C/- Zone Planning QLD (Andre Sultan) PO Box 3805, Burleigh Town QLD 4220 07 5562 2303 asultan@zoneplanning.com.au

1.2 Site Location & Characteristics

The subject site at 33 Edison Crescent, Yarrabilba and formally described as Lot 16 on SP333769, is located mid-way along the western side of Edison Crescent. The site is a relatively average industrial allotment of 2,580m² being generally rectangular and offering a circa 40m frontage to Edison Crescent.

The land has been the subject of a PDA Development Approval (DEV2022/1306/7) as per amended approval dated 26 February 2024.



Figure 1: Aerial Image of Subject Site (Source: Nearmap)



1.3 Scope of Report

This report has been prepared in support of a Compliance Assessment seeking endorsement for the proposed development from Economic Development Queensland (EDQ). This report presents a Waste Management Plan for the operational phase of the proposed development.

This Waste Management Plan includes:

- › details of the anticipated type and quantity of waste;
- › details of the waste storage bins needed; and
- › details of the proposed waste collection arrangements.

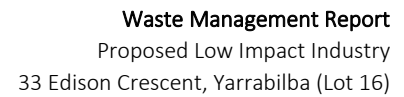
This report is based on the Plans referenced in **Appendix 1** and presents conceptual information on the abovementioned elements rather than detailed design and calculations and presents the 'end case' scenario once the proposed development has been constructed and becomes operational.

1.4 Proposed Development

The proposed development is to comprise of a single industrial tenancy with a total gross floor area of 1,616.3m². The development will be serviced by two new vehicular crossovers from Edison Crescent as shown in **Figures 2** and **3** below.



Figure 2: Perspective of Development (Source: R.H. Frankland)





2.0 Waste & Recycling Generation

2.1 Type of Waste Streams

The proposed development will generate both general waste and recycling associated with the operation of the proposed industrial development.

2.2 General & Recycling Waste Quantities

Calculations of the general and recycling waste predicted to be generated by the development have been prepared adopting industry standard waste generation rates on the basis that Logan Council does not prescribe standard rates. Therefore, the proposal adopts Brisbane City Council (BCC) rates and assumes a 6-day week operation.

Table 2: Waste Generation Calculations

LAND USE	AREA	GENERAL WASTE RATE	TOTAL	RECYCLING RATE	TOTAL
Industry	1,616.3m ²	50L/100m ² /day	4,848.9L/week	50L/100m ² /day	4,848.9L/week
TOTAL			4,848.9L/week		4,848.9L/week

It is considered that the estimated waste generation volumes equate to **4.84m³** of General Waste and **4.84m³** of Recycling Waste per week.



3.0 Waste & Recycling Storage

3.1 Waste & Recycling Bin Requirements

Waste will be collected by private contractor on-site, as is commonplace across industrial types of development.

Table 3 provides a breakdown of the general and recycling waste bins required by the development based on the calculations in Section 2.2 of this report. The waste storage points have been designed to accommodate these bin sizes.

Table 3: Refuse Bin Recommendations

GENERAL WASTE STORAGE REQUIREMENT	RECYCLING WASTE STORAGE REQUIREMENT	TOTAL WASTE STORAGE REQUIREMENT
4,848.9L/week	4,848.9L/week	<i>General Waste</i> 1 x 2,000L bulk bins
1 x 2,000L bulk bins	1 x 2,000L bulk bins	<i>Recycling</i> 1 x 2,000L bulk bin
Dimensions: 2080mm (W) x 1300mm (H) x 1255mm (D)	Dimensions: 2080mm (W) x 1300mm (H) x 1255mm (D)	

3.2 Waste Storage Area

The waste storage area is located internal to the building within an enclosed area (see **Figure 4**).

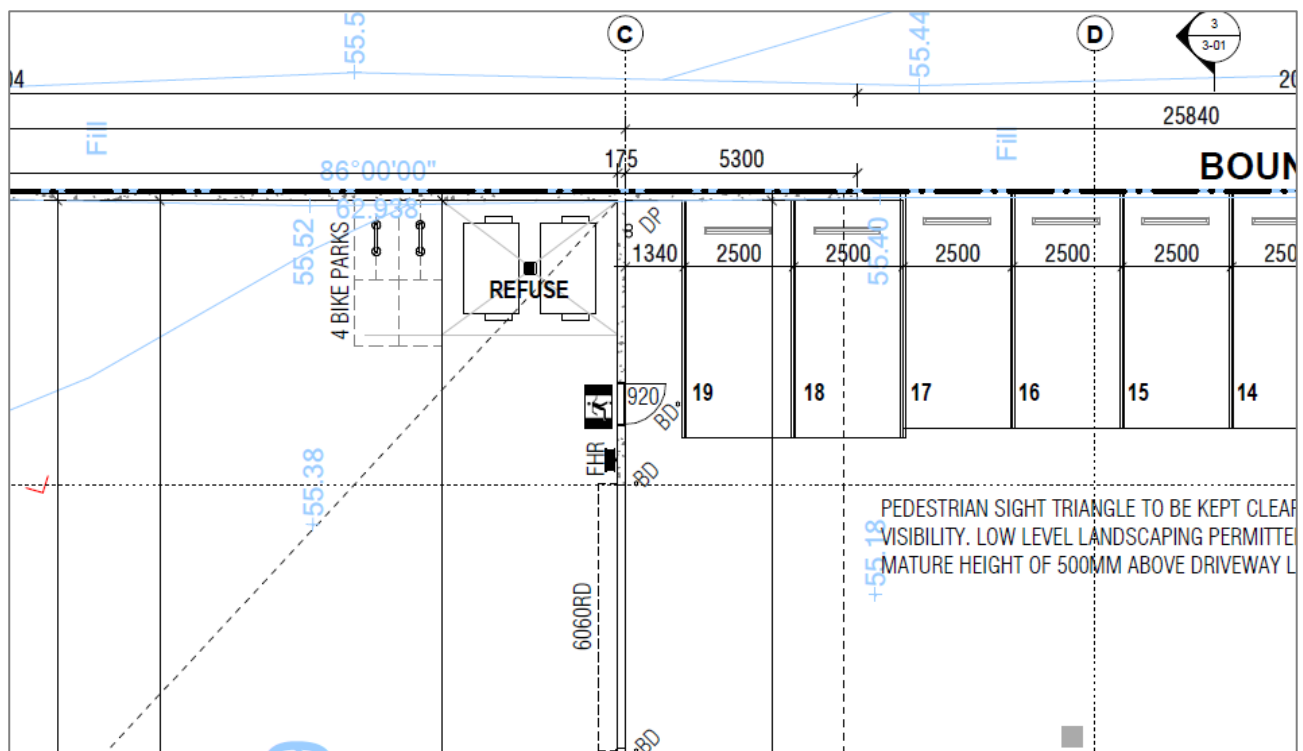


Figure 4: Extract of Site Plan



4.0 Collection Details

The following provides an overview of the refuse bin collection and servicing details relevant to this proposal.

Based on the calculations provided in Section 2.2 of this Report, and the bin requirements determined in Section 2.3, both general and recycling waste can be serviced three times per week. Once the development is operational, the collection frequency should be reviewed to ensure that an efficient practice is in place.

4.1 Collection Frequency

Given the nature of the development, refuse bins are required to be serviced three times per week as outlined below (see **Table 5**).

Table 4: Refuse Bin Collection Frequency

WASTE STREAM	TOTAL WASTE STORAGE REQUIREMENT	COLLECTION FREQUENCY
General Waste	1 x 2,000L bulk bin	Three times per week
Recycling	1 x 2,000L bulk bin	Three times per week

4.2 Collection Vehicle Access

The development will be serviced on-site via a private contractor by a front loading refuse collection vehicle (RCV). It is understood that a HRV which is a larger service vehicle than the RCV, can safely manoeuvre the site in a forward gear and therefore, swept paths for a RCV have not been prepared.

The bin storage room is located internal to the building, with bins moved by on-site management on collection day to the vehicle for collection.



5.0 Conclusion

This Report has been prepared to demonstrate the proposed waste management practices to be implemented during the operational phase of the proposed Low Impact Industry at 33 Edison Crescent, Yarrabilba.

The proposed development comprises a single industrial tenancy. The development is anticipated to generate minimal general and recycling waste streams with access for a RCV able to occur on the site.

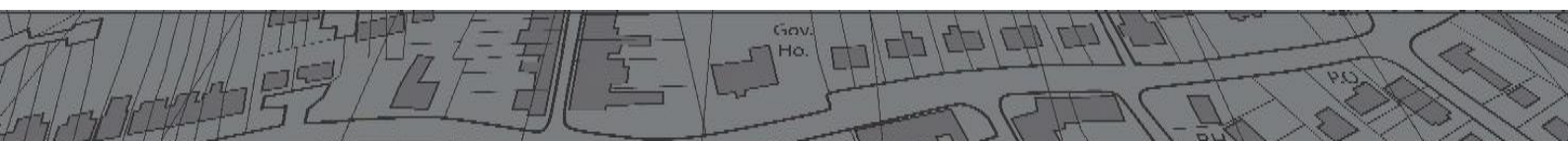
The proposed waste management arrangements consist of the following:

- The proposal the proposal is estimated to generate a total of approximately **0.8m³/day** of general waste and **0.8m³/day** of recycling waste based on a typical 6-day operating week;
- The development will require 1 x 2,000L bulk bins for general waste and 1 x 2,000L bulk bins for recycling;
- The development is anticipated to be serviced three times per week for general and recycling waste;
- General waste and recycling bulk bins will be serviced on-site with the servicing point to occur conveniently internal to the site on collection days;
- Transfer of the bulk bins to the bulk bin servicing point and return is to be the responsibility of on-site management and servicing personnel.



APPENDIX 1

Proposal Plans



DA DRAWINGS																										
Attention:		Client	BETACON PROJECTS																							
		Project	PROPOSED INDUSTRY BUILDING																							
		Number	24174																							
Distribution										Copies																
BETACON PROJECTS										1																
Medium : P-Prints T-Transparency D-Disk E-Email																										CURRENT ISSUE
Purpose : B-BA Application D-DA Application E-Estimating T-Tendering C-Construction R-Requested I-Information P-Preliminary PR-Presentation SK-Sketch Design CO-Coordination A-Approval TP-Town Planning Application																										
Other : A3/A4-Reductions L-Laminated C-Colour B-Bound																										
Day										06	19															
Month										05	05															
Year										25	25															25
Medium										E	E															E
Purpose										P	CO															P
Other																										
Issued By :										Initials	SM	SM														SM
No.	Drawing Name		Page	Scale																						
0-00	COVER		A1	N/A	A	B																				B
0-03	SURVEY PLAN		A1	1:100	A																					A
0-04	SITE PLAN		A1	1:200	A	B																				B
1-01	GROUND FLOOR PLAN		A1	1:100	A	B																				B
1-02	FIRST FLOOR PLAN		A1	1:100	A																					A
1-03	ROOF PLAN		A1	1:100	A																					A
2-01	ELEVATION		A1	1:100	A																					A
2-02	ELEVATION		A1	1:100	A																					A
2-03	COLOUR CONCEPT		A1	1:100	A																					A
2-04	COLOUR ELEVATIONS		A1	1:100	A																					A
2-05	COLOUR ELEVATIONS		A1	1:100	A																					A
3-01	SECTION		A1	1:100	A																					A



PROPOSED INDUSTRY BUILDING

LOT 16 EDISON CRESENT, YARRABILBA, QLD 4207

BUILDING DESIGN:



STRUCTURAL & CIVIL ENGINEER:



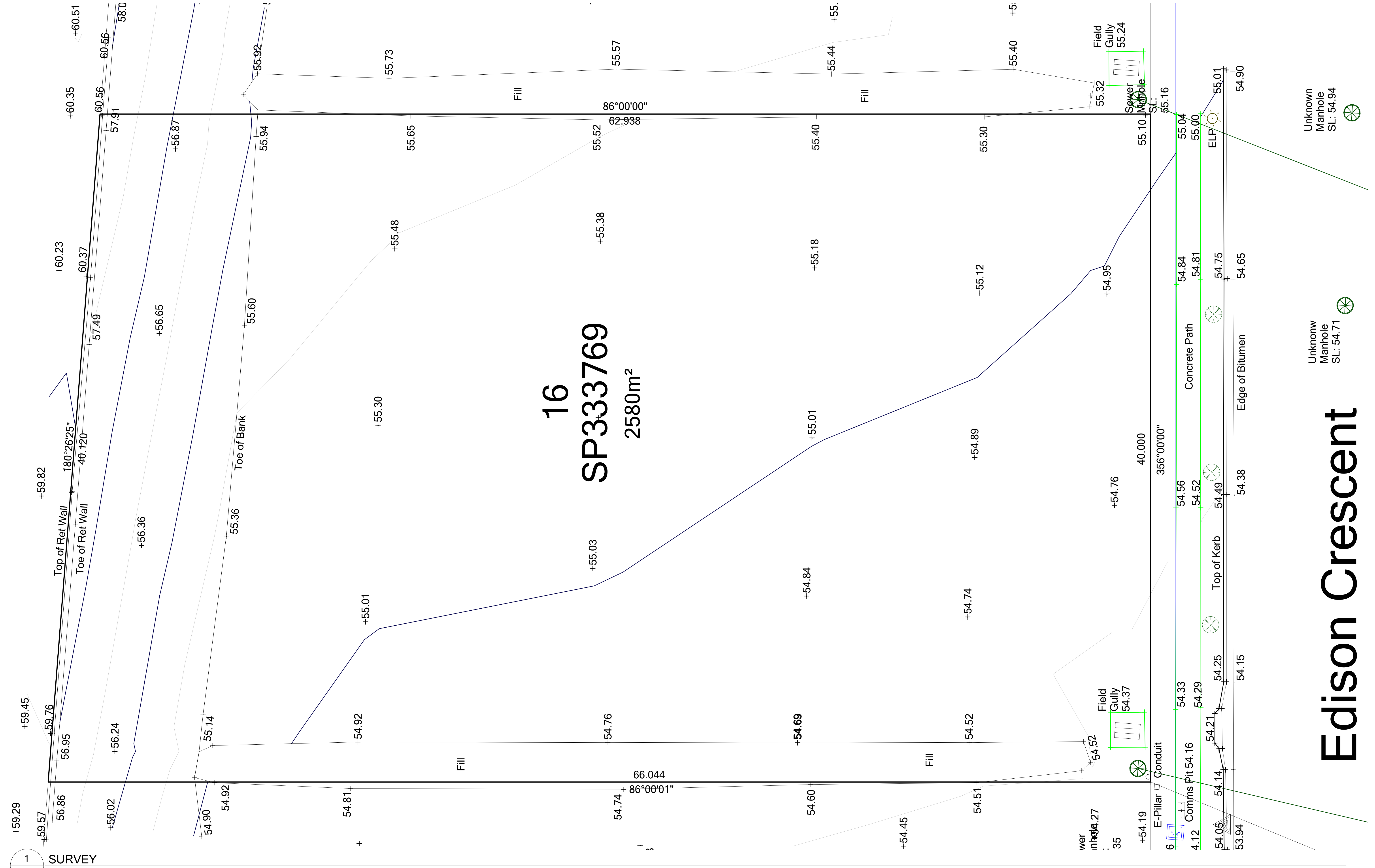
BUILDING CERTICATION:

BUILDIER:



HYDRAULIC ENGINEER:

MECHANICAL & ELECTRICAL ENGINEER:



1
0-03

SURVEY
1 : 100 @ A1

REV.	DESCRIPTION	DATE	ISSUED BY
A	DAISSUE	06.05.2025	SM

FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS. VERIFY ALL DIMENSIONS ON SITE

0125

Scale 1: 100 @ A1 (1: 200 @ A3)

DRAWN BY:

X:\25000-25999\25110- Lot 16 Edison Crescent Yarrabilba\03 DA\DA LOT 16 EDISON CRESENT YARRABILBA_06.05.25.rvt

Author

THE WORK DESCRIBED ON THIS DRAWING IS COVERED BY COPYRIGHT AND IS APPLICABLE TO THE PROJECT SITE ONLY AND MUST NOT BE USED FOR ANY OTHER PURPOSE NOR BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF STEVEN HARDY. THIS DRAWING HAS BEEN PRODUCED BASED ON INFORMATION SUPPLIED BY OTHERS. WHILE ALL ATTEMPTS HAVE BEEN MADE TO ENSURE THE ACCURACY OF THE DRAWING, R H FRANKLAND WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

CHECKED BY: S.E. HARDY
(QBSA LICENCE NUMBER 65539)

IN ASSOCIATION WITH:

R H FRANKLAND & ASSOC. PTY LTD
BUILDING DESIGN & CONSULTING STUDIO

UNIT 1/ 59 LINK DRIVE YATALA
4221 QLD
0408 705 184
mail@rhfrankland.com.au

QBA LICENCE NUMBER 065538
ACN 010 013 733
ABN 71 319 441 156
www.rhfrankland.com.au

PROJECT: PROPOSED INDUSTRY BUILDING

ADDRESS: LOT 16 EDISON CRESENT, YARRABILBA

CLIENT: BLACK DIAMOND BUILDING AND CONSTRUCTION

TITLE: SURVEY PLAN

SHEET No. REV.

DA 0-03 A

PROJECT No.

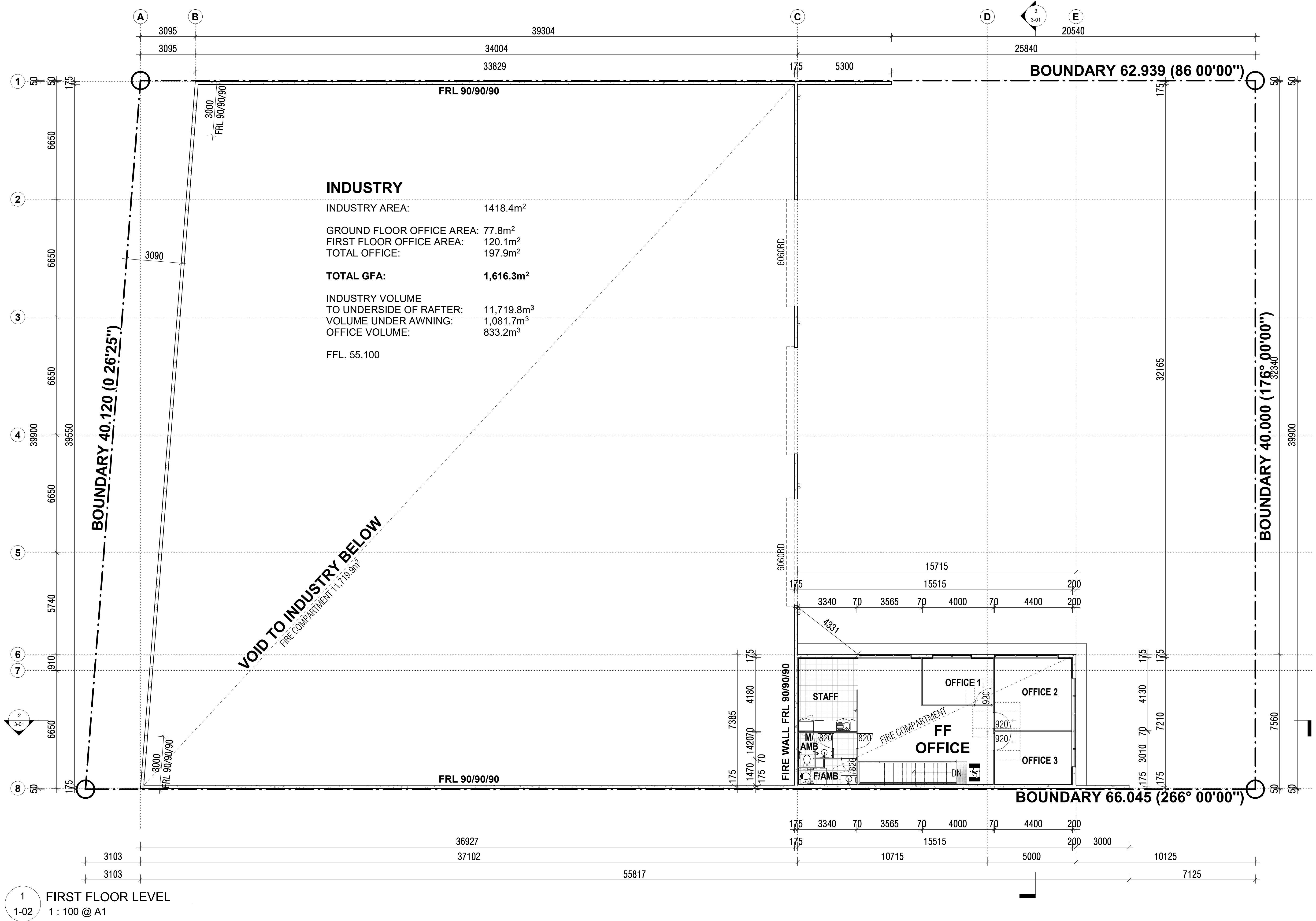
25110



NOTE:-

- *FIRE EXTINGUISHERS TO BE PROVIDED TO AS2444
- *WATERPROOFING TO AS3740
- *DAMP PROOFING TO AS/NZS2904 &AS3660.1
- *GLASS ENTRY DOOR
- +THRESHOLD RAMP TO AS1428.1

PROJECT: PROPOSED INDUSTRY BUILDING	SHEET No.	REV.
ADDRESS: LOT 16 EDISON CRESENT, YARRABILBA	DA 1-01	B
CLIENT: BLACK DIAMOND BUILDING AND CONSTRUCTION	PROJECT No.	
TITLE: GROUND FLOOR PLAN	25110	



1 FIRST FLOOR LEVEL
1 : 100 @ A1

REV.	DESCRIPTION	DATE	ISSUED BY
A	DA ISSUE	06.05.2025	SM

FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS. VERIFY ALL DIMENSIONS ON SITE

0 1 2 5 10
Scale 1: 100 @ A1 (1: 200 @ A3)

DRAWN BY: Author
X:\25000-25999\25110- Lot 16 Edison Crescent
Yarrabilba\03 DA\DA LOT 16 EDISON CRESENT
YARRABILBA_06.05.25.rvt

CHECKED BY: S.E. HARDY
(QBSA LICENCE NUMBER 65539)

S.E. Hardy

IN ASSOCIATION WITH:

BLACK DIAMOND
BUILDING & CONSTRUCTION

R H FRANKLAND & ASSOC. PTY LTD
BUILDING DESIGN & CONSULTING STUDIO

UNIT 1/ 59 LINK DRIVE YATALA
4221 QLD
0408 705 184
mail@rhfrankland.com.au

QBA LICENCE NUMBER 065538
ACN 010 013 733
ABN 71 319 441 156
www.rhfrankland.com.au

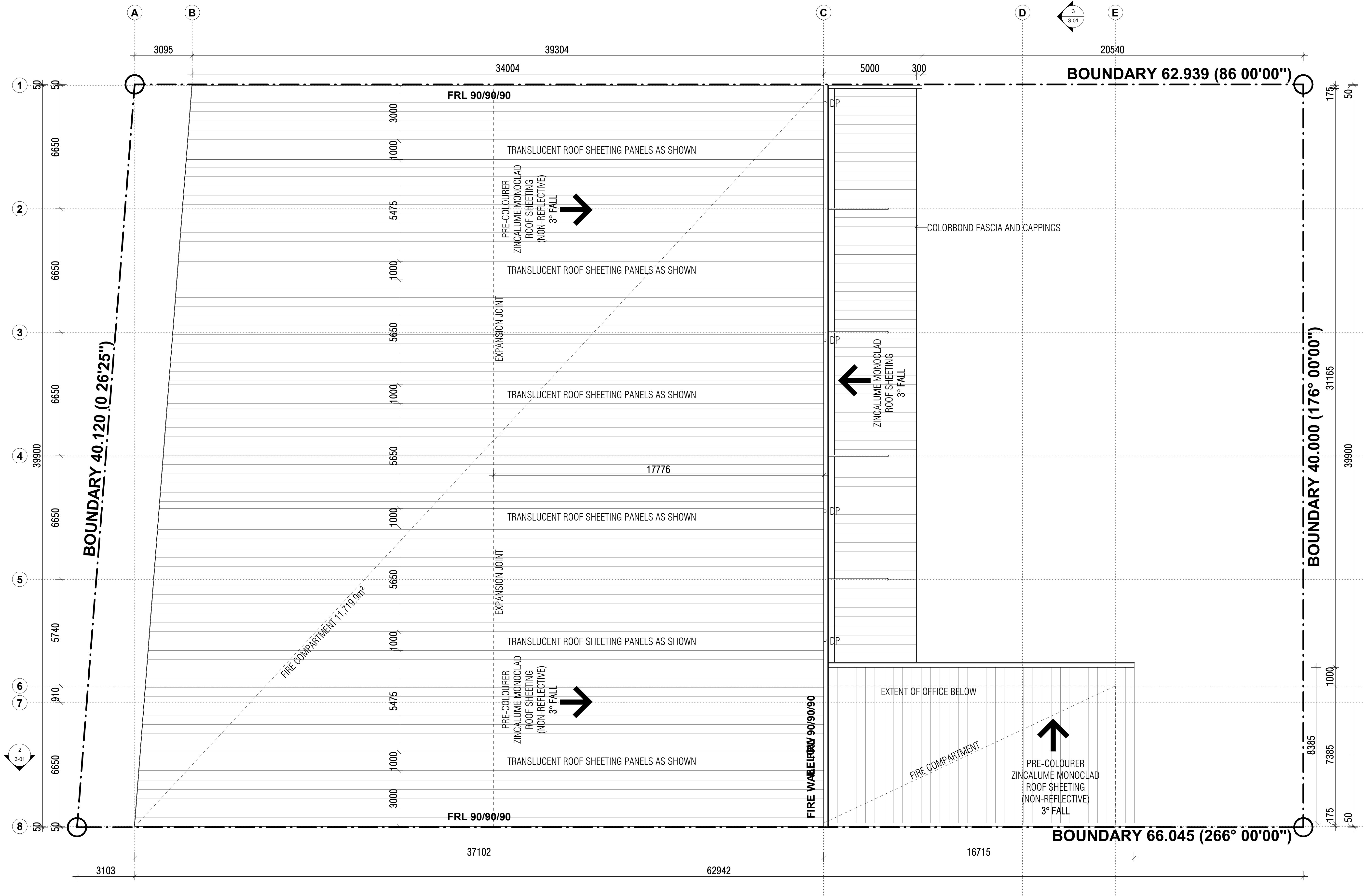
PROJECT: PROPOSED INDUSTRY BUILDING
ADDRESS: LOT 16 EDISON CRESENT, YARRABILBA

CLIENT: BLACK DIAMOND BUILDING AND CONSTRUCTION

TITLE: FIRST FLOOR PLAN

SHEET No. REV.
DA 1-02 A

PROJECT No.
25110



1 ROOF PLAN
1 : 100 @ A1

REV.	DESCRIPTION	DATE	ISSUED BY
A	DA ISSUE	06.05.2025	SM
FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS. VERIFY ALL DIMENSIONS ON SITE			

012510

Scale 1: 100 @ A1 (1: 200 @ A3)

DRAWN BY:
X:\25000-25999\25110- Lot 16 Edison Crescent
Yarrabilba\03 DA\DA LOT 16 EDISON CRESENT
YARRABILBA_06.05.25.rvt

CHECKED BY: S.E. HARDY
(QBSA LICENCE NUMBER 65539)

[Signature]

THE WORK DESCRIBED ON THIS DRAWING IS COVERED BY COPYRIGHT AND IS APPLICABLE TO THE PROJECT SITE ONLY AND MUST NOT BE USED FOR ANY OTHER PURPOSE NOR BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF STUDIO HARDY. THIS DRAWING HAS BEEN PREPARED BASED ON INFORMATION SUPPLIED BY OTHERS. WHILE ALL ATTEMPTS HAVE BEEN MADE TO ENSURE THE ACCURACY OF THE DRAWING, R H FRANKLAND WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

IN ASSOCIATION WITH:

BLACK DIAMOND
BUILDING & CONSTRUCTION

R H FRANKLAND & ASSOC. PTY LTD
BUILDING DESIGN & CONSULTING STUDIO

UNIT 1/ 59 LINK DRIVE YATALA
4221 QLD
0408 705 184
mail@rhfrankland.com.au

QBA LICENCE NUMBER 065538
ACN 010 013 733
ABN 71 319 441 156
www.rhfrankland.com.au

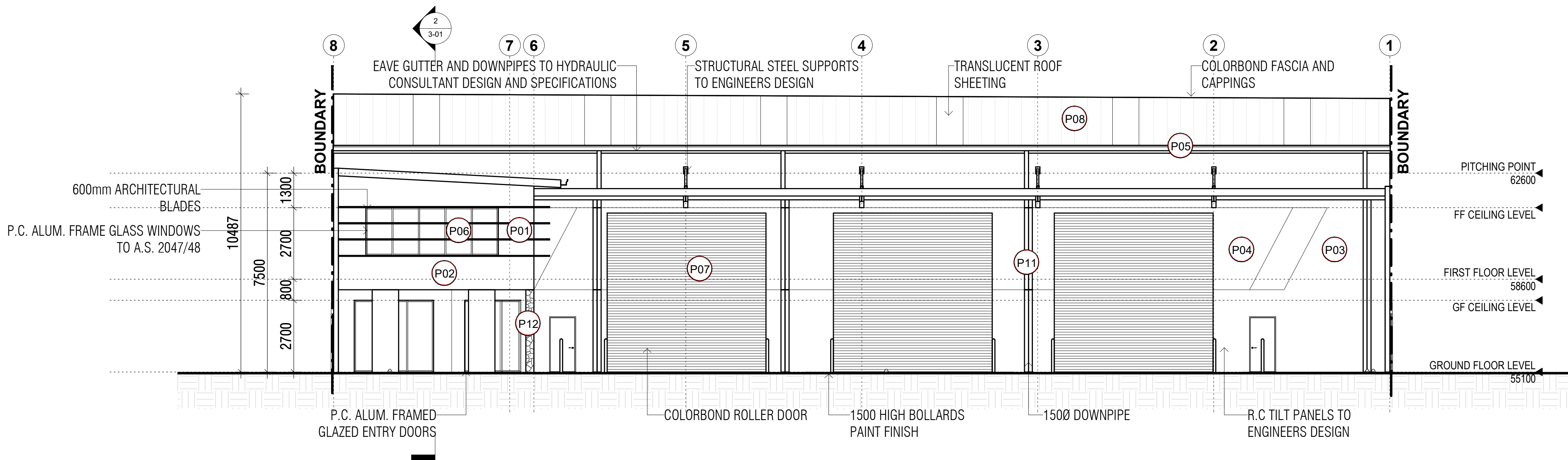
PROJECT: PROPOSED INDUSTRY BUILDING
ADDRESS: LOT 16 EDISON CRESENT, YARRABILBA

CLIENT: BLACK DIAMOND BUILDING AND CONSTRUCTION

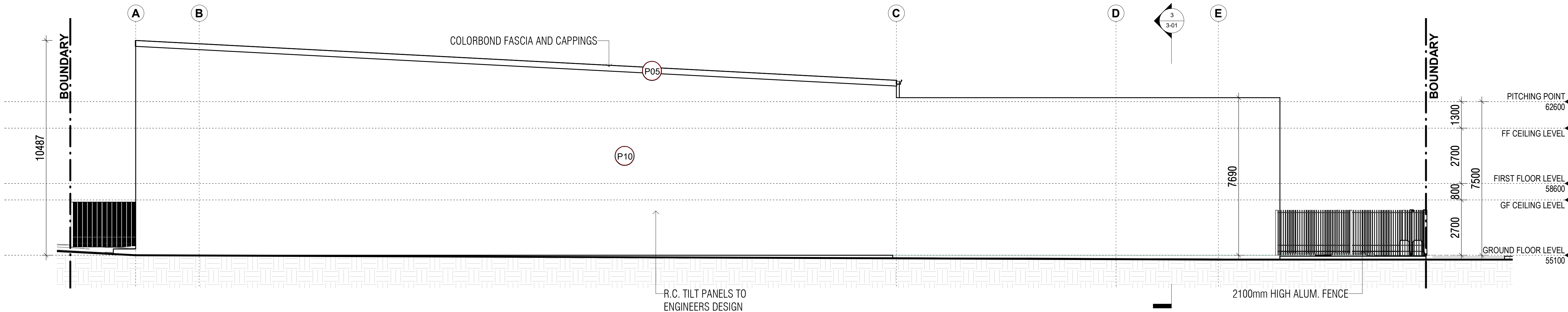
TITLE: ROOF PLAN

SHEET No. REV.
DA 1-03 A

PROJECT No.
25110



4 EAST ELEVATION
2-01 1 : 100 @ A1



1 SOUTH ELEVATION
2-01 1 : 100 @ A1

EXTERNAL FINISHES LEGEND

REF	COLOUR	ELE REF	DESCRIPTION	LOCATION
P01			PAINT FINISH DULUX: JARRAH CODE: S14D4	FEATURE OFFICE WALLS
P02			PAINT FINISH DULUX: STONE CROP CODE: S14D7	OFFICE AND INDUSTRY WALLS
P03			PAINT FINISH DULUX: OWL WING CODE: S14D3	FEATURE INDUSTRY WALLS
P04			PAINT FINISH DULUX: WHITE POLAR QUARTER CODE: SW1F2	FEATURE INDUSTRY WALLS

REF	COLOUR	ELE REF	DESCRIPTION	LOCATION
P05			POWDER COATED FINISH DULUX COLORBOND: DULUX: STONE CROP CODE: S14D7	GUTTERS, CAPPINGS, STRUCTURAL SUPPORTS
P06			GRD: TINTED GLASS FST: TINTED GLASS FRAME POWDERCOATED COLORBOND: JARRAH	ALL WINDOWS AND ENTRY DOOR
P07			POWDER COATED FINISH DULUX COLORBOND: DULUX: STONE CROP	ALL ROLLER DOORS
P08			ZINCALUME ROOF SHEETING WITH TRANSPARENT INSERTS	ALL ROOFS

REF	COLOUR	ELE REF	DESCRIPTION	LOCATION
P09			POWDER COATED FINISH DULUX COLORBOND: MONUMENT CODE: C29	INDUSTRY FENCES
P10			UNPAINTED	BOUNDARY WALLS
P11			PAINTED TO MATCH WALL BEHIND	DOWNPipes
P12			STONE FACADE	FEATURE COLUMN

ALL DIMENSIONS TO BE CHECKED ON SITE BY
CONTRACTORS BEFORE COMMENCEMENT OF WORK. THE
SUPERVISOR IS TO BE IMMEDIATELY NOTIFIED OF ANY
DISCREPANCIES AND TO AWAIT FUTURE INSTRUCTIONS.
DIMENSIONS TAKE PRECEDENCE OVER SCALING

THE BUILDING CODE OF AUSTRALIA & UPDATES AS WELL
AS THE S.A.A CODES SHALL BE THE MINIMUM
STANDARDS OF COMPLIANCE. CHECK COUNCIL
STAMPED PLANS TO ENSURE COMPLIANCE WITH ALL
CONDITIONS.

REV.	DESCRIPTION	DATE	ISSUED BY
A	DA ISSUE	06.05.2025	SM

0	1	2	5	10
Scale 1: 100 @ A1 (1: 200 @ A3)				
DRAWN BY:				
X:\25000-25999\25110- Lot 16 Edison Crescent Yarrabilba\03 DA\DA_LOT 16 EDISON CRESENT YARRABILBA_06.05.25.rvt				

CHECKED BY: S.E. HARDY (QBSA LICENCE NUMBER 65539)

IN ASSOCIATION WITH:

BLACK DIAMOND
BUILDING & CONSTRUCTION

R H FRANKLAND & ASSOC. PTY LTD
BUILDING DESIGN & CONSULTING STUDIO

UNIT 1/ 59 LINK DRIVE YATALA
4221 QLD
0408 705 184
mail@rhfrankland.com.au

QBA LICENCE NUMBER 065538
ACN 010 013 733
ABN 71 319 441 156
www.rhfrankland.com.au

PROJECT: PROPOSED INDUSTRY BUILDING	SHEET No.	REV.
ADDRESS: LOT 16 EDISON CRESENT, YARRABILBA	DA 2-01	A
CLIENT: BLACK DIAMOND BUILDING AND CONSTRUCTION	PROJECT No.	25110
TITLE: ELEVATION		



1 COLOUR CONCEPT
2-03 @ A1

EXTERNAL FINISHES LEGEND

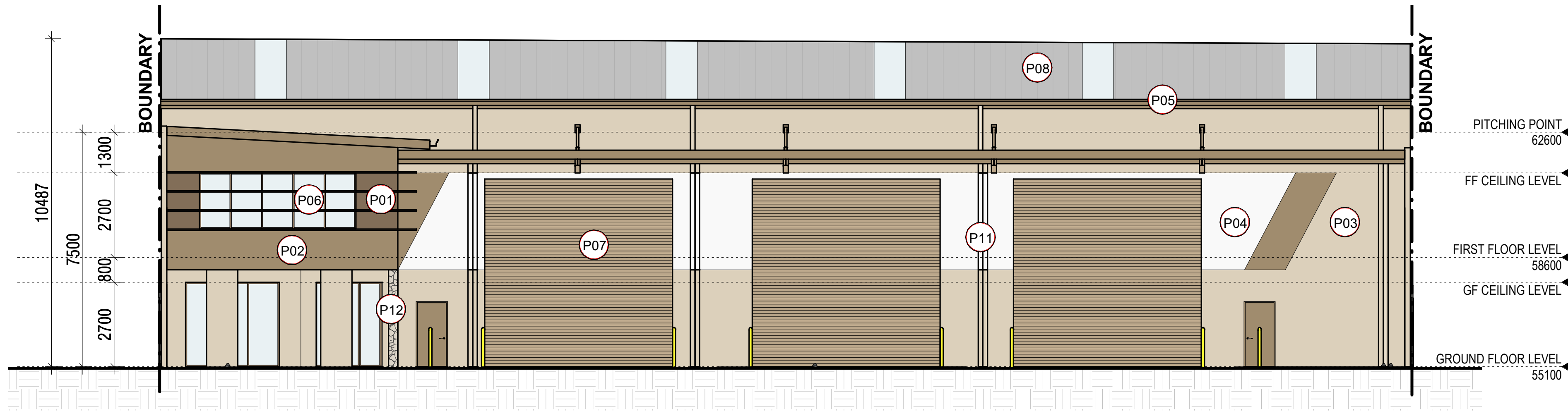
REF	COLOUR	ELE REF	DESCRIPTION	LOCATION
P01			PAINT FINISH DULUX: JARRAH CODE: S14D4	FEATURE OFFICE WALLS
P02			PAINT FINISH DULUX: STONE CROP CODE: S14D7	OFFICE AND INDUSTRY WALLS
P03			PAINT FINISH DULUX: HOG BRISTLE CODE: S14D1	FEATURE INDUSTRY WALLS
P04			PAINT FINISH DULUX: WHITE POLAR QUARTER CODE: SW1F2	FEATURE INDUSTRY WALLS

REF	COLOUR	ELE REF	DESCRIPTION	LOCATION
P05			POWDER COATED FINISH DULUX COLORBOND: DULUX: STONE CROP CODE: S14D7	GUTTERS, CAPPINGS, STRUCTURAL SUPPORTS
P06			GRD: TINTED GLASS FST: TINTED GLASS FRAME POWDERCOATED COLORBOND: JARRAH	ALL WINDOWS AND ENTRY DOOR
P07			POWDER COATED FINISH DULUX COLORBOND: DULUX: STONE CROP	ALL ROLLER DOORS
P08			ZINCALUME ROOF SHEETING WITH TRANSPARENT INSERTS	ALL ROOFS

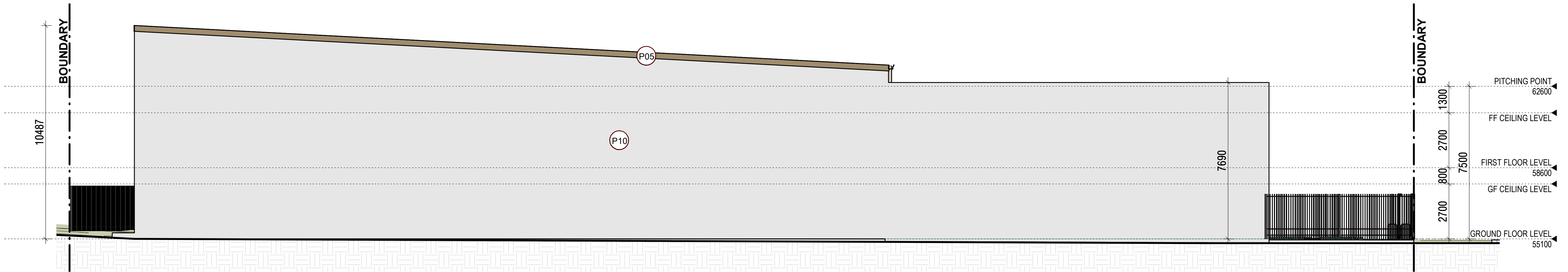
REF	COLOUR	ELE REF	DESCRIPTION	LOCATION
P09			POWDER COATED FINISH DULUX COLORBOND: MONUMENT CODE: C29	INDUSTRY FENCES
P10			UNPAINTED	BOUNDARY WALLS
P11			PAINTED TO MATCH WALL BEHIND	DOWNPIPES
P12			STONE FACADE	FEATURE COLUMN

ALL DIMENSIONS TO BE CHECKED ON SITE BY
CONTRACTORS BEFORE COMMENCEMENT OF WORK. THE
SUPERVISOR IS TO BE IMMEDIATELY NOTIFIED OF ANY
DISCREPANCIES AND TO AWAIT FUTURE INSTRUCTIONS.
DIMENSIONS TAKE PRECEDENCE OVER SCALING

THE BUILDING CODE OF AUSTRALIA & UPDATES AS WELL
AS THE S.A.A CODES SHALL BE THE MINIMUM
STANDARDS OF COMPLIANCE. CHECK COUNCIL
STAMPED PLANS TO ENSURE COMPLIANCE WITH ALL
CONDITIONS.



1 EAST ELEVATION COLOUR SCHEME
1 : 100 @ A1



2 SOUTH ELEVATION COLOUR SCHEME
1 : 100 @ A1

EXTERNAL FINISHES LEGEND

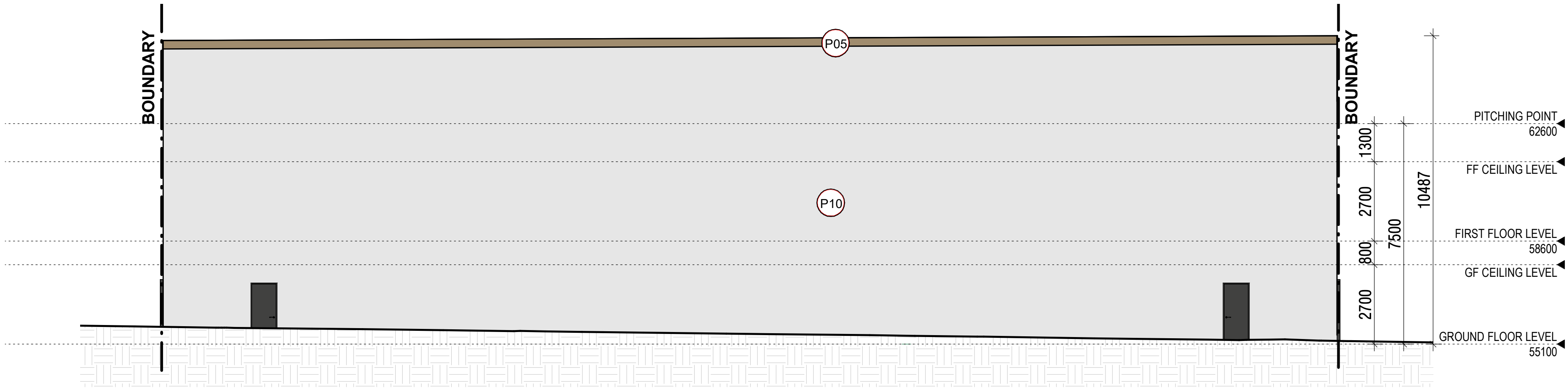
REF	COLOUR	ELE REF	DESCRIPTION	LOCATION
P01			PAINT FINISH DULUX: JARRAH CODE: S14D4	FEATURE OFFICE WALLS
P02			PAINT FINISH DULUX: STONE CROP CODE: S14D7	OFFICE AND INDUSTRY WALLS
P03			PAINT FINISH DULUX: OWL WING CODE: S14D3	FEATURE INDUSTRY WALLS
P04			PAINT FINISH DULUX: WHITE POLAR QUARTER CODE: SW1F2	FEATURE INDUSTRY WALLS

REF	COLOUR	ELE REF	DESCRIPTION	LOCATION
P05			POWDER COATED FINISH DULUX COLORBOND: DULUX: STONE CROP CODE: S14D7	GUTTERS, CAPPINGS, STRUCTURAL SUPPORTS
P06			GRD: TINTED GLASS FST: TINTED GLASS FRAME POWDERCOATED COLORBOND: JARRAH	ALL WINDOWS AND ENTRY DOOR
P07			POWDER COATED FINISH DULUX COLORBOND: DULUX: STONE CROP	ALL ROLLER DOORS
P08			ZINCALUME ROOF SHEETING WITH TRANSPARENT INSERTS	ALL ROOFS

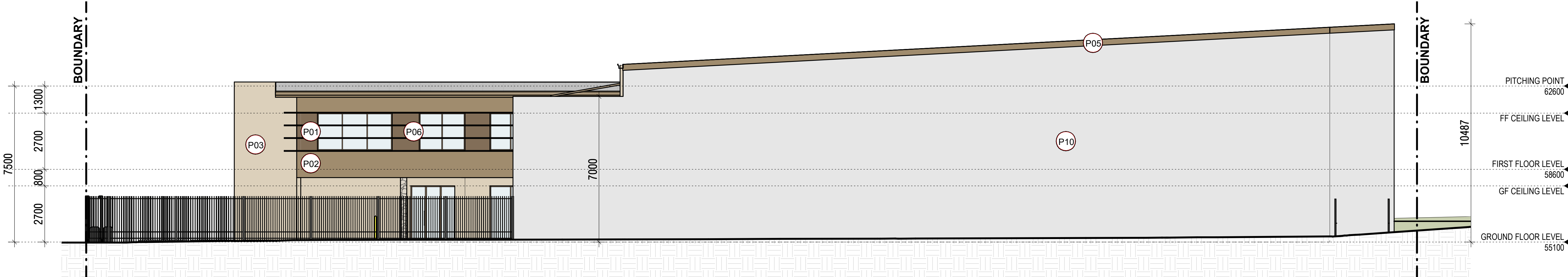
REF	COLOUR	ELE REF	DESCRIPTION	LOCATION
P09			POWDER COATED FINISH DULUX COLORBOND: MONUMENT CODE: C29	INDUSTRY FENCES
P10			UNPAINTED	BOUNDARY WALLS
P11			PAINTED TO MATCH WALL BEHIND	DOWNPIPES
P12			STONE FACADE	FEATURE COLUMN

ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTORS BEFORE COMMENCEMENT OF WORK. THE SUPERVISOR IS TO BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES AND TO AWAIT FUTURE INSTRUCTIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALING

THE BUILDING CODE OF AUSTRALIA & UPDATES AS WELL AS THE S.A.A CODES SHALL BE THE MINIMUM STANDARDS OF COMPLIANCE. CHECK COUNCIL STAMPED PLANS TO ENSURE COMPLIANCE WITH ALL CONDITIONS.



1 WEST ELEVATION COLOUR SCHEME
2-05 1 : 100 @ A1



2 NORTH ELEVATION COLOUR SCHEME
2-05 1 : 100 @ A1

EXTERNAL FINISHES LEGEND

REF	COLOUR	ELE REF	DESCRIPTION	LOCATION
P01			PAINT FINISH DULUX: JARRAH CODE: S14D4	FEATURE OFFICE WALLS
P02			PAINT FINISH DULUX: STONE CROP CODE: S14D7	OFFICE AND INDUSTRY WALLS
P03			PAINT FINISH DULUX: OWL WING CODE: S14D3	FEATURE INDUSTRY WALLS
P04			PAINT FINISH DULUX: WHITE POLAR QUARTER CODE: SW1F2	FEATURE INDUSTRY WALLS

REF	COLOUR	ELE REF	DESCRIPTION	LOCATION
P05			POWDER COATED FINISH DULUX COLORBOND: DULUX: STONE CROP CODE: S14D7	GUTTERS, CAPPINGS, STRUCTURAL SUPPORTS
P06			GRD: TINTED GLASS FST: TINTED GLASS FRAME POWDERCOATED COLORBOND: JARRAH	ALL WINDOWS AND ENTRY DOOR
P07			POWDER COATED FINISH DULUX COLORBOND: DULUX: STONE CROP	ALL ROLLER DOORS
P08			ZINCALUME ROOF SHEETING WITH TRANSPARENT INSERTS	ALL ROOFS

REF	COLOUR	ELE REF	DESCRIPTION	LOCATION
P09			POWDER COATED FINISH DULUX COLORBOND: MONUMENT CODE: C29	INDUSTRY FENCES
P10			UNPAINTED	BOUNDARY WALLS
P11			PAINTED TO MATCH WALL BEHIND	DOWNSPIPES
P12			STONE FACADE	FEATURE COLUMN

ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTORS BEFORE COMMENCEMENT OF WORK. THE SUPERVISOR IS TO BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES AND TO AWAIT FUTURE INSTRUCTIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALING

THE BUILDING CODE OF AUSTRALIA & UPDATES AS WELL AS THE S.A.A CODES SHALL BE THE MINIMUM STANDARDS OF COMPLIANCE. CHECK COUNCIL STAMPED PLANS TO ENSURE COMPLIANCE WITH ALL CONDITIONS.

REV.	DESCRIPTION	DATE	ISSUED BY	0	0.5	1	2.5	5	CHECKED BY: S.E. HARDY (QBSA LICENCE NUMBER 65539)	IN ASSOCIATION WITH: BLACK DIAMOND BUILDING & CONSTRUCTION	R H FRANKLAND & ASSOC. PTY LTD BUILDING DESIGN & CONSULTING STUDIO	PROJECT: PROPOSED INDUSTRY BUILDING	SHEET No.	REV.
A	DA ISSUE	06.05.2025	SM						<i>S.E. Hardy</i>			ADDRESS: LOT 16 EDISON CRESENT, YARRABILBA	DA 2-05	A
												CLIENT: BLACK DIAMOND BUILDING AND CONSTRUCTION	PROJECT No.	
												TITLE: COLOUR ELEVATIONS		
														25110

FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS. VERIFY ALL DIMENSIONS ON SITE

DRAWN BY: Author
X:\25000-25999\25110- Lot 16 Edison Crescent
Yarrabilba\03 DA\DA_LOT 16 EDISON CRESENT
YARRABILBA_06.05.25.rvt

THE WORK DESCRIBED ON THESE DRAWINGS IS COVERED BY COPYRIGHT, AND IS APPLICABLE TO THE PROJECT SITE ONLY AND MUST NOT BE USED FOR ANY OTHER PURPOSE NOR BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF STEVEN HARDY. THIS DRAWING HAS BEEN PRODUCED BASED ON INFORMATION SUPPLIED BY OTHERS. WHILE ALL ATTEMPTS HAVE BEEN MADE TO ENSURE THE ACCURACY OF THE DRAWING, R H FRANKLAND WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

UNIT 1/ 59 LINK DRIVE YATALA
4221 QLD
0408 705 184
mail@rhfrankland.com.au

QBA LICENCE NUMBER 065538
ACN 010 013 733
ABN 71 319 441 156
www.rhfrankland.com.au



REV.	DESCRIPTION	DATE	ISSUED BY	012510		CHECKED BY: S.E. HARDY (QBSA LICENCE NUMBER 65539)	IN ASSOCIATION WITH: BLACK DIAMOND BUILDING & CONSTRUCTION		R H FRANKLAND & ASSOC. PTY LTD BUILDING DESIGN & CONSULTING STUDIO	UNIT 1/ 59 LINK DRIVE YATALA 4221 QLD 0408 705 184 mail@rhfrankland.com.au	QBA LICENCE NUMBER 065538 ACN 010 013 733 ABN 71 319 441 156 www.rhfrankland.com.au	PROJECT: PROPOSED INDUSTRY BUILDING	SHEET No.	REV.	
DA ISSUE	06.05.2025	JM	Scale 1: 100 @ A1 (1: 200 @ A3)		DRAWN BY: Author							ADDRESS: LOT 16 EDISON CRESENT, YARRABILBA	DA 3-01	A	
	X\25000-25999\25110- Lot 16 Edison Crescent Yarrabilba Q3 DADA_Lot 16 EDISON CRESNT YARRABILBA_06.05.25.rvt											CLIENT: BLACK DIAMOND BUILDING AND CONSTRUCTION	PROJECT No.		
FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS. VERIFY ALL DIMENSIONS ON SITE														25110	