



STANDARD NOTES - Q

- GENERAL**
- REFER SITE PLANS FOR BUILDING DESIGN WIND CLASSIFICATION.
 - ALL BUILDING WORKS ARE TO COMPLY WITH THE NCC VOLUME 2 2022.
 - WIND SPEEDS ARE TO BE BASED ON PRECEDENCE OVER SCALE.
 - FLOOR PLAN DIMENSIONS ARE TO FRAME.
 - INTERNAL ELEVATION DIMENSIONS ARE TO PLASTERBOARD.
 - THERE ARE NO ATYPICAL DESIGN FEATURES THAT PRESENT UNUSUAL WORKPLACE HEALTH & SAFETY ISSUES IN THE CONSTRUCTION, MAINTENANCE, USE, OR DEMOLITION OF THIS STRUCTURE.

- SITE & EARTHWORKS**
- SITE PREPARATION & BATTERS TO COMPLY WITH ENGINEER'S SPECIFICATIONS.
 - ALL LEVELS TO BE VERIFIED ON SITE BY CONTRACTOR.
 - PER SITE PLAN, WHERE DISCHARGE IS TO KERB, AN APPROVED ADAPTOR MUST BE USED.

- TERMITE**
- TERMITE PROTECTION INSTALLED IN ACCORDANCE WITH AS3660.1.

- SLAB & FOOTINGS**
- CONCRETE SLAB, PIERS AND REINFORCING TO COMPLY WITH ENGINEERS DESIGN AND SPECIFICATIONS.
 - ALL CONCRETE DAMP-PROOFING ON A 50mm SAND FILL UNDER HOUSE SLAB TO BE INSTALLED TO COMPLY WITH AS3602.2.
 - OLD MEDIUM IMPACT RESISTANCE IN ACCORDANCE WITH 5.3.3.3 ITEM 'b' & 'c' OF AS2870 (NSW - HIGH IMPACT RESISTANCE IN ACCORDANCE WITH 5.3.3.3 ITEM 'b' & 'c' OF AS2870).

- FRAMING**
- BRICK VENEER FRAMING TO BE IN ACCORDANCE WITH NCC H1D6 & TO COMPLY WITH AS1684.2-2021 (N2/N3/M4 WIND RATING AREAS) & AS1684.2-2021 (C1/C2 WIND RATING AREAS).
 - PREFAB. TIMBER ROOF TRUSSES @ 600mm MAX. CENTRES TO MANUFACTURER'S SPECIFICATIONS.
 - ALL ROOF TRUSSING & TIE-DOWN REQUIREMENTS TO COMPLY WITH ENGINEERS DESIGN AND SPECIFICATIONS.

- ROOF & WALL CLADDING**
- BRICK VENEER WALLS TO COMPLY WITH NCC H1D1 & MUST COMPLY WITH AS4773.1.
 - ALL EAVE SHEETS AND FIBRE CEMENT LININGS MUST COMPLY WITH AS2908.2.
 - PLASTERBOARD TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
 - ROOF AND WALL CLADDING TO BE IN ACCORDANCE WITH NCC H2D6 & MUST COMPLY WITH THE FOLLOWING STANDARD WHEN APPLICABLE (SHEET ROOF AS1582.1 / ROOF WITH FLASHINGS MUST COMPLY WITH AS2904).
 - ALL FLASHINGS MUST COMPLY WITH AS2904.
 - ALL SARKING MUST COMPLY WITH AS4200.1.

- GLAZING**
- GLAZING TO COMPLY WITH NCC H5P2 & PART 11.3.7 & 11.3.8 OF THE ABCB HOUSING PROVISIONS.
 - GLAZING TO BE IN ACCORDANCE WITH NCC H1D8 & MUST COMPLY WITH AS1288 & AS2047.

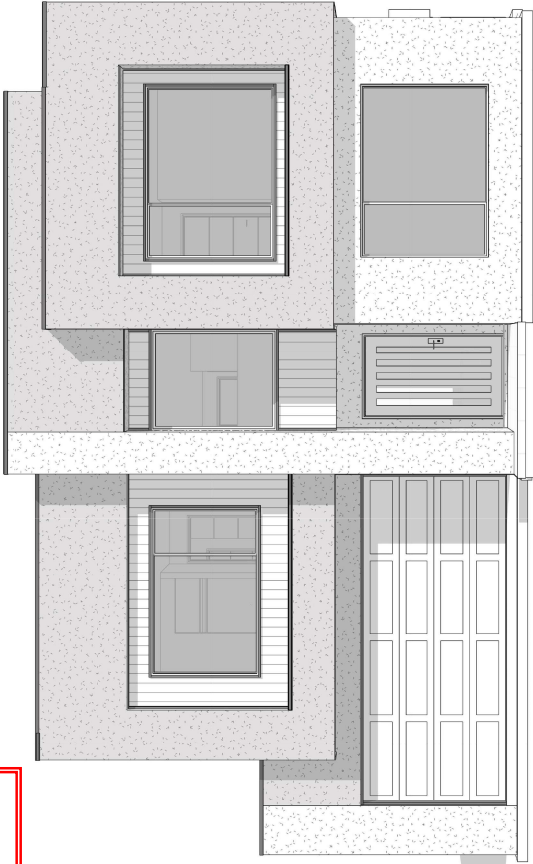
- WATER PROOFING**
- WATER PROOFING IS TO BE IN ACCORDANCE WITH NCC H4D1 & PART 10.2 OF THE ABCB HOUSING PROVISIONS.
 - WHERE FLOOR WASTES ARE PROVIDED, OUTSIDE OF ENCLOSED SHOWERS, FLOOR GRADES ARE TO COMPLY WITH QDC 4.5 REQUIREMENTS.
 - ALL TOILETS ARE TO BE IN ACCORDANCE WITH NCC PART H2D8 & MUST COMPLY WITH AS3602.2.
 - TILED WET AREA FLOORS AND SHOWER FLOORS WHERE A FLOOR WASTE IS REQUIRED, WILL GENERALLY REQUIRE TILES TO BE DIAGONALLY CUT TO ACHIEVE COMPLIANT FALLS.
 - WHERE FLOOR GRADES ARE PROVIDED, OUTSIDE OF UNENCLOSED SHOWER, FLOOR GRADES MUST BE BETWEEN 1:80 MINIMUM AND 1:30 MAXIMUM IN ACCORDANCE WITH 10.2.12 OF THE ABCB HOUSING PROVISIONS.
 - FLOOR TILES TO SHOWER AREAS MUST BE PROVIDED WITH A FLOOR GRADE BETWEEN 1:80 MINIMUM AND 1:50 MAXIMUM IN ACCORDANCE WITH 10.2.12 OF THE ABCB HOUSING PROVISIONS.

- CONDENSATION MANAGEMENT AND VENTILATION**
- EXHAUST FAN TO WC (WHEN APPLICABLE) TO COMPLY WITH NCC H4D9 & AS1688.2.
 - EXHAUST FANS, RANGEHOODS, COMBINATION EXHAUST FANS ARE DUCTED TO THE EXTERIOR THROUGH A MINIMUM 100mm RATED FIRE RESISTANT WALL.
 - BATHROOMS OR SANITARY COMPARTMENTS WITHOUT NATURAL VENTILATION TO HAVE 10 MINUTE RUN ON TIMER LINKED TO LIGHT SWITCH.
 - ANY ROOM THAT DOES NOT MEET NATURAL VENTILATION REQUIREMENTS MUST BE PROVIDED WITH MAKE-UP AIR FROM AN ADJACENT ROOM IN ACCORDANCE WITH 10.2.12 OF THE ABCB HOUSING PROVISIONS.
 - WET AREAS WITHOUT SUFFICIENT NATURAL VENTILATION MUST HAVE A MINIMUM 20MM GAP TO THE UNDERSIDE OF THE DOOR TO ACHIEVE COMPLIANT VENTILATION.

- STAIRS & BALUSTRADE (WHEN APPLICABLE)**
- STAIRS TO BE IN ACCORDANCE WITH NCC H3D1 & AS1688.2.
 - NCC H5 & PART 11.2 & 11.3 OF THE ABCB HOUSING PROVISIONS & MUST COMPLY WITH AS1170.1 & AS4598.

- OTHER**
- DOORAGE DOORS TO SANITARY COMPARTMENTS TO BE IN ACCORDANCE WITH NCC H4P3 PART 10.4.2 OF THE ABCB HOUSING PROVISIONS.
 - BUILT TO BOUNDARY WALLS TO BE BUILT IN ACCORDANCE WITH NCC H3D1 AND PART 8.1 TO 9.3 OF THE ABCB HOUSING PROVISIONS & AS1530, SEPARATING & EXTERNAL WALLS TO BE BUILT TO FRL 60/60/60 (WHERE APPLICABLE).
 - DOWNPIPE MINIMUM 119mm SLOTTED GUTTER TO SUIT MAX. 40mm OF ROOF AREA PER DOWNPIPE.
 - SMOKE ALARMS INSTALLED IN ACCORDANCE WITH NCC H3D6 & PART 9.5 OF THE ABCB HOUSING PROVISIONS & MUST COMPLY WITH AS3786 & AS1670.1.
 - FLUES FOR ALL FIREPLACES & HEATERS (WHERE APPLICABLE) ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND PART 12.4 OF THE ABCB HOUSING PROVISIONS.

- STEEL FRAMING (WHEN APPLICABLE)**
- ALL STEEL FRAMING TO BE IN ACCORDANCE WITH NCC H1P1 & TO COMPLY WITH AS1684.2-2021 (N2/N3/M4 WIND RATING AREAS) & AS1684.2-2021 (C1/C2 WIND RATING AREAS).
 - PREFAB. STEEL ROOF TRUSSES @ 600mm CENTRES FOR SHEET ROOF UP TO N2/N3.
 - PREFAB. STEEL ROOF TRUSSES @ 600mm CENTRES FOR SHEET ROOF UP TO N4.
 - PREFAB. STEEL ROOF TRUSSES @ 600mm CENTRES TO ALL RAKED CEILINGS.



NOTE: SHADOWS SHOWN ON PERSPECTIVES ARE NOT SITE SPECIFIC.
IT IS AN INDICATIVE REPRESENTATION OF THE BUILDING FORM.

CONSTRUCTION DETAILS

DETAIL DESCRIPTION	REFERENCE CODE
- OUTDOOR LIVING BRICK PIER EAVE DETAILS	- CAR-EAVE-BRICK PIER-01
- OUTDOOR LIVING POST EAVE DETAILS	- CAR-EAVE-TIMBER POST-02
- GARAGE DOOR DETAILS	- CAR-GARAGE DOOR-01
- STANDARD SOFFIT/EAVE DETAILS	- CAR-GARAGE DOOR-02
- BATH SPECIFICATIONS AND BATH HOB DETAILS	- CAR-SOFFIT/EAVE-03
- NOGGINGS, MANHOLE & P.C.I. DETAILS	- CAR-BATH-01
- FACE BRICK SILL DETAILS	- CAR-NOGGINGS-01
- EXTERNAL OPENING HEAD DETAILS	- BRI-FACE BRICK SILL-01
- RENDERED BRICK SILL DETAILS	- BRI-OPENING HEAD-01
- BRICK ARTICULATION DETAILS	- BRI-RENDER BRICK SILL-02
- HOUSE CONCRETE SLAB FORMWORK & CONCRETE PLUMBING RECESS DETAILS	- BRI-ARTICULATION-01
- SURFACE WATER GRATE DETAIL	- CON-02
- DOWNPIPE SEWER DETAILS	- PLM-01
- OPEN SHOWER FLOOR RECESS DETAILS	- PLM-DRAINAGE-01
- OVERHEAD CABINET DETAILS	- REFER TO DETAIL PAGE
- LIVEABLE HOUSING NOGGING DETAILS	- REFER TO DETAIL PAGE
- VALLEY BOARD DETAILS	- REFER TO DETAIL PAGE
- TERMITE BLANKET DETAILS	- REFER TO DETAIL PAGE

CLIENT

L. N. P. T. PERERA & R. L. BASNAYAKA

ADDRESS

LOT 4387 CANDY WAY
GREENBANK QLD 4124

DESIGN

ATLANTA 400Q

FAÇADE

MODERN

PLAN

COVER PAGE

REVISION SCHEDULE

DATE	REV	DRW	CHK
20/12/2024	CONTRACT	PG22	CHO
24/01/2025	CONTRACT	PG16	KCE
18/02/2025	VOT	SPO	KCE
09/04/2025	V02 MYCHOICE	PG400	CHO
23/05/2025	AMD SITING	N/A	

REFER TO PERFORMANCE SOLUTION REPORT COMPLETED BY STA CONSULTING ENGINEERS FOR THIS JOB FOR NOMINATED FALLS AND FINISHES. ALL FINISHES ENSURE THE REQUIREMENTS SUPERSEDE THE REQUIREMENTS AS STATED IN NCC H4D2

BUILDING AREA

BREISANE / NOOSA - GOLD COAST

ELEGANCE SPECIFICATION

FINAL SIGNED COPY

I HAVE ACCEPTED THAT THESE PLANS ARE THE FINAL WORKING DRAWINGS THAT I HAVE SUPERSEDED ALL PRELIM PLANS & I HAVE CHECKED THAT ANY ALTERATIONS OR ADDITIONS ARE SHOWN. THESE PLANS ALSO FORM PART OF OUR CONTRACT BETWEEN THE PROPRIETOR & CORAL HOMES.

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PROPRIETOR SIGNATURE

BUILDER SIGNATURE

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REV:

23/05/2025

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43324

SCALE:

N/A

SHEET NUMBER:

01 of 20

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2025/1658
Date: 15 July 2025

Queensland Government

L. N. P. T. PERERA & R. L. BASNAYAKA

ADDRESS

LOT 4387 CANDY WAY
GREENBANK QLD 4124

DESIGN	ATLANTA 400Q
FACADE	MODERN

SITE COST OPTION: 20/12

PROPERTY DESCRIPTION

ON: SP 348245
LOCAL AUTH: LOGAN CITY COUNCIL

AREAS

LAND	SITE COVERAGE
666 m ²	32.72%

SITEWORKS

NOTE: PLATFORM HEIGHT & RETAINING CAN VARY DUE TO SITE CONDITIONS

CUT: 0.100 SCRAPE	PAD AHD: 51.800
FILL: N/A	SLAB AHD: 52.125

CRITICAL PAD LEVEL ☒ NO ☐ YES

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PROPRIETOR _____ PROPRIETOR _____
SIGNATURE _____ SIGNATURE _____

— *At* —
BUILDERS SIGNATURE

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SHEET NUMBER:	02A of

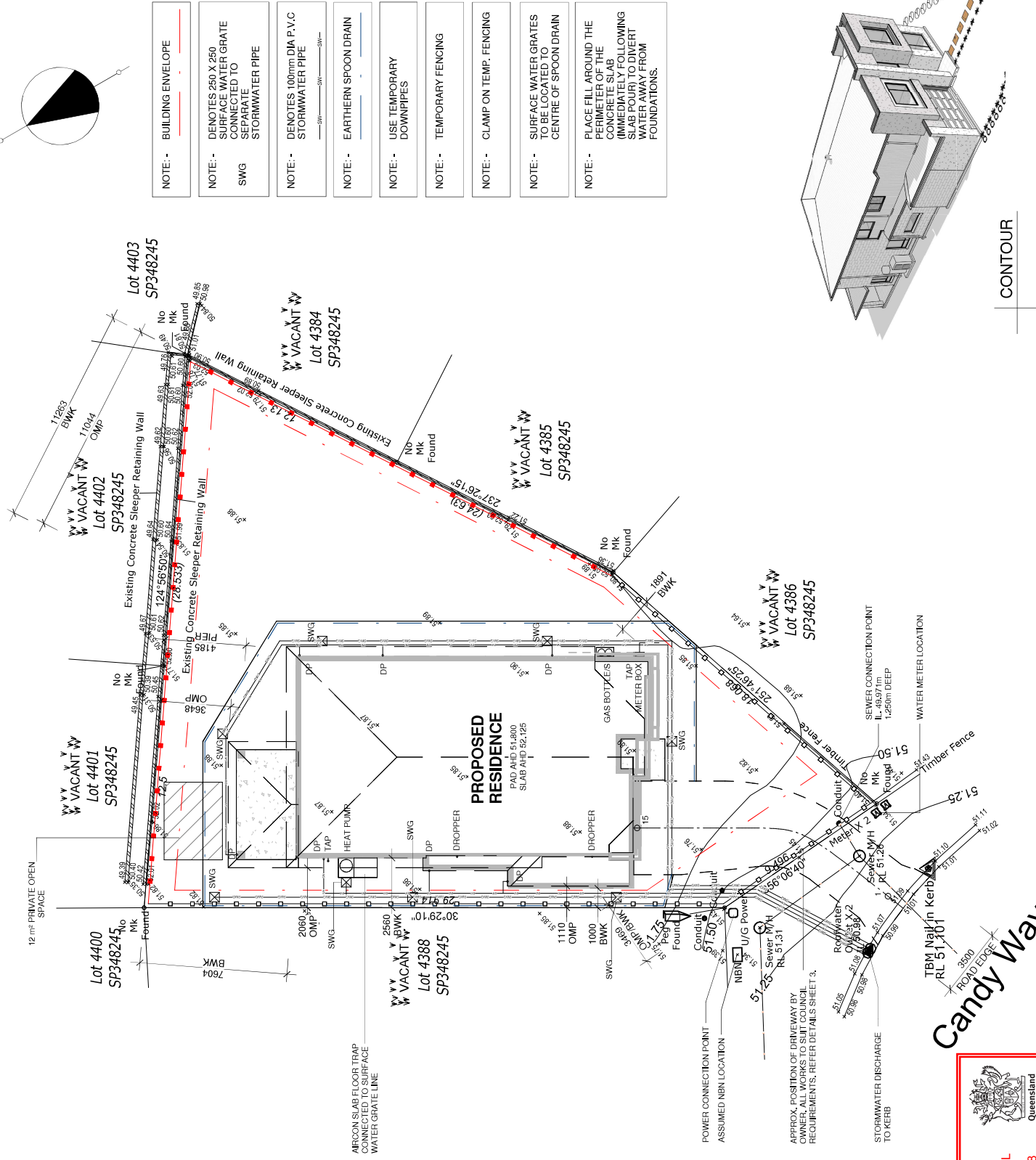


Diagram of Candy Way showing a 3500' segment. A TBM Nail is shown in the ground, and the ROAD EDGE is indicated.

PLANS AND DOCUMENTS
referred to in the PDA
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Approval no: DEV2025/1658
Date: 15 July 2025

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CLIENT

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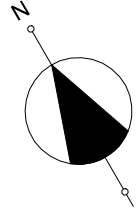
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GREENBANK QLD 4124

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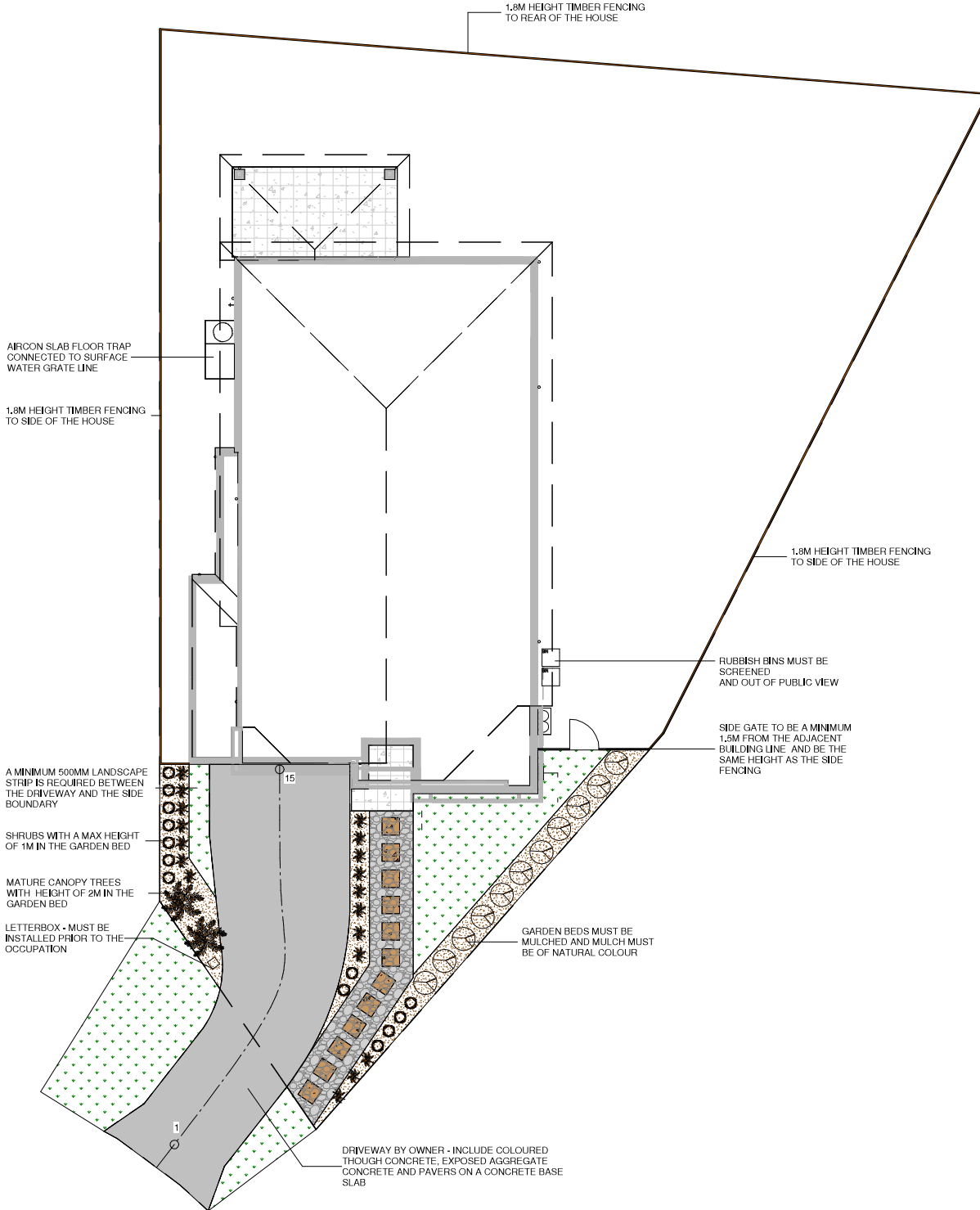
FACADE MODERN

PLAN LANDSCAPE PLAN



LEGEND

- GROUND COVER
- MALL SHRUBS
- FEATURE SHRUBS
- FEATURE TREES
- BINS
- PAVERS
- GRAVEL / PEBBLES
- DRIVEWAY
- TURF
- GARDEN BED AND GROUND COVER
- GOOD NEIGHBOUR TIMBER FENCING
- LETTERBOX



YOUR FRONT GARDEN AND AREAS
VISIBLE ON SECONDARY FRONTAGES
MUST BE COMPLETELY LANDSCAPED
IN ACCORDANCE WITH THE
GUIDELINES WITHIN SIX(6) MONTHS
OF ISSUE OF CERTIFICATE OF
OCCUPANCY FOR THE DWELLING.

FRONT YARD AREA:	60.24 m ²	
TURF AREA: (TO FRONT BOUNDARY LINE ONLY)	27.48 m ²	(46%)
GARDEN BED & BUFFER STRIP AREA:	32.77 m ²	(54%)
LANDSCAPE PERCENTAGE:	100%	

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PROPRIETOR
SIGNATURE

PROPRIETOR
SIGNATURE

BUILDERS SIGNATURE

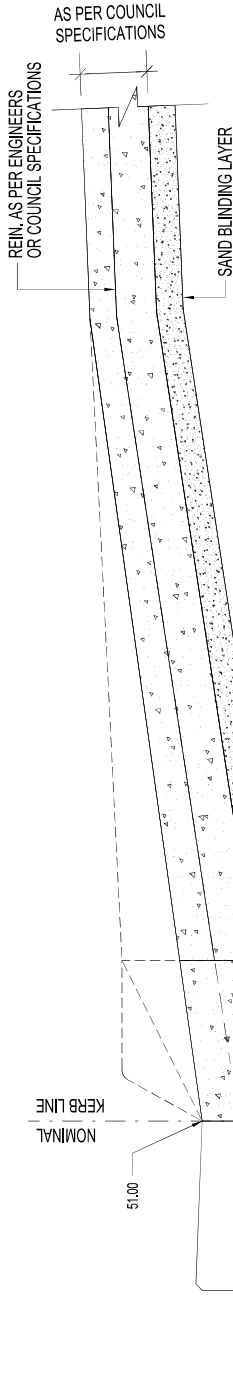
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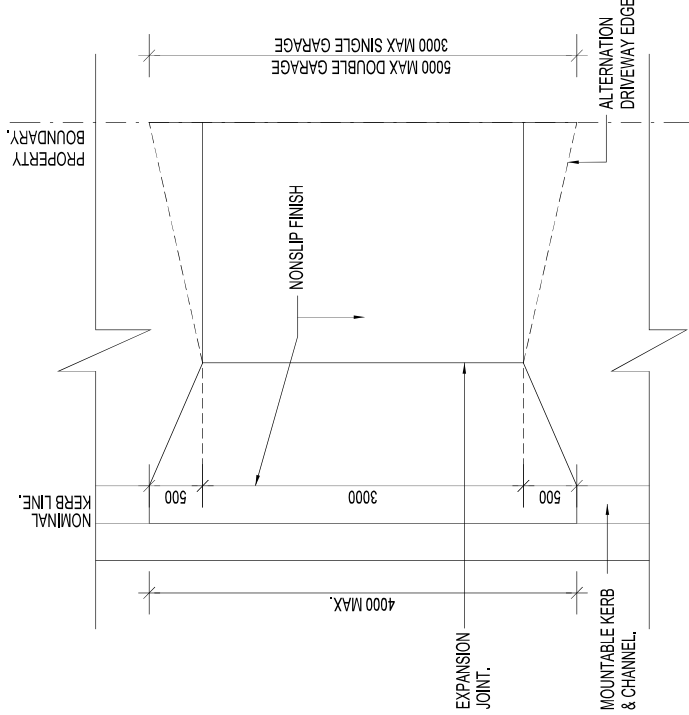
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AS PER LOCAL COUNCIL REQUIREMENTS

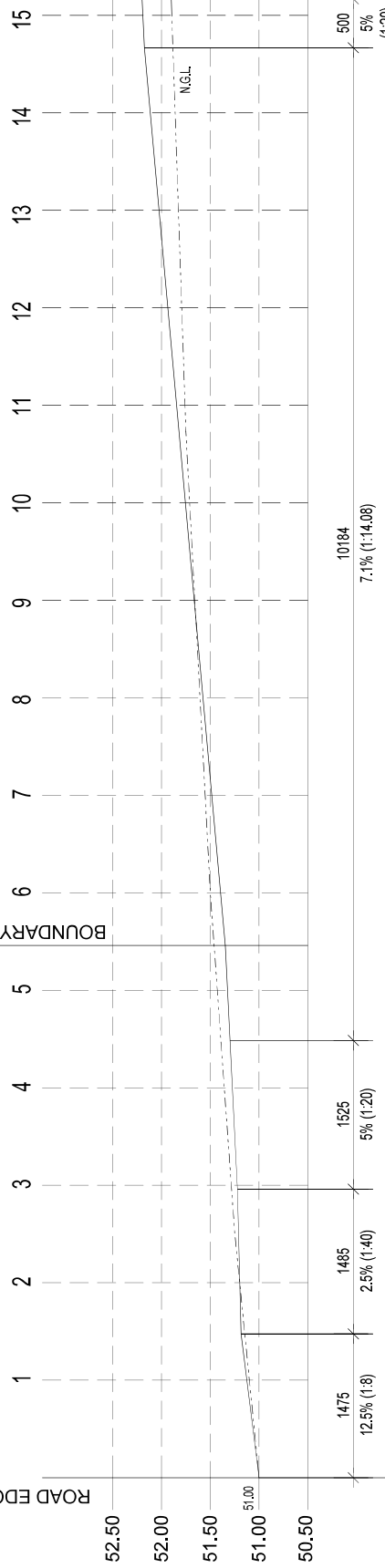


CROSSOVER DETAIL - 1:10
BARRIER OR NON-MOUNTABLE
KERB & CHANNEL BREAKOUT.

GALVANISED/STAINLESS STEEL
DOWELS 400L R16 @450 CRS
SAW CUT & BREAKOUT BACK
OF KERB & CHANNEL.



DRIVEWAY PLAN - 1:50



DRIVEWAY DETAIL - 1:50

NOTE: THE ABOVE IS SIMPLIFIED TRANSITIONS. THERE
IS TO BE A CURVATURE ALLOWANCE AT CHANGE OF GRADE.



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV/2025/1658
Date: 15 July 2025

CLIENT

L. N. P. T. PEREIRA & R. L. BASNAYAKA

ADDRESS

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DESIGN

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FACADE

MODERN

PLAN

DRIVEWAY LAYOUT

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SIGNATURE

PROPRIETOR
SIGNATURE

BUILDERS SIGNATURE

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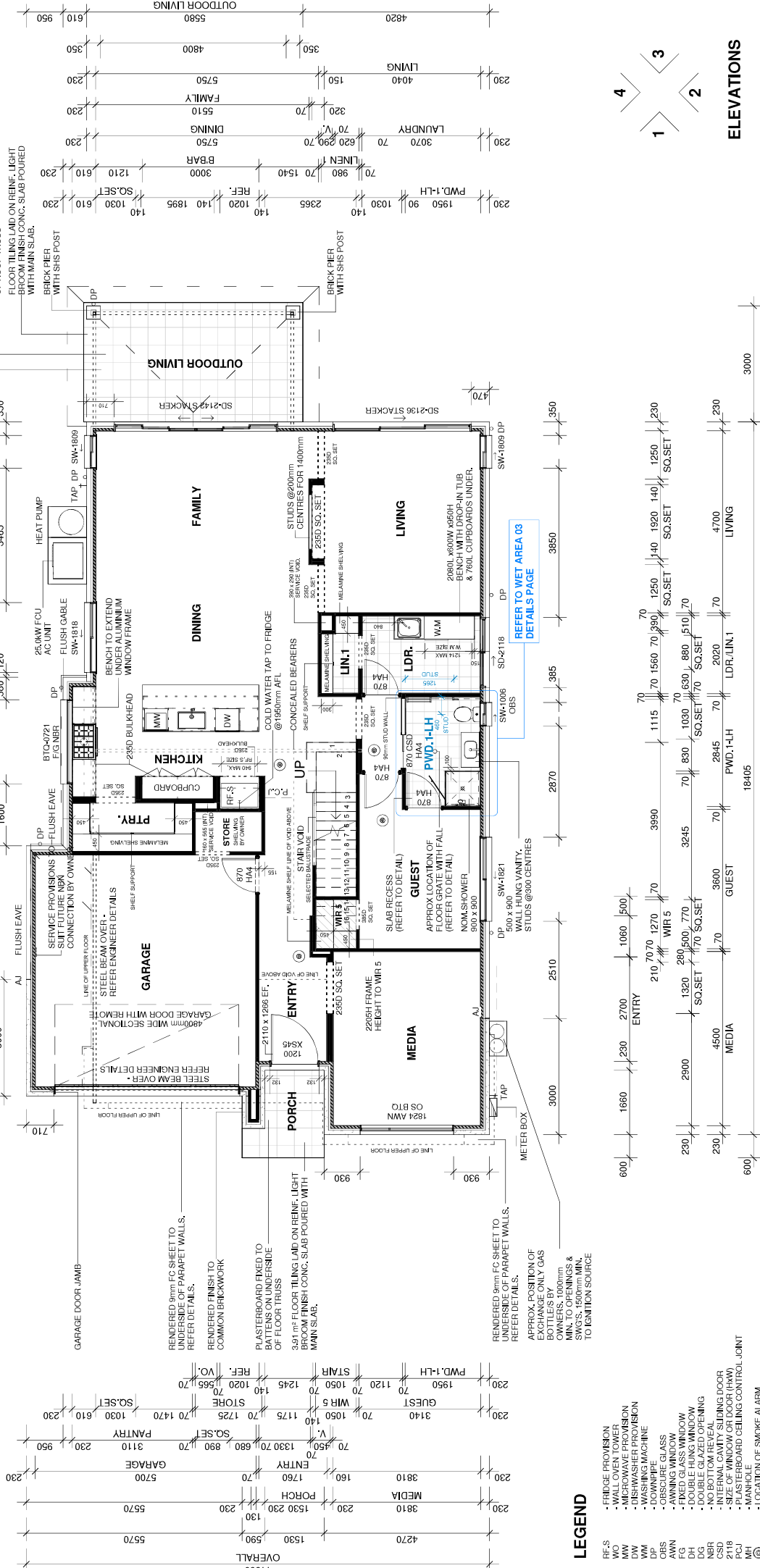


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Date: 15 July 2025

AREA SCHEDULE

Area (m2)
LIVING (LOWER)
GARAGE
OUTDOOR LIVING
PORCH
4.03
218.03
186.55
186.55
404.58



ELEVATIONS

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PROPRIETOR SIGNATURE: _____
BUILDERS SIGNATURE: _____

PERIMETER SCHEDULE	ROOF SCHEDULE	GUTTER SCHEDULE
LOWER LEVEL 63.73 m	LOWER LEVEL 38.21 m ²	PER LENGTH 26.26 m
UPPER LEVEL 60.46 m	UPPER LEVEL 207.79 m ²	LOWER LEVEL FASCIA
		UPPER LEVEL FASCIA

DESIGN	ATLANTA 400Q
FAÇADE	MODERN
PLAN	LOWER FLOOR PLAN

PLANS AND DOCUMENTS
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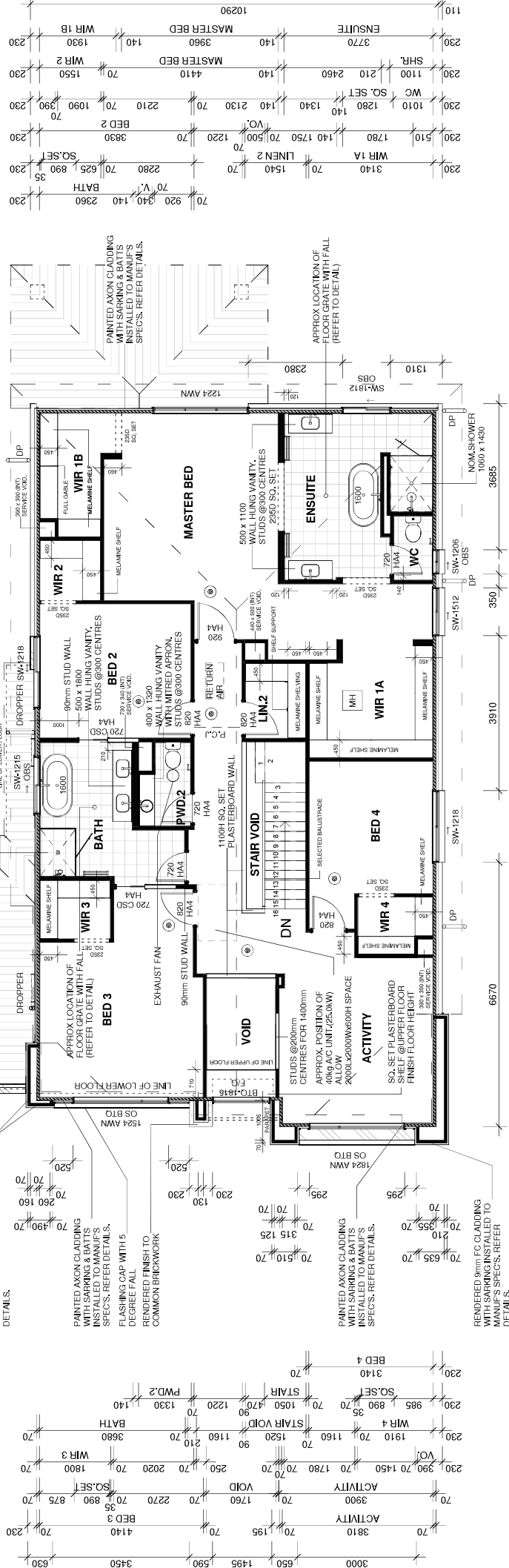
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AREA SCHEDULE

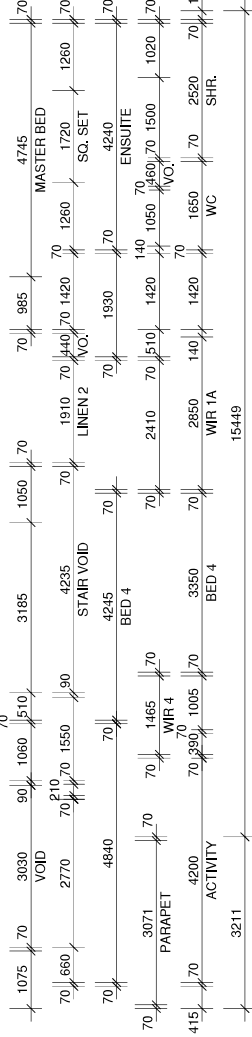
	Area (m ²)
LIVING (LOWER)	157.79
GARAGE	33.71
OUTDOOR LIVING	16.50
PORCH	4.03
	218.03
LIVING (UPPER)	186.55
	186.55
TOTAL	404.58



LEGEND

- FRIDGE PROVISION
- WALL OVEN TOWER
- MICROWAVE PROVISION
- DISHWASHER PROVISION
- WASHING MACHINE
- COFFEE MACHINE
- GLASS
- AWNING WINDOW
- FIXED GLASS WINDOW
- DOUBLE HUNG WINDOW
- DOUBLE GLAZED OPENING
- INTERNAL CANTY SLIDING DOOR
- SIZE OF WINDOW OR DOOR (HxW)
- PLASTERBOARD CEILING CONTROL JOINT
- MANHOLE
- LOCATION OF SMOKE ALARM

ELEVATIONS



CLIENT

L. N. P. PERERA & R. L. BASNAYAKA

DESIGN

ATLANTA 400Q

PERIMETER SCHEDULE

LOWER LEVEL 63.73 m

UPPER LEVEL 60.46 m

ROOF SCHEDULE

LOWER LEVEL 38.21 m²

UPPER LEVEL 207.79 m²

GUTTER SCHEDULE

PER LENGTH 26.26 m

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BUILDERS SIGNATURE

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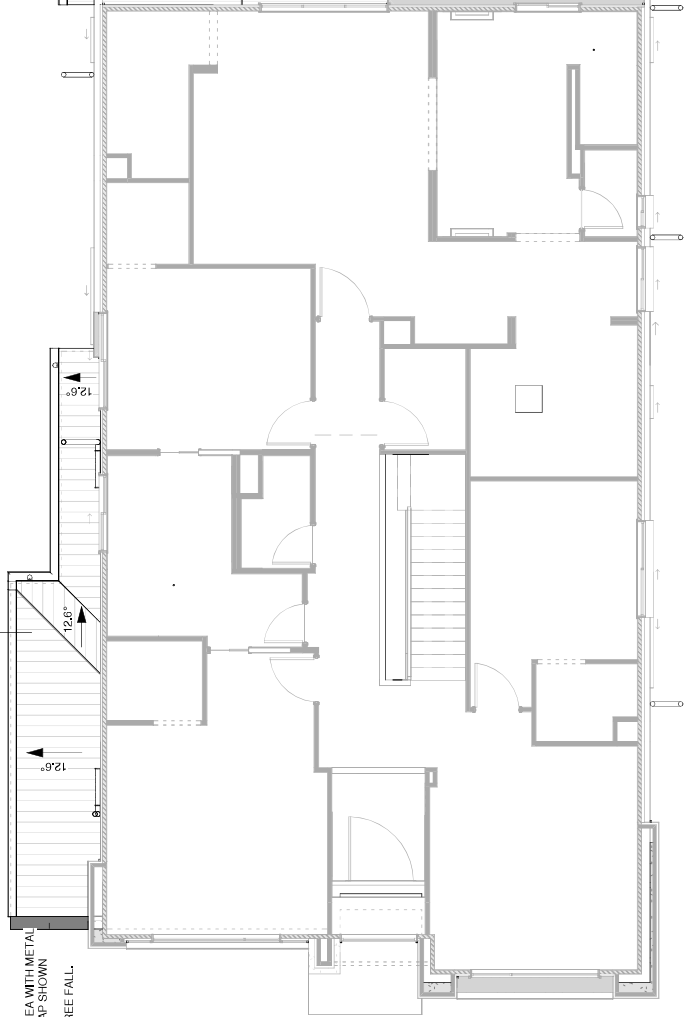
WALL FRAME - STEEL

SHEET METAL ROOF WITH ANTI-CON

450mm - EAVE WIDTH - U.N.O

PARAPET AREA WITH METAL FLASHING CAP SHOWN SHADED WITH 5 DEGREE FALL.

SHEET METAL ROOF WITH ANTI-CON

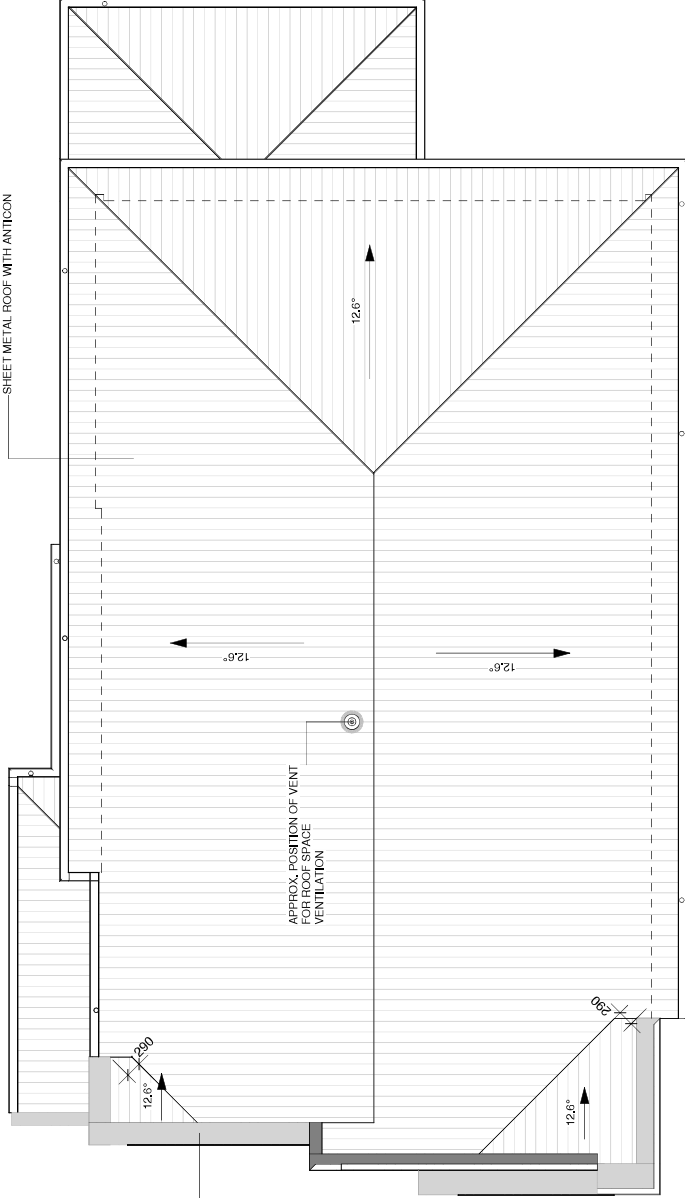


LOWER LEVEL - ROOF PLAN

1 : 100

PARAPET AREA WITH METAL FLASHING CAP SHOWN WITH 5 DEGREE FALL.

SHEET METAL ROOF WITH ANTI-CON



UPPER LEVEL - ROOF PLAN

1 : 100



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2025/1658

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CLIENT

L. N. P. T. PEREIRA & R. L. BASNAYAKA

ADDRESS

LOT 4387 CANDY WAY
GREENBANK QLD 4124

DESIGN

ATLANTA 400Q

FACADE

MODERN

PLAN

ROOF PLAN

FINAL SIGNED COPY

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SIGNATURE

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BUILDERS SIGNATURE

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ADDRESS

LOT 4387 CANDY WAY
GREENBANK QLD 4124

DESIGN

ATLANTA 400Q

FAÇADE

MODERN

PLAN

ELEVATION 02

GLASS TYPE LEGEND

- CLEAR
- CLEAR TOUGHENED
- CLEAR TOUGHENED - TINT STANDARD
- TINT - STANDARD
- TINT - DARK
- QSG - OBTUSE
- QSG - OBTUSE TOUGHENED
- LOW E - STANDARD
- LOW E - TINT
- LOW E - TOUGHENED
- LOW E - TOUGHENED - TINT STANDARD

MATERIAL TYPE LEGEND

- FACE BRICKWORK
- FACE BRICKWORK
- NATURE BRICKWORK
- RENDERED BRICKWORK
- BAG IN PAINT BRICKWORK
- PAINTED FC SHEET
- RENDERED FC SHEET
- RENDERED 9mm FC SHEET
- ACI PANEL
- UPPER RIBBOARD
- AXON CLADDING
- EASYLAP PANEL

NOTE:
PATTERNS, SIZE AND SETOUTS ARE
INDICATIVE ONLY AND ARE NOT TO BE
USED FOR ANY OTHER PURPOSE

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FINAL WORKING DRAWINGS THAT SUPERSEDE
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CONTRACT BETWEEN THE PROPRIETOR &
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SIGNATURE

PROPRIETOR
SIGNATURE

BUILDERS SIGNATURE

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REF: 43324
SCALE: 1 : 100
SHEET NUMBER: 08 of 20



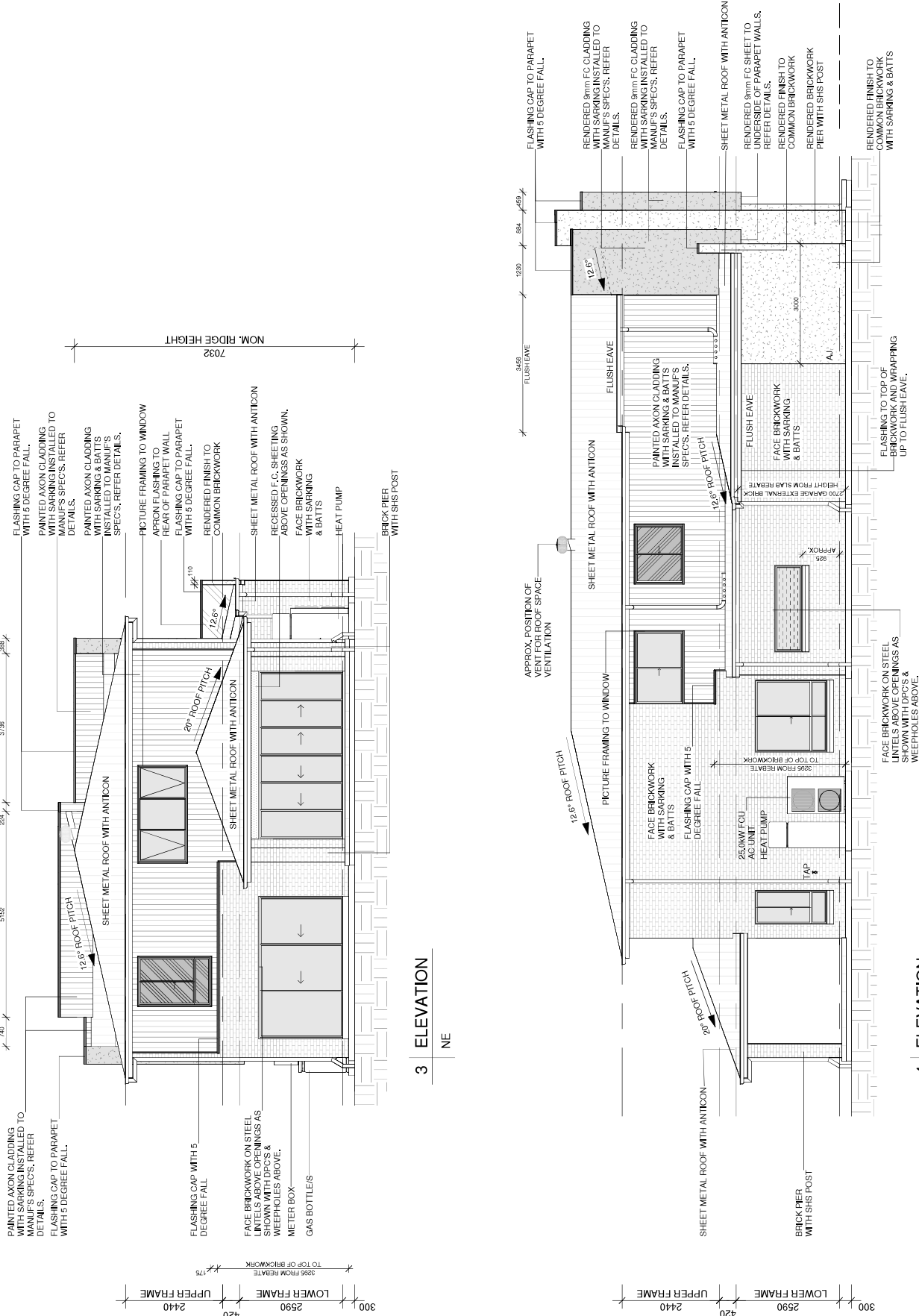
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV/2025/1658
Date: 15 July 2025

3 ELEVATION

NE

4 ELEVATION

NW





CLIENT

L. N. P. T. PEREIRA & R. L. BASINAYAKA

ADDRESS

LOT 4387 CANDY WAY
GREENBANK QLD 4124

DESIGN

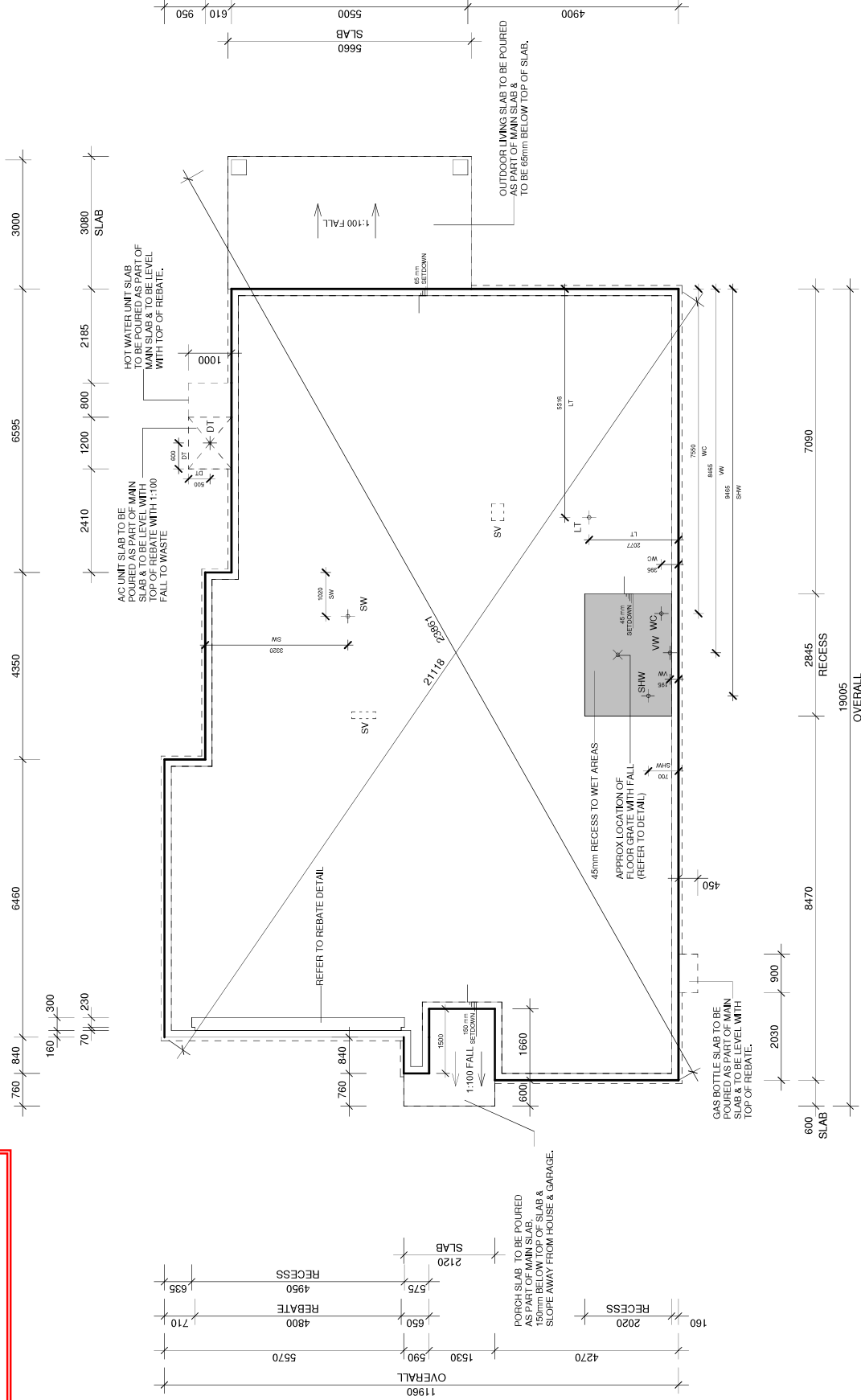
ATLANTA 400Q

FACADE

MODERN

PLAN

SLAB PLAN



LEGEND

- WC • WC PIPE
- SW • SINK WASTE
- VW • VANITY WASTE
- LT • LDRY TUB WASTE
- SHW • SHOWER WASTE
- FW • FLOOR WASTE
- DT • DISCONNECTOR TRAP
- SV • SERVICE VOID WASTE
- Drop Edge Beam
- Blockwork Retaining
- Load Bearing Walls

SLAB LAYOUT

FOOTINGS & SLAB TO BE AS PER ENGINEERS
DESIGN AS INDICATED WITH THE SITE INVESTIGATION

NOTES:

ALL DIMENSIONS ARE TO **OUTSIDE BRICKWORK**.
ALL DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.

NOTES:

PLUMBING FIXTURE & POST/PIER FOOTING DIMENSIONS
ARE TO CENTRE.

DISCONNECTOR GULLIES ARE PROVIDED TO FLOORS
OF ENSUITES, BATHROOMS & LAUNDRY WHEN THEY ARE TO BE
POSITIONED ACCORDING TO AS3500, KEEPING CLEAR
OF ALL STEPS & HOBBS.

SLAB PLAN

1 : 100

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