

SITE NOTES

- 1. Written dimensions take precedence over scale.
- 2. Builder to verify all boundary clearances and site set-out dimensions prior to commencement of construction.
- 3. Levels & contours are based on assumed datum. Prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
- 4. This site plan is based on a disclosure plan. Therefore the floor level is subject to change. Additional site survey must be taken to confirm the required bench level.
- 5. Retaining walls greater than 1m high (cut or fill) are required to be engineer designed & certified prior to building approval. Retaining walls are closer than 1500mm from boundary require a building relaxation. (fill side only).
- 6. Batters to comply with appropriate soil classification described in table 3.1.1.1 BCA Vol 2.
- 7. Engineer to provide design to address footings if built in close proximity to sewer, stormwater or easements.
- 8. Vehicular cross-over to be constructed as per local council requirements and/or approval.

SERVICES

- 1. Services have been plotted from records of relevant authorities where available. Prior to any excavation or construction on site, the relevant authority should be contacted for possible location of further underground services.
- 2. All household sewerage and waste to be discharged to sewer system.
- 3. Stormwater & roof water to be connected to legal point of discharge in accordance with Pt 3 BCA Vol 2 and local authorities requirements. Approval to be obtained form local authority prior to work commencing.
- 4. Grade soil away from perimeter of building to prevent ponding. 1:20 minimum fall. Surface water to be channelled to legal point of discharge. ie. yard gully grate or similar.
- 5. Provide 1:20 ground surface fall towards gully pits. Final location of pits subject to change to suit site conditions. Contractor to check with site supervisor before commencing work.

GENERAL NOTES

- 1. Scrape away vegetation & cut & fill to provide a level building platform.
- 2. Floor slab to be in accordance with engineers drawings & details.
- 3. Termite protection is a visual barrier system with approved collars at penetrations in accordance with AS 3660 - 2014.
- 4. This site plan is transcription of the original contour survey & the builder is to verify all information contained hereon prior to site start.
- 5. The driveway & path shown on the plan is the suggested layout - areas shown on plan.

SITE DESCRIPTION/DATA

LOT : 527 on SP296915
PARISH : NA
COUNTY : NA
AUTHORITY : Gladstone Regional Council

AREA = 288m²
SITE COVERAGE 53.16 %

SITE AND DRAINAGE PLAN

Scale 1:200

To Comply with part MP4.1 of the Queensland Development Code.

Sections:

Energy Efficiency:

- Verification indication achievement of not less than the 6-star rating by an approved assessor.

Energy Efficiency Fixtures:

- Must have energy efficiency lighting for minimum of 80% of total fixed internal lighting.
- New and Replacement Air-Conditioners to have EER to at least 2.9

Water Conservation:

- All shower roses to have minimum 3-star Water Efficiency Labelling and Standards rating.
- All toilets to have dual flush and minimum 4-star Water Efficiency Labelling and Standards rating.
- Cistern sizes to be compatible with toilet bowl size to allow proper function.
- All tapware to Laundry tub, Kitchen sinks, & Basins to have minimum 3-star Water Efficiency Labelling and Standards rating.

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- 8. Mechanical Ventilation to comply with 3.8.5 Bca Vol 2.
- 9. Smoke alarms to comply with 3.7.2 BCA Vol 2 (wired-in)

- 10. Protection against subterranean termites shall be in accordance with AS 3660 - 2014. Provided treatment: Visual Barrier System to perimeter with approved collars/barriers at slab penetrations.
- 11. HWS unit (constant flow) with 5 star energy efficiency rating to comply with "Sustainable Buildings" QDC pt 29, AS/NZs 6400:2005.
- 12. Rainwater tanks, lighting and plumbing fixtures & fittings to comply with QDC PART 29 & 25, "Sustainable Buildings" QDC pt 29 & 25 AS/Nzs 300.1.2003 AS/NZS 6400:2005.
- 13. Lift off hinges to all WC doors to comply with Australian Standards.
- 14. Stair construction to comply with Pt 3.9.1 and balustrades to comply with pt 3.9.2 BCA Vol 2.
- 15. DCP & flashings to comply with Pt 3.3.4 BCA Vol 2

PLAN LEGEND

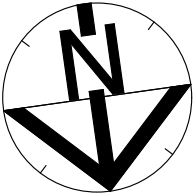
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Front fence along the Harvey Road Frontage is required to remain a minimum of 50 percent transparent and is to include a gate for direct pedestrian access from the existing stairs.

Combined height of fence and retaining wall must not exceed 1.8m

Clothes line location not approved.

Clothes line may only be located on side boundary fences.

Light court to remain un-roofed, with no overhangs to maintain access to natural light.

AMENDED IN RED

By: Elrico Koeberg
Date: 12 June 2025

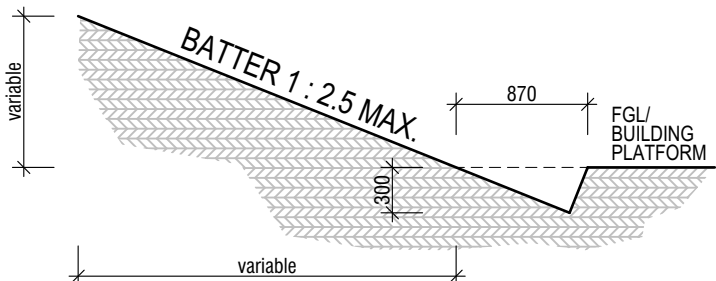


PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2025/1631
Date: 15 July 2025



SPOON DRAIN



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NOTE:
- DOWNPIPE AND GUTTER SELECTION MADE IN ACCORDANCE WITH TABLE 3.5.2.2 OF THE NCC.

- DOWNPIPE SIZE TO BE USED - 150mm DIA - RAINHEAD DETAILS BY ENGINEER
GUTTER TYPE TO BE USED - 205mm min. D GUTTER WITH 10mm GUTTER SPACING CLIPS (TBC)
TO ACHIEVE COMPLIANCE WITH OVERFLOW MEASURES IN TABLE 3.5.2.3

- VALLEY GUTTERS TO HAVE A MINIMUM WIDTH OF 400mm AND BE WIDE ENOUGH TO ALLOW THE ROOF COVERING TO OVERHANG NOT LESS THAN 150mm EACH SIDE OF THE GUTTER.

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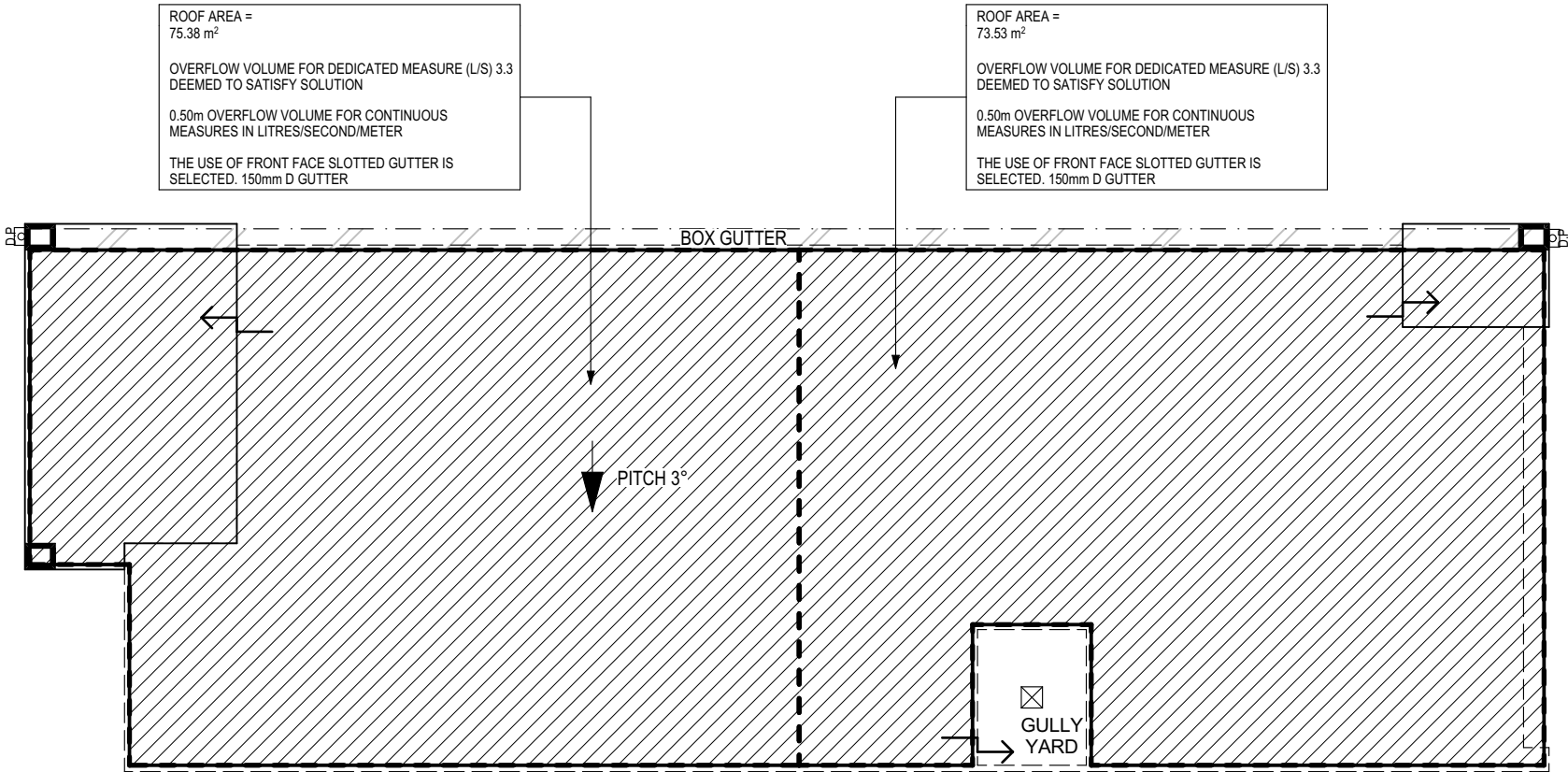
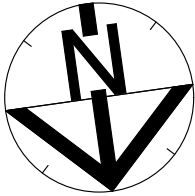
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C2 WIND DESIGN RATING

GUTTER OVERFLOW PLAN GROUND FLOOR

Scale 1:100

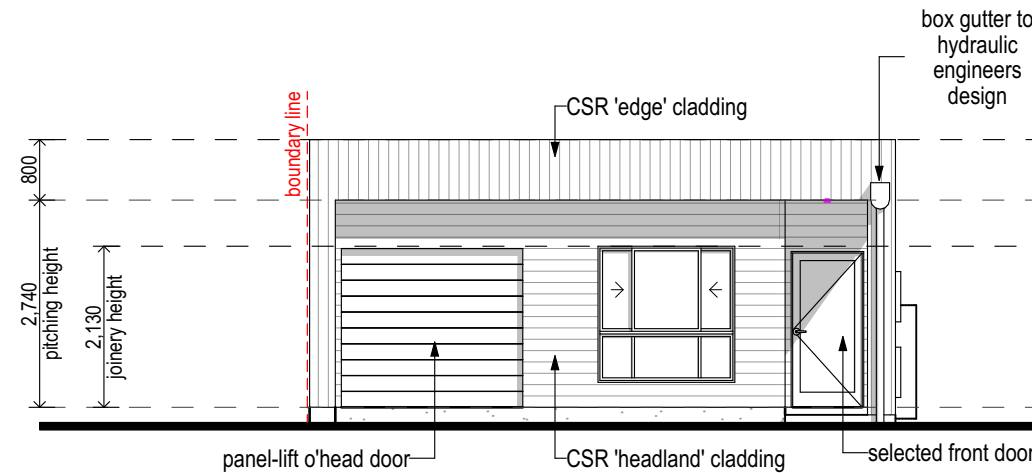
 QBCC Lic. No. 1044665 Head Office P - (07) 4921 4444 Email - admin@chriswarrenhomes.com.au Postal - PO Box 302, Rockhampton Q 4700 Office – 293 Campbell Street, Rockhampton, Q. 4700 © Copyright 2022 Chris Warren Homes. WHERE ANY PLANS, SPECIFICATIONS OR OTHER DESIGN DOCUMENTS ARE SUPPLIED OR PREPARED BY CHRIS WARREN HOMES, THE CLIENT/SUB-CONTRACTOR ACKNOWLEDGES THAT CHRIS WARREN HOMES HAS © COPYRIGHT 2022 OF THOSE PLANS, SPECIFICATIONS OR OTHER DESIGN DOCUMENTS.	NOTES 1. DO NOT SCALE - Use Figured Dimensions Only. 2. Builder to verify all dimensions and levels prior to commencement of construction. 3. All internal dimensions stated are frame size - excluding linings. 4. This building has been designed in accordance with AS 1684 - 2010 (Residential timber framed construction). 5. Supplier may substitute lintels for those of equal strength to span ratio. 6. All structural sizes to be read in-conjunction with structural engineers drawings & details. 7. Articulation joints to comply with 3.3.1.8 BCA Vol 2. 8. Mechanical Ventilation to comply with 3.8.5 Bca Vol 2. 9. Smoke alarms to comply with 3.7.2 BCA Vol 2 (wired-in) 10. Protection against subterranean termites shall be in accordance with AS 3660 - 2014. Provided treatment: Visual Barrier System to perimeter with approved collars/barriers at slab penetrations. 11. HWS unit (constant flow) with 5 star energy efficiency rating to comply with "Sustainable Buildings" QDC pt 29, AS/NZs 6400:2005. 12. Rainwater tanks, lighting and plumbing fixtures & fittings to comply with QDC PART 29 & 25, 'Sustainable Buildings' QDC pt 29 & 25 AS/Nzs 300.1.2003 AS/NZS 6400:2005. 13. Lift off hinges to all WC doors to comply with Australian Standards. 14. Stair construction to comply with Pt 3.9.1 and balustrades to comply with pt 3.9.2 BCA Vol 2. 15. DCP & flashings to comply with Pt 3.3.4 BCA Vol 2	PLAN LEGEND afl = above floor level hd = head at 2100 afl. fw = floor waste  = smoke detector vb = vanity basin obs = obscure glazing mb = meter box dp = downpipe ohc = overhead cupboard MH = manhole ref = refrigerator prov. mw = microwave prov. dw = dishwasher prov. ply = pantry wm = washing machine prov. ghw = gas hot water unit tr = towel rail trh = toilet roll holder HC = garden tap	PLEASE READ CAREFULLY THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE CONTRACT & SPECIFICATIONS AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE. THESE PLANS SUPERCEDE ALL OTHER PREVIOUS PLANS OR SKETCHES. OWNER/S WITNESSDATE	CLIENT: Margaret Galvin Lot 527, #9 Quest Lane Clinton MODEL: Special Design ISSUE/DATE: FINAL ISSUE C : 27/02/2025 JOB No. 24L527QU SHEET No. 6 OF 15
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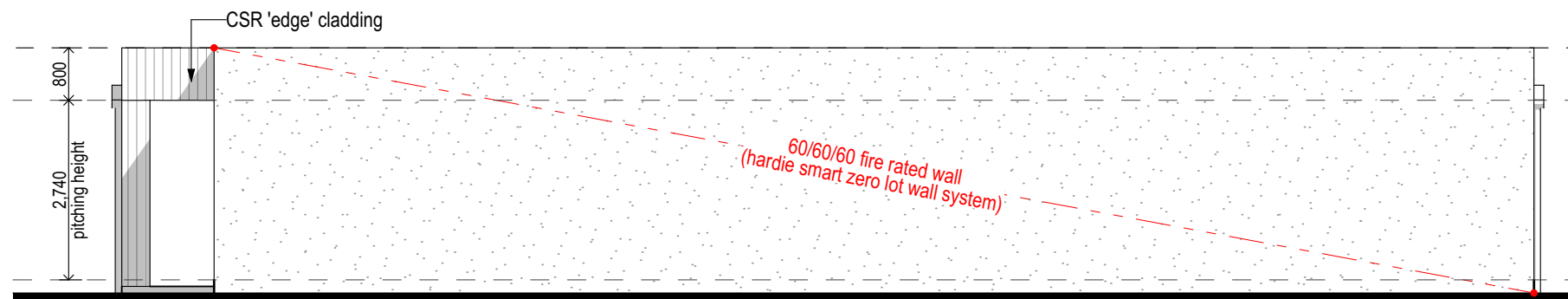
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FULL WORKING DRAWINGS
FOR CONSTRUCTION
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Elevation 1
Scale 1:100



Elevation 2
Scale 1:100



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WITNESS DATE

CLIENT:

Margaret Galvin

**Lot 527, #9 Quest Lane
Clinton**

MODEL:
Special Design

ISSUE/DATE:
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JOB
No. **24L527QU**

SHEET
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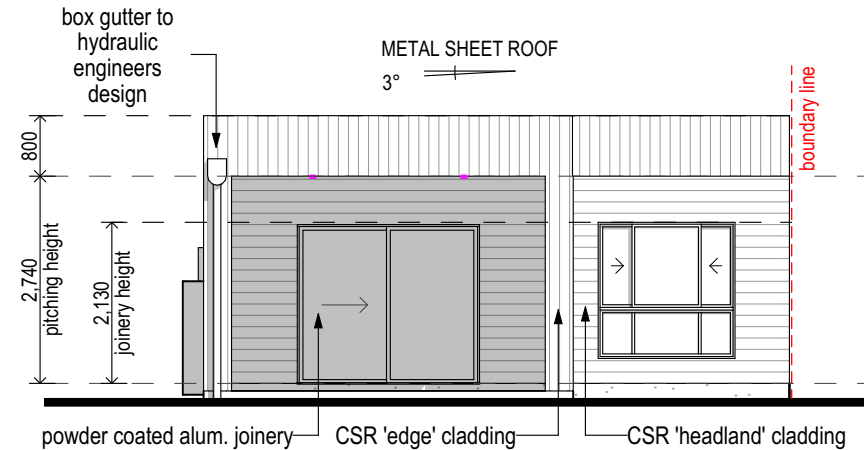
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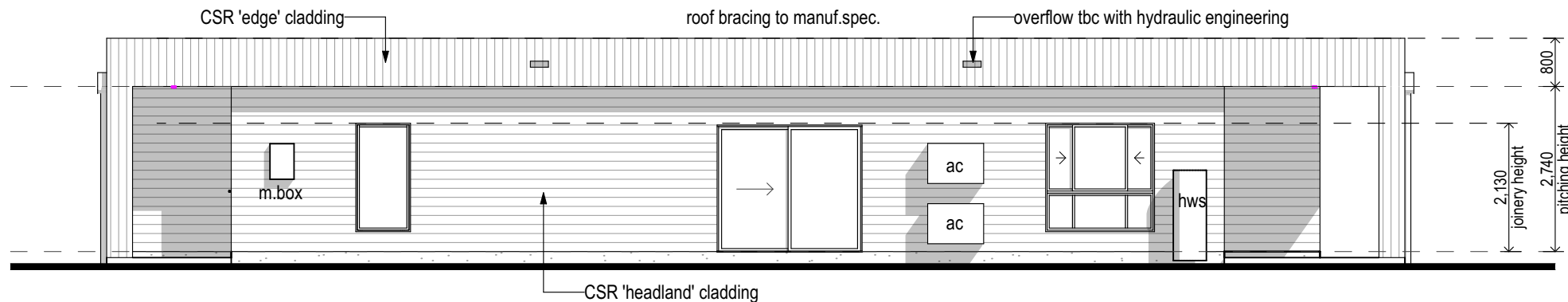
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Elevation 3
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Elevation 4
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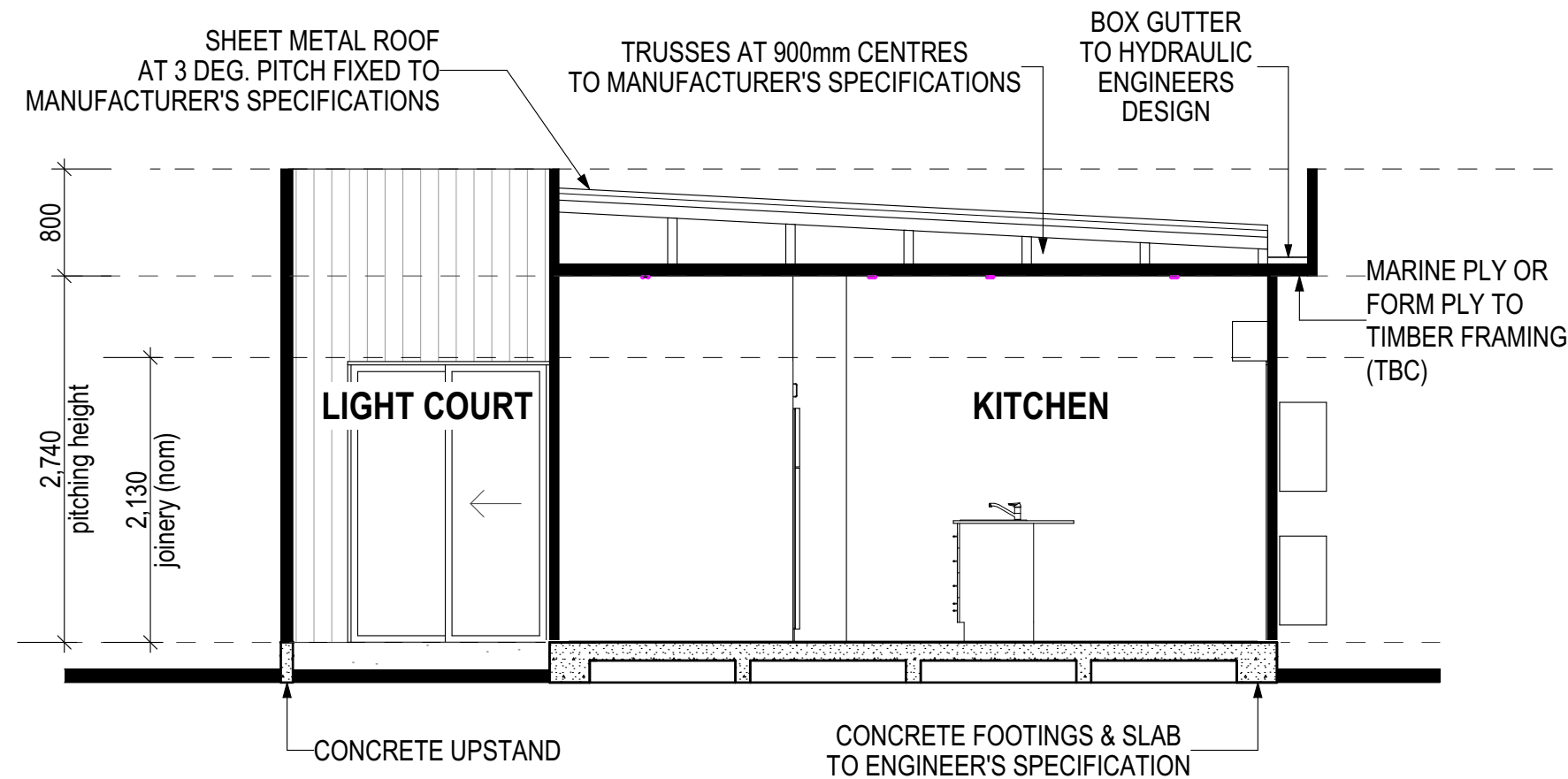
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Section XX
Scale 1:50



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