

SITE NOTES

- 1. Written dimensions take precedence over scale.
- 2. Builder to verify all boundary clearances and site set-out dimensions prior to commencement of construction.
- 3. Levels & contours are based on assumed datum. Prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
- 4. This site plan is based on a disclosure plan. Therefore the floor level is subject to change. Additional site survey must be taken to confirm the required bench level.
- 5. Retaining walls greater than 1m high (cut or fill) are required to be engineer designed & certified prior to building approval. Retaining walls are closer than 1500mm from boundary require a building relaxation. (fill side only).
- 6. Batters to comply with appropriate soil classification described in table 3.1.1.1 BCA Vol 2.
- 7. Engineer to provide design to address footings if built in close proximity to sewer, stormwater or easements.
- 8. Vehicular cross-over to be constructed as per local council requirements and/or approval.

SERVICES

- 1. Services have been plotted from records of relevant authorities where available. Prior to any excavation or construction on site, the relevant authority should be contacted for possible location of further underground services.
- 2. All household sewerage and waste to be discharged to sewer system.
- 3. Stormwater & roof water to be connected to legal point of discharge in accordance with Pt 3 BCA Vol 2 and local authorities requirements. Approval to be obtained form local authority prior to work commencing.
- 4. Grade soil away from perimeter of building to prevent ponding. 1:20 minimum fall. Surface water to be channelled to legal point of discharge. ie. yard gully grate or similar.
- 5. Provide 1:20 ground surface fall towards gully pits. Final location of pits subject to change to suit site conditions. Contractor to check with site supervisor before commencing work.

GENERAL NOTES

- 1. Scrape away vegetation & cut & fill to provide a level building platform.
- 2. Floor slab to be in accordance with engineers drawings & details.
- 3. Termite protection is a visual barrier system with approved collars at penetrations in accordance with AS 3660 - 2014.
- 4. This site plan is transcription of the original contour survey & the builder is to verify all information contained hereon prior to site start.
- 5. The driveway & path shown on the plan is the suggested layout - areas shown on plan.

SITE DESCRIPTION/DATA

LOT : 528 on SP296915
PARISH : NA
COUNTY : NA
AUTHORITY : Gladstone Regional Council

AREA = 288m²
SITE COVERAGE 53.16 %

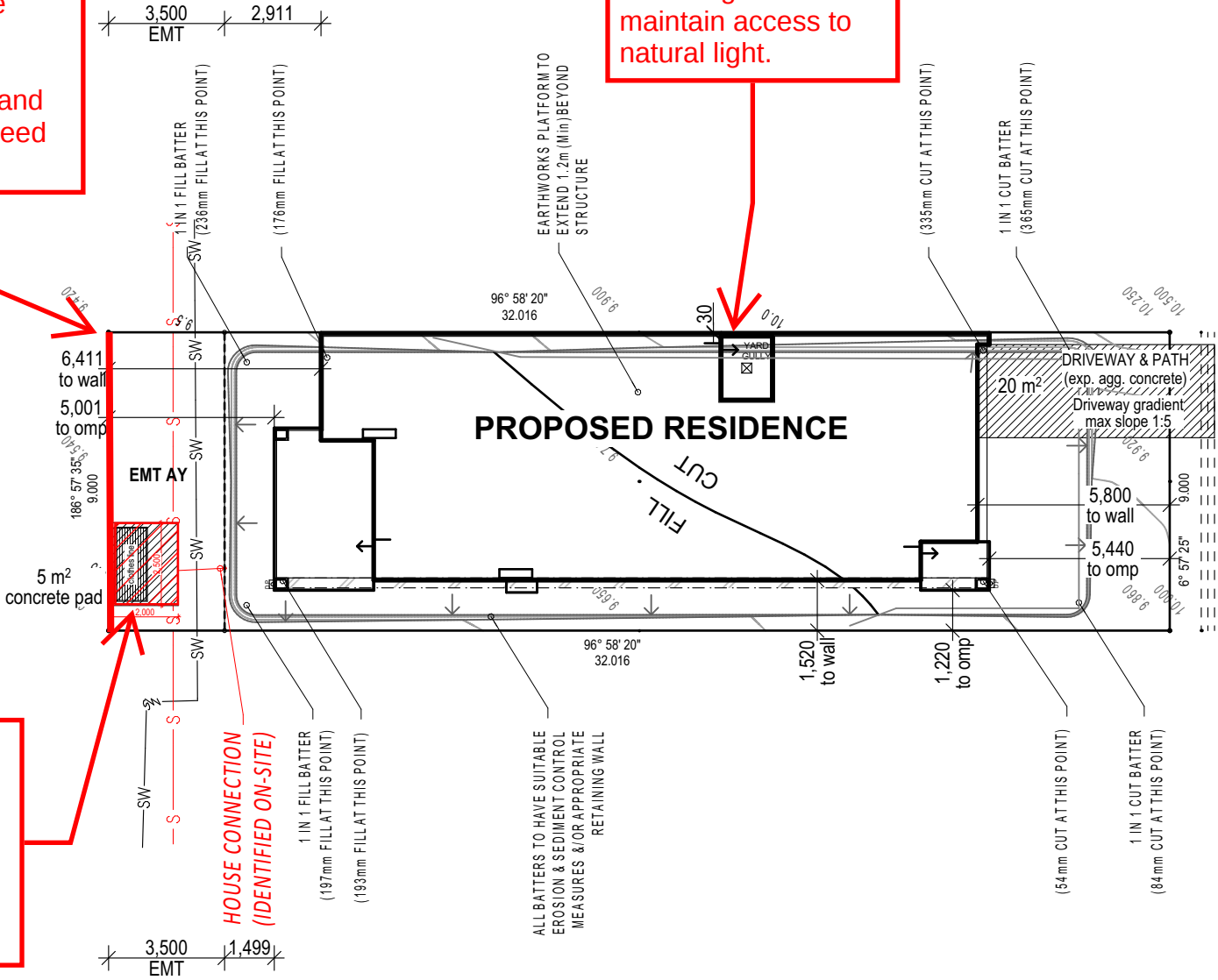
Front fence along the Harvey Road Frontage is required to remain a minimum of 50 percent transparent and is to include a gate for direct pedestrian access from the existing stairs.

Combined height of fence and retaining wall must not exceed 1.8m

Clothes line location not approved.

Clothes line may only be located on side boundary fences.

Light court to remain un-roofed, with no overhangs to maintain access to natural light.



QUEST LANE

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2025/1630
Date: 15 July 2025



SITE AND DRAINAGE PLAN

Scale 1:200

To Comply with part MP4.1 of the Queensland Development Code.

Sections:

Energy Efficiency:

- Verification indication achievement of not less than the 6-star rating by an approved assessor.

Energy Efficiency Fixtures:

- Must have energy efficiency lighting for minimum of 80% of total fixed internal lighting.
- New and Replacement Air-Conditioners to have EER to at least 2.9

Water Conservation:

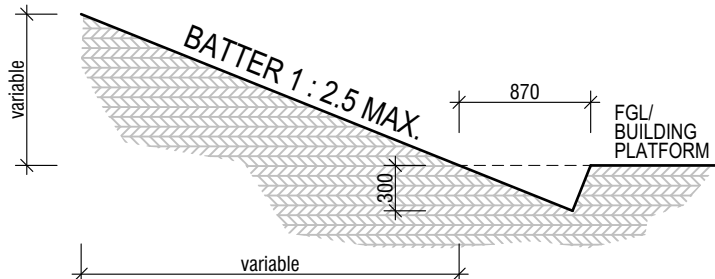
- All shower roses to have minimum 3-star Water Efficiency Labelling and Standards rating.
- All toilets to have dual flush and minimum 4-star Water Efficiency Labelling and Standards rating.
- Cistern sizes to be compatible with toilet bowl size to allow proper function.
- All tapware to Laundry tub, Kitchen sinks, & Basins to have minimum 3-star Water Efficiency Labelling and Standards rating.

AMENDED IN RED

By: Elrico Koeberg
Date: 12 June 2025



SPOON DRAIN



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- 5. Supplier may substitute lintels for those of equal strength to span ratio.
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- 7. Articulation joints to comply with 3.3.1.8 BCA Vol 2.
- 8. Mechanical Ventilation to comply with 3.8.5 Bca Vol 2.
- 9. Smoke alarms to comply with 3.7.2 BCA Vol 2 (wired-in)

- 10. Protection against subterranean termites shall be in accordance with AS 3660 - 2014. Provided treatment: Visual Barrier System to perimeter with approved collars/barriers at slab penetrations.
- 11. HWS unit (constant flow) with 5 star energy efficiency rating to comply with "Sustainable Buildings" QDC pt 29, AS/NZs 6400:2005.
- 12. Rainwater tanks, lighting and plumbing fixtures & fittings to comply with QDC PART 29 & 25, "Sustainable Buildings" QDC pt 29 & 25 AS/Nzs 300.1.2003 AS/NZS 6400:2005.
- 13. Lift off hinges to all WC doors to comply with Australian Standards.
- 14. Stair construction to comply with Pt 3.9.1 and balustrades to comply with pt 3.9.2 BCA Vol 2.
- 15. DCP & flashings to comply with Pt 3.3.4 BCA Vol 2

PLAN LEGEND

- afl = above floor level
- hd = head at 2100 afl.
- fw = floor waste
- ☼ = smoke detector
- vb = vanity basin
- obs = obscure glazing
- mb = meter box
- dp = downpipe
- ohc = overhead cupboard
- MH = manhole
- ref = refrigerator prov.
- mw = microwave prov.
- dw = dishwasher prov.
- ply = pantry
- wm = washing machine prov.
- ghw = gas hot water unit
- tr = towel rail
- trh = toilet roll holder
- HC = garden tap

PLEASE READ CAREFULLY

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OWNER/S
WITNESS DATE

CLIENT:
Bradley & Meredith Scott

Lot 528, #7 Quest Lane Clinton

MODEL:
Special Design

ISSUE/DATE:
FINAL ISSUE C : 18/03/2025

JOB No. **24L528QU**

SHEET No. **4 OF 15**

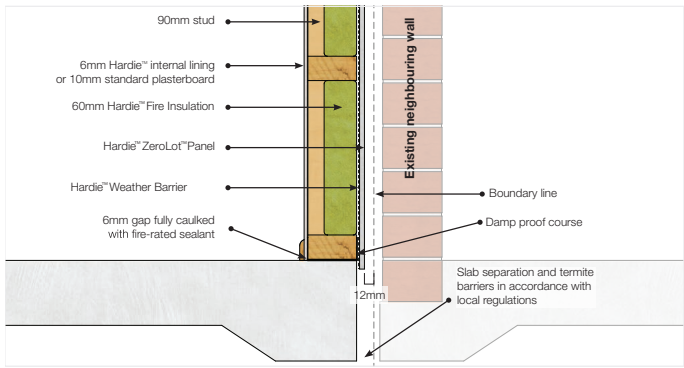


FIGURE 24 SLAB DETAIL FOR SINGLE BOUNDARY

HARDIE SMART ZEROLOT BOUNDARY DETAIL

N.T.S

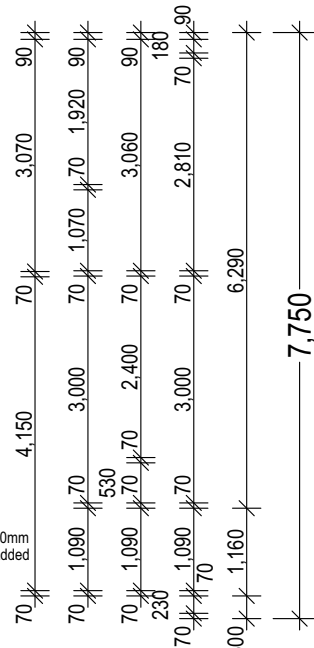
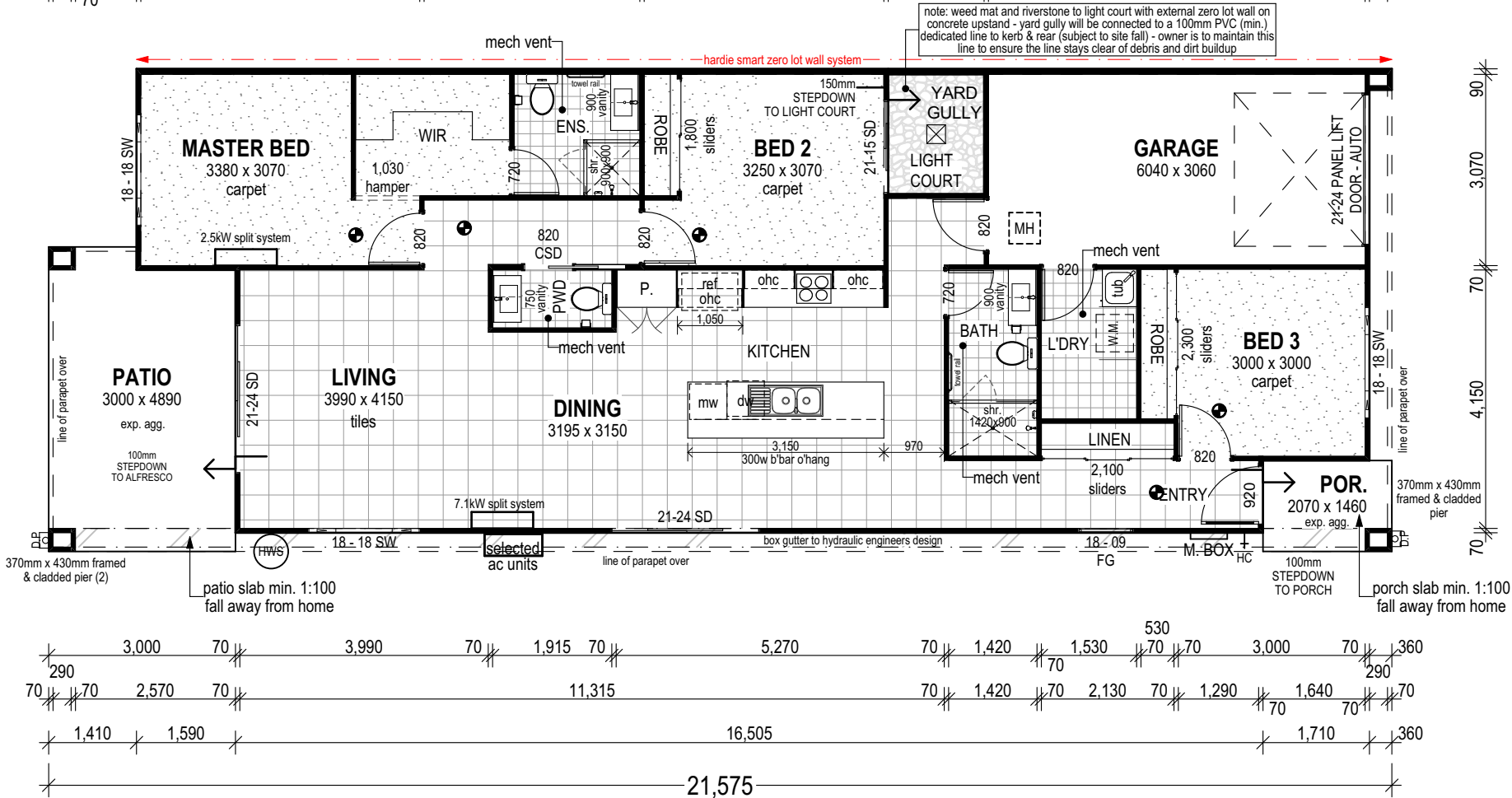
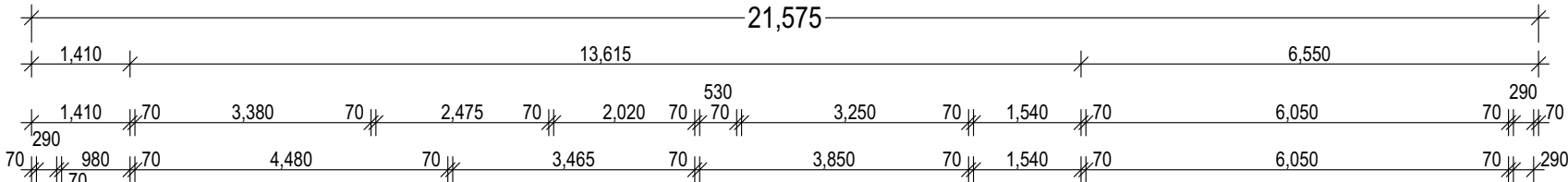
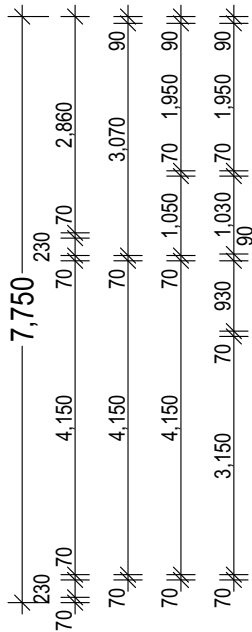
Builder to Install To James Hardie Spec. - Refer To Installation Guide for Further Details

CONSTRUCTION NOTES :

1. EXTERNAL WALLS = 70mm FRAME (90mm 60/60/60 FRL Boundary Wall)
2. C2 WIND DESIGN SPEED NOMINATED.
3. WC DOOR TO HAVE EXTERNAL REMOVABLE HINGES IN ACCORDANCE WITH BCA-3.8.3.3.

ARTICULATION JOINTS

AJ = Articulation joint location nominated on drawings.
Builder to provide extra Articulation joints over & above what is nominated on drawings where necessary to comply with the Building Code of Australia, Engineers structural design requirements, soil report recommendations and site classification requirements



AREA TABLE	
AREA	SQ METRES:
1 LIVING	116.62
2 GARAGE	19.40
3 PORCH	3.02
4 ALFRESCO	14.08
	153.12 m²

GROUND FLOOR PLAN

Scale 1:100



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OWNER/S

WITNESS DATE

CLIENT:

Bradley & Meredith Scott

**Lot 528, #7 Quest Lane
Clinton**

MODEL:
Special Design

ISSUE/DATE:
**FINAL ISSUE C :
18/03/2025**

JOB
No. **24L528QU**

SHEET
No. **5 OF 15**

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DOWNPipes TO BE MAXIMUM 12M SPACING AND ADJACENT TO ALL VALLEY INTERSECTIONS.

DRAINAGE TO BE IN ACCORDANCE WITH PART 3.3 NCC Vol 2. POINT OF DISCHARGE TO MEET LOCAL AUTHORITY REQUIREMENTS.

NOTE:
- DOWNPIPE AND GUTTER SELECTION MADE IN ACCORDANCE WITH TABLE 3.5.2.2 OF THE NCC.

- DOWNPIPE SIZE TO BE USED - 150mm DIA - RAINHEAD DETAILS BY ENGINEER
GUTTER TYPE TO BE USED - 205mm min. D GUTTER WITH 10mm GUTTER SPACING CLIPS (TBC)
TO ACHIEVE COMPLIANCE WITH OVERFLOW MEASURES IN TABLE 3.5.2.3

- VALLEY GUTTERS TO HAVE A MINIMUM WIDTH OF 400mm AND BE WIDE ENOUGH TO ALLOW THE ROOF COVERING TO OVERHANG NOT LESS THAN 150mm EACH SIDE OF THE GUTTER.

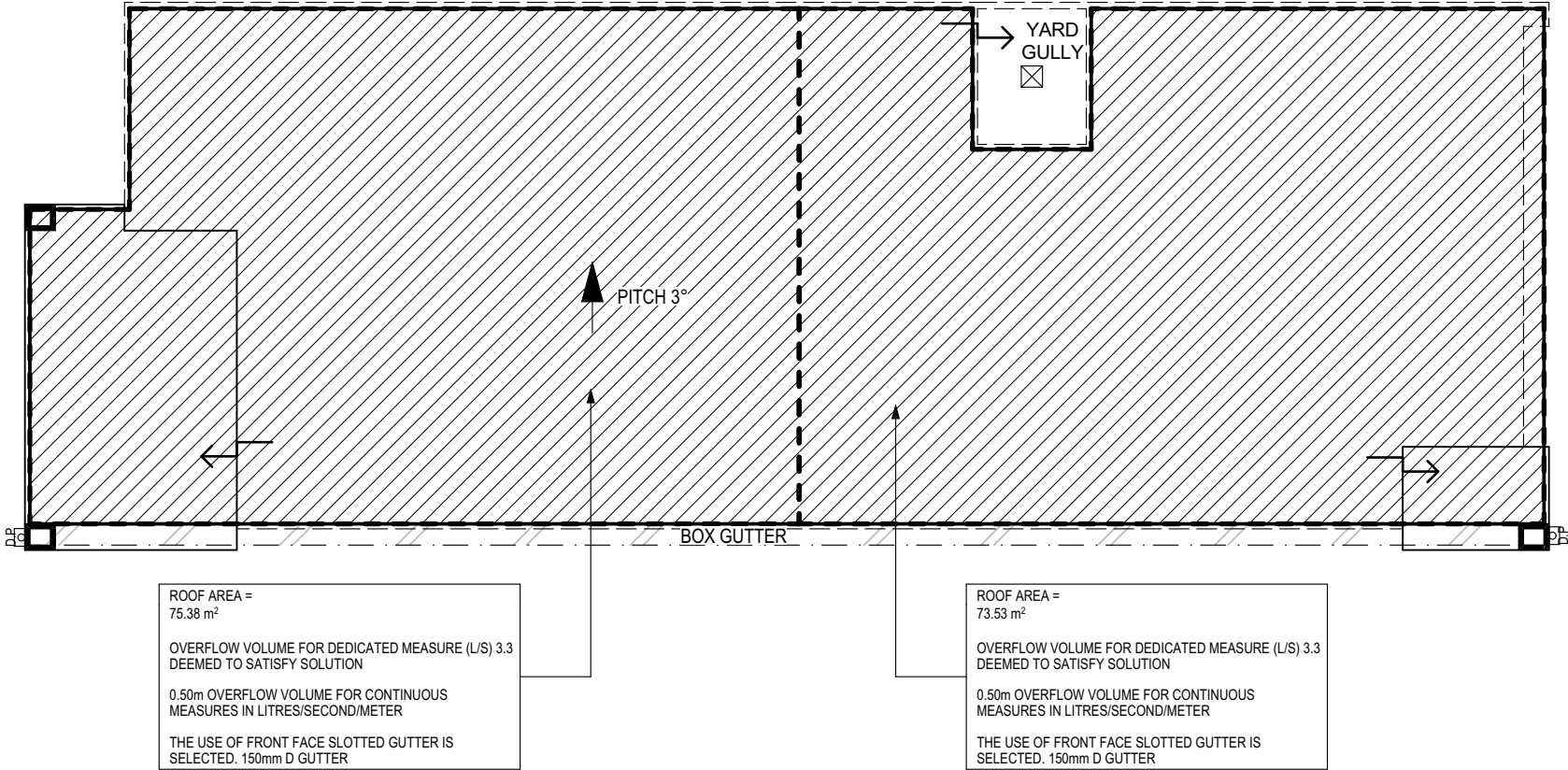
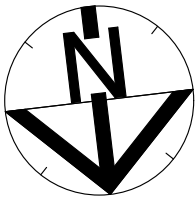
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2025/1630

Date: 15 July 2025


Queensland Government

FULL WORKING DRAWINGS FOR CONSTRUCTION
APPROVED BY CLIENT: 18/03/2025

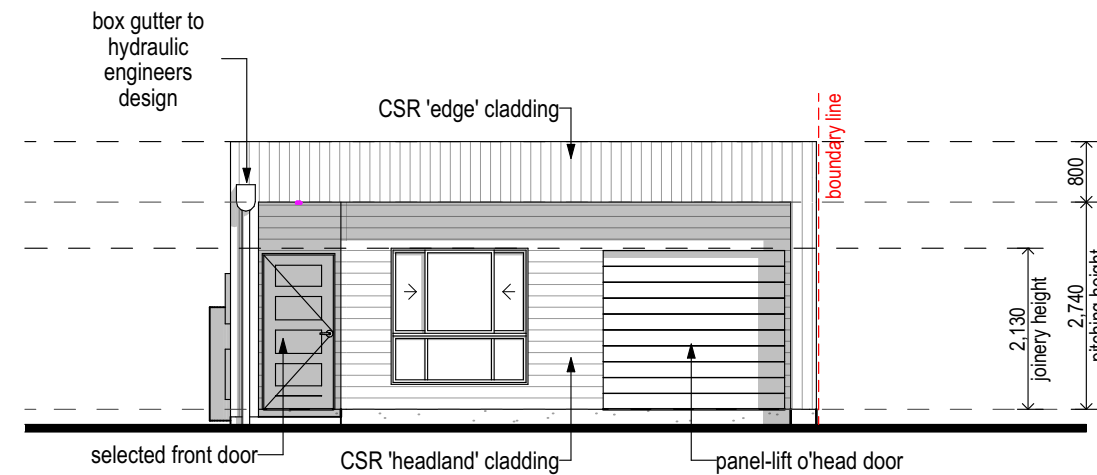


C2 WIND DESIGN RATING

GUTTER OVERFLOW PLAN GROUND FLOOR

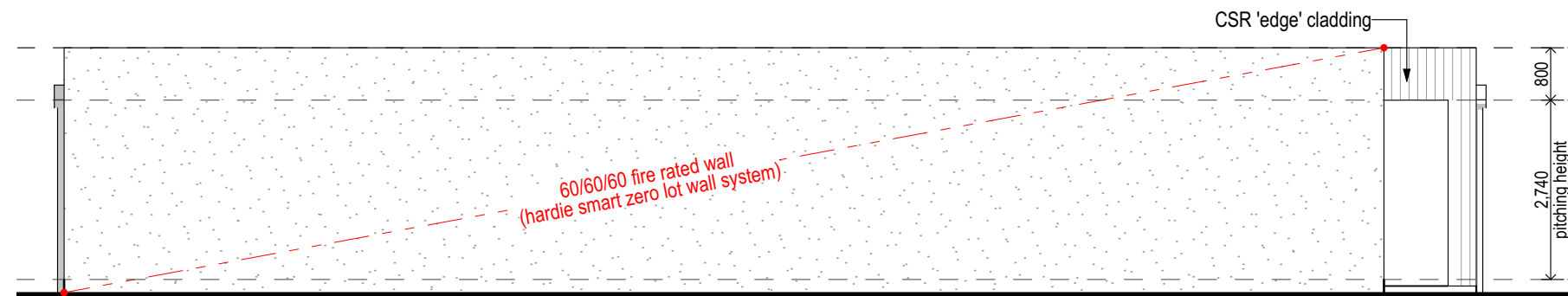
Scale 1:100

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	OWNER/S			MODEL: Special Design		JOB No. 24L528QU	
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Elevation 1

Scale 1:100



Elevation 2

Scale 1:100



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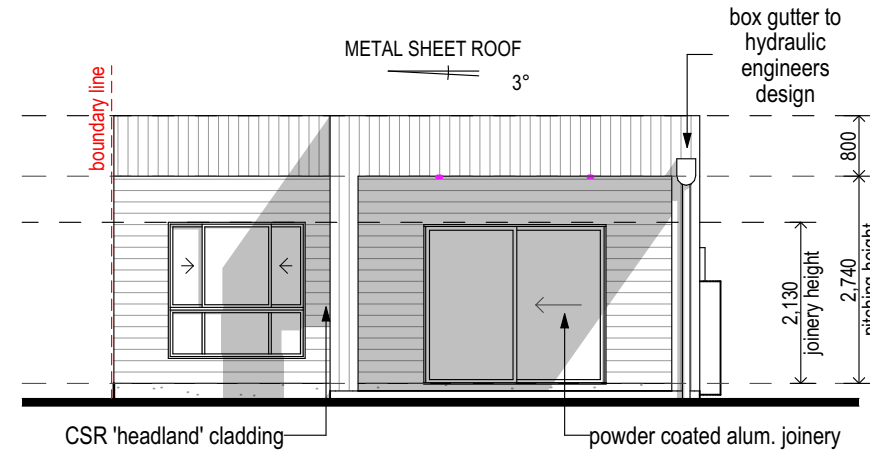
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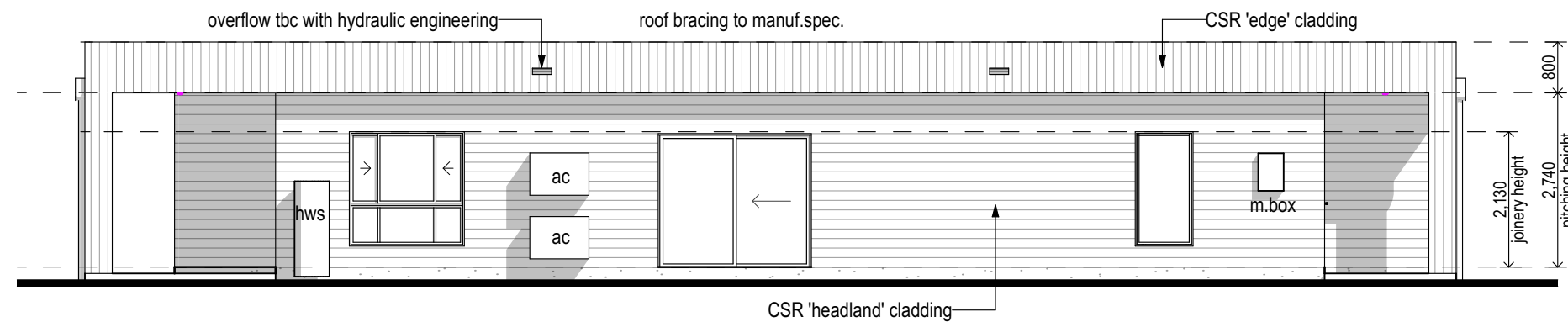
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No. **7 OF 15**



Elevation 3

Scale 1:100



Elevation 4

Scale 1:100



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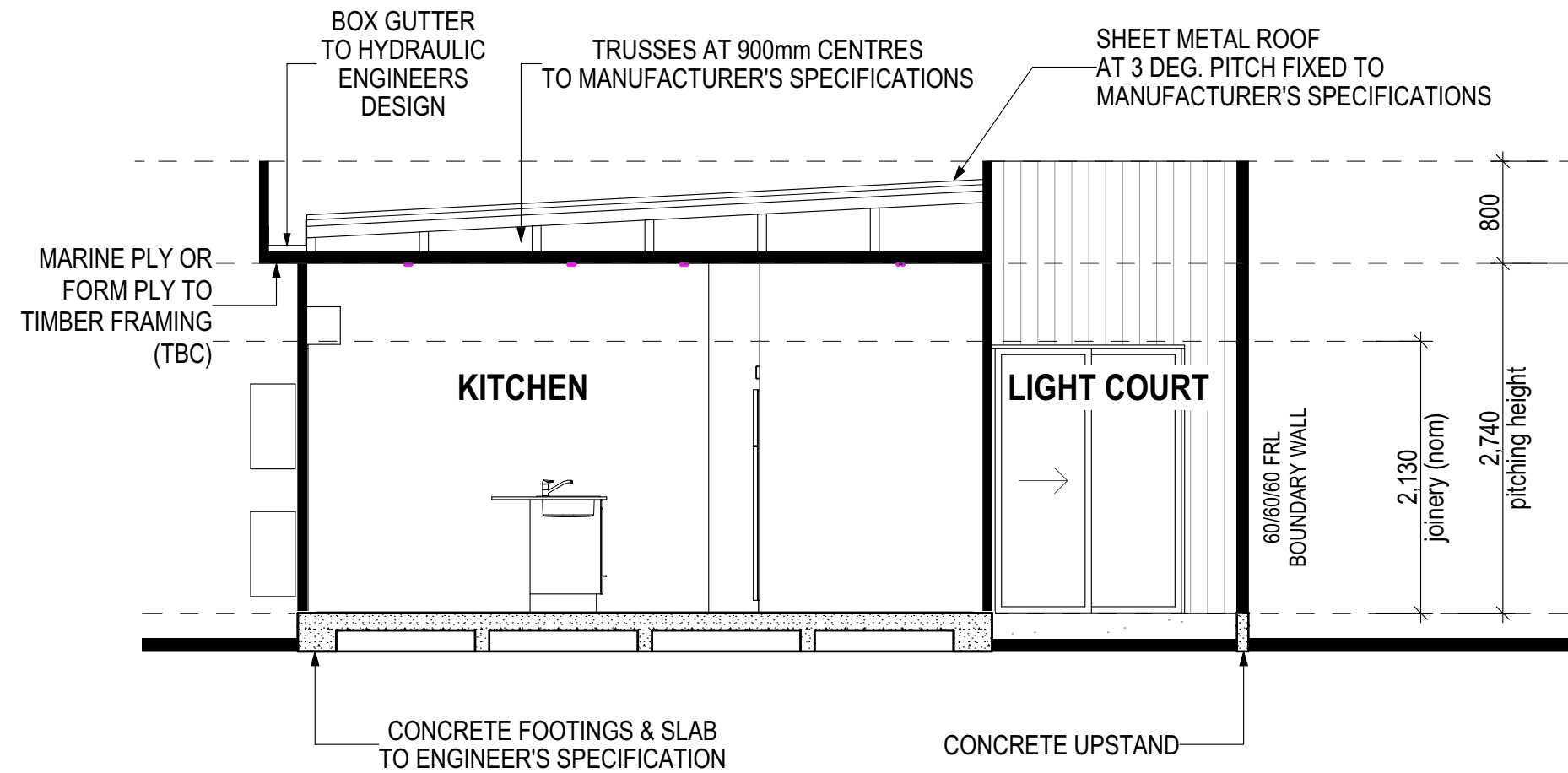
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Section XX
Scale 1:50