

SITE NOTES

- 1. Written dimensions take precedence over scale.
- 2. Builder to verify all boundary clearances and site set-out dimensions prior to commencement of construction.
- 3. Levels & contours are based on assumed datum. Prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
- 4. This site plan is based on a disclosure plan. Therefore the floor level is subject to change. Additional site survey must be taken to confirm the required bench level.
- 5. Retaining walls greater than 1m high (cut or fill) are required to be engineer designed & certified prior to building approval. Retaining walls are closer than 1500mm from boundary require a building relaxation. (fill side only).
- 6. Batters to comply with appropriate soil classification described in table 3.1.1.1 BCA Vol 2.
- 7. Engineer to provide design to address footings if built in close proximity to sewer, stormwater or easements.
- 8. Vehicular cross-over to be constructed as per local council requirements and/or approval.

SERVICES

- 1. Services have been plotted from records of relevant authorities where available. Prior to any excavation or construction on site, the relevant authority should be contacted for possible location of further underground services.
- 2. All household sewerage and waste to be discharged to sewer system.
- 3. Stormwater & roof water to be connected to legal point of discharge in accordance with Pt 3 BCA Vol 2 and local authorities requirements. Approval to be obtained form local authority prior to work commencing.
- 4. Grade soil away from perimeter of building to prevent ponding. 1:20 minimum fall. Surface water to be channelled to legal point of discharge. ie. yard gully grate or similar.
- 5. Provide 1:20 ground surface fall towards gully pits. Final location of pits subject to change to suit site conditions. Contractor to check with site supervisor before commencing work.

GENERAL NOTES

- 1. Scrape away vegetation & cut & fill to provide a level building platform.
- 2. Floor slab to be in accordance with engineers drawings & details.
- 3. Termite protection is a visual barrier system with approved collars at penetrations in accordance with AS 3660 - 2014.
- 4. This site plan is transcription of the original contour survey & the builder is to verify all information contained hereon prior to site start.
- 5. The driveway & path shown on the plan is the suggested layout - areas shown on plan.

SITE DESCRIPTION/DATA

LOT : 526 on SP296915
PARISH : NA
COUNTY : NA
AUTHORITY : Gladstone Regional Council

AREA = 288m²
SITE COVERAGE 53.16 %

Front fence along the Harvey Road Frontage is required to remain a minimum of 50 percent transparent and is to include a gate for direct pedestrian access from the existing stairs.

Combined height of fence and retaining wall must not exceed 1.8m

Light court to remain un-roofed, with no overhangs to maintain access to natural light.

Clothes line location not approved.

Clothes line may only be located on side boundary fences.

SITE AND DRAINAGE PLAN

Scale 1:200

To Comply with part MP4.1 of the Queensland Development Code.

Sections:

Energy Efficiency:

- Verification indication achievement of not less than the 6-star rating by an approved assessor.

Energy Efficiency Fixtures:

- Must have energy efficiency lighting for minimum of 80% of total fixed internal lighting.
- New and Replacement Air-Conditioners to have EER to at least 2.9

Water Conservation:

- All shower roses to have minimum 3-star Water Efficiency Labelling and Standards rating.
- All toilets to have dual flush and minimum 4-star Water Efficiency Labelling and Standards rating.
- Cistern sizes to be compatible with toilet bowl size to allow proper function.
- All tapware to Laundry tub, Kitchen sinks, & Basins to have minimum 3-star Water Efficiency Labelling and Standards rating.

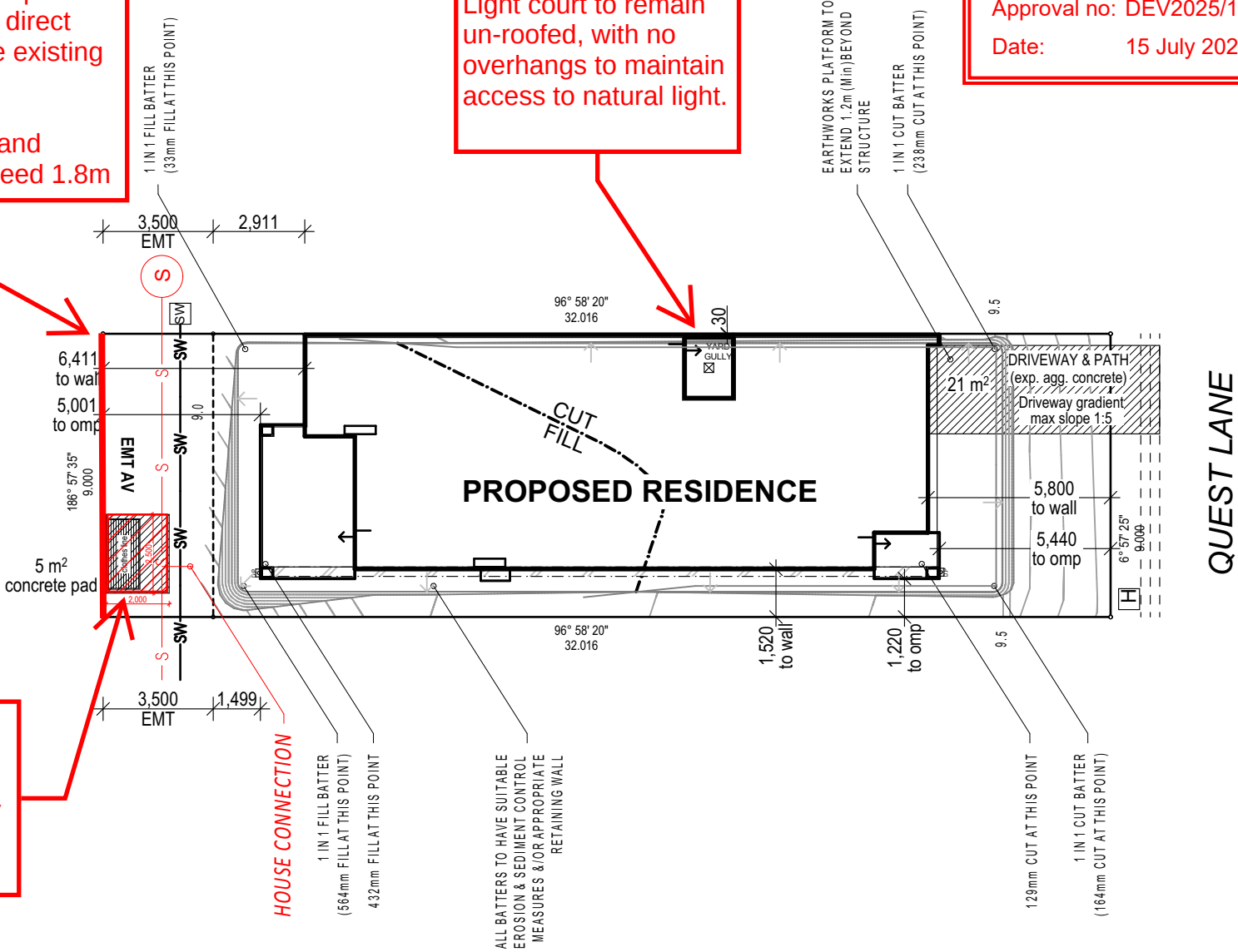
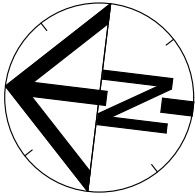
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2025/1629

Date: 15 July 2025



FULL WORKING DRAWINGS FOR CONSTRUCTION APPROVED BY CLIENT: 13/12/2024



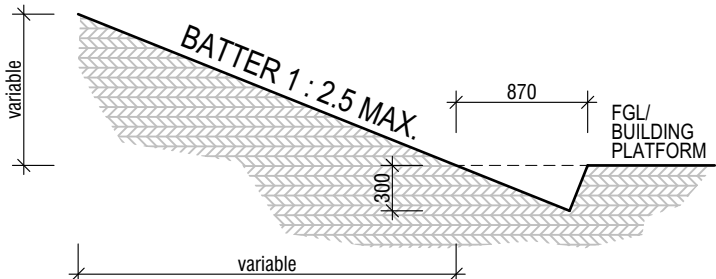
AMENDED IN RED

By: Elrico Koeberg

Date: 12 June 2025



SPOON DRAIN



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- 13. Lift off hinges to all WC doors to comply with Australian Standards.
- 14. Stair construction to comply with Pt 3.9.1 and balustrades to comply with pt 3.9.2 BCA Vol 2.
- 15. DCP & flashings to comply with Pt 3.3.4 BCA Vol 2

PLAN LEGEND

- af = above floor level
- hd = head at 2100 afl.
- fw = floor waste
- sd = smoke detector
- vb = vanity basin
- obs = obscure glazing
- mb = meter box
- dp = downpipe
- ohc = overhead cupboard
- MH = manhole
- ref = refrigerator prov.
- mw = microwave prov.
- dw = dishwasher prov.
- ply = pantry
- wm = washing machine prov.
- ghw = gas hot water unit
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- HC = garden tap

PLEASE READ CAREFULLY

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OWNER/S
WITNESS DATE

CLIENT:

John Matkovic

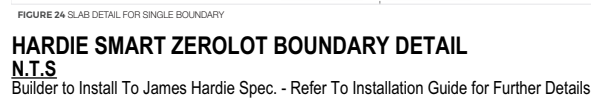
Lot 526, #11 Quest Lane
Clinton

MODEL:
Special Design

ISSUE/DATE:
FINAL ISSUE C :
27/02/2025

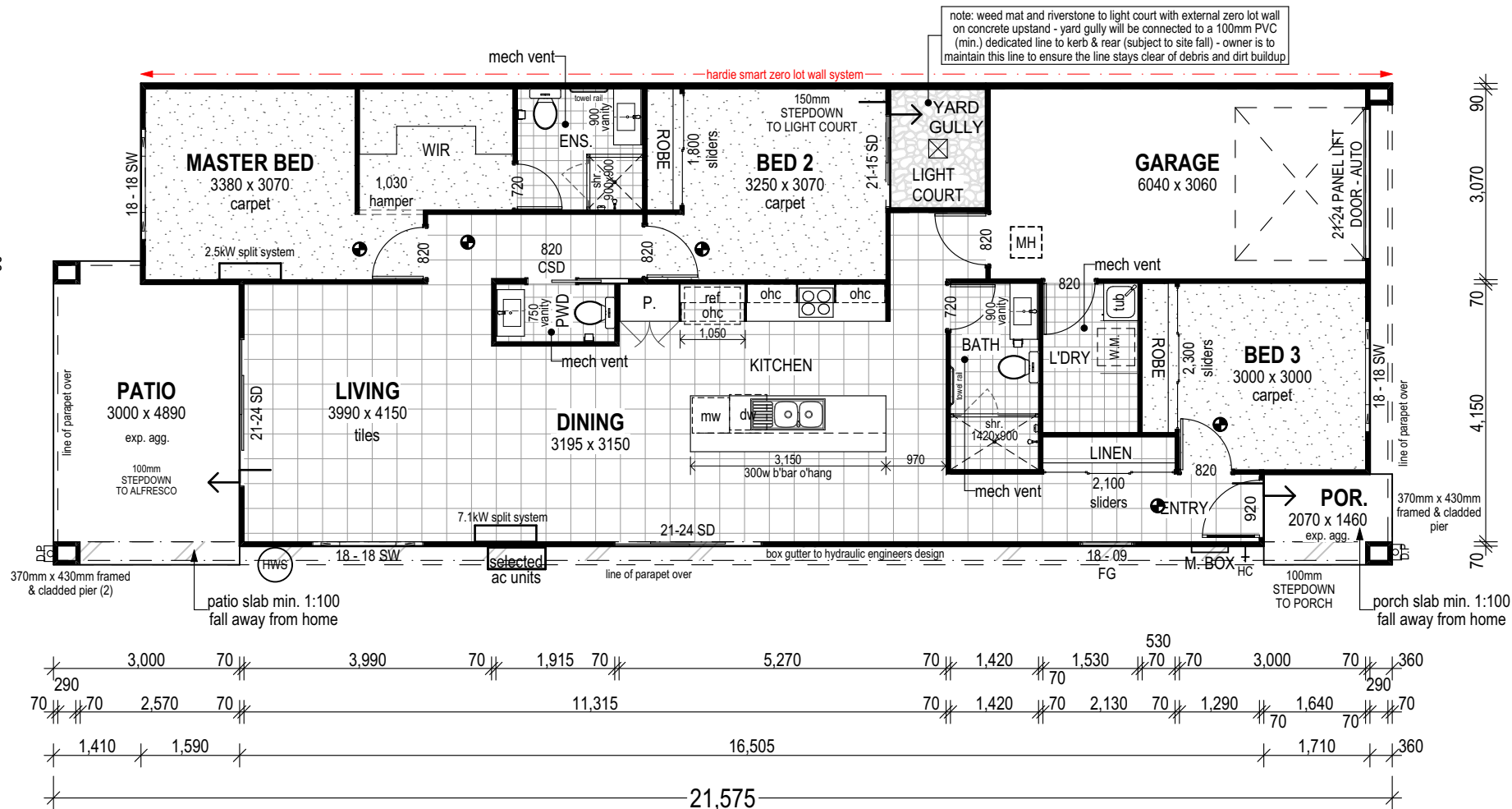
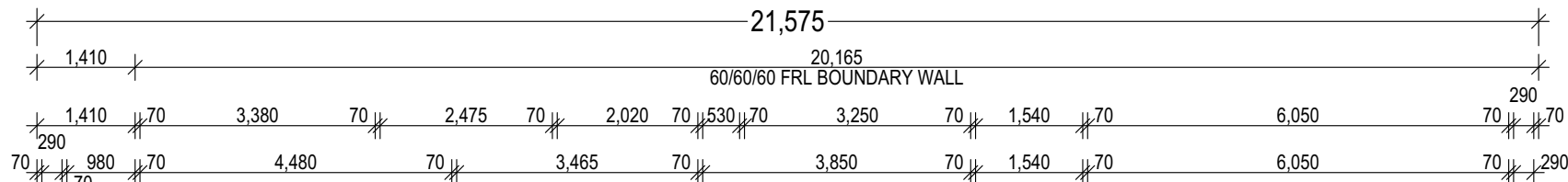
JOB No. 24L526QU

SHEET No. 4 OF 15



1. EXTERNAL WALLS = 70mm FRAME (90mm 60/60/60 FRL Boundary Wall)
2. C2 WIND DESIGN SPEED NOMINATED.
3. WC DOOR TO HAVE EXTERNAL REMOVABLE HINGES IN ACCORDANCE WITH BCA-3.8.3.3.

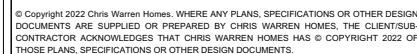
AJ = Articulation joint location nominated on drawings. Builder to provide extra Articulation joints over & above what is nominated on drawings where necessary to comply with the Building Code of Australia, Engineers structural design requirements, soil report recommendations and site classification requirements



AREA TABLE	
AREA	SQ METRES:
1 LIVING	116.62
2 GARAGE	19.40
3 PORCH	3.02
4 ALFRESCO	14.08
	153.12 m ²

DRAINAGE TO BE IN ACCORDANCE WITH PART 3.3 NCC Vol 2. POINT OF DISCHARGE TO MEET LOCAL AUTHORITY REQUIREMENTS.

Scale 1:100



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WITNESS _____ DATE _____

MODEL: Special Design	JOB No. 24L526QU
ISSUE/DATE: FINAL ISSUE C : 27/02/2025	SHEET No. 5 OF 15

NOTE:
- DOWNPIPE AND GUTTER SELECTION MADE IN ACCORDANCE WITH TABLE 3.5.2.2 OF THE NCC.

- DOWNPIPE SIZE TO BE USED - 150mm DIA - RAINHEAD DETAILS BY ENGINEER
GUTTER TYPE TO BE USED - 205mm min. D GUTTER WITH 10mm GUTTER SPACING CLIPS (TBC)
TO ACHIEVE COMPLIANCE WITH OVERFLOW MEASURES IN TABLE 3.5.2.3

- VALLEY GUTTERS TO HAVE A MINIMUM WIDTH OF 400mm AND BE WIDE ENOUGH TO ALLOW THE ROOF COVERING TO OVERHANG NOT LESS THAN 150mm EACH SIDE OF THE GUTTER.

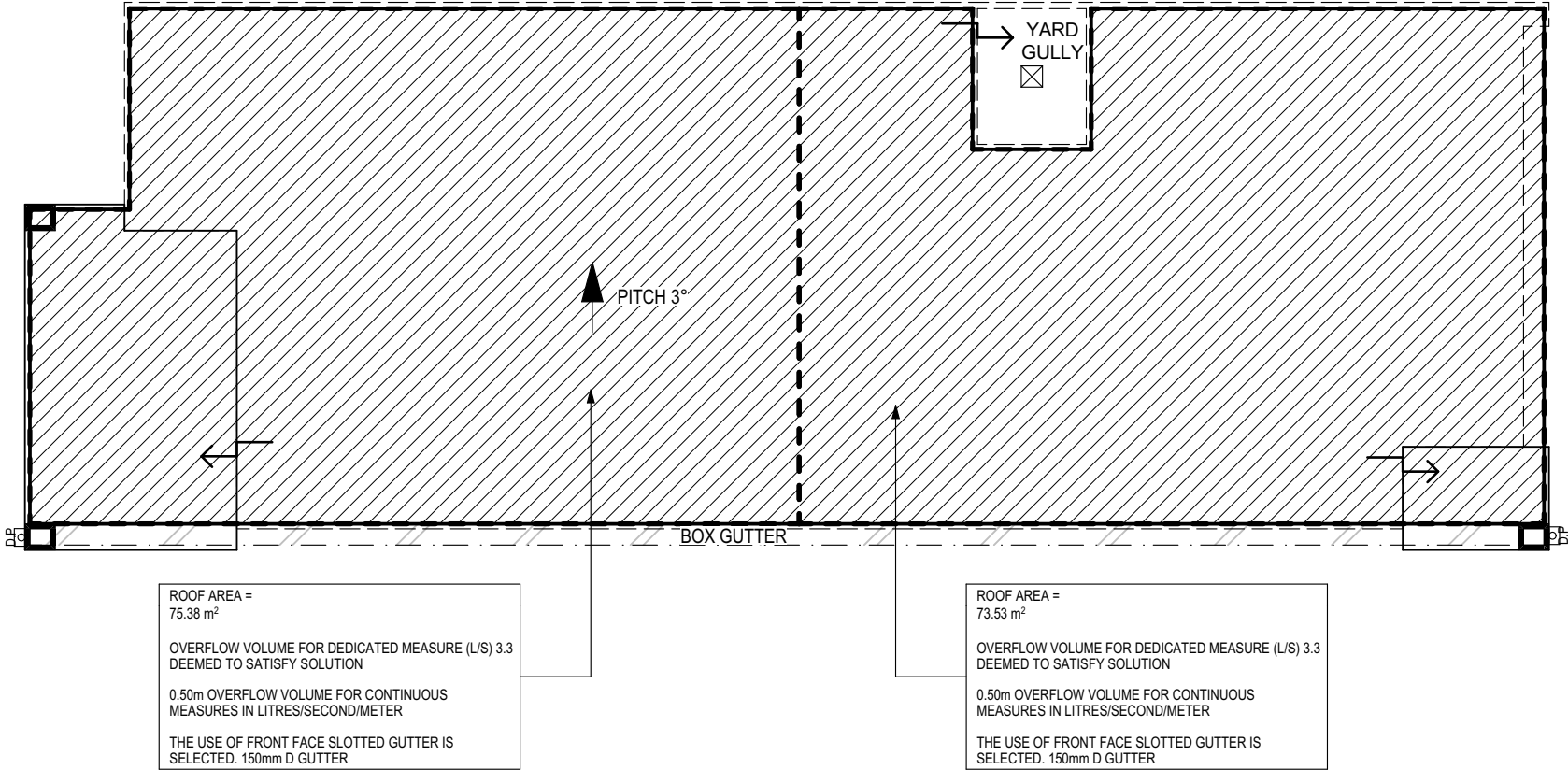
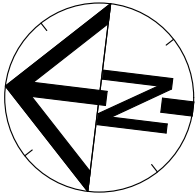
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C2 WIND DESIGN RATING

GUTTER OVERFLOW PLAN GROUND FLOOR

Scale 1:100

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	MODEL: Special Design		JOB No. 24L526QU		
	ISSUE/DATE: FINAL ISSUE C : 27/02/2025		SHEET No. 6 OF 15		

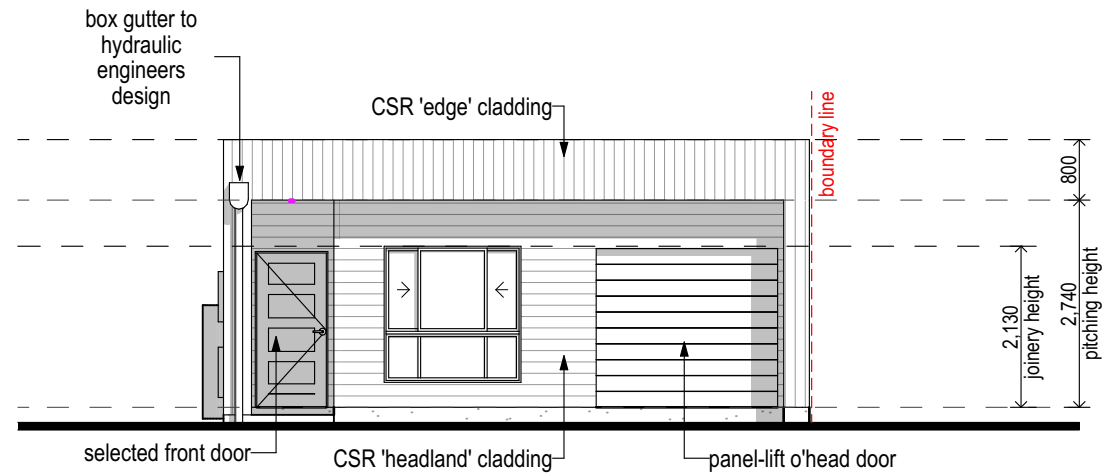
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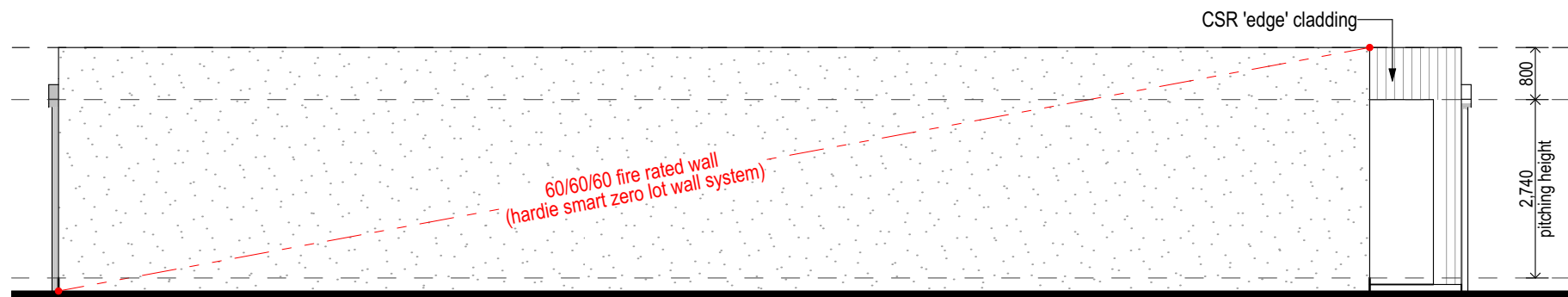


Queensland
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FULL WORKING DRAWINGS
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Elevation 1
Scale 1:100



Elevation 2
Scale 1:100



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JOB
No. 24L526QU

SHEET
No. 7 OF 15

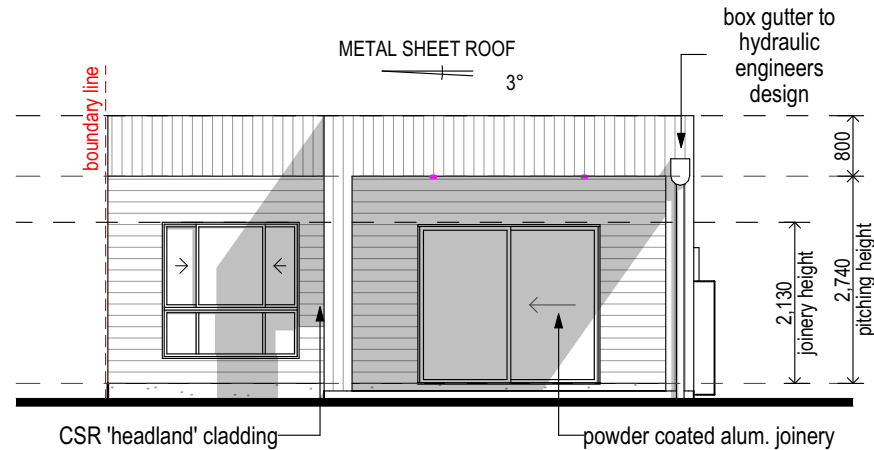
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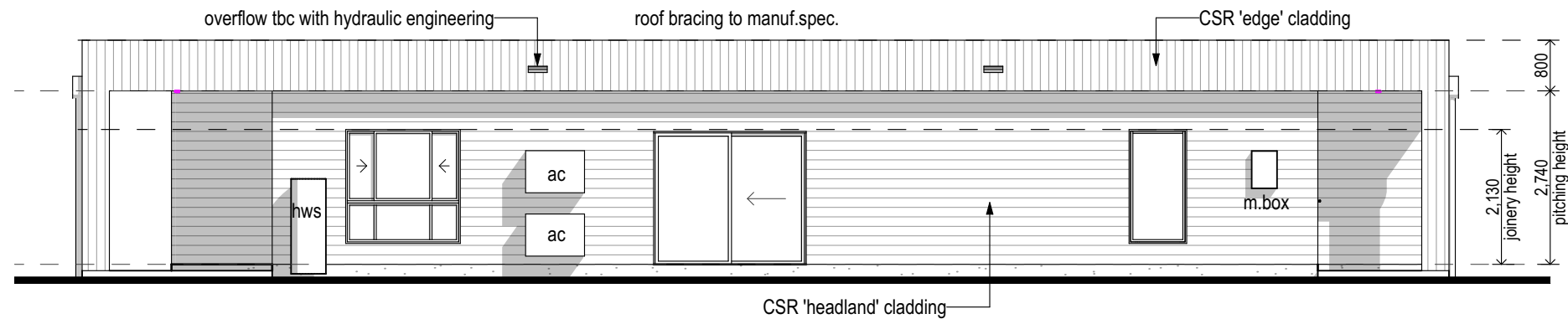


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Elevation 3

Scale 1:100



Elevation 4

Scale 1:100



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No. **8 OF 15**

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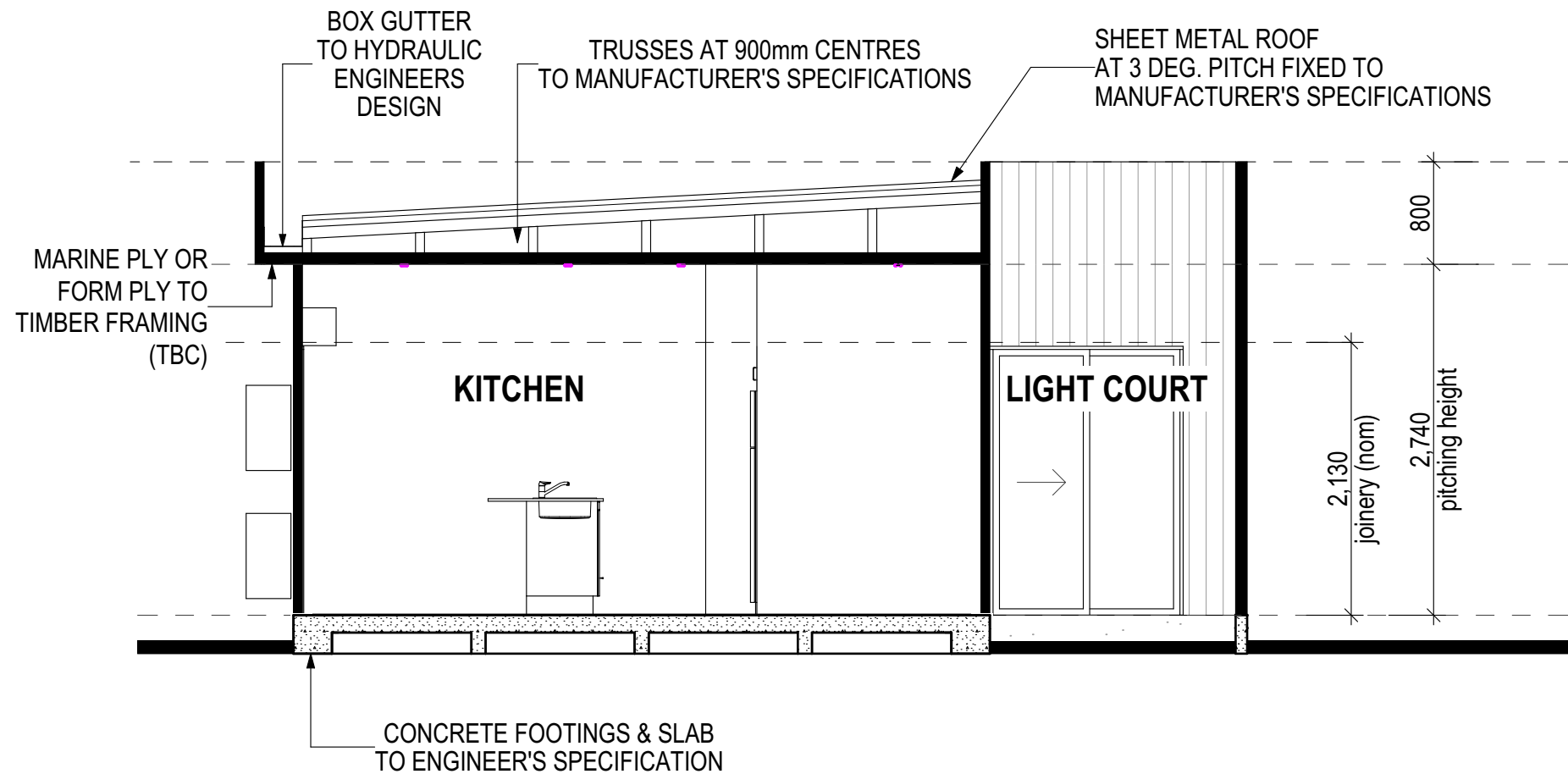
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Section XX

Scale 1:50

C2 WIND DESIGN RATING

TERMITE PROTECTION IS A VISUAL BARRIER SYSTEM WITH
APPROVED COLLARS AT PENETRATIONS
IN ACCORDANCE WITH AS.3660 - 2014

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