

APPENDIX C

Architectural Plans

Prepared by:

Verve Design Group

ARCHITECTURAL DRAWINGS

PROPOSED MIXED USE DEVELOPMENT

HOLLOWS ROAD, FLAGSTONE



3D PERSPECTIVE FOR ILLUSTRATION ONLY

DA ARCHITECTURAL DRAWINGS	
DRG No.	DRAWING TITLE
DA00	COVER PAGE
DA01	PROPOSED SITE PLAN
DA1B	PROPOSED GFA PLAN
DA02	PROPOSED STAGING PLAN
DA03	PROPOSED LOT PLAN
DA04	T1 - BUILDING ELEVATIONS & PERSPECTIVES
DA05	T1 - BUILDING ELEVATIONS & PERSPECTIVES
DA06	T2 - BUILDING ELEVATIONS & PERSPECTIVES
DA07	T3 - BUILDING ELEVATIONS & PERSPECTIVES
DA08	T4 - BUILDING ELEVATIONS & PERSPECTIVES
DA09	T5 - BUILDING ELEVATIONS & PERSPECTIVES

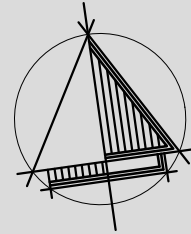
DA ARCHITECTURAL DRAWINGS	
DRG No.	DRAWING TITLE
DA10	T6 - BUILDING ELEVATIONS & PERSPECTIVES
DA11	DELETED
DA12	T8 - BUILDING ELEVATIONS & PERSPECTIVES
DA13	T9 - BUILDING ELEVATIONS & PERSPECTIVES
DA14	T10 - BUILDING ELEVATIONS & PERSPECTIVES
DA15	PHOTOREALISTIC RENDER

LANDSCAPING SHOWN IS FOR 'ARTIST IMPRESSION' PURPOSES ONLY.
REFERENCE SHOULD BE MADE TO THE LANDSCAPE DRAWINGS
PREPARED BY THE RELEVANT CONSULTANT.

THIS DRAWING PACKAGE IS FOR D.A. PURPOSES ONLY AND IS NOT TO BE USED FOR TENDER PURPOSES.
ALL DESIGN COMPONENTS ARE SHOWN INDICATIVE ONLY AND ARE SUBJECT TO FINAL DESIGN DURING DETAILED DESIGN BY THE RESPECTIVE CONSULTANT.
ANY PRICING BASED UPON THE DETAILS SHOWN IN THESE DRAWINGS ARE COMPLETELY AT THE RESPONSIBILITY OF THE TENDERER.
VERVE BUILDING DESIGN CO. SHALL NOT BE HELD RESPONSIBLE FOR ANY REQUIRED CHANGES OR UPDATES TO THE DESIGN, POST D.A. THAT ARE PRICE IMPACTED.

PROPERTY DESCRIPTION

LOTS 25007 & 25009 on SP303120
LOCALITY: FLAGSTONE
COUNCIL: LOGAN CITY COUNCIL



DEVELOPMENT ASSESSMENT

SITE AREA (APPROX) - 65,945m²

DEVELOPMENT AREA - 57,470m²

INCLUDES HOLLOWES ROAD EXTENSION WORKS
EXCLUDES NEW BEITH ROAD EXTENSION WORKS

BUILDING AREAS

- T1 - SHOWROOM - 9,066.5m²
- T2A - SHOWROOM - 3,111.5m²
EXCLUDES LIFT/STAIR LOBBY - 25m²
- T2B - SHOWROOM - 661.5m²
EXCLUDES LIFT/STAIR LOBBY - 25m²
- T3 - FOOD & DRINK - 278m²
INCLUDES REFUSE - 30m²
EXCLUDES ALFRESCO - 46m²
- T4 - FOOD & DRINK - 250m²
- T5 - FOOD & DRINK - 270m²
INCLUDES INTERNAL REFUSE - 15m²
- T6 - FOOD & DRINK - 150m²
INCLUDES INTERNAL REFUSE - 10m²
- T7 - CARWASH - 63.5m²
UNENCLOSED WASH BAYS - 248m²
- T8 - SHOWROOM - 928m²
- T9 - WORKSHOP - 308.5m²
- T10 - SELF STORAGE - 10,400m²
4 STOREY BUILDING - APPROX. NLA - 7,900m²

TOTAL BUILDING GFA - 25,487.5m²

EXTERNAL STRUCTURES

- T3 REFUSE/SERVICES - 30m²
- T4 REFUSE/SERVICES - 42.5m²
- T6 REFUSE/SERVICES - 10m²
- T7 REFUSE/SERVICES - 18.5m²
- T8/9 REFUSE/SERVICES - 30m²

CAR PARKING

- T1-5 PARKING REQ. - TBC
- T1-5 PARKING PROV. - 397
- T6-9 PARKING REQ. - TBC
- T6-9 PARKING PROV. - 40
- T10 PARKING REQ. - TBC
- T10 PARKING PROV. - 15

D/THRU QUEUE

- T3 D/THRU - 16
- T4 D/THRU - 13
- T5 D/THRU - 11
- T6 D/THRU - 11

IMPERVIOUS AREA

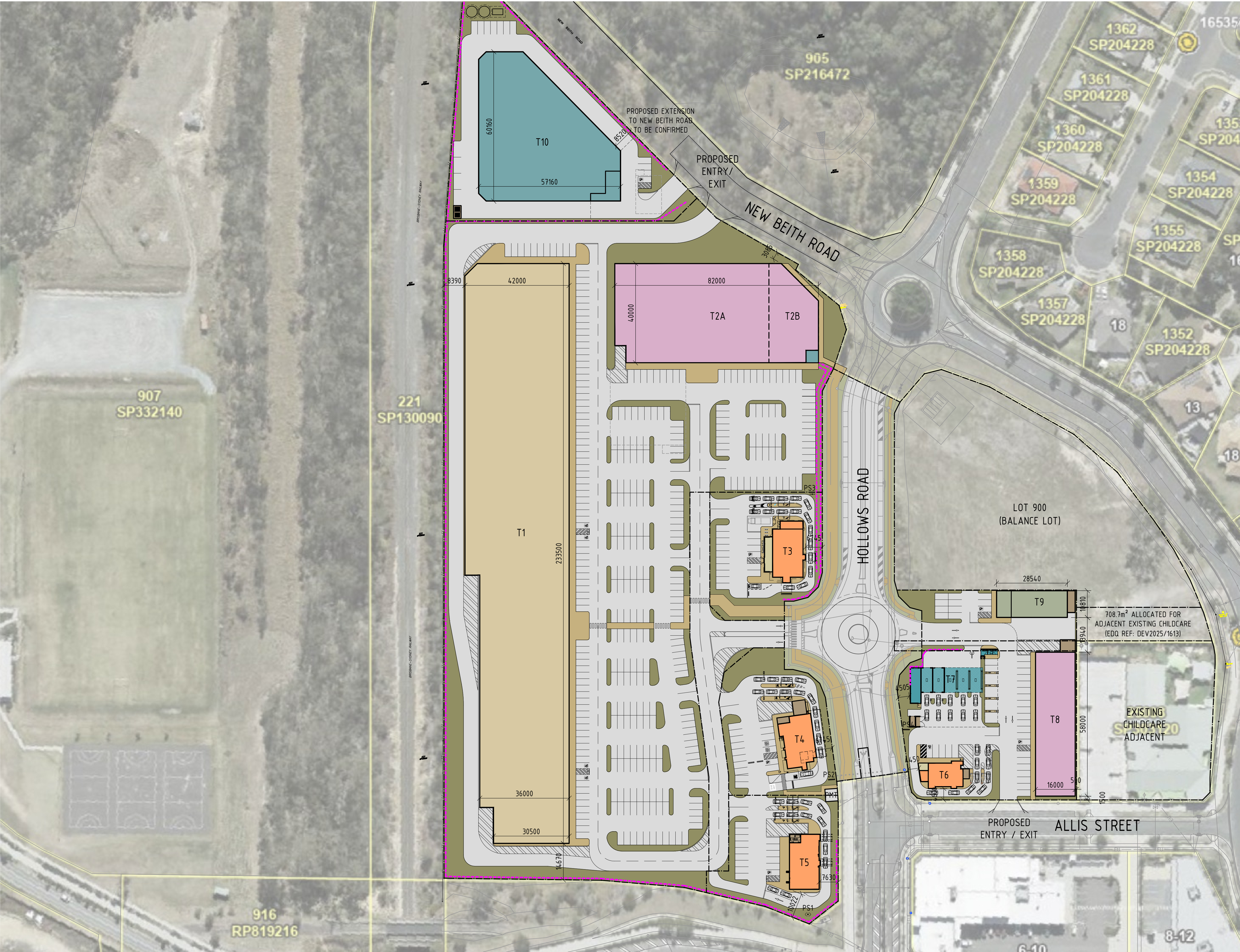
- PRE-DEVELOPMENT - 0m²
- POST-DEVELOPMENT - 49,316.5m²

LANDSCAPE AREA

- PRE-DEVELOPMENT - 65,945m²
- POST-DEVELOPMENT - 16,628.5m²

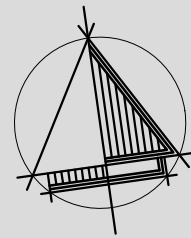
LEGEND:

PS PYLON SIGN



PROPERTY DESCRIPTION

LOTS 25007 & 25009 on SP303120
LOCALITY: FLAGSTONE
COUNCIL: LOGAN CITY COUNCIL



DEVELOPMENT ASSESSMENT

SITE AREA (APPROX) - 65,945m²

DEVELOPMENT AREA - 57,470m²

INCLUDES HOLLOWS ROAD EXTENSION WORKS
EXCLUDES NEW BEITH ROAD EXTENSION WORKS

BUILDING AREAS

- T1 - SHOWROOM - 9,066.5m²
- T2A - SHOWROOM - 3,111.5m²
EXCLUDES LIFT/STAIR LOBBY - 25m²
- T2B - SHOWROOM - 661.5m²
EXCLUDES LIFT/STAIR LOBBY - 25m²
- T3 - FOOD & DRINK - 278m²
INCLUDES REFUSE - 30m²
EXCLUDES ALFRESCO - 46m²
- T4 - FOOD & DRINK - 250m²
- T5 - FOOD & DRINK - 270m²
INCLUDES INTERNAL REFUSE - 15m²
- T6 - FOOD & DRINK - 150m²
INCLUDES INTERNAL REFUSE - 10m²
- T7 - CARWASH - 61.6m²
UNENCLOSED WASH BAYS - 248m²
- T8 - SHOWROOM - 928m²
- T9 - WORKSHOP - 308.5m²
- T10 - SELF STORAGE - 10,400m²
4 STOREY BUILDING - APPROX. NLA - 7,900m²

TOTAL BUILDING GFA - 25,485.6m²

EXTERNAL STRUCTURES

- T3 REFUSE/SERVICES - 30m²
- T4 REFUSE/SERVICES - 42.5m²
- T8/9 REFUSE/SERVICES - 30m²

CAR PARKING

- T1-5 PARKING REQ. - TBC
- T1-5 PARKING PROV. - 397
- T6-9 PARKING REQ. - TBC
- T6-9 PARKING PROV. - 38
- T10 PARKING REQ. - TBC
- T10 PARKING PROV. - 15

D/THRU QUEUE

- T3 D/THRU - 16
- T4 D/THRU - 13
- T5 D/THRU - 11
- T6 D/THRU - 11

IMPERVIOUS AREA

- PRE-DEVELOPMENT - 0m²
- POST-DEVELOPMENT - 49,239m²

LANDSCAPE AREA

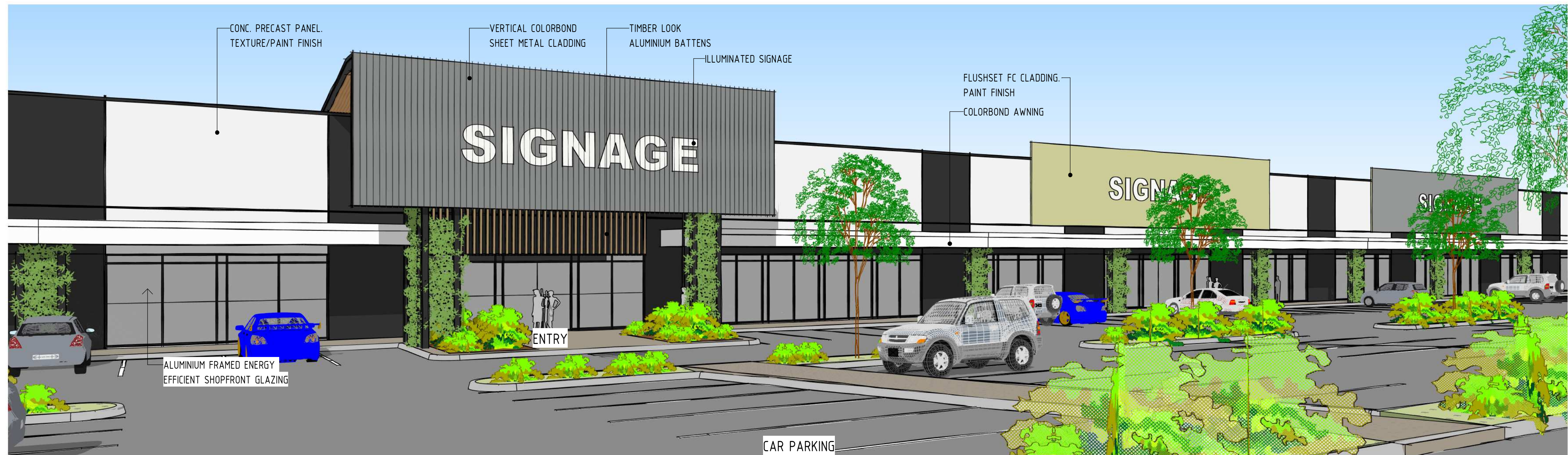
- PRE-DEVELOPMENT - 65,945m²
- POST-DEVELOPMENT - 16,706m²



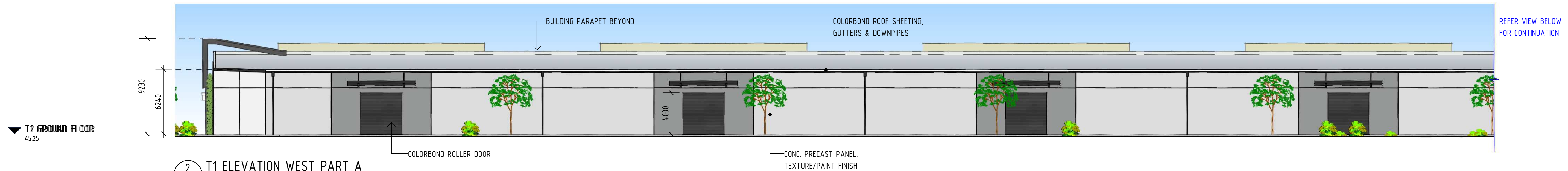
DA ISSUE

THIS DRAWING IS NOT FOR CONSTRUCTION

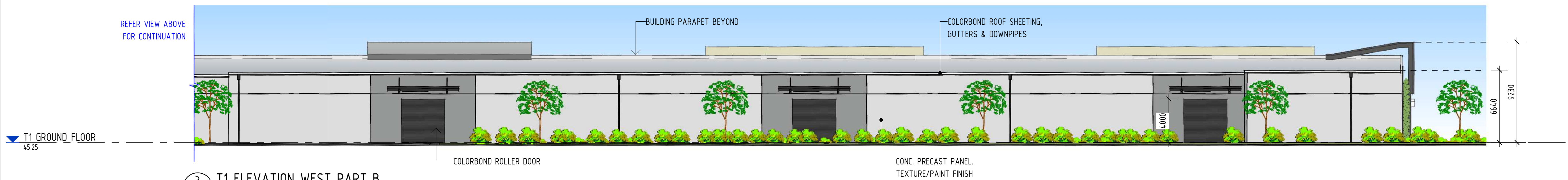
- NOTE:
1. ALL EXTERNAL MATERIALS & FINISHES SHOWN INDICATIVE ONLY & SUBJECT TO FINAL TENANT STANDARDS
 2. ALL DIMENSIONS MEASURED FROM FINISHED GROUND FLOOR LEVEL UNLESS NOTED OTHERWISE
 3. ALL SIGNAGE INCLUDING LOCATIONS & HEIGHTS ARE SUBJECT TO A SEPARATE SIGNAGE APPLICATION & APPROVAL BY LOCAL AUTHORITY
 4. LANDSCAPING IS SHOWN FOR "ARTIST IMPRESSION" PURPOSES ONLY. REFERENCE SHOULD BE MADE TO THE LANDSCAPE DRAWINGS PREPARED BY THE RELEVANT CONSULTANT
 5. BLUE DIM FOR INDICATIVE SIGNAGE FACE DIMENSIONS



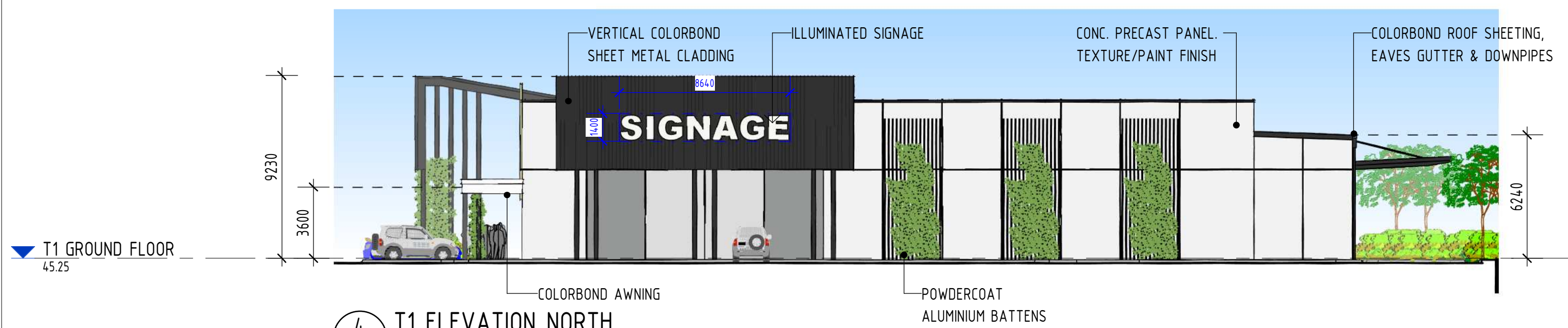
1 T1 PERSPECTIVE 2



2 T1 ELEVATION WEST PART A



3 T1 ELEVATION WEST PART B



4 T1 ELEVATION NORTH

THIS DRAWING PACKAGE IS FOR D.A. PURPOSES ONLY AND IS NOT TO BE USED FOR TENDER PURPOSES. ALL DESIGN COMPONENTS ARE SHOWN INDICATIVE ONLY AND ARE SUBJECT TO FINAL DESIGN DURING DETAILED DESIGN BY THE RESPECTIVE CONSULTANT. ANY PRICING BASED UPON THE DETAILS SHOWN IN THESE DRAWINGS ARE COMPLETELY AT THE RESPONSIBILITY OF THE TENDERER. VERVE BUILDING DESIGN CO. SHALL NOT BE HELD RESPONSIBLE FOR ANY REQUIRED CHANGES OR UPDATES TO THE DESIGN, POST D.A. THAT ARE PRICE IMPACTED.

VERVE SCHEDULES DISCLAIMER:

1. ALL SCHEDULES SHOULD BE CHECKED WITH THE REMAINDER OF THE DRAWING SET.
2. SCHEDULED RATES AND AREAS ARE INTENDED FOR ASSISTANCE ONLY. NO RESPONSIBILITY IS TAKEN FOR THE ACCURACY OF QUANTITIES.
3. ANY DISCREPANCIES IN SCHEDULES SHOULD BE IDENTIFIED TO THE AUTHOR NOTED.
4. ALL AREAS ARE GROSS AREAS, UNLESS NOTED OTHERWISE

CONSULTING ENGINEER



- ☐ commercial ☐ service stations ☐ mixed-use ☐ quick service restaurants ☐ self storage ☐ child care centres ☐ industrial ☐ large format retail

© 2011 copyright, all rights reserved.
This drawing is the © copyright & property of VERVE DESIGN GROUP and must not be used or duplicated without authorisation.
Do not scale this drawing.
Check all dimensions on site prior commencement of works

Revision and approvals				Project Description	
Rev	Date	Drn	Description	Appr	
P1	23.01.2025		ISSUE FOR COMMENT		PROPOSED MIXED USE DEVELOPMENT
P2	21.05.2025	TM	PRELIMINARY ISSUE FOR COMMENT	SS	
A	23.06.2025	BM	DA ISSUE		HOLLOWS ROAD, FLAGSTONE
					Scale @A1 As indicated
					Drawn BM

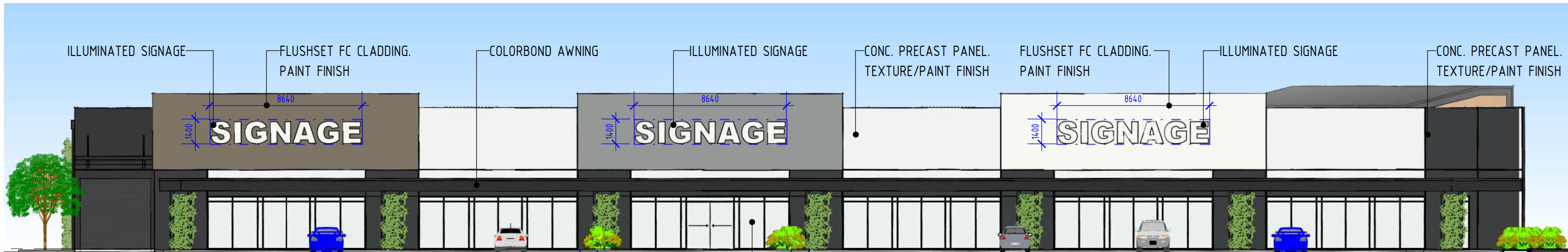
Project Description		Drawing Title	
PROPOSED MIXED USE DEVELOPMENT		T1 - BUILDING ELEVATIONS & PERSPECTIVES	
HOLLOWS ROAD, FLAGSTONE		Job Number - Drawing Number	
		24072	DA05
		Revision	
		A	

Project Description		Drawing Title	
PROPOSED MIXED USE DEVELOPMENT		T1 - BUILDING ELEVATIONS & PERSPECTIVES	
HOLLOWS ROAD, FLAGSTONE		Job Number - Drawing Number	
		24072	DA05
		Revision	
		A	

- NOTE:
1. ALL EXTERNAL MATERIALS & FINISHES SHOWN INDICATIVE ONLY & SUBJECT TO FINAL TENANT STANDARDS
 2. ALL DIMENSIONS MEASURED FROM FINISHED GROUND FLOOR LEVEL UNLESS NOTED OTHERWISE
 3. ALL SIGNAGE INCLUDING LOCATIONS & HEIGHTS ARE SUBJECT TO A SEPARATE SIGNAGE APPLICATION & APPROVAL BY LOCAL AUTHORITY
 4. LANDSCAPING IS SHOWN FOR "ARTIST IMPRESSION" PURPOSES ONLY. REFERENCE SHOULD BE MADE TO THE LANDSCAPE DRAWINGS PREPARED BY THE RELEVANT CONSULTANT
 5. BLUE DIM FOR INDICATIVE SIGNAGE FACE DIMENSIONS

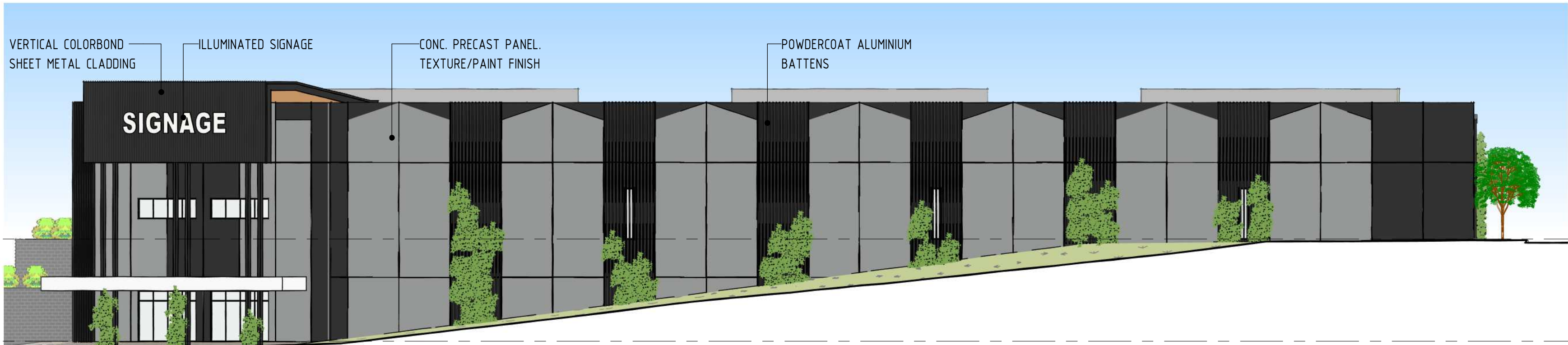


1 T2 PERSPECTIVE

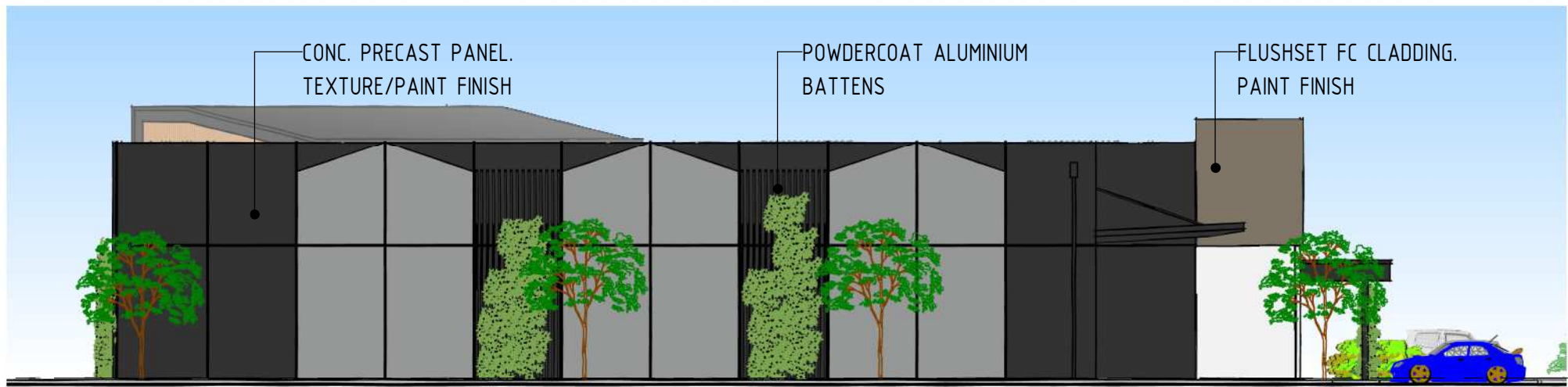


DELIVERY/REFUSE COLLECTION BAY
ALUMINIUM FRAMED ENERGY EFFICIENT SHOPFRONT GLAZING

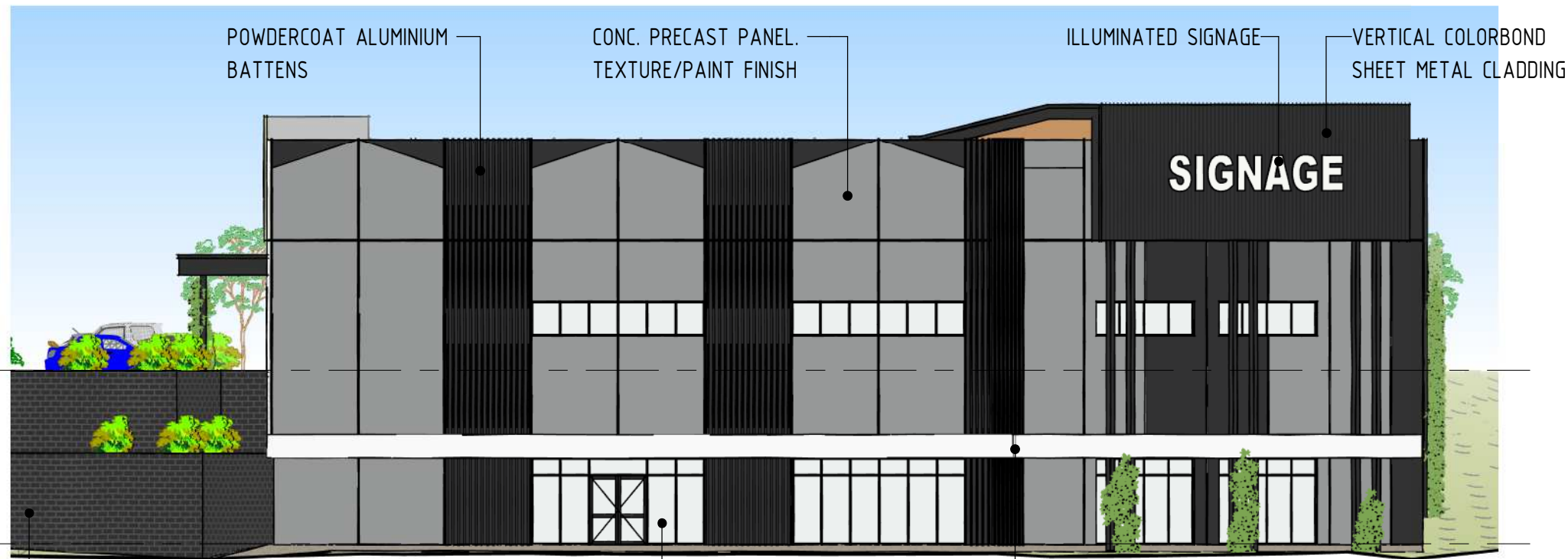
2 T2 ELEVATION SOUTH
1 : 200



3 T2 ELEVATION NORTH
1 : 200



4 T2 ELEVATION WEST
1 : 200



T2 LOWER GROUND 39.25
RETAINING WALL, REFER CIVIL ENG. FOR DETAIL
ALUMINIUM FRAMED ENERGY EFFICIENT SHOPFRONT GLAZING
FLUSHSET FC CLADDING, PAINT FINISH

5 T2 ELEVATION EAST
1 : 200

THIS DRAWING PACKAGE IS FOR **D.A. PURPOSES ONLY** AND IS **NOT** TO BE USED FOR TENDER PURPOSES.
ALL DESIGN COMPONENTS ARE SHOWN INDICATIVE ONLY AND ARE SUBJECT TO FINAL DESIGN DURING DETAILED DESIGN BY THE RESPECTIVE CONSULTANT.
ANY PRICING BASED UPON THE DETAILS SHOWN IN THESE DRAWINGS ARE COMPLETELY AT THE **RESPONSIBILITY OF THE TENDERER**.
VERVE BUILDING DESIGN CO. SHALL NOT BE HELD RESPONSIBLE FOR ANY REQUIRED CHANGES OR UPDATES TO THE DESIGN, POST D.A. THAT ARE PRICE IMPACTED.

- VERVE SCHEDULES DISCLAIMER:**
1. ALL SCHEDULES SHOULD BE CHECKED WITH THE REMAINDER OF THE DRAWING SET.
 2. SCHEDULED RATES AND AREAS ARE INTENDED FOR ASSISTANCE ONLY. NO RESPONSIBILITY IS TAKEN FOR THE ACCURACY OF QUANTITIES.
 3. ANY DISCREPANCIES IN SCHEDULES SHOULD BE IDENTIFIED TO THE AUTHOR NOTED.
 4. ALL AREAS ARE GROSS AREAS, UNLESS NOTED OTHERWISE

CONSULTING ENGINEER



- ☐ commercial ☐ service stations ☐ mixed-use ☐ quick service restaurants ☐ self storage ☐ child care centres ☐ industrial ☐ large format retail

© 2011 copyright, all rights reserved.
This drawing is the © copyright & property of VERVE DESIGN GROUP and must not be used or duplicated without authorisation.
Do not scale this drawing.
Check all dimensions on site prior commencement of works

Revision and approvals					
Rev	Date	Drn	Description	Appr	
P1	23.01.2025		ISSUE FOR COMMENT		SS
P2	21.05.2025	TM	PRELIMINARY ISSUE FOR COMMENT		
A	23.06.2025	BM	DA ISSUE		

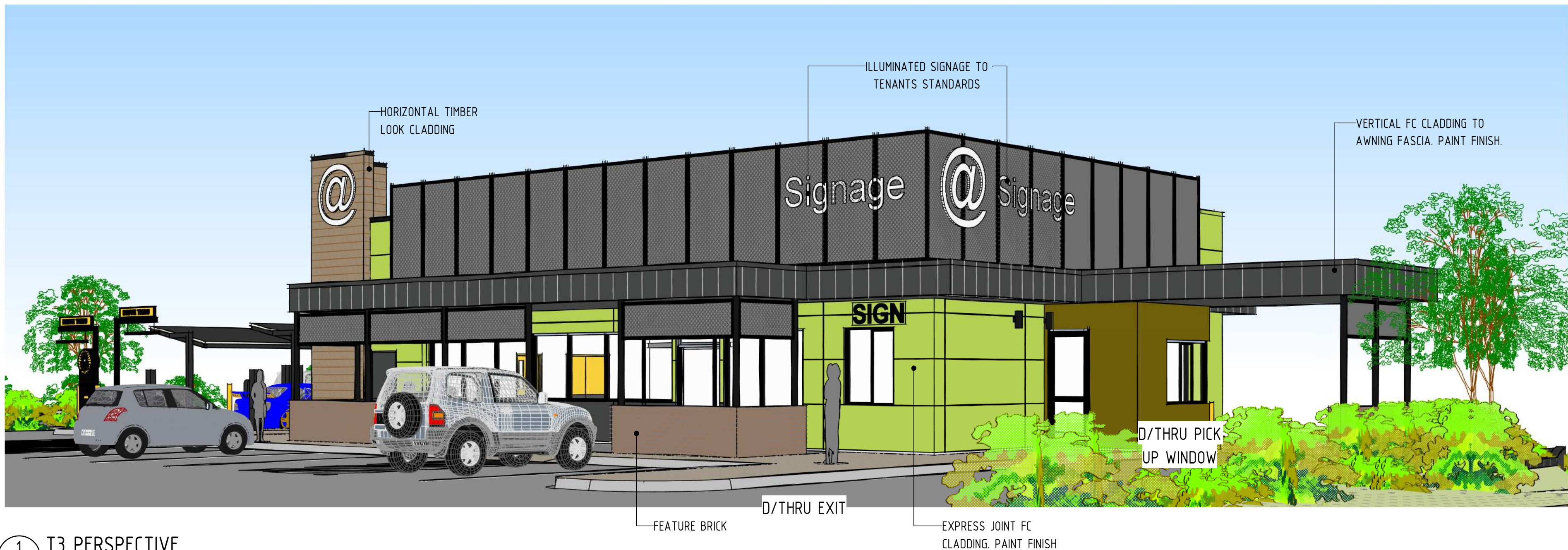
Project Description		Scale @A1		Date	
PROPOSED MIXED USE DEVELOPMENT		As indicated		JAN 2025	
HOLLOWS ROAD, FLAGSTONE		Drawn BM		Approved By GN	

Drawing Title		Job Number - Drawing Number		Revision	
T2 - BUILDING ELEVATIONS & PERSPECTIVES		24072		DA06	
				A	

THIS DRAWING PACKAGE IS FOR **D.A. PURPOSES ONLY** AND IS **NOT** TO BE USED FOR TENDER PURPOSES.
ALL DESIGN COMPONENTS ARE SHOWN INDICATIVE ONLY AND ARE SUBJECT TO FINAL DESIGN DURING DETAILED DESIGN BY THE RESPECTIVE CONSULTANT.
ANY PRICING BASED UPON THE DETAILS SHOWN IN THESE DRAWINGS ARE COMPLETELY AT THE **RESPONSIBILITY OF THE TENDERER**.
VERVE BUILDING DESIGN CO. SHALL NOT BE HELD RESPONSIBLE FOR ANY REQUIRED CHANGES OR UPDATES TO THE DESIGN, POST D.A. THAT ARE PRICE IMPACTED.

DA ISSUE
THIS DRAWING IS NOT FOR CONSTRUCTION

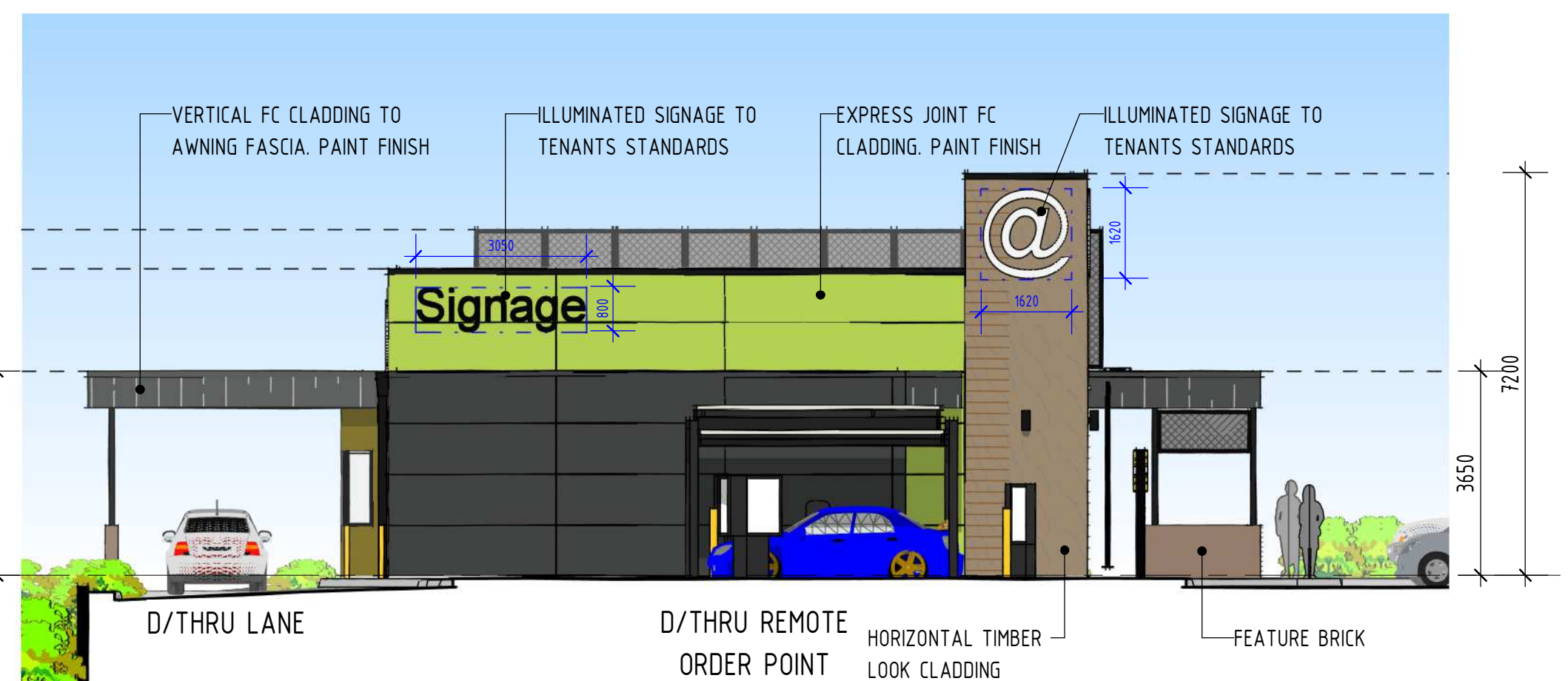
- NOTE:**
1. ALL EXTERNAL MATERIALS & FINISHES SHOWN INDICATIVE ONLY & SUBJECT TO FINAL TENANT STANDARDS
 2. ALL DIMENSIONS MEASURED FROM FINISHED GROUND FLOOR LEVEL UNLESS NOTED OTHERWISE
 3. ALL SIGNAGE INCLUDING LOCATIONS & HEIGHTS ARE SUBJECT TO A SEPARATE SIGNAGE APPLICATION & APPROVAL BY LOCAL AUTHORITY
 4. LANDSCAPING IS SHOWN FOR "ARTIST IMPRESSION" PURPOSES ONLY. REFERENCE SHOULD BE MADE TO THE LANDSCAPE DRAWINGS PREPARED BY THE RELEVANT CONSULTANT
 5. BLUE DIM FOR INDICATIVE SIGNAGE FACE DIMENSIONS



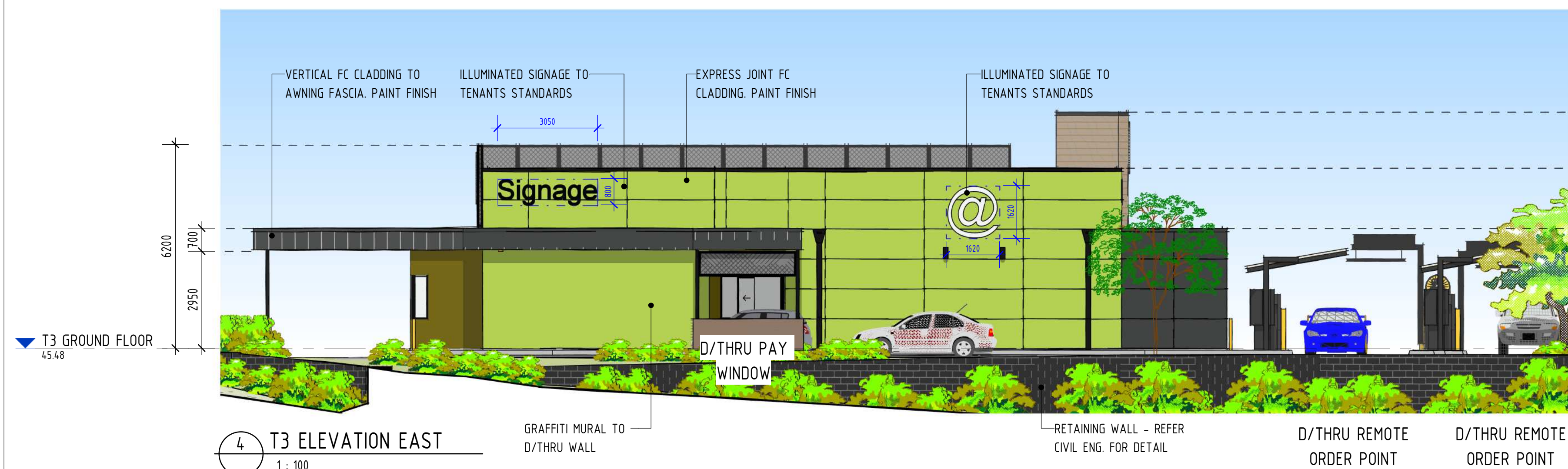
1 T3 PERSPECTIVE



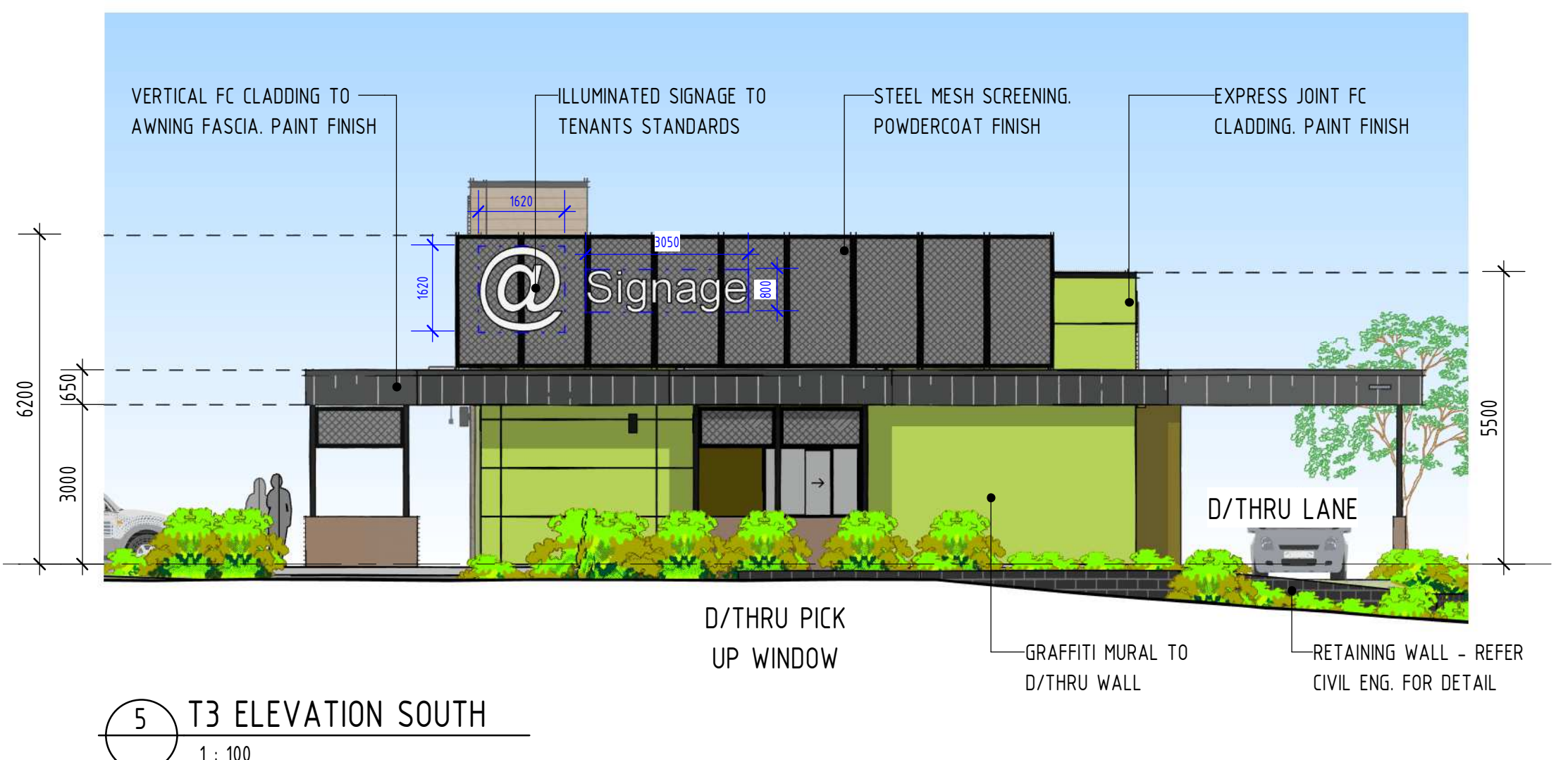
2 T3 ELEVATION WEST
1 : 100



3 T3 ELEVATION NORTH
1 : 100



4 T3 ELEVATION EAST
1 : 100



5 T3 ELEVATION SOUTH
1 : 100

VERVE SCHEDULES DISCLAIMER:

1. ALL SCHEDULES SHOULD BE CHECKED WITH THE REMAINDER OF THE DRAWING SET.
2. SCHEDULED RATES AND AREAS ARE INTENDED FOR ASSISTANCE ONLY. NO RESPONSIBILITY IS TAKEN FOR THE ACCURACY OF QUANTITIES.
3. ANY DISCREPANCIES IN SCHEDULES SHOULD BE IDENTIFIED TO THE AUTHOR NOTED.
4. ALL AREAS ARE GROSS AREAS, UNLESS NOTED OTHERWISE

CONSULTING ENGINEER



- | | |
|---------------------------------------|--|
| <input type="checkbox"/> commercial | <input type="checkbox"/> service stations |
| <input type="checkbox"/> mixed-use | <input type="checkbox"/> quick service restaurants |
| <input type="checkbox"/> self storage | <input type="checkbox"/> child care centres |
| <input type="checkbox"/> industrial | <input type="checkbox"/> large format retail |

© 2011 copyright, all rights reserved.
This drawing is the copyright & property of VERVE DESIGN GROUP and must not be used or duplicated without authorisation.
Do not scale this drawing.
Check all dimensions on site prior commencement of works

Revision and approvals				
Rev	Date	Drn	Description	Appr
P1	23.01.2025		ISSUE FOR COMMENT	
P2	21.05.2025	TM	PRELIMINARY ISSUE FOR COMMENT	SS
A	23.06.2025	BM	DA ISSUE	

Project Description	
PROPOSED MIXED USE DEVELOPMENT	
HOLLOWS ROAD, FLAGSTONE	
Scale @A1 As indicated	Date JAN 2025
Drawn BM	Approved By GN

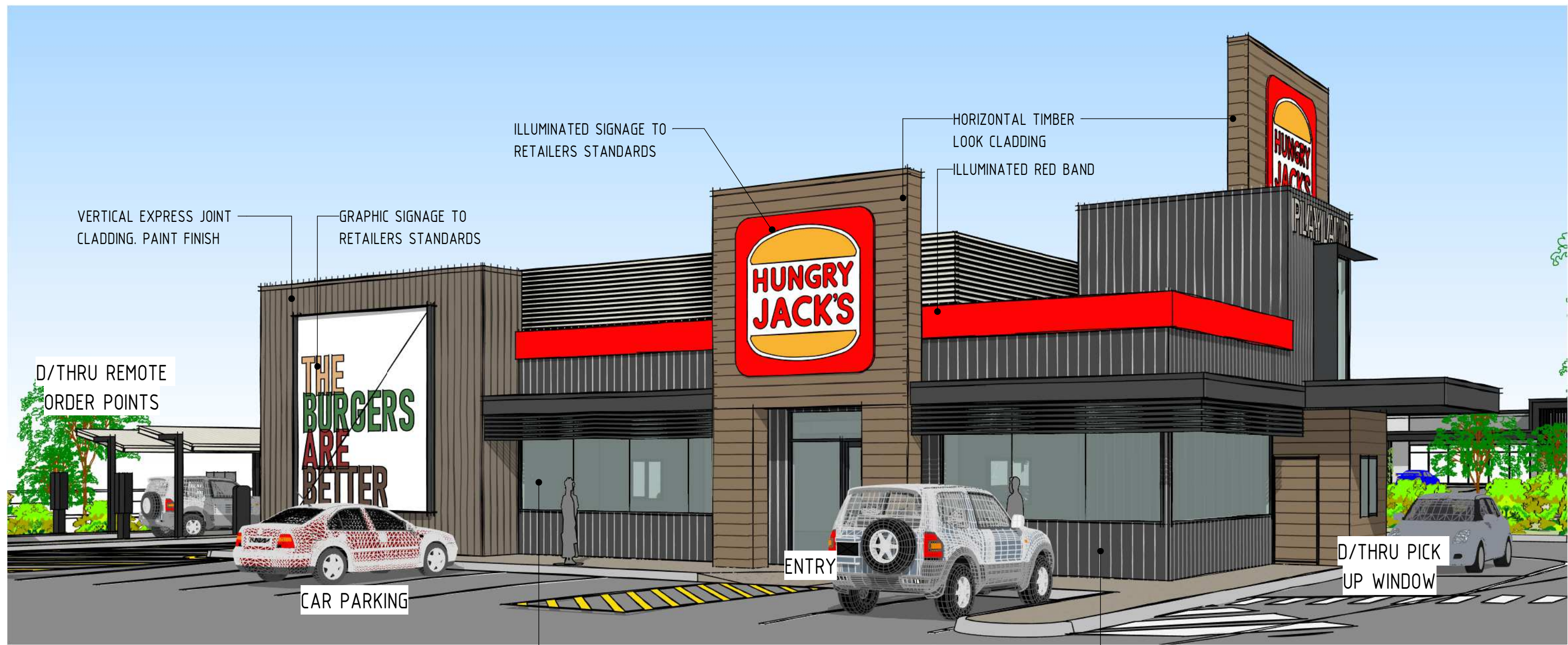
Drawing Title	
T3 - BUILDING ELEVATIONS & PERSPECTIVES	
Job Number - Drawing Number	Revision
24072 DA07	A

DA ISSUE

THIS DRAWING IS NOT FOR CONSTRUCTION

- NOTE:
1. ALL EXTERNAL MATERIALS & FINISHES SHOWN INDICATIVE ONLY & SUBJECT TO FINAL TENANT STANDARDS
 2. ALL DIMENSIONS MEASURED FROM FINISHED GROUND FLOOR LEVEL UNLESS NOTED OTHERWISE
 3. ALL SIGNAGE INCLUDING LOCATIONS & HEIGHTS ARE SUBJECT TO A SEPARATE SIGNAGE APPLICATION & APPROVAL BY LOCAL AUTHORITY
 4. LANDSCAPING IS SHOWN FOR "ARTIST IMPRESSION" PURPOSES ONLY. REFERENCE SHOULD BE MADE TO THE LANDSCAPE DRAWINGS PREPARED BY THE RELEVANT CONSULTANT
 5. BLUE DIM FOR INDICATIVE SIGNAGE FACE DIMENSIONS

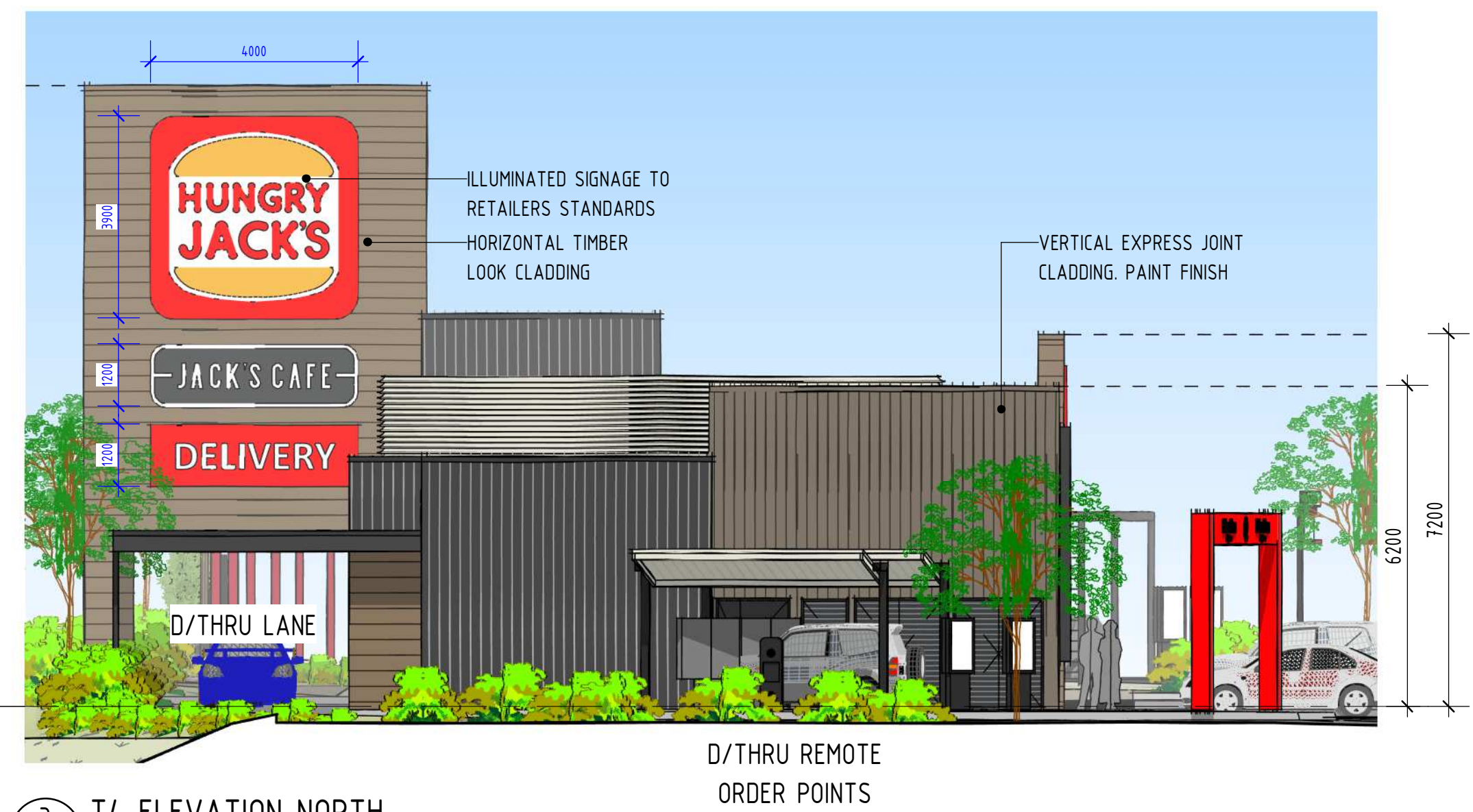
THIS DRAWING PACKAGE IS FOR **D.A. PURPOSES ONLY** AND IS **NOT** TO BE USED FOR TENDER PURPOSES. **ALL** DESIGN COMPONENTS ARE SHOWN INDICATIVE ONLY AND ARE SUBJECT TO FINAL DESIGN DURING DETAILED DESIGN BY THE RESPECTIVE CONSULTANT. ANY PRICING BASED UPON THE DETAILS SHOWN IN THESE DRAWINGS ARE COMPLETELY AT THE **RESPONSIBILITY OF THE TENDERER**. VERVE BUILDING DESIGN CO. SHALL NOT BE HELD RESPONSIBLE FOR ANY REQUIRED CHANGES OR UPDATES TO THE DESIGN, POST D.A. THAT ARE PRICE IMPACTED.



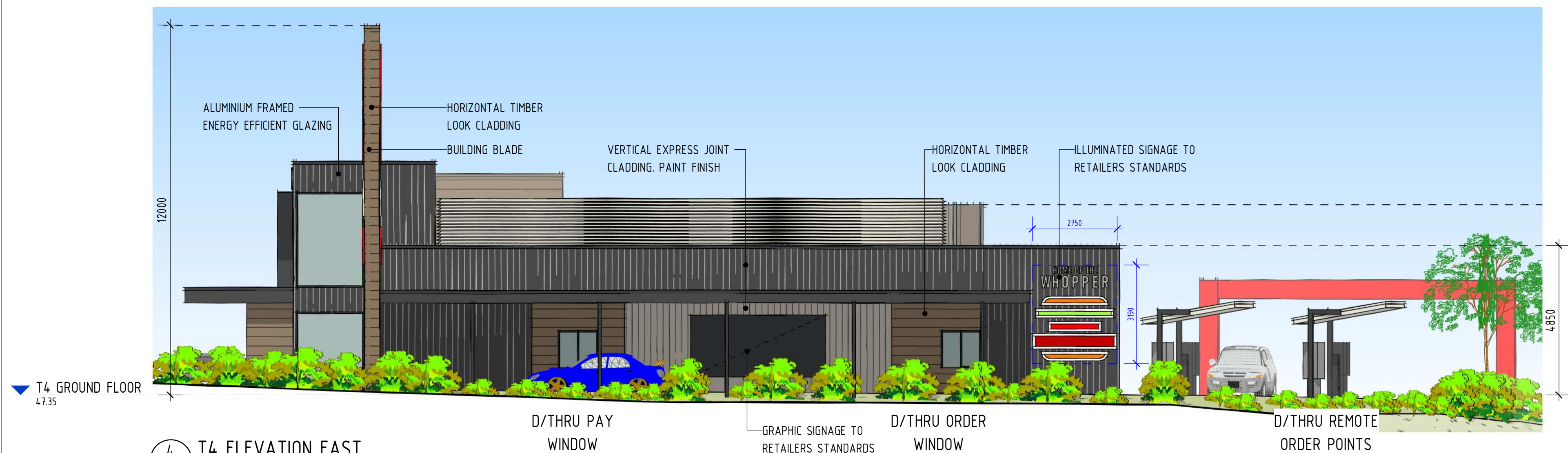
1 T4 PERSPECTIVE



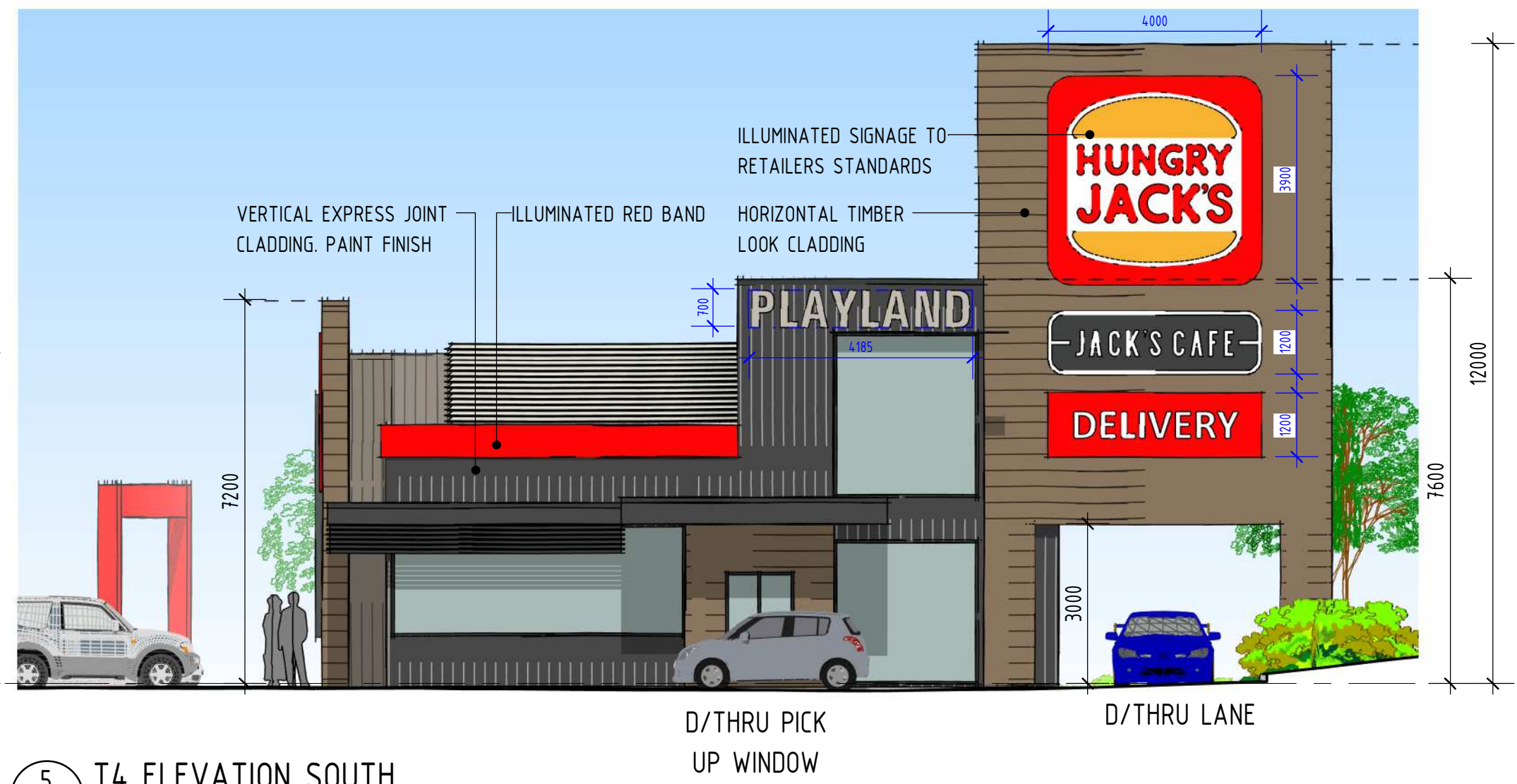
2 T4 ELEVATION WEST



3 T4 ELEVATION NORTH



4 T4 ELEVATION EAST



5 T4 ELEVATION SOUTH

- VERVE SCHEDULES DISCLAIMER:**
1. ALL SCHEDULES SHOULD BE CHECKED WITH THE REMAINDER OF THE DRAWING SET.
 2. SCHEDULED RATES AND AREAS ARE INTENDED FOR ASSISTANCE ONLY. NO RESPONSIBILITY IS TAKEN FOR THE ACCURACY OF QUANTITIES.
 3. ANY DISCREPANCIES IN SCHEDULES SHOULD BE IDENTIFIED TO THE AUTHOR NOTED.
 4. ALL AREAS ARE GROSS AREAS, UNLESS NOTED OTHERWISE

CONSULTING ENGINEER



- ☐ commercial ☐ service stations ☐ mixed-use ☐ quick service restaurants ☐ self storage ☐ child care centres ☐ industrial ☐ large format retail

© 2011 copyright, all rights reserved.
This drawing is the © copyright & property of VERVE DESIGN GROUP and must not be used or duplicated without authorisation.
Do not scale this drawing.
Check all dimensions on site prior commencement of works

Rev	Date	Drn	Description	Appr
P1	23.01.2025		ISSUE FOR COMMENT	
P2	21.05.2025	TM	PRELIMINARY ISSUE FOR COMMENT	SS
A	23.06.2025	BM	DA ISSUE	

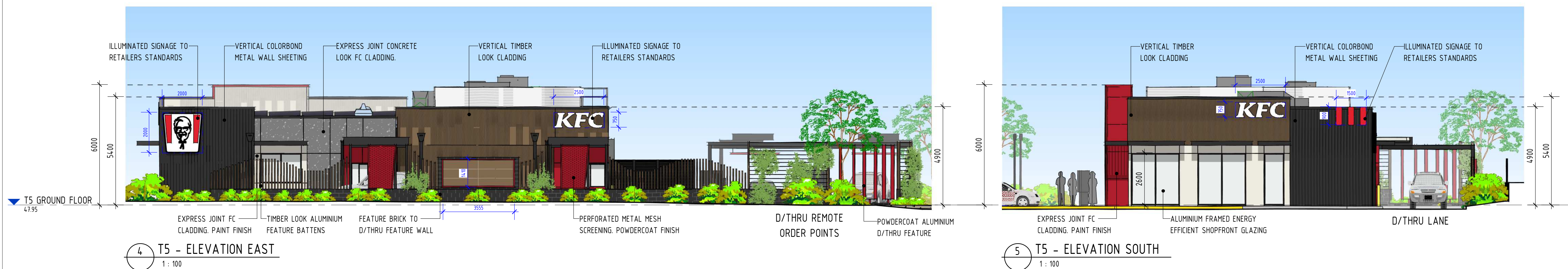
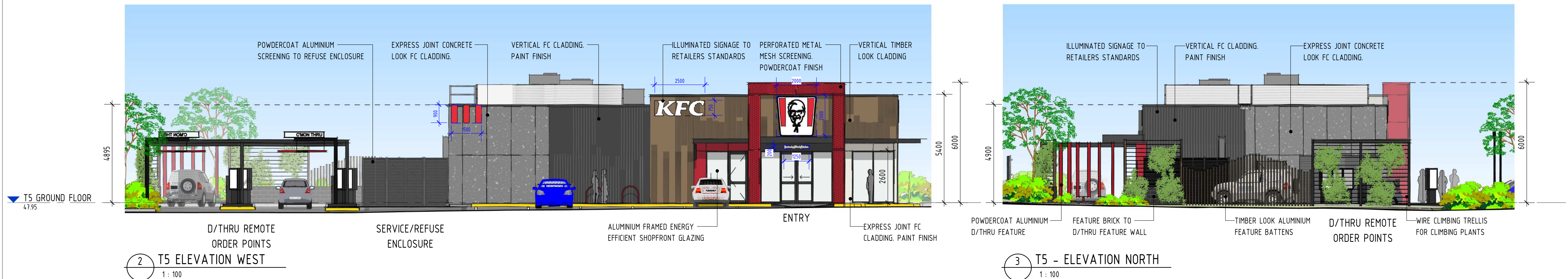
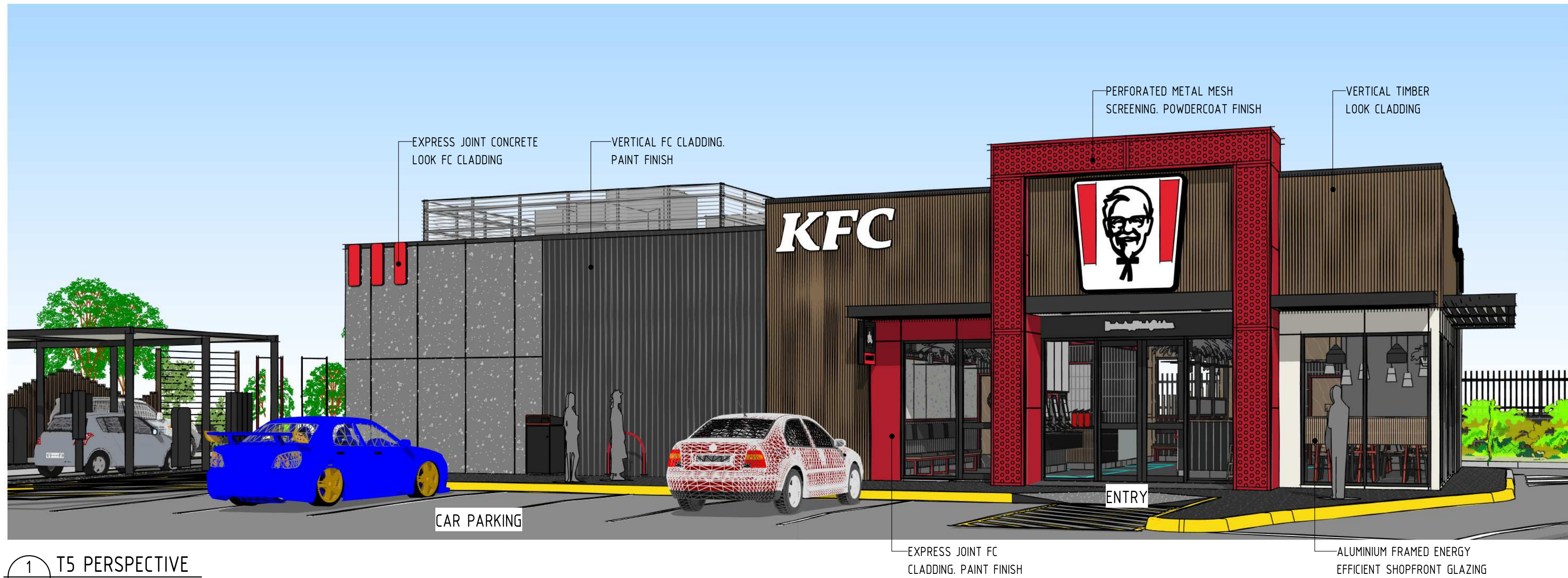
Project Description	
PROPOSED MIXED USE DEVELOPMENT	
HOLLOWS ROAD, FLAGSTONE	
Scale @A1 As indicated Drawn BM	Date JAN 2025 Approved By GN

Drawing Title	
T4 - BUILDING ELEVATIONS & PERSPECTIVES	
Job Number - Drawing Number	Revision
24072	DA08 A

DA ISSUE

THIS DRAWING IS NOT FOR CONSTRUCTION

- NOTE:
1. ALL EXTERNAL MATERIALS & FINISHES SHOWN INDICATIVE ONLY & SUBJECT TO FINAL TENANT STANDARDS
 2. ALL DIMENSIONS MEASURED FROM FINISHED GROUND FLOOR LEVEL UNLESS NOTED OTHERWISE
 3. ALL SIGNAGE INCLUDING LOCATIONS & HEIGHTS ARE SUBJECT TO A SEPARATE SIGNAGE APPLICATION & APPROVAL BY LOCAL AUTHORITY
 4. LANDSCAPING IS SHOWN FOR "ARTIST IMPRESSION" PURPOSES ONLY. REFERENCE SHOULD BE MADE TO THE LANDSCAPE DRAWINGS PREPARED BY THE RELEVANT CONSULTANT
 5. BLUE DIM FOR INDICATIVE SIGNAGE FACE DIMENSIONS



THIS DRAWING PACKAGE IS FOR **D.A. PURPOSES ONLY** AND IS **NOT** TO BE USED FOR TENDER PURPOSES. ALL DESIGN COMPONENTS ARE SHOWN INDICATIVE ONLY AND ARE SUBJECT TO FINAL DESIGN DURING DETAILED DESIGN BY THE RESPECTIVE CONSULTANT. ANY PRICING BASED UPON THE DETAILS SHOWN IN THESE DRAWINGS ARE COMPLETELY AT THE **RESPONSIBILITY OF THE TENDERER**. VERVE BUILDING DESIGN CO. SHALL NOT BE HELD RESPONSIBLE FOR ANY REQUIRED CHANGES OR UPDATES TO THE DESIGN, POST D.A. THAT ARE PRICE IMPACTED.

VERVE SCHEDULES DISCLAIMER:

1. ALL SCHEDULES SHOULD BE CHECKED WITH THE REMAINDER OF THE DRAWING SET.
2. SCHEDULED RATES AND AREAS ARE INTENDED FOR ASSISTANCE ONLY. NO RESPONSIBILITY IS TAKEN FOR THE ACCURACY OF QUANTITIES.
3. ANY DISCREPANCIES IN SCHEDULES SHOULD BE IDENTIFIED TO THE AUTHOR NOTED.
4. ALL AREAS ARE GROSS AREAS, UNLESS NOTED OTHERWISE

CONSULTING ENGINEER



- ☐ commercial ☐ service stations ☐ mixed-use ☐ quick service restaurants ☐ self storage ☐ child care centres ☐ industrial ☐ large format retail

© 2011 copyright, all rights reserved.
This drawing is the © copyright & property of VERVE DESIGN GROUP and must not be used or duplicated without authorisation.
Do not scale this drawing.
Check all dimensions on site prior commencement of works

Revision and approvals					Project Description	
Rev	Date	Drn	Description	Appr	PROPOSED MIXED USE DEVELOPMENT	
P1	23.01.2025		ISSUE FOR COMMENT		HOLLOWES ROAD, FLAGSTONE	
P2	21.05.2025	TM	PRELIMINARY ISSUE FOR COMMENT	SS		
P3	18.06.2025	BM	ISSUE FOR INFORMATION			
A	23.06.2025	BM	DA ISSUE			
					Scale @A1 As indicated	Date JAN 2025
					Drawn BM	Approved By GN

Job Number - Drawing Number
24072

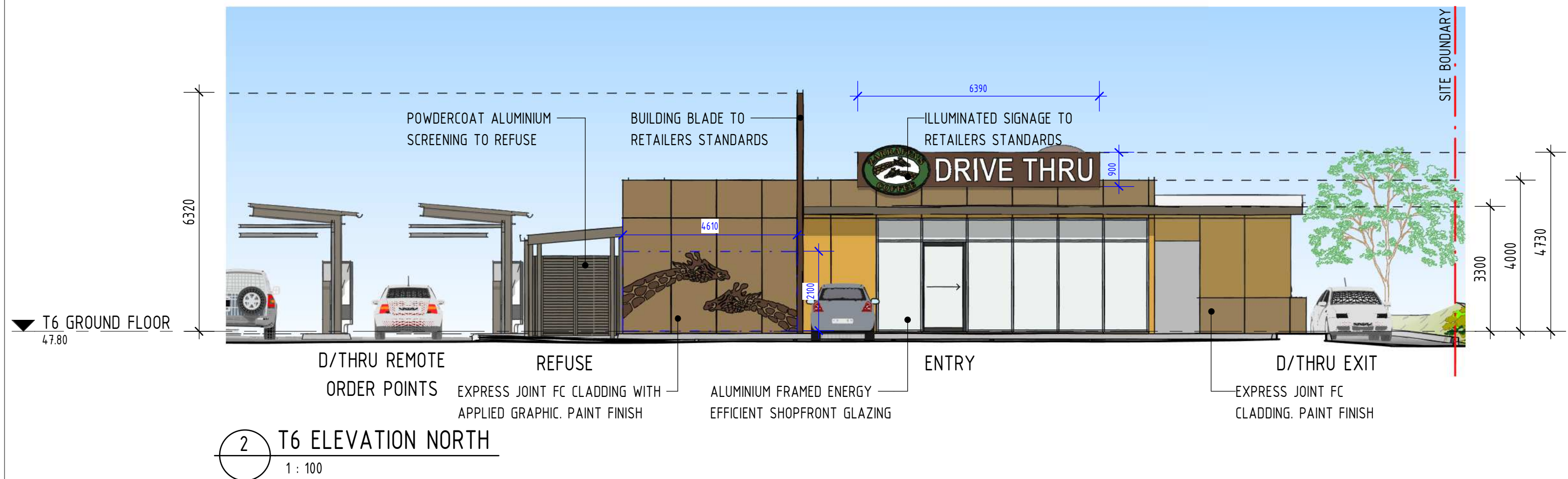
Revision
DA09

Revision
A

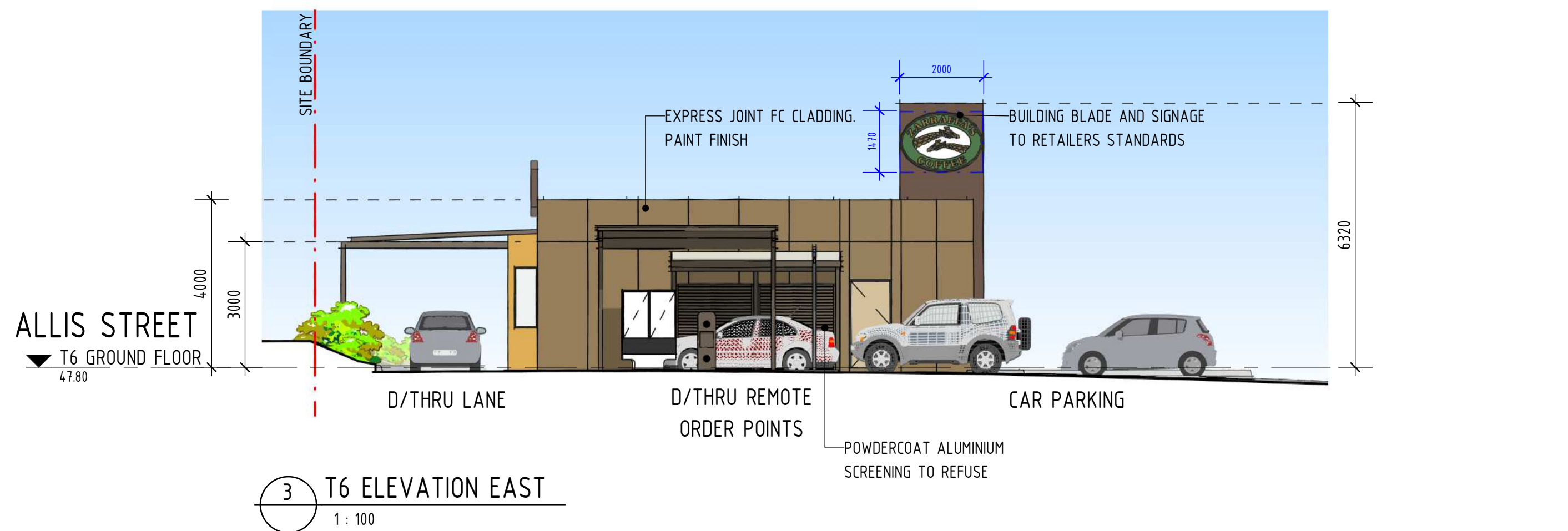
- NOTE:
1. ALL EXTERNAL MATERIALS & FINISHES SHOWN INDICATIVE ONLY & SUBJECT TO FINAL TENANT STANDARDS
 2. ALL DIMENSIONS MEASURED FROM FINISHED GROUND FLOOR LEVEL UNLESS NOTED OTHERWISE
 3. ALL SIGNAGE INCLUDING LOCATIONS & HEIGHTS ARE SUBJECT TO A SEPARATE SIGNAGE APPLICATION & APPROVAL BY LOCAL AUTHORITY
 4. LANDSCAPING IS SHOWN FOR "ARTIST IMPRESSION" PURPOSES ONLY. REFERENCE SHOULD BE MADE TO THE LANDSCAPE DRAWINGS PREPARED BY THE RELEVANT CONSULTANT
 5. BLUE DIM FOR INDICATIVE SIGNAGE FACE DIMENSIONS



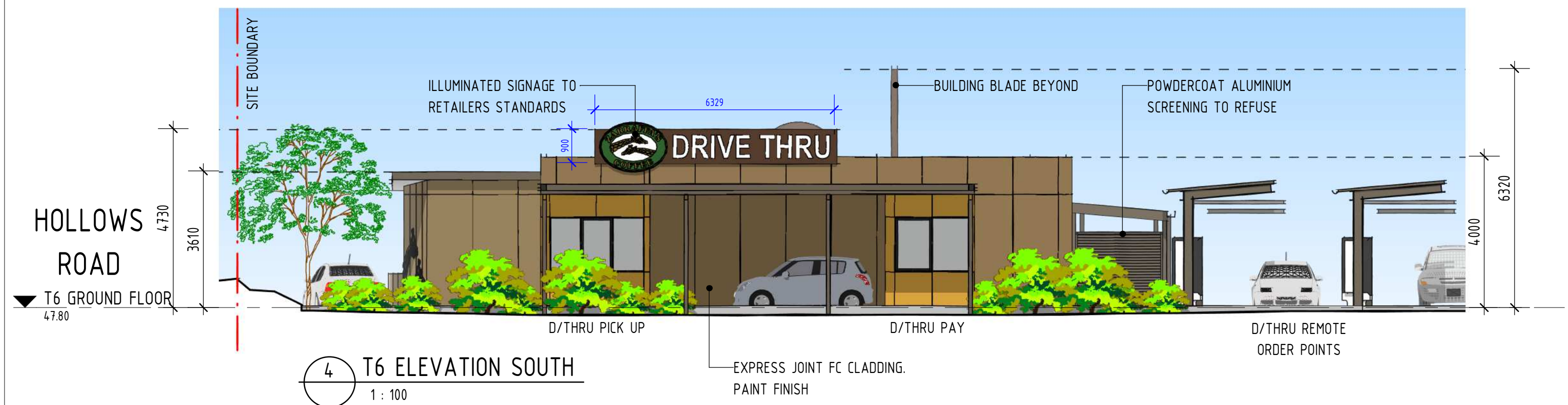
1 T6 PERSPECTIVE



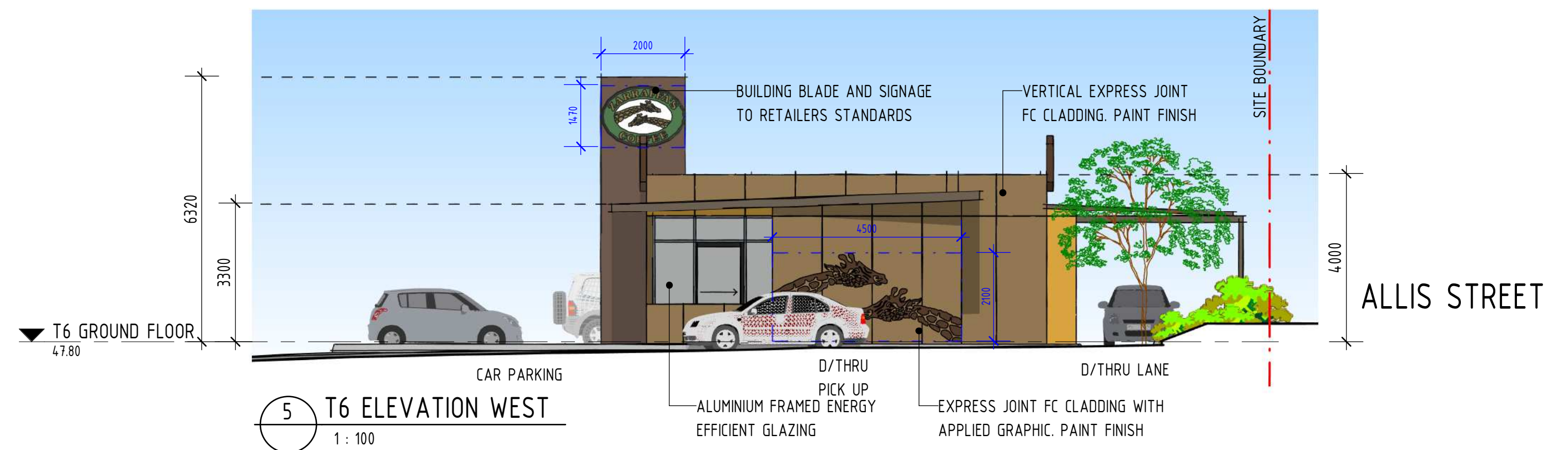
2 T6 ELEVATION NORTH
1 : 100



3 T6 ELEVATION EAST
1 : 100



4 T6 ELEVATION SOUTH
1 : 100



5 T6 ELEVATION WEST
1 : 100

THIS DRAWING PACKAGE IS FOR **D.A. PURPOSES ONLY** AND IS **NOT** TO BE USED FOR TENDER PURPOSES. **ALL** DESIGN COMPONENTS ARE SHOWN INDICATIVE ONLY AND ARE SUBJECT TO FINAL DESIGN DURING DETAILED DESIGN BY THE RESPECTIVE CONSULTANT. ANY PRICING BASED UPON THE DETAILS SHOWN IN THESE DRAWINGS ARE COMPLETELY AT THE **RESPONSIBILITY OF THE TENDERER**. VERVE BUILDING DESIGN CO. SHALL NOT BE HELD RESPONSIBLE FOR ANY REQUIRED CHANGES OR UPDATES TO THE DESIGN, POST D.A. THAT ARE PRICE IMPACTED.

VERVE SCHEDULES DISCLAIMER:

1. ALL SCHEDULES SHOULD BE CHECKED WITH THE REMAINDER OF THE DRAWING SET.
2. SCHEDULED RATES AND AREAS ARE INTENDED FOR ASSISTANCE ONLY. NO RESPONSIBILITY IS TAKEN FOR THE ACCURACY OF QUANTITIES.
3. ANY DISCREPANCIES IN SCHEDULES SHOULD BE IDENTIFIED TO THE AUTHOR NOTED.
4. ALL AREAS ARE GROSS AREAS, UNLESS NOTED OTHERWISE

CONSULTING ENGINEER



- commercial service stations
mixed-use quick service restaurants
self storage child care centres
industrial large format retail

© 2011 copyright, all rights reserved.
This drawing is the © copyright & property of VERVE DESIGN GROUP and must not be used or duplicated without authorisation.
Do not scale this drawing.
Check all dimensions on site prior commencement of works

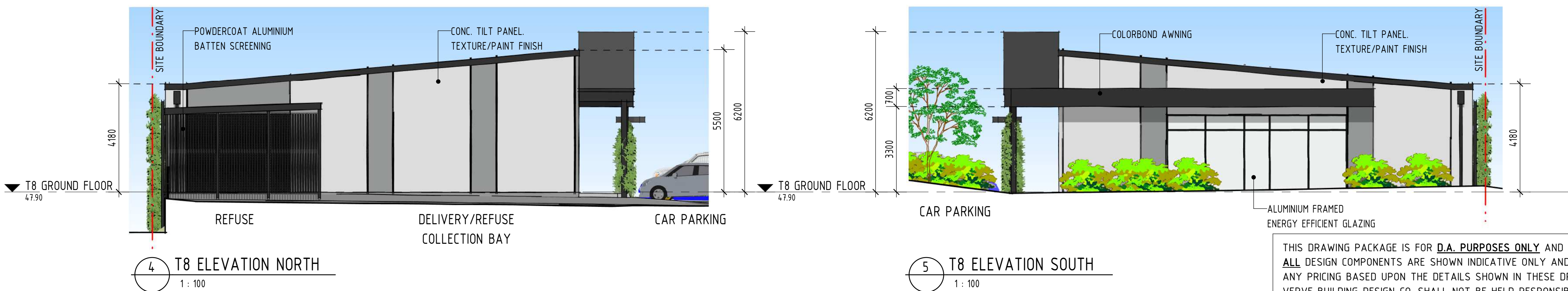
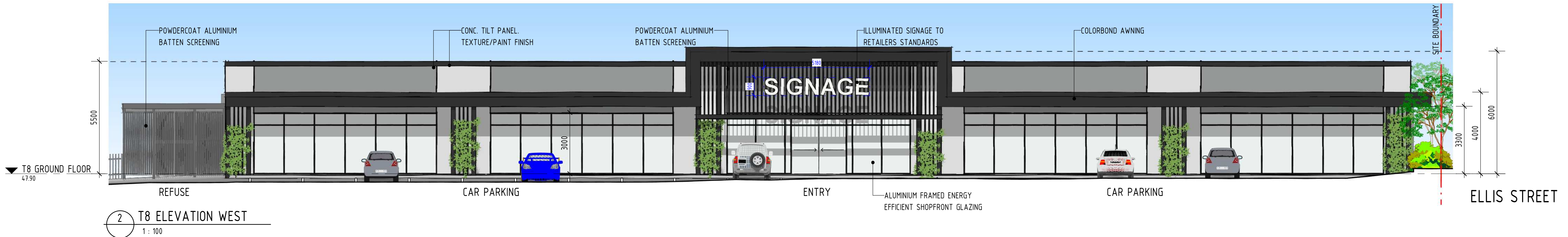
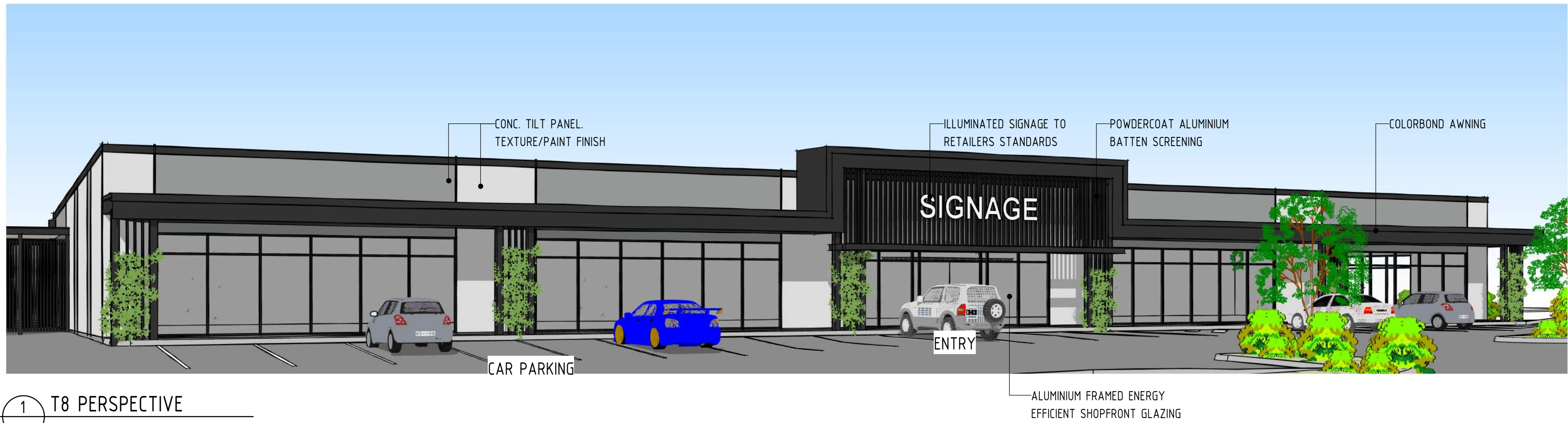
Revision and approvals				
Rev	Date	Drn	Description	Appr
P1	23.01.2025		ISSUE FOR COMMENT	
P2	21.05.2025	TM	PRELIMINARY ISSUE FOR COMMENT	SS
A	23.06.2025	BM	DA ISSUE	

Project Description	
PROPOSED MIXED USE DEVELOPMENT	
HOLLOWS ROAD, FLAGSTONE	
Scale @A1 As indicated	Date JAN 2025
Drawn BM	Approved By GN

Drawing Title	
T6 - BUILDING ELEVATIONS & PERSPECTIVES	
Job Number - Drawing Number	Revision
24072	DA10 A

NOTE:

1. ALL EXTERNAL MATERIALS & FINISHES SHOWN INDICATIVE ONLY & SUBJECT TO FINAL TENANT STANDARDS
2. ALL DIMENSIONS MEASURED FROM FINISHED GROUND FLOOR LEVEL UNLESS NOTED OTHERWISE
3. ALL SIGNAGE INCLUDING LOCATIONS & HEIGHTS ARE SUBJECT TO A SEPARATE SIGNAGE APPLICATION & APPROVAL BY LOCAL AUTHORITY
4. LANDSCAPING IS SHOWN FOR "ARTIST IMPRESSION" PURPOSES ONLY. REFERENCE SHOULD BE MADE TO THE LANDSCAPE DRAWINGS PREPARED BY THE RELEVANT CONSULTANT
5. BLUE DIM FOR INDICATIVE SIGNAGE FACE DIMENSIONS



THIS DRAWING PACKAGE IS FOR D.A. PURPOSES ONLY AND IS NOT TO BE USED FOR TENDER PURPOSES. ALL DESIGN COMPONENTS ARE SHOWN INDICATIVE ONLY AND ARE SUBJECT TO FINAL DESIGN DURING DETAILED DESIGN BY THE RESPECTIVE CONSULTANT. ANY PRICING BASED UPON THE DETAILS SHOWN IN THESE DRAWINGS ARE COMPLETELY AT THE RESPONSIBILITY OF THE TENDERER. VERVE BUILDING DESIGN CO. SHALL NOT BE HELD RESPONSIBLE FOR ANY REQUIRED CHANGES OR UPDATES TO THE DESIGN, POST D.A. THAT ARE PRICE IMPACTED.

VERVE SCHEDULES DISCLAIMER:

1. ALL SCHEDULES SHOULD BE CHECKED WITH THE REMAINDER OF THE DRAWING SET.
2. SCHEDULED RATES AND AREAS ARE INTENDED FOR ASSISTANCE ONLY. NO RESPONSIBILITY IS TAKEN FOR THE ACCURACY OF QUANTITIES.
3. ANY DISCREPANCIES IN SCHEDULES SHOULD BE IDENTIFIED TO THE AUTHOR NOTED.
4. ALL AREAS ARE GROSS AREAS, UNLESS NOTED OTHERWISE

CONSULTING ENGINEER



- ☐ commercial
- ☐ mixed-use
- ☐ self storage
- ☐ industrial
- ☐ service stations
- ☐ quick service restaurants
- ☐ child care centres
- ☐ large format retail

© 2011 copyright, all rights reserved.
This drawing is the © copyright & property of VERVE DESIGN GROUP and must not be used or duplicated without authorisation.
Do not scale this drawing.
Check all dimensions on site prior commencement of works

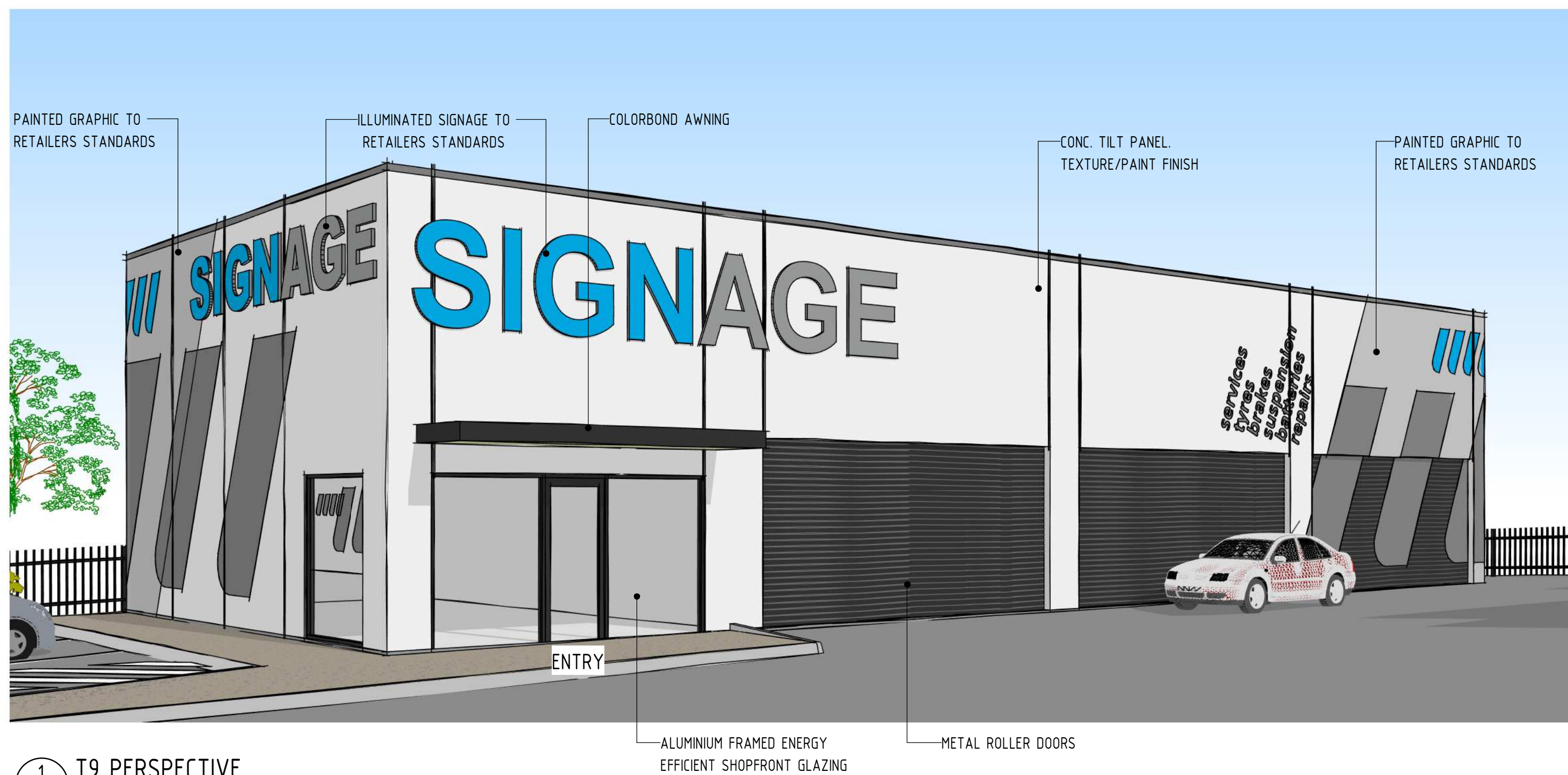
Revision and approvals				
Rev	Date	Drn	Description	Appr
P1	23.01.2025		ISSUE FOR COMMENT	
P2	21.05.2025	TM	PRELIMINARY ISSUE FOR COMMENT	SS
A	23.06.2025	BM	DA ISSUE	

Project Description	
PROPOSED MIXED USE DEVELOPMENT	
HOLLOWS ROAD, FLAGSTONE	
Scale @A1 As indicated	Date JAN 2025
Drawn BM	Approved By GN

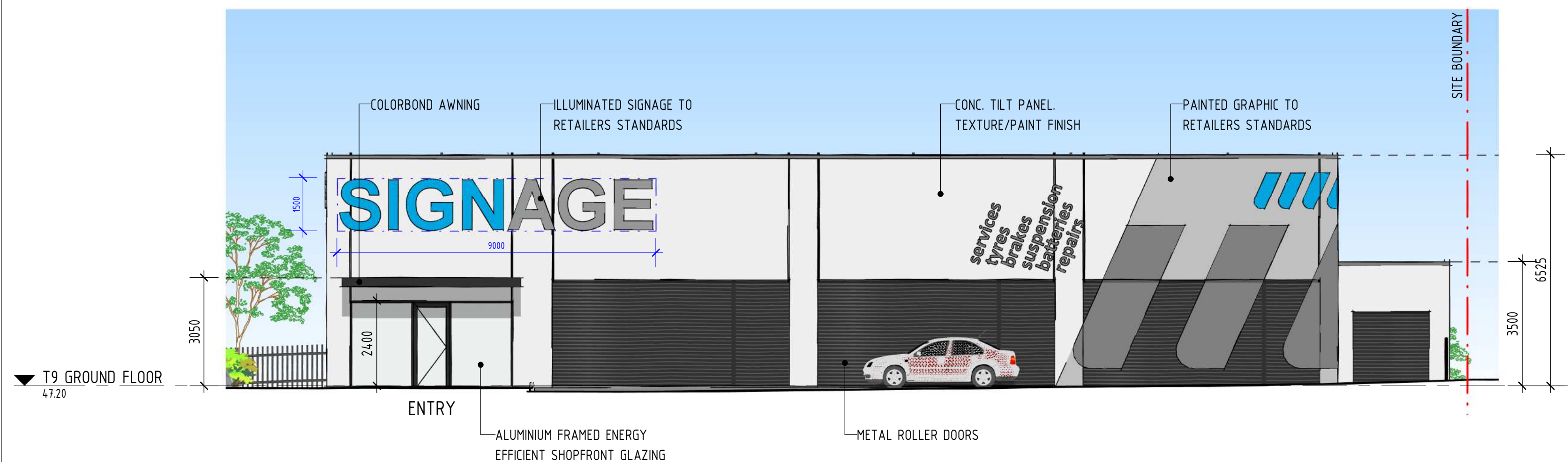
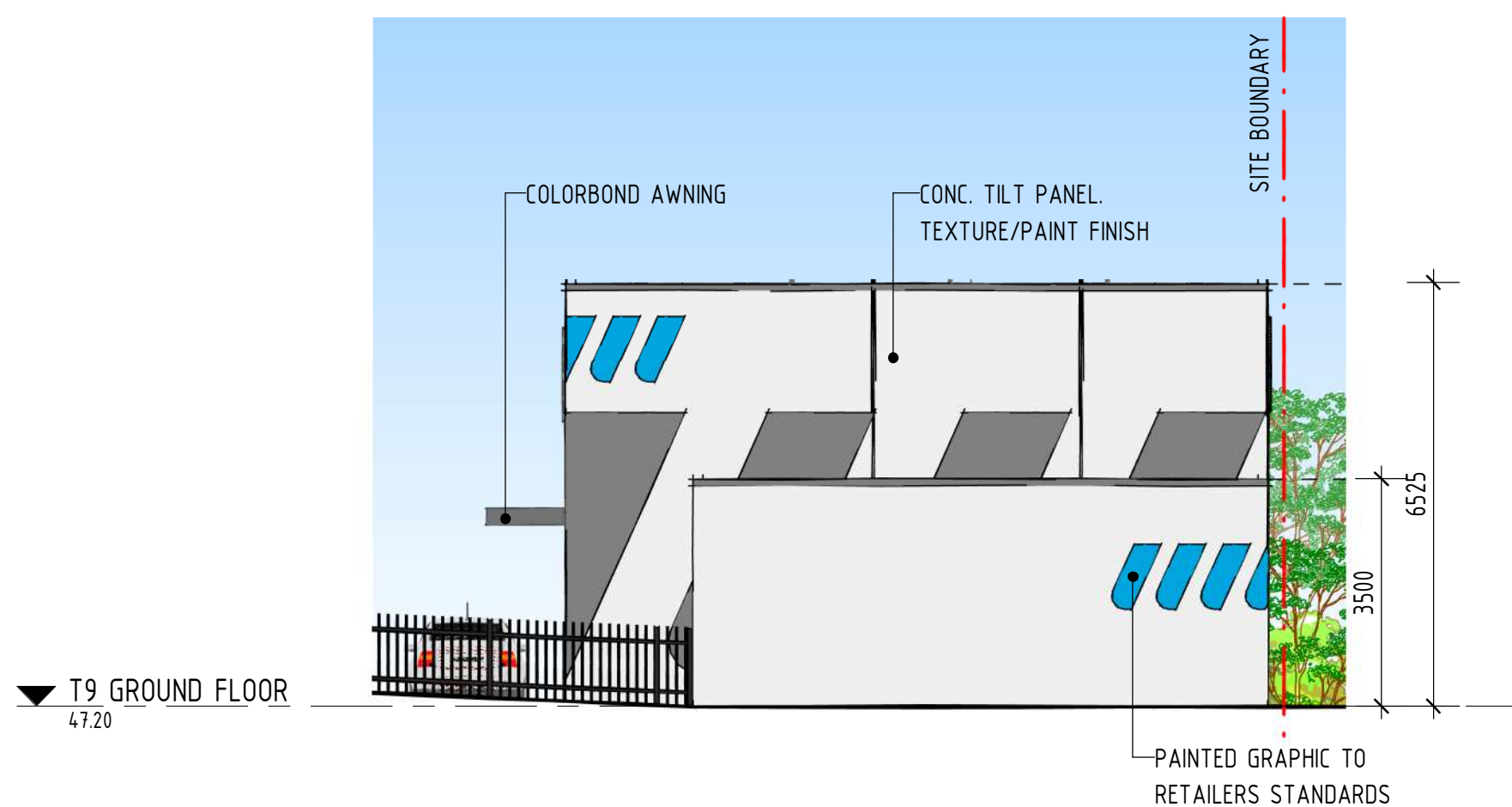
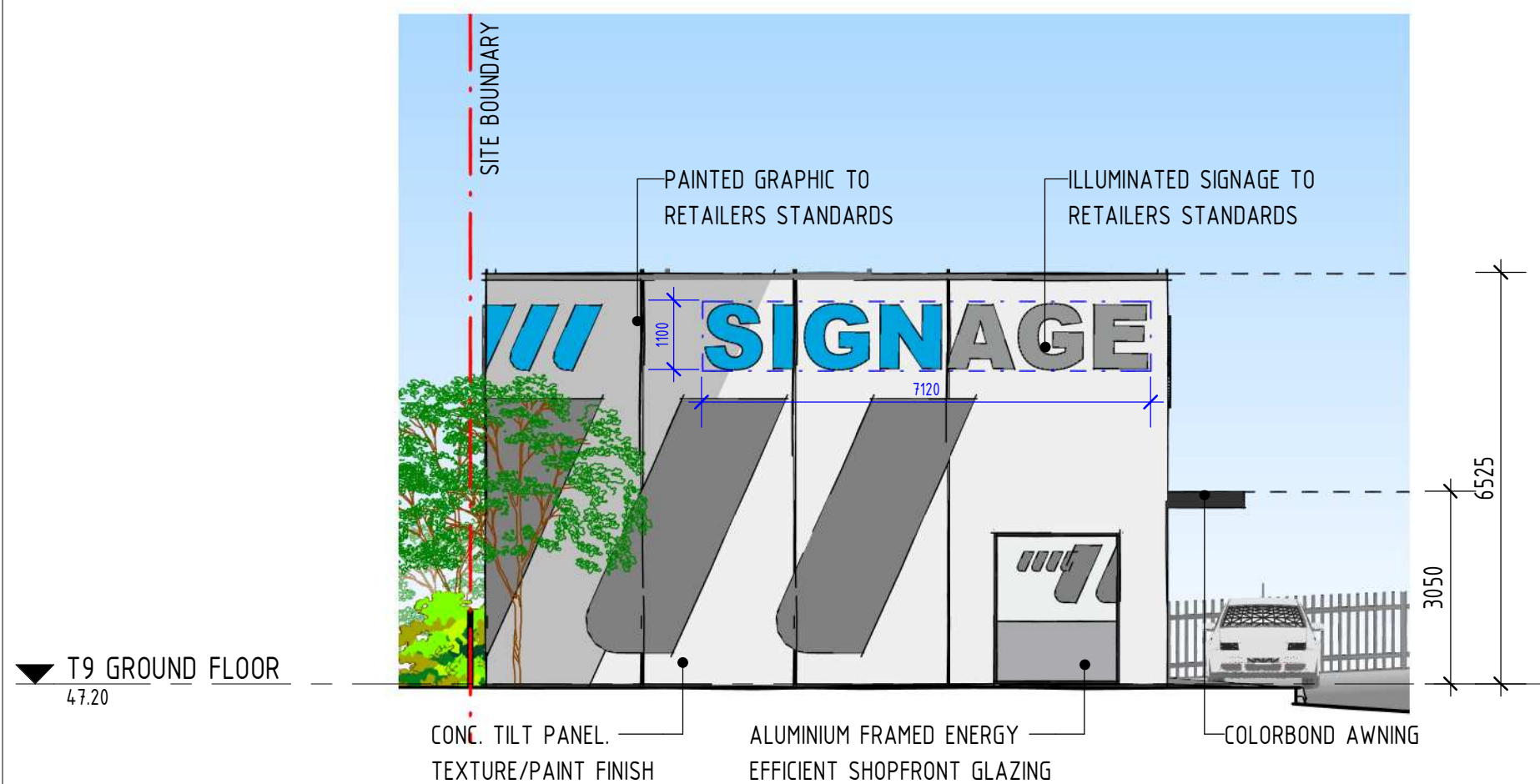
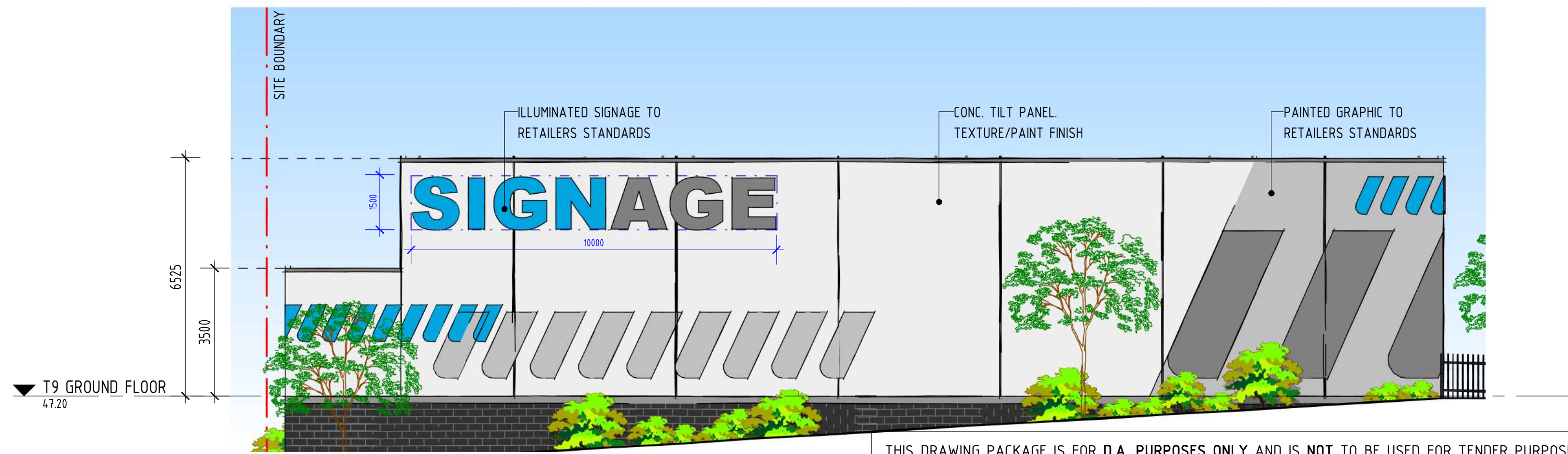
Drawing Title	
T8 - BUILDING ELEVATIONS & PERSPECTIVES	
Job Number - Drawing Number	Revision
24072 DA12	A

NOTE:

1. ALL EXTERNAL MATERIALS & FINISHES SHOWN INDICATIVE ONLY & SUBJECT TO FINAL TENANT STANDARDS
2. ALL DIMENSIONS MEASURED FROM FINISHED GROUND FLOOR LEVEL UNLESS NOTED OTHERWISE
3. ALL SIGNAGE INCLUDING LOCATIONS & HEIGHTS ARE SUBJECT TO A SEPARATE SIGNAGE APPLICATION & APPROVAL BY LOCAL AUTHORITY
4. LANDSCAPING IS SHOWN FOR "ARTIST IMPRESSION" PURPOSES ONLY. REFERENCE SHOULD BE MADE TO THE LANDSCAPE DRAWINGS PREPARED BY THE RELEVANT CONSULTANT
5. BLUE DIM FOR INDICATIVE SIGNAGE FACE DIMENSIONS



1 T9 PERSPECTIVE

2 T9 - ELEVATION SOUTH
1 : 1003 T9 - ELEVATION EAST
1 : 1004 T9 - ELEVATION WEST
1 : 1005 T9 - ELEVATION NORTH
1 : 100

THIS DRAWING PACKAGE IS FOR **D.A. PURPOSES ONLY** AND IS **NOT** TO BE USED FOR TENDER PURPOSES. **ALL** DESIGN COMPONENTS ARE SHOWN INDICATIVE ONLY AND ARE SUBJECT TO FINAL DESIGN DURING DETAILED DESIGN BY THE RESPECTIVE CONSULTANT. ANY PRICING BASED UPON THE DETAILS SHOWN IN THESE DRAWINGS ARE COMPLETELY AT THE **RESPONSIBILITY OF THE TENDERER**. VERVE BUILDING DESIGN CO. SHALL NOT BE HELD RESPONSIBLE FOR ANY REQUIRED CHANGES OR UPDATES TO THE DESIGN, POST D.A. THAT ARE PRICE IMPACTED.

VERVE SCHEDULES DISCLAIMER:

1. ALL SCHEDULES SHOULD BE CHECKED WITH THE REMAINDER OF THE DRAWING SET.
2. SCHEDULED RATES AND AREAS ARE INTENDED FOR ASSISTANCE ONLY. NO RESPONSIBILITY IS TAKEN FOR THE ACCURACY OF QUANTITIES.
3. ANY DISCREPANCIES IN SCHEDULES SHOULD BE IDENTIFIED TO THE AUTHOR NOTED.
4. ALL AREAS ARE GROSS AREAS, UNLESS NOTED OTHERWISE

CONSULTING ENGINEER



- | | |
|---------------------------------------|--|
| <input type="checkbox"/> commercial | <input type="checkbox"/> service stations |
| <input type="checkbox"/> mixed-use | <input type="checkbox"/> quick service restaurants |
| <input type="checkbox"/> self storage | <input type="checkbox"/> child care centres |
| <input type="checkbox"/> industrial | <input type="checkbox"/> large format retail |

© 2011 copyright, all rights reserved.
This drawing is the © copyright & property of VERVE DESIGN GROUP and must not be used or duplicated without authorisation.
Do not scale this drawing.
Check all dimensions on site prior commencement of works

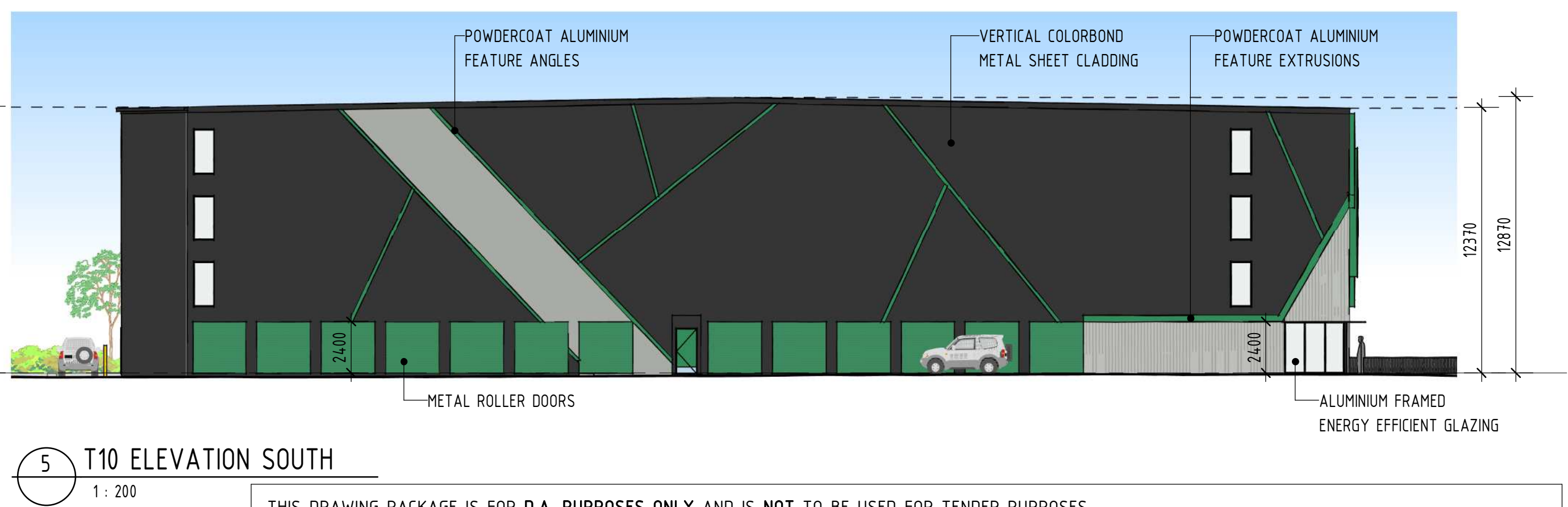
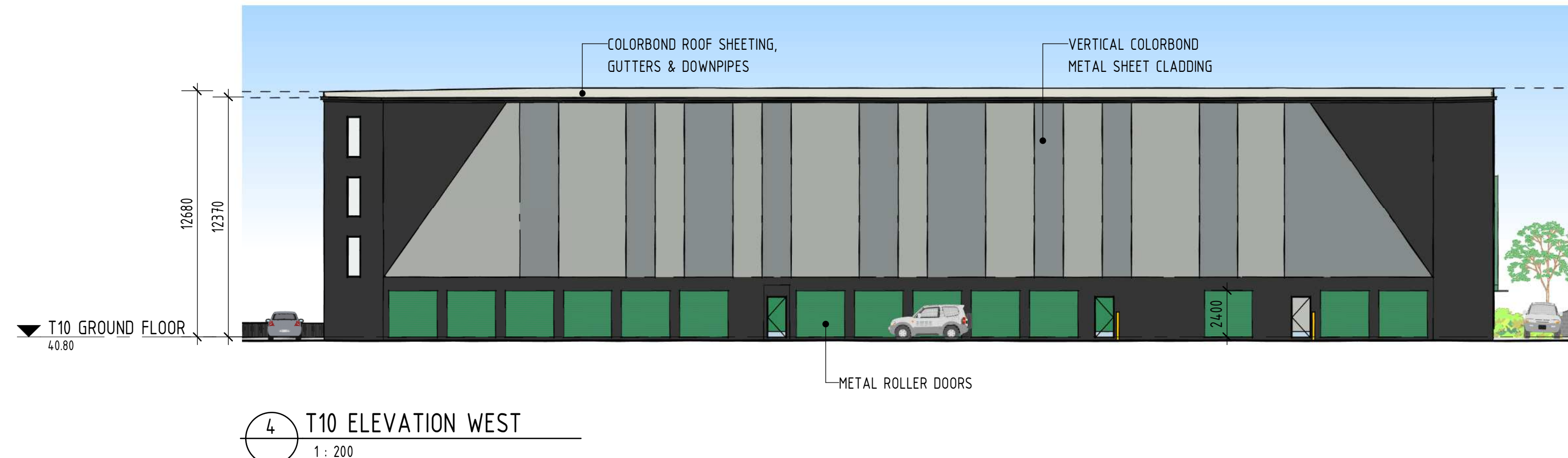
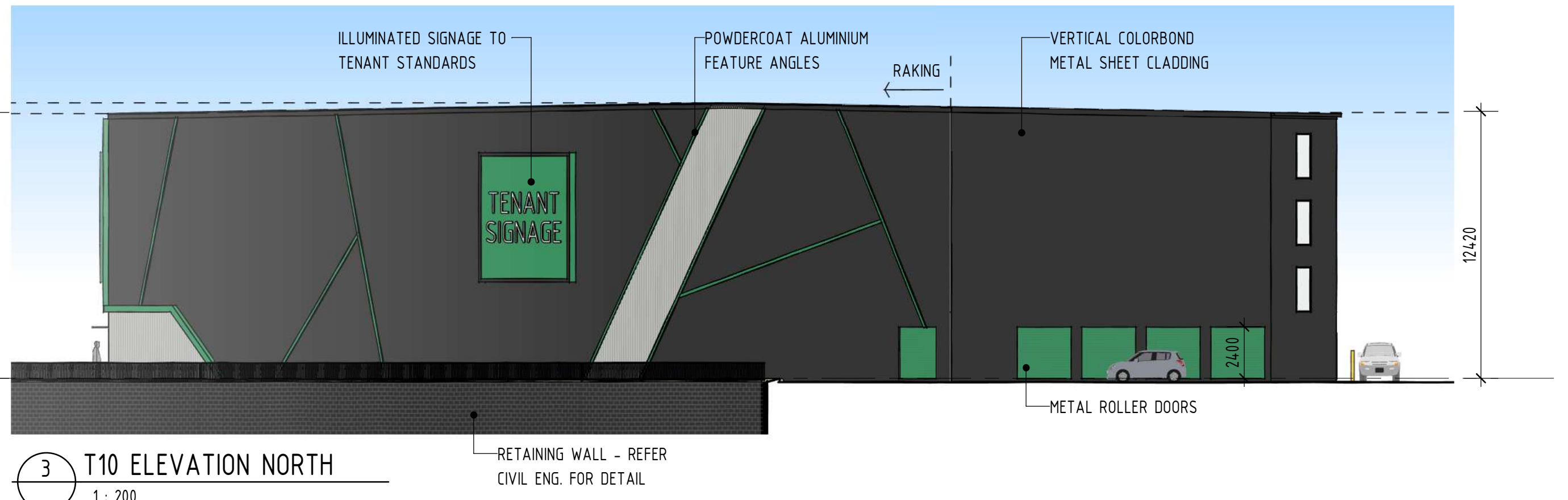
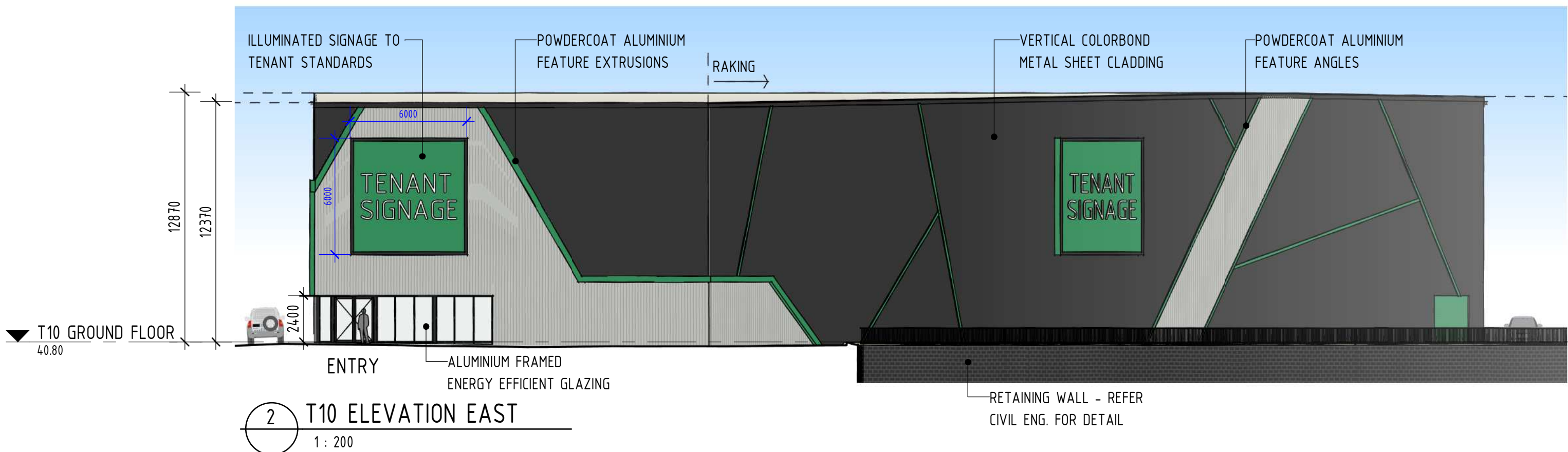
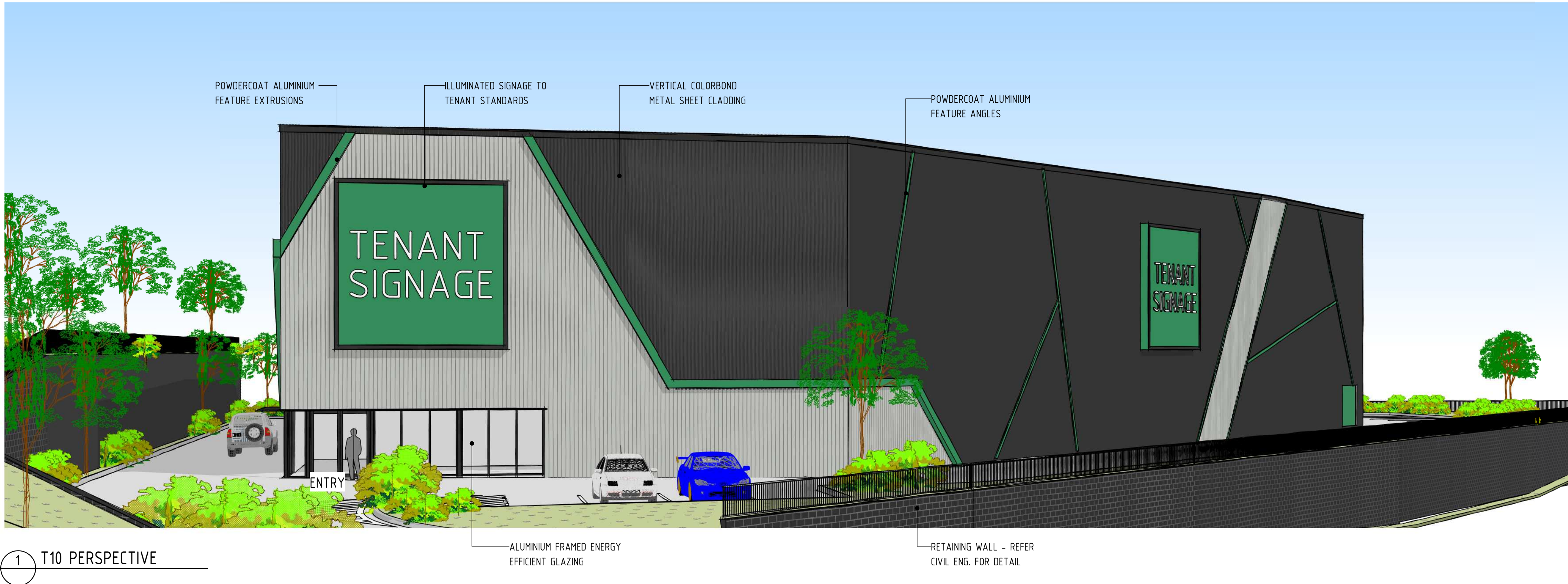
Revision and approvals				
Rev	Date	Drn	Description	Appr
P1	23.01.2025		ISSUE FOR COMMENT	
P2	21.05.2025	TM	PRELIMINARY ISSUE FOR COMMENT	SS
A	23.06.2025	BM	DA ISSUE	

Project Description	
PROPOSED MIXED USE DEVELOPMENT	
HOLLOWS ROAD, FLAGSTONE	
Scale @A1 As indicated	Date JAN 2025
Drawn BM	Approved By GN

Drawing Title	
T9 - BUILDING ELEVATIONS & PERSPECTIVES	
Job Number - Drawing Number 24072	Revision DA13 A

NOTE:

1. ALL EXTERNAL MATERIALS & FINISHES SHOWN INDICATIVE ONLY & SUBJECT TO FINAL TENANT STANDARDS
2. ALL DIMENSIONS MEASURED FROM FINISHED GROUND FLOOR LEVEL UNLESS NOTED OTHERWISE
3. ALL SIGNAGE INCLUDING LOCATIONS & HEIGHTS ARE SUBJECT TO A SEPARATE SIGNAGE APPLICATION & APPROVAL BY LOCAL AUTHORITY
4. LANDSCAPING IS SHOWN FOR "ARTIST IMPRESSION" PURPOSES ONLY. REFERENCE SHOULD BE MADE TO THE LANDSCAPE DRAWINGS PREPARED BY THE RELEVANT CONSULTANT
5. BLUE DIM FOR INDICATIVE SIGNAGE FACE DIMENSIONS



THIS DRAWING PACKAGE IS FOR **D.A. PURPOSES ONLY** AND IS **NOT** TO BE USED FOR TENDER PURPOSES. **ALL** DESIGN COMPONENTS ARE SHOWN INDICATIVE ONLY AND ARE SUBJECT TO FINAL DESIGN DURING DETAILED DESIGN BY THE RESPECTIVE CONSULTANT. ANY PRICING BASED UPON THE DETAILS SHOWN IN THESE DRAWINGS ARE COMPLETELY AT THE **RESPONSIBILITY OF THE TENDERER**. VERVE BUILDING DESIGN CO. SHALL NOT BE HELD RESPONSIBLE FOR ANY REQUIRED CHANGES OR UPDATES TO THE DESIGN, POST D.A. THAT ARE PRICE IMPACTED.

VERVE SCHEDULES DISCLAIMER:

1. ALL SCHEDULES SHOULD BE CHECKED WITH THE REMAINDER OF THE DRAWING SET.
2. SCHEDULED RATES AND AREAS ARE INTENDED FOR ASSISTANCE ONLY. NO RESPONSIBILITY IS TAKEN FOR THE ACCURACY OF QUANTITIES.
3. ANY DISCREPANCIES IN SCHEDULES SHOULD BE IDENTIFIED TO THE AUTHOR NOTED.
4. ALL AREAS ARE GROSS AREAS, UNLESS NOTED OTHERWISE

CONSULTING ENGINEER



- ☐ commercial
- ☐ mixed-use
- ☐ self storage
- ☐ industrial
- ☐ service stations
- ☐ quick service restaurants
- ☐ child care centres
- ☐ large format retail

© 2011 copyright, all rights reserved.
This drawing is the © copyright & property of VERVE DESIGN GROUP and must not be used or duplicated without authorisation.
Do not scale this drawing.
Check all dimensions on site prior commencement of works

Revision and approvals				
Rev	Date	Drn	Description	Appr
P1	23.01.2025		ISSUE FOR COMMENT	
P2	21.05.2025	TM	PRELIMINARY ISSUE FOR COMMENT	SS
A	23.06.2025	BH	DA ISSUE	

Project Description	
PROPOSED MIXED USE DEVELOPMENT	
HOLLOWS ROAD, FLAGSTONE	
Scale @A1 As indicated	Date JAN 2025
Drawn BM	Approved By GN

Drawing Title	
T10 - BUILDING ELEVATIONS & PERSPECTIVES	
Job Number - Drawing Number 24072	Revision DA14
	A



VERVE SCHEDULES DISCLAIMER:

1. ALL SCHEDULES SHOULD BE CHECKED WITH THE REMAINDER OF THE DRAWING SET.

2. SCHEDULED RATES AND AREAS ARE INTENDED FOR ASSISTANCE ONLY. NO RESPONSIBILITY IS TAKEN FOR THE ACCURACY OF QUANTITIES.

3. ANY DISCREPANCIES IN SCHEDULES SHOULD BE IDENTIFIED TO THE AUTHOR NOTED.

4. ALL AREAS ARE GROSS AREAS, UNLESS NOTED OTHERWISE.

CONSULTING ENGINEER



VERVE
DESIGN GROUP

QBCC LICENCE No. 1236072
OFFICE: 1, LEVEL 1, 488 LUTWYCHE RD, LUTWYCHE 4030 PH: (07) 3657 0842
info@vervedesigngroup.com.au

imagine create deliver

- ☐ commercial ☐ service stations
- ☐ mixed-use ☐ quick service restaurants
- ☐ self storage ☐ child care centres
- ☐ industrial ☐ large format retail

© 2011 copyright, all rights reserved.

This drawing is the © copyright & property of VERVE DESIGN GROUP and must not be used or duplicated without authorisation.

Do not scale this drawing.

Check all dimensions on site prior commencement of works

Revision and approvals				
Rev	Date	Drn	Description	Appr
P1	23.01.2025		ISSUE FOR COMMENT	
A	23.06.2025	BH	DA ISSUE	

Project Description	
PROPOSED MIXED USE DEVELOPMENT	
HOLLOWS ROAD, FLAGSTONE	
Scale @A1	Date JAN 2025
Drawn BH	Approved By GN

Drawing Title	
PHOTOREALISTIC RENDER	
Job Number - Drawing Number	Revision
24072 DA15	A