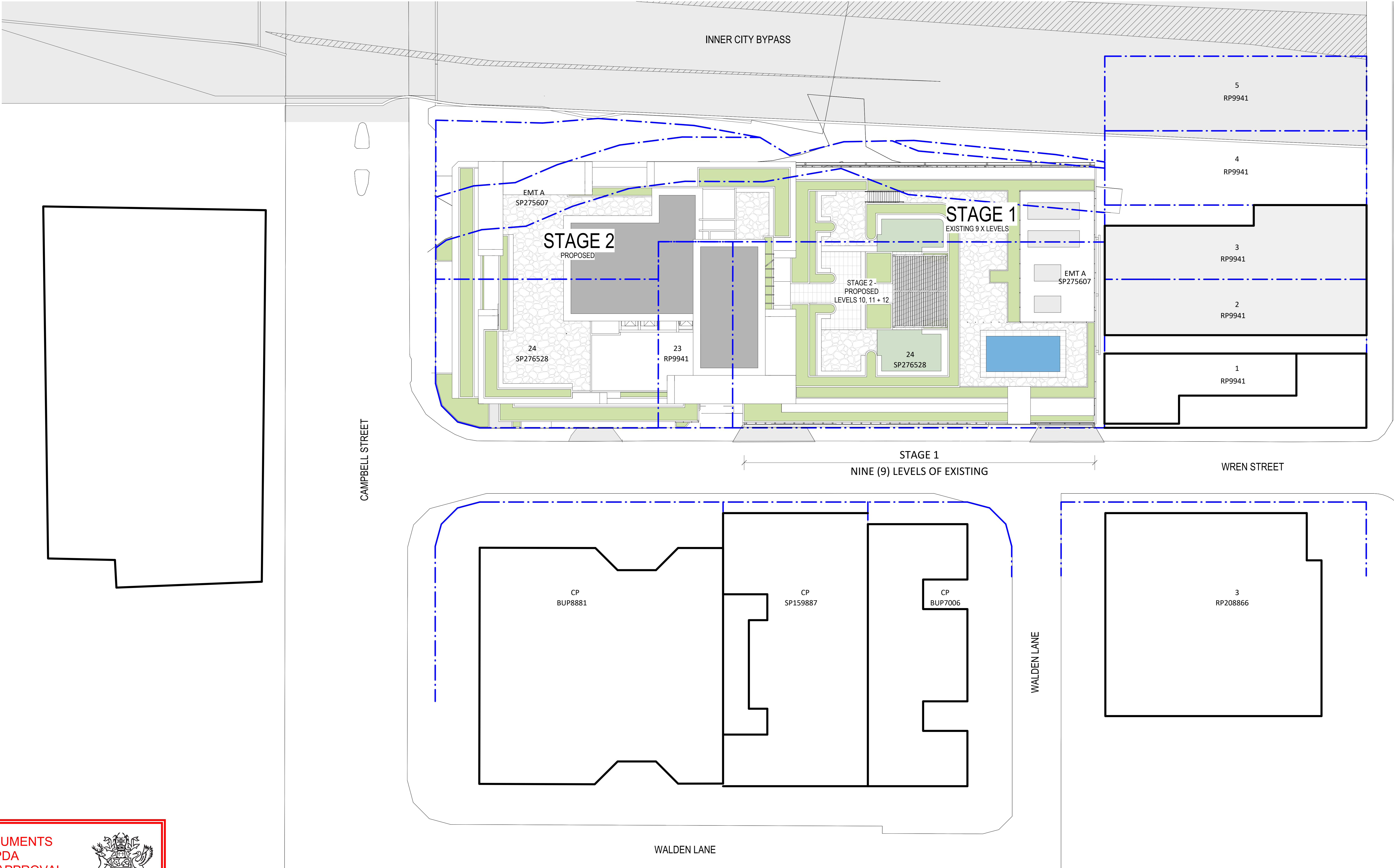


AREA

SITE AREA - 3,572m<sup>2</sup>

BUILDING FOOTPRINT - 3,000m<sup>2</sup> 84%



PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL

Approval no: DEV2024/1479  
Date: 18 June 2025



Wren Street Stage 2  
7-15 Wren Street, Bowen Hills, QLD

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TA # 22.0169.17

SITE PLAN

1 : 200 @ A0

DA01.02

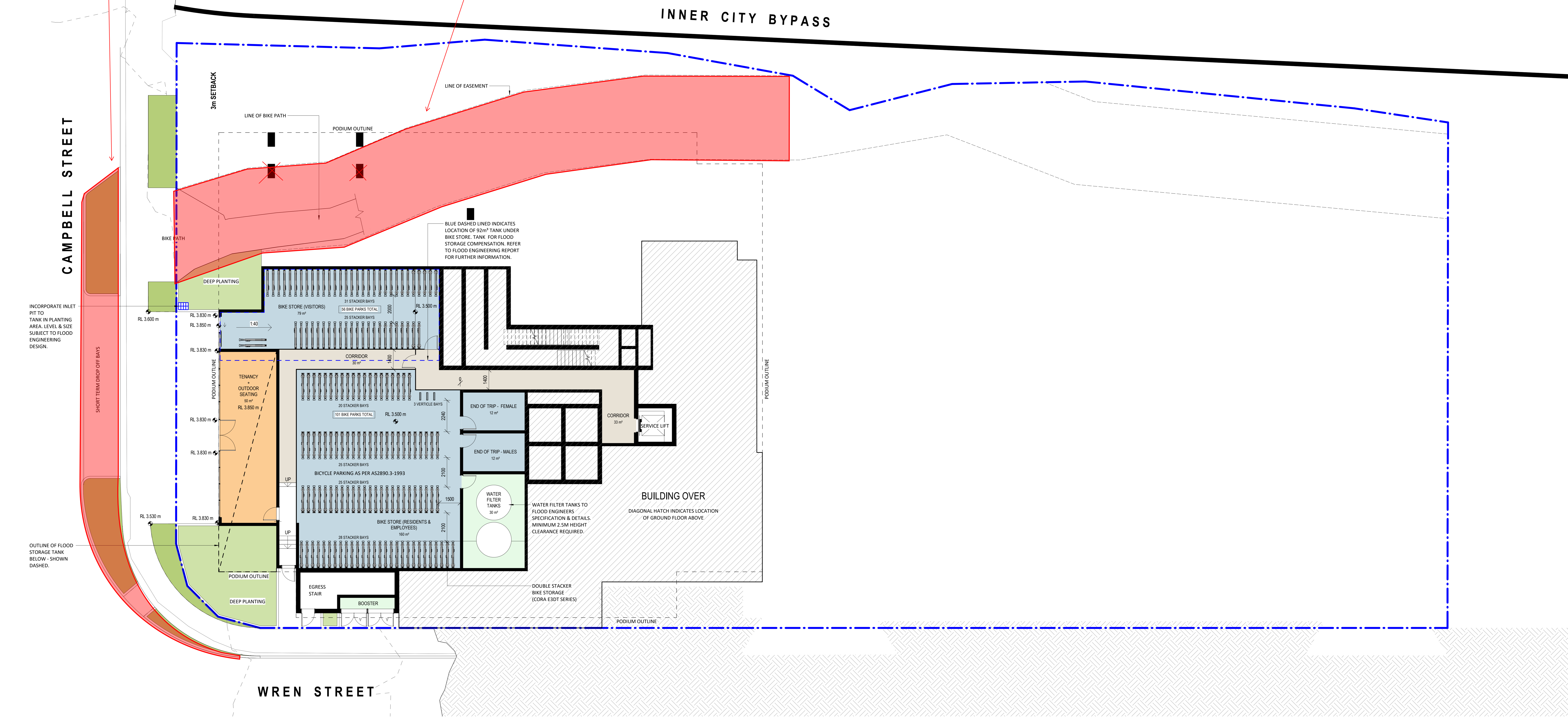
25-03-2025

rev. 4





DEVELOPMENT APPLICATION

Kerb build outs and short term drop off bays in the area identified for future road widening is not approved as part of this development.

No structural components to be located within the volumetric easement.



**BASEMENT LEVEL**

-  OUTLINE OF GROUND ABOVE
-  PROPOSED TENANCY
-  BIKE STORE
-  BACK OF HOUSE

<b>GROSS FLOOR AREA</b>	
TENANCY	54
<b>TOTAL</b>	<b>54m<sup>2</sup></b>

<b>BIKE BAYS</b>	
VISITORS	56
RESIDENTIAL / EMPLOYEES	101
<b>TOTAL</b>	<b>156</b>

AMENDED IN RED

By: Elrico Koeberg

Date: 20 May 2025



## PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2024/1479

Date: 18 June 2025



## DEVELOPMENT APPLICATION

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## LOWER GROUND FLOOR PLAN

As indicated @ A0

26-03-2025

DA02.01

rev. 7

## Wren Street Stage 2

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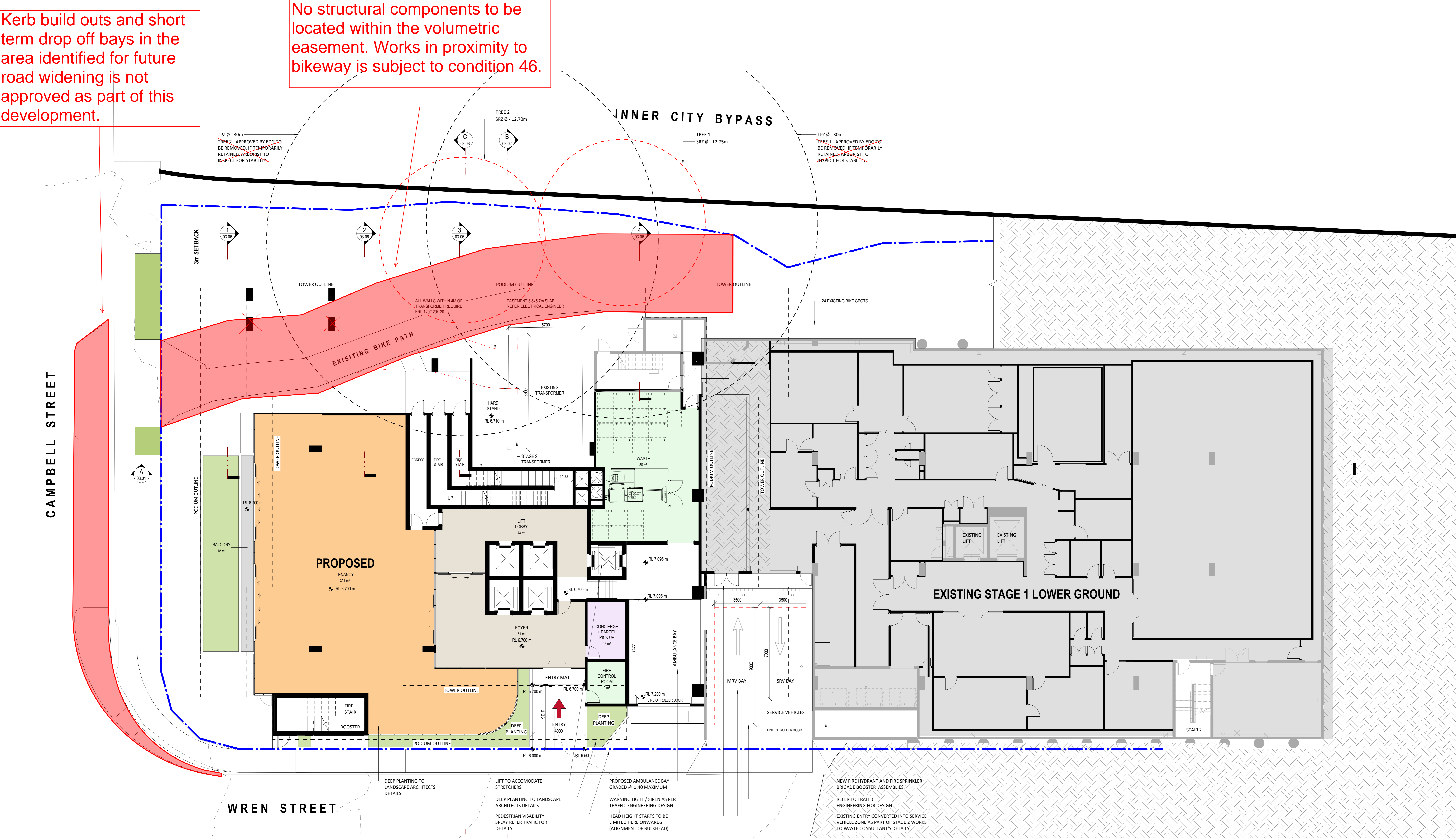
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Kerb build outs and short term drop off bays in the area identified for future road widening is not approved as part of this development.

No structural components to be located within the volumetric easement. Works in proximity to bikeway is subject to condition 46.



- GROUND LEVEL**
- PROPOSED TENANCY
  - LOBBY / CORRIDOR
  - BACK OF HOUSE
  - EXISTING INDICATIVE STRUCTURAL ROOT ZONE (INNER RED DASH) AND TREE PROTECTION ZONE (OUTER BLACK DASH). REFER LANDSCAPE DRAWINGS

GROSS FLOOR AREA	
PROPOSED (STAGE 2) - TENANCY	307*
CONCIERGE PARCEL PICK UP	16
TOTAL	323m²

\*EXCLUDES LOBBY AND CIRCULATION

AMENDED IN RED

By: Elrico Koeberg  
Date: 20 May 2025



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2024/1479  
Date: 18 June 2025



## DEVELOPMENT APPLICATION

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GROUND FLOOR PLAN - LOBBY

As indicated @ A0

26-03-2025

TA # 22.0169.17

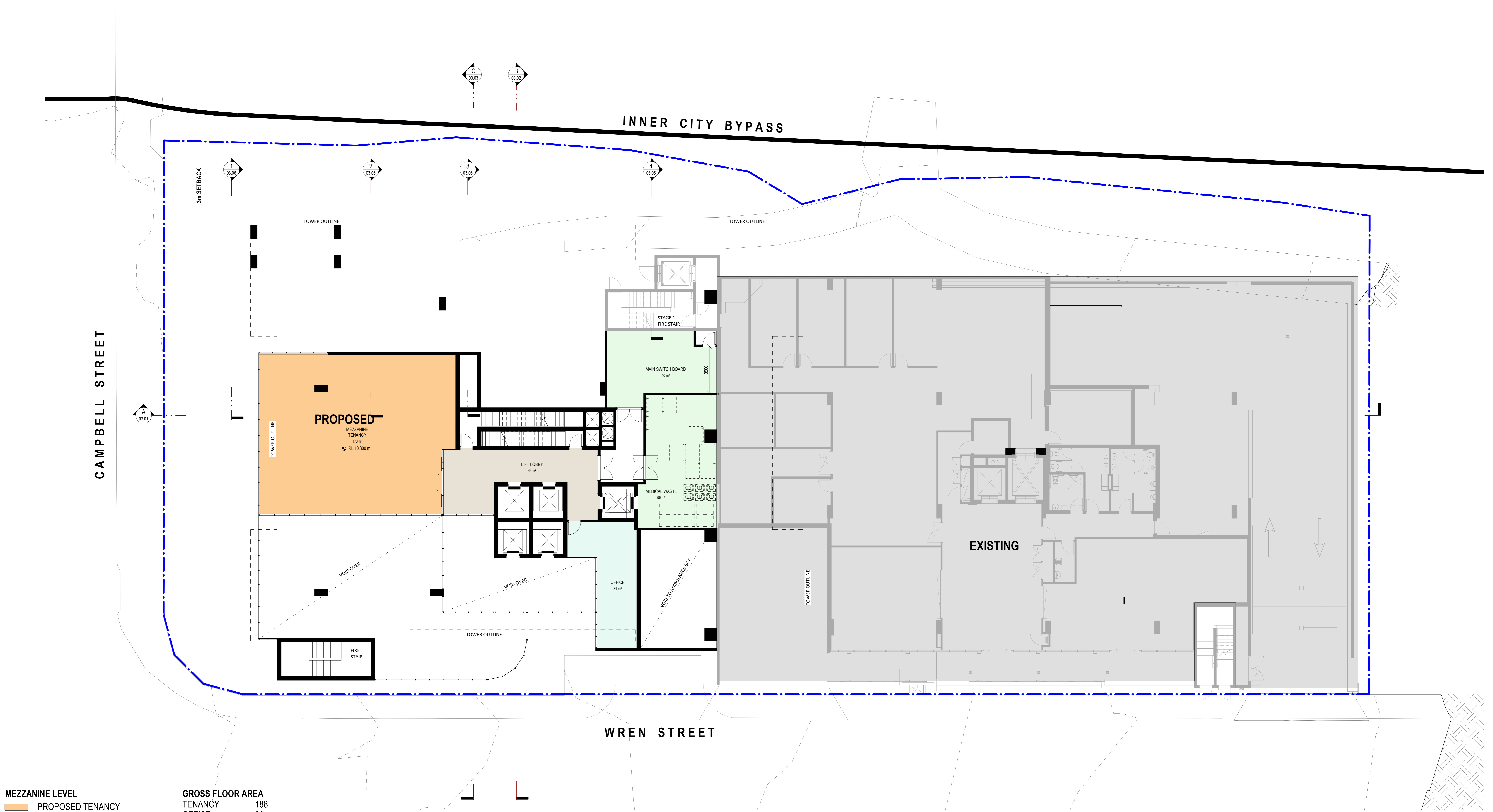
DA02.02

rev. 6

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- MEZZANINE LEVEL**
- PROPOSED TENANCY
  - BIKE STORE
  - BACK OF HOUSE
  - LOBBY / CORRIDOR

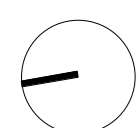
GROSS FLOOR AREA	
TENANCY	188
OFFICE	36
LIFT LOBBY	61
TOTAL	285m <sup>2</sup>

PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL

Approval no: DEV2024/1479  
Date: 18 June 2025



0 1 2 3 5 10m



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**MEZZANINE LEVEL**

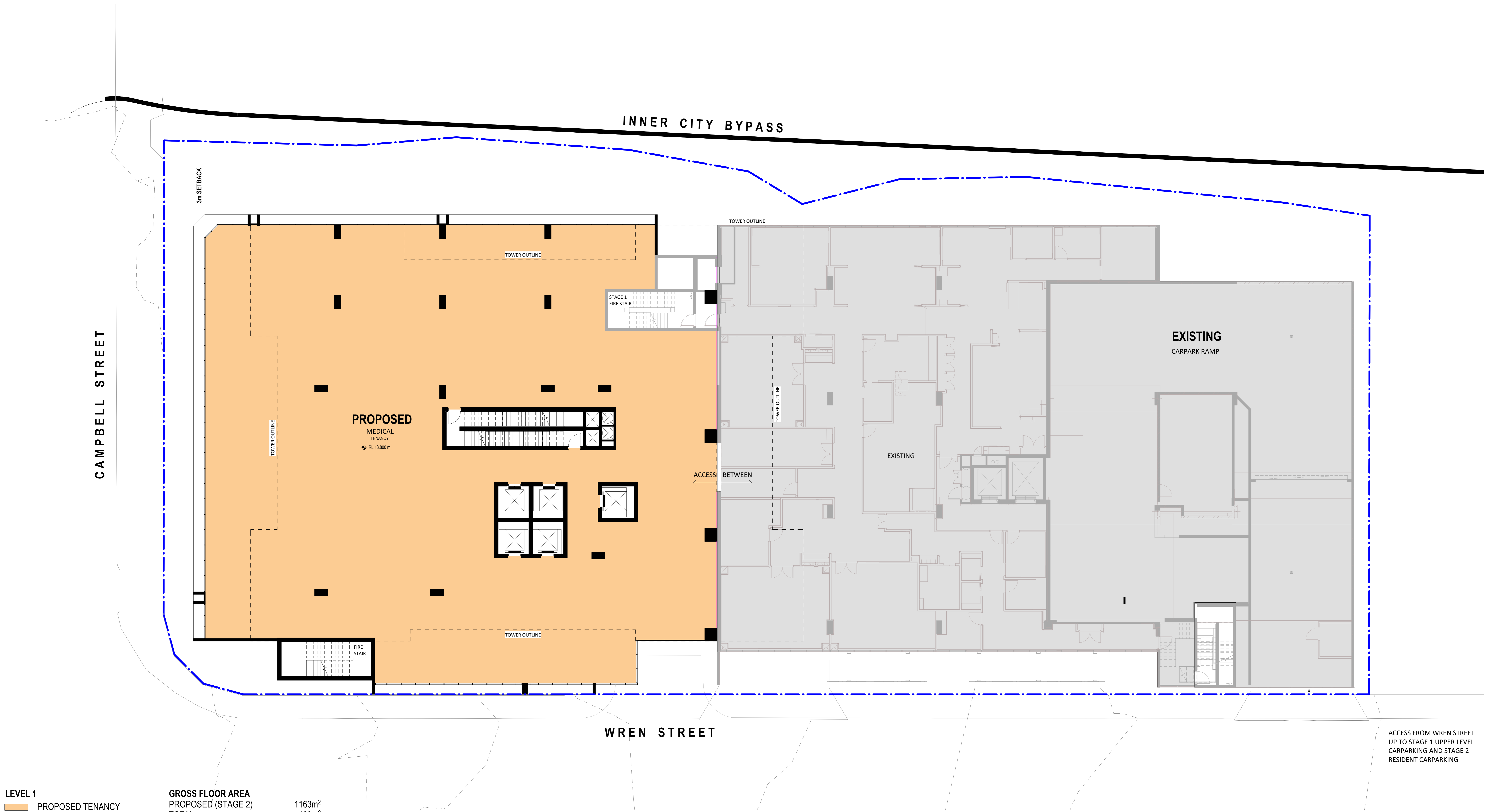
As indicated @ A0

DA02.03

25-03-2025

rev. 4

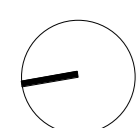
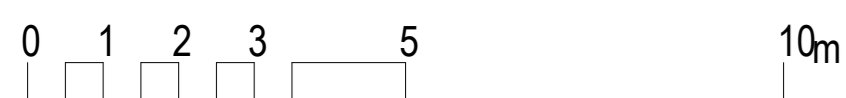
DEVELOPMENT APPLICATION



PLANS AND DOCUMENTS  
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LEVEL 1 PLAN - MEDICAL TENANCY

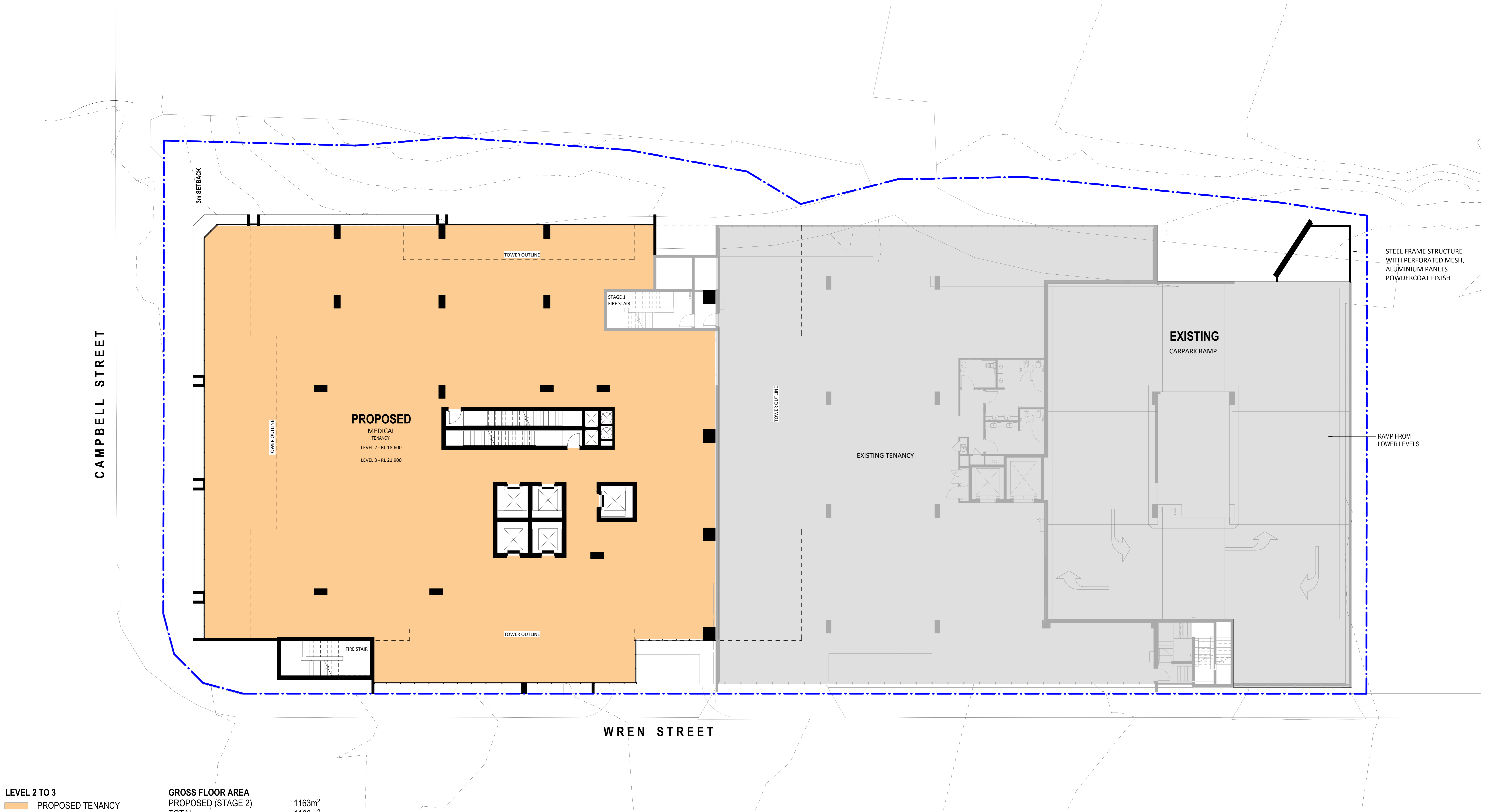
As indicated @ A0

DA02.04

25-03-2025

rev. 5

# DEVELOPMENT APPLICATION



LEVEL 2 TO 3  
PROPOSED TENANCY

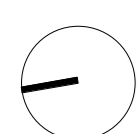
GROSS FLOOR AREA  
PROPOSED (STAGE 2) 1163m<sup>2</sup>  
TOTAL 1163m<sup>2</sup>

PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL

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0 1 2 3 5 10m



### Wren Street Stage 2

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## DEVELOPMENT APPLICATION

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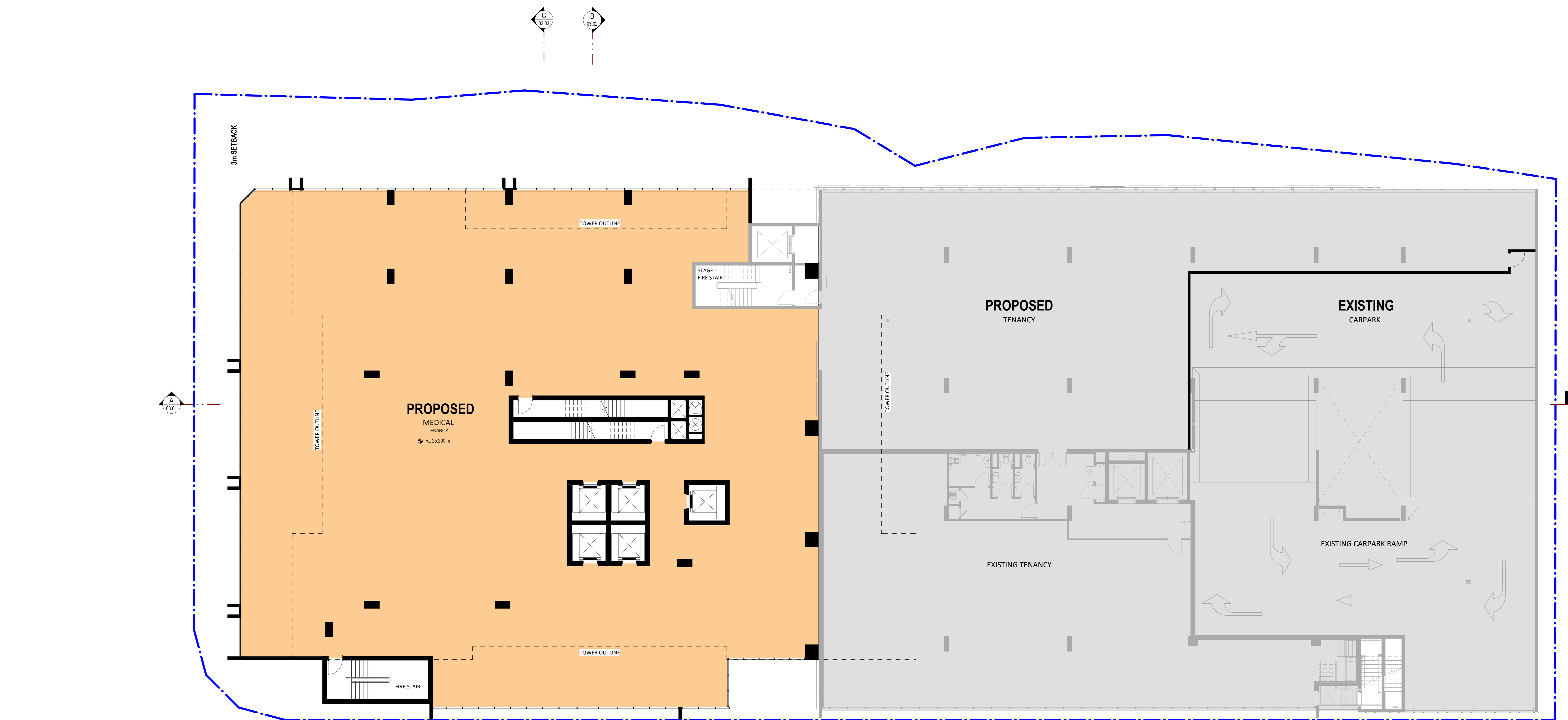
LEVEL 2 TO 3 PLAN - MEDICAL  
TENANCY

As indicated @ A0

26-03-2025

DA02.05

rev. 6

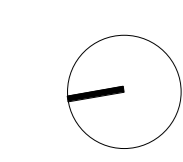
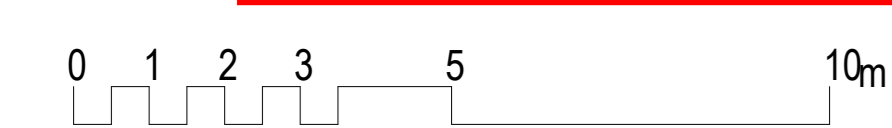


<b>LEVEL 4</b>	
 PROPOSED TENANCY	<b>GROSS FLOOR AREA</b>
	PROPOSED (STAGE 2) 1163m <sup>2</sup>
	<b>TOTAL</b> 1163m <sup>2</sup>

PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL

Approval no: DEV2024/1479  
Date: 18 June 2025

  
Queensland  
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## DEVELOPMENT APPLICATION

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LEVEL 4 PLAN - MEDICAL TENANCY

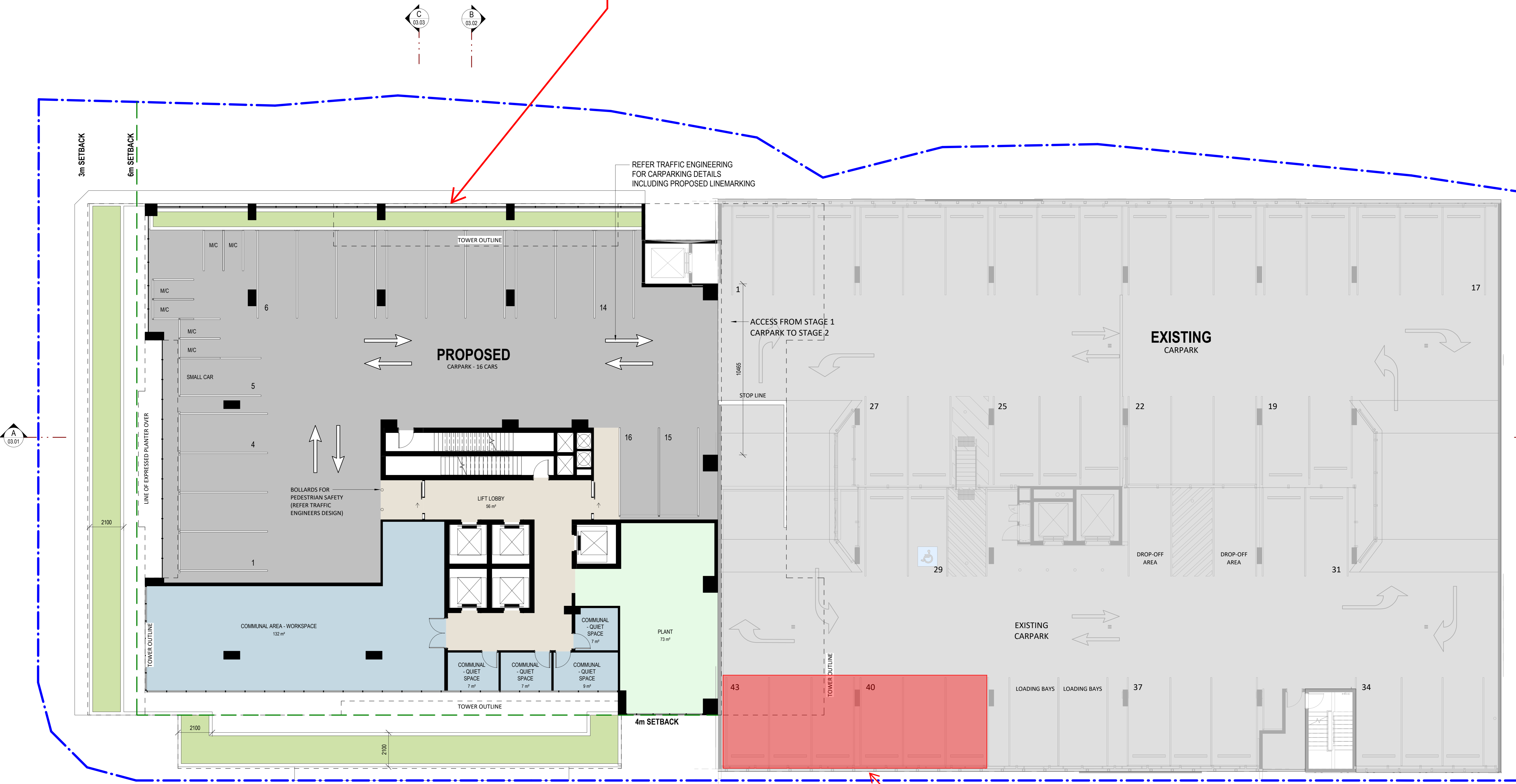
As indicated @ A0

25-03-2025

DA02.06

rev. 5

Further details on the selected plant species included in these planters required in accordance with condition 5.



**LEVEL 5**

- PARKING
- COMMUNAL
- BACK OF HOUSE
- LOBBY / CORRIDOR

**GROSS FLOOR AREA**  
PROPOSED LIFT LOBBY 56m²

**PARKING**  
PROPOSED (STAGE 2) 16 BAYS  
6 MOTOR BIKES

**AMENDED IN RED**

By: Elrico Koeberg  
Date: 20 May 2025

Queensland Government

**PLANS AND DOCUMENTS**  
referred to in the PDA  
DEVELOPMENT APPROVAL

Approval no: DEV2024/1479  
Date: 18 June 2025

Queensland Government

**Wren Street Stage 2**  
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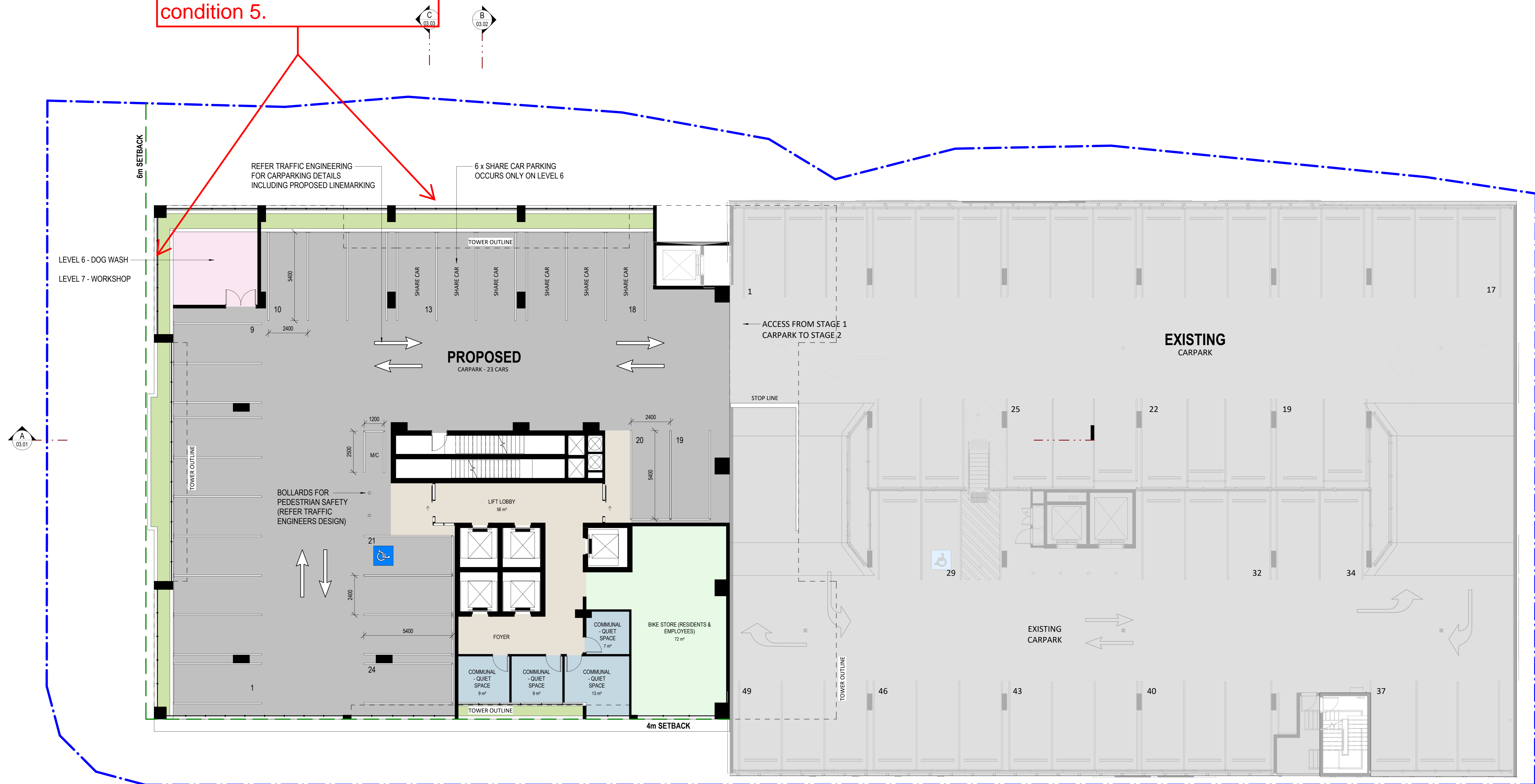
**thomson adsett**

**LEVEL 5 PLAN - PARKING**

As indicated @ A0 19-05-2025

TA # 22.0169.17 DA02.07 rev. 8

Further details on the selected plant species included in these planters required in accordance with condition 5.



- LEVEL 6 TO 7
- PARKING
  - COMMUNAL
  - BACK OF HOUSE
  - LOBBY / CORRIDOR
  - DOGWASH / WORKSHOP

PARKING  
PROPOSED (STAGE 2) 24 BAYS

AMENDED IN RED

By: Elrico Koeberg  
Date: 20 May 2025



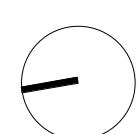
PLANS AND DOCUMENTS  
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DEVELOPMENT APPROVAL

Approval no: DEV2024/1479  
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## DEVELOPMENT APPLICATION

0 1 2 3 5 10m



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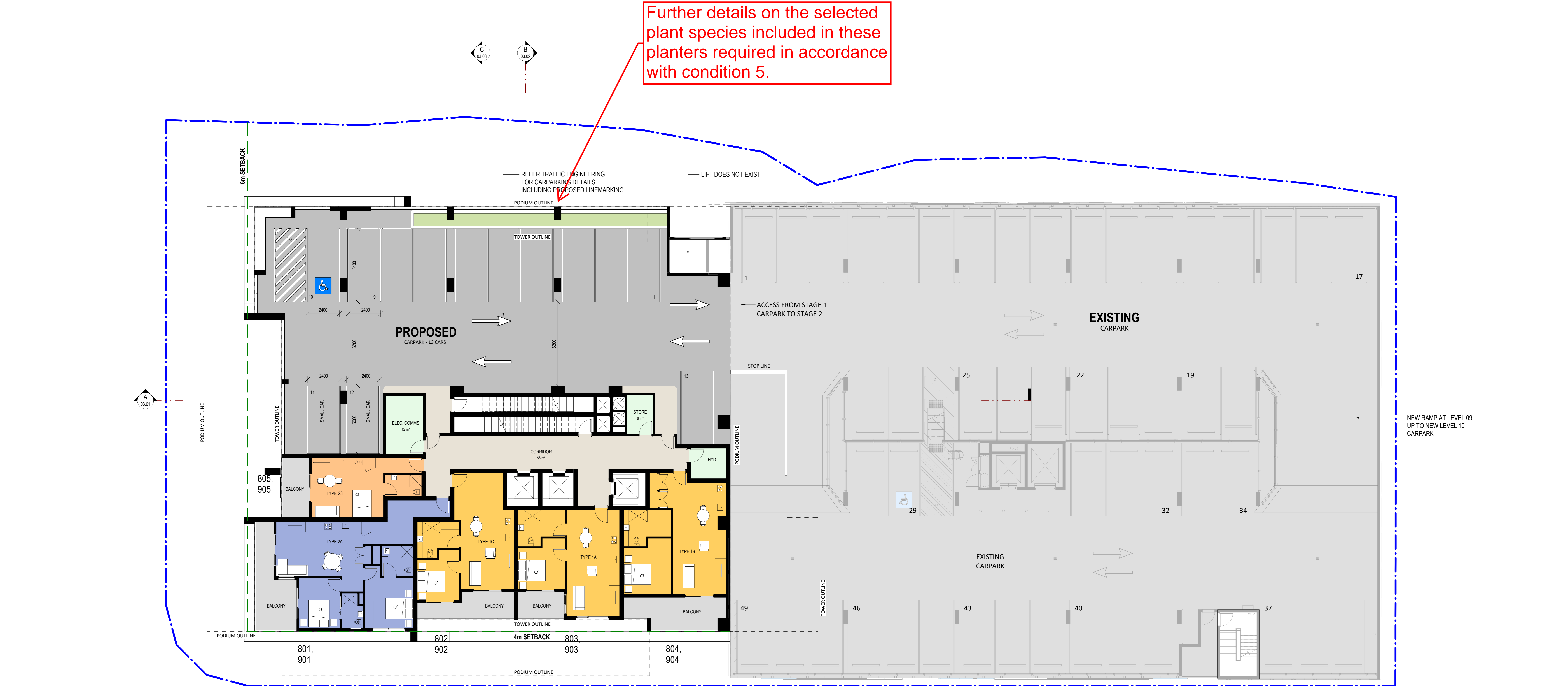
LEVEL 6 TO 7 PLAN - PARKING

As indicated @ A0

DA02.08

19-05-2025

rev. 8



LEVEL 8 TO 9		
STUDIOS	1	
1 BEDROOM	3	
2 BEDROOM	1	
LOBBY / CORRIDOR		
TOTAL	5	

GROSS FLOOR AREA		
STAGE 2 UNITS	314	
STAGE 2 LIFT LOBBY	62	
TOTAL	376m <sup>2</sup>	

PARKING		
STAGE 2	13 BAYS	

PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL

Approval no: DEV2024/1479  
Date: 18 June 2025



AMENDED IN RED

By: Elrico Koeberg  
Date: 20 May 2025



## DEVELOPMENT APPLICATION

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TA # 22.0169.17

LEVEL 8 to 9 PLAN - UNITS & CARPARKS

As indicated @ A0

DA02.09

25-03-2025

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Wren Street Stage 2  
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LEVEL 12

STUDIOS	3
1 BEDROOM	3
2 BEDROOM	5
3 BEDROOM	1
LOBBY / CORRIDOR	
TOTAL	12


GROSS FLOOR AREA

STAGE 2 UNITS	861
STAGE 2 LIFT LOBBY	114
TOTAL	975m <sup>2</sup>

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2024/1479

Date: 18 June 2025

  
Queensland Government

Wren Street Stage 2

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LEVEL 12 - UNITS & COMMUNAL AREAS

As indicated @ A0

25-03-2025

rev. 5



LEVEL 13 TO 29	
STUDIOS	2
1 BEDROOM	4
2 BEDROOM	5
3 BEDROOM	1
LOBBY / CORRIDOR	
TOTAL	12

GROSS FLOOR AREA	
STAGE 2 UNITS	875
STAGE 2 LIFT LOBBY	93
TOTAL	968m <sup>2</sup>

PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL

Approval no: DEV2024/1479

Date: 18 June 2025



## Wren Street Stage 2

7-15 Wren Street, Bowen Hills, QLD

AustralAsian Property Group Pte Ltd

# DEVELOPMENT APPLICATION

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LEVEL 13 TO 29 PLAN - TYPICAL UNITS

As indicated @ A0

DA02.13

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Rooftop Communal Open Space is subject to further compliance assessment under condition 9.

The design of the rooftop communal open space is required to take into consideration the following principles of designing for subtropical rooftops:

**Orientation and Shading:** Position rooftop elements to minimise direct sun exposure, especially during peak hours. Incorporate overhangs, pergolas, and adjustable shading devices to reduce heat gain.

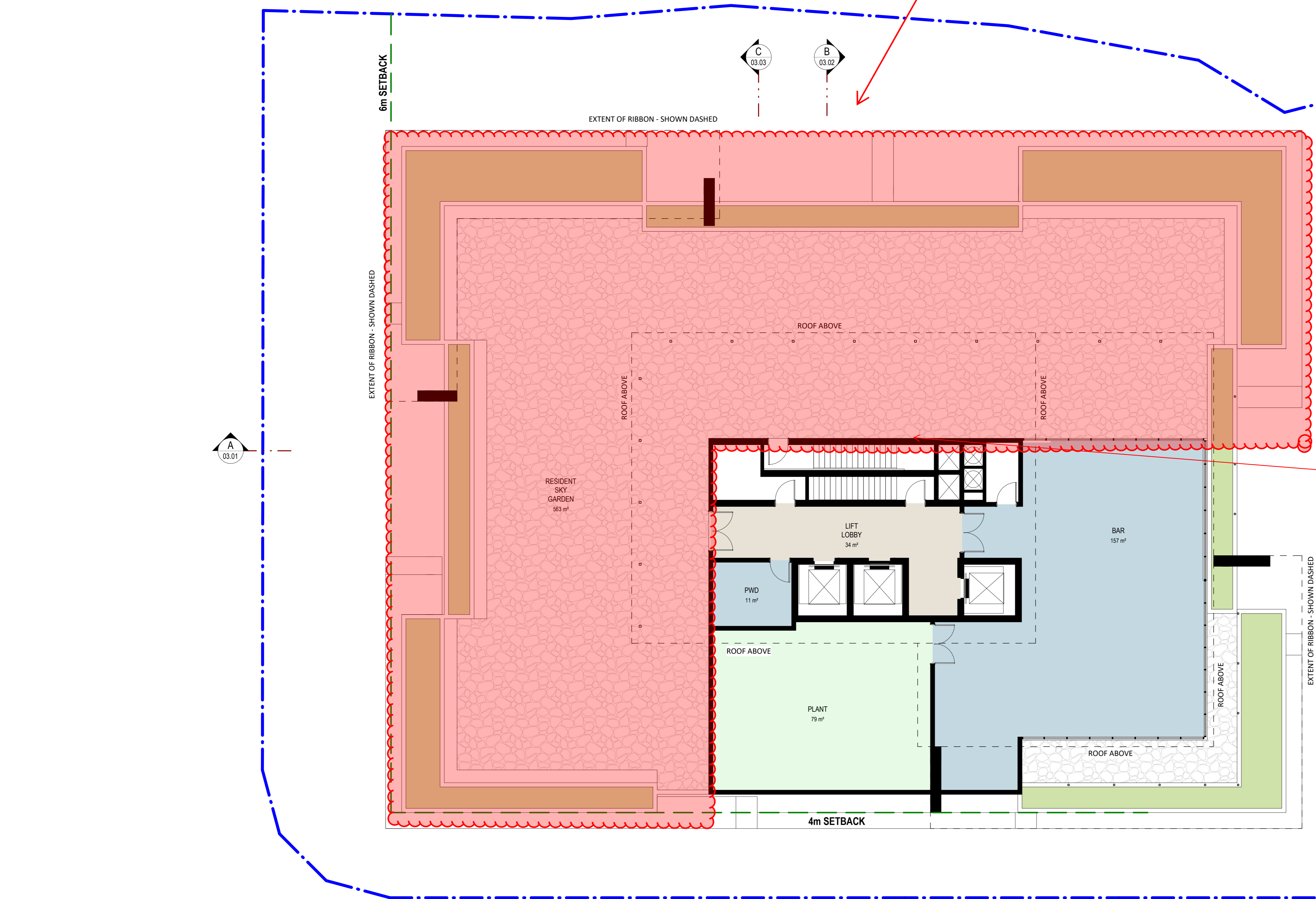
**Natural Ventilation:** Balance between facilitating cross-ventilation for cooling and screening areas of high velocity winds.

**Vegetated Roofs:** Implement green roofs with plant species suited to roof top micro climate to lower roof surface temperatures and manage stormwater.

**Community:** Develop communal rooftop areas that serve as a social hubs, promoting interaction among residents and providing recreational opportunities.

**Flexible Spaces:** Incorporate adaptable spaces that can host various activities, enhancing the building's social sustainability.

**Reflective and Insulating Materials:** Use roofing materials with high solar reflectance and insulation properties to mitigate heat absorption.



SKY GARDEN - LEVEL 30

COMMUNAL
LOBBY / CORRIDOR / AIRLOCK
BACK OF HOUSE

GROSS FLOOR AREA

BAR	126
AMENITIES	47
LOBBY	47
TOTAL	220m²

AMENDED IN RED

By: Elrico Koeberg  
Date: 20 May 2025



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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LEVEL 30 PLAN - SKY GARDEN

As indicated @ A0

DA02.14

19-05-2025

rev. 7

DEVELOPMENT APPLICATION

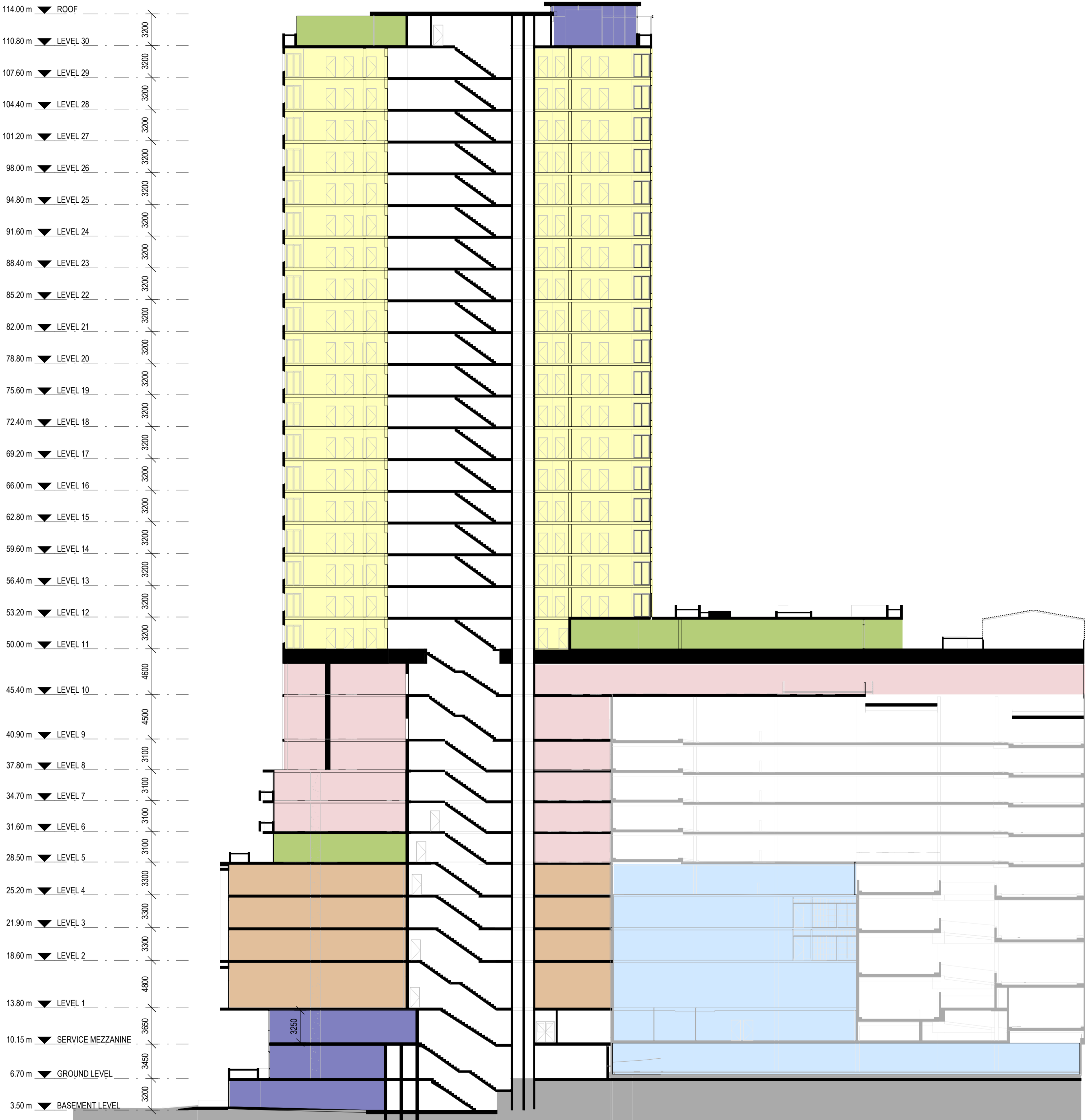
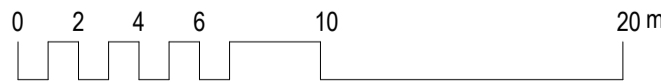
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DEVELOPMENT APPROVAL

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Government

- LEGEND
- RESIDENTIAL
  - COMMERICAL TENANCY
  - PARKING
  - STAGE 1 MEDICAL SUITE
  - SERVICES
  - MEDICAL TENANCY
  - TENANCY LOBBY
  - BTR COMMON AREA



A SECTION A  
1 : 250

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SECTIONS - SHEET 1

As indicated @ A1

DA03.01

26-03-2025

rev. 5

DEVELOPMENT APPLICATION

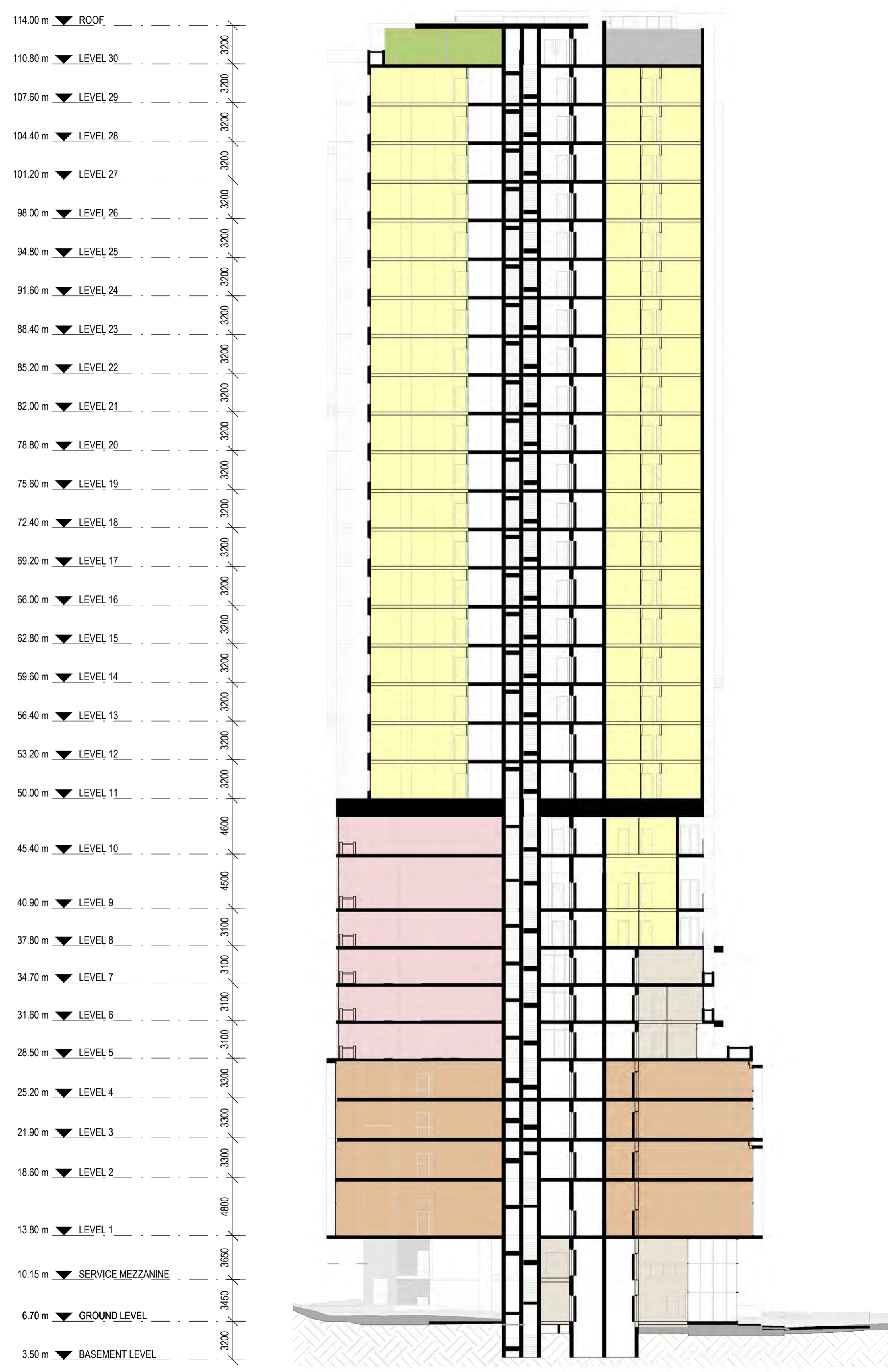
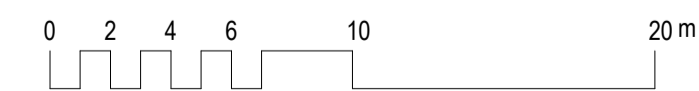
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- LEGEND
- RESIDENTIAL
  - COMMERICAL TENANCY
  - PARKING
  - STAGE 1 MEDICAL SUITE
  - SERVICES
  - MEDICAL TENANCY
  - TENANCY LOBBY
  - BTR COMMON AREA



B SECTION B  
1:250

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TA # 22.0169.17

SECTIONS - SHEET 2

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DA03.02

26-03-2025

rev. 5

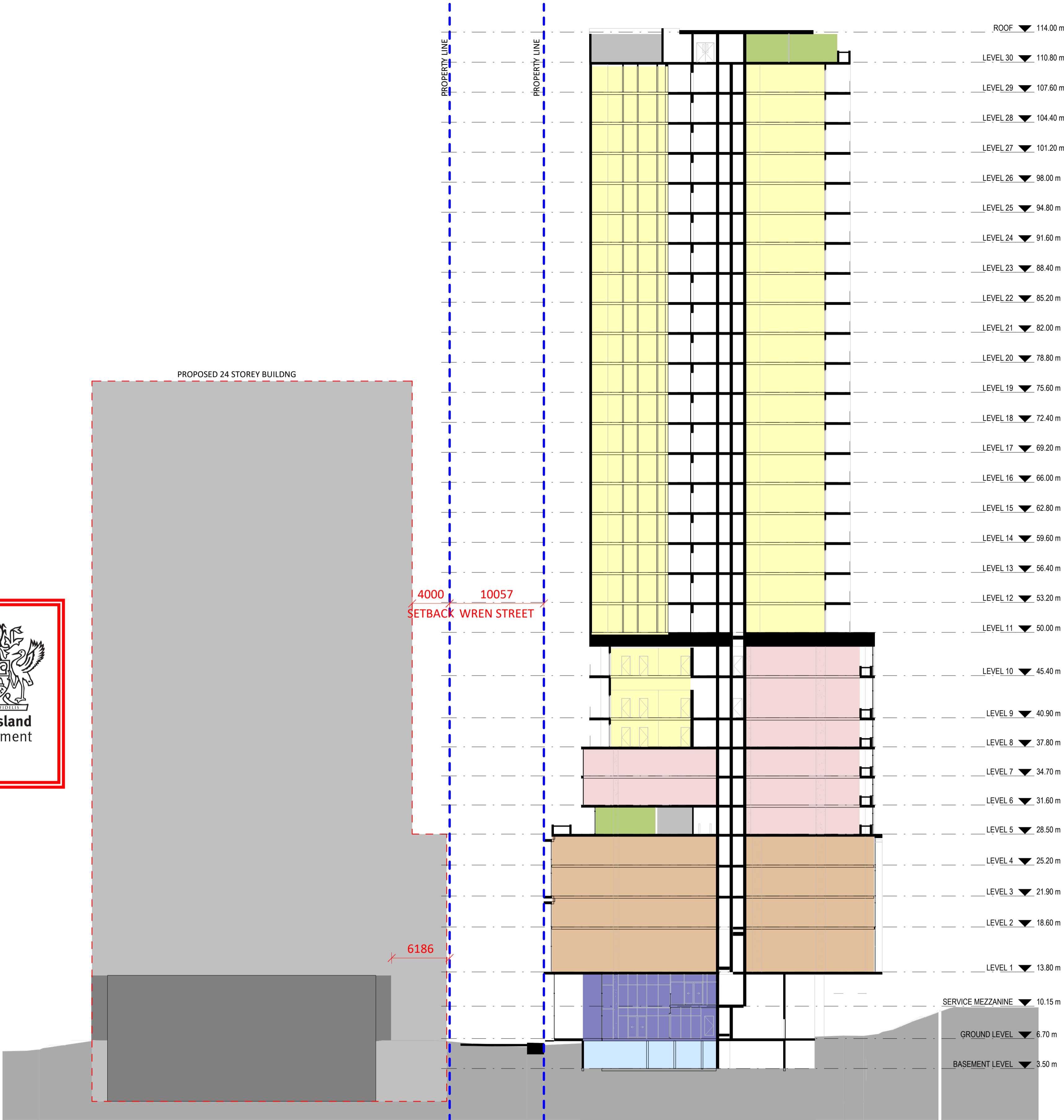
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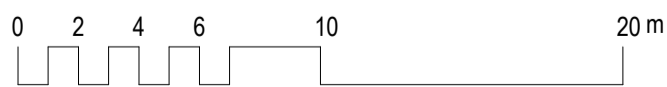


Queensland  
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- LEGEND
- RESIDENTIAL
  - COMMERICAL TENANCY
  - PARKING
  - STAGE 1 MEDICAL SUITE
  - SERVICES
  - MEDICAL TENANCY
  - TENANCY LOBBY
  - BTR COMMON AREA



C SITE SECTION - WREN STREET  
1 : 250



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SITE SECTIONS - WREN STREET

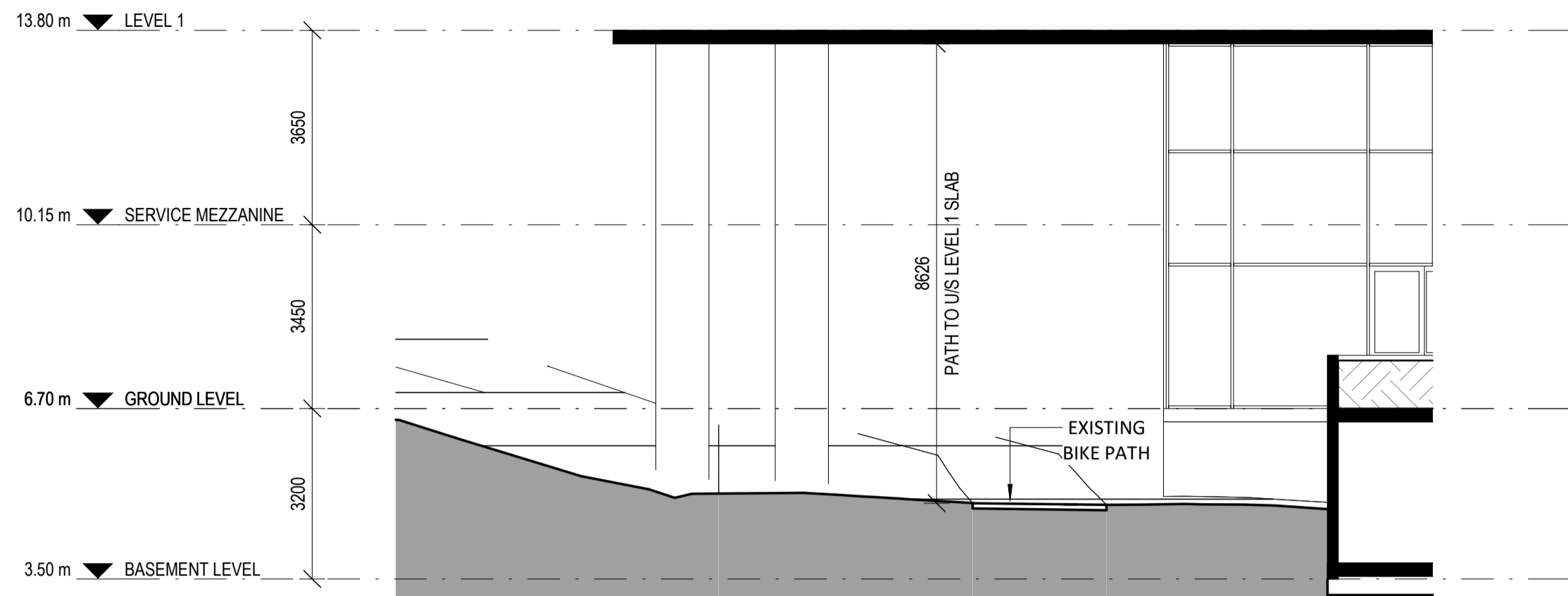
As indicated @ A1

26-03-2025

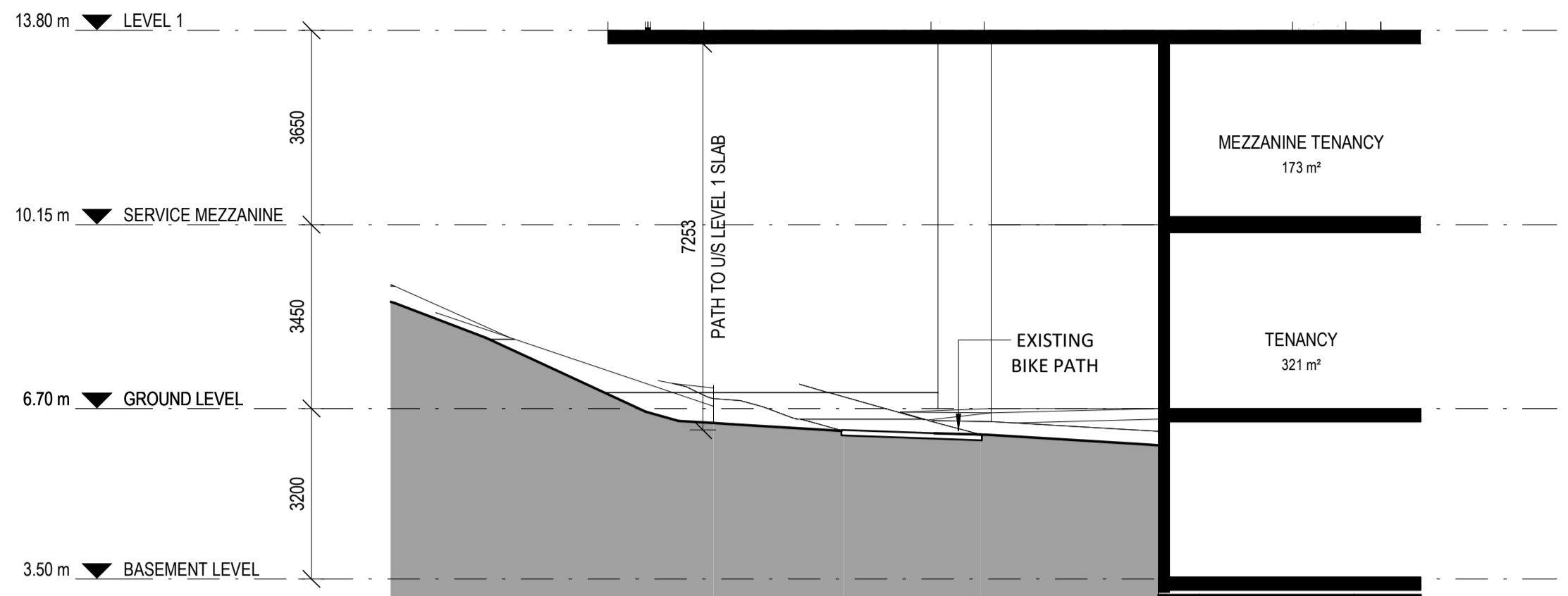
DA03.03

rev. 4

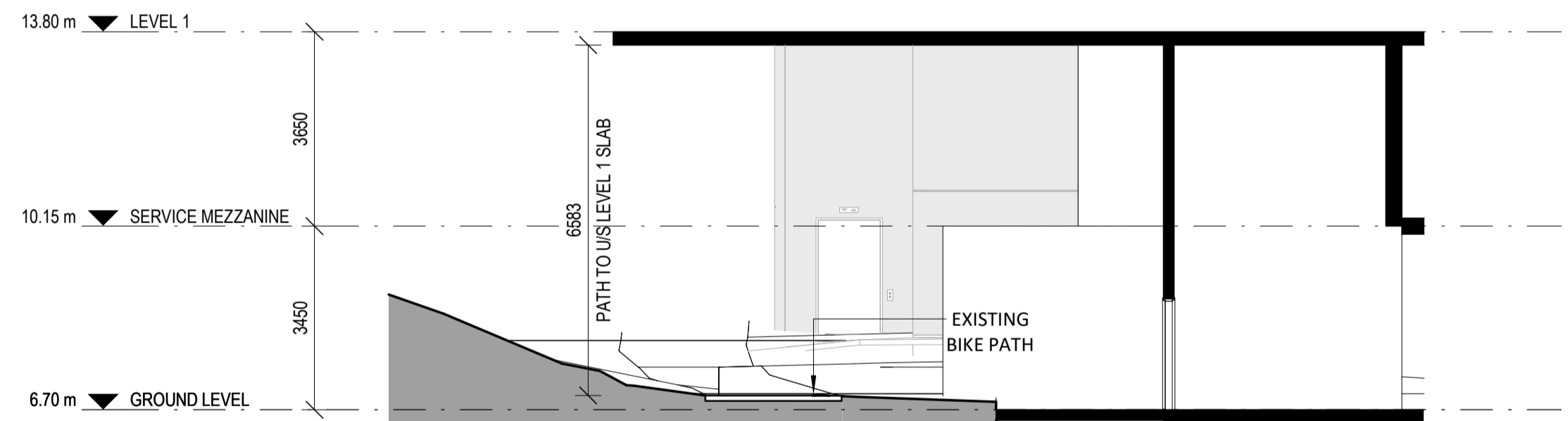
DEVELOPMENT APPLICATION



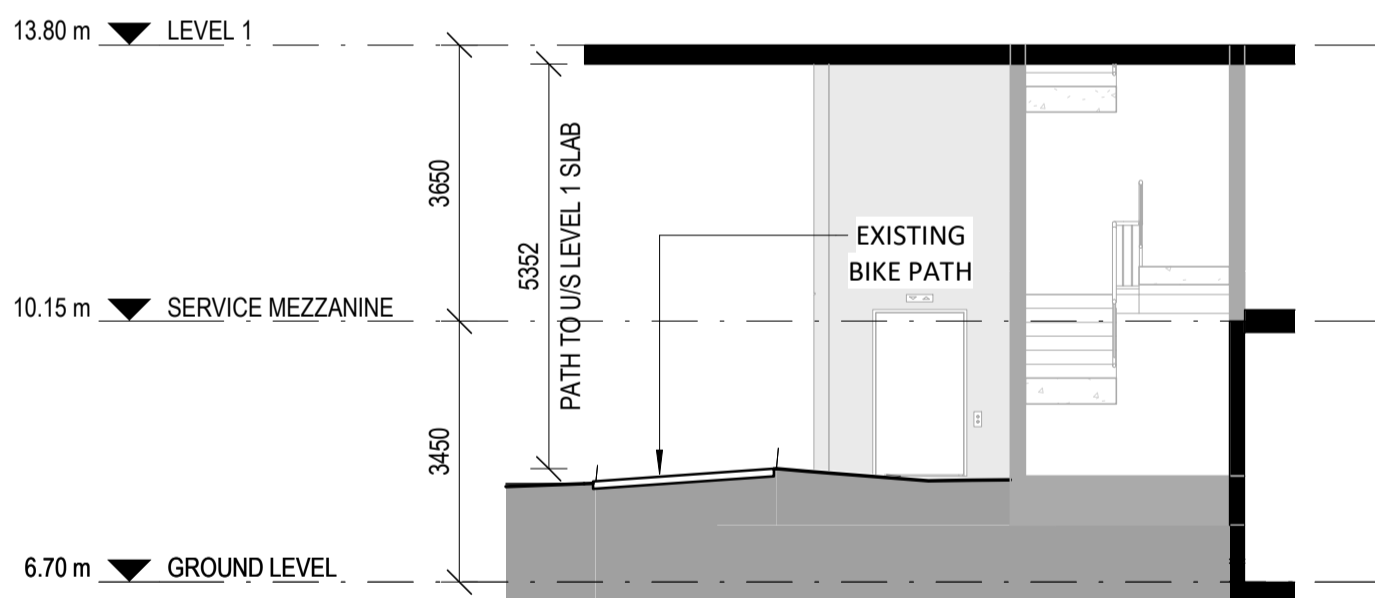
1 SECTION 1  
02.02 1 : 100



2 SECTION 2  
02.02 1 : 100



3 SECTION 3  
02.02 1 : 100



4 SECTION 4  
02.02 1 : 100

PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL

Approval no: DEV2024/1479

Date: 18 June 2025



## Wren Street Stage 2

7-15 Wren Street, Bowen Hills, QLD

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## GROUND TO LEVEL 1 - SECTIONS

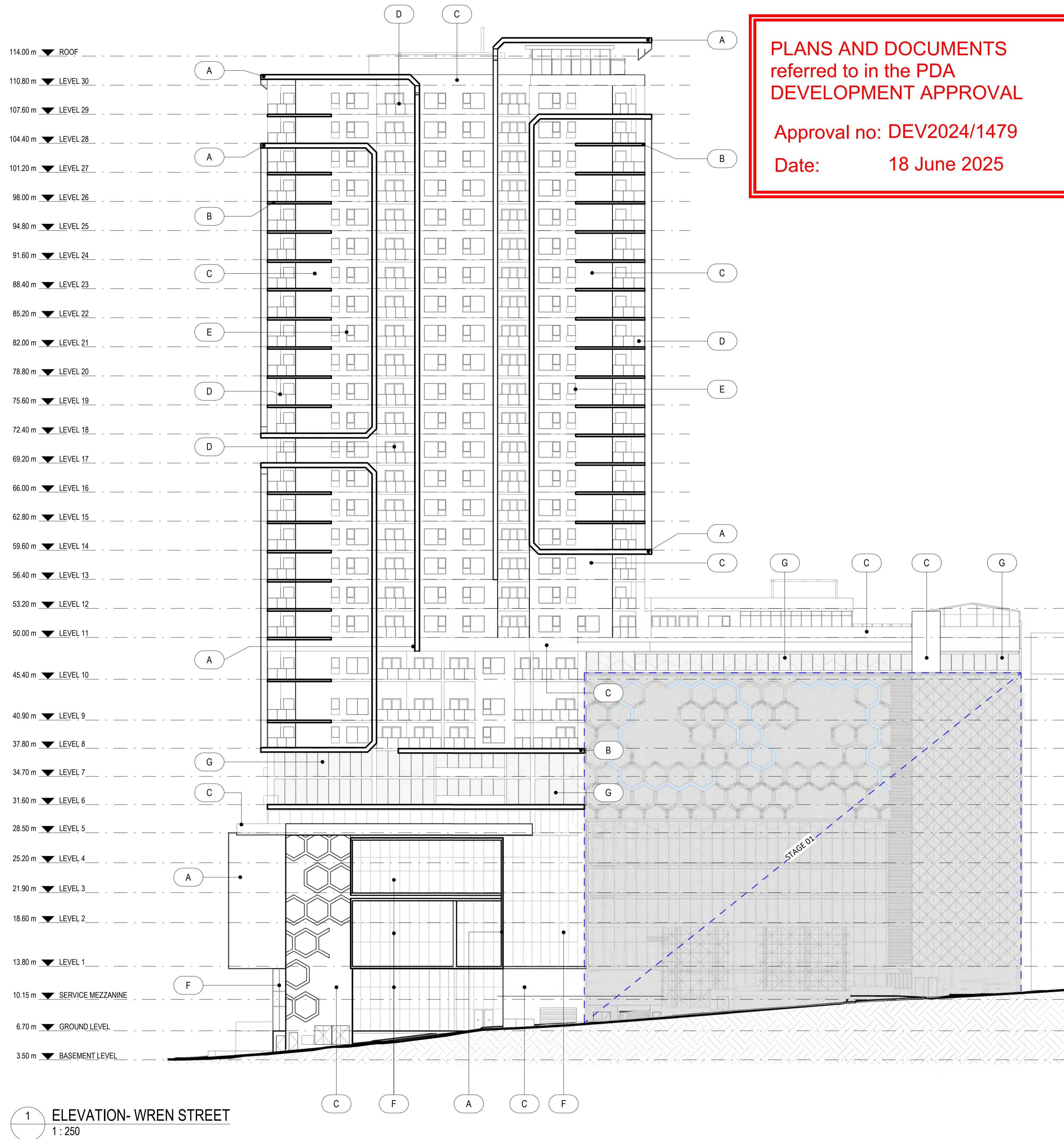
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DA03.06

26-03-2025

rev. 1

# DEVELOPMENT APPLICATION

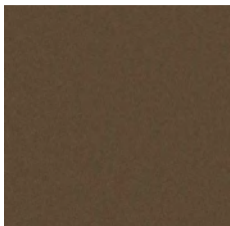
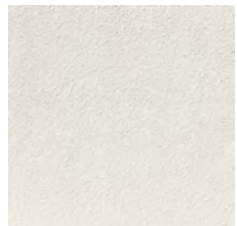


PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL

Approval no: DEV2024/1479

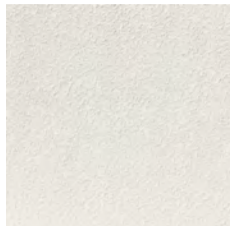
Date: 18 June 2025

  
Queensland  
Government

- MATERIALS
- 

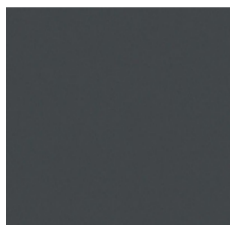
A.

ALUMINIUM SHEET OVER STEEL  
FRAME, POWDERCOAT FINISH

COLOUR: WHITE & BRONZE  
COLOUR ON INNER FACE
- 

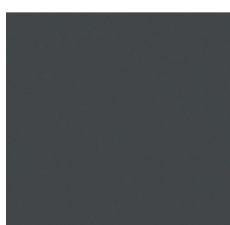
B.

CONCRETE EDGE BAND TEXTURE,  
PAINT FINISH

COLOUR: WHITE
- 

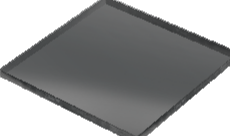

C.

CONCRETE WALL PANEL  
TEXTURE, PAINT FINISH

COLOUR: DULUX TIMBERLAND  
(DARK GREY)
- 

D.

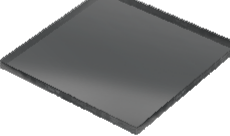

ALUMINIUM FRAMED & GLAZED  
BALUSTRADE, POWDERCOAT  
FINISH

COLOUR: DULUX TIMBERLAND  
(DARK GREY)
- 

E.

ALUMINIUM FRAMED WINDOWS,  
POWDERCOAT FINISH



COLOUR: DULUX TIMBERLAND  
(DARK GREY)

GLASS: GREY BODY TONE - HIGH  
PERFORMANCE GLASS
- 

F.

CURTAIN GLASS WALL  
ALUMINIUM FRAMING,  
POWDERCOAT FINISH

COLOUR: DULUX TIMBERLAND  
(DARK GREY)

GLASS: GREY BODY TONE - HIGH  
PERFORMANCE GLASS
- 

G.

METAL SCREEN WITH 50%  
OPENING & LAZER CUT  
APERTURES, POWDERCOAT  
FINISH

COLOUR: BLACK

INSTALLED IN METAL FRAME -  
PODERCOAT FINISH, COLOUR  
BLACK

## DEVELOPMENT APPLICATION

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ELEVATION - WREN STREET

As indicated @ A1

25-03-2025

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rev. 3

**Wren Street Stage 2**  
7-15 Wren Street, Bowen Hills, QLD

AustralAsian Property Group Pte Ltd

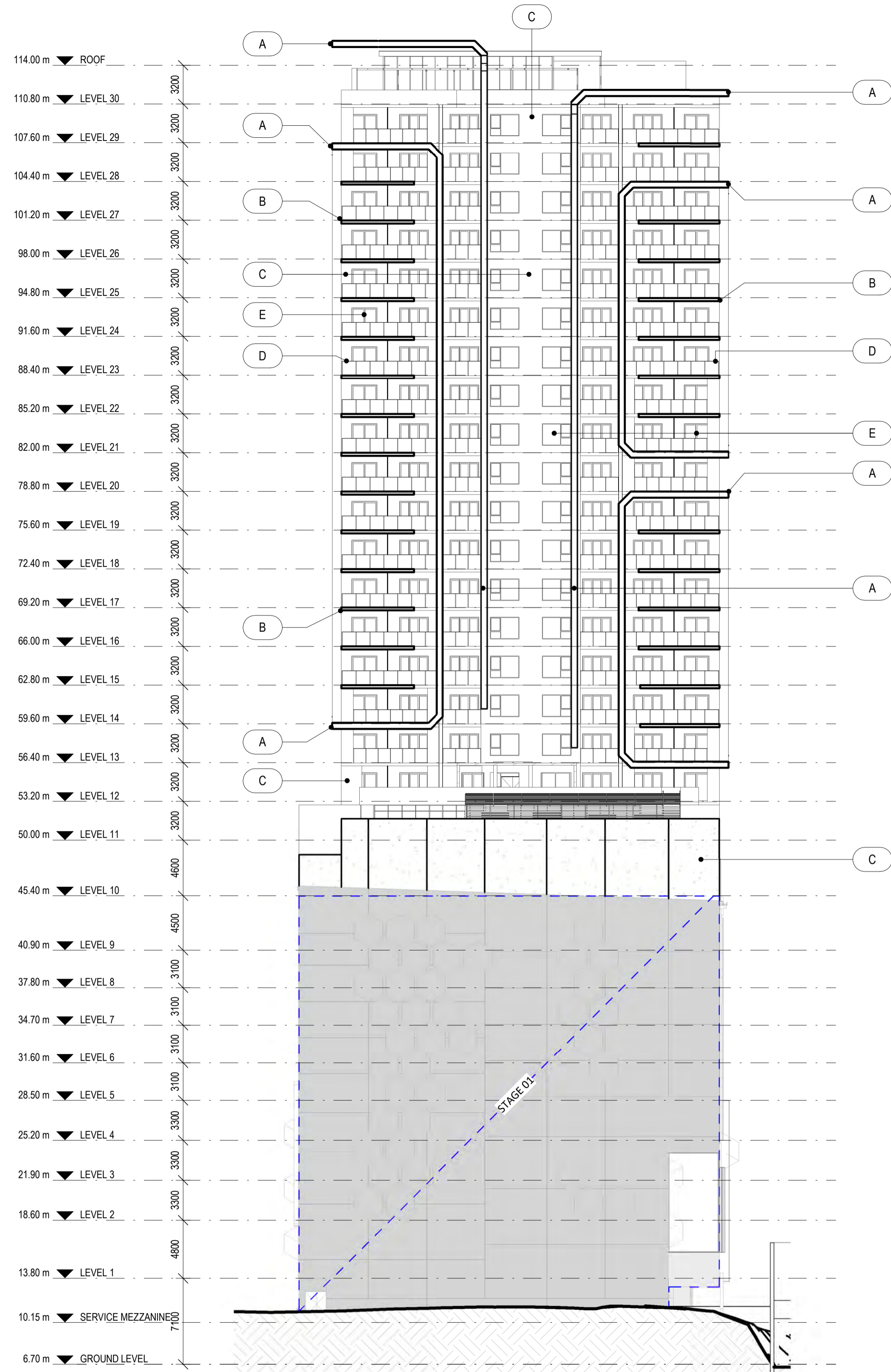
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Fortitude Valley  
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DEVELOPMENT APPROVAL

Approval no: DEV2024/1479

Date: 18 June 2025



1 ELEVATION- O'CONNELL TERRACE  
1: 250

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7-15 Wren Street, Bowen Hills, QLD

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ELEVATION - O'CONNELL TERRACE

As indicated @ A1

25-03-2025

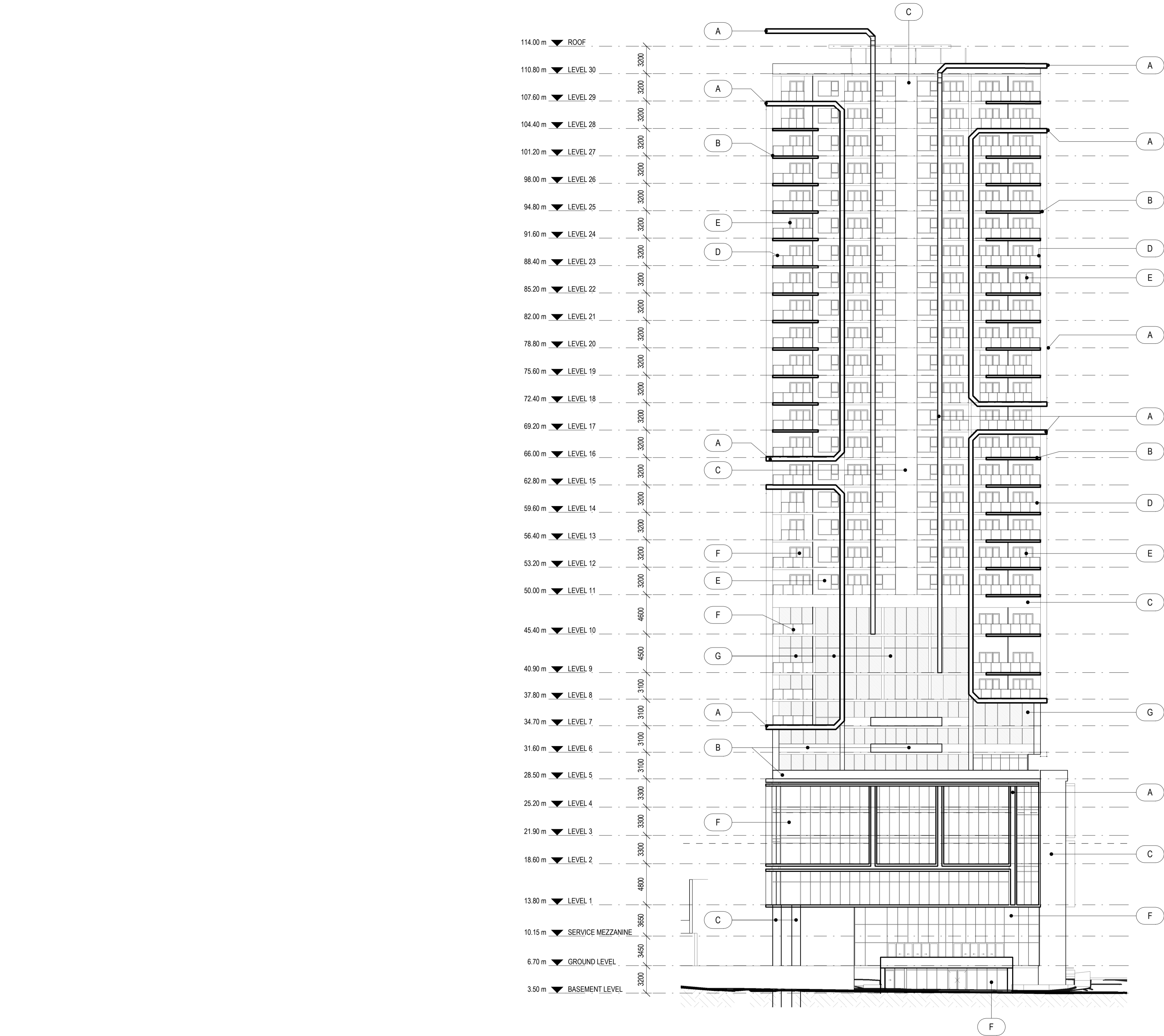
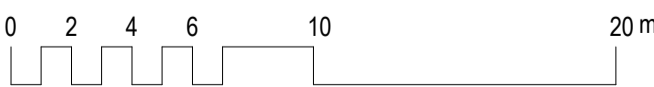
DA03.11

rev. 3

## MATERIALS

- A.
- ALUMINIUM SHEET OVER STEEL  
FRAME, POWDERCOAT FINISH
- COLOUR: WHITE & BRONZE  
COLOUR ON INNER FACE
- B.
- CONCRETE EDGE BAND TEXTURE,  
PAINT FINISH
- COLOUR: WHITE
- C.
- CONCRETE WALL PANEL  
TEXTURE, PAINT FINISH
- COLOUR: DULUX TIMBERLAND  
(DARK GREY)
- D.
- ALUMINIUM FRAMED & GLAZED  
BALUSTRADE, POWDERCOAT  
FINISH
- COLOUR: DULUX TIMBERLAND  
(DARK GREY)
- E.
- ALUMINIUM FRAMED WINDOWS,  
POWDERCOAT FINISH
- COLOUR: DULUX TIMBERLAND  
(DARK GREY)
- GLASS: GREY BODY TONE - HIGH  
PERFORMANCE GLASS
- F.
- CURTAIN GLASS WALL  
ALUMINIUM FRAMING,  
POWDERCOAT FINISH
- COLOUR: DULUX TIMBERLAND  
(DARK GREY)
- GLASS: GREY BODY TONE - HIGH  
PERFORMANCE GLASS
- G.
- METAL SCREEN WITH 50%  
OPENING & LAZER CUT  
APERTURES, POWDERCOAT  
FINISH
- COLOUR: BLACK
- INSTALLED IN METAL FRAME -  
PODERCOAT FINISH, COLOUR  
BLACK

## DEVELOPMENT APPLICATION



1 ELEVATION- CAMPELL STREET  
1: 250

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ELEVATION - CAMPBELL STREET

As indicated @ A1

25-03-2025

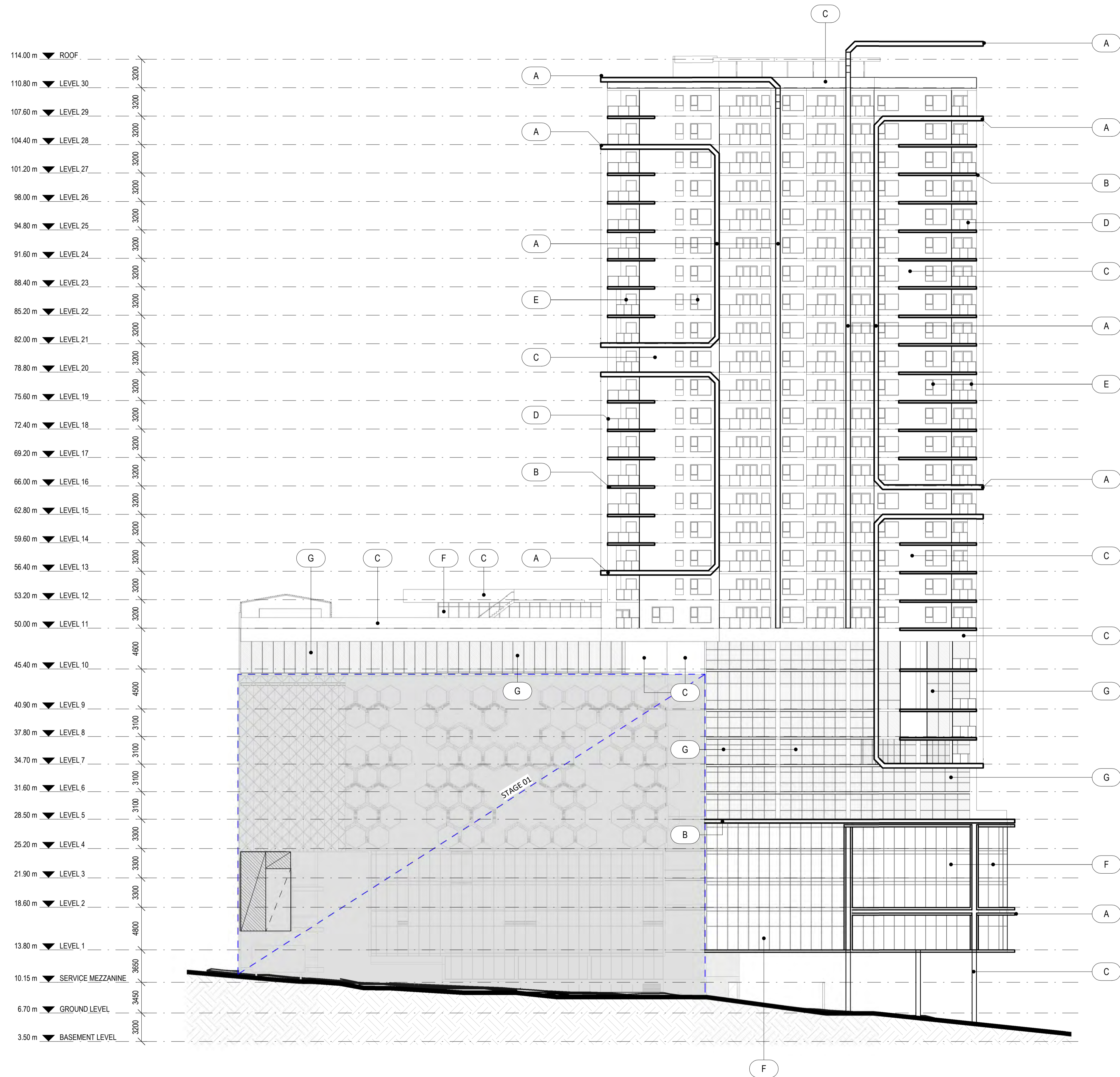
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rev. 4

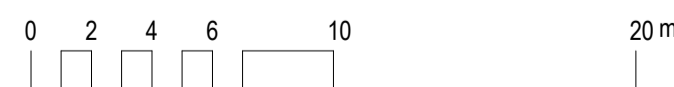
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FRAME, POWDERCOAT FINISH
- COLOUR: WHITE & BRONZE  
COLOUR ON INNER FACE
- B.
- CONCRETE EDGE BAND TEXTURE,  
PAINT FINISH
- COLOUR: WHITE
- C.
- CONCRETE WALL PANEL  
TEXTURE, PAINT FINISH
- COLOUR: DULUX TIMBERLAND  
(DARK GREY)
- D.
- ALUMINIUM FRAMED & GLAZED  
BALUSTRADE, POWDERCOAT  
FINISH
- COLOUR: DULUX TIMBERLAND  
(DARK GREY)
- E.
- ALUMINIUM FRAMED WINDOWS,  
POWDERCOAT FINISH
- COLOUR: DULUX TIMBERLAND  
(DARK GREY)
- GLASS: GREY BODY TONE - HIGH  
PERFORMANCE GLASS
- F.
- CURTAIN GLASS WALL  
ALUMINIUM FRAMING,  
POWDERCOAT FINISH
- COLOUR: DULUX TIMBERLAND  
(DARK GREY)
- GLASS: GREY BODY TONE - HIGH  
PERFORMANCE GLASS
- G.
- METAL SCREEN WITH 50%  
OPENING & LAZER CUT  
APERTURES, POWDERCOAT  
FINISH
- COLOUR: BLACK
- INSTALLED IN METAL FRAME -  
PODERCOAT FINISH, COLOUR  
BLACK

## DEVELOPMENT APPLICATION



1 ELEVATION- ICB  
1: 250



PLANS AND DOCUMENTS  
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DEVELOPMENT APPROVAL

Approval no: DEV2024/1479

Date: 18 June 2025



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ELEVATION - ICB

As indicated @ A1

DA03.13

25-03-2025

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## MATERIALS

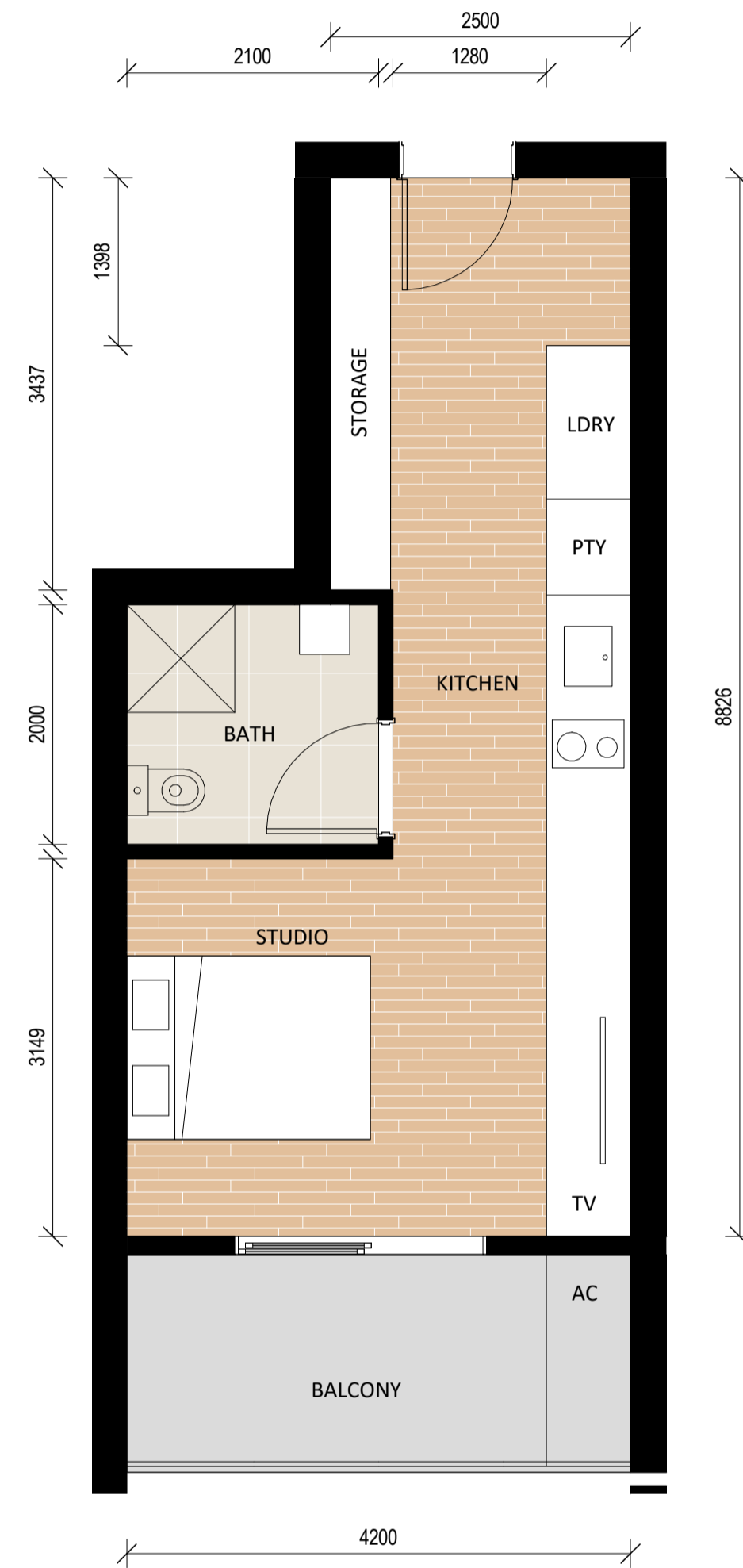
- A.
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FRAME, POWDERCOAT FINISH
- COLOUR: WHITE & BRONZE  
COLOUR ON INNER FACE
- B.
- CONCRETE EDGE BAND TEXTURE,  
PAINT FINISH
- COLOUR: WHITE
- C.
- CONCRETE WALL PANEL  
TEXTURE, PAINT FINISH
- COLOUR: DULUX TIMBERLAND  
(DARK GREY)
- D.
- ALUMINIUM FRAMED & GLAZED  
BALUSTRADE, POWDERCOAT  
FINISH
- COLOUR: DULUX TIMBERLAND  
(DARK GREY)
- E.
- ALUMINIUM FRAMED WINDOWS,  
POWDERCOAT FINISH
- COLOUR: DULUX TIMBERLAND  
(DARK GREY)
- GLASS: GREY BODY TONE - HIGH  
PERFORMANCE GLASS
- F.
- CURTAIN GLASS WALL  
ALUMINIUM FRAMING,  
POWDERCOAT FINISH
- COLOUR: DULUX TIMBERLAND  
(DARK GREY)
- GLASS: GREY BODY TONE - HIGH  
PERFORMANCE GLASS
- G.
- METAL SCREEN WITH 50%  
OPENING & LAZER CUT  
APERTURES, POWDERCOAT  
FINISH
- COLOUR: BLACK
- INSTALLED IN METAL FRAME -  
PODERCOAT FINISH, COLOUR  
BLACK

## DEVELOPMENT APPLICATION

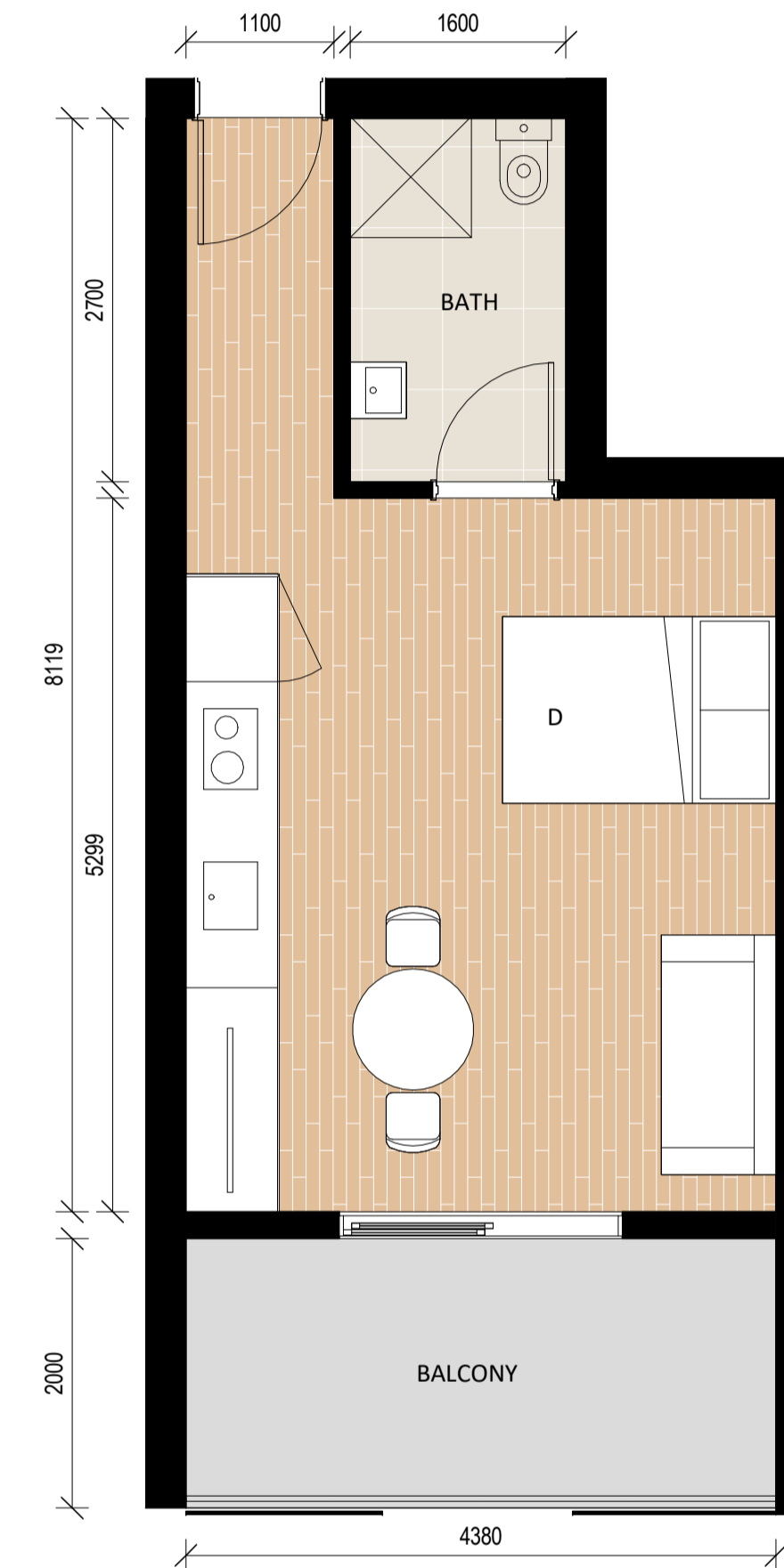


TYPE S1  
**STUDIO LAYOUT**  
FLOOR AREA - 38.57m<sup>2</sup>  
BALCONY - 10.95m<sup>2</sup>

PARTY WALL AND ENTRY  
DOOR LOCATION VARIES  
FOR UNIT TYPE S1 LEVEL 12  
ONLY.



TYPE S2  
**STUDIO LAYOUT**  
FLOOR AREA - 31.02m<sup>2</sup>  
BALCONY - 7.62m<sup>2</sup>



TYPE S3  
**STUDIO LAYOUT**  
FLOOR AREA - 31.16m<sup>2</sup>  
BALCONY - 8.76m<sup>2</sup>



PLEASE NOTE: INTERNAL FLOOR AREAS HAVE BEEN MEASURED TO THE INSIDE FACE OF THE WALLS

## Wren Street Stage 2

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## UNIT LAYOUTS - SHEET 1

1 : 50 @ A1

DA04.01

25-03-2025

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# DEVELOPMENT APPLICATION

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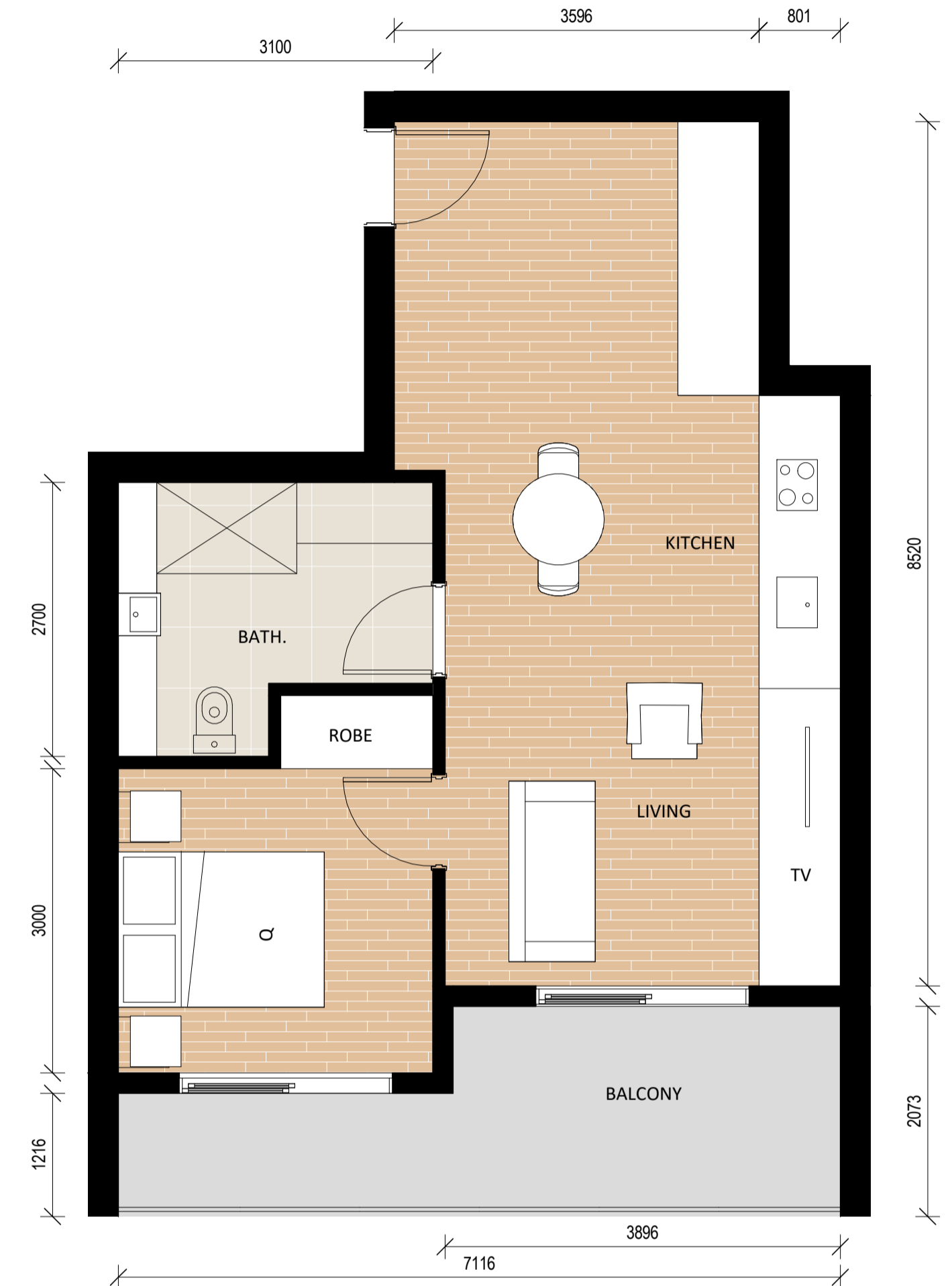
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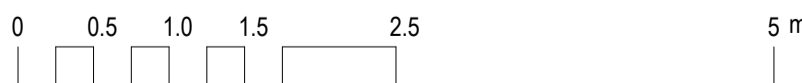
TYPE 1A  
**1 BEDROOM LAYOUT**  
FLOOR AREA - 48.56m<sup>2</sup>  
BALCONY - 6.81m<sup>2</sup>



TYPE 1B  
**1 BEDROOM LAYOUT**  
FLOOR AREA - 59.28m<sup>2</sup>  
BALCONY - 16.19m<sup>2</sup>



TYPE 1C  
**1 BEDROOM LAYOUT**  
FLOOR AREA - 51.45m<sup>2</sup>  
BALCONY - 11.92m<sup>2</sup>



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**Wren Street Stage 2**

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UNIT LAYOUT - SHEET 2

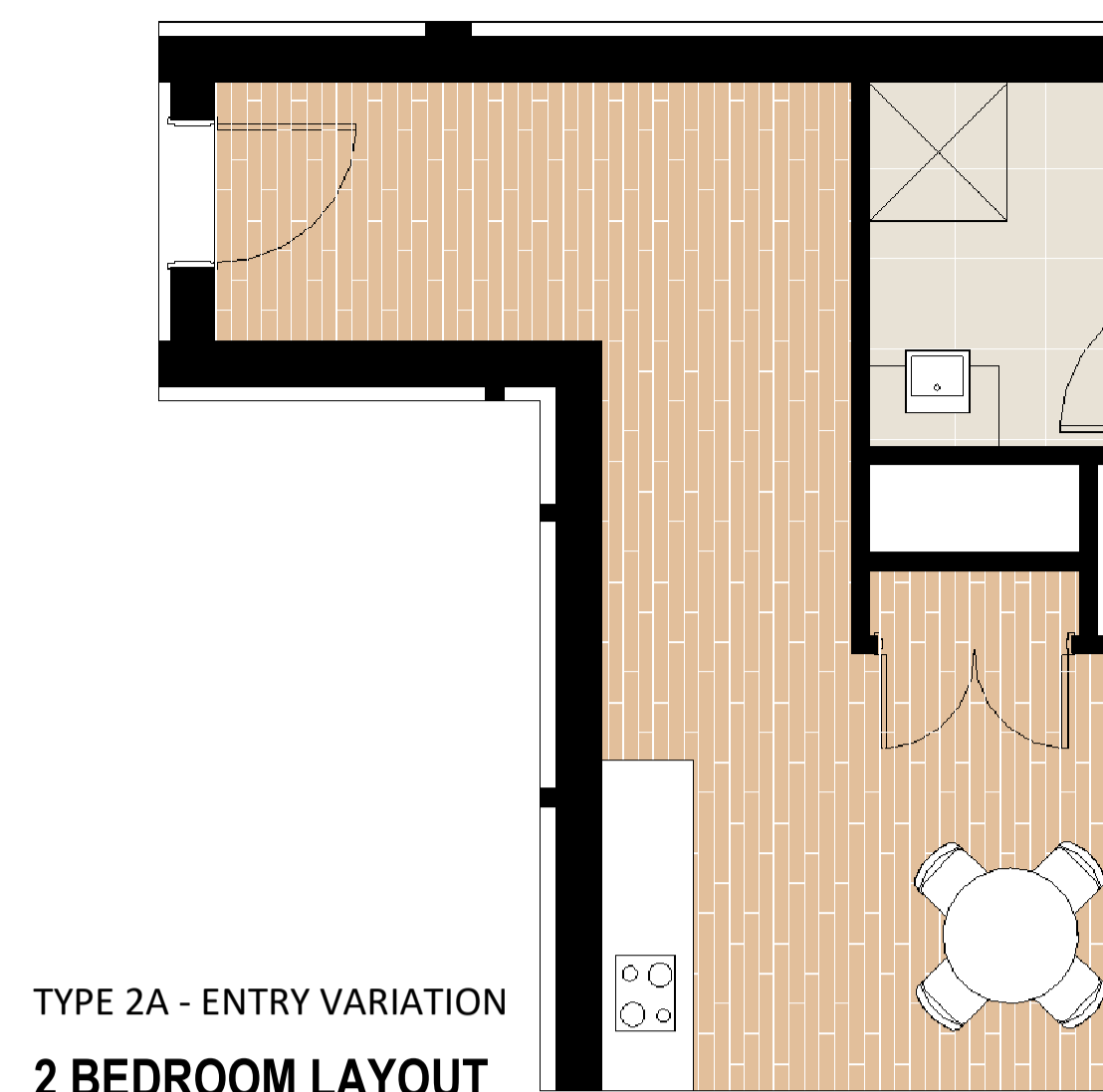
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DA04.02

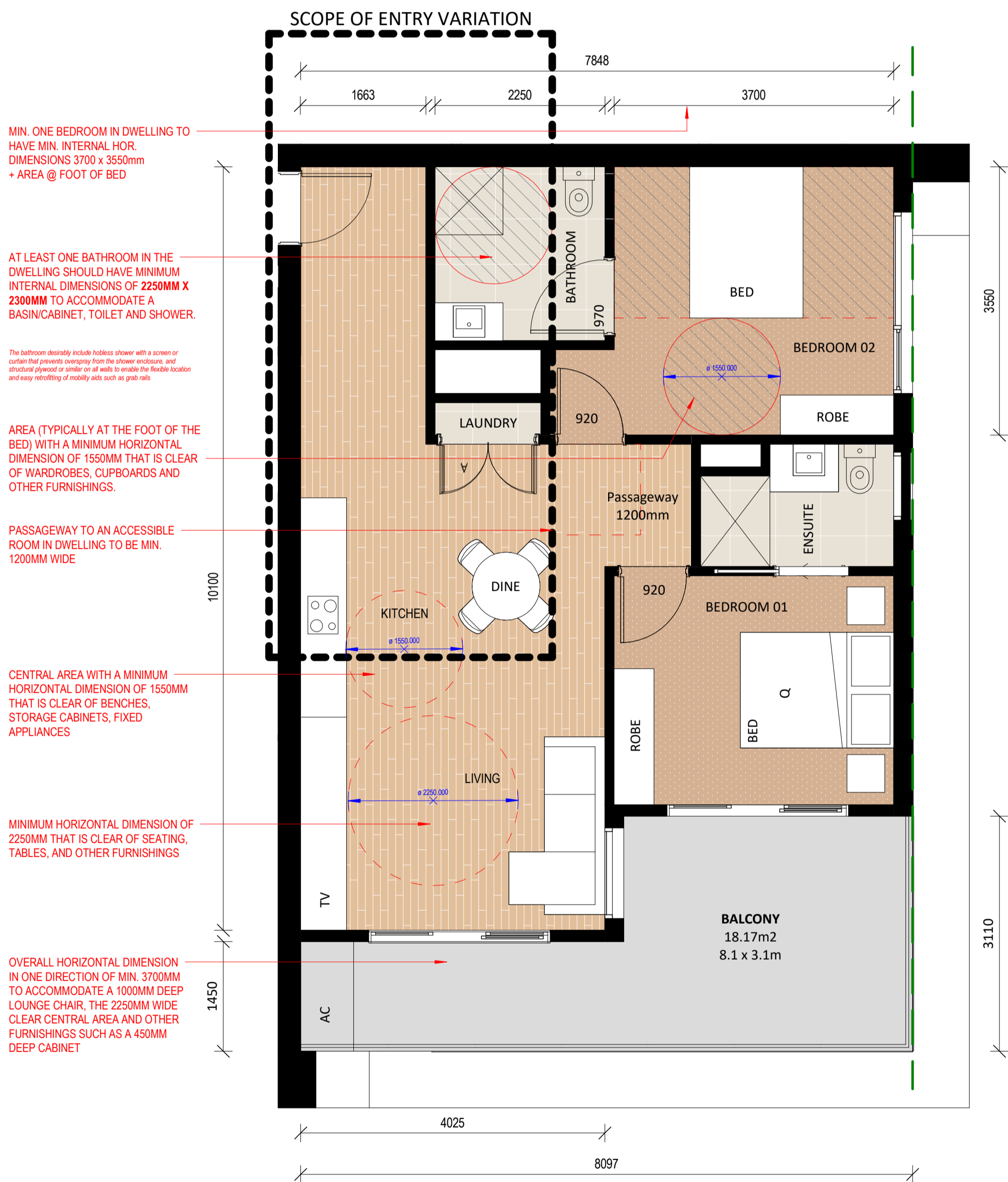
25-03-2025

rev. 3

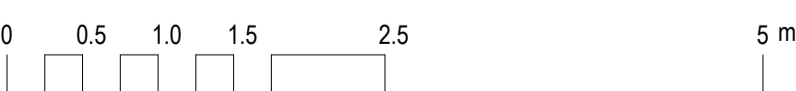
DEVELOPMENT APPLICATION



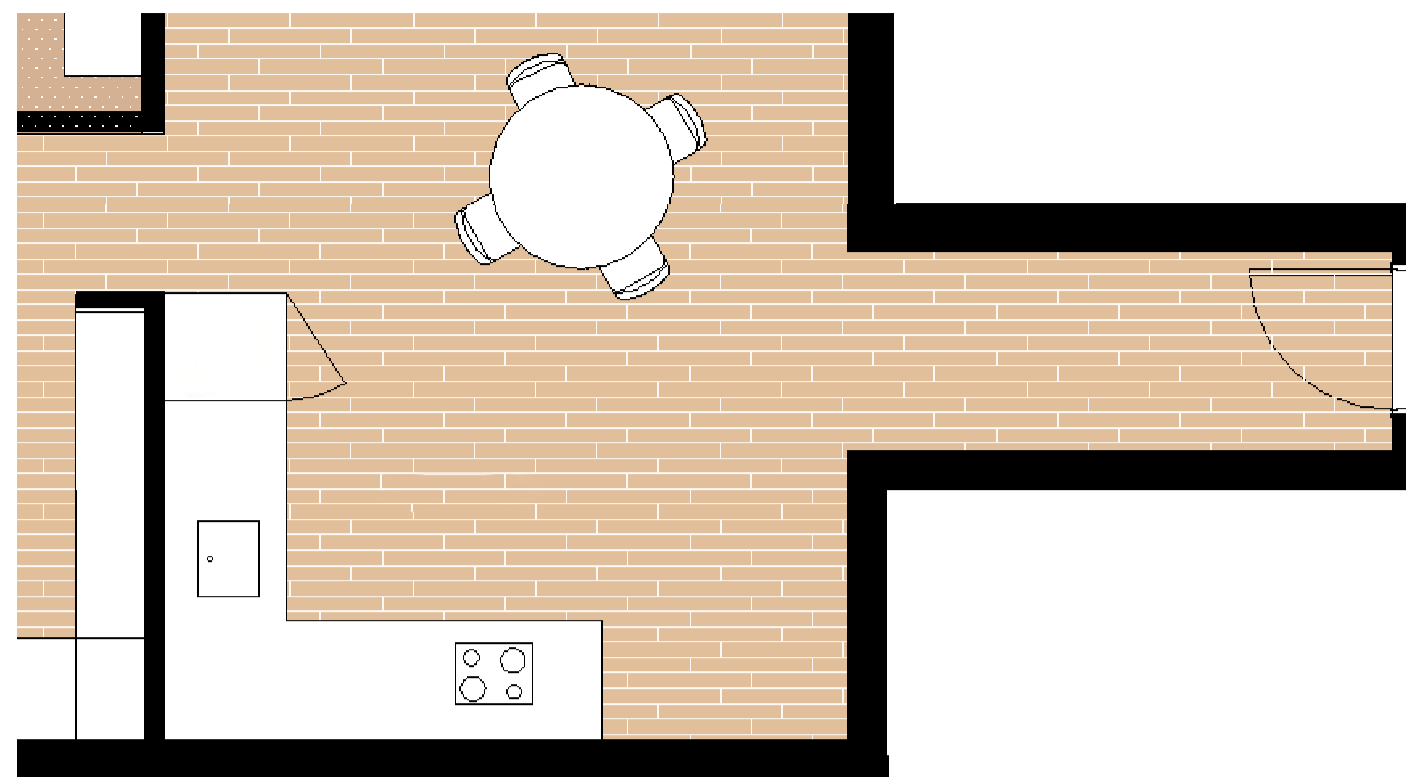
TYPE 2A - ENTRY VARIATION  
**2 BEDROOM LAYOUT**  
LEVELS 12 TO 29



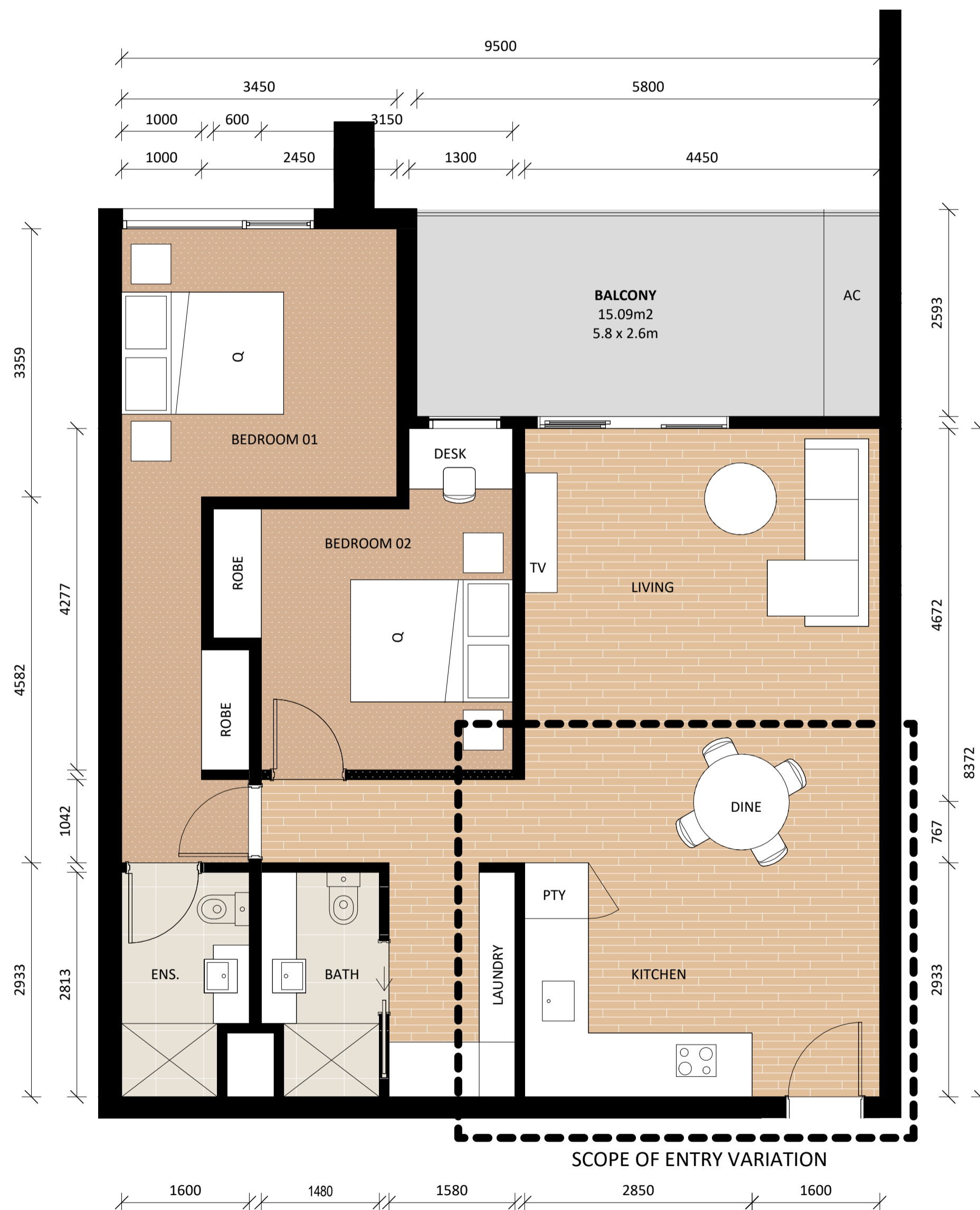
TYPE 2A  
**2 BEDROOM LAYOUT**  
FLOOR AREA - 71.86m<sup>2</sup>  
BALCONY - 18.17m<sup>2</sup>



PLEASE NOTE: INTERNAL FLOOR AREAS HAVE BEEN MEASURED TO THE INSIDE FACE OF THE WALLS



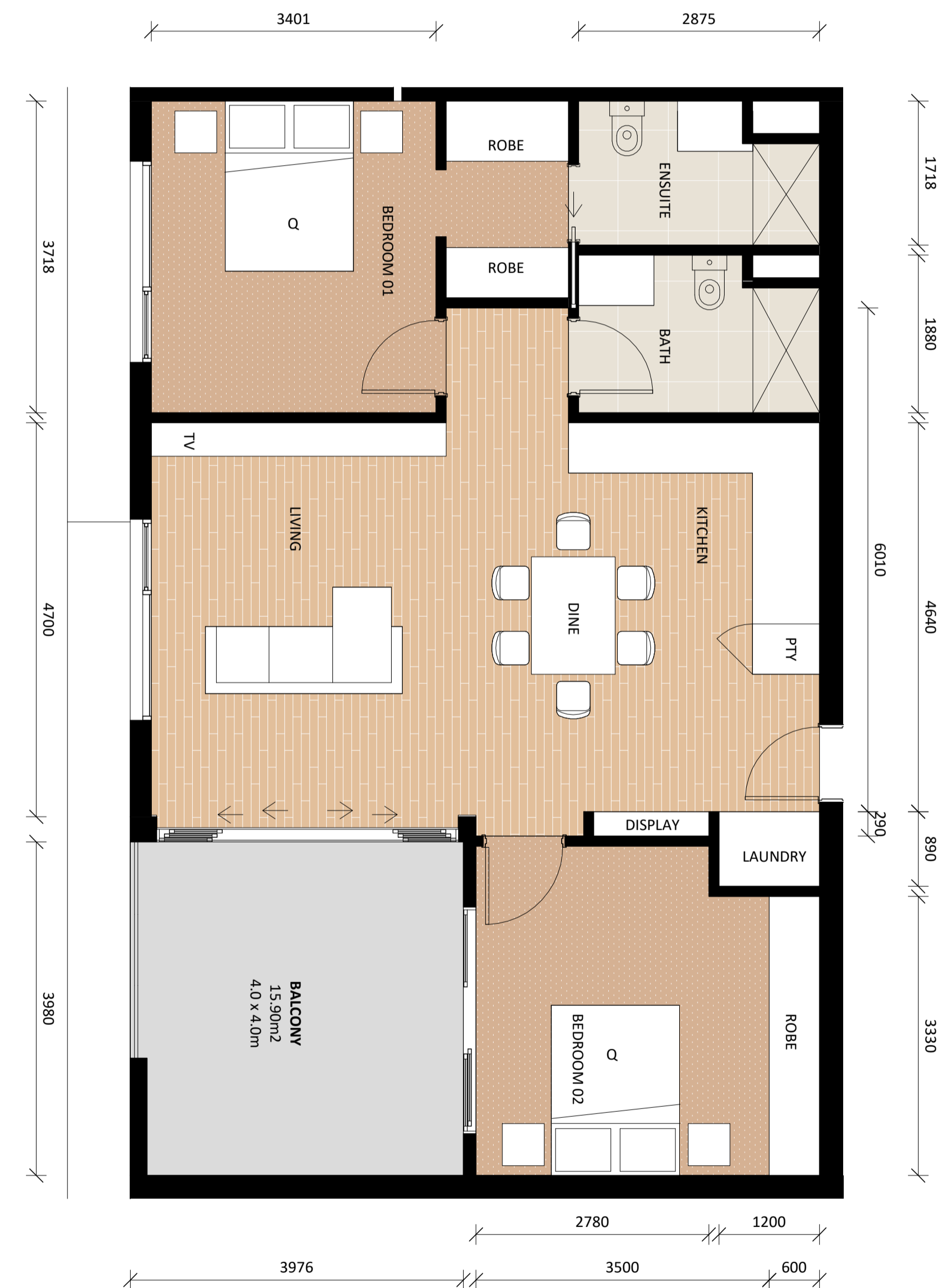
TYPE 2B - ENTRY VARIATION  
**2 BEDROOM LAYOUT**  
LEVELS 12 TO 29



TYPE 2B  
**2 BEDROOM LAYOUT**  
FLOOR AREA - 87.40m<sup>2</sup>  
BALCONY - 15.09m<sup>2</sup>

PLANS AND DOCUMENTS  
referred to in the PDA  
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Approval no: DEV2024/1479  
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TYPE 2C  
**2 BEDROOM LAYOUT**  
FLOOR AREA - 85.22m<sup>2</sup>  
BALCONY - 15.90m<sup>2</sup>

## DEVELOPMENT APPLICATION

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UNIT LAYOUT - SHEET 3

1 : 50 @ A1

DA04.03

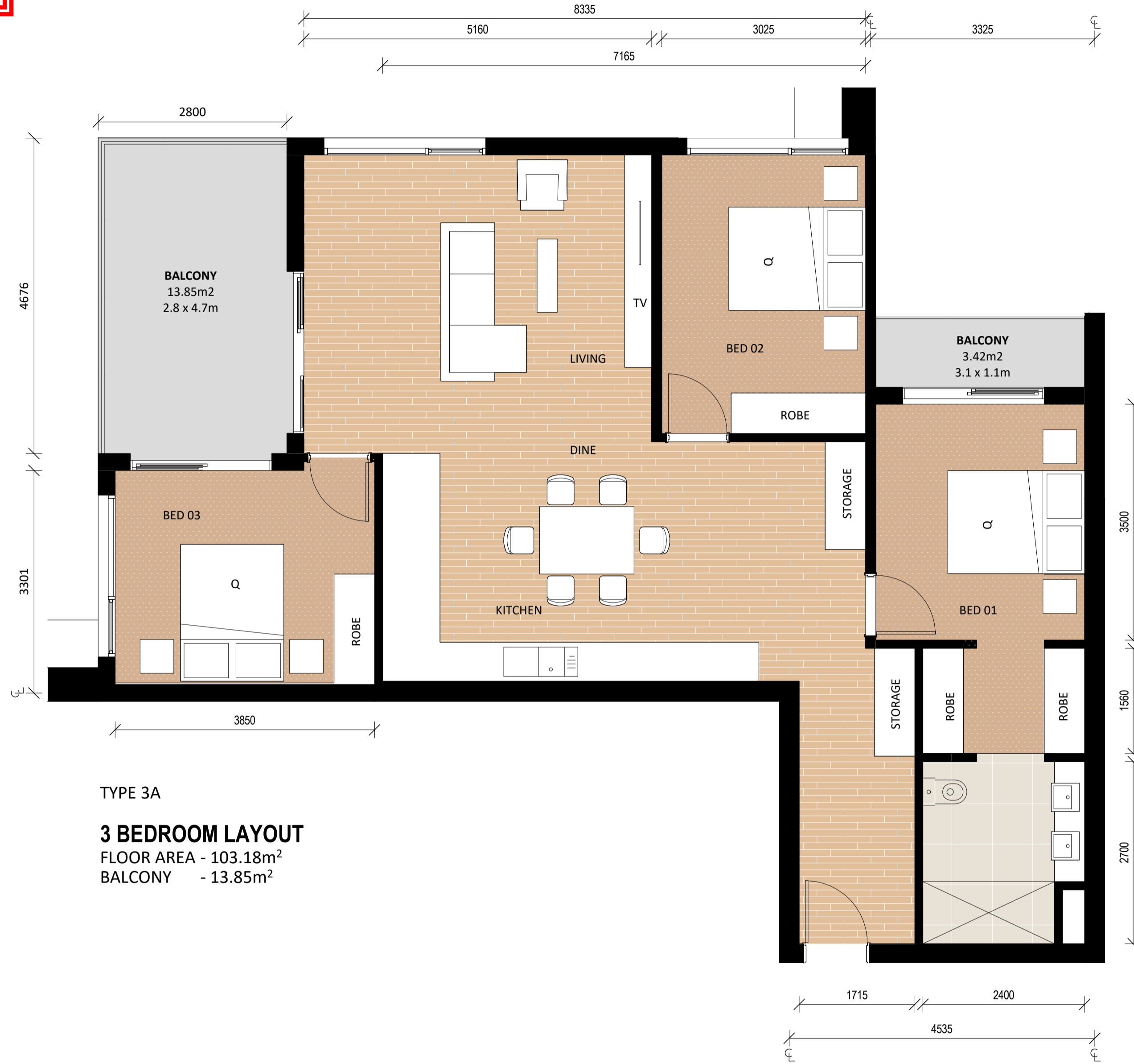
25-03-2025

rev. 3

PLANS AND DOCUMENTS  
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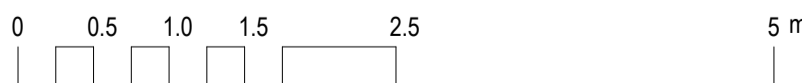


TYPE 3A

**3 BEDROOM LAYOUT**

FLOOR AREA - 103.18m<sup>2</sup>

BALCONY - 13.85m<sup>2</sup>



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UNIT LAYOUT - SHEET 4

1 : 50 @ A1

DA04.04

25-03-2025

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