

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2024/1479

Date: 18 June 2025



Our Reference: NA250253
Your Reference:

Level 7, 104 Melbourne
Street
South Brisbane Qld 4101

5 March 2025

PO Box 3635
SOUTH BRISBANE Qld 4101

T 07 3844 5900

Michael Cattoni
Urbis
Level 32, 300 George Street
Brisbane, Qld 4000

Attention: Michael Cattoni

Dear Michael

Re: 15-21 Wren Street, Bowen Hills – Responses to EDQ Further Issues Letter
(DEV2024/1479 dated 31 May 2024)

This letter and enclosures outline responses to Items 22, 23 and 24 of the EDQ Further Issues Letter
(DEV2024/1479 dated 31 May 2024).

Flooding and Stormwater

Item 22 – Flood Emergency Management Plan (FEMP)		
Item No.	Response	Documentation reference (enclosures)
Item 22 a.	<p>The commercial tenancy on the lower ground floor has access for primary pedestrian entry and egress at the Campbell Street frontage. A secondary access door will be provided at the rear wall of the tenancy to allow pedestrian egress from the tenancy to the corridor behind the tenancy and subsequent exit door to Wren Street (verge ground level 4.25 m AHD at this location).</p> <p>The Bike Store (visitors) at the eastern side of the lower ground floor has pedestrian access to both Campbell Street frontage and Wren Street frontage.</p>	<ul style="list-style-type: none">Refer to Architectural drawings by Thomson Adsett.
Item 22 b.	<p>Flood overlay code PO10</p> <p>PO10 relates to <i>Development for vulnerable uses, difficult to evacuate uses or assembly uses</i>.</p> <p>The commercial tenancy on the lower ground floor at the Campbell Street frontage will not be occupied by a:</p> <ul style="list-style-type: none">vulnerable use (childcare centre, community residence, educational establishment, hospital, residential care facility)difficult to evacuate use (childcare centre, community residence, detention facility, educational establishment, hospital, hotel (if including short term accommodation), nature-based tourism, residential care facility, resort complex, retirement facility, short-term accommodation, tourist park)	

Item 22 – Flood Emergency Management Plan (FEMP)

- assembly use (club, community use, educational establishment, function facility, major sport, recreation and entertainment facility, nightclub entertainment facility, place of worship, shopping centre (if a district shopping centre or 10,000m² or larger), theatre, tourist attraction).

Therefore, the proposed commercial tenancy is compliant with PO10 of the Flood overlay code.

This can be conditioned as part of the approval consent by EDQ.

Flood overlay code PO11

PO11: Development has access which, having regard to hydraulic hazard, provides for safe vehicular and pedestrian movement and emergency services access to adjoining roads.

The commercial tenancy on the lower ground floor at the Campbell Street frontage will have pedestrian access to Campbell Street. A secondary access door will be provided at the rear wall of the tenancy to allow pedestrian egress from the tenancy to the corridor behind the tenancy and subsequent exit door to Wren Street (verge ground level 4.17 m AHD at this location). This will allow egress to Wren Street in the unlikely event that people have not left the tenancy prior to above floor inundation. The development does not inhibit emergency services access to adjoining roads. Approximately 50 m south of the intersection of Wren Street and Campbell Street, Wren Street is a higher elevation and is outside the flood extent of the 0.05% AEP (1 in 2000 AEP), therefore safe vehicular and pedestrian movement and emergency services access is available.

Bowen Hills PDA

Reference is made to Section 2.5.8 *Flood* of the Bowen Hills Priority Development Area Development Scheme (2022).

According to the Brisbane City Council FloodWise Property Report for Lot 24 SP276528, there are currently no Coastal hazard overlay sub-categories that apply to this property.

Section 2.5.8:

- i. The development lower ground floor of the development (commercial tenancy, bicycle parking, end of trip facilities, stormwater treatment tank room, and corridors) have a proposed floor level of 3.85 m AHD. The lower ground floor building materials and linings should be flood resilient and according to best practice guidelines, including epoxy-coated concrete slab floors (hose-down), no-cavity block walls (hose-down), mesh fencing around the bicycle parking areas, water-resistant cabinetry in the end of trip facilities and commercial tenancy, electrical meter boards/GPOs/switchboards/distribution boards/data points/hot water units/lift controls above the 1% AEP flood level + 500 mm freeboard (5.4 m AHD), anchoring the stormwater quality tanks to prevent buoyancy and movement. The existing transformer and Stage 2 transformer are on a hardstand at 7.2 m AHD. Essential electrical services will be on or above the ground floor level (6.5 m AHD).
- ii. Existing access to car parking is off Wren Street where the existing driveway crossover level is 7.74 m AHD. This level is already significantly higher than the 1% AEP Breakfast Creek flood level (4.9 m AHD) and the 1% AEP Brisbane River flood level

- Refer to Architectural drawings by Thomson Adsett.

Item 22 – Flood Emergency Management Plan (FEMP)		
	<p>(2.8 m AHD). Therefore, the development complies with this requirement.</p> <p>iii. Essential electrical services for the lower ground floor will be located above the 1% AEP creek flood level + 500 mm (5.4 m AHD), which places them 1.55 m above the lower ground floor level (3.85 m AHD) or on the ground floor level (6.5 m AHD). Critical services as defined in the <i>Bowen Hills Priority Development Area Development Scheme (2022)</i> for the lower ground floor are to remain operational in an inundation event. Note, the Bowen Hills PDA does not define which inundation event, so for the purposes of this development, the 1% AEP creek flood level + 500 mm (5.4 m AHD) is adopted for critical services. The existing transformer and Stage 2 transformer are on a hardstand at 7.2 m AHD. The lift controls for the service lift on the lower ground floor will be above this level. Sewerage reflux valves should be installed between the building and the connection point to prevent sewage surcharge from sewers to the lower ground floor.</p> <p>iv. The development does not involve manufacture of hazardous material on the lower ground floor. Cleaning products in the lower ground floor tenancy shall be stored on shelves above the 1% AEP flood level of 4.9 m AHD (1.9 m above floor level), which will require ladder or stair access.</p>	
Item 23 – Flood storage compensation		
Item No.	Response	Documentation reference (enclosures)
Item 23 a.	An earthworks cut and fill plan has been prepared showing the flood storage calculation.	<ul style="list-style-type: none"> Refer to concept bulk earthworks plan by ACOR Consultants.
Item 23 b.	<p>A plan showing the location of the underground tank, inlet chamber, and outlet pipe level (m AHD) in relation to the lawful point of discharge (LPD) has been prepared.</p> <p>The lawful point of discharge for the site is the existing gully inlet pit (BCC asset ID K15091997) in Campbell Street (near corner of Wren Street).</p>	<ul style="list-style-type: none"> Refer to concept stormwater management plan by ACOR Consultants.
Item 23 c.	The flood storage tank will be emptied after every flood event so it is ready for the next flood event. The tank will drain by gravity flow via pipe (size to be determined in detailed design) to the existing gully inlet pit (BCC asset ID K15091997) in Campbell Street (near corner of Wren Street).	<ul style="list-style-type: none"> Refer to concept stormwater management plan by ACOR Consultants.
Item 24 – Stormwater Management Plan		
Item No.	Response	Documentation reference (enclosures)
Item 24	<p>The stormwater quality tanks will drain by gravity flow via pipe (size to be determined in detailed design) to the existing gully inlet pit (BCC asset ID K15091997) in Campbell Street (near corner of Wren Street).</p> <p>The attached plan shows the location of the stormwater quality tanks on the lower ground floor, inlet and outlet levels and outlet pipe gradients.</p>	<ul style="list-style-type: none"> Refer to concept stormwater management plan by ACOR Consultants.

References

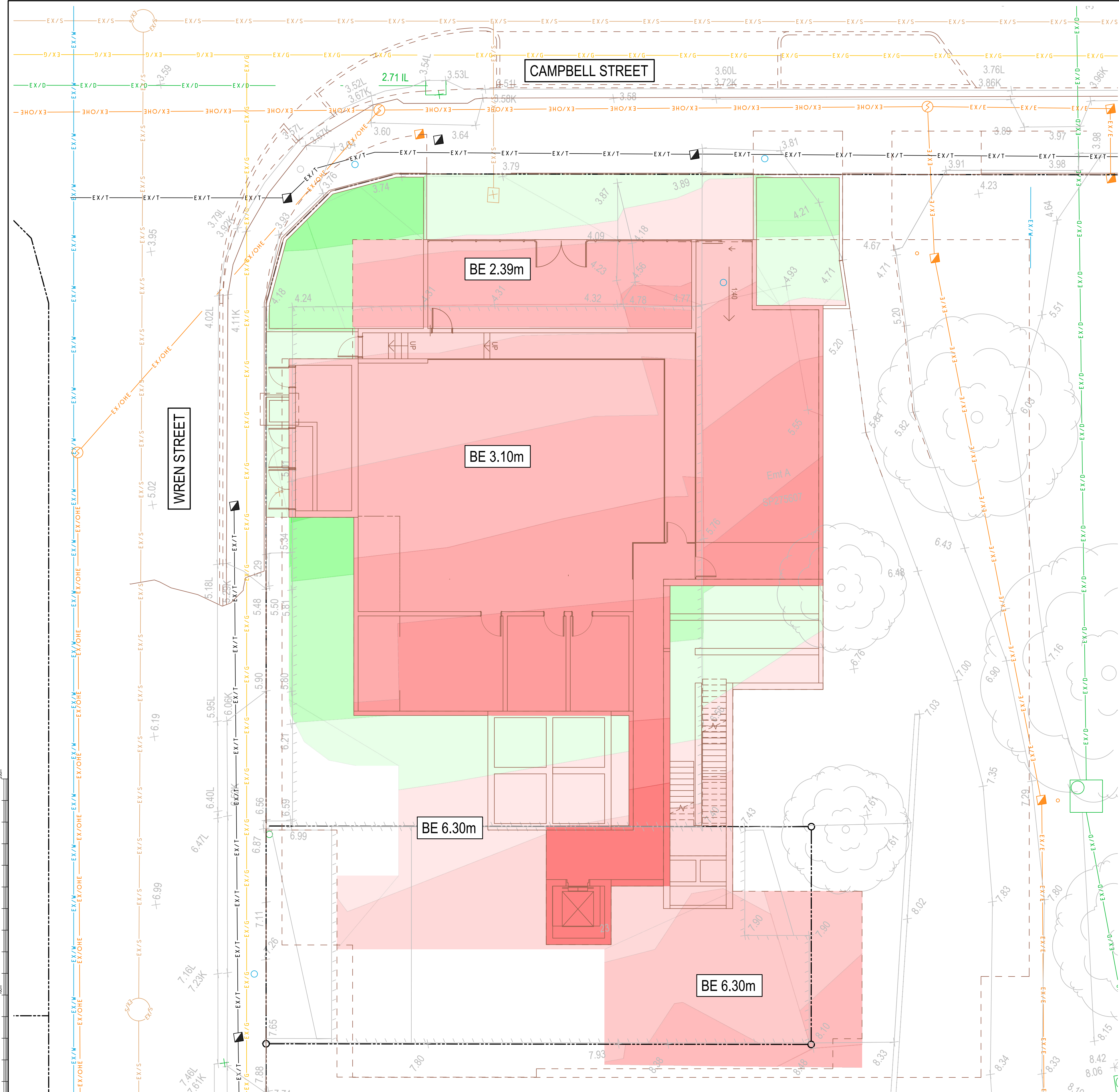
Bowen Hills Priority Development Area Development Scheme (2022). Economic Development Queensland.
<https://www.edq.qld.gov.au/our-work/priority-development-areas-pda/bowen-hills>

Brisbane City Council. Brisbane City Plan 2014. Flood overlay code.
<https://cityplan.brisbane.qld.gov.au/eplan/rules/0/139/0/0/0/234>

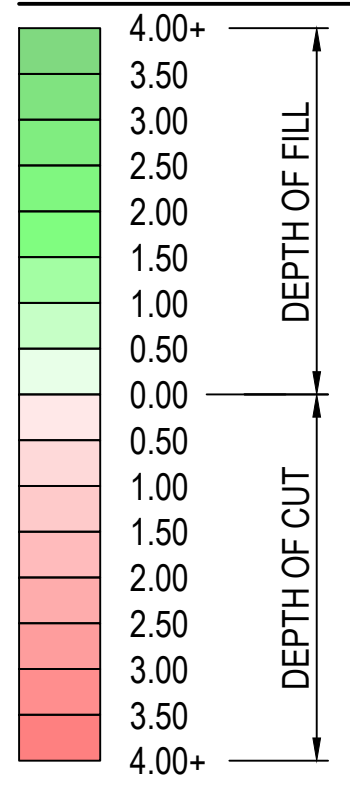
Yours faithfully,
ACOR Consultants Pty Ltd

A handwritten signature in blue ink, appearing to read 'K. Umlauff'.

Karl Umlauff
Senior Engineer – Water Resources
CPEng RPEQ 15065



CUT / FILL LEGEND



VOLUMES	
TOTAL CUT	-1164.93m³
TOTAL FILL	87.99m³
TOTAL BALANCE	1076.94m³

- EARTHWORKS VOLUMES ARE CALCULATED AS THE DIFFERENCE BETWEEN THE SURVEYED SURFACE LEVEL AND THE BULK EARTHWORKS LEVEL.
- BALANCE VOLUME DOES NOT TAKE INTO ACCOUNT COMPACTION FACTORS (BULKING FACTORS).
- SET DOWNS ASSUME AS FOLLOW:
 - 400mm FOR SITE DEMOLITION / STRIP.
 - 400mm BELOW STRUCTURAL SLABS (250mm SLAB + 150mm DRAINAGE LAYER).

FLOOD STORAGE VOLUMES

PRE-DEVELOPMENT (EXISTING) CONDITIONS
1% AEP FLOOD STORAGE TO 4.9 m AHD (EXTERNAL TO BUILDING FOOTPRINT AND WITHIN LOT) = 135 m³

POST-DEVELOPMENT (PROPOSED) CONDITIONS
1% AEP FLOOD STORAGE TO 4.9 m AHD (EXTERNAL TO BUILDING FOOTPRINT AND WITHIN LOT) = 87 m³

POST-DEVELOPMENT COMPENSATORY UNDERGROUND STORAGE TO BE PROVIDED IN TANK = 48 m³

TOTAL POST-DEVELOPMENT FLOOD STORAGE = 135 m³

BULK EARTHWORKS LEGEND

NOTE: ALL EARTHWORKS TO BE CARRIED OUT IN ACCORDANCE WITH EARTHWORKS NOTES ON GENERAL NOTES DRAWING INCLUDING STRIPPING, PROOF ROLLING AND FILLING WITH IMPORTED SELECT FILL MATERIAL TO ACHIEVE THE NOMINATED BULK EARTHWORKS LEVELS. ALL AS SPECIFIED IN (GEOTECH COMPANY) REPORT, PROJECT No. DATED (MONTH YEAR).

- BE12.50 PROPOSED BULK EARTHWORKS LEVEL
- TW12.50 PROPOSED TOP OF WALL SURFACE LEVEL
- BW12.50 PROPOSED BOTTOM OF WALL SURFACE LEVEL
- DEVELOPMENT SITE BOUNDARY
- RWB PROPOSED BLOCK RETAINING WALL - REFER STRUCTURAL CONSULTANTS DRAWINGS FOR DETAILS

EXISTING SERVICES LEGEND

- EX/D EXISTING STORMWATER DRAINAGE
- EX/S EXISTING SEWER
- EX/W EXISTING WATER
- EX/E EXISTING UNDERGROUND ELECTRICAL
- EX/OHE EXISTING OVERHEAD ELECTRICAL
- EX/G EXISTING GAS
- EX/T EXISTING TELSTRA
- EXISTING EDGE OF BITUMEN
- EXISTING KERB INVERT
- EXISTING FENCE
- EXISTING BUILDING
- EXISTING ROAD CONTROL LINE

NOTES:

- EXISTING EXTERNAL STRUCTURES AND TREES SHOWN ON THESE DRAWINGS ARE FEATURES EXISTING PRIOR TO ANY SEDIMENT AND DEMOLITION WORKS. BULK EARTHWORKS SLOPE TO BE MAXIMUM 1V:2H. CONTRACTOR TO ALLOW FOR ANY REQUIRED SHORING OR PROTECTION TO EXISTING SERVICES AND/OR ADJACENT PROPERTIES DURING EXCAVATION FOR PROPOSED BULK EARTHWORKS AND ANY REQUIRED RETAINING WALLS. CONTRACTOR TO ALLOW TO REINSTATE OR RECTIFY ANY SERVICES AND/OR ADJACENT PROPERTIES DAMAGED DURING EXCAVATION FOR PROPOSED BULK EARTHWORKS AND ANY REQUIRED RETAINING WALLS.
- 'LEVEL 1' SUPERVISION IS REQUIRED FOR ALL EARTHWORKS OPERATIONS AND CERTIFICATION IS TO BE PROVIDED BY THE NOMINATED GEOTECHNICAL TESTING AUTHORITY FOR THE FOLLOWING ITEMS:
 - CERTIFICATION THAT ALL GENERAL EARTHWORKS OPERATIONS (ie. STRIPPING PROOF ROLLING OF SUBGRADE, etc.) HAVE BEEN CARRIED OUT IN ACCORDANCE WITH THE DRAWINGS AND EARTHWORKS SPECIFICATION.
 - THE BUILDING SUPERSTRUCTURE WILL BE SUPPORTED ON A FOOTING SYSTEM INDEPENDENT OF THE LEVEL 1 COMPACTED FILL PLATFORM. THE BUILDING SUPERSTRUCTURE FOOTING SYSTEM IS SUBJECT TO CONFIRMATION UPON RECEIPT OF A SITE SPECIFIC GEOTECHNICAL REPORT.
 - CERTIFICATION THAT THE CONTROLLED FILL MATERIAL IS SUITABLE TO SUPPORT A CONVENTIONAL SLAB ON GROUND FLOOR (SLAB LOADS OF 15kPa ARE EXPECTED).
 - CERTIFICATION THAT FILL HAS BEEN PLACED AND COMPACTED TO THE REQUIRED MINIMUM DENSITY IN ACCORDANCE WITH THE DRAWINGS AND EARTHWORKS SPECIFICATION.
 - CERTIFICATION THAT THE QUALITY OF ANY IMPORTED FILL COMPLIES WITH DRAWINGS AND THE EARTHWORKS SPECIFICATION REQUIREMENTS.
- CONTRACTOR TO PROVIDE AN EARTHWORKS METHODOLOGY STATEMENT FOR APPROVAL PRIOR TO COMMENCING WORK ON SITE.
- CONTRACTOR TO ENSURE PRESERVATION AND AVOID DISTURBANCE OF EXISTING SURVEY MARKS.
- THE CONTRACTOR TO ENSURE ALL FIRE ANT CONTROLS OR RESTRICTIONS ON THIS SITE ASSOCIATED REQUIREMENTS HAVE BEEN COMPLIED WITH.
- REMOVE ALL EXISTING SERVICES AND PIPES AND CAP AT THE SITE BOUNDARY PRIOR TO UNDERTAKING EARTHWORKS.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXISTING BUILDING DEMOLITION DETAILS.
- EXISTING MATERIAL MAY BE RE-USED AS FILL ONLY WHERE IDENTIFIED/APPROVED BY CERTIFYING GEOTECHNICAL ENGINEER.

PLANS AND DOCUMENTS
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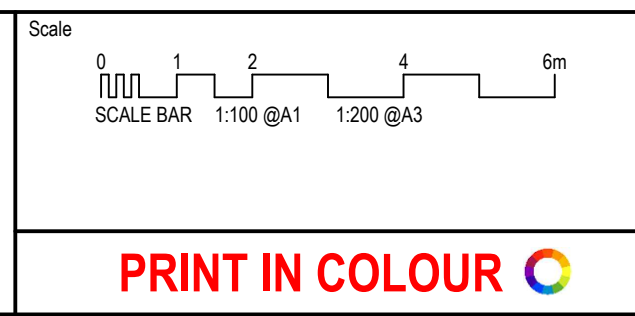
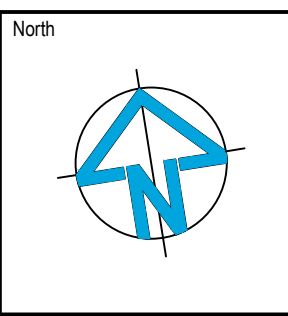
Approval no: DEV2024/1479
Date: 18 June 2025



ENGINEER'S CERTIFICATION
NAME:
RPEQ No:
SIGNED:



A	Issue	Description	Date	Drawn	Approved
1	A	CONCEPT DESIGN	05.03.25	JAM	KU



Client
WREN STREET HEALTH INVESTMENTS PTY LTD

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Architect
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470 ST PAULS TERRACE
FORTITUDE VALLEY QLD 4006
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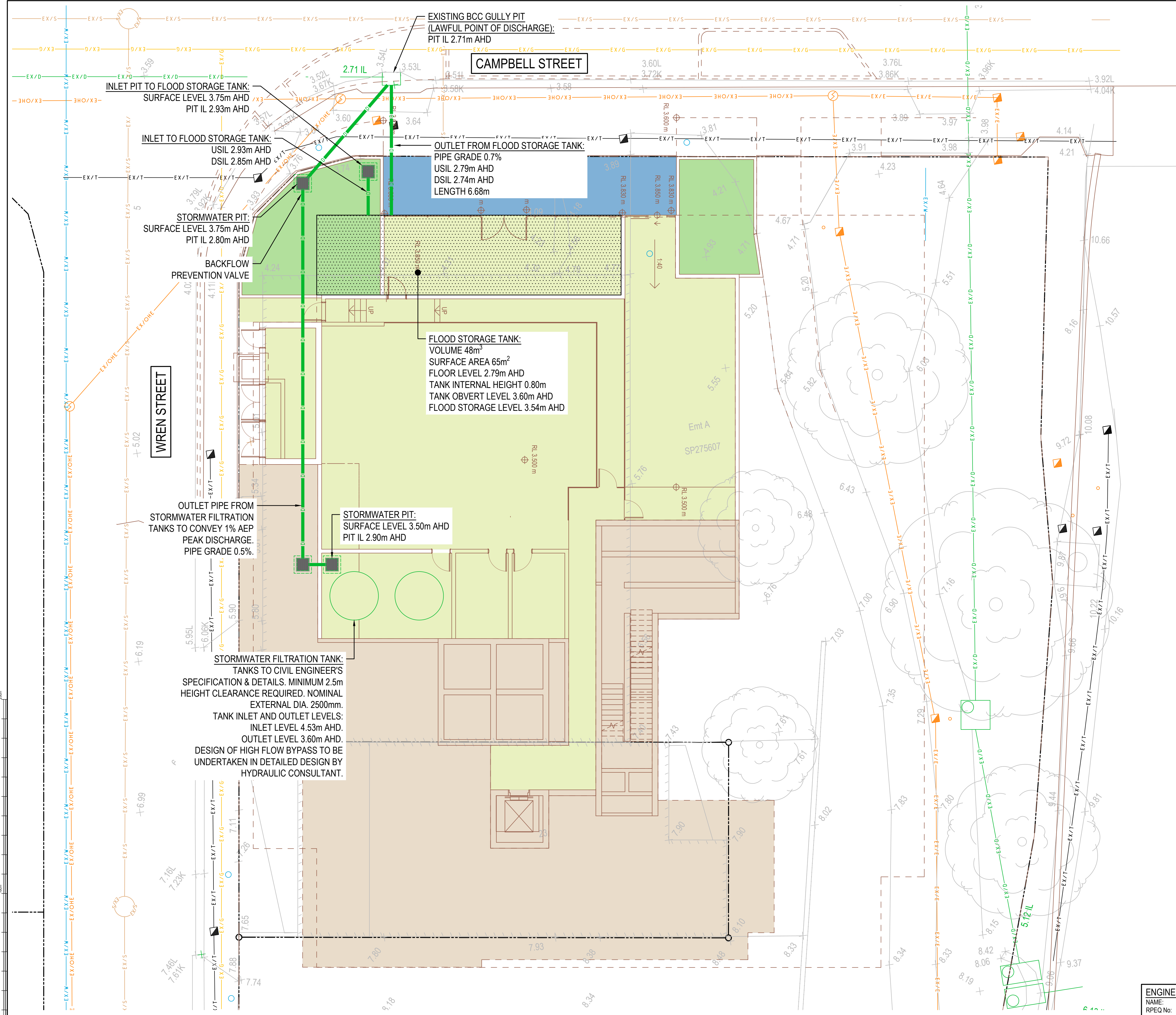


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Project
WREN STREET STAGE 2
7-15 WREN STREET
BOWEN HILLS QLD 4006

INFORMATION ISSUE ONLY

Drawing Title CIVIL SERVICES CONCEPT BULK EARTHWORKS PLANS				
Drawn JAM	Designed KU	O.A. Check CR	Date 05.03.25	Scale @ A1 1:100
Project No. NA250253	Drawing No. SKC04-0001	Issue A		



DRAINAGE LEGEND

- CROSSOVER - REFER NOTES FOR DETAILS
- BUILDING EXTENT
- CONCRETE FOOTPATH
- LANDSCAPING
- GROUND FLOOR EXTENT
- FLOOD STORAGE TANK
- DEVELOPMENT SITE BOUNDARY
- WATER PIPE
- STORMWATER PIPE
- SEWER

EXISTING SERVICES LEGEND

- EXISTING STORMWATER DRAINAGE
- EXISTING SEWER
- EXISTING WATER
- EXISTING UNDERGROUND ELECTRICAL
- EXISTING OVERHEAD ELECTRICAL
- EXISTING GAS
- EXISTING TELSTRA
- EXISTING EDGE OF BITUMEN
- EXISTING KERB INVERT
- EXISTING FENCE
- EXISTING BUILDING
- EXISTING ROAD CONTROL LINE

NOTES

- CONTRACTOR TO COORDINATE STORMWATER WORKS WITH REQUIRED SERVICES, TO ENSURE CLEARANCE TO (CITY COUNCIL) REQUIREMENTS.
- CONTRACTOR TO ALLOW FOR ALL REQUIRED SHORING AND PROTECTION WHEN CARRYING OUT EXCAVATION AND BACKFILLING FOR SPECIFIED HUMECEPTOR AND STORMWATER PITS.
- ALL GRATES TO BE BICYCLE SAFE.
- CONSTRUCT Ø100 SUBSOIL DRAINAGE LINES TO A MINIMUM DEPTH OF 900mm TO IL AND CONNECT TO PROPOSED STORMWATER DRAINAGE SYSTEM WHERE SHOWN.
- CONSTRUCT HIGH END RISER (HER) AND INTERMEDIATE RISER (IR) CLEANOUTS TO DETAILS.
- FOR RETAINING WALL SUBSOIL DRAIN LOCATIONS REFER TO TYPICAL RETAINING WALL SECTION DETAILS ON STRUCTURAL ENGINEERS DRAWINGS.
- ALL DRAINAGE WORKS TO BE UNDERTAKEN ACCORDING TO PLUMBING AND DRAINAGE REGULATION 2019.

FLOOD STORAGE VOLUMES

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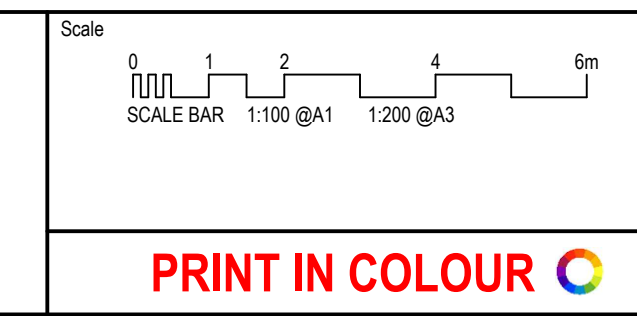
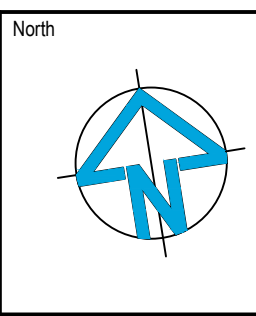


ENGINEER'S CERTIFICATION

NAME:
RPEQ No:
SIGNED:



A		CONCEPT DESIGN	05.03.25	JAM	KU
Issue		Description	Date	Drawn	Approved
1					



Client
WREN STREET HEALTH INVESTMENTS PTY LTD

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INFORMATION ISSUE ONLY

Drawing Title CIVIL SERVICES CONCEPT STORMWATER MANAGEMENT PLAN				
Drawn JAM	Designed KU	O.A. Check CR	Date 05.03.25	Scale @ A1 1:100
Project No. NA250253	Drawing No. SKC08-0001	Issue A		