

ROL 4: PRECINCT 101 & 102



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OR CONSTRUCTION

NOTES

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No reliance should be placed on the information on this plan for detailed subdivision design or for any financial dealings involving the land.

Pavements and centrelines shown are indicative only and are subject to Engineering Design.

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Net residential density means the total number of dwellings divided by the combined area of residential lots, Neighbourhood Recreation Parks, internal local roads and half the width of local roads bordering the site.

Average net residential density means net residential density calculated for a whole neighbourhood.

PROJECTION - GDA2020 MGA56
SUBJECT BOUNDARIES SP351245 PROVIDED BY VERIS
DRAWING REFERENCE "402971 ROL4 LOT CALC REVISION C"
DATED 13/03/2025

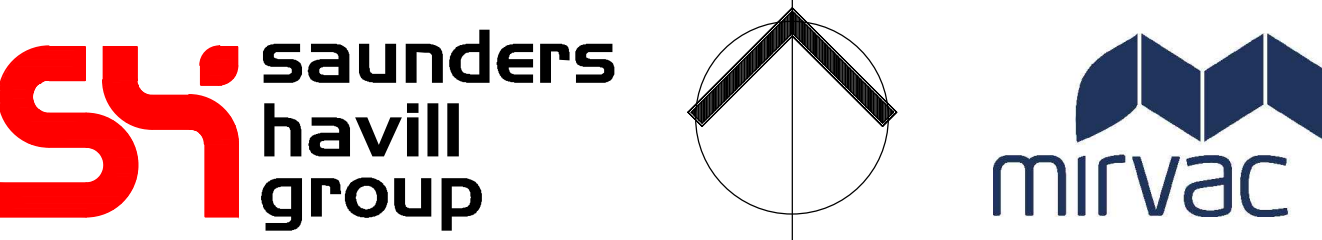
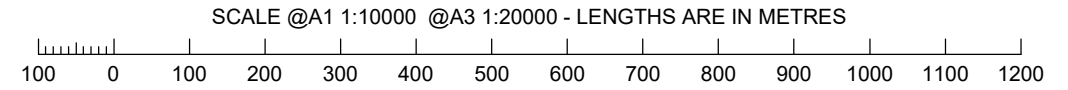
BULK EARTHWORKS INFORMATION PROVIDED BY COLLIERS
DRAWING REFERENCE "24-0750_X_BASE_DESIGN"
DATED 20/03/2025

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LEGEND

- Site Boundary
- ROL 4 Boundary

RP DESCRIPTION: Lots 1-3 on SP351245



ROL 4: PRECINCT 101 & 102 - PRELIMINARY SUB-PRECINCT PLAN

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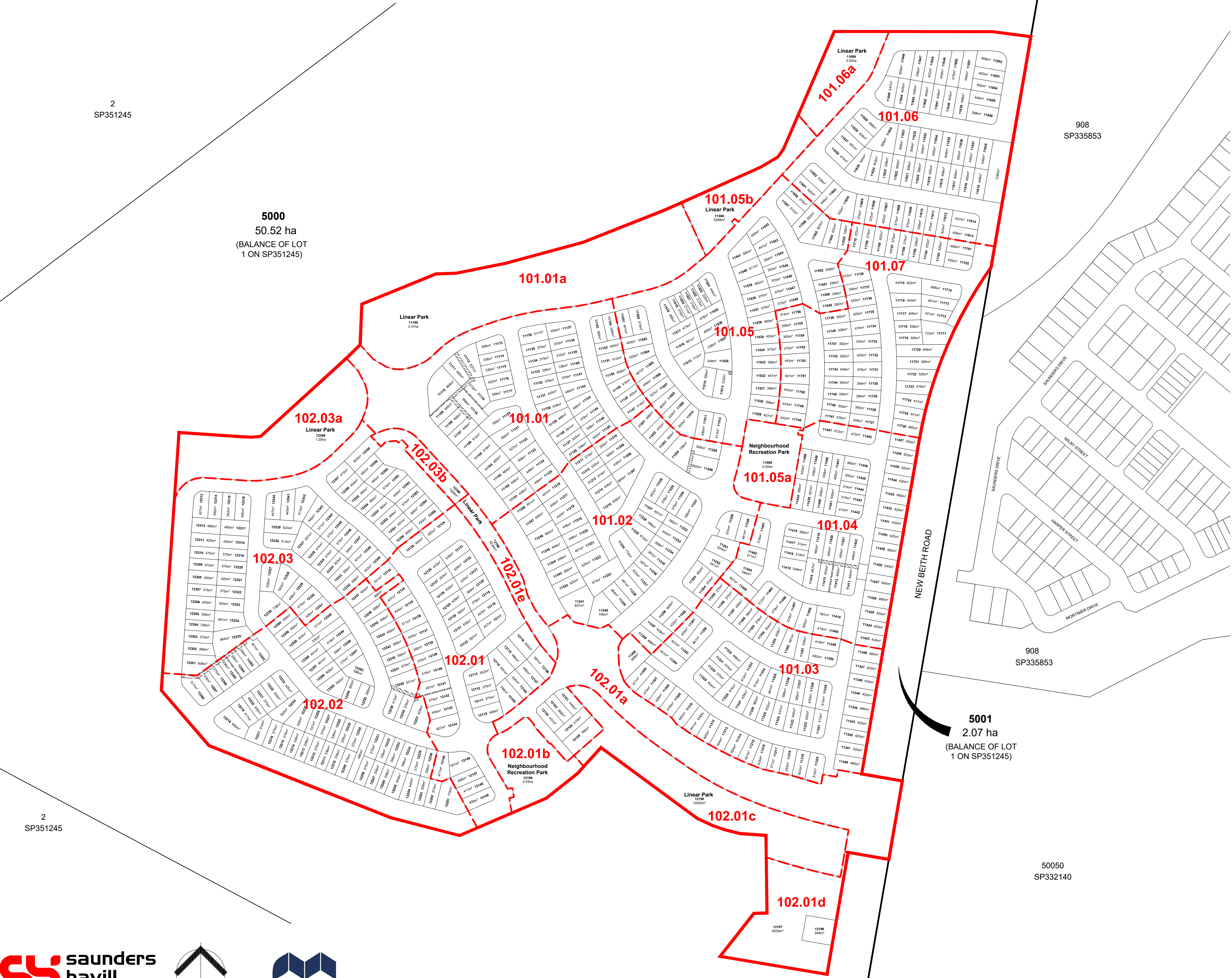
PROJECTION - GDA2020 MGA56
SUBJECT BOUNDARIES SP351245 PROVIDED BY VERIS
DRAWING REFERENCE "402971 ROL4 LOT CALC REVISION C"
DATED 13/03/2025

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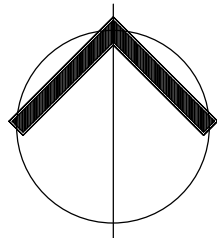
LEGEND

- Site Boundary
- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Easement

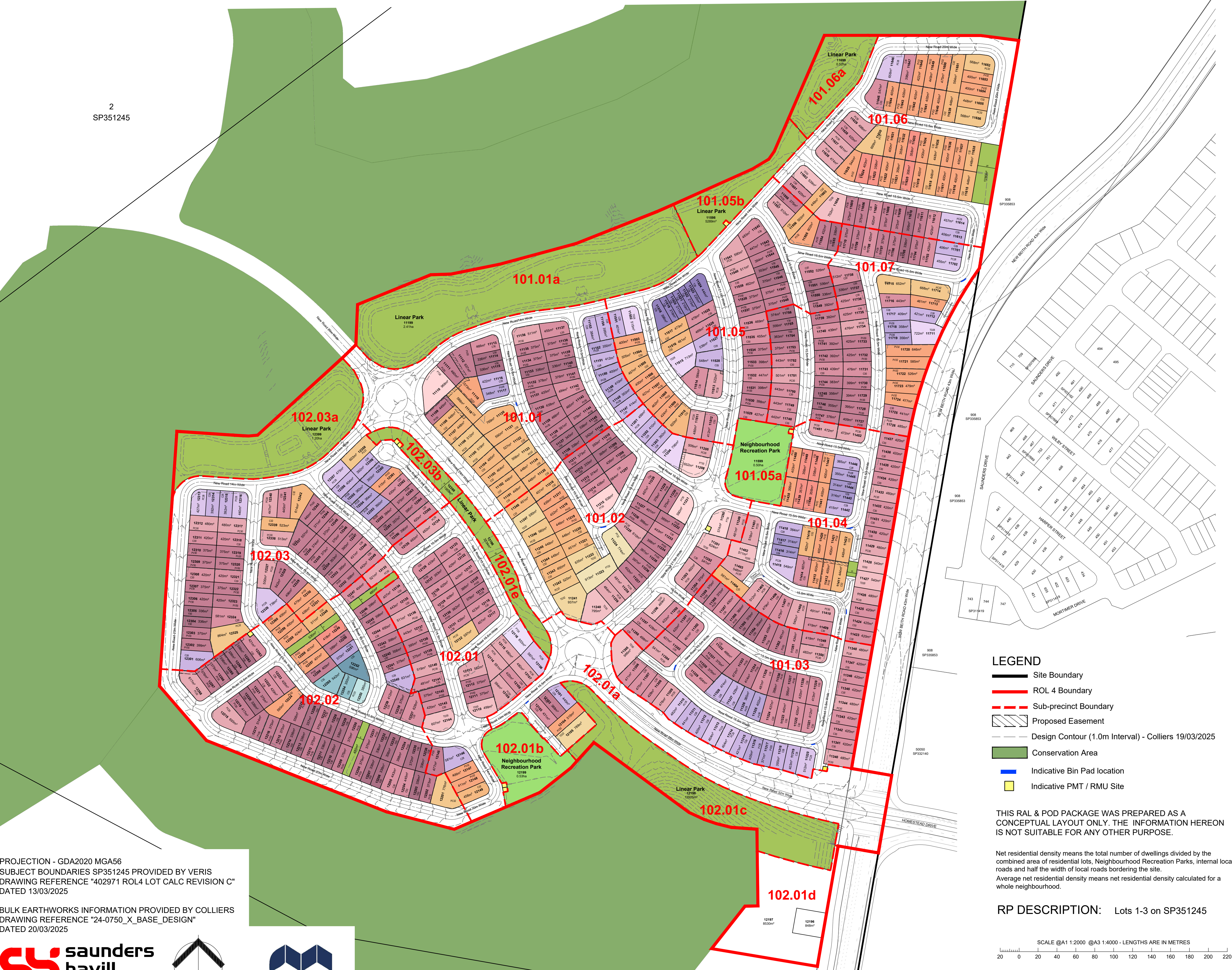


RP DESCRIPTION: Lots 1-3 on SP351245

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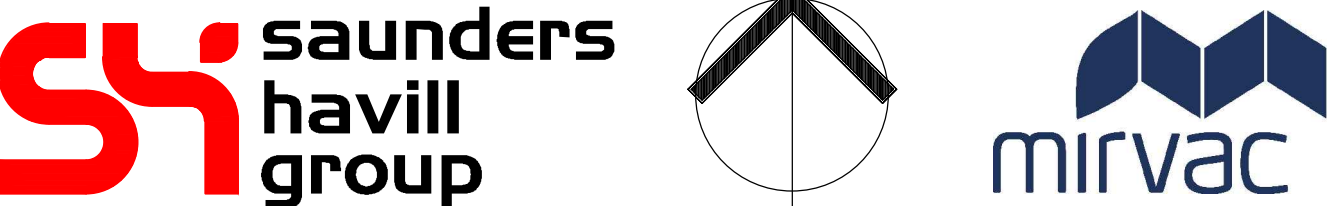


ROL 4: RECONFIGURATION OF A LOT PLAN



PROJECTION - GDA2020 MGA56
SUBJECT BOUNDARIES SP351245 PROVIDED BY VERIS
DRAWING REFERENCE "402971 ROL4 LOT CALC REVISION C"
DATED 13/03/2025

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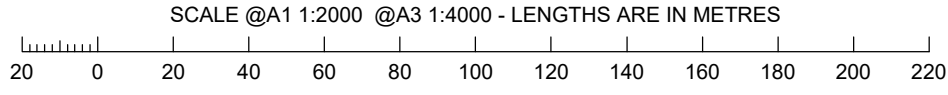
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DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
25m Deep Lots					
Villa	V25	11.2m	1	0.2%	0.059 ha
Courtyard	C25	14m	2	0.3%	0.089 ha
Premium Courtyard	PC25	16m	1	0.2%	0.039 ha
Sub Total			4	0.7%	0.187 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Terrace - Front Loaded	T28	7.5m	7	1.2%	0.191 ha
Villa	V28	11.2m	4	0.7%	0.126 ha
Premium Villa	PV28	12.5m	17	3.0%	0.636 ha
Courtyard	C28	14m	32	5.6%	1.396 ha
Premium Courtyard	PC28	16m	14	2.4%	0.719 ha
Traditional	TD28	18m	4	0.7%	0.266 ha
Premium Traditional	PT28	20m	1	0.2%	0.065 ha
Sub Total			79	13.7%	3.399 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	48	8.3%	1.651 ha
Premium Villa	PV30	12.5m	136	23.7%	5.431 ha
Courtyard	C30	14m	115	20.0%	5.140 ha
Premium Courtyard	PC30	16m	50	8.7%	2.548 ha
Traditional	TD30	18m	11	1.9%	0.684 ha
Premium Traditional	PT30	20m	5	0.9%	0.343 ha
Sub Total			365	63.5%	15.797 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Villa	V32	11.2m	9	1.6%	0.333 ha
Premium Villa	PV32	12.5m	57	9.9%	2.484 ha
Courtyard	C32	14m	41	7.1%	2.008 ha
Premium Courtyard	PC32	16m	14	2.4%	0.863 ha
Traditional	TD32	18m	4	0.7%	0.295 ha
Premium Traditional	PT32	20m	2	0.3%	0.169 ha
Sub Total			127	22.1%	6.152 ha
Total Allotments			575	100%	25.535 ha
Land Budget			Area (Ha)	%	
Area of Subject Site / Stage			48.211 ha	—	
Net Residential Allotments			25.535 ha	53.0%	
Linear Park / Pedestrian Linkage			6.762 ha	14.0%	
Neighbourhood Recreation Park			1.026 ha	2.1%	
Local Road Areas			10.983 ha	22.8%	
Major Road Areas			2.967 ha	6.2%	
Balance Lot 12196			0.085 ha	0.2%	
Balance Lot 12197			0.853 ha	1.8%	
Total Area			48.211 ha	100%	
Average Lot Size (m²)			444.1 m²		
Net Density (dw/ha)			15.3 dw/ha		

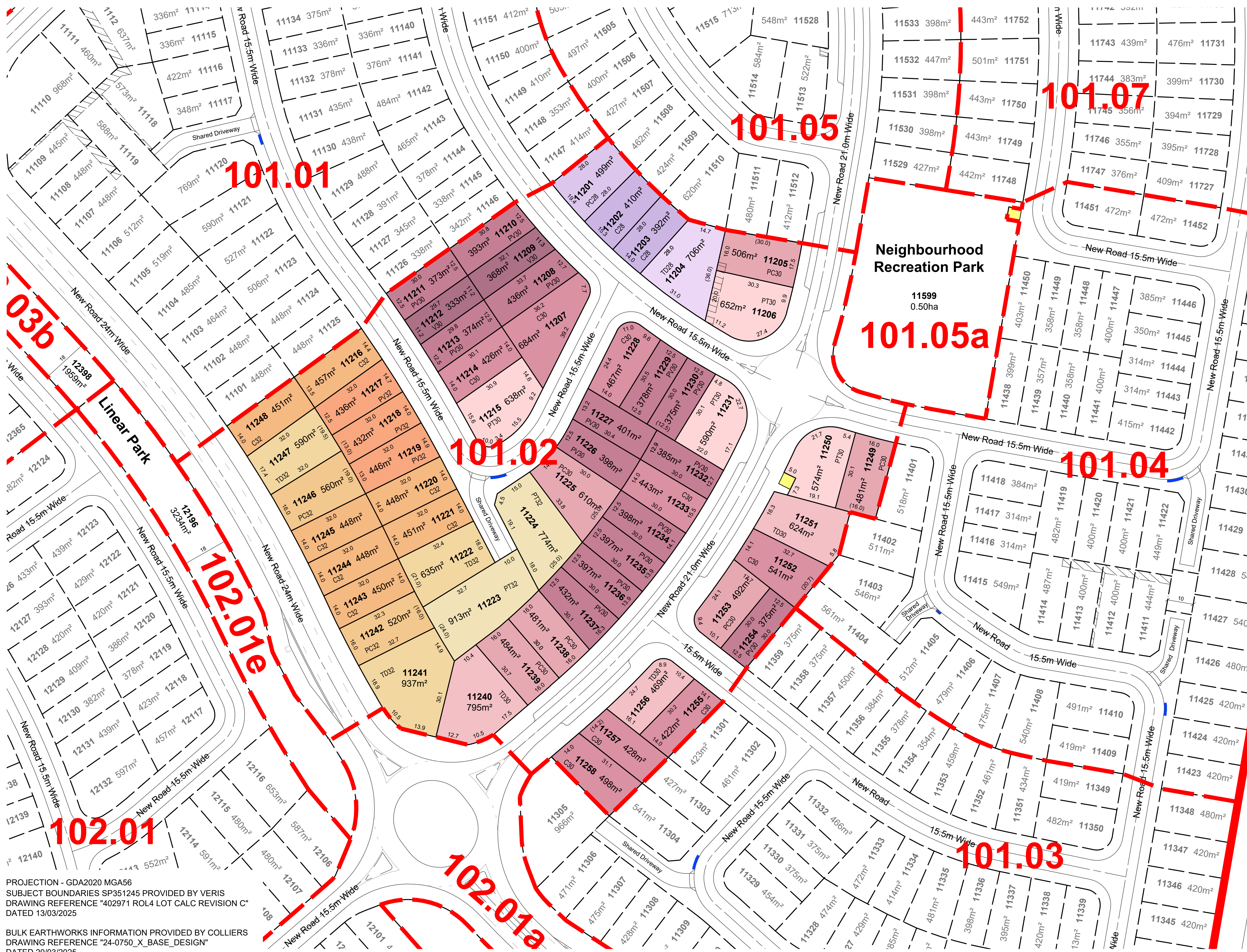
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RP DESCRIPTION: Lots 1-3 on SP351245

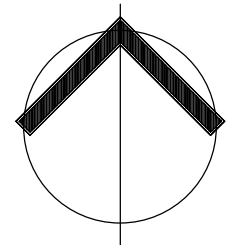


ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.02







PROJECTION - GDA2020 MGA56
SUBJECT BOUNDARIES SP351245 PROVIDED BY VERIS
DRAWING REFERENCE "402971 ROL4 LOT CALC REVISION C"
DATED 13/03/2025

BULK EARTHWORKS INFORMATION PROVIDED BY COLLIERS
DRAWING REFERENCE "24-0750_X_BASE_DESIGN"
DATED 20/03/2025



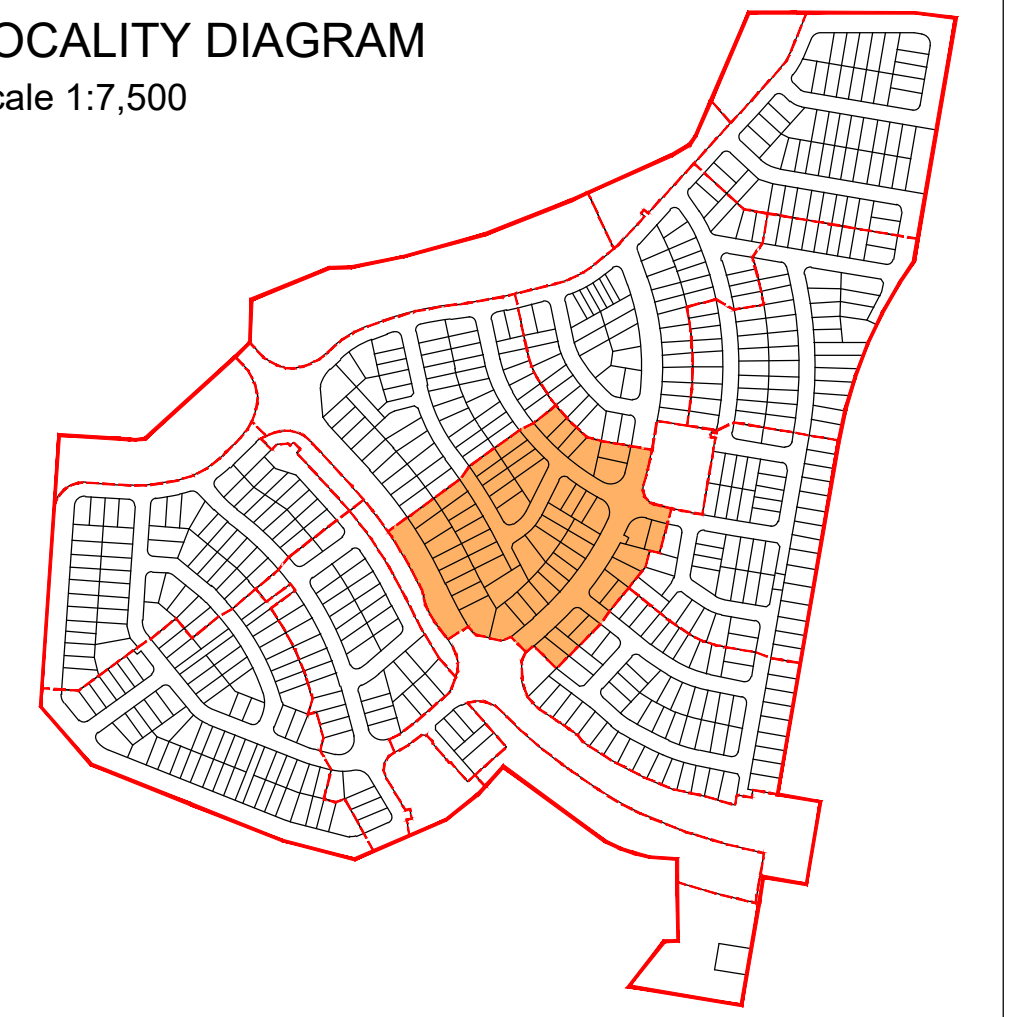
LEGEND

-  ROL 4 Boundary
 Sub-precinct Boundary
 Proposed Easement
 Indicative Bin Pad location
 Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Courtyard	C28	14m	2	3.4%	0.080 ha
Premium Courtyard	PC28	16m	1	1.7%	0.050 ha
Traditional	TD28	18m	1	1.7%	0.071 ha
Sub Total			4	6.9%	0.201 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	2	3.4%	0.070 ha
Premium Villa	PV30	12.5m	14	24.1%	0.551 ha
Courtyard	C30	14m	8	13.8%	0.391 ha
Premium Courtyard	PC30	16m	6	10.3%	0.305 ha
Traditional	TD30	18m	3	5.2%	0.189 ha
Premium Traditional	PT30	20m	4	6.9%	0.246 ha
Sub Total			37	63.8%	1.752 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Premium Villa	PV32	12.5m	3	5.2%	0.131 ha
Courtyard	C32	14m	7	12.1%	0.315 ha
Premium Courtyard	PC32	16m	2	3.4%	0.108 ha
Traditional	TD32	18m	3	5.2%	0.216 ha
Premium Traditional	PT32	20m	2	3.4%	0.169 ha
Sub Total			17	29.3%	0.939 ha
Total Allotments			58	100%	2.892 ha
Land Budget			Area (Ha)	%	
Area of Subject Site / Stage			4.280 ha	—	
Net Residential Allotments			2.892 ha	67.6%	
Local Road Areas			1.081 ha	25.3%	
Major Road Areas			0.307 ha	7.2%	
Total Area			4.280 ha	100%	

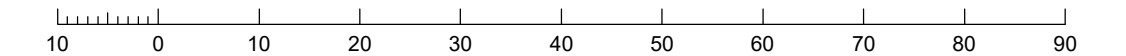
LOCALITY DIAGRAM

Scale 1:7,500

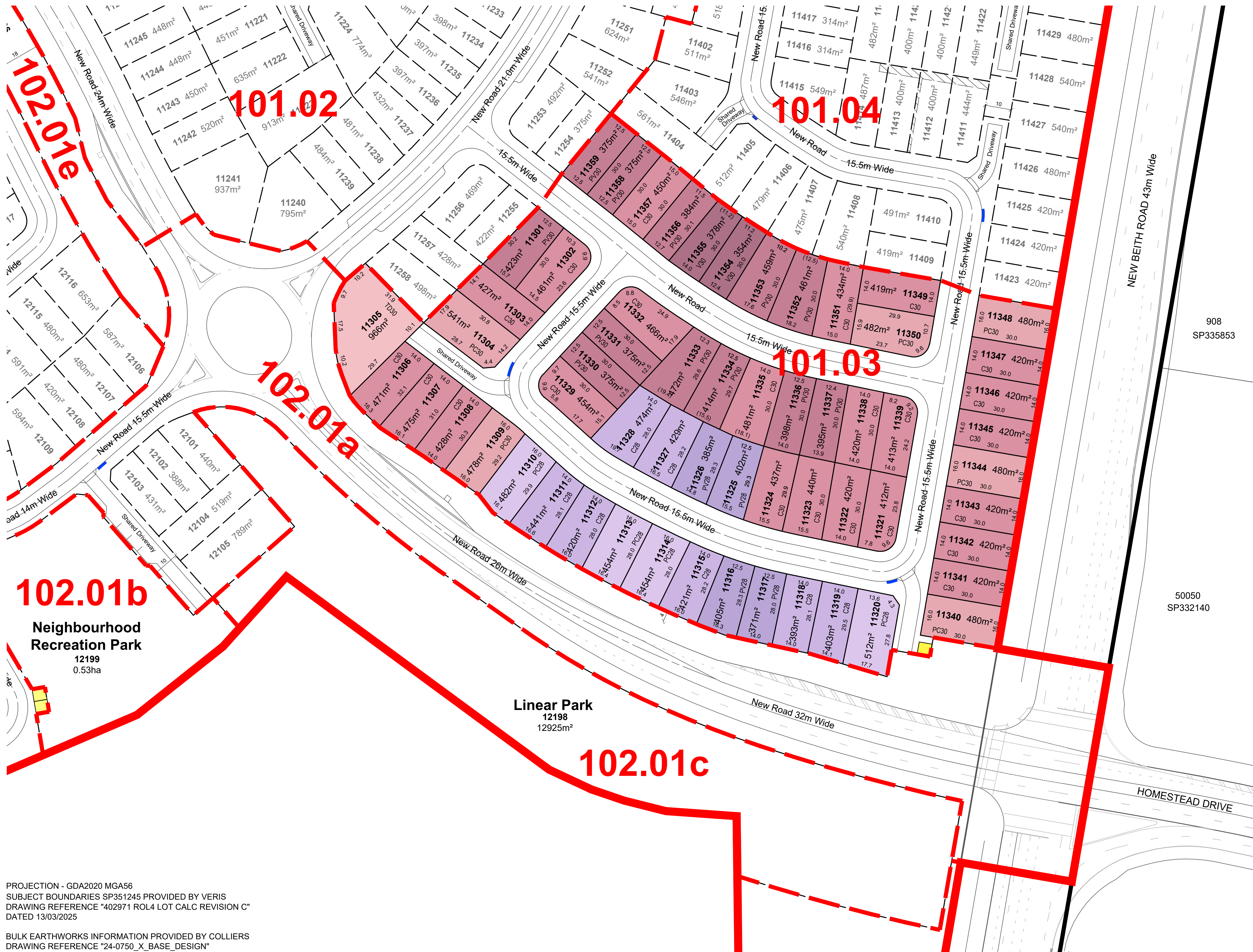


RP DESCRIPTION: Lots 1-3 on SP351245





SCALE @A1 1:750 @A3 1:1500 - LENGTHS ARE IN METRES



ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.03



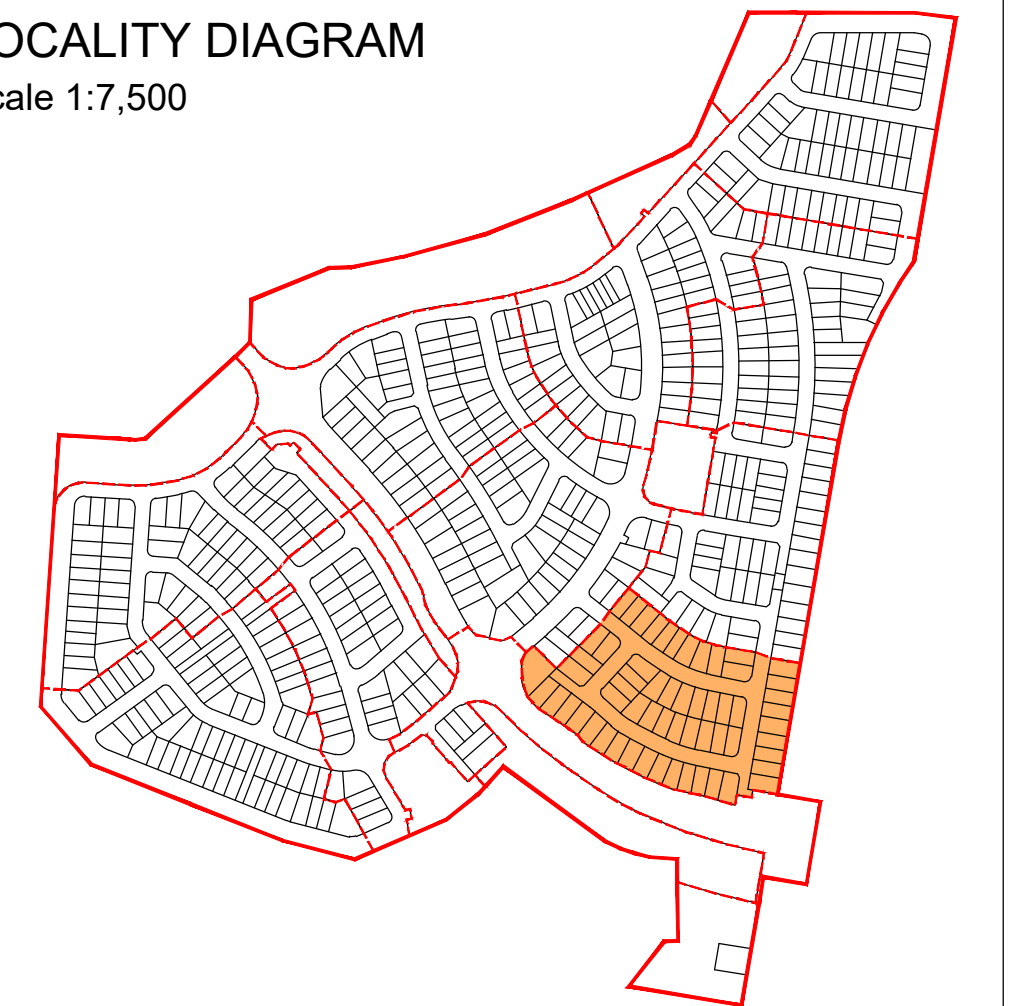
LEGEND

-  Site Boundary
-  ROL 4 Boundary
- Sub-precinct Boundary
-  Indicative Bin Pad location
-  Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Premium Villa	PV28	12.5m	4	6.8%	0.156 ha
Courtyard	C28	14m	7	11.9%	0.298 ha
Sub Total			15	25.4%	0.644 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	2	3.4%	0.073 ha
Premium Villa	PV30	12.5m	12	20.3%	0.491 ha
Courtyard	C30	14m	23	39.0%	1.003 ha
Premium Courtyard	PC30	16m	6	10.2%	0.294 ha
Traditional	TD30	18m	1	1.7%	0.097 ha
Sub Total			44	74.6%	1.958 ha
Total Allotments			59	100%	2.602 ha
Land Budget			Area (Ha)	%	
Area of Subject Site / Stage			3.462 ha	—	
Net Residential Allotments			2.602 ha	0.752 ha	
Local Road Areas			0.860 ha	24.8%	
Total Area			3.462 ha	100%	

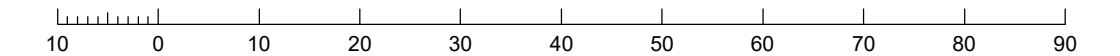
LOCALITY DIAGRAM

Scale 1:7,500



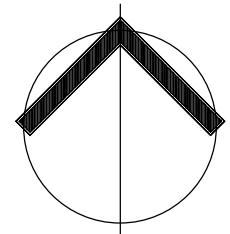
RP DESCRIPTION: Lots 1-3 on SP351245

SCALE @A1 1:750 @A3 1:1500 - LENGTHS ARE IN METRES



PROJECTION - GDA2020 MGA56
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DATED 13/03/2025

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HOMESTEAD DRIVE, MONARCH GLEN 03/04/2025 11731 P 27 Rev I - STG 101.03

ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.04



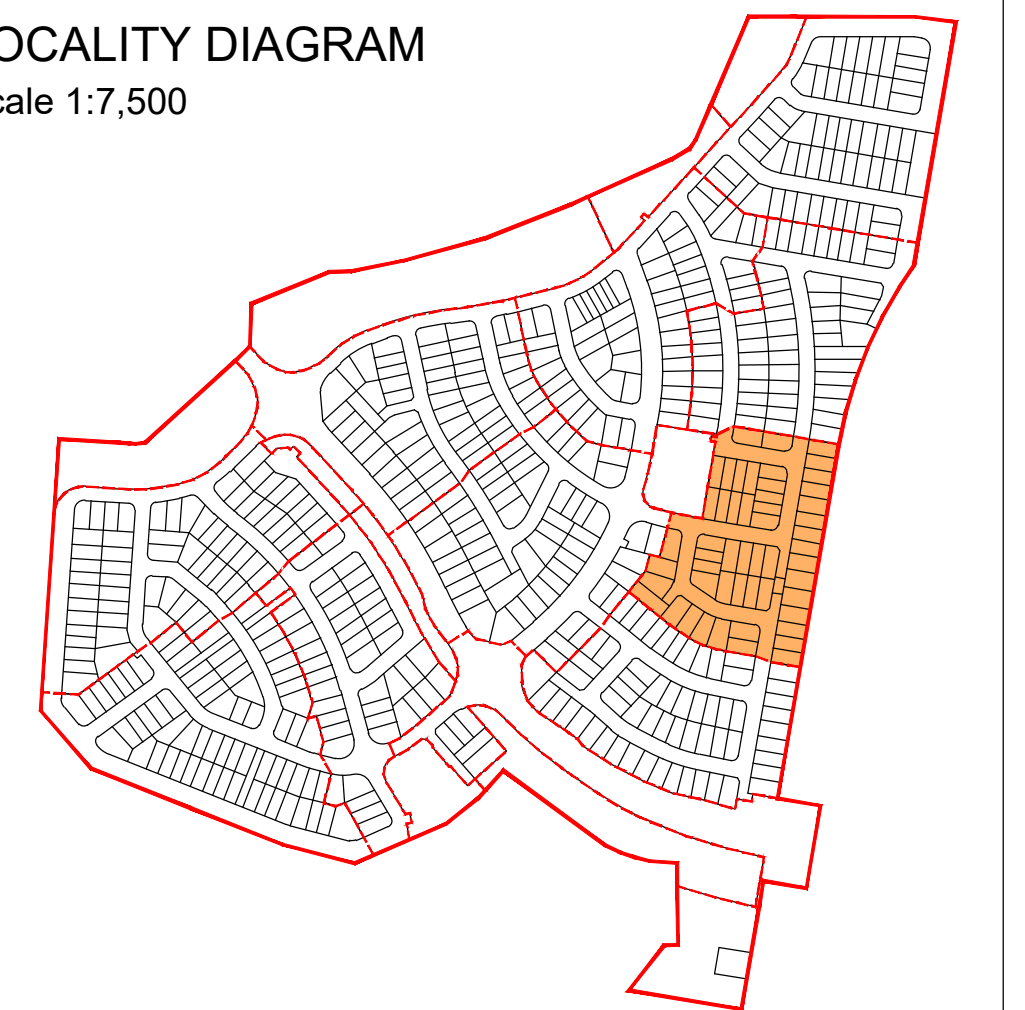
LEGEND

- Site Boundary
- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Easement
- Indicative Bin Pad location
- Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Villa	V28	11.2m	4	7.7%	0.126 ha
Premium Villa	PV28	12.5m	1	1.9%	0.035 ha
Courtyard	C28	14m	3	5.8%	0.118 ha
Premium Courtyard	PC28	16m	1	1.9%	0.055 ha
Sub Total			9	17.3%	0.334 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Courtyard	C30	14m	14	26.9%	0.606 ha
Premium Courtyard	PC30	16m	10	19.2%	0.499 ha
Traditional	TD30	18m	3	5.8%	0.159 ha
Sub Total			27	51.9%	1.264 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Villa	V32	11.2m	4	7.7%	0.143 ha
Premium Villa	PV32	12.5m	8	15.4%	0.320 ha
Courtyard	C32	14m	4	7.7%	0.194 ha
Sub Total			16	30.8%	0.657 ha
Total Allotments			52	100%	2.255 ha
Land Budget			Area (Ha)	%	
Area of Subject Site / Stage			3.111 ha	—	
Net Residential Allotments			2.255 ha	72.5%	
Linear Park / Pedestrian Linkage			0.016 ha	0.5%	
Local Road Areas			0.840 ha	27.0%	
Total Area			3.111 ha	100%	

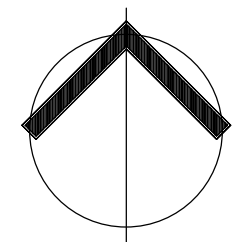
LOCALITY DIAGRAM

Scale 1:7,500

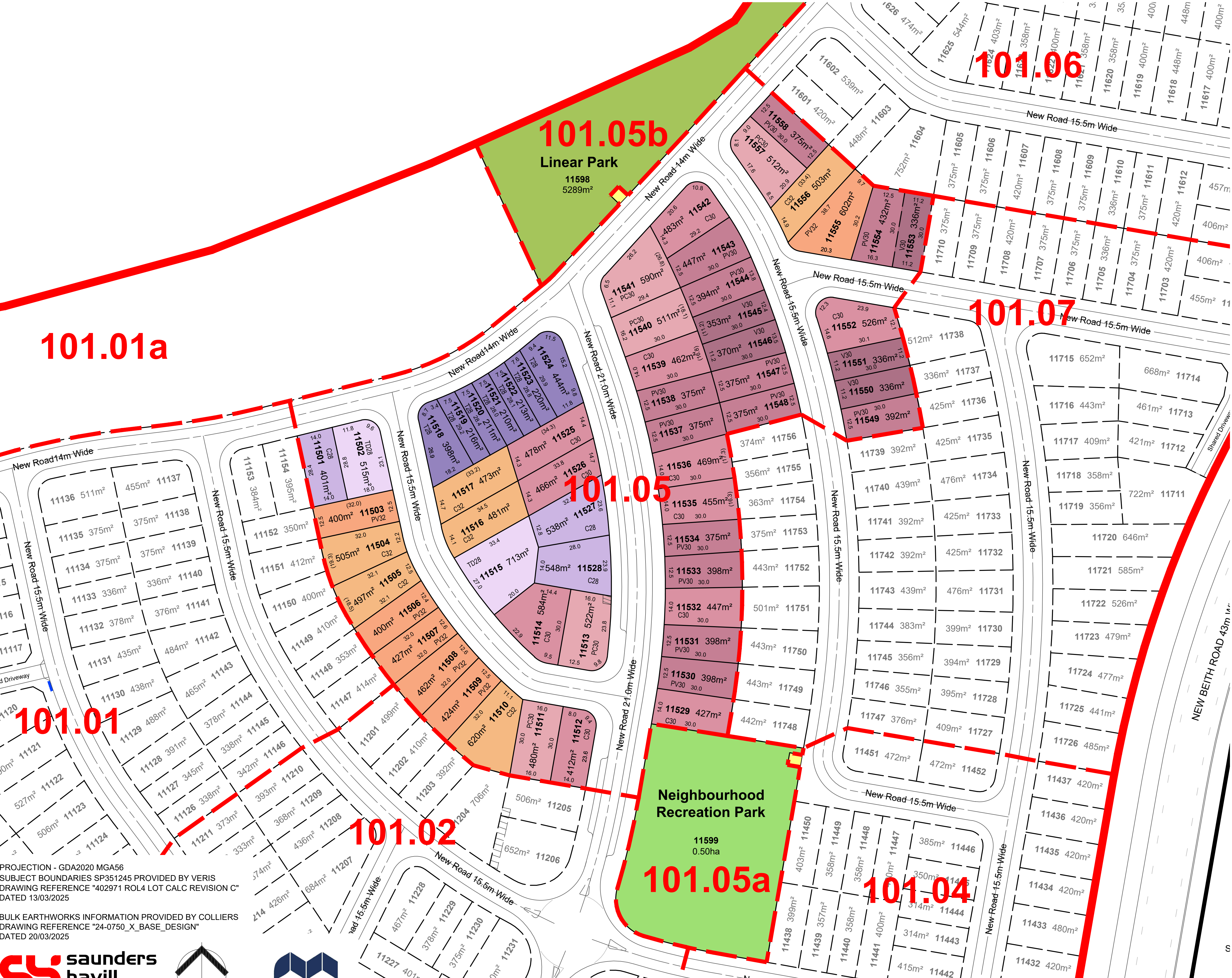


RP DESCRIPTION: Lots 1-3 on SP351245

SCALE @A1 1:750 @A3 1:1500 - LENGTHS ARE IN METRES



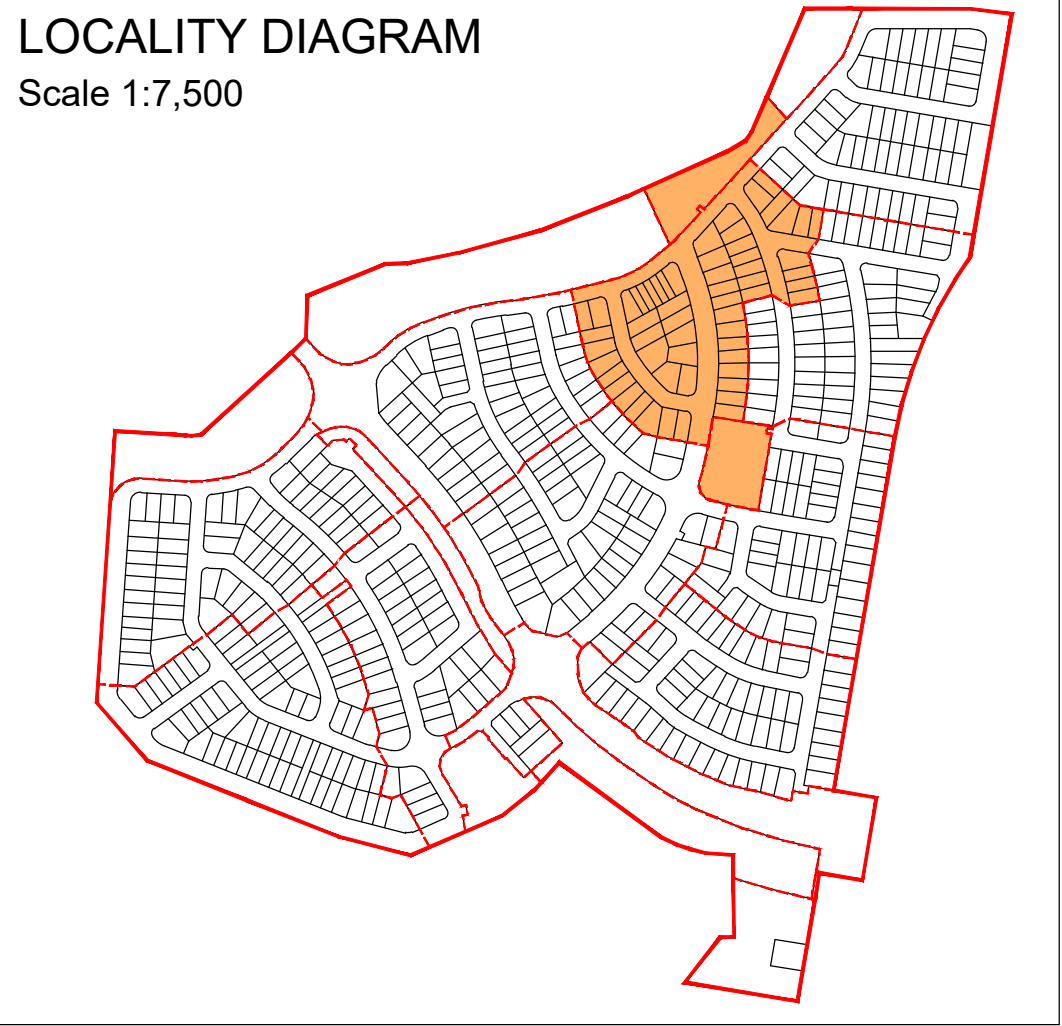
ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.05



LEGEND

- Site Boundary
- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Easement
- Indicative Bin Pad location
- Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Terrace - Front Loaded	T28	7.5m	7	12.1%	0.191 ha
Courtyard	C28	14m	3	5.2%	0.149 ha
Traditional	TD28	18m	2	3.4%	0.123 ha
Sub Total			12	20.7%	0.463 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	5	8.6%	0.173 ha
Premium Villa	PV30	12.5m	13	22.4%	0.511 ha
Courtyard	C30	14m	11	19.0%	0.521 ha
Premium Courtyard	PC30	16m	5	8.6%	0.262 ha
Sub Total			34	58.6%	1.467 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Premium Villa	PV32	12.5m	6	10.3%	0.271 ha
Courtyard	C32	14m	6	10.3%	0.308 ha
Sub Total			12	20.7%	0.579 ha
Total Allotments			58	100%	2.509 ha
Land Budget			Area (Ha)	%	
Area of Subject Site / Stage			4.760 ha	—	
Net Residential Allotments			2.509 ha	52.7%	
Linear Park / Pedestrian Linkage			0.529 ha	11.1%	
Neighbourhood Recreation Park			0.500 ha	10.5%	
Local Road Areas			1.222 ha	25.7%	
Total Area			4.760 ha	100%	

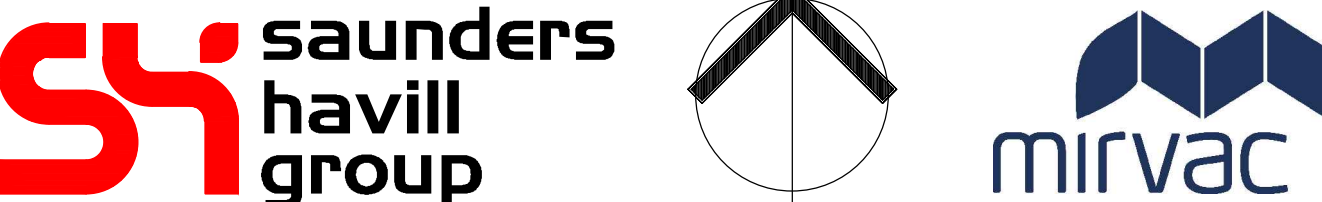


RP DESCRIPTION: Lots 1-3 on SP351245

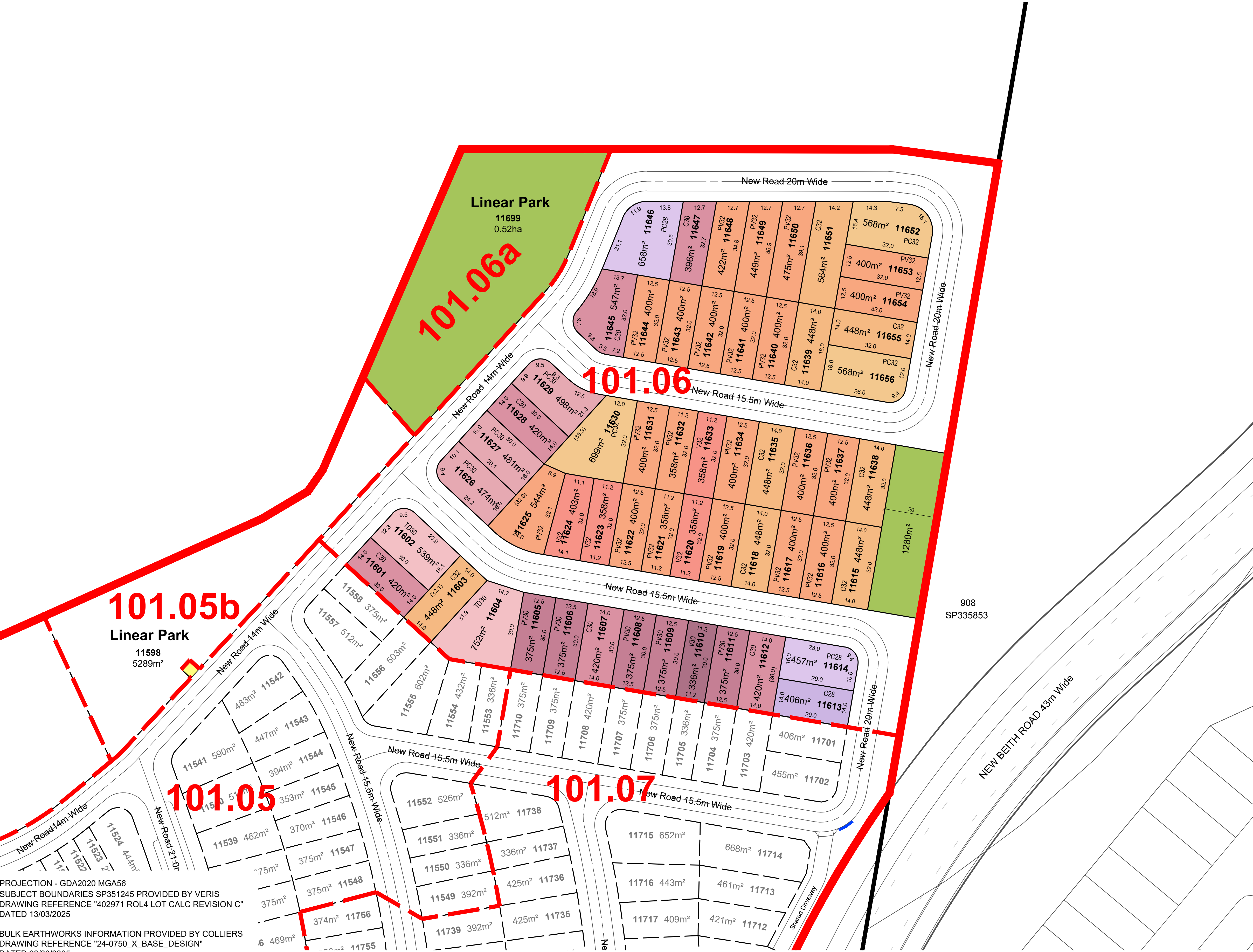
SCALE @A1 1:750 @A3 1:1500 - LENGTHS ARE IN METRES

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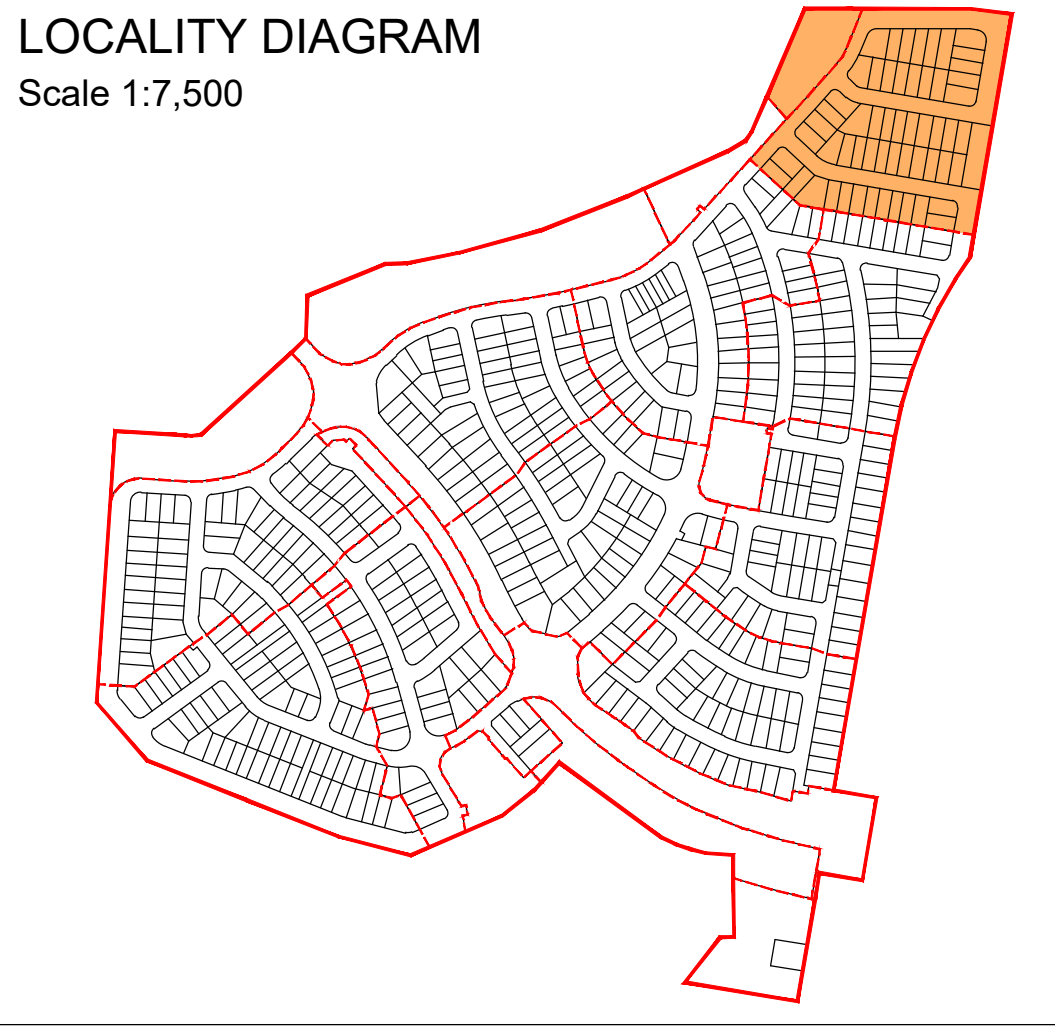
ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.06



LEGEND

- Site Boundary
- ROL 4 Boundary
- Sub-precinct Boundary
- Indicative Bin Pad location
- Indicative PMT / RMU Site

DEVELOPMENT STATISTICS				
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%
28m Deep Lots				
Courtyard	C28	14m	1	1.8%
Premium Courtyard	PC28	16m	2	3.6%
Sub Total			3	5.4%
30m Deep Lots				
Villa	V30	11.2m	1	1.8%
Premium Villa	PV30	12.5m	5	8.9%
Courtyard	C30	14m	6	10.7%
Premium Courtyard	PC30	16m	3	5.4%
Traditional	TD30	18m	2	3.6%
Sub Total			17	30.4%
32m Deep Lots				
Villa	V32	11.2m	4	7.1%
Premium Villa	PV32	12.5m	21	37.5%
Courtyard	C32	14.0m	8	14.3%
Premium Courtyard	PC32	16.0m	3	5.4%
Sub Total			36	64.3%
Total Allotments			56	100%
Land Budget			Area (Ha)	%
Area of Subject Site / Stage			4.444 ha	—
Net Residential Allotments			2.473 ha	76.5%
Linear Park / Pedestrian Linkage			0.644 ha	19.9%
Local Road Areas			1.327 ha	41.1%
Total Area			4.444 ha	138%

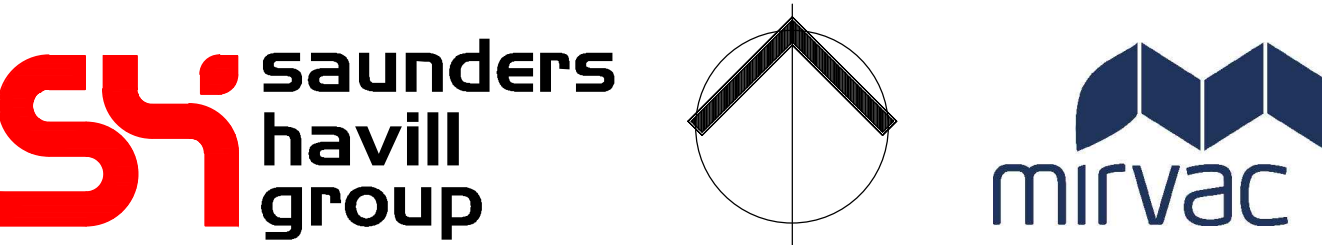


RP DESCRIPTION: Lots 1-3 on SP351245

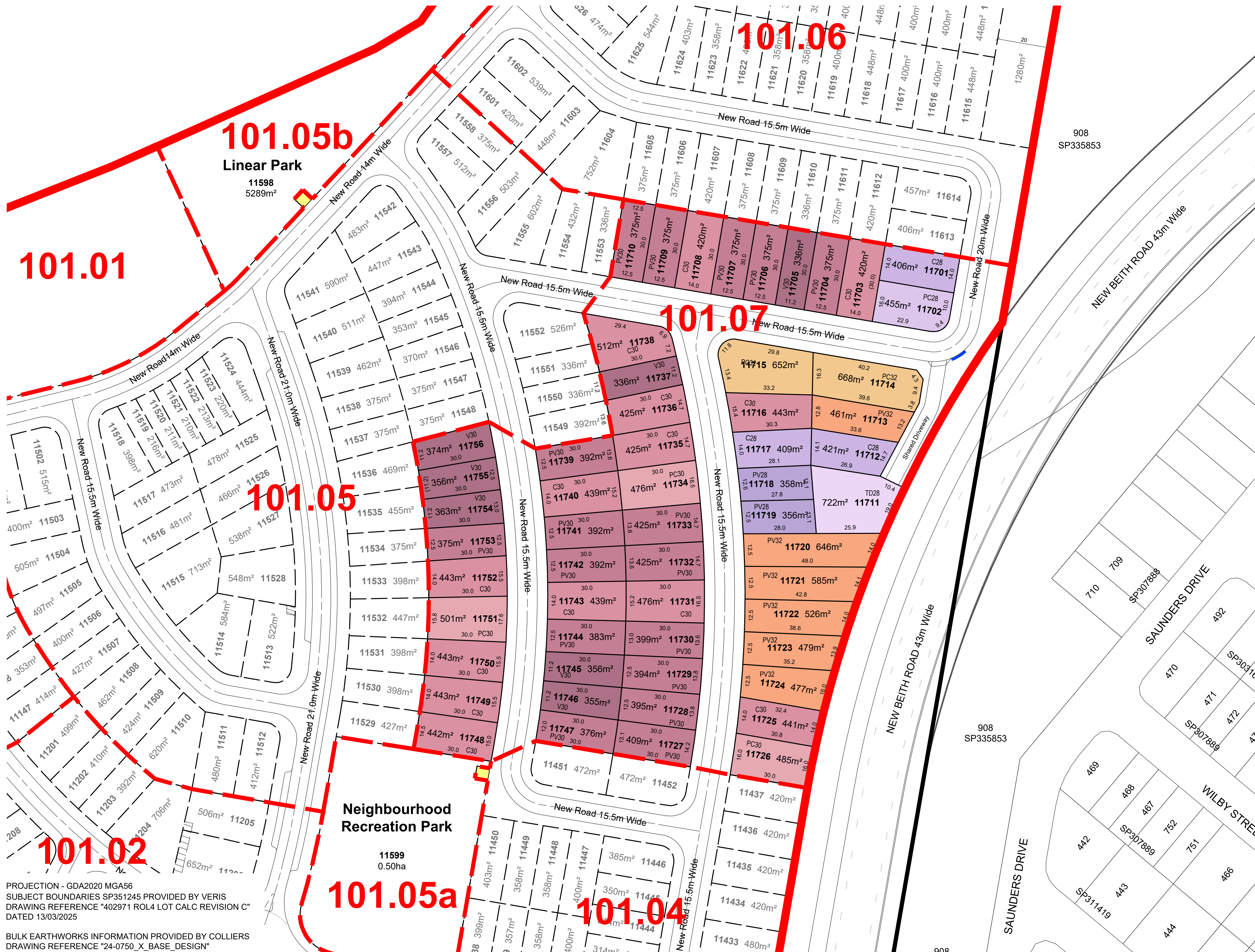
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PROJECTION - GDA2020 MGA56
SUBJECT BOUNDARIES SP351245 PROVIDED BY VERIS
DRAWING REFERENCE "402971 ROL4 LOT CALC REVISION C"
DATED 13/03/2025






BULK EARTHWORKS INFORMATION PROVIDED BY COLLIERIES
DRAWING REFERENCE "24-0750_X_BASE_DESIGN"
DATED 20/03/2025



ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 101.07



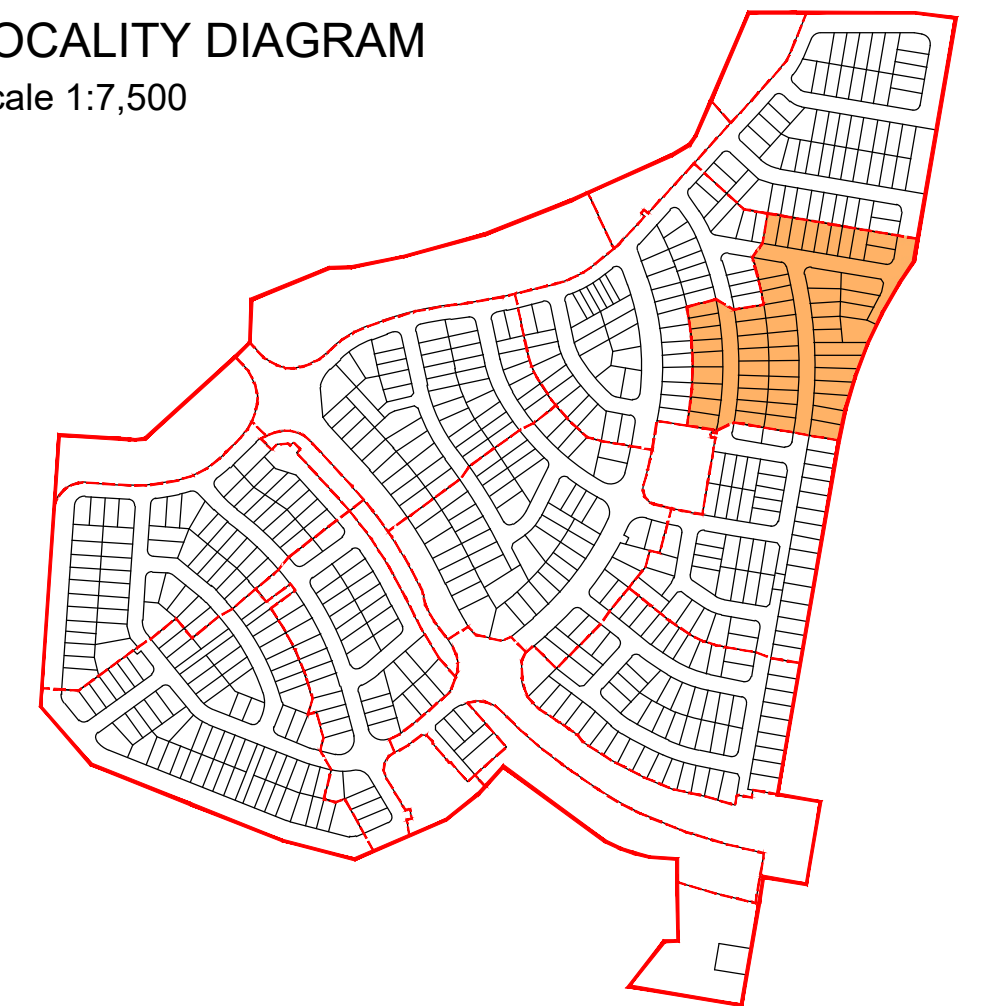
LEGEND

-  Site Boundary
 ROL 4 Boundary
 Sub-precinct Boundary
 Proposed Easement
 Indicative Bin Pad location
 Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Premium Villa	PV28	12.5m	2	3.6%	0.071 ha
Courtyard	C28	14m	3	5.4%	0.124 ha
Premium Courtyard	PC28	16m	1	1.8%	0.046 ha
Traditional	TD28	18m	1	1.8%	0.072 ha
Sub Total			7	12.5%	0.313 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	7	12.5%	0.248 ha
Premium Villa	PV30	12.5m	17	30.4%	0.663 ha
Courtyard	C30	14m	14	25.0%	0.621 ha
Premium Courtyard	PC30	16m	3	5.4%	0.146 ha
Sub Total			41	73.2%	1.678 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Premium Villa	PV32	12.5m	6	10.7%	0.317 ha
Premium Courtyard	PC32	16m	2	3.6%	0.132 ha
Sub Total			8	14.3%	0.449 ha
Total Allotments			56	100%	2.440 ha
Land Budget			Area (Ha)	%	
Area of Subject Site / Stage			3.232 ha	—	
Net Residential Allotments			2.440 ha	54.9%	
Local Road Areas			0.792 ha	17.8%	
Total Area			3.232 ha	73%	

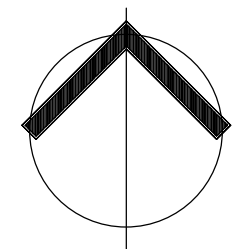
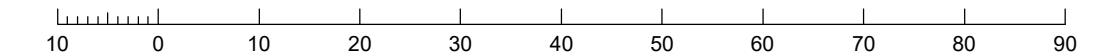
LOCALITY DIAGRAM

Scale 1:7,500

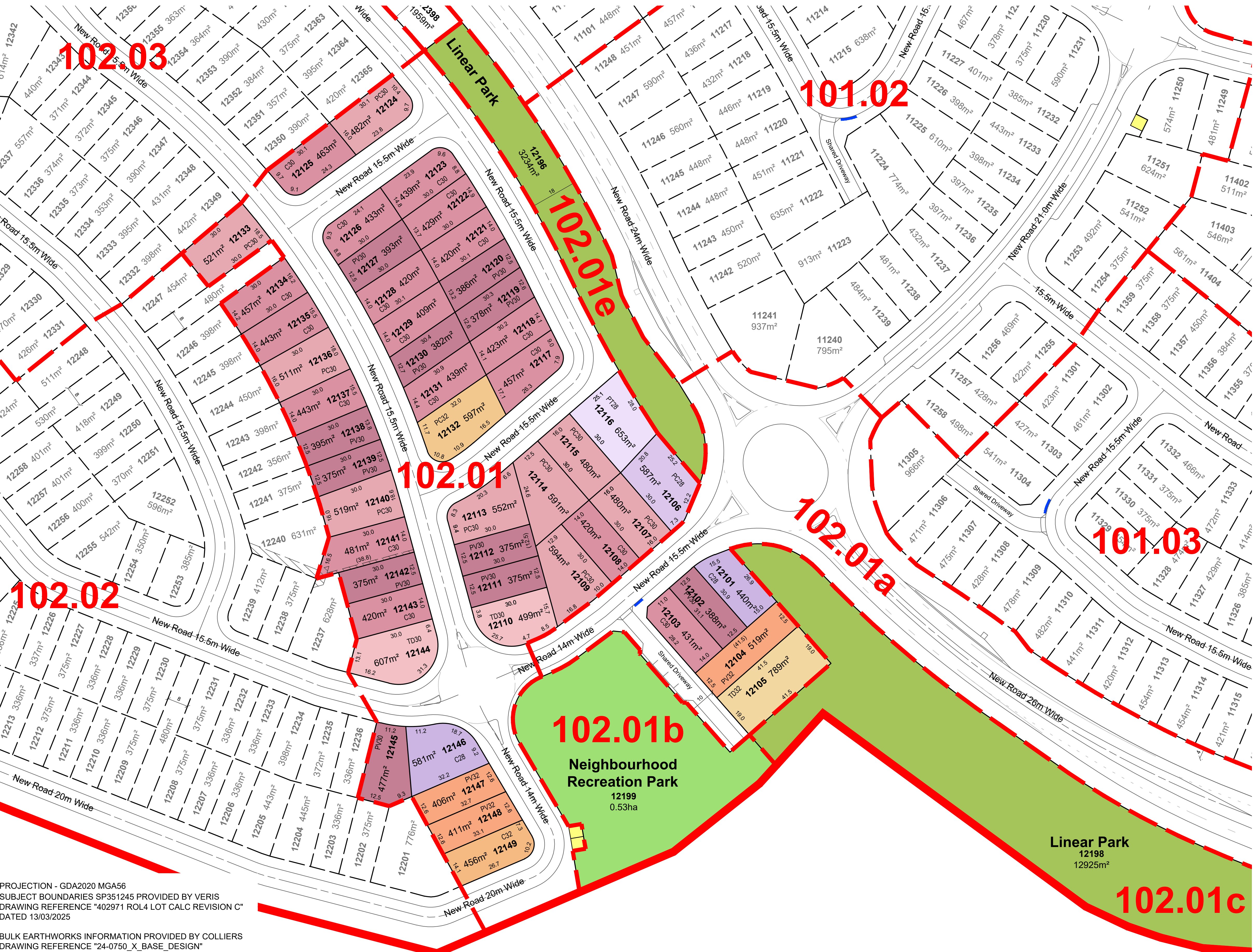


RP DESCRIPTION: Lots 1-3 on SP351245

SCALE @A1 1:750 @A3 1:1500 - LENGTHS ARE IN METRES

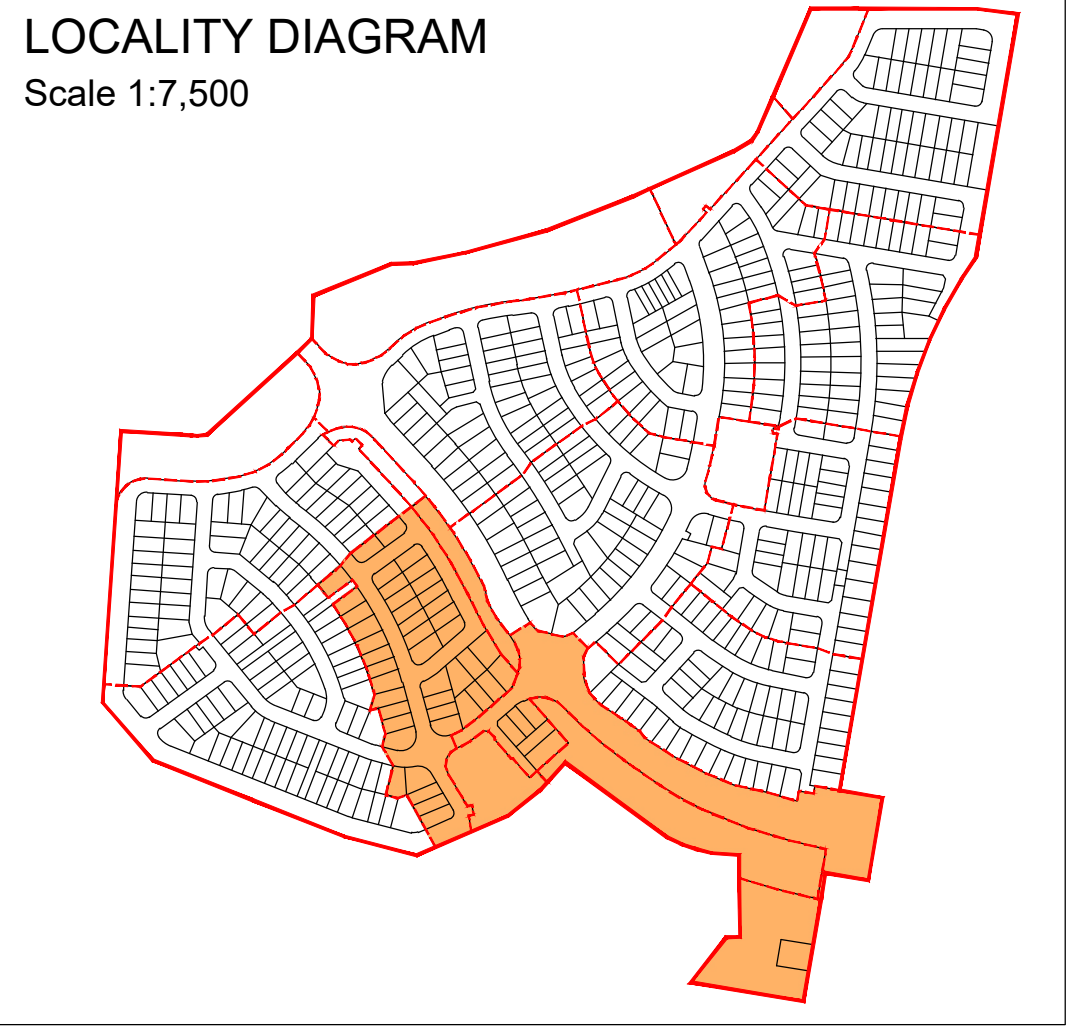


ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 102.01

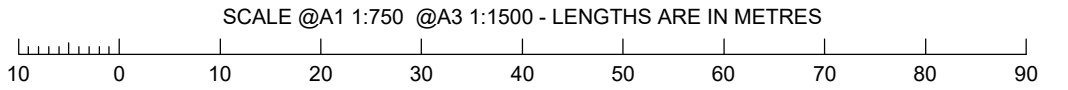


- LEGEND
- ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Easement
 - Indicative Bin Pad location
 - Indicative PMT / RMU Site

DEVELOPMENT STATISTICS				
RESIDENTIAL ALLOTMENTS	Typical Width	No. Lots	%	Net Area
28m Deep Lots				
Courtyard	C28	14m	2	4.1%
Premium Courtyard	PC28	16m	1	2.0%
Premium Traditional	PT28	20m	1	2.0%
Sub Total		4	8.2%	0.226 ha
RESIDENTIAL ALLOTMENTS	Typical Width	No. Lots	%	Net Area
30m Deep Lots				
Premium Villa	PV30	12.5m	11	22.4%
Courtyard	C30	14m	17	34.7%
Premium Courtyard	PC30	16m	9	18.4%
Traditional	TD30	18m	2	4.1%
Sub Total		39	79.6%	1.756 ha
RESIDENTIAL ALLOTMENTS	Typical Width	No. Lots	%	Net Area
32m Deep Lots				
Premium Villa	PV32	12.5m	3	6.1%
Courtyard	C32	14m	1	2.0%
Premium Courtyard	PC32	16m	1	2.0%
Traditional	TD32	18m	1	2.0%
Sub Total		6	12.2%	0.318 ha
Total Allotments		49	100%	2.300 ha
Land Budget				
Area of Subject Site / Stage	8.497 ha	—		
Net Residential Allotments	2.300 ha	27.1%		
Linear Park / Pedestrian Linkage	1.616 ha	19.0%		
Neighbourhood Recreation Park	0.526 ha	6.2%		
Local Road Areas	1.236 ha	14.5%		
Major Road Areas	1.881 ha	22.1%		
Balance Lot 12196	0.085 ha	1.3%		
Balance Lot 12197	0.853 ha	13.4%		
Total Area	8.497 ha	104%		

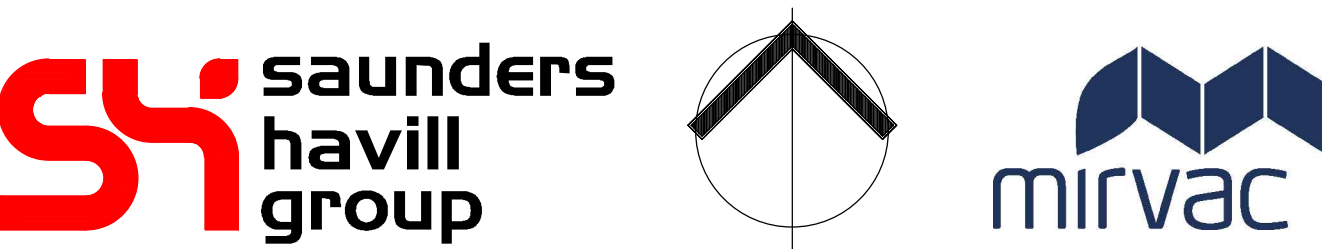


RP DESCRIPTION: Lots 1-3 on SP351245

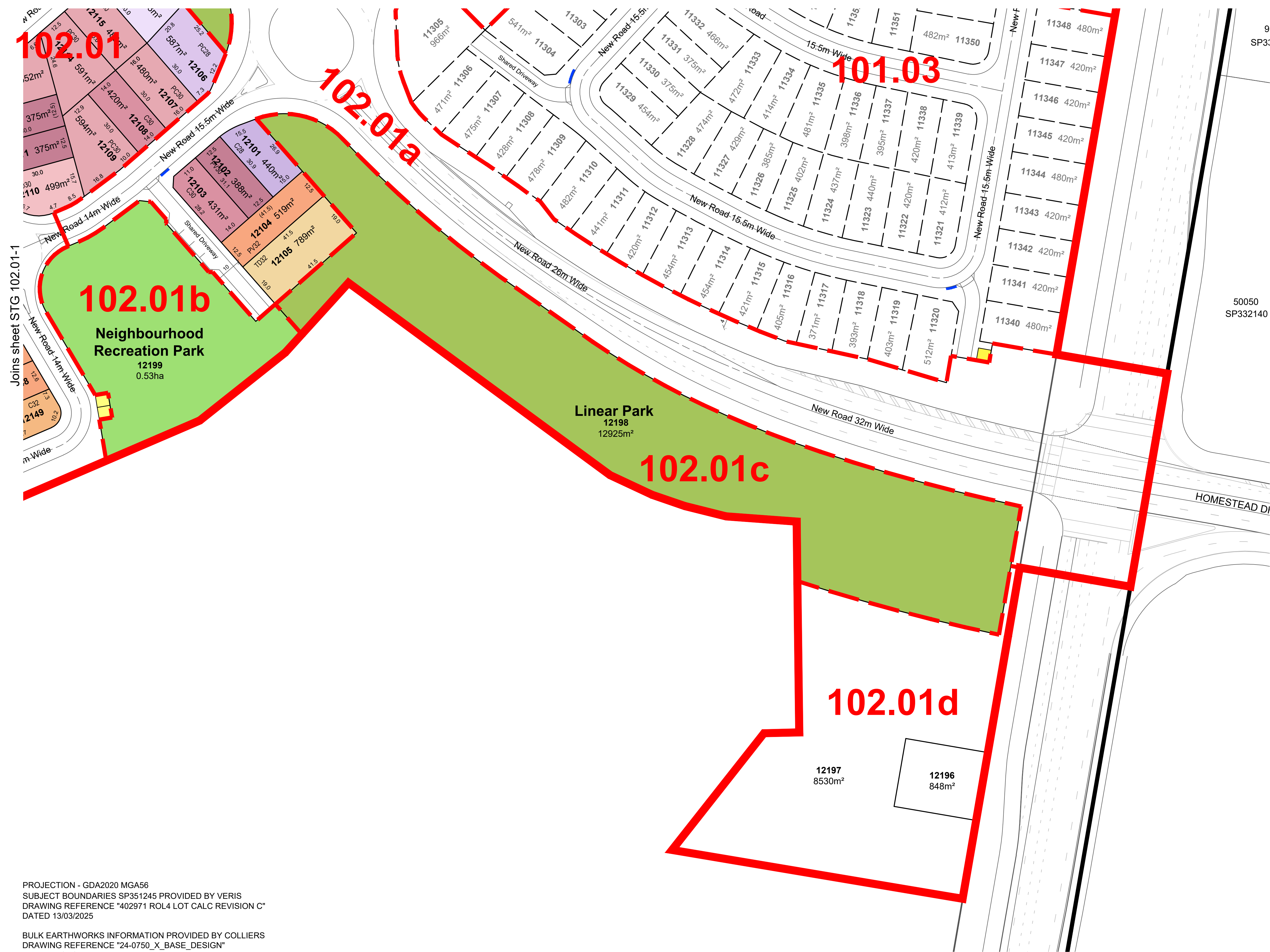


PROJECTION - GDA2020 MGA56
SUBJECT BOUNDARIES SP351245 PROVIDED BY VERIS
DRAWING REFERENCE "402971 ROL4 LOT CALC REVISION C"
DATED 13/03/2025

BULK EARTHWORKS INFORMATION PROVIDED BY COLLIERIS
DRAWING REFERENCE "24-0750_X_BASE_DESIGN"
DATED 20/03/2025

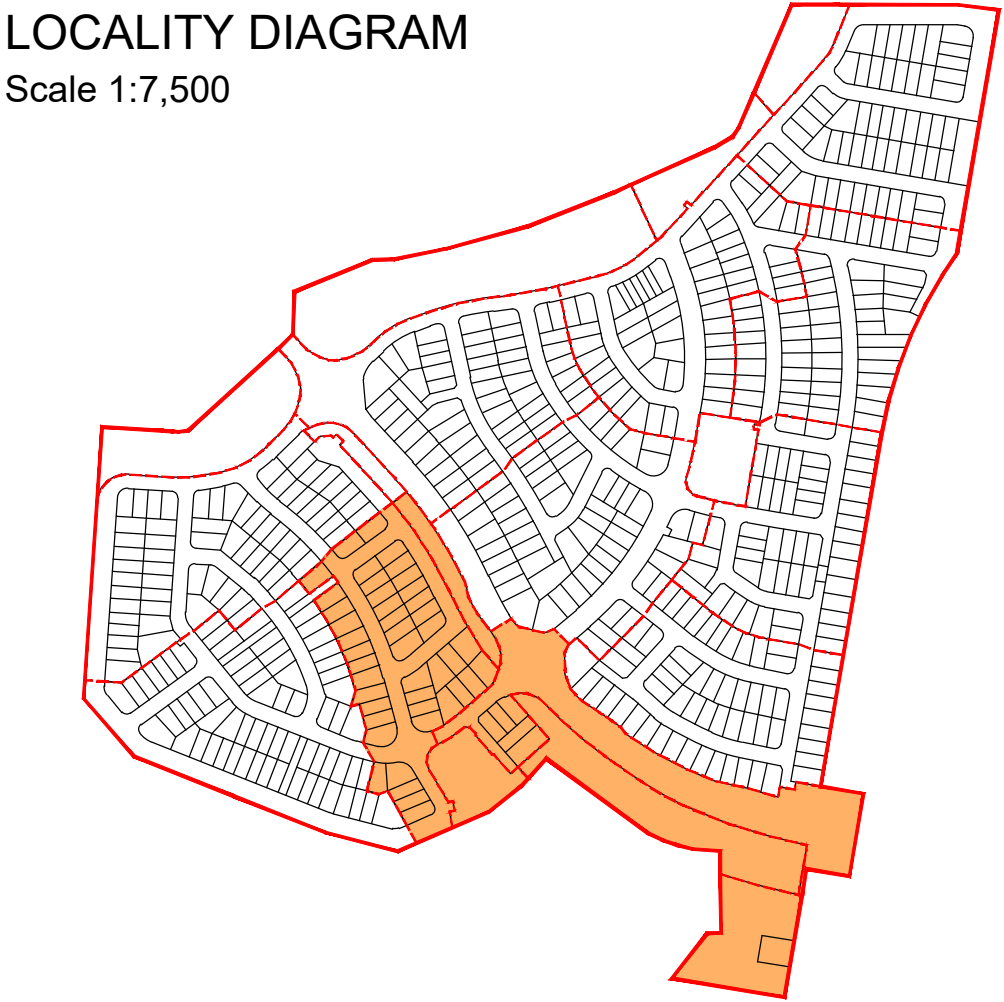


ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 102.01

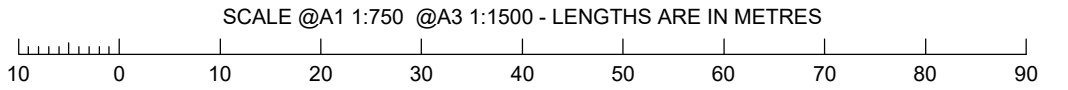


- LEGEND**
- ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Easement
 - Indicative Bin Pad location
 - Indicative PMT / RMU Site

DEVELOPMENT STATISTICS				
RESIDENTIAL ALLOTMENTS	Typical Width	No. Lots	%	Net Area
28m Deep Lots				
Courtyard	C28	14m	2	4.1%
Premium Courtyard	PC28	16m	1	2.0%
Premium Traditional	PT28	20m	1	2.0%
Sub Total		4	8.2%	0.226 ha
RESIDENTIAL ALLOTMENTS	Typical Width	No. Lots	%	Net Area
30m Deep Lots				
Premium Villa	PV30	12.5m	11	22.4%
Courtyard	C30	14m	17	34.7%
Premium Courtyard	PC30	16m	9	18.4%
Traditional	TD30	18m	2	4.1%
Sub Total		39	79.6%	1.756 ha
RESIDENTIAL ALLOTMENTS	Typical Width	No. Lots	%	Net Area
32m Deep Lots				
Premium Villa	PV32	12.5m	3	6.1%
Courtyard	C32	14m	1	2.0%
Premium Courtyard	PC32	16m	1	2.0%
Traditional	TD32	18m	1	2.0%
Sub Total		6	12.2%	0.318 ha
Total Allotments		49	100%	2.300 ha
Land Budget				
Area of Subject Site / Stage	8.497 ha	—		
Net Residential Allotments	2.300 ha	27.1%		
Linear Park / Pedestrian Linkage	1.616 ha	19.0%		
Neighbourhood Recreation Park	0.526 ha	6.2%		
Local Road Areas	1.236 ha	14.5%		
Major Road Areas	1.881 ha	22.1%		
Balance Lot 12196	0.085 ha	1.3%		
Balance Lot 12197	0.853 ha	13.4%		
Total Area	8.497 ha	104%		

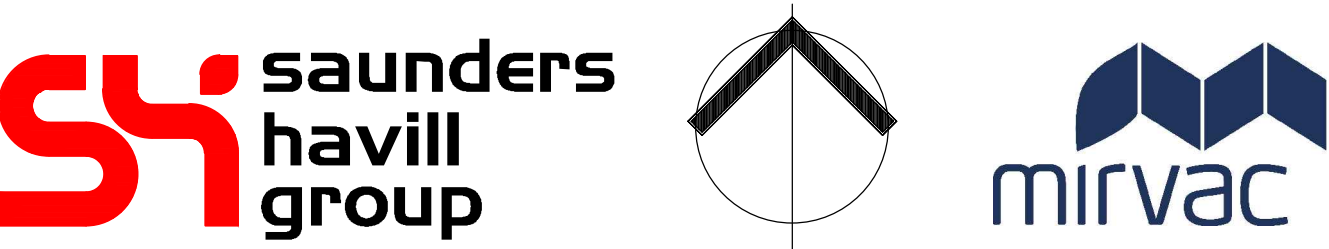


RP DESCRIPTION: Lots 1-3 on SP351245

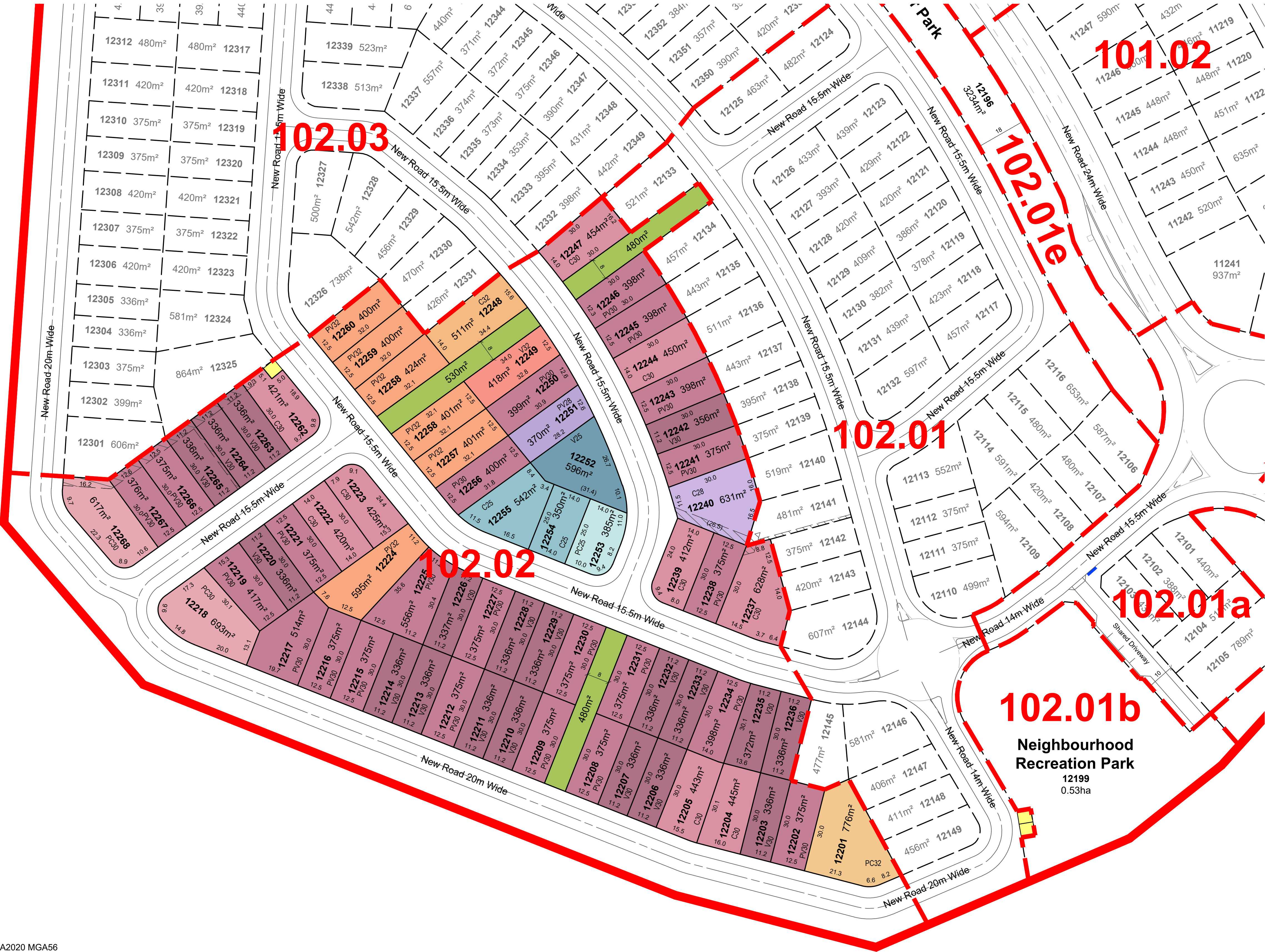


PROJECTION - GDA2020 MGA56
SUBJECT BOUNDARIES SP351245 PROVIDED BY VERIS
DRAWING REFERENCE "402971 ROL4 LOT CALC REVISION C"
DATED 13/03/2025

BULK EARTHWORKS INFORMATION PROVIDED BY COLLIERS
DRAWING REFERENCE "24-0750_X_BASE_DESIGN"
DATED 20/03/2025



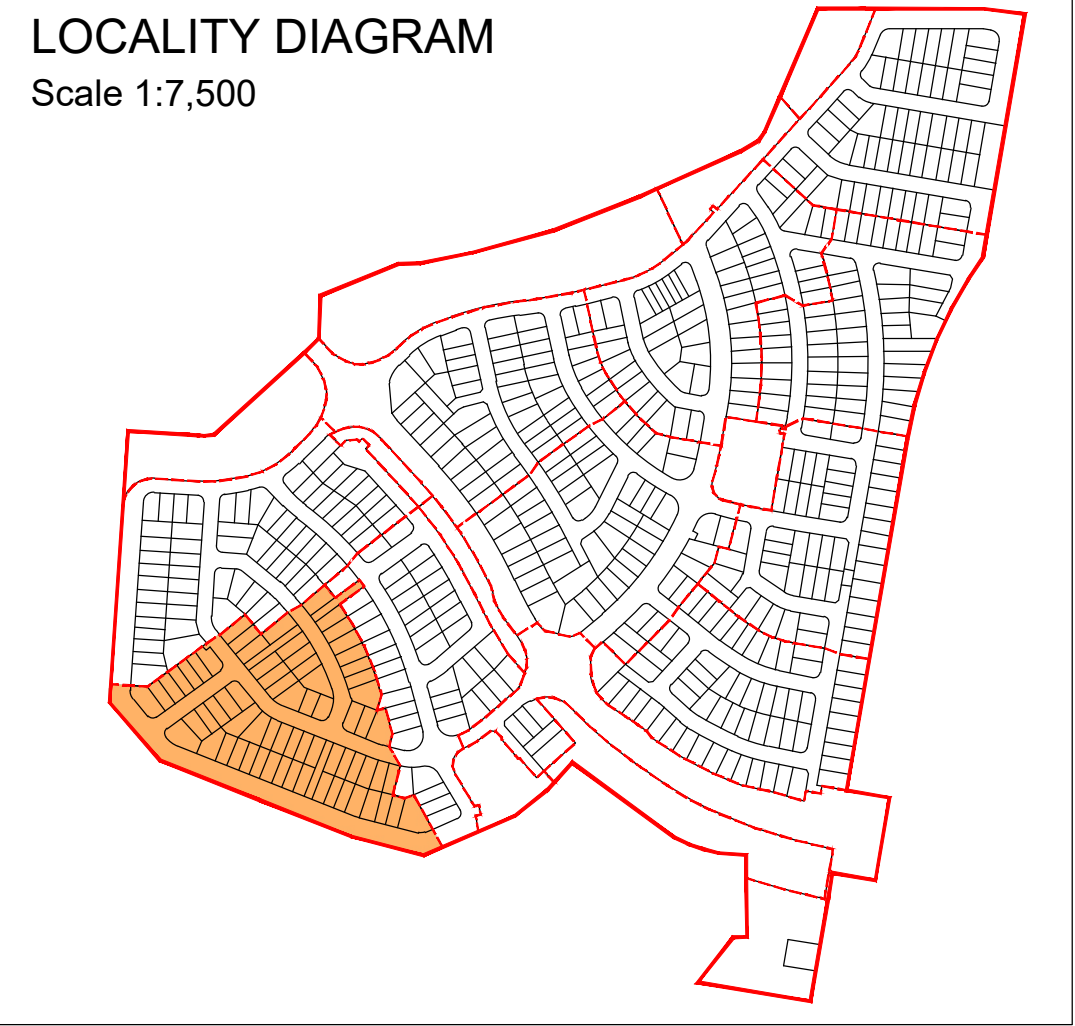
ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 102.02



LEGEND

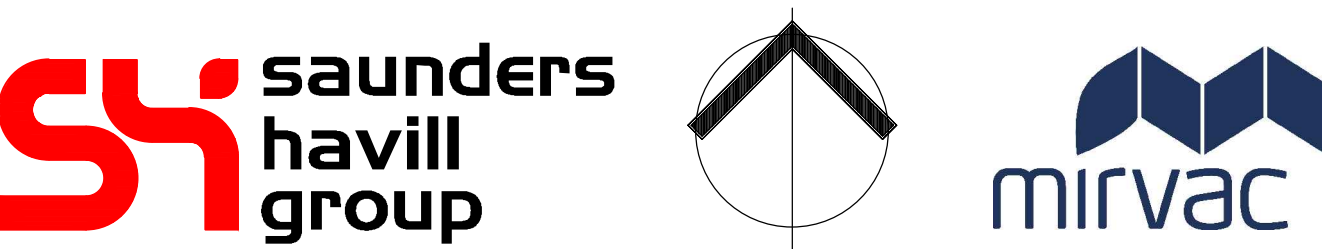
- ROL 4 Boundary
- Sub-precinct Boundary
- Proposed Easement
- Neighbourhood Recreation Park
- Indicative Bin Pad location
- Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
25m Deep Lots					
Villa	V25	11.2m	1	1.5%	0.059 ha
Courtyard	C25	14m	2	2.9%	0.089 ha
Premium Courtyard	PC25	16m	1	1.5%	0.039 ha
Sub Total			4	5.9%	0.187 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Premium Villa	PV28	12.5m	1	1.5%	0.037 ha
Courtyard	C28	14m	1	1.5%	0.063 ha
Sub Total			2	2.9%	0.100 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	19	27.9%	0.644 ha
Premium Villa	PV30	12.5m	23	33.8%	0.913 ha
Courtyard	C30	14m	9	13.2%	0.410 ha
Premium Courtyard	PC30	16m	2	2.9%	0.131 ha
Sub Total			53	77.9%	2.098 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Villa	V32	11.2m	1	1.5%	0.042 ha
Premium Villa	PV32	12.5m	6	8.8%	0.262 ha
Courtyard	C32	14m	1	1.5%	0.051 ha
Premium Courtyard	PC32	16m	1	1.5%	0.078 ha
Sub Total			9	13.2%	0.433 ha
Total Allotments			68	100%	2.818 ha
Land Budget			Area (Ha)	%	
Area of Subject Site / Stage			4.405 ha	—	
Net Residential Allotments			2.818 ha	64.0%	
Linear Park / Pedestrian Linkage			0.149 ha	3.4%	
Local Road Areas			1.438 ha	32.6%	
Total Area			4.405 ha	100%	



PROJECTION - GDA2020 MGA56
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DATED 13/03/2025

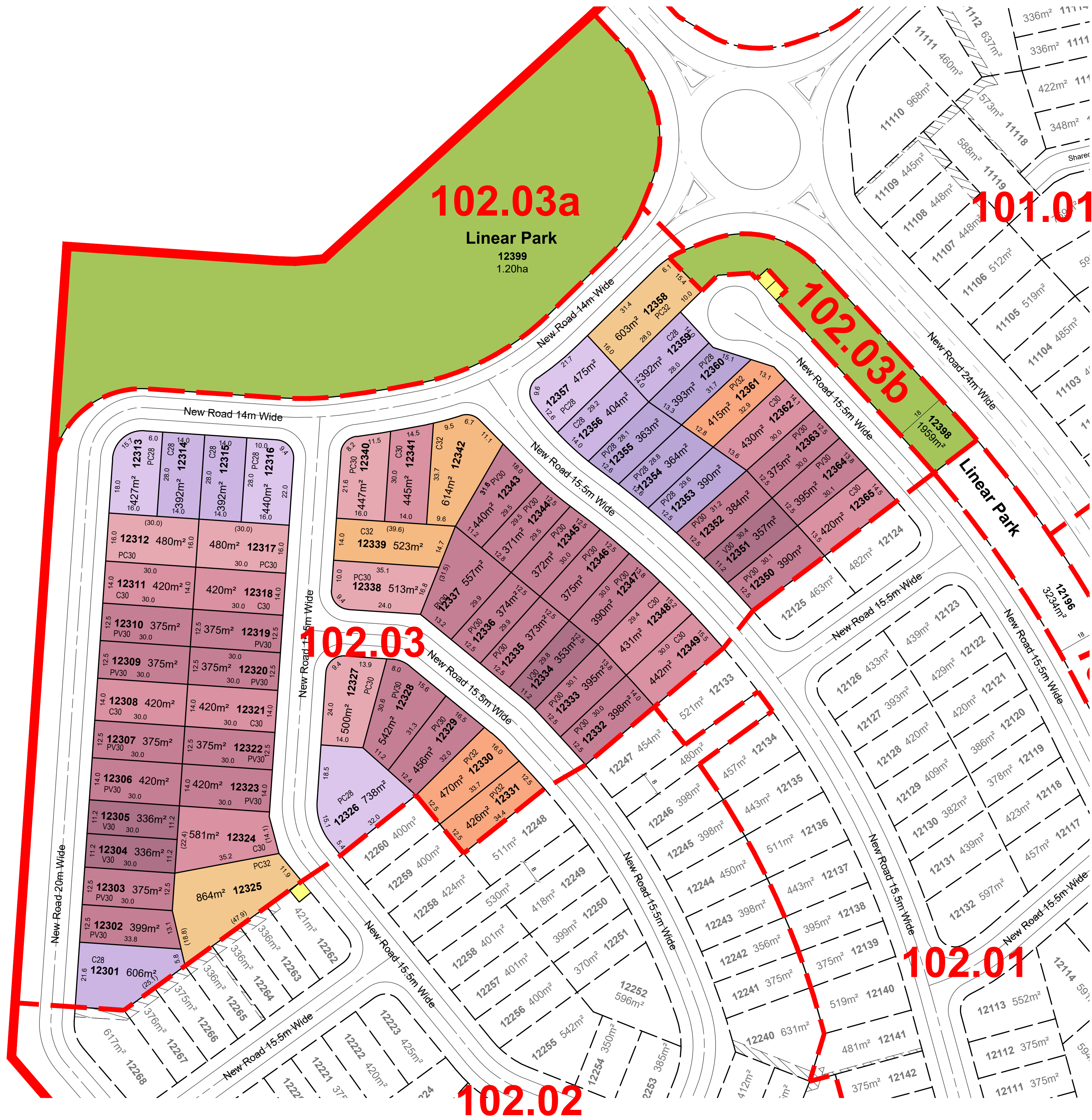
BULK EARTHWORKS INFORMATION PROVIDED BY COLLIERIES
DRAWING REFERENCE "24-0750_X_BASE_DESIGN"
DATED 20/03/2025



RP DESCRIPTION: Lots 1-3 on SP351245

SCALE @A1 1:750 @A3 1:1500 - LENGTHS ARE IN METRES

ROL 4: RECONFIGURATION OF A LOT PLAN - SUB-PRECINCT 102.03



LEGEND

ROL 4 Boundary

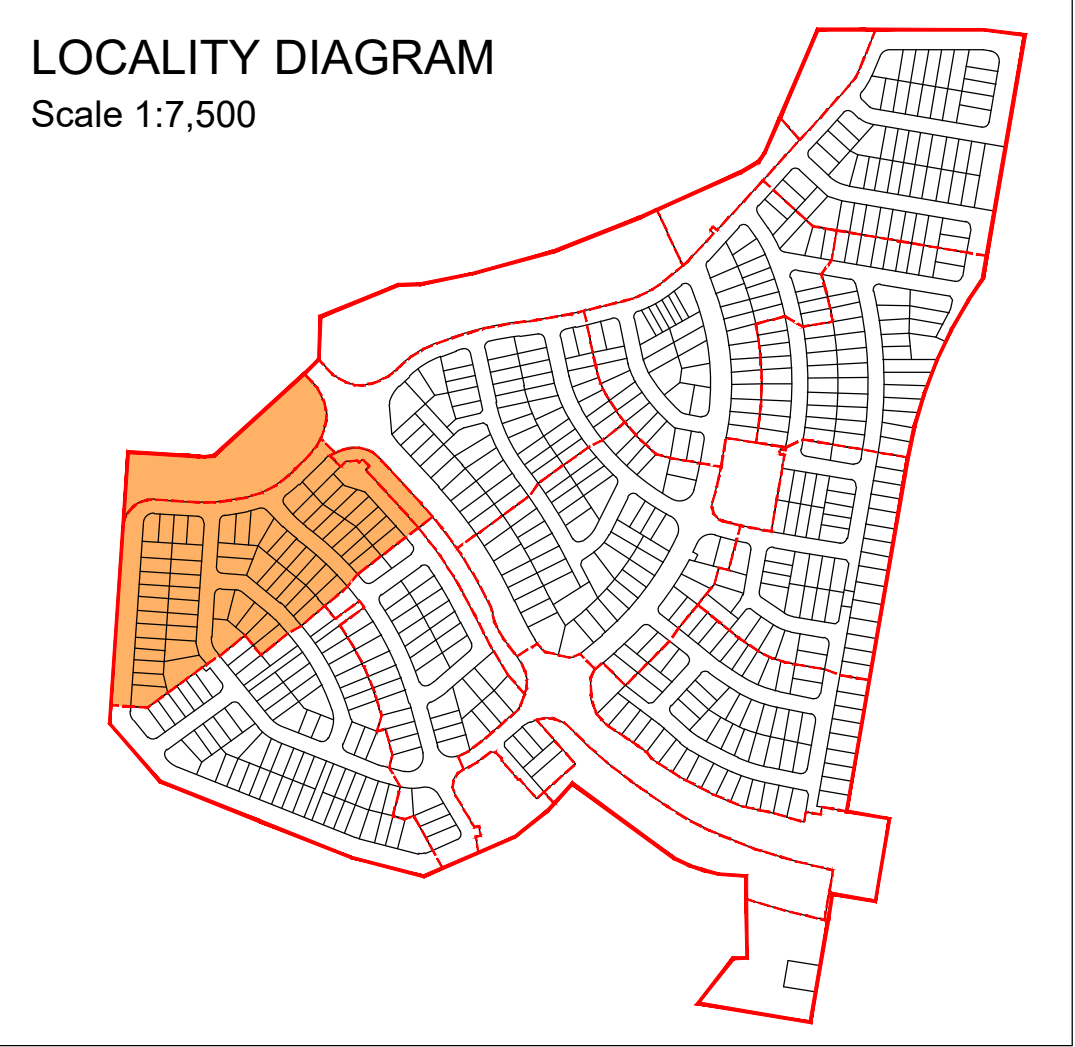
Sub-precinct Boundary

Proposed Easement

Indicative Bin Pad location

Indicative PMT / RMU Site

DEVELOPMENT STATISTICS					
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
28m Deep Lots					
Premium Villa	PV28	12.5m	4	6.2%	0.151 ha
Courtyard	C28	14m	5	7.7%	0.219 ha
Premium Courtyard	PC28	16m	4	6.2%	0.208 ha
Sub Total			13	20.0%	0.578 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
30m Deep Lots					
Villa	V30	11.2m	4	6.2%	0.138 ha
Premium Villa	PV30	12.5m	26	40.0%	1.045 ha
Courtyard	C30	14m	10	15.4%	0.443 ha
Premium Courtyard	PC30	16m	5	7.7%	0.242 ha
Sub Total			45	69.2%	1.868 ha
RESIDENTIAL ALLOTMENTS		Typical Width	No. Lots	%	Net Area
32m Deep Lots					
Premium Villa	PV32	12.5m	3	4.6%	0.131 ha
Courtyard	C32	14m	2	3.1%	0.113 ha
Premium Courtyard	PC32	16m	2	3.1%	0.147 ha
Sub Total			7	10.8%	0.391 ha
Total Allotments			65	100%	2.837 ha
Land Budget			Area (Ha)	%	
Area of Subject Site / Stage			5.650 ha	—	
Net Residential Allotments			2.837 ha	50.2%	
Linear Park / Pedestrian Linkage			1.399 ha	24.8%	
Local Road Areas			1.414 ha	25.0%	
Total Area			5.650 ha	100%	



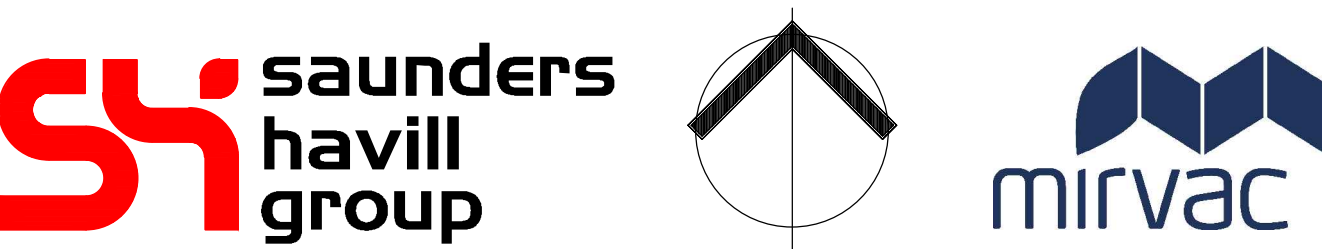
RP DESCRIPTION: Lots 1-3 on SP351245

SCALE @A1 1:750 @A3 1:1500 - LENGTHS ARE IN METRES

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PROJECTION - GDA2020 MGA56
SUBJECT BOUNDARIES SP351245 PROVIDED BY VERIS
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DATED 13/03/2025

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DATED 20/03/2025



ROL 4: PLAN OF DEVELOPMENT - DESIGN CRITERIA

NOTES

Planning Context

- In accordance with the provisions of the Greater Flagstone Urban Development Area Development Scheme (Development Scheme), building work and operational work are exempt development where in accordance with, or associated with, this Plan of Development (PoD).
- All relevant provisions of this PoD must be satisfied prior to the issuance of a Building Approval.
- The provisions of the Development Scheme will apply where development does not comply with all provisions of the Plan of Development.
- The Development Scheme definitions prevail over all other planning instruments to the extent of any inconsistency.

General

1. All development is to be undertaken in accordance with Development Approval, and Queensland Development Code (QDC), except as varied below.
2. Nominated building location envelopes may be constrained by future easements and/or services.
3. Buildings shall be constructed in accordance with the approved Bushfire Report.
4. Where allotments are so marked on Plan of Development - Envelope Plans, residential buildings must be designed and constructed to comply with the approved Noise Impact Assessment.
5. In the case where stormwater services draining to the road are located within a proposed driveway location, it is the responsibility of the lot owner to relocate or install a new stormwater outlet, refer to standard kerb adaptor drawing for compliance.
6. Driveway locations have been predetermined to ensure there is no clash with any services, street trees or street lights. If a lot owner submits a covenant application and a conflict arises out of its assessment, the Developer will not be responsible to facilitate the relocation the services or the costs associated with it.

Setbacks

7. Setbacks are as the relevant approved Plan of Development Table, unless specified otherwise on this plan.
8. The permitted location of built to boundary walls are indicated on the Plan of Development.
9. Where built to boundary walls are not adopted, side setbacks shall be in accordance with the requirements of the Non-Built to Boundary Setbacks nominated in Plan Of Development Table.
10. All boundary setbacks are measured to the external face of the wall of the structure.
11. The dwelling and associated projections (gutters etc.) must be located wholly within the subject lot, unless encroachment rights are secured by way of easement (or other suitable mechanism).
12. Other than built to boundary walls, the outside face of the fascia, or the roof structure where there is no fascia, or attached sunhoods or the like (not including retractable blinds, fixed screens, rainwater fittings, or ornamental attachments) is permitted to extend 600mm within the prescribed setback, however cannot encroach closer than 450mm from the boundary.
13. The length of the built to boundary walls shall be no more than:
 - 75% of the boundary length for a house on a lot width of 7.5m - 9.5m
 - 50% of the boundary length for a house on a lot width of 11.2m or greater
14. Walls over 8m in length facing either the primary or secondary street without windows or articulation are not permitted.
15. A lot can have only one primary frontage. Primary frontages are nominated as per driveway frontages, unless specified otherwise on the Plan of Development - Envelope Plans;
16. The primary street frontage elevation is to be articulated to reduce the mass of the building by one or more of the following:
 - a. Windows recessed into the façade
 - b. Balconies, porches or verandahs
 - c. Shadow lines created on the building through minor changes in the façade (100mm minimum).
17. Entrance porticoes may be located closer to the property boundary than stated in POD Table, provided that the portico:
 - a. Is located no less than 1.4m from the front property boundary,
 - b. Does not exceed maximum height of 4.5m,
 - c. Does not exceed a depth of 2.5m; and
 - d. The portico remains open and not enclosed.

Corner Lot Setback

18. A corner lot is a lot that adjoins the intersection of two streets (collector, access street or access place). This excludes those lots that abut a shared access driveway, pedestrian link / connection / threshold, landscape buffer &/or open space.
19. Corner lots are interpreted as having a Primary and Secondary frontage and two side boundaries for the purposes of determining building setbacks (ie. No rear boundary setback applies).
20. For corner lots (excluding a corner intersecting with a laneway), no building or structure over 2m high is built within a 6m x 6m truncation at the corner of two road frontages (refer Plan of Development Table).

Building Height

21. The maximum building height is 9.0m.
22. Buildings must have no more than 2 storeys.
23. Maximum height of any structure to the built to boundary wall is 3.5m from finish ground level.

Site Cover

24. Site cover means the portion of the site, expressed as a percentage, that will be covered by a building or structure, measured to its outermost projection, after the development is carried out, other than a building or structure, or part of a building or structure, that is--
 - a. in a landscaped or open space area, including, for example, a gazebo or shade structure; or
 - b. a basement that is completely below ground level and used for car parking; or
 - c. the eaves of a building; or
 - d. a sun shade.

Private Open Space and Amenity

25. Each house / dwelling unit has a clearly defined outdoor living space which:
 - a. Has an area of at least:
 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - b. Is accessible from a living area; and
 - c. Has a ground slope of not more than 1 in 10;

Parking and Driveways

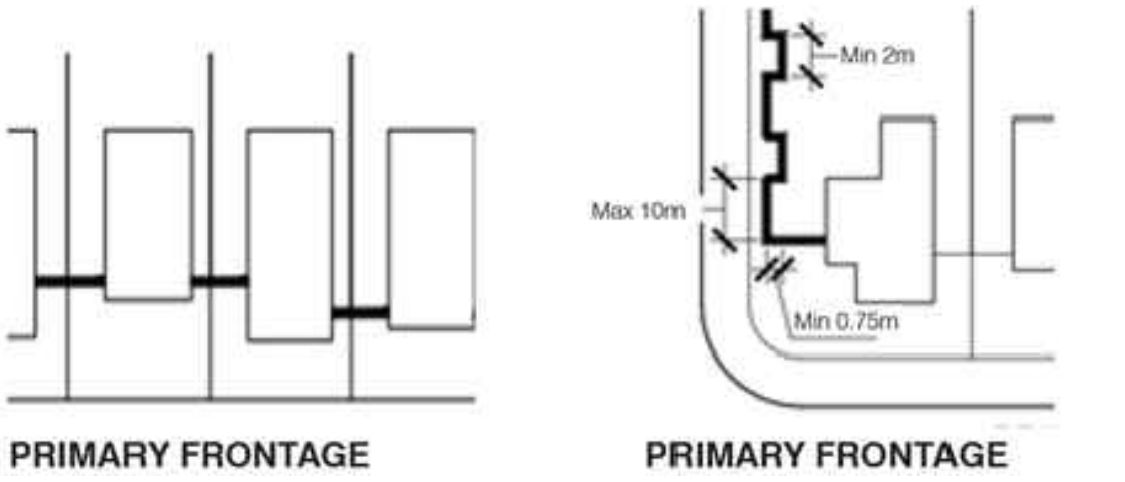
26. A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
27. Garages:
 - a. A single storey dwelling on a lot with a primary frontage equal to or greater than 10m and less than 12.5m must adhere to the following criteria:
 - The front facing building wall, which comprises the garage door, to not exceed an external width of 5.7m
 - The garage door:
 - Width does not exceed 4.8m; and
 - Has a minimum 450mm eave above it; and
 - Garages are to be setback 0.5m behind the main face of the dwelling.
 - Setback a minimum of 240mm behind the pillar of the garage door; and
 - Has a sectional, tilt (if accommodating architectural cladding or elements) or roller door.
 - The front façade of the dwelling is to be forward of the alignment of the garage wall, and include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. ; or
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door. The verandah, portico or porch is to include front piers with distinct materials and/or colours of sufficient mass to compliment the overall facade design.
 - b. A double storey dwelling on a lot with a primary frontage equal to or greater than 10m and less than 12.5m must adhere to the following criteria:
 - The front facing building wall, which comprises the garage door, to not exceed an external width of 5.7m
 - The garage door:
 - Width does not exceed 4.8m; and
 - Garages are to be setback 1.0m behind the main face of the dwelling at the ground floor.
 - Setback a minimum of 240mm behind the pillar of the garage door; and
 - Has a sectional, tilt (if accommodating architectural cladding or elements) or roller door.
 - The front entrance door is to be visible and identifiable from the street.
 - c. A dwelling on a lot with a primary frontage of 12.5m or greater must adhere to the following criteria:
 - Must have a garage door not exceeding 40% of the lot frontage
 - Double garages are to be setback 1.0m behind the main face of the dwelling at the ground floor.
28. The maximum width of a driveway at the lot boundary shall be:
 - a. 4.8m for a dwelling with a double garage with a lot frontage of 12.5m or greater;
 - b. 3.5m for a dwelling with a double garage with a lot frontage equal to or greater than 10m and less than 12.5m; or
 - c. 3.0m for a dwelling with single or tandem garage on any lot frontage.
29. Garages are to be located as nominated on the Plan of Development - Envelope Plans, or in an alternate location subject to confirmation that there is no conflict with proposed/existing services.

30. A maximum of one driveway per dwelling is permitted.
31. The driveway finish must not be plain concrete.
32. Driveways are to be:
 - a. a minimum distance of 6m from an intersection of one street with another street; and
 - b. designed and constructed in accordance with approval / permit requirements of Logan City Council.

Retaining Walls

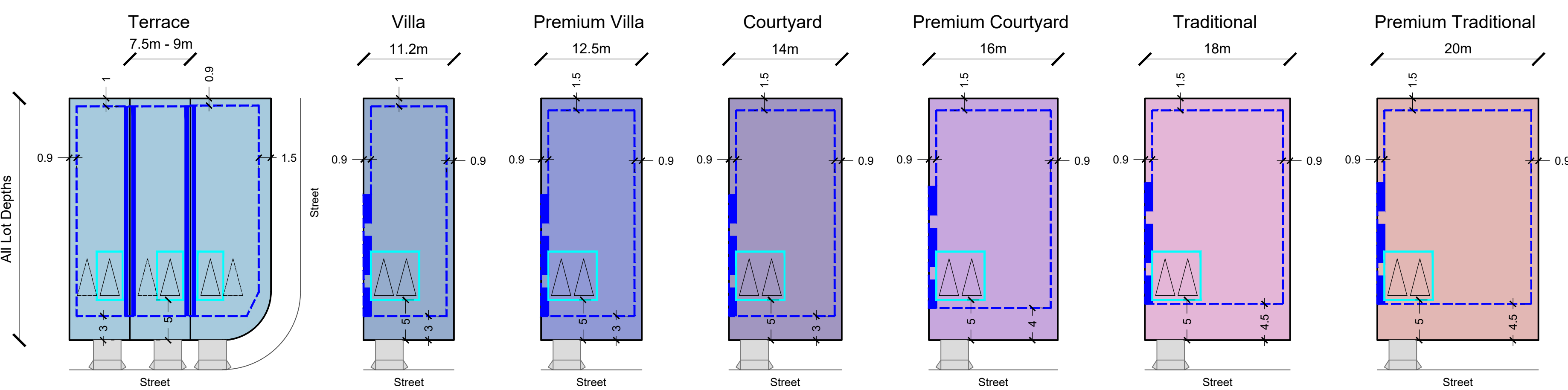
33. Other than walls erected by the developer, retaining walls:
 - a. must be tiered 1m vertical and 1m horizontal where forward of the building line to any street, park or lane and visible from the public realm; and
 - b. cannot exceed 1.5m in height without stepping elements incorporated.
 - c. cannot be constructed out of timber or timber elements
 - d. if visible from the street, concrete sleeper must not be grey concrete colour finish.
 - e. retaining wall must contribute to a coherent and visually pleasing experience with architecture design of home.
34. Where on a lot with a rear retaining wall exceeding 2.0m above ground level (or where identified on the Plan of Development - Envelope Plans), the Rear Setback is as per Table 4.
35. All retaining walls over 1.0m in height must be certified by an RPEQ.

Fencing



36. Primary frontage requirements:
 - a. The maximum fence height is 1.8m;
 - b. Fences are not permitted along road frontages forward of the building; and
 - c. Side boundary fences are to be recessed at least 1m behind the wall addressing the primary road frontage (as per diagram).
37. For rear loaded terrace lots the primary frontage requirement are as follows
 - A maximum fence height of 1.5m;
 - Fences are permitted along the Primary Frontage and the side boundaries forward of the facade facing the Primary Frontage; and
 - Fences must be a least 50% transparent.
 - Fences on the primary frontage must not be constructed using timber
 - Street numbers and letterboxes must be intergrated into the fencing construction
38. Within laneways, 1.8m high fences are permitted to screen private open space, car parking and servicing area. Any fencing area above 1.5m in height to be at least 50% transparent.
39. Secondary frontage requirements:
 - a. Fences to Secondary Frontages (Side) of Corner Lots may extend beyond the face of the secondary facade only on the basis the fencing visible from the public area is:
 - A maximum fence height of 1.8m;
 - Solid up to a height of 1.5m with any fencing above 1.5m in height being at least 50% transparent or the fence can be at least 25% transparent overall where the transparency is consistent across the full area of the fence (ie. transparent sections cannot be located solely at ground level); and
 - Does not extend for lengths greater than 10m without a landscaped recess 2m in length and 0.75m deep (as per diagram).

TYPICAL LOT DIAGRAM



40. Pedestrian link requirements:
 - a. Fences to pedestrian links:
 - A maximum fence height of 1.8m; and
 - Solid up to a height of 1.5m with any fencing above 1.5m in height being at least 50% transparent or the fence can be at least 25% transparent overall where the transparency is consistent across the full area of the fence (i.e. transparent sections cannot be located solely at ground level).

Letterboxes

41. Letterboxes for the dwelling shall be located on the primary street frontage. Letterboxes are not permitted in laneways.

Structures and Services

42. All ancillary structure (e.g. garden sheds, gazebos, pools, airconditioning units) can be located within setback area, but it is required to be suitably located or screened to minimise detrimental visual impact from public spaces or neighbouring residential allotments, with the exception of solar panels and solar hot water systems which may be located where most efficient.
43. Where an ancillary structure is located within the setback, zone of influence of any walls will need to be considered.
44. It is the lot owner's responsibility to manage surface water and ensuring that no water is directed toward neighbouring properties or structures.
45. Screened drying areas are to be located behind the main face of the dwellings.
46. Rubbish bin areas are to be located behind the main face of the dwellings or stored so as to not be visible from the public realm.
47. All building and structures (including pools) are to be clear of PMT buffer zones in accordance with authority requirements.

Secondary Dwelling

48. A secondary dwelling is only permitted where:
 - a. The lot is 400m² or more;
 - b. The lot frontage is 12.5m or more; and
 - c. It complies with the applicable self assessable provisions in Schedule 3 of the Development Scheme where not inconsistent with the provisions of this PoD.
49. There is to be no more than one secondary dwelling on a lot.
50. Floor area is maximum 45m² GFA (note: GFA excludes the garage and a 4m² size covered entry porch area only)
51. Design and siting of buildings and structures to be in accordance with this Plan of Development. Where not on a corner lot, the dwelling/secondary dwelling must have the design effect of one (1) single residential dwelling from the road/street frontage or within public view.
52. Materials, detailing colours and roof form are consistent with those of the primary house.
53. Outdoor living space is a minimum 9m² with a minimum dimension of 3m and directly accessible from a main living area.
54. Car Parking and Garaging is minimum one space in addition to the primary dwelling requirement - with minimum dimensions of 5m x 3m.
55. Shared minimum driveway with the primary house.
56. If the lot is on a corner the dedicated pedestrian entry and door are visible from and addressing the secondary street.
57. Street Surveillance - on a single street frontage the secondary dwelling entry must be hidden from view from the street so as to give the effect that the home is one (1) single residential dwelling.
58. Any Secondary Dwelling is not permitted its own letterbox and must be shared with the primary dwelling.
59. Any Secondary Dwelling is unable to be separately titled to the primary dwelling.
60. No separate infrastructure servicing to the secondary dwelling is permitted (ie. water, gas, electricity).

PLAN OF DEVELOPMENT TABLE									
ALLOTMENT TYPE		Terrace	Villa	Premium Villa	Courtyard	Premium Courtyard	Traditional	Premium Traditional	
		7.5 - 9.5m	11.2m	12.5m	14m	16m	18m	20m	
FRONT SETBACKS									
Primary Frontage	To Wall (Ground Floor)	3.0m	3.0m	3.0m	3.0m	4.0m	4.5m	4.5m	
	To Wall (First Floor)	3.0m	3.0m	3.0m	3.0m	4.0m	4.5m	4.5m	
	To Garage Door	5.0m	5.0m	5.0m	5.0m	5.0m	5.0m	5.0m	
Secondary Frontage	To Wall (Ground Floor)	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	
	To Wall (First Floor)	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	
	To Garage Door	N/A	5.0m	5.0m	5.0m	5.0m	5.0m	5.0m	
SIDE / REAR SETBACKS									
From any part of the side or rear boundary of a lot where: - on the low side of a retaining wall; and - the total wall height at that part of the side or rear boundary is greater than 2.0m total height.		To Wall (Ground Floor)	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	
		To Wall (First Floor)	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m	2.5m
Note: Where a retaining wall is less than or equal to 2.0m on any part of the side or rear boundary of a lot, standard setback provisions apply for that part of the side or rear boundary of a lot.		To Wall (Ground Floor)	1.0m	1.0m	1.5m	1.5m	1.5m	1.5m	
		To Wall (First Floor)	1.0m	1.0m	2.0m	2.0m	2.0m	2.0m	2.0m
For all other side / rear boundaries	Rear Setback	To Wall (Ground Floor)	0 - 0.3m	0 – 0.3m	0 – 0.3m	0 – 0.3m	0 – 0.3m	0 – 0.3m	
		To Wall (First Floor)	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m
	Side Setback – Built to Boundary	To Wall (Ground Floor)	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m
		To Wall (First Floor)	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m
Site Cover		75%	65%	65%	60%	60%	60%	60%	
Note: Additional Setbacks may be required to ensure the building envelope does not encroach past the Bushfire Reach of BAL29									

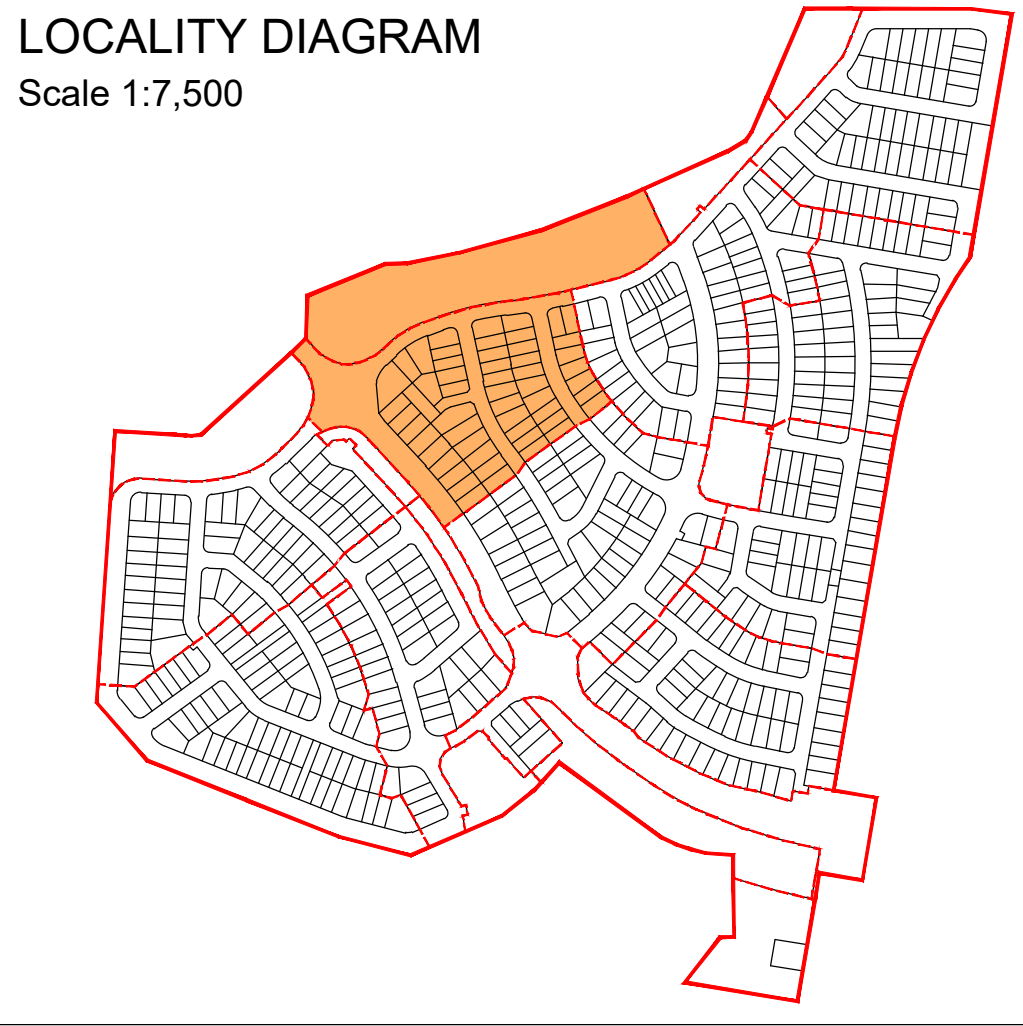
ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 101.01



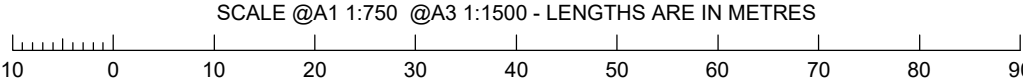
- LEGEND
- ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Easement
 - Linear Park / Pedestrian Linkage
 - Indicative Bin Pad location
 - Indicative PMT / RMU Site
 - Built to Boundary Wall location
 - Indicative Building Envelope
 - Indicative Garage Location
 - Indicative Driveway Location
 - Lots which require increased setbacks
 - Buildings which require acoustic design to upper floors only
 - Buildings which require acoustic design to ground and upper floors
 - Extent of bushfire Radiant Heat Flux 12.5kW/m2
 - Extent of bushfire Radiant Heat Flux 19kW/m2
 - Extent of bushfire Radiant Heat Flux 29kW/m2
 - Extent of bushfire Radiant Heat Flux 40kW/m2

- RESIDENTIAL ALLOTMENTS
- Terrace (7.5m - 9m typical width)
 - Villa (11.2m typical width)
 - Premium Villa (12.5m typical width)
 - Courtyard (14m typical width)
 - Premium Courtyard (16m typical width)
 - Traditional (18m typical width)
 - Premium Traditional (20m typical width)

THIS PLAN MUST BE READ IN CONJUNCTION WITH ROL 4: PLAN OF DEVELOPMENT - DESIGN CRITERIA (11731 P 27 Rev I - POD 01)

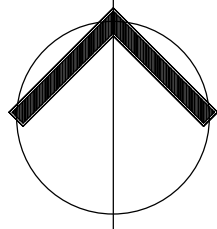


RP DESCRIPTION: Lots 1-3 on SP351245

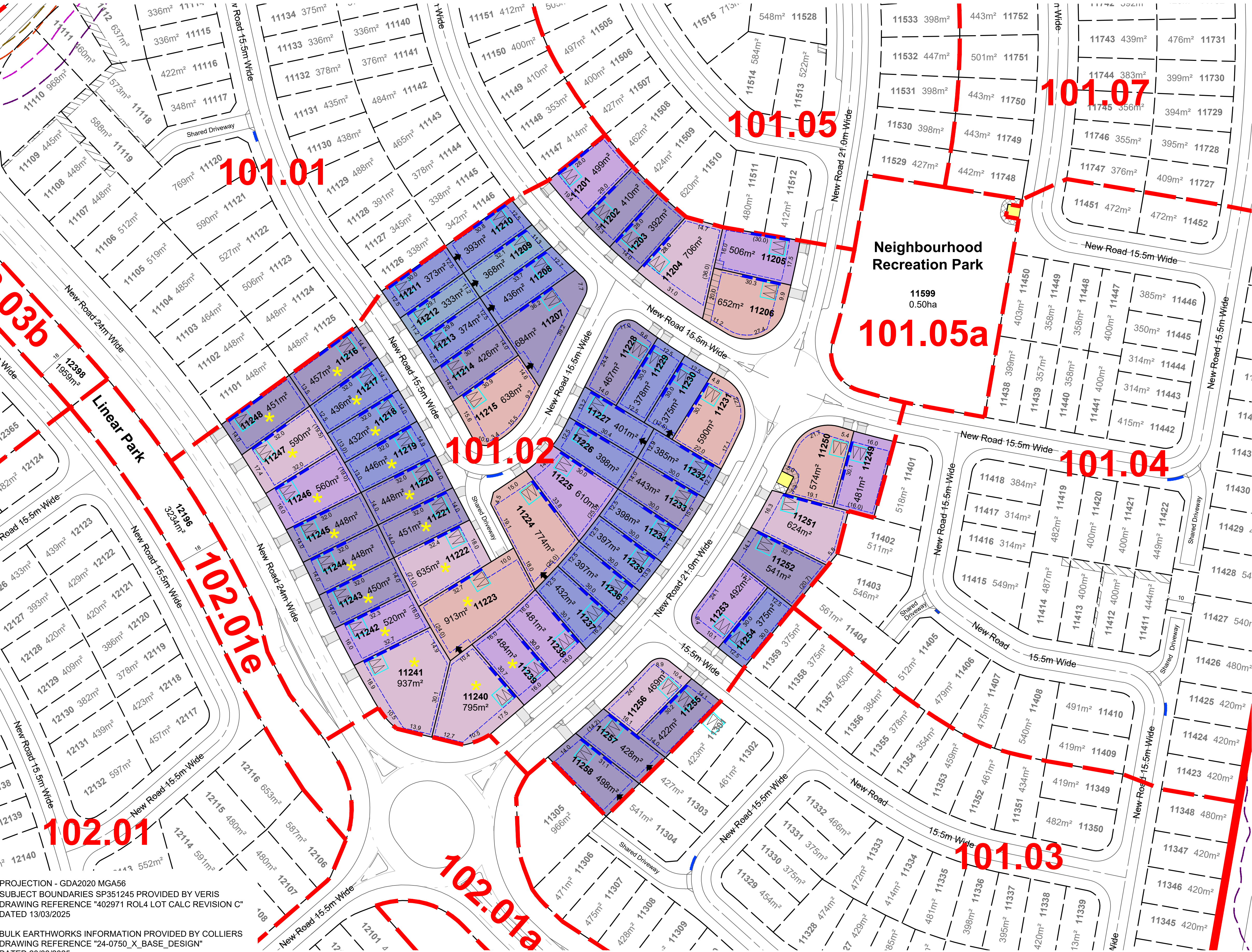


PROJECTION - GDA2020 MGA56
SUBJECT BOUNDARIES SP351245 PROVIDED BY VERIS
DRAWING REFERENCE "24-0750_X_BASE_DESIGN"
DATED 13/03/2025

BULK EARTHWORKS INFORMATION PROVIDED BY COLLIERIES
DRAWING REFERENCE "24-0750_X_BASE_DESIGN"
DATED 20/03/2025



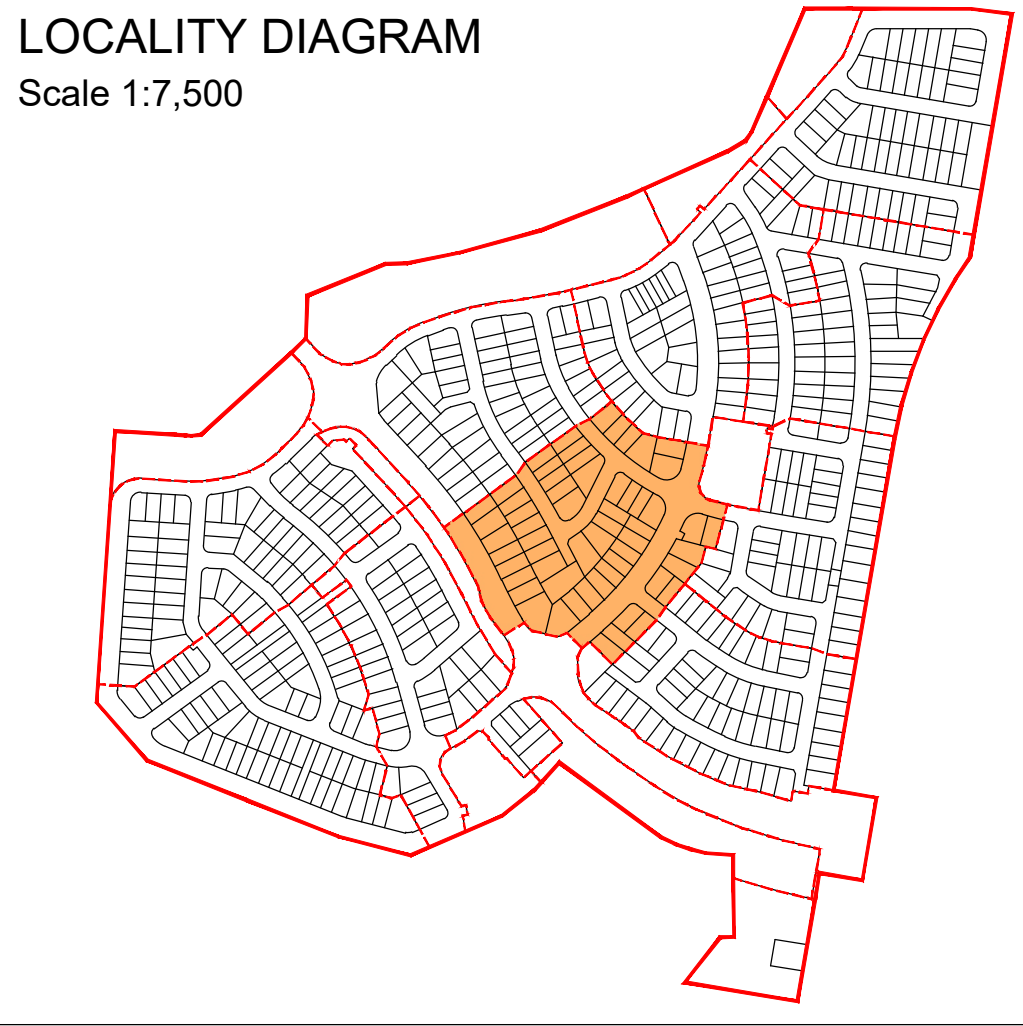
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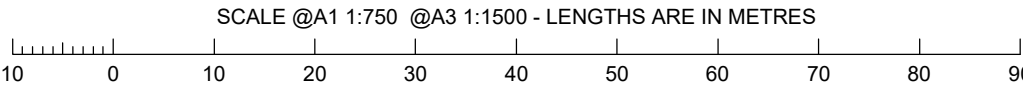
- LEGEND**
- ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Easement
 - Linear Park / Pedestrian Linkage
 - Indicative Bin Pad location
 - Indicative PMT / RMU Site
 - Built to Boundary Wall location
 - Indicative Building Envelope
 - Indicative Garage Location
 - Indicative Driveway Location
 - Lots which require increased setbacks
 - Buildings which require acoustic design to upper floors only
 - Buildings which require acoustic design to ground and upper floors
 - Extent of bushfire Radiant Heat Flux 12.5kW/m2
 - Extent of bushfire Radiant Heat Flux 19kW/m2
 - Extent of bushfire Radiant Heat Flux 29kW/m2
 - Extent of bushfire Radiant Heat Flux 40kW/m2

- RESIDENTIAL ALLOTMENTS**
- Terrace (7.5m - 9m typical width)
 - Villa (11.2m typical width)
 - Premium Villa (12.5m typical width)
 - Courtyard (14m typical width)
 - Premium Courtyard (16m typical width)
 - Traditional (18m typical width)
 - Premium Traditional (20m typical width)

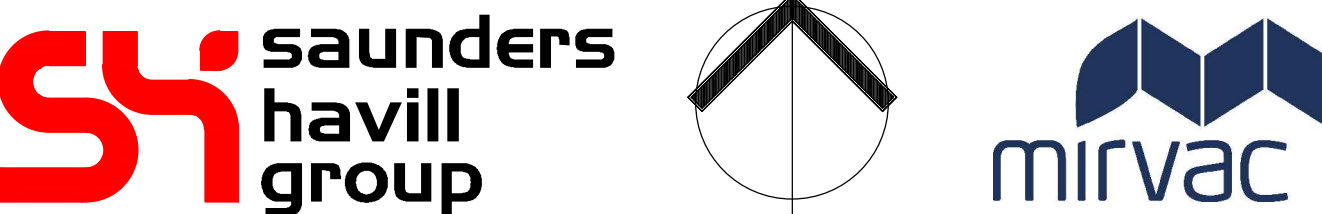
THIS PLAN MUST BE READ IN CONJUNCTION WITH ROL 4: PLAN OF DEVELOPMENT - DESIGN CRITERIA (11731 P 27 Rev I - POD 01)



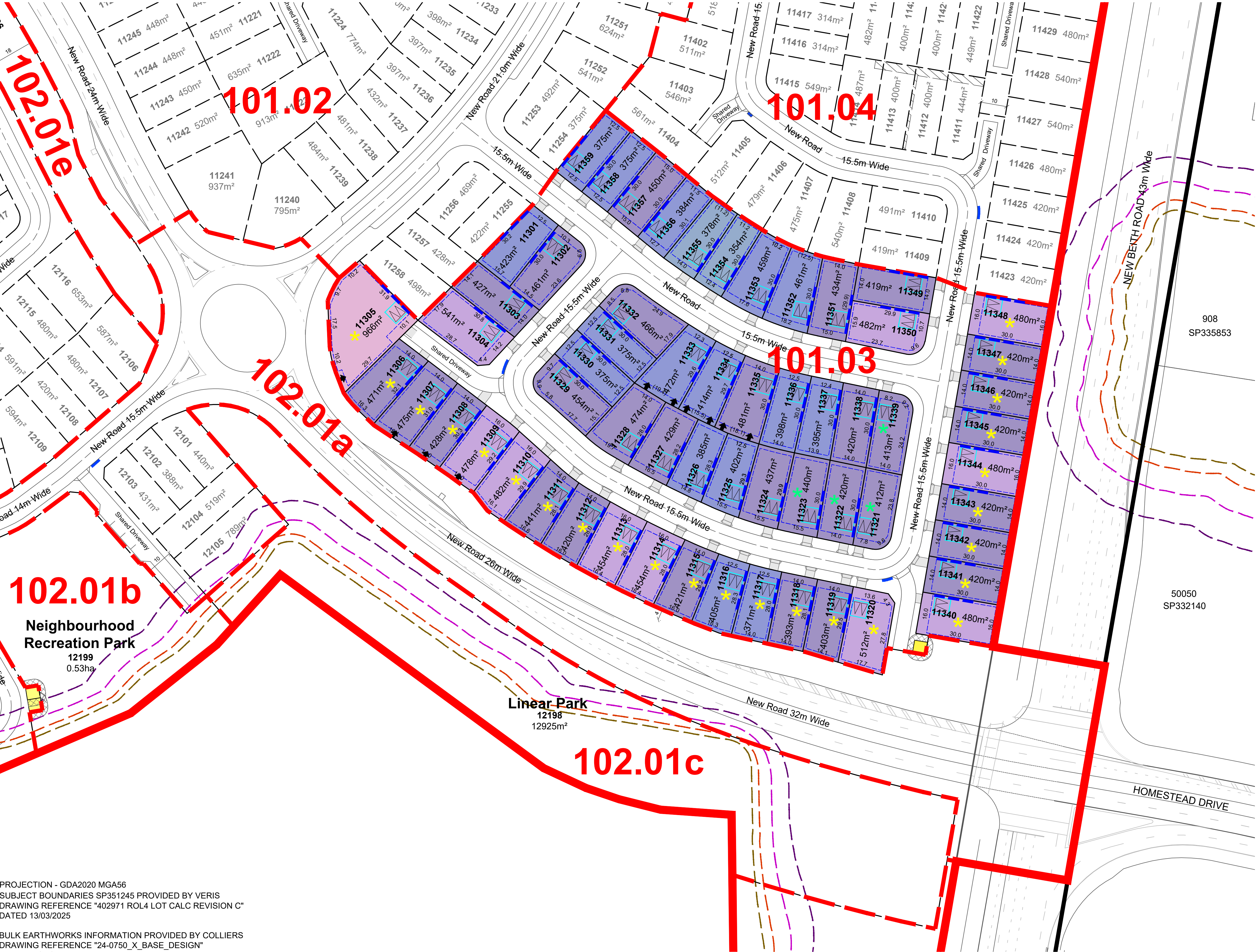
RP DESCRIPTION: Lots 1-3 on SP351245



PROJECTION - GDA2020 MGA56
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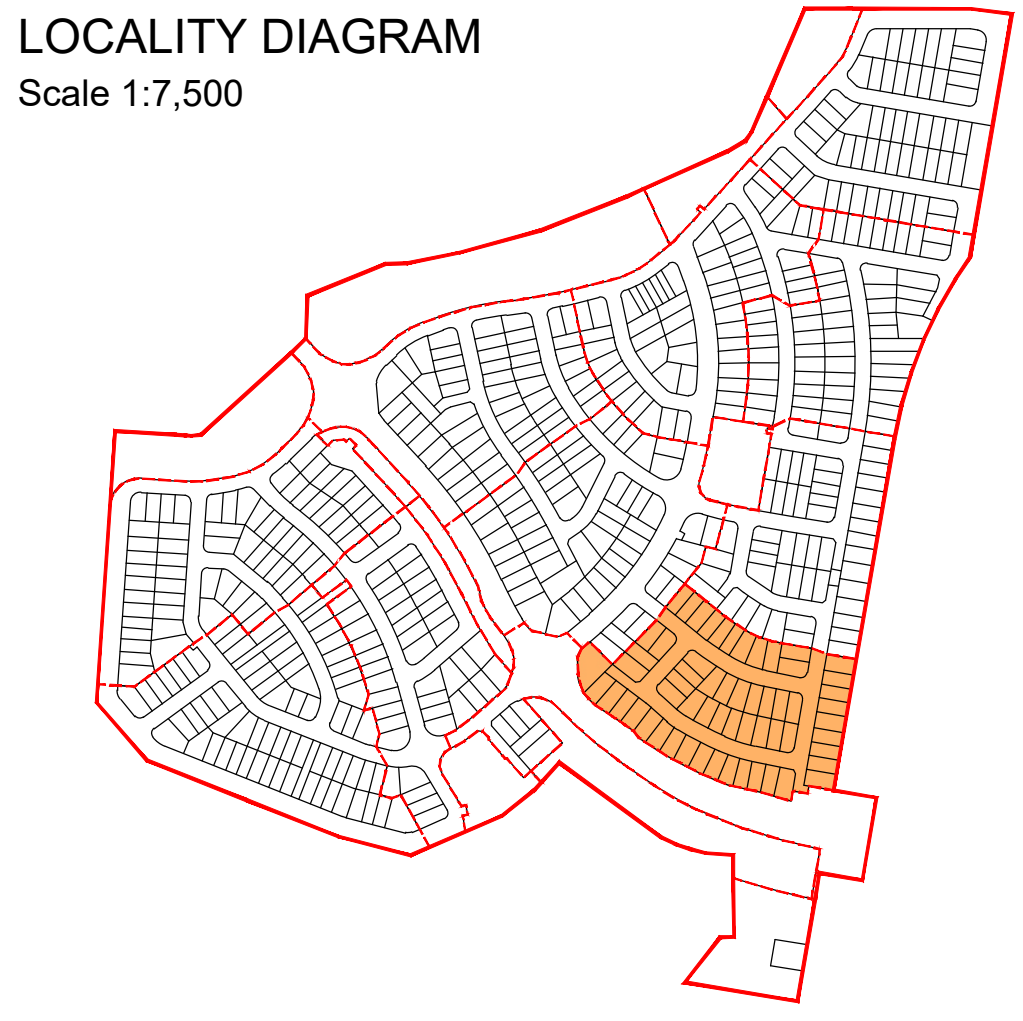
ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 101.03



- LEGEND**
- Site Boundary
 - ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Easement
 - Indicative Bin Pad location
 - Indicative PMT / RMU Site
 - Built to Boundary Wall location
 - Indicative Building Envelope
 - Indicative Garage Location
 - Indicative Driveway Location
 - Lots which require increased setbacks
 - Buildings which require acoustic design to upper floors only
 - Buildings which require acoustic design to ground and upper floors
 - Extent of bushfire Radiant Heat Flux 12.5kW/m2
 - Extent of bushfire Radiant Heat Flux 19kW/m2
 - Extent of bushfire Radiant Heat Flux 29kW/m2
 - Extent of bushfire Radiant Heat Flux 40kW/m2

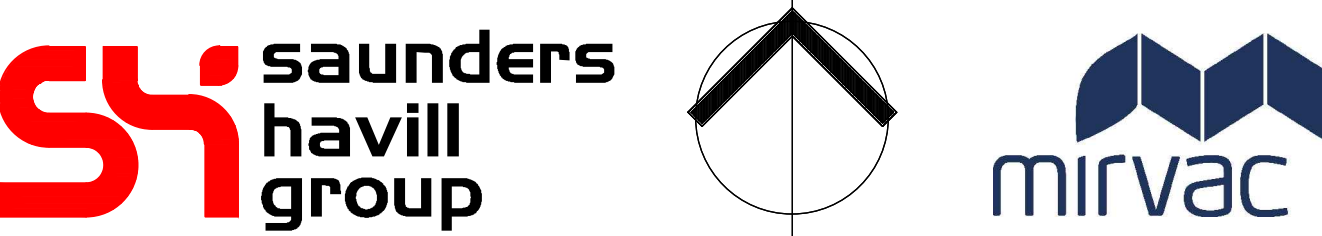
- RESIDENTIAL ALLOTMENTS**
- Terrace (7.5m - 9m typical width)
 - Villa (11.2m typical width)
 - Premium Villa (12.5m typical width)
 - Courtyard (14m typical width)
 - Premium Courtyard (16m typical width)
 - Traditional (18m typical width)
 - Premium Traditional (20m typical width)

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PROJECTION - GDA2020 MGA56
SUBJECT BOUNDARIES SP351245 PROVIDED BY VERIS
DRAWING REFERENCE "402971 ROL4 LOT CALC REVISION C"
DATED 13/03/2025

BULK EARTHWORKS INFORMATION PROVIDED BY COLLIERIES
DRAWING REFERENCE "24-0750_X_BASE_DESIGN"
DATED 20/03/2025



ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 101.04



LEGEND

	Site Boundary
	ROL 4 Boundary
	Sub-precinct Boundary
	Proposed Easement
	Linear Park / Pedestrian Linkage
	Indicative Bin Pad location
	Indicative PMT / RMU Site
	Built to Boundary Wall location
	Indicative Building Envelope
	Indicative Garage Location
	Indicative Driveway Location
	Lots which require increased setbacks
	Buildings which require acoustic design to upper floors only
	Buildings which require acoustic design to ground and upper floors
	Extent of bushfire Radiant Heat Flux 12.5kW/m2
	Extent of bushfire Radiant Heat Flux 19kW/m2
	Extent of bushfire Radiant Heat Flux 29kW/m2
	Extent of bushfire Radiant Heat Flux 40kW/m2

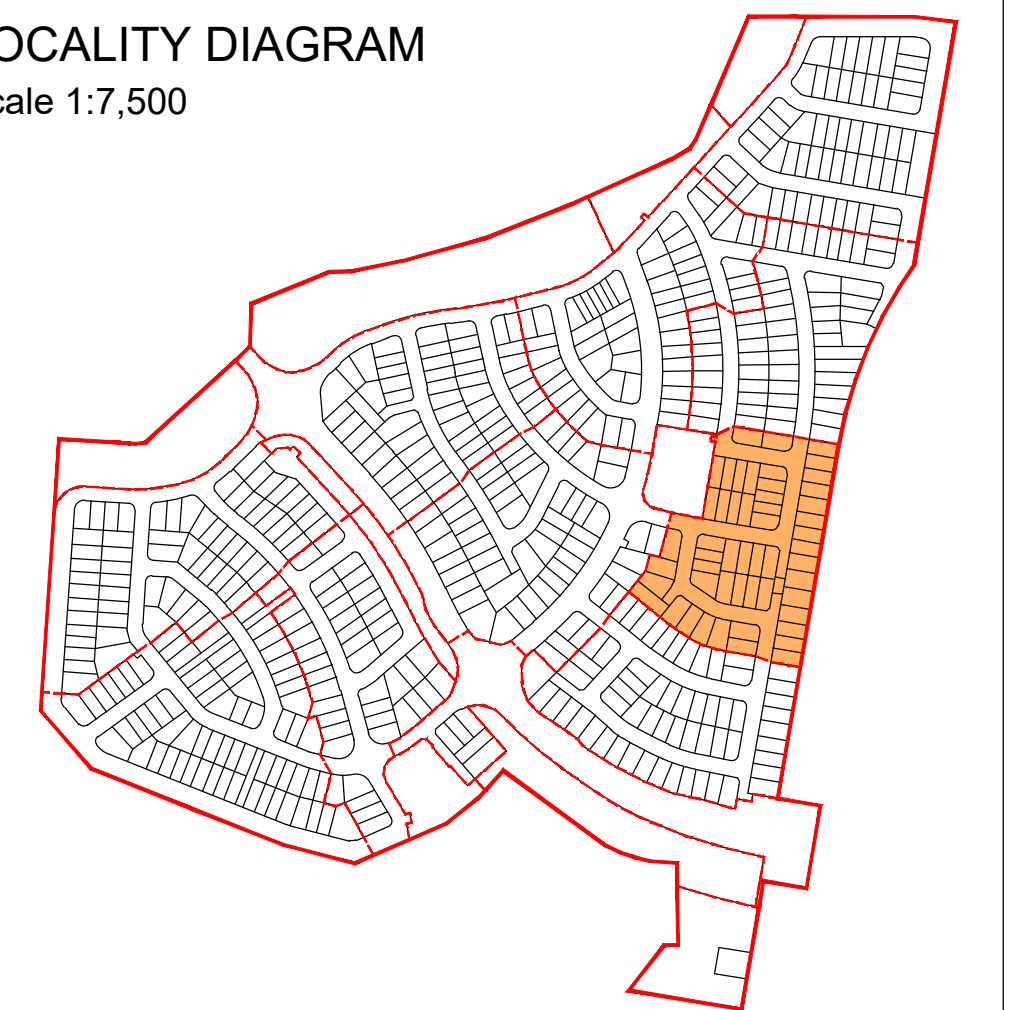
RESIDENTIAL ALLOTMENTS

- | | |
|---|---|
|  | Terrace (7.5m - 9m typical width) |
|  | Villa (11.2m typical width) |
|  | Premium Villa (12.5m typical width) |
|  | Courtyard (14m typical width) |
|  | Premium Courtyard (16m typical width) |
|  | Traditional (18m typical width) |
|  | Premium Traditional (20m typical width) |

THIS PLAN MUST BE READ IN CONJUNCTION
WITH ROL 4: PLAN OF DEVELOPMENT -
DESIGN CRITERIA (11731 P 27 Rev I - POD 01)

LOCALITY DIAGRAM

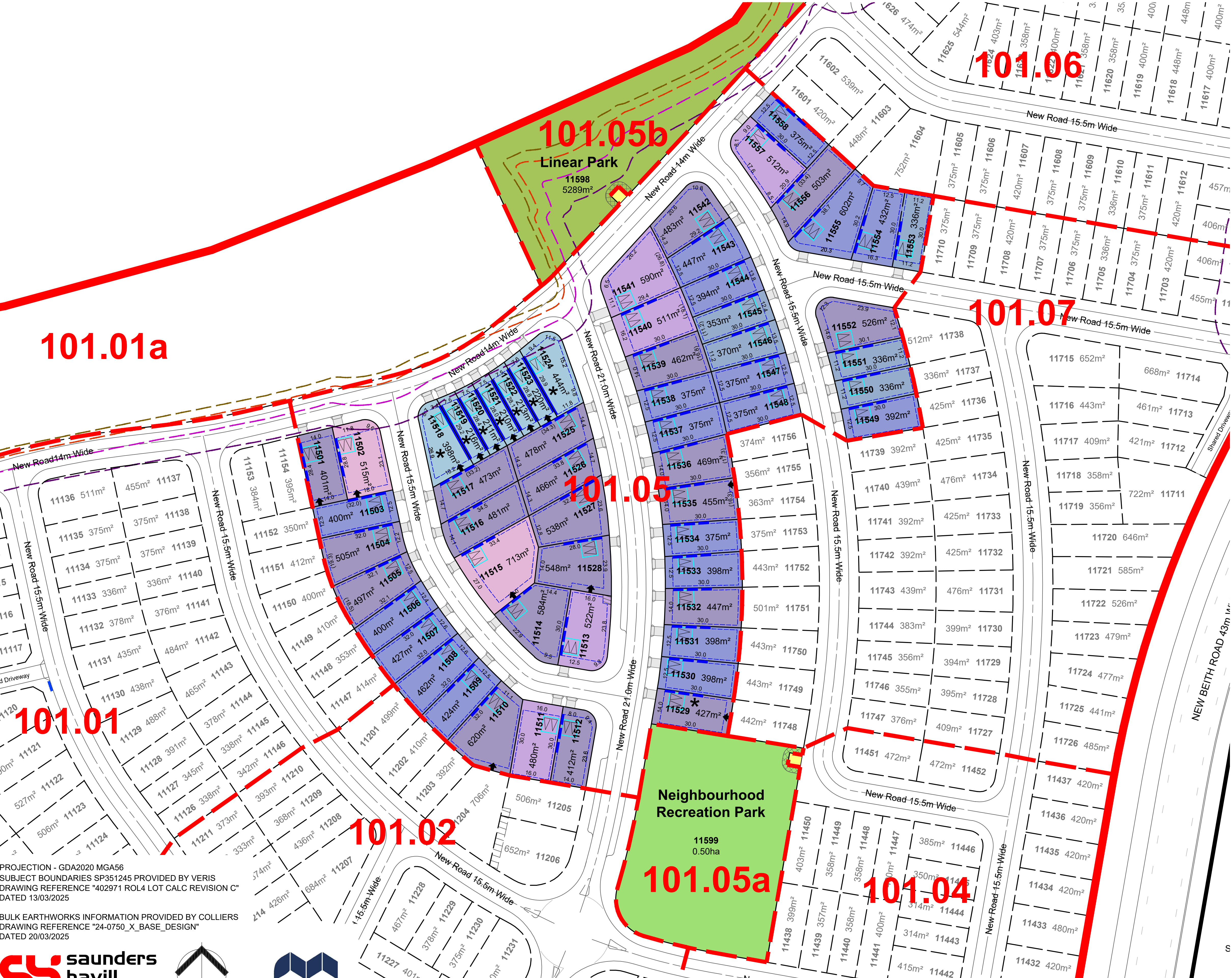
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RP DESCRIPTION: Lots 1-3 on SP351245

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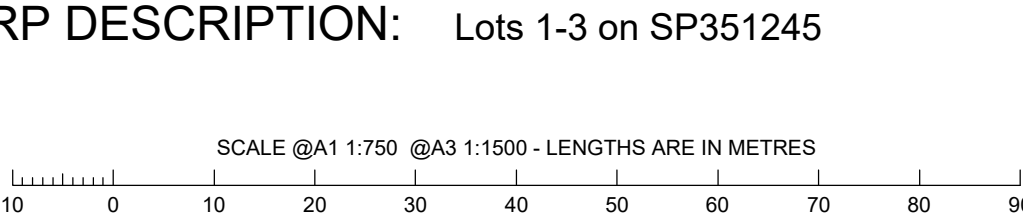
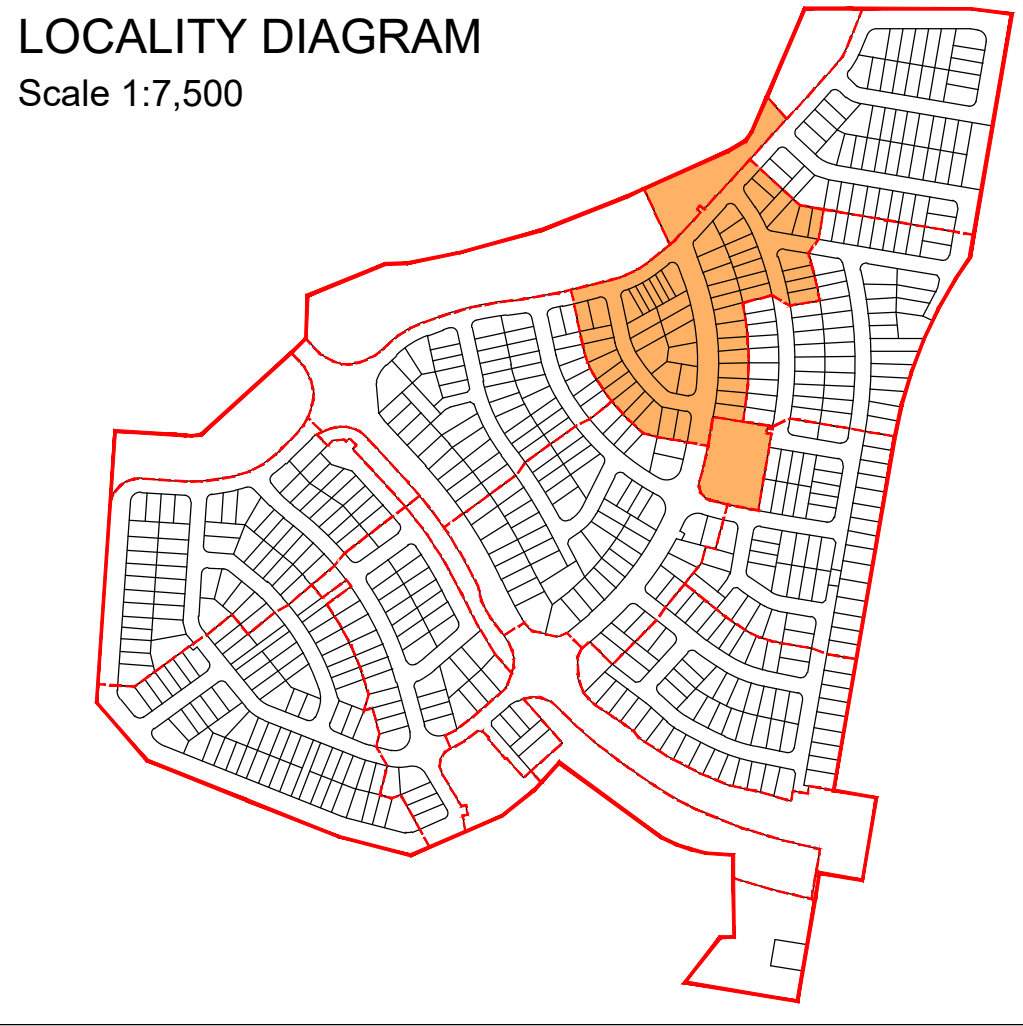
ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 101.05



- LEGEND**
- ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Easement
 - Linear Park / Pedestrian Linkage
 - Neighbourhood Recreation Park
 - Indicative Bin Pad location
 - Indicative PMT / RMU Site
 - Built to Boundary Wall location
 - Indicative Building Envelope
 - Indicative Garage Location
 - Indicative Garage Location (potential additional carpark where meeting specified criteria)
 - Indicative Driveway Location
 - Lots which require increased setbacks
 - Mandatory Two Storey Dwelling Lot
 - Buildings which require acoustic design to upper floors only
 - Buildings which require acoustic design to ground and upper floors
 - Extent of bushfire Radiant Heat Flux 12.5kW/m2
 - Extent of bushfire Radiant Heat Flux 19kW/m2
 - Extent of bushfire Radiant Heat Flux 29kW/m2
 - Extent of bushfire Radiant Heat Flux 40kW/m2

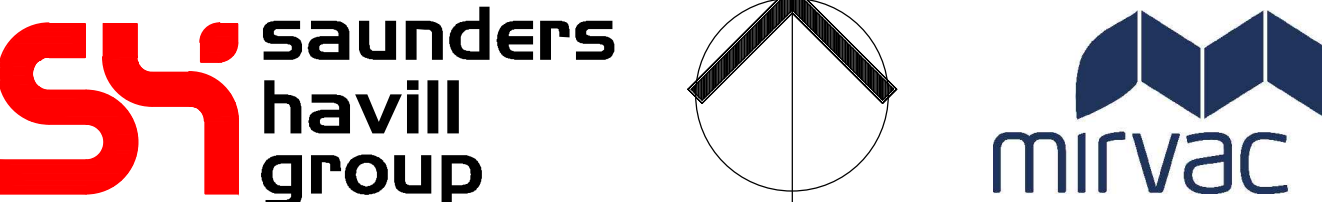
- RESIDENTIAL ALLOTMENTS**
- Terrace (7.5m - 9m typical width)
 - Villa (11.2m typical width)
 - Premium Villa (12.5m typical width)
 - Courtyard (14m typical width)
 - Premium Courtyard (16m typical width)
 - Traditional (18m typical width)
 - Premium Traditional (20m typical width)

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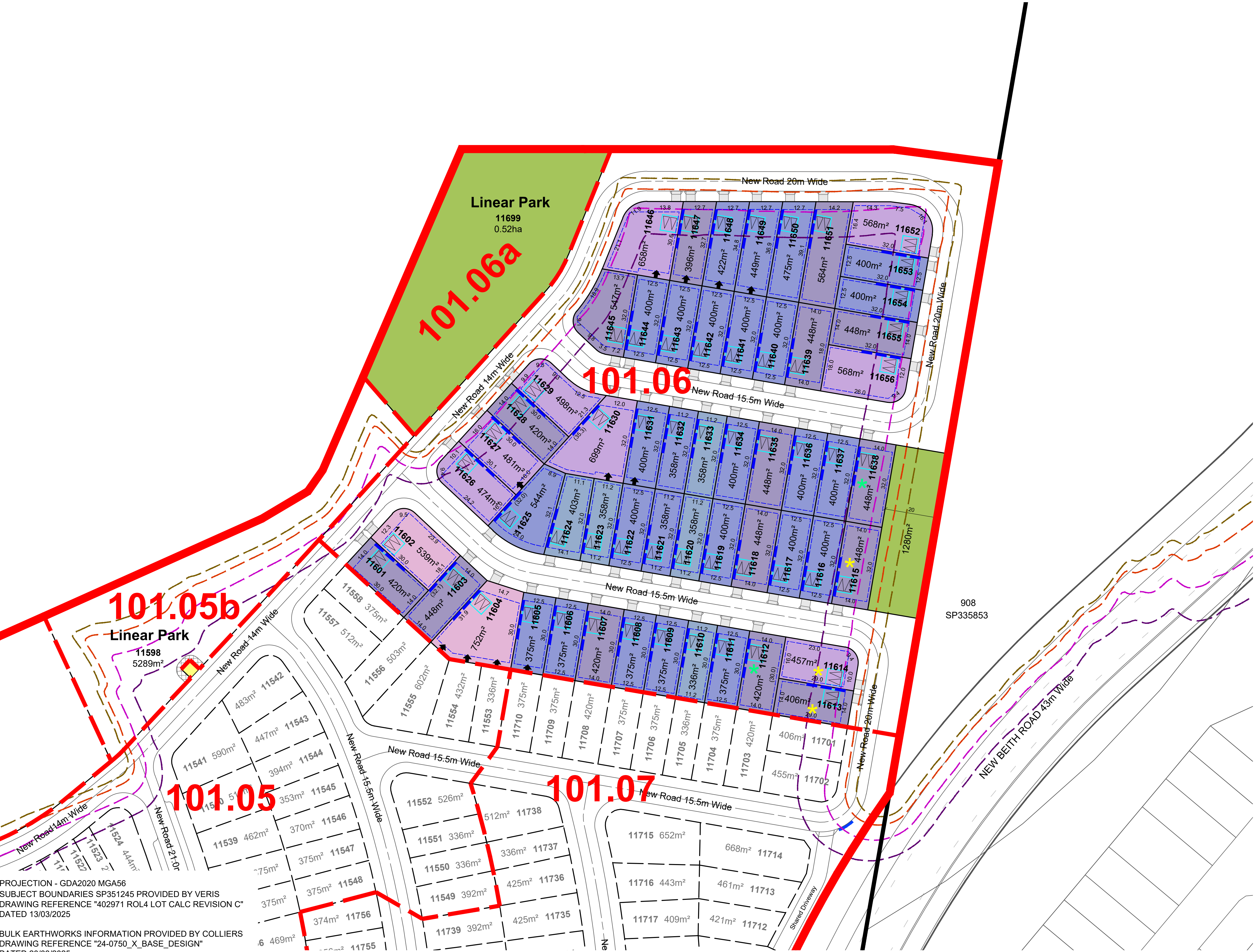


PROJECTION - GDA2020 MGA56
SUBJECT BOUNDARIES SP351245 PROVIDED BY VERIS
DRAWING REFERENCE "402971 ROL4 LOT CALC REVISION C"
DATED 13/03/2025

BULK EARTHWORKS INFORMATION PROVIDED BY COLLIERIES
DRAWING REFERENCE "24-0750_X_BASE_DESIGN"
DATED 20/03/2025



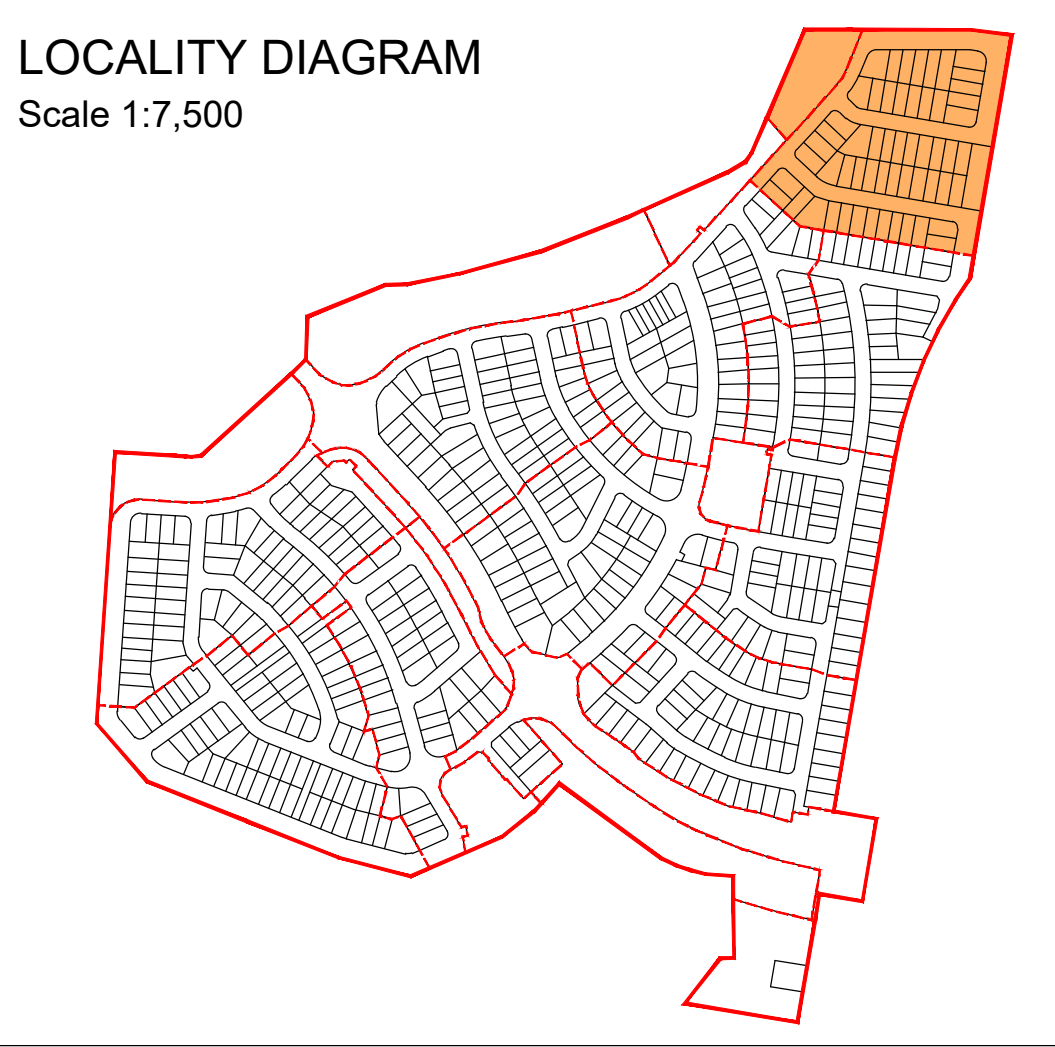
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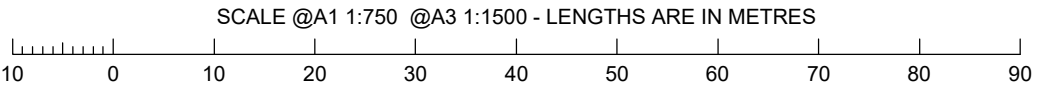
- LEGEND**
- Site Boundary
 - ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Easement
 - Linear Park / Pedestrian Linkage
 - Indicative Bin Pad location
 - Indicative PMT / RMU Site
 - Built to Boundary Wall location
 - Indicative Building Envelope
 - Indicative Garage Location
 - Indicative Driveway Location
 - Lots which require increased setbacks
 - Buildings which require acoustic design to upper floors only
 - Buildings which require acoustic design to ground and upper floors
 - Extent of bushfire Radiant Heat Flux 12.5kW/m2
 - Extent of bushfire Radiant Heat Flux 19kW/m2
 - Extent of bushfire Radiant Heat Flux 29kW/m2
 - Extent of bushfire Radiant Heat Flux 40kW/m2

- RESIDENTIAL ALLOTMENTS**
- Terrace (7.5m - 9m typical width)
 - Villa (11.2m typical width)
 - Premium Villa (12.5m typical width)
 - Courtyard (14m typical width)
 - Premium Courtyard (16m typical width)
 - Traditional (18m typical width)
 - Premium Traditional (20m typical width)

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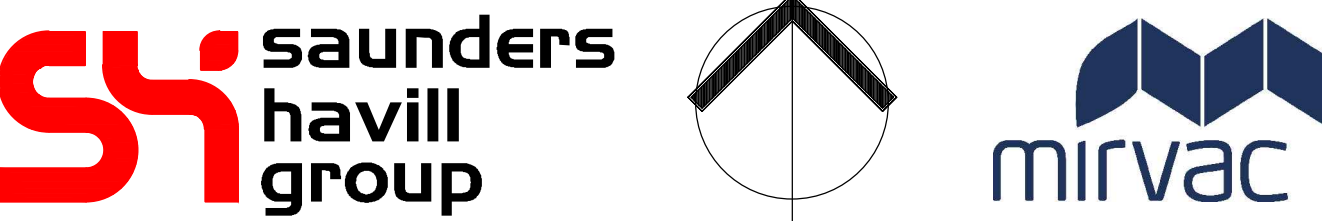


RP DESCRIPTION: Lots 1-3 on SP351245

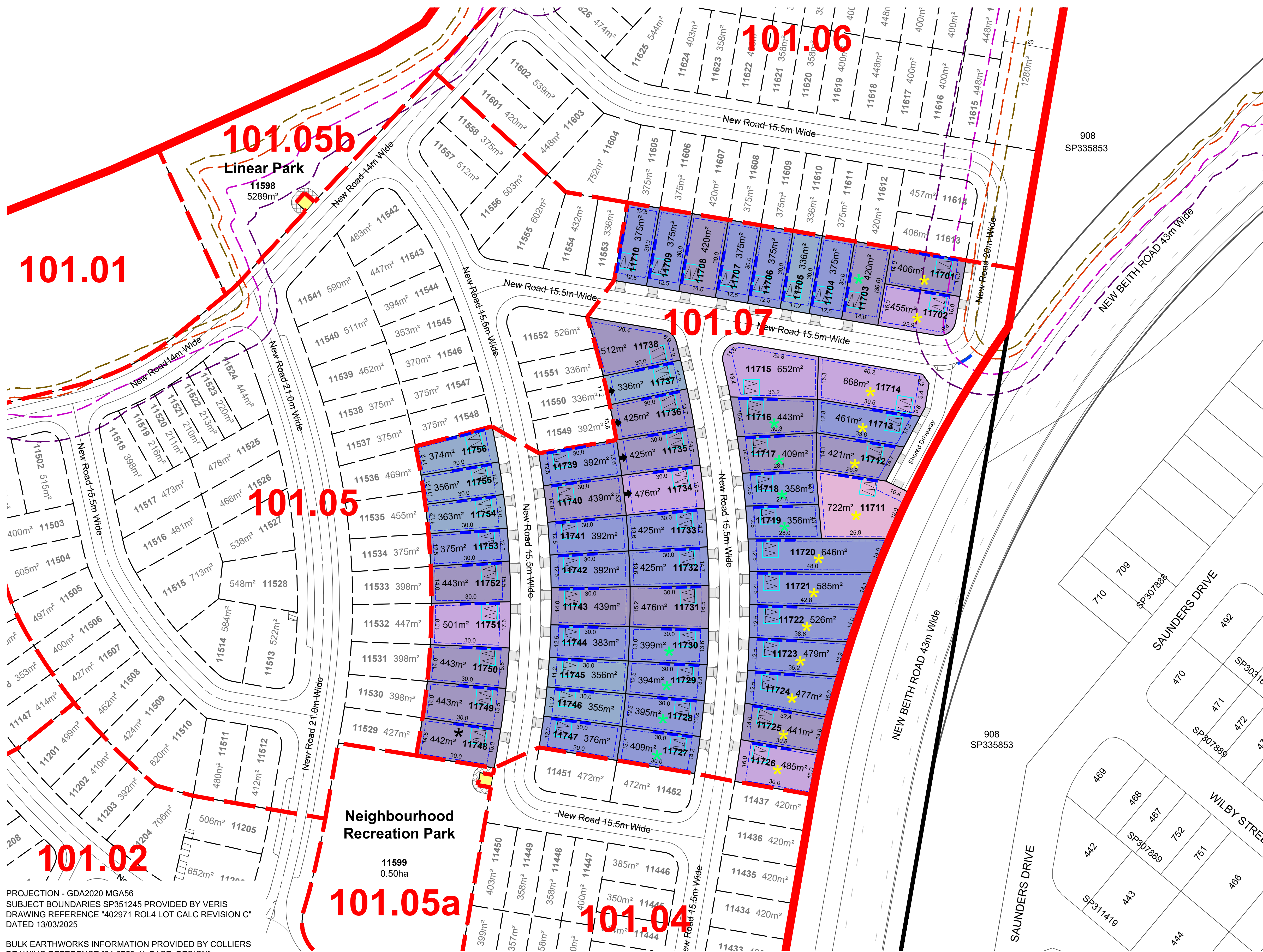


PROJECTION - GDA2020 MGA56
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DATED 13/03/2025

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DATED 20/03/2025



ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 101.07



LEGEND

-  Site Boundary
-  ROL 4 Boundary
-  Sub-precinct Boundary
-  Proposed Easement
-  Indicative Bin Pad location
-  Indicative PMT / RMU Site
-  Built to Boundary Wall location
-  Indicative Building Envelope
-  Indicative Garage Location
-  Indicative Driveway Location
-  Lots which require increased setbacks
-  Mandatory Two Storey Dwelling Lot
-  Buildings which require acoustic design to upper floors only
-  Buildings which require acoustic design to ground and upper floors
-  Extent of bushfire Radiant Heat Flux 12.5kW/m²
-  Extent of bushfire Radiant Heat Flux 19kW/m²
-  Extent of bushfire Radiant Heat Flux 29kW/m²
-  Extent of bushfire Radiant Heat Flux 40kW/m²

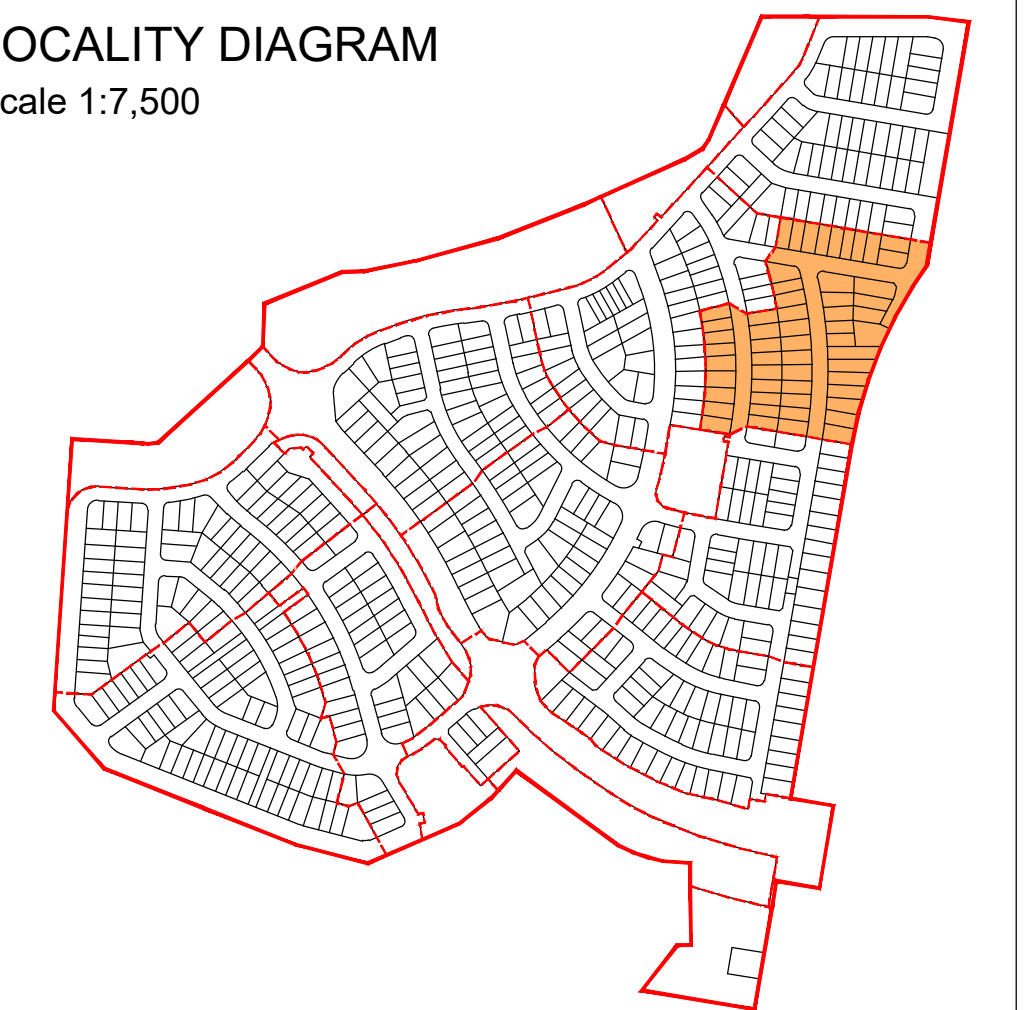
RESIDENTIAL ALLOTMENTS

- | | |
|---|---|
|  | Terrace (7.5m - 9m typical width) |
|  | Villa (11.2m typical width) |
|  | Premium Villa (12.5m typical width) |
|  | Courtyard (14m typical width) |
|  | Premium Courtyard (16m typical width) |
|  | Traditional (18m typical width) |
|  | Premium Traditional (20m typical width) |

THIS PLAN MUST BE READ IN CONJUNCTION
WITH ROL 4: PLAN OF DEVELOPMENT -
DESIGN CRITERIA (11731 P 27 Rev I - POD 01)

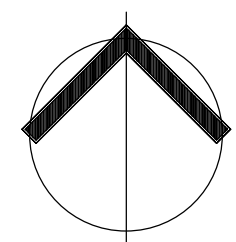
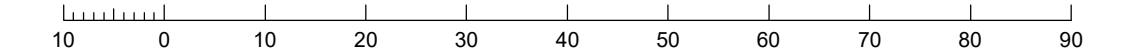
LOCALITY DIAGRAM

Scale 1:7,500



RP DESCRIPTION: Lots 1-3 on SP351245

SCALE @A1 1:750 @A3 1:1500 - LENGTHS ARE IN METRES

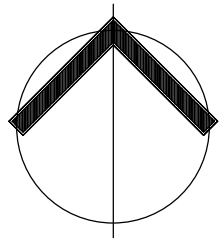


ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 102.01



PROJECTION - GDA2020 MGA56
SUBJECT BOUNDARIES SP351245 PROVIDED BY VERIS
DRAWING REFERENCE "402971 ROL4 LOT CALC REVISION C"
DATED 13/03/2025

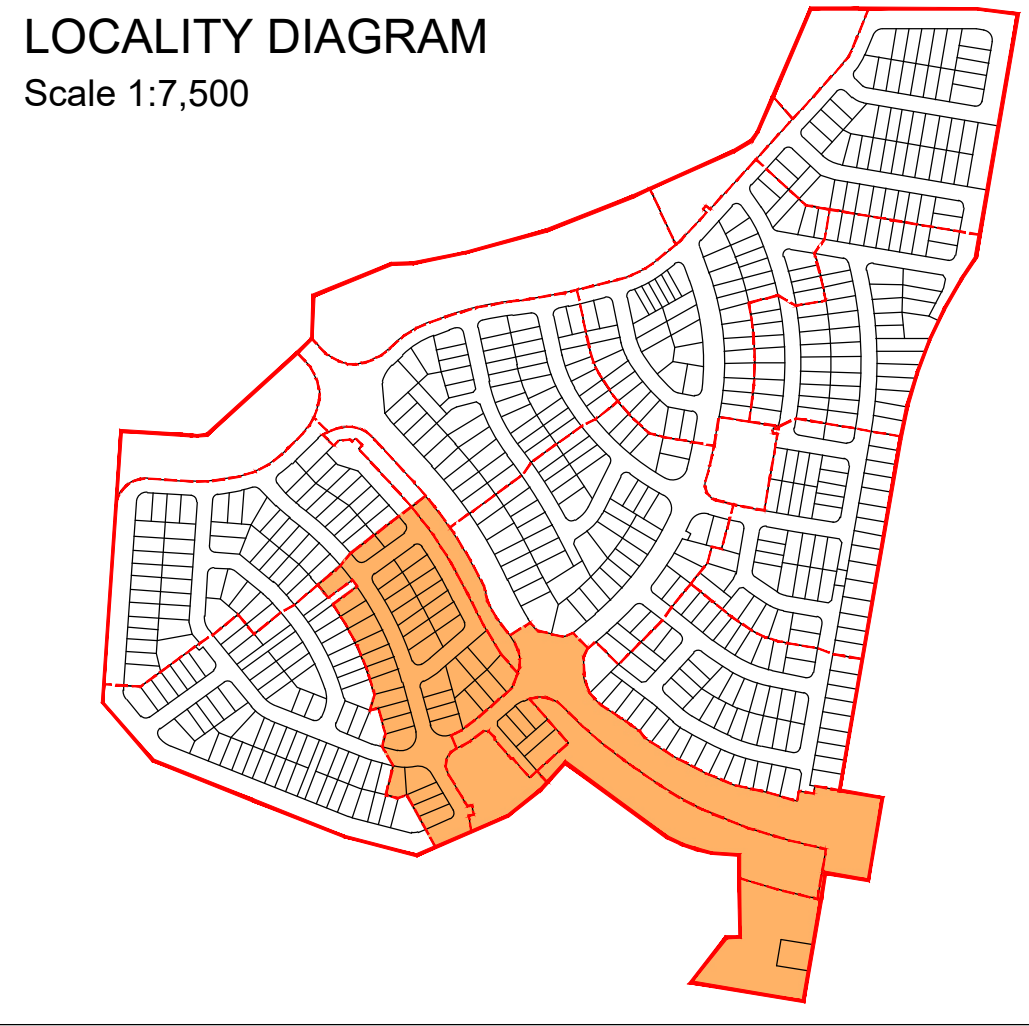
BULK EARTHWORKS INFORMATION PROVIDED BY COLLIERIES
DRAWING REFERENCE "24-0750_X_BASE_DESIGN"
DATED 20/03/2025



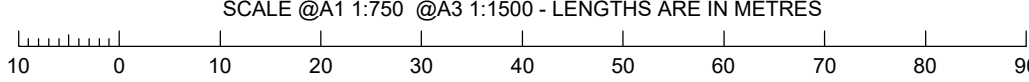
- LEGEND**
- ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Easement
 - Linear Park / Pedestrian Linkage
 - Neighbourhood Recreation Park
 - Indicative Bin Pad location
 - Indicative PMT / RMU Site
 - Built to Boundary Wall location
 - Indicative Building Envelope
 - Indicative Garage Location
 - Indicative Driveway Location
 - Lots which require increased setbacks
 - Buildings which require acoustic design to upper floors only
 - Buildings which require acoustic design to ground and upper floors
 - Extent of bushfire Radiant Heat Flux 12.5kW/m2
 - Extent of bushfire Radiant Heat Flux 19kW/m2
 - Extent of bushfire Radiant Heat Flux 29kW/m2
 - Extent of bushfire Radiant Heat Flux 40kW/m2

- RESIDENTIAL ALLOTMENTS**
- Terrace (7.5m - 9m typical width)
 - Villa (11.2m typical width)
 - Premium Villa (12.5m typical width)
 - Courtyard (14m typical width)
 - Premium Courtyard (16m typical width)
 - Traditional (18m typical width)
 - Premium Traditional (20m typical width)

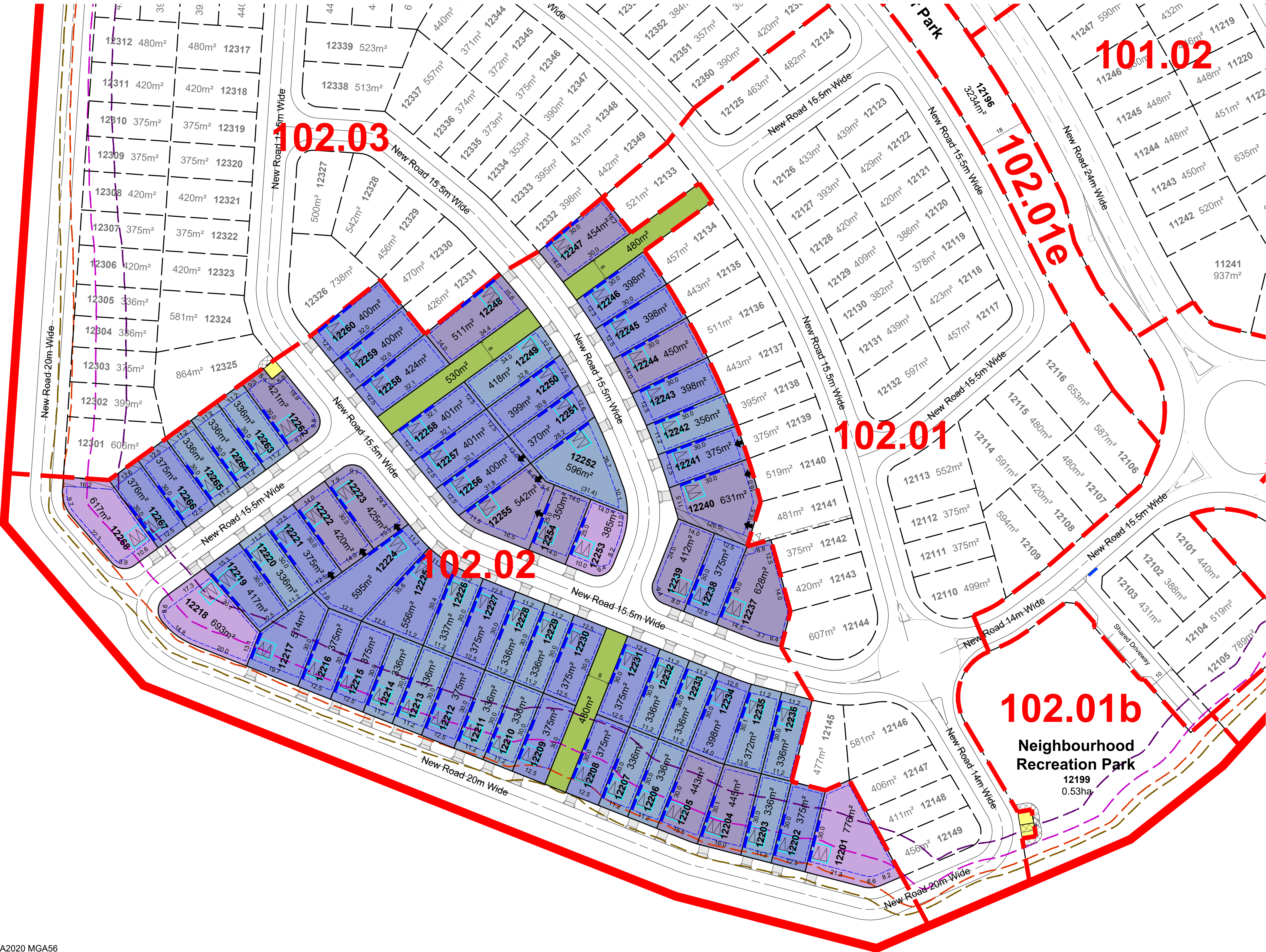
THIS PLAN MUST BE READ IN CONJUNCTION
WITH ROL 4: PLAN OF DEVELOPMENT -
DESIGN CRITERIA (11731 P 27 Rev I - POD 01)



RP DESCRIPTION: Lots 1-3 on SP351245



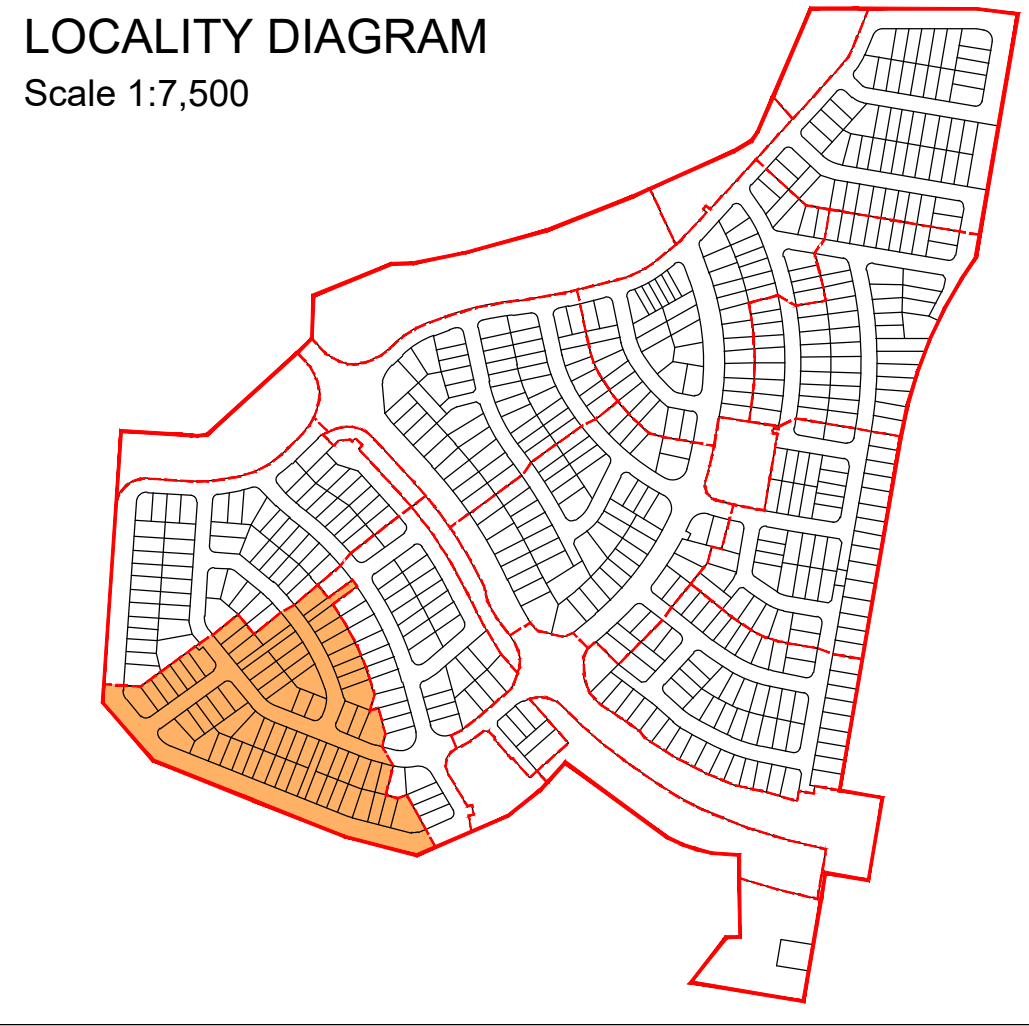
ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 102.02



- LEGEND**
- ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Easement
 - Linear Park / Pedestrian Linkage
 - Indicative Bin Pad location
 - Indicative PMT / RMU Site
 - Built to Boundary Wall location
 - Indicative Building Envelope
 - Indicative Garage Location
 - Indicative Driveway Location
 - Lots which require increased setbacks
 - Extent of bushfire Radiant Heat Flux 12.5kW/m2
 - Extent of bushfire Radiant Heat Flux 19kW/m2
 - Extent of bushfire Radiant Heat Flux 29kW/m2
 - Extent of bushfire Radiant Heat Flux 40kW/m2

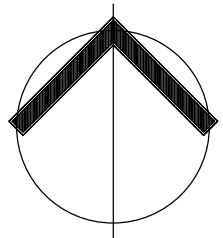
- RESIDENTIAL ALLOTMENTS**
- Terrace (7.5m - 9m typical width)
 - Villa (11.2m typical width)
 - Premium Villa (12.5m typical width)
 - Courtyard (14m typical width)
 - Premium Courtyard (16m typical width)
 - Traditional (18m typical width)
 - Premium Traditional (20m typical width)

THIS PLAN MUST BE READ IN CONJUNCTION WITH ROL 4: PLAN OF DEVELOPMENT - DESIGN CRITERIA (11731 P 27 Rev I - POD 01)

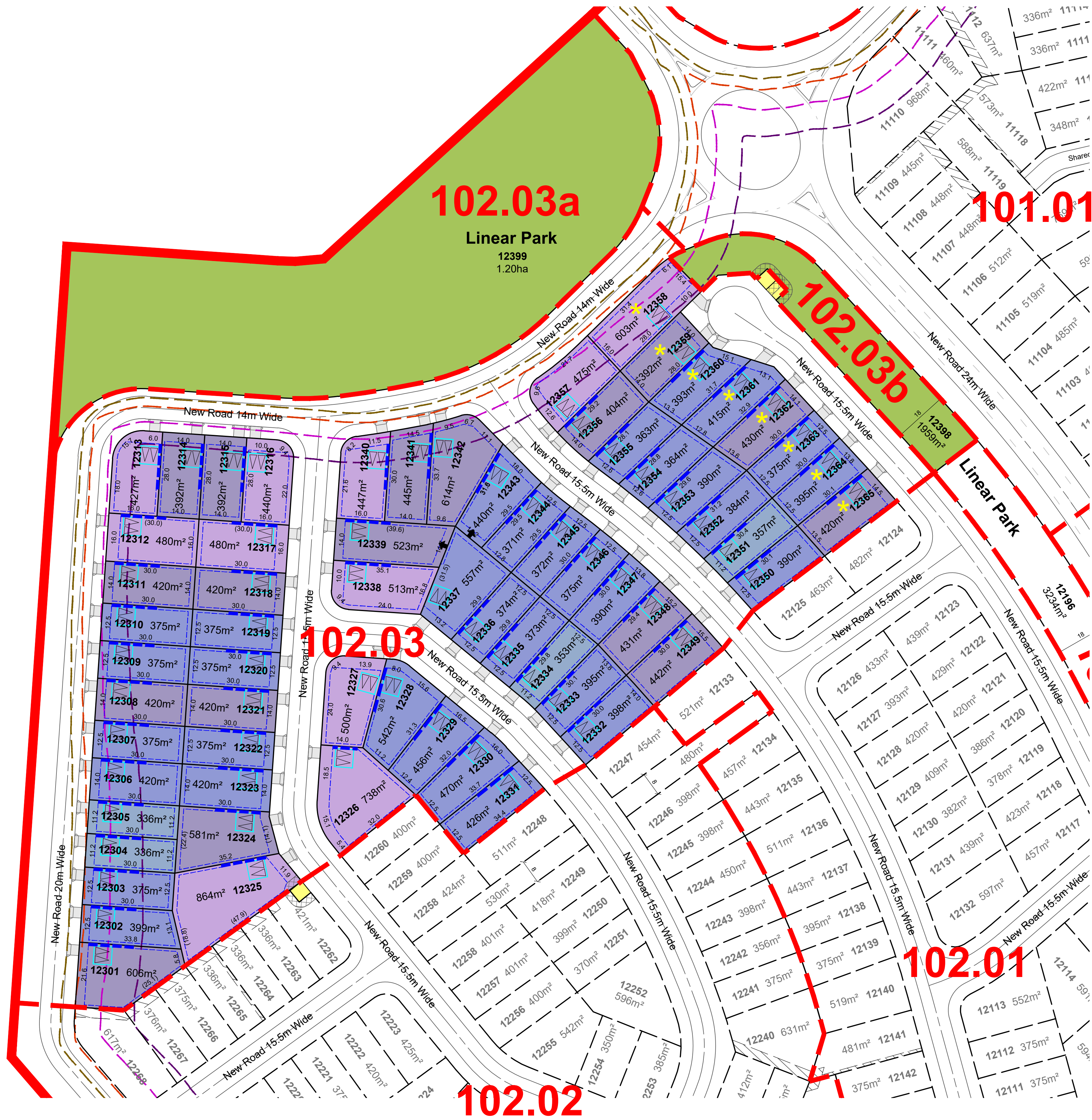


PROJECTION - GDA2020 MGA56
SUBJECT BOUNDARIES SP351245 PROVIDED BY VERIS
DRAWING REFERENCE "402971 ROL4 LOT CALC REVISION C"
DATED 13/03/2025

BULK EARTHWORKS INFORMATION PROVIDED BY COLLIERIES
DRAWING REFERENCE "24-0750_X_BASE_DESIGN"
DATED 20/03/2025



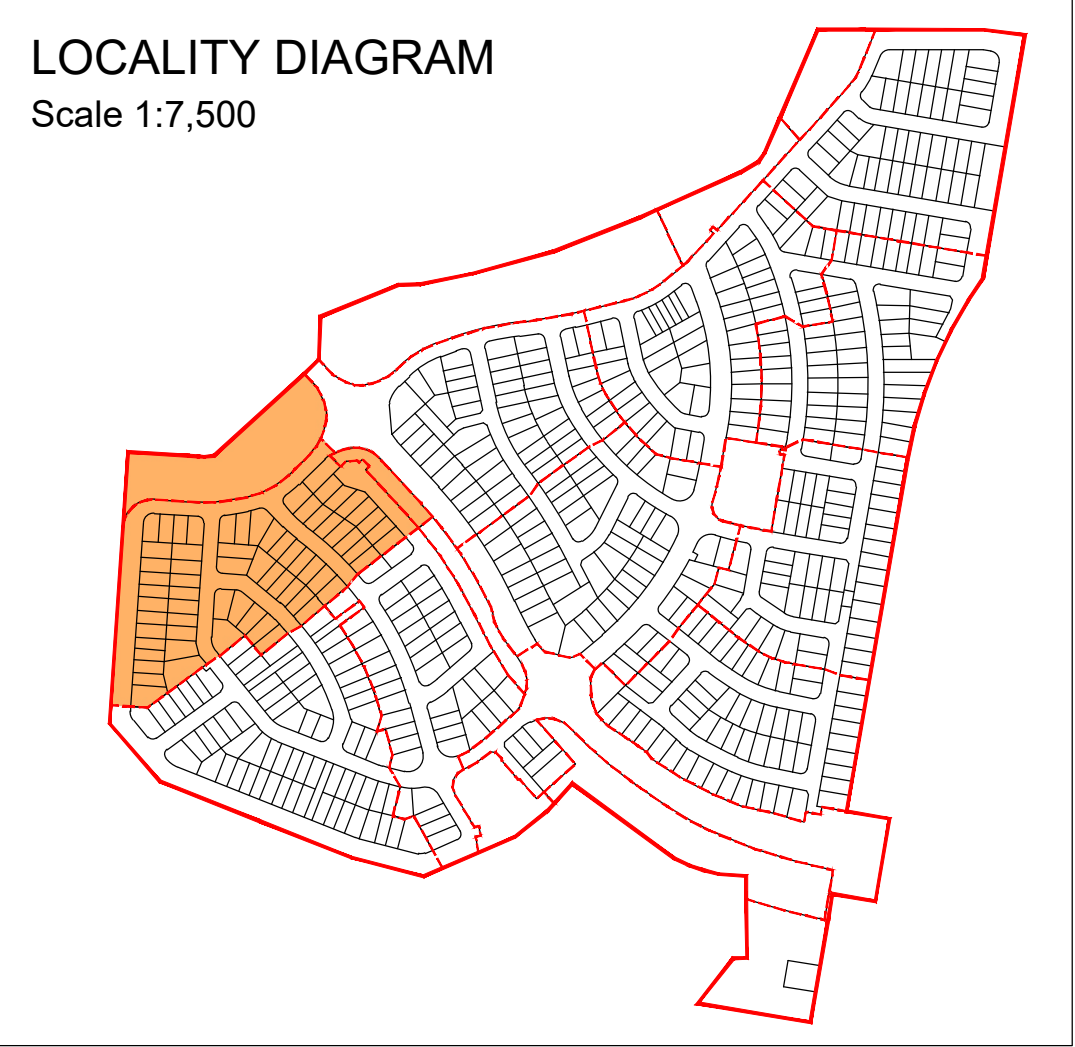
ROL 4: PLAN OF DEVELOPMENT - ENVELOPE PLAN - SUB-PRECINCT 102.03



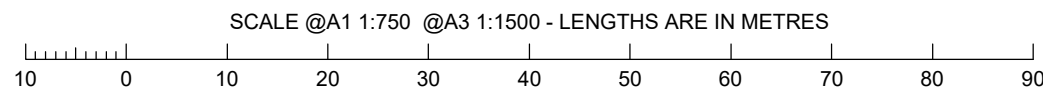
- LEGEND**
- ROL 4 Boundary
 - Sub-precinct Boundary
 - Proposed Easement
 - Linear Park / Pedestrian Linkage
 - Indicative Bin Pad location
 - Indicative PMT / RMU Site
 - Built to Boundary Wall location
 - Indicative Building Envelope
 - Indicative Garage Location
 - Indicative Driveway Location
 - Lots which require increased setbacks
 - Buildings which require acoustic design to upper floors only
 - Buildings which require acoustic design to ground and upper floors
 - Extent of bushfire Radiant Heat Flux 12.5kW/m2
 - Extent of bushfire Radiant Heat Flux 19kW/m2
 - Extent of bushfire Radiant Heat Flux 29kW/m2
 - Extent of bushfire Radiant Heat Flux 40kW/m2

- RESIDENTIAL ALLOTMENTS**
- Terrace (7.5m - 9m typical width)
 - Villa (11.2m typical width)
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 - Courtyard (14m typical width)
 - Premium Courtyard (16m typical width)
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RP DESCRIPTION: Lots 1-3 on SP351245



PROJECTION - GDA2020 MGA56
SUBJECT BOUNDARIES SP351245 PROVIDED BY VERIS
DRAWING REFERENCE "24-0750_X_BASE_DESIGN"
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